

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 59.4 PARCEL N°: 310
Street & Number of Proposed Work: 43 Tennessee Ave.
Owner of record: Wood Osgood
Mailing Address: 43 Tennessee Ave.
Nantucket MA 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Milva Rowland & Assoc.
Mailing Address: 15 Commercial Wharf
Nantucket MA 02554
Contact Phone #: 728-2044 E-mail: _____

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: 139 s.f. Decks/Patio: Size: 740 s.f. 1st floor 2nd floor
Width: _____ Sq. Footage 2nd floor: 305 s.f. Size: 85 s.f. 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North No Change South _____ East _____ West _____
Height of ridge above final finish grade: North No Change South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS: 1. East Elevation Additions & renovations to existing structure
Original Date: 1984 (describe) 2. South Elevation 1st floor: 139 s.f.
Original Builder: _____ 3. West Elevation 2nd floor: 305 s.f.
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation Replace all windows & Doors
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass /12 Secondary Mass /12 Dormer /12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer Velux Rough Opening T&D Size 2'x3' Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Natural Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) _____ Corner boards 5/4x6 Frieze _____
Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round _____ Square 6x6

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer Anderson

Doors* (type and material): TDL SDL Front 12 light 1 panel Rear 12 light 1 panel Side 15 light

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

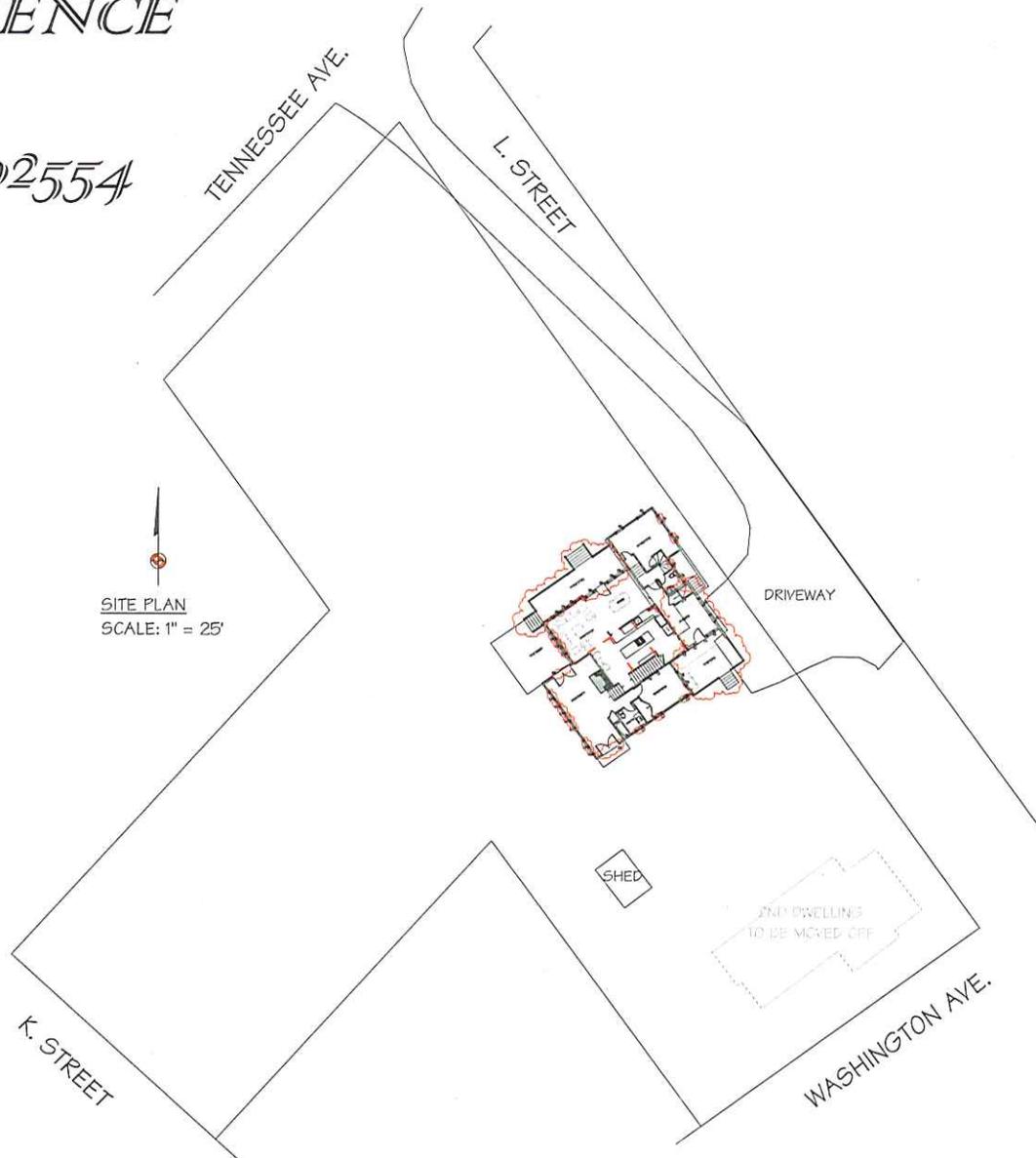
COLORS

Sidewall Natural Clapboard (if applicable) _____ Roof Natural
Trim Natural Sash Sand tone Doors Natural
Deck Natural Foundation Gray Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
Date 11/23/2015 Signature of owner of record [Signature] Signed under penalties of perjury

THE OSGOOD RESIDENCE
47 TENNESSEE AVE.
NANTUCKET, MA 02554



SITE PLAN
 SCALE: 1" = 25'

MAP & PARCEL: 59.4 / 309, 310, 314
 ZONE: VR
 FRONT / REAR SETBACKS: 20' / 10'
 MINIMUM LOT SIZE: 20,000 s.f.
 LOT AREA: 38,154 s.f.
 GROUND COVER RATIO: 10 %
 EXISTING GROUND COVER:
 MAIN HOUSE: 1,813 +/- s.f.
 SHED: 145 S.F.
 PROPOSED NEW GROUND COVER: 139 s.f.
 TOTAL GROUND COVER: 2,097 s.f.
 ALLOWABLE GROUND COVER: 3,815 s.f.

MILTON ROWLAND & ASSOCIATES
 15 COMMERCIAL WHARF
 NANTUCKET, MASSACHUSETTS
 508.228.2044

REVISIONS:

COVER SHEET
 DATE: 02/12/2016
 SCALE: AS NOTED

THE OSGOOD RESIDENCE
 43 Tennessee Ave.
 Nantucket, MA

MAP: 59.4 / 309

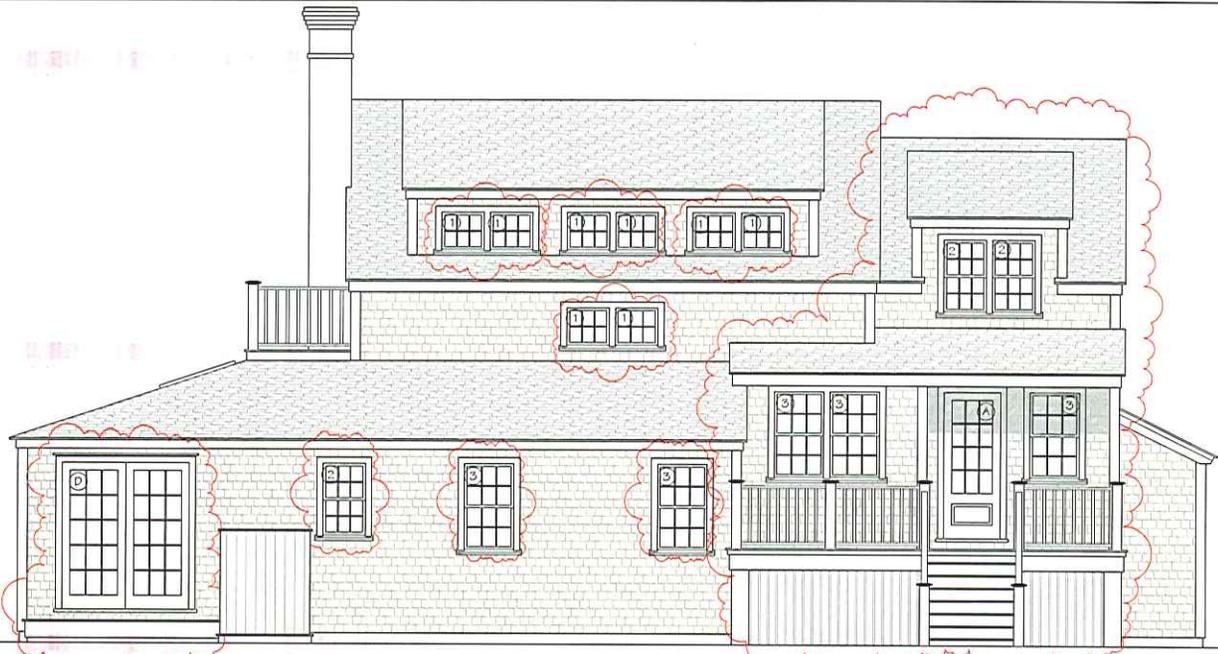


NOT FOR CONSTRUCTION

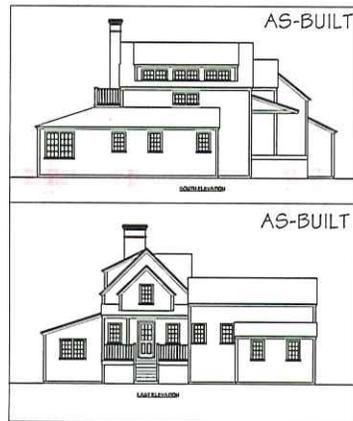
Osgood Residence						2/12/2016	
Number	Manufacturer/Size	Rough Opening	Manuf.	Type	Units	Comments	Quant.
1	2' 0" x 1' 10"	TBD	TBD	6 light awning	Single		10
2	2' 1 1/2" x 3' 6 7/8"	2' 2 1/8" x 3' 6 7/8"	Anderson	Double Hung	Single		11
3	2' 5 1/2" x 4' 6 7/8"	2' 4 1/8" x 4' 6 7/8"	Anderson	Double Hung	Single		16
4	2' 5 1/2" x 5' 0 7/8"	2' 4 1/8" x 5' 0 7/8"	Anderson	Double Hung	Single		7
5	2' 1 1/2" x 5' 0 7/8"	2' 0 1/8" x 5' 0 7/8"	Anderson	Double Hung	Single		3
A	2' 8" x 7' 0"	TBD	TBD	12 light 1 panel	Single		2
B	3' 0" x 7' 0"	TBD	TBD	12 light 1 panel	Single		1
C	2' 0" x 6' 8"	TBD	TBD	10 light	Single		1
D	6' 0" x 7' 0"	TBD	TBD	15 light french	double		1

Window Notes: (unless otherwise noted)
 1. Sash width to be determined on site before ordering windows.
 2. All window casings detail to match elevations.
 3. All windows and doors must be D.P.T. rated in accordance to Building Code 200 CMR 5.01.2
 4. All ganged windows to have a double stud pocket.

Note:
 Contractor is responsible for coordinating window and door sizes and for verifying and updating any inconsistencies.
 Please refer to manufacturer's specifications prior to framing rough openings.



SOUTH ELEVATION



EAST ELEVATION

MILTON ROWLAND & ASSOCIATES
 15 COMMERCIAL WHARF
 NANTUCKET, MASSACHUSETTS
 508.226.2044

REVISIONS:

ELEVATIONS
 DATE: 02/12/2016
 SCALE: 1/4" = 1'-0"

THE OSGOOD RESIDENCE
 43 Tennessee Ave.
 Nantucket, MA

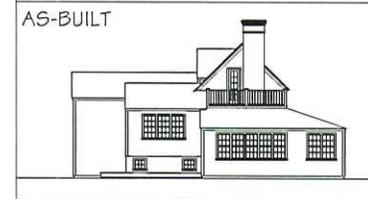
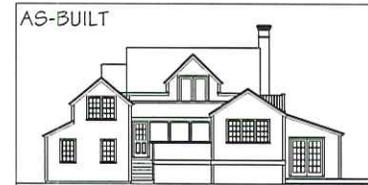
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NORTH ELEVATION



WEST ELEVATION



MILTON ROWLAND & ASSOCIATES
15 COMMERCIAL WHARF
NANTUCKET, MASSACHUSETTS
508.228.2044

REVISIONS:

ELEVATIONS
DATE: 02/12/2016
SCALE: 1/4" = 1'-0"

THE OSGOOD RESIDENCE
43 Tennessee Ave.
Nantucket, MA

WP 994 / 509

NOT FOR CONSTRUCTION

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