

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 59 PARCEL N°: 11

Street & Number of Proposed Work: 3 MASSADUIT BRIDGE RD

Owner of record: LIEBSCHULTZ, LOWELL & BETSY

Mailing Address: 132 OLD ROADWAY BROOK ROAD
MOUNT KISCO, NY 10549

Contact Phone #: 914 241 1451 E-mail: _____

AGENT INFORMATION (if applicable)

Name: PERMITS & PLUS, INC

Mailing Address: Box 3363
NANTUCKET, MA 02584

Contact Phone #: 508 228 6913 E-mail: PERMITS@COMCAST.NET

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____

Must be acted on by: _____

Extended to: _____

Approved: _____ Disapproved: _____

Chairman: _____

Member: _____

Member: _____

Member: _____

Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No. _____
- Pool (Zoning District _____)
- Roof
- Other _____

Size of Structure or Addition: Length: 57' Sq. Footage 1st floor: 1,750 Decks/Patio: Size: 12x42 1st floor 2nd floor

Width: 40 Sq. footage 2nd floor: 1,252 porches Size: 6x20 1st floor 2nd floor

Sq. footage 3rd floor: _____ BALCONY 50x4' 2nd FL

Difference between existing grade and proposed finish grade: North 0-12" South 0-12" East 0-12" West 0-12" TO LEVEL

Height of ridge above final finish grade: North 25' South 25' East 25' West 25'

Additional Remarks

Historic Name: _____

Original Date: _____

Original Builder: _____

Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS*
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8' Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 10 /12 Secondary Mass 10 /12 Dormer 6 1/2 /12 Other HIP: 5:12

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer VELUX VSE MOO Rough Opening 2'-6" x 3'-9" Size _____ Location REAR MAIN ROOF
Manufacturer VELUX VSE MOO Rough Opening 2'-6" x 3'-9" Size _____ Location REAR INFL. ROOF

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 8" Corner boards 5/4x6 Frieze 3/4x8

Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round _____ Square 8x8

Windows*: Double Hung Casement All Wood Other FIXED/HOPPED

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer ANDERSEN

Doors* (type and material): TDL SDL Front WD 3/4 GLASS Rear SLIDING / GLASS Side FRAMED 1 1/2 LITE

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways SHAL Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NAT TO WEATHER Clapboard (if applicable) _____ Roof FIRE RETARDANT RED CEDAR
 Trim WHITE Sash WHITE Doors FRONT: 3/4 GREEN OTHER: WHITE
 Deck NATURAL Foundation NATURAL Fence NATURAL Shutters _____
 (CAL ENCLOSURE)

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5-5-2016

Signature of owner of record: Elizabeth Liebschultz

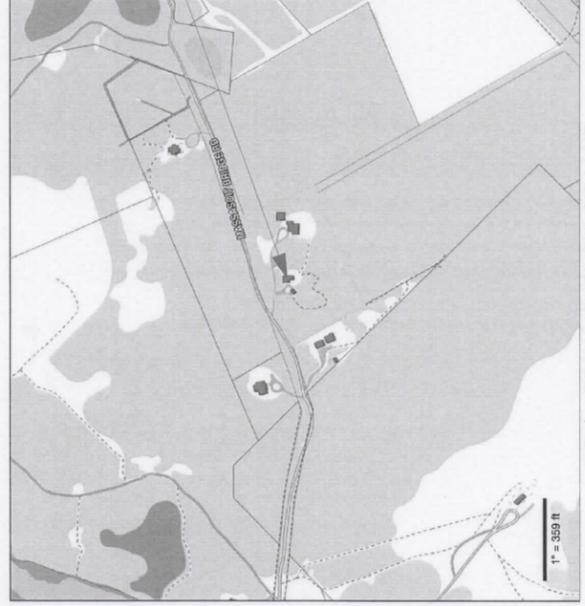
Signed under penalties of perjury

LOCUS



EXISTING SITE PLAN

1" = 30'



TOWN OF NANTUCKET GIS MAP

SHEET INDEX	
NAME	
	SITE PLAN & LOCUS MAP
S-1	PROPOSED SITE PLAN
A-1	NORTH & EAST ELEVATIONS
A-2	SOUTH & WEST ELEVATIONS
A-3	LOWER LEVEL FLOOR PLAN
A-4	ENTRY LEVEL FLOOR PLAN
A-5	UPPER LEVEL FLOOR PLAN
A-6	WINDOW & DOOR SCHEDULE

NOTE: LOT SHOWN HEREON IS SUBJECT TO AN EASEMENT RECORDED IN DD BK. 186 PG. 5.

LOT 4
RECORD AREA = 4.72128+ACRES

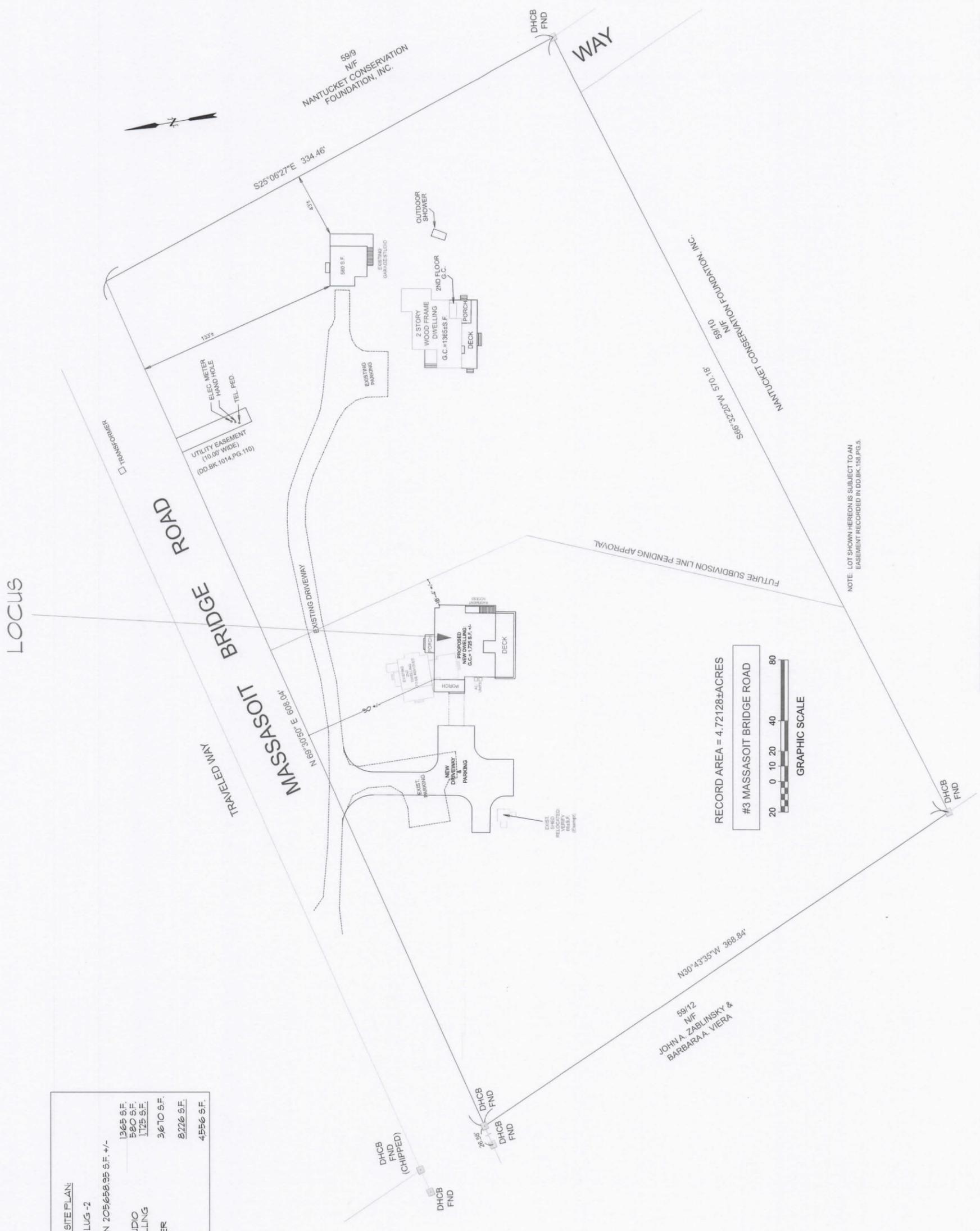
59/12 NIP
JOHN A. ZABLINSKY &
BARBARA A. VIERA

59/10 NIP
NANTUCKET CONSERVATION FOUNDATION, INC.



PROPOSED SITE PLAN:
ZONING LUG-2

FOOT PRINT BASED ON 205658.95 S.F. +/-	
PRIMARY DWELLING	1365 S.F.
EXISTING GARAGE/STUDIO	580 S.F.
PROPOSED NEW DWELLING	1725 S.F.
TOTAL GROUND COVER	3670 S.F.
4% ALLOWABLE	8226 S.F.
BALANCE	4556 S.F.



PROPOSED SITE PLAN

1" = 30'



HDC APPROVED EAST ELEVATION

1/4" = 1'-0"

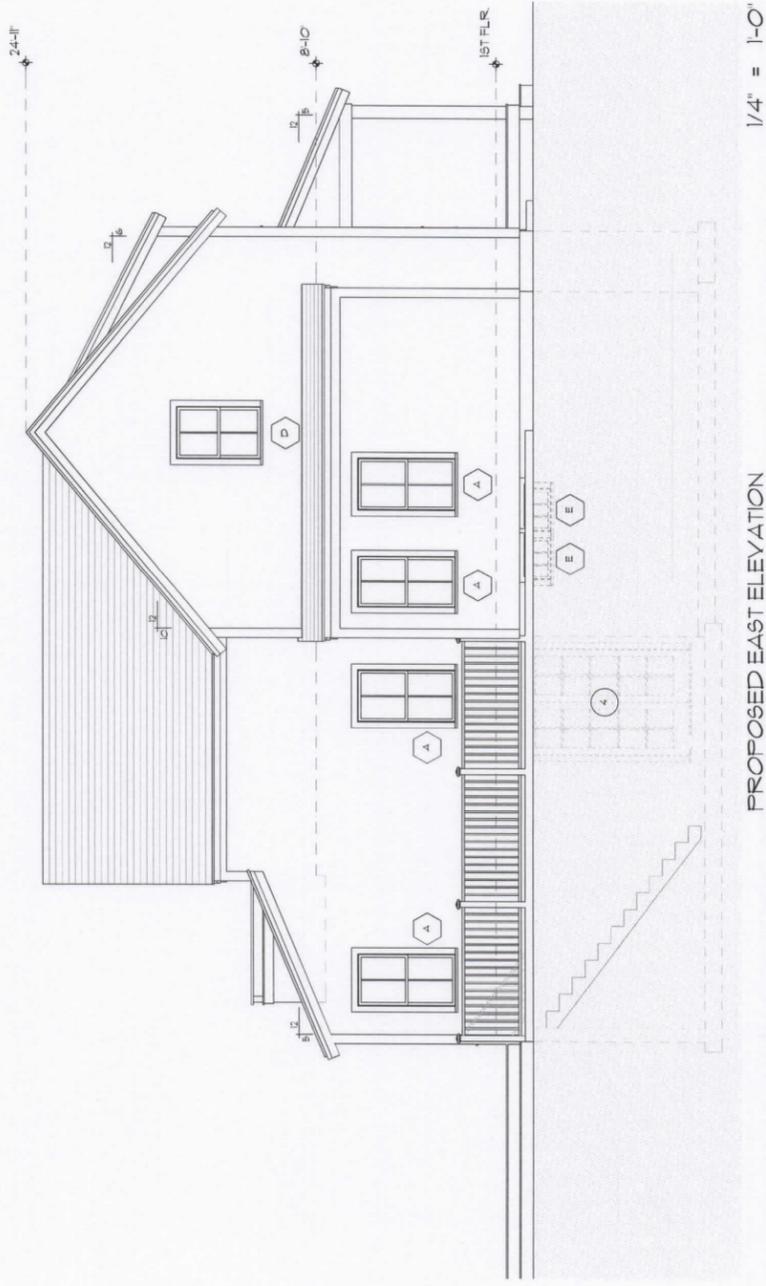
ORIGINAL PROPOSAL FOR RENOVATIONS TO EXISTING STRUCTURE
REFER TO COA 63635



HDC APPROVED NORTH ELEVATION

1/4" = 1'-0"

ORIGINAL PROPOSAL FOR RENOVATIONS TO EXISTING STRUCTURE
REFER TO COA 63635



PROPOSED EAST ELEVATION

1/4" = 1'-0"

NEW PROPOSAL FOR NEW DWELLING



PROPOSED NORTH ELEVATION

1/4" = 1'-0"

NEW PROPOSAL FOR NEW DWELLING



1/4" = 1'-0"

HDC APPROVED WEST ELEVATION

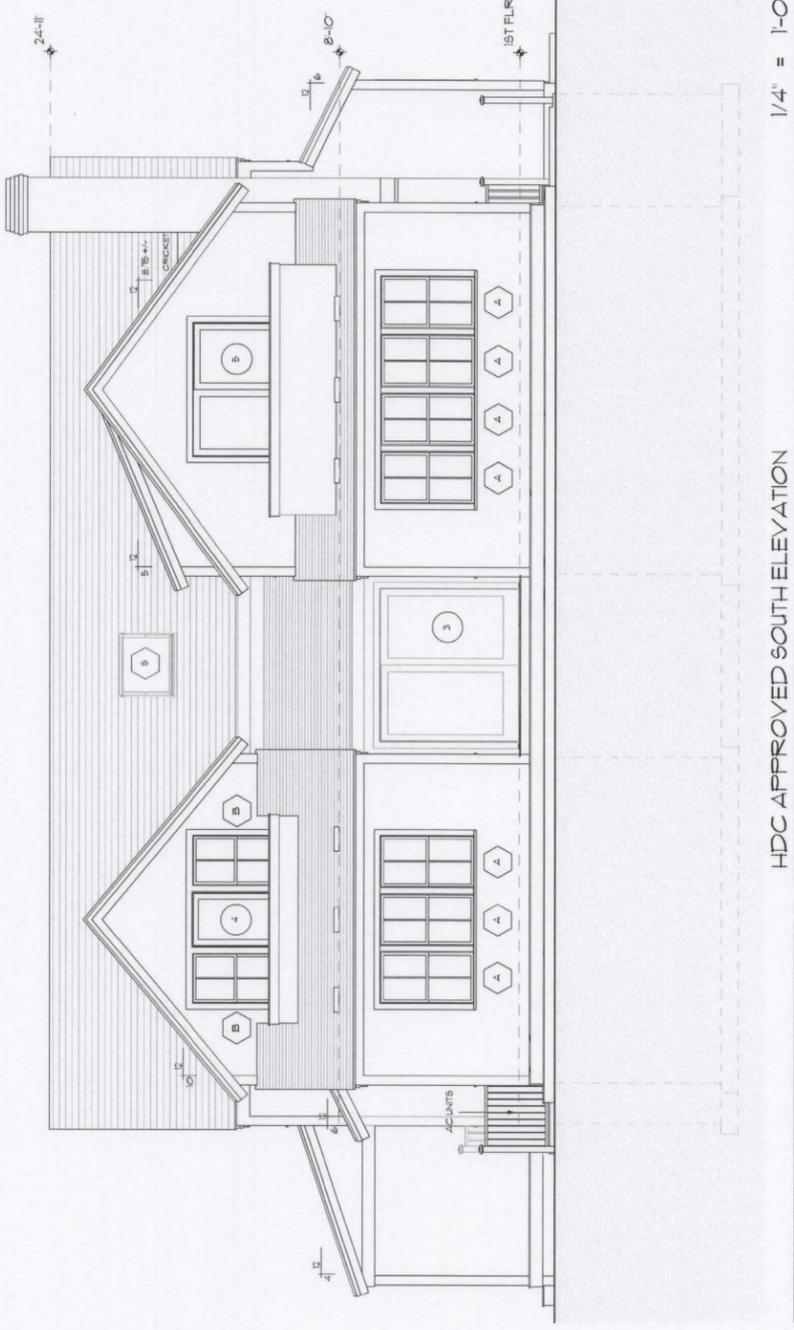
ORIGINAL PROPOSAL FOR RENOVATIONS TO EXISTING STRUCTURE
REFER TO CoA 63635



1/4" = 1'-0"

PROPOSED WEST ELEVATION

NEW PROPOSAL FOR NEW DWELLING



1/4" = 1'-0"

HDC APPROVED SOUTH ELEVATION

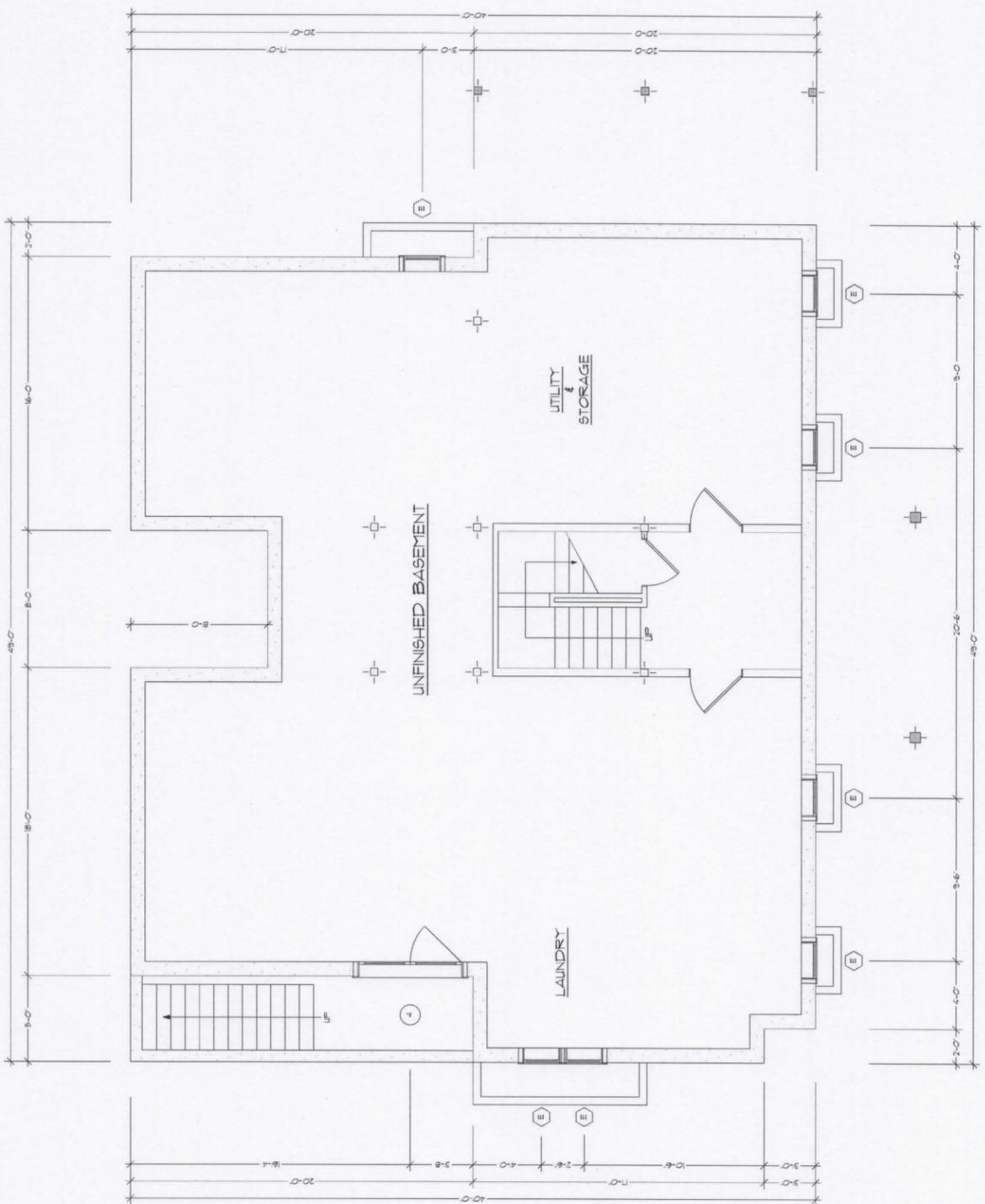
ORIGINAL PROPOSAL FOR RENOVATIONS TO EXISTING STRUCTURE
REFER TO CoA 63635



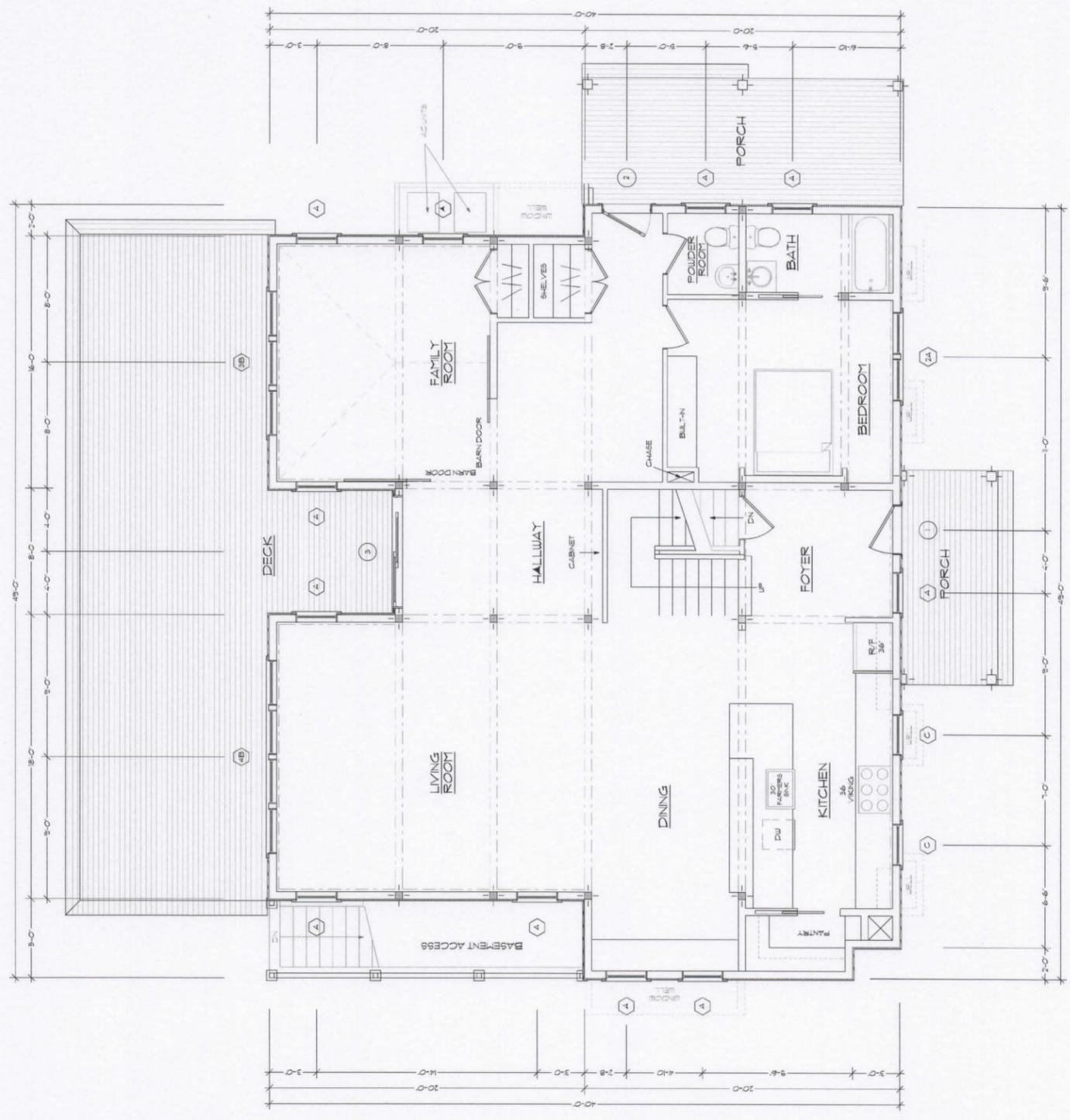
1/4" = 1'-0"

PROPOSED SOUTH ELEVATION

NEW PROPOSAL FOR NEW DWELLING



PROPOSED LOWER LEVEL FLOOR PLAN: 1750 S.F. +/- 1/4" = 1'-0"

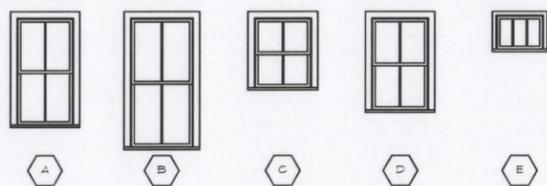


PROPOSED ENTRY LEVEL FLOOR PLAN: 1760 S.F. +/- 1/4" = 1'-0"

LIFSCHULTZ RESIDENCE
 3 MASSASOIT BRIDGE ROAD, NANTUCKET, MA
 WINDOW AND DOOR SCHEDULE

WINDOWS:

SYM.	QTY.	MFG & MODEL NO.	*ROUGH OPENING	LIGHT PATTERN	REMARKS
A	13	ANDERSEN ADH2850	2'-7 1/4" x 4'-11 1/4"	2/2	DOUBLE HUNG
B _T	7	ANDERSEN ADH3060	2'-11 1/4" x 5'-11 1/4"	2/2	DOUBLE HUNG; LOWER SASH TEMPERED
C	4	ANDERSEN ADH2834	2'-7 1/4" x 3'-3 1/4"	2/2	DOUBLE HUNG
D	9	ANDERSEN ADH2844	2'-7 1/4" x 4'-3 1/4"	2/2	DOUBLE HUNG
E	8	????			
S	2	VELUX VSE M06	2'-6 1/16" x 3'-9 1/4"	1 LIGHT	IMPACT RESISTANT GLAZING

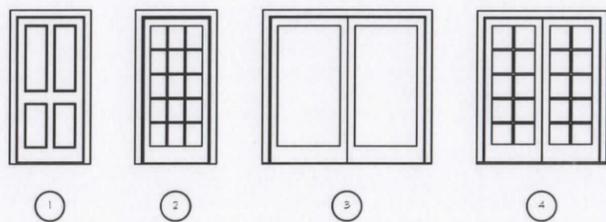


ANDERSEN A SERIES WINDOWS
 GLASS: LOW-E ARGON GAS,
 WFCM 110 EXPOSURE C
 DESIGN PRESSURE RATING: DP 60

DOORS:

NOMINAL OPENING

1	1	CUSTOM	3'-0" x 7'-0"	CUSTOM; WOOD, 4 PANEL
2	1	ANDERSEN FWHD 31611	3'-0" x 6'-11"	FRENCHWOOD 15 LIGHT
3	1	ANDERSEN FWGD 70611	7'-0" x 6'-11"	FRENCHWOOD SLIDING W/ SCREEN
4	1	ANDERSEN FWHD 60611	6'-0" x 6'-11"	FRENCHWOOD FRENCHWOOD SLIDING W/ SCREEN FRENCHWOOD 10 LIGHT



ANDERSEN A SERIES DOOR UNITS W/ SCREEN
 GLASS: 3/4" IMPACT RESISTANT GLAZING, TEMPERED,
 W/ LOW E 4 ARGON GAS
 WFCM 110 EXPOSURE C
 DESIGN PRESSURE RATING: DP 60