

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 68 PARCEL N°: 157
Street & Number of Proposed Work: 63 Old South Road
Owner of record: Phil Pastan/Richmond Great Point Dev
Mailing Address: 20 Dawken Ln.
Nantucket, MA 02554
Contact Phone #: 508 901-9030 E-mail: proggeveen@richmondco.com

AGENT INFORMATION (if applicable)

Name: Patty Roggeveen
Mailing Address: 20 Dawken Ln.
Nantucket, MA 02554
Contact Phone #: 508 332 9046 E-mail: proggeveen@richmondco.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
Size of Structure or Addition: Length: 80'-8" Sq. Footage 1st floor: 3200 SF Decks/Patio: Size: 17'-2" 1st floor 2nd floor
Width: 39'-10" Sq. Footage 2nd floor: _____ Size: 5'-10" 1st floor 2nd floor
Sq. Footage 3rd floor: _____
Difference between existing grade and proposed finish grade: North 12" South 12" East 12" West 12"
Height of ridge above final finish grade: North 21'-11" South 21'-11" East 21'-11" West 21'-11"

Additional Remarks

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A
*Cloud on drawings and submit photographs of existing elevations.

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 7/12 Secondary Mass 7/12 Dormer 1/2 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): 3" PVC Boxed out w/ 10" x 5/4" wood trim
Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia 9" Rake 10" Soffit (Overhang) 6" Corner boards 10" Frieze 8"
Window Casing 4" Door Frame 4" Columns/Posts: Round _____ Square 10" x 10"
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer Anderson
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways Asphalt Walkways Asphalt Walls _____
Note: Complete door and window schedules are required.

COLORS

Sidewall White Cedar Splinge Clapboard (if applicable) _____ Roof Black
Trim White Sash White Doors White
Deck _____ Foundation Concrete Fence _____ Shutters _____

Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
Date 2-22-16 Signature of owner of record _____ Signed under penalties of perjury

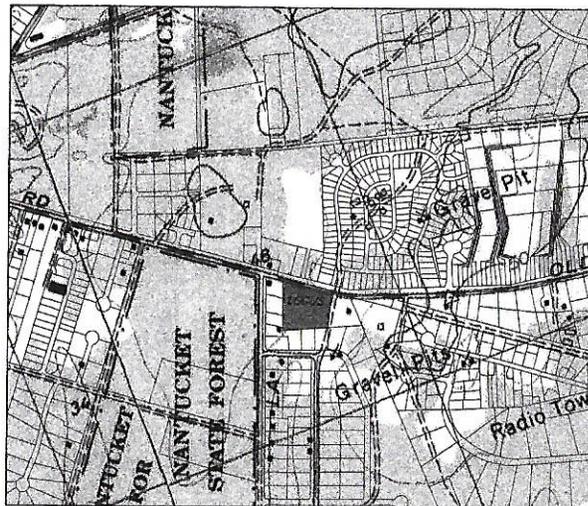
HISTORIC DISTRICT COMMISSION SITE PLAN

AT
63 OLD SOUTH ROAD
NANTUCKET, MASSACHUSETTS

LEGEND OF SYMBOLS & ABBREVIATIONS

EXISTING PROPOSED

	BENCH MARK		
	BITUMINOUS BERM		
	BITUMINOUS CAPE COD BERM		
	BUILDING		
	UNDERGROUND CABLE		
	CONTOUR (1')		
	CONTOUR (5')		
	ZONE A (100-YEAR FLOOD ZONE)		
	CEMENT CONCRETE		
	SLOPED GRANITE CURB		
	VERTICAL GRANITE CURB		
	EDGE OF DISTURBANCE		
	UNDERGROUND DRAIN PIPE		
	CATCH BASIN		
	DRAIN MANHOLE		
	ROUND CATCH BASIN		
	UNDERGROUND ELECTRIC		
	CHAIN LINK FENCE		
	POST & RAIL FENCE		
	STOCKADE FENCE		
	VINYL FENCE		
	FINISHED FLOOR ELEVATION		
	GARAGE FLOOR ELEVATION		
	FOUNDATION		
	UNDERGROUND GAS MAIN		
	UNDERGROUND GAS SERVICE		
	EDGE OF GRAVEL		
	SPOT GRADE		
	GUARD RAIL		
	HANDICAP PLACARD PARKING		
	WHEEL CHAIR RAMP		
	HEADWALL		
	LANDSCAPE AREA		
	LEDGE OUTCROP		
	BOLLARD		
	OVERHEAD WIRE		
	UTILITY POLE		
	PAINTED PARKING & SPACE COUNT		
	PATH		
	EDGE OF PAVEMENT		
	BOULDER RIP-RAP & SLOPE		
	UNDERGROUND SEWER		
	UNDERGROUND SEWER SERVICE		
	SEWER MANHOLE		
	SEWER CLEANOUT		
	BITUMINOUS CONCRETE SIDEWALK		
	SIGN		
	EROSION & SEDIMENTATION CONTROL		
	STEPS		
	BOULDER		
	STONEWALL		
	CENTERLINE OF SWALE		
	UNDERGROUND TELEPHONE		
	TESTHOLE LOCATION		
	MONITORING WELL LOCATION		
	PERCOLATION TEST LOCATION		
	PAINTED TRAFFIC LINE & TYPE		
	DECIDUOUS TREE, SIZE & TYPE		
	CONIFEROUS TREE, SIZE & TYPE		
	HEDGE ROW AND TYPE		
	RETAINING WALL		
	UNDERGROUND WATER MAIN		
	UNDERGROUND WATER SERVICE		
	PAINTED UNDERGROUND WATER		
	WATER GATE VALVE BOX		
	WATER SERVICE CURB BOX		



KEY MAP
SCALE: 1"=500'±
0' 500' 1,000'



NOTES:

- LOT LINES DEPICTED HEREON ARE TAKEN FROM "SUBDIVISION PLAN OF LAND IN NANTUCKET, MASS." DATE JULY 16, 2015 REVISED THROUGH OCTOBER 5, 2015 PREPARED BY HAYES ENGINEERING, INC.
- TOPOGRAPHIC INFORMATION DEPICTED HEREON IS THE RESULT OF AN ACTUAL FIELD SURVEY PERFORMED BY HAYES ENGINEERING, INC. ON THE FOLLOWING DATES:
 - SEPTEMBER 22, 2014
 - JUNE 18, 2015
 - SEPTEMBER 17, 2015
- THE DATUM IS NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- THE ENTIRE PARCEL IS LOCATED WITHIN THE WATER RESOURCE PROTECTION DISTRICT, ZONE II WELLHEAD PROTECTION AREA.
- THE PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD ZONE (A or V) AS DEPICTED ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 25019C 0099G EFFECTIVE JUNE 9, 2014.
- THE UNDERGROUND UTILITIES SHOWN HAVE BEEN COMPILED FROM FIELD SURVEY INFORMATION AND AVAILABLE EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED. FURTHER, THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES AND DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND VERIFYING THE LOCATIONS, SIZES, AND ELEVATIONS OF ALL EXISTING UTILITIES SHOWN OR NOT SHOWN ON THESE PLANS AND SHALL NOTIFY THE ENGINEER IN WRITING OF ANY UTILITIES INTERFERING WITH THE PROPOSED DESIGN AND THE APPROPRIATE REMEDIAL ACTION PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTORS ARE RESPONSIBLE FOR CONTACTING DIG SAFE AT (800) 322-4844 PRIOR TO THE START OF ANY CONSTRUCTION.

ZONING TABLE				
ZONE	CN	LOT 1	LOT 2	LOT 3
DIMENSIONAL CONTROLS	REQUIRED/ALLOWED	PROVIDED	PROVIDED	PROVIDED
FRONT YARD SETBACK	10 ft.	N/A	40.0 ft.	29.0 ft.
SIDE YARD SETBACK	5 ft.	N/A	44.9 ft.	15.0 ft.
REAR YARD SETBACK	10 ft.	N/A	100 ft.	77.0 ft.
MIN. FRONTAGE	50 ft.	140.77 ft.	181.78 ft.	110.00 ft.
MIN. LOT AREA	7,500 s.f.	91,940± s.f.	40,855± s.f.	15,500± s.f.
MIN. REGULARITY FACTOR (RF)	0.55	0.67	0.93	1.00
MAX. GROUND COVER RATIO	40%	0%	12%	21%
MIN. OPEN AREA	30%	73%	50%	39%

PROPERTY LIES WITHIN THE WELLHEAD PROTECTION DISTRICT.

PARKING REQUIREMENTS:

- LOT 1: NONE REQUIRED
- LOT 2: RETAIL - 1 space PER 200sf OF GROSS FLOOR AREA (GFA)
(5,000sf GFA)(1sp/200sf) = 25 spaces REQUIRED
HANDICAP ACCESSIBLE SPACES REQUIRED = 1sp
PROVIDED = 25 spaces (9'x20') INCLUDING 1 HP space
- LOT 3: RETAIL - 1 space PER 200sf OF GFA
(3,200sf GFA)(1sp/200sf) = 16 spaces REQUIRED
HANDICAP ACCESSIBLE SPACES REQUIRED = 1sp
PROVIDED = 16 spaces (9'x20') INCLUDING 1 HP space

WARRANTS REQUESTED:

- §139-20.1.B(1) MORE THAN ONE DRIVEWAY ACCESS PER LOT: TWO DRIVEWAYS ARE PROPOSED.
- §139-20.1.B(2)(f)(1) MAXIMUM DRIVEWAY WIDTH AND CORNER ROUNDINGS: ALLOW CORNER ROUNDINGS WITH RADII UP TO 30'.

PLAN TITLE	SHEET DESIGNATION
INDEX	C1
SITE PLAN	C2



Prepared For:

Owner / Applicant:
ROCHESTER GREAT POINT
DEVELOPMENT LLC
1000 WASHINGTON ST. UNIT
WILMINGTON, MA 01897
(978) 968-3900

Prepared By:

Hayes Engineering, Inc.
1000 WASHINGTON ST. UNIT
WILMINGTON, MA 01897
PH: 978-968-3900
www.hayeseng.com

Design By: PJO

Drawn By: AMC

Checked By: PJO

Project File: NAN-0107

Comp. No: NAN6

Issued For Permit

Issued For Review

Issued For Bid

Issued For Construction

Not For Construction

Date:

Revision:

No.

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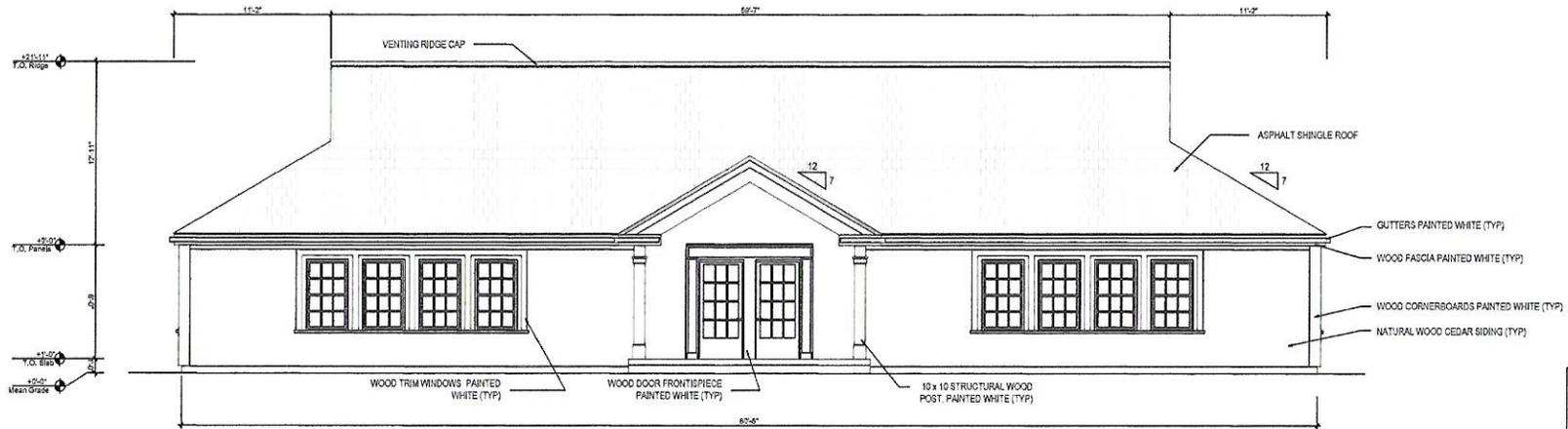
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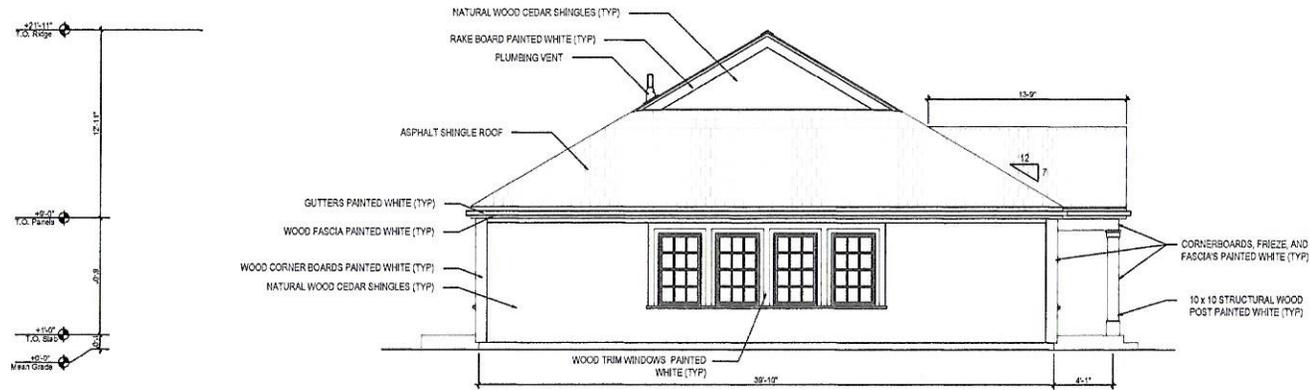
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1 3,200 SF RETAIL - FRONT ELEVATION
A-01

SCALE: 1/4" = 1'-0"



2 3,200 SF RETAIL - SIDE ELEVATION
A-01

SCALE: 1/4" = 1'-0"

DCM Architecture and Engineering expressly reserves its common law copyright and other property rights in these plans. All designs, specifications and drawings are the property of DCM Architecture and Engineering which are to be used only as issued for this project. They shall not be used on any other project in full or in part, without the obtaining the express written approval and consent of DCM Architecture and Engineering. These documents shall not be transferred to any unauthorized third party without the same consent.

Do not make drawings. Contractors shall verify all dimensions prior to construction, and shall bring any discrepancies to the attention of the Architect.

The Contractor shall make no structural changes or substitutions without the written approval of the Architect.



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ROBERT BENSON, PE

Anton Levchenko
Andrew Hanikmeyer

PRITON

RETAIL
LINER BUILDINGS

DCML 13-362

The Richmond Company

SCHEMATIC DESIGN

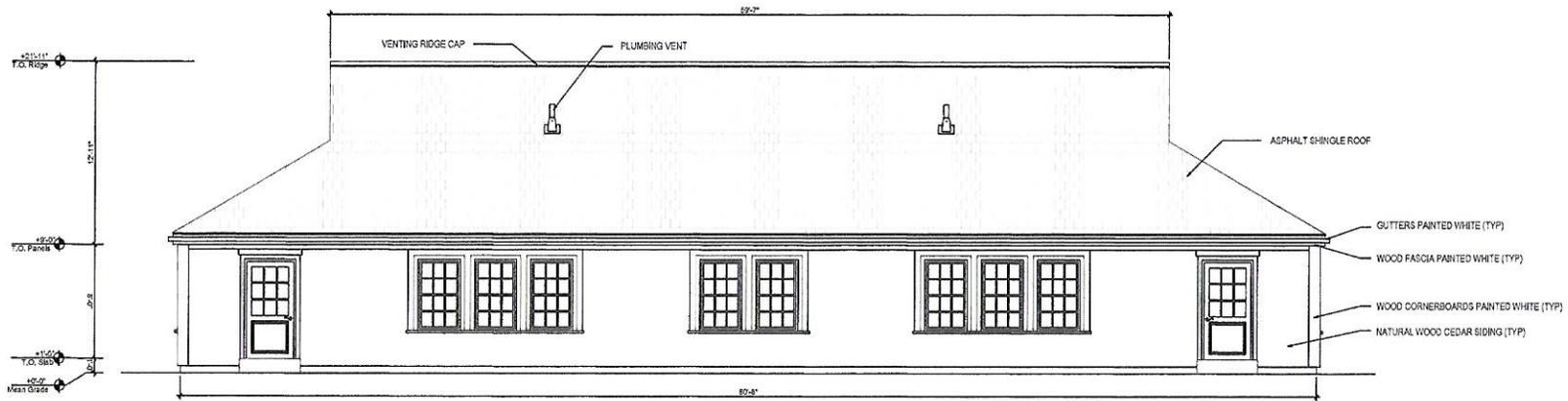
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ARCH D 1/4" = 1'-0"

FEBRUARY 2016

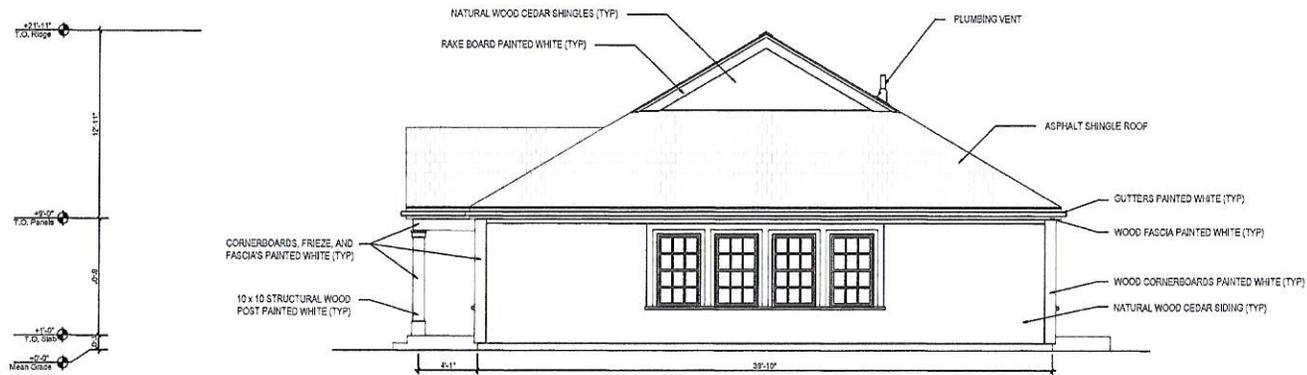
3,200 SF RETAIL

A-01



1 3,200 SF RETAIL - REAR ELEVATION
A-02

SCALE: 1/4" = 1'-0"



2 3,200 SF RETAIL - SIDE ELEVATION
A-02

SCALE: 1/4" = 1'-0"

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RETAIL
LINER BUILDINGS

DCML 13-362

The Richmond Company

SCHEMATIC DESIGN

DRAWN BY: swh CHECK BY:

ARCH D 1/4" = 1'-0"

FEBRUARY 2016

3,200 SF RETAIL

A-02

Project: 13-362 Retail Liner Building
 Date: 02/16/16
 Status: Schematic Design



1 3,200 SF RETAIL - PERSPECTIVE
P-00

SCALE: NO SCALE

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RETAIL
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DCML 13-092

The Richmond Company

SCHEMATIC DESIGN

DRAWN BY: awh CHECK BY:

ARCH D SCALE: NA

FEBRUARY 2016

3,200 SF RETAIL

P-00

P-0001 02/16/16 13:092 3,200 SF RETAIL PERSPECTIVE



1
P-01 3,200 SF RETAIL - FRONT ELEVATION

SCALE: 1/4" = 1'-0"



2
P-01 3,200 SF RETAIL - SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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PRITON

RETAIL
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DCM: 13-362

The Richmond Company

SCHEMATIC DESIGN

DRAWN BY: svh CHECK BY:

ARCH D 1/4" = 1'-0"

FEBRUARY 2016

3,200 SF RETAIL

P-01

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1
P-02 3,200 SF RETAIL - REAR ELEVATION

SCALE: 1/4" = 1'-0"



2
P-02 3,200 SF RETAIL - SIDE ELEVATION

SCALE: 1/4" = 1'-0"

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10DCM

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swh

ARCH D 1/4" = 1'-0"

FEBRUARY 2016

3,200 SF RETAIL

P-02

Sheet: 01/01/16 10:00 AM 1/4" = 1'-0" 3,200 SF RETAIL