

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 402-6
Street & Number of Proposed Work: 78 MADONIST RD.
Owner of record: WILLIAM RATTBY
Mailing Address: 910 VAL OWNER
PO BOX 3057 NANTUCKET MA 02584
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: VAL OWNER
Mailing Address: PO BOX 3057
NANTUCKET MA 02584
Contact Phone # (508) 325-4319 E-mail: VALOWNER@GMAIL.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No. _____
- Pool (Zoning District _____)
- Roof
- Other _____

Size of Structure or Addition: Length: 30' Sq. Footage 1st floor: 732 SF Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 25' Sq. Footage 2nd floor: 0 Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: 0

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North 16'-6" ± South 16'-6" ± East 16'-6" ± West 16'-6" ±

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 9/12 Secondary Mass /12 Dormer /12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 8" Rake 1x6 Soffit (Overhang) 6'-0" Corner boards 1x4 Frieze _____
Window Casing 1x4 Door Frame 1x6 Columns/Posts: Round _____ Square 8"

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer AMBERSON

Doors* (type and material): TDL SDL Front FRENCH SANDERS Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

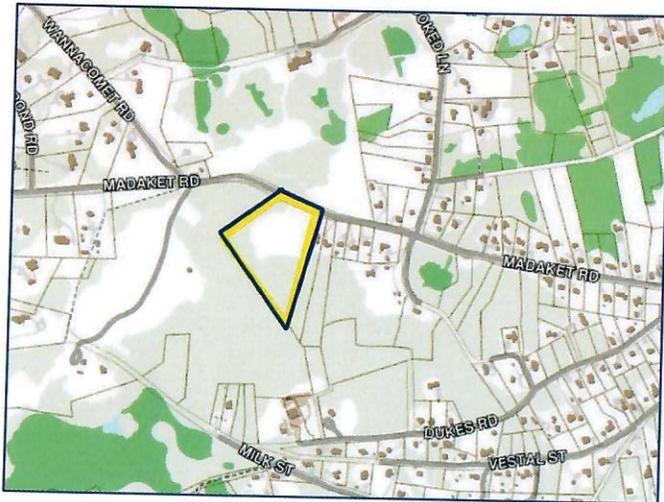
COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof WOOD (NATURAL)
Trim QUARTZ LEXBY Sash PAINT Doors PAINT
Deck _____ Foundation COLOR Fence _____ Shutters _____

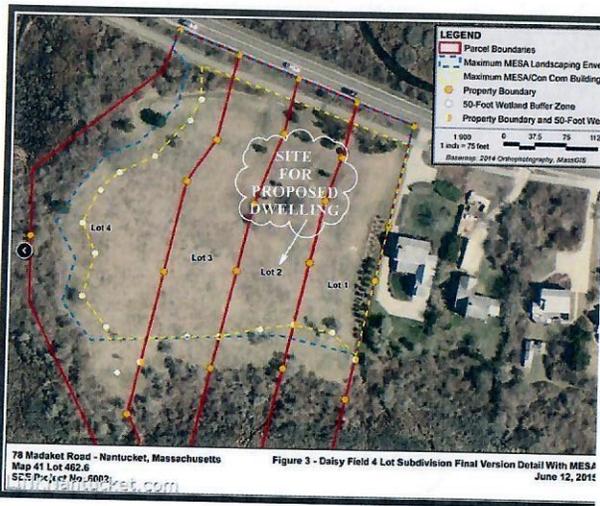
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/1/12 Signature of owner of record [Signature] Signed under penalties of perjury



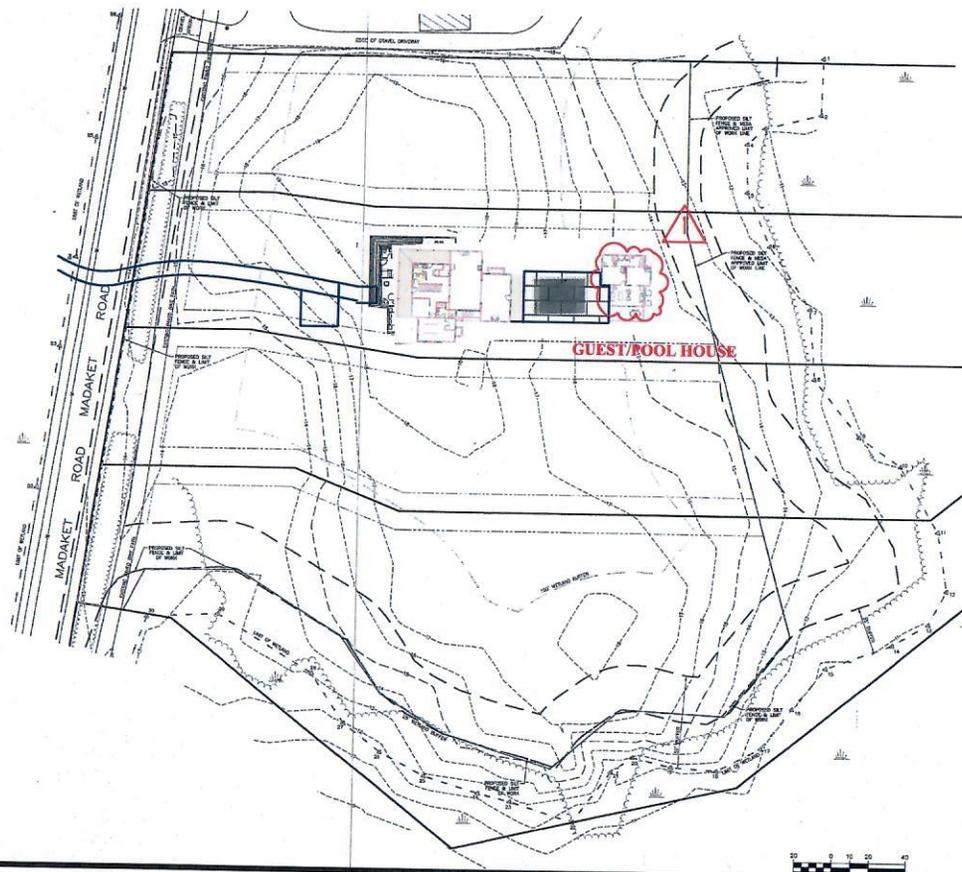
MAP 41 PARCEL 462.6



NOTES:
ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD.
ALL SITE WORK SHOULD BE VERIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO AND DURING CONSTRUCTION FOR PROPER LOCATION OF PROPERTY AND SETBACK LINES.



APPROVED MAIN HOUSE COA#644821



SCALE: 1/4"=1'
DRAWN BY: VO
DATE: 1-30-16

78 MADAKET ROAD-
PROPOSED GUEST/POOL HOUSE

VAL OLIVER DESIGN
PO BOX 3057
NANTUCKET, MA 02584



FRONT- FACING HOUSE (NORTH)



RIGHT- FACING POOL (WEST)

**TO MATCH MAIN HOUSE: ALREADY APPROVED
QUAKER GREY TRIM
BLACK SASH
WOOD ROOF**



LEFT- FACING (EAST)



REAR- FACING SOUTH)

SCALE: 1/4"=1'

DRAWN BY: VO

DATE: 2-18-16

**RAFTERY- 78 MADKAET ROAD
POOL HOUSE/GUEST**

**VAL OLIVER DESIGN
PO BOX 3057
NANTUCKET, MA 02584**

