

CERTIFICATE NO: _____

DATE ISSUED: 8/12/11

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 42.3.3 PARCEL N^o: 62
Street & Number of Proposed Work: 7 JUDITH CHASE LN
Owner of record: AT LAST LLC
Mailing Address: 7 JUDITH CHASE LN
NANTUCKET, MA
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: NANTUCKET ARCHITECTURE CORP LTD
Mailing Address: PO BOX 1814
NANTUCKET MA
Contact Phone #: 781-521-1122 E-mail: _____
Steve C NANTUCKETARCHITECTURE.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other: RENOVATION - 1ST FLOOR 1614
Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: 459 ROOMS Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. Footage 2nd floor: 1035 Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0
Height of ridge above final finish grade: North 21-7 South EXISTING East 21-6 West EXIST

Additional Remarks

Historic Name: CAPT. JOSEPH CHASE REVISIONS: 1. East Elevation
Original Date: 1745 (describe) 2. South Elevation
Original Builder: 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 8/12 Secondary Mass 1/12 Dormer 1/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)
Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer: NA Rough Opening _____ Size _____ Location _____
Manufacturer: _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) _____ Corner boards 1x6 Frieze _____
Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round _____ Square _____

Windows: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear SEE PLANS Side _____
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

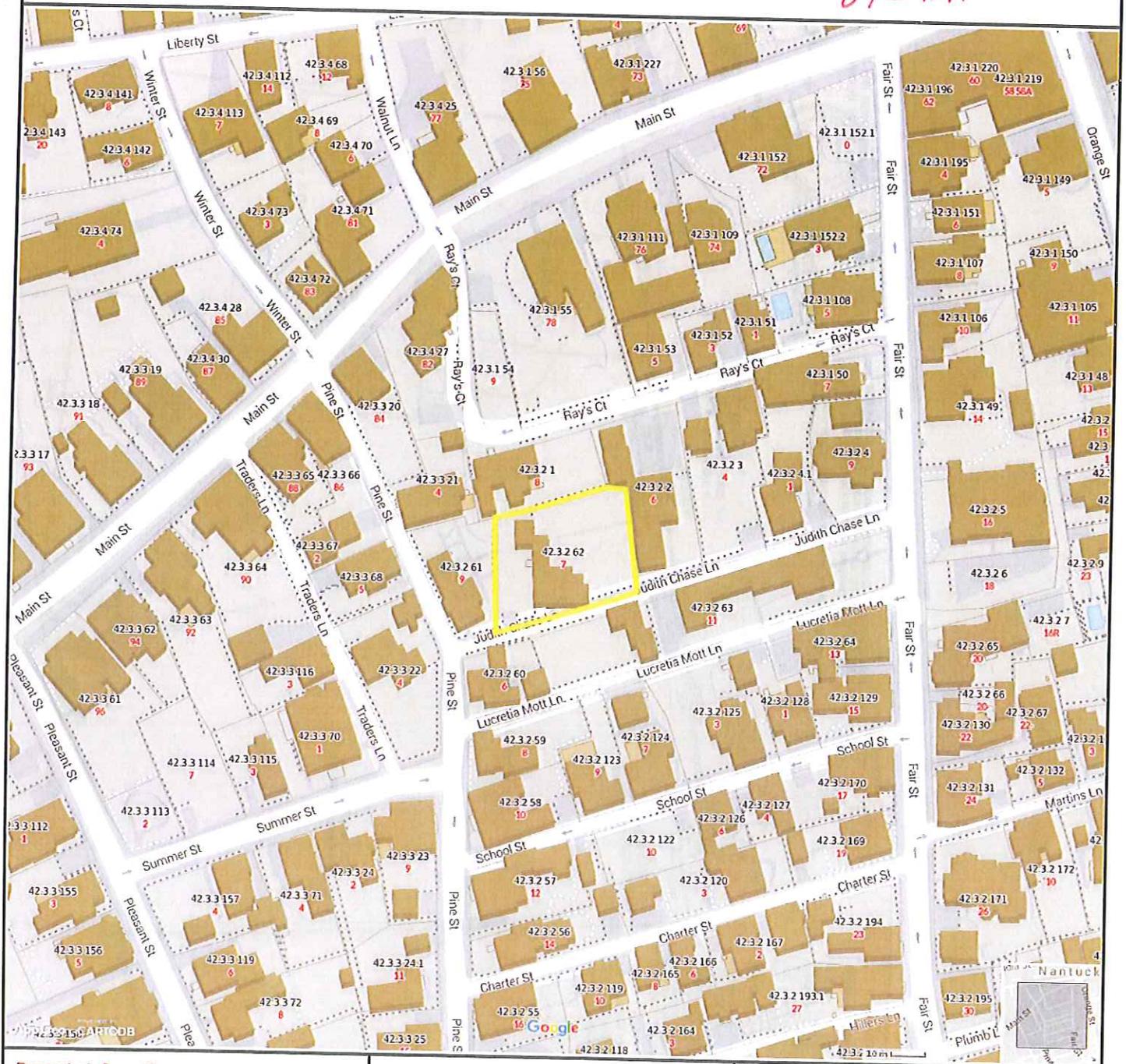
Sidewall PAINT TO WEATHER Clapboard (if applicable) _____ Roof PAINT TO WEATHER
Trim WHITE Sash WHITE Doors WHITE
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 12/28/15 Signature of owner of record [Signature] Signed under penalties of perjury

8 1/2 x 11



Property Information

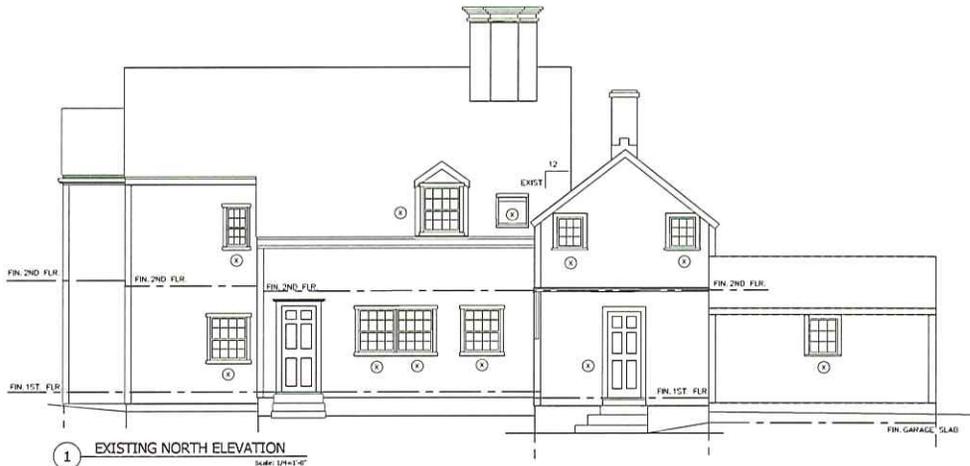
Property ID 42.3.2.2062
 Location 7 JUDITH CHASE LN
 Owner MORRISON JOHN TRST ETAL



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014
Properties updated January, 2015



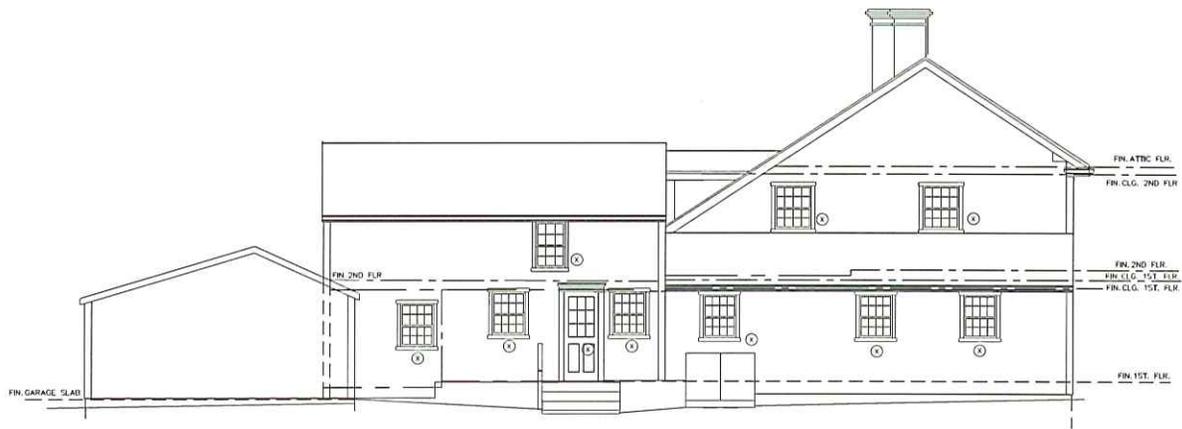
NANTUCKET ARCHITECTURE GROUP LTD.
 POST OFFICE BOX 1814
 NANTUCKET, MASSACHUSETTS, 02554
 TELEPHONE 508.228.9631
 WWW.NANTUCKETARCHITECTURE.COM

ADDITIONS AND ALTERATIONS FOR:
 7 JUDITH CHASE LANE
 MAP: 42.3.2 PARCEL: 62

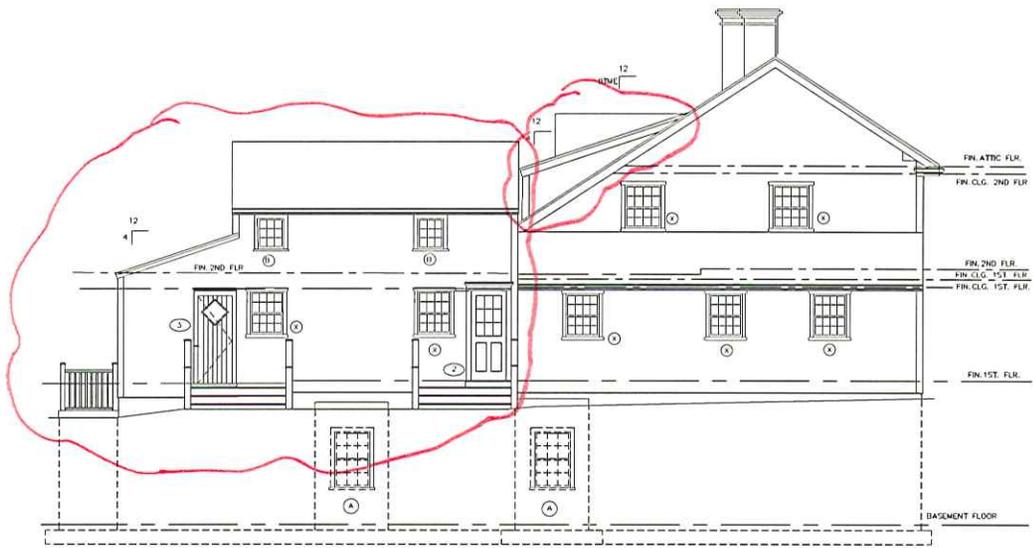
ELEVATIONS

HDC: XXX/XXX
 BIDDING:
 BLDG. DEPT:
 REVISIONS:
 REVISIONS:
 REVISIONS:
 Q/D: Not Copyright Aug 2011

1508.25
 HDC-7



L EXISTING WEST ELEVATION
Scale: 1/4"=1'-0"



K PROPOSED WEST ELEVATION
Scale: 1/4"=1'-0"

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ELEVATIONS

HDC: XX/XX/XX
BIDDING:
BLDG. DEPT:
REVISIONS:
REVISIONS:
REVISIONS:
REVISIONS:
DVI - set Copyright Aug 2011

HDC-6



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ELEVATIONS

HDC: XXXXXXX
BIDDING:
BLDG. DEPT:
REVISIONS:
DATE: Not copyright reg 2015
1/16/25

HDC-5