

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a  
**CERTIFICATE OF APPROPRIATENESS**  
for structural work.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application.**  
Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 68 PARCEL N°: 744  
Street & Number of Proposed Work: 31 DIFFORD LANE  
Owner of record: WILLIAM NOGUEIRA  
Mailing Address: 2 WILCOCKMANE PMSB3  
NANTUCKET, MA 02554  
Contact Phone #: (508) 329-4830 E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: JAV OUNSE / WILLIAM NOGUEIRA  
Mailing Address: PO BOX 3057  
NANTUCKET, MA 02554  
Contact Phone: (508) 329-4819 E-mail: WILLIAM@NOGUEIRA.COM

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling     Addition     Garage     Driveway/Apron     Commercial     Historical Renovation     Deck/Patio     Steps     Shed  
 Color Change     Fence     Gate     Hardscaping     Move Building     Demolition     Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)     Roof     Other \_\_\_\_\_

Size of Structure or Addition: Length: 40' Sq. Footage 1st floor: 10935 Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 28' Sq. Footage 2nd floor: 1000 Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North 24'-6" South 24'-6" East 24'-6" West 24'-6"

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_ (describe)  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 9/12 Secondary Mass \_\_\_\_\_/12 Dormer 4/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: 5" inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 6" Rake 1x3 Soffit (Overhang) 6"-8" Corner boards 1x4 Frieze \_\_\_\_\_  
Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round \_\_\_\_\_ Square 6" x 6"

Windows:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer ANDERSON

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type OVERHEAD Material \_\_\_\_\_

Hardscape materials: Driveways ASPHALT Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

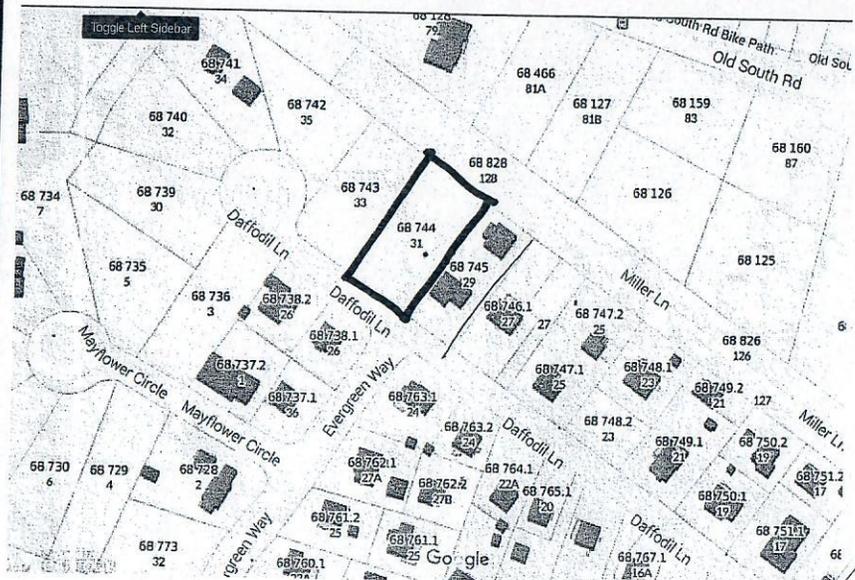
**COLORS**

Sidewall NATURAL Clapboard (if applicable) MAIN STREET YELLOW Roof ASPHALT FLAT ARCHITECTURAL  
Trim CORBESSTONE Sash WHITE Doors CORBESSTONE  
Deck NATURAL Foundation CORBES Fence \_\_\_\_\_ Shutters \_\_\_\_\_

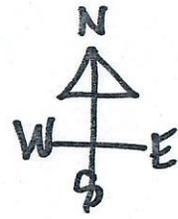
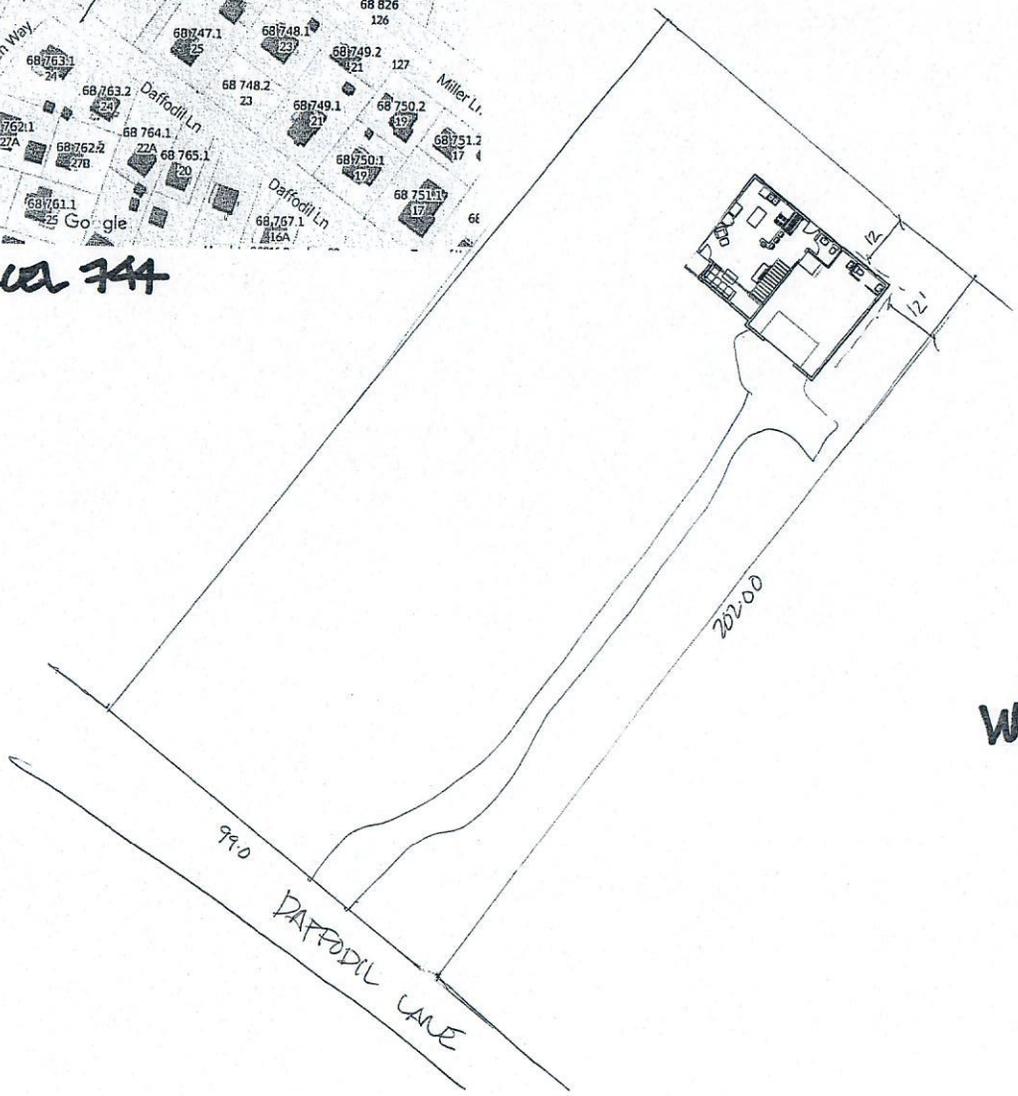
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/25/16 Signature of owner of record [Signature] Signed under penalties of perjury



MAP 68 - Parcel 744



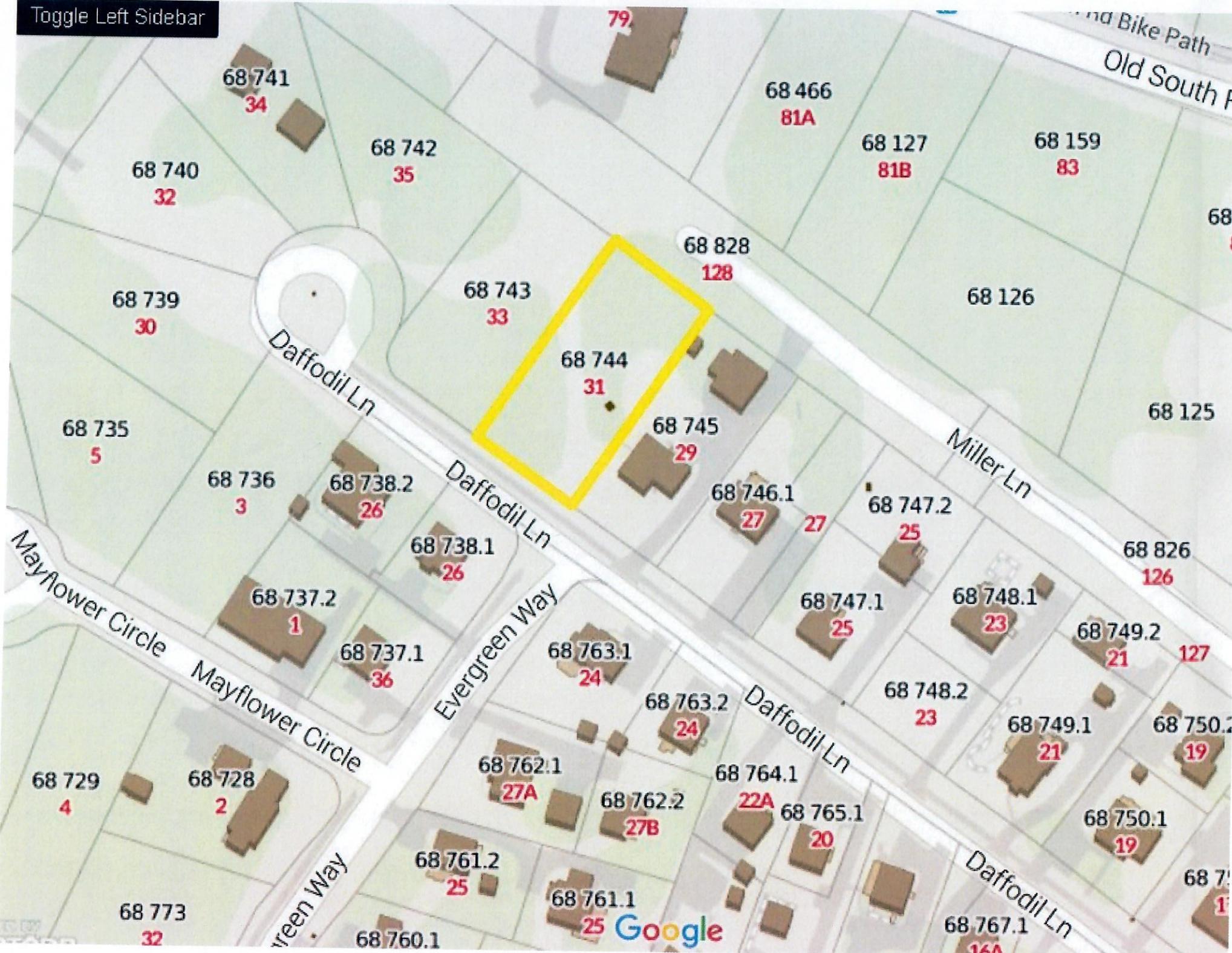
SCALE: 1/4" = 1'
DRAWN BY: VO
DATE: 2-5-16

**(31 Daffodil)**  
**NOGUEIRA - NEW DWELLING**

VAL OLIVER DESIGN  
 PO BOX 3057  
 NANTUCKET, MA 02584



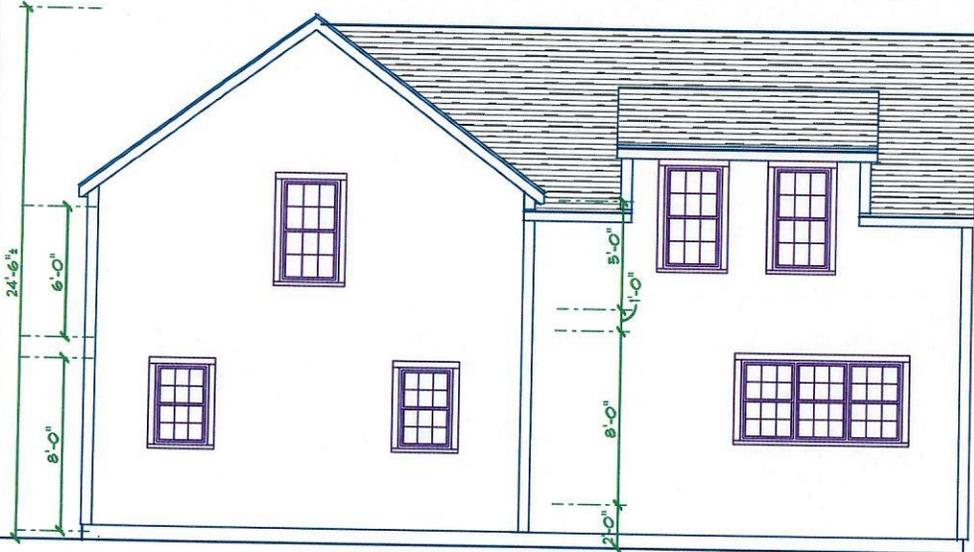
Toggle Left Sidebar



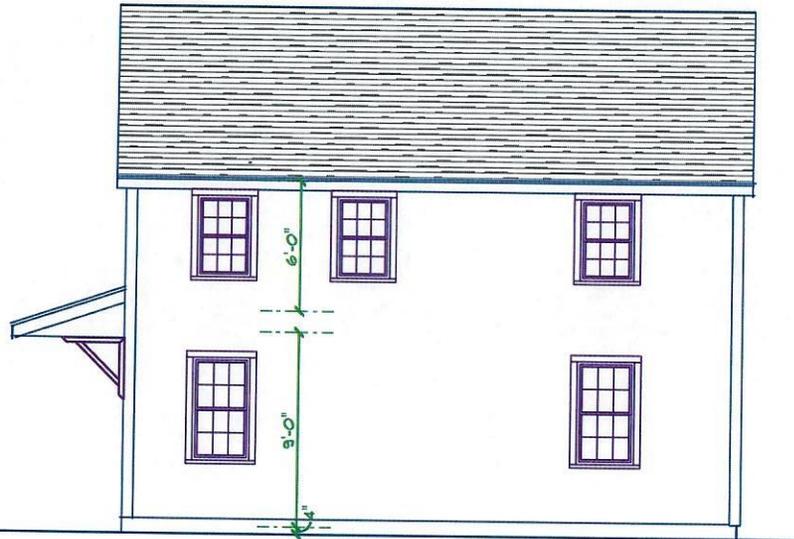
LEFT (WEST)



FRONT (SOUTH) FACING ROAD



REAR (NORTH)



RIGHT (EAST)

SCALE: 1/4"=1'

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NOGUEIRA- NEW DWELLING  
31 DAFFODIL LANE

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