

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 41 PARCEL N°: 186  
Street & Number of Proposed Work: 5 Hedgebury Lane  
Owner of record: ACK RGH, LLC / Joseph Edward Norberg  
Mailing Address: 42 River Glen Road  
Wellesley, MA 02481  
Contact Phone #: 617.312.0352 E-mail: tnorberg@grandercapital.com

**AGENT INFORMATION (if applicable)**

Name: Gordon Clark III  
Mailing Address: 141 Main Street  
Yarmouthport, MA 02675  
Contact Phone #: 508.362.2210 E-mail: northside1@comcast.net

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other Paint trim white, add corner board to existing Guest House  
Size of Structure or Addition: Length: 48' Sq. Footage 1st floor: 1392 Decks/Patio: Size: 10' x 42'  1st floor  2nd floor  
Width: 46' Sq. Footage 2nd floor: 1103 Basement: 1075 Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: N/A

Difference between existing grade and proposed finish grade: North SAME South SAME East SAME West SAME  
Height of ridge above final finish grade: North 27' 11" South 27' 11" East 27' 11" West 27' 11"

**Additional Remarks**

REVISIONS: 1. East Elevation

Historic Name: \_\_\_\_\_ (describe) 2. South Elevation

Original Date: \_\_\_\_\_ 3. West Elevation

Original Builder: \_\_\_\_\_ 4. North Elevation

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other Natural weathered round stone veneer  
Roof Pitch: Main Mass 12/6 / 12/22 Secondary Mass 12/6 / 12/24 Dormer 12/6 / 12 Other Porch 12/5

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Red Cedar  
Fence: Height: 48"  
Type: White Capped Picket  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer N/A Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) N/A

Leaders (material and size): N/A

Sidewall:  White cedar shingles All Sides  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other Azek Painted White

B. Treatment  Paint  Natural to weather  Other White

C. Dimensions: Fascia 1 x 8 Rake 1 x 10 / 1 x 4 Soffit (Overhang) 8" Corner boards 1 x 6 - 1 x 5 Frieze 1 x 10

Window Casing 1 x 4 Door Frame Varies Columns/Posts: Round \_\_\_\_\_ Square 10"

Windows:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer Andersen

Doors\* (type and material):  TDL  SDL Front 4 Light Custom Rear French Doors Side 4 Light Custom

Garage Door(s): Type N/A Material \_\_\_\_\_

Hardscape materials: Driveways Crushed Stone Walkways Bluestone Walls N/A

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall Natural w.c. shingles Clapboard (if applicable) N/A Roof Red Cedar  
Trim White Sash White Doors White  
Deck Natural Mahogany Foundation Poured Concrete Fence White Shutters NA

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

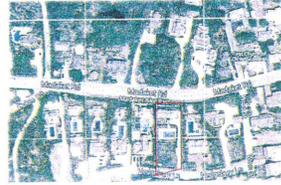
Date 4/27/16 Signature of owner of record [Signature] Signed under penalties of perjury

**PLAN REFERENCE:**

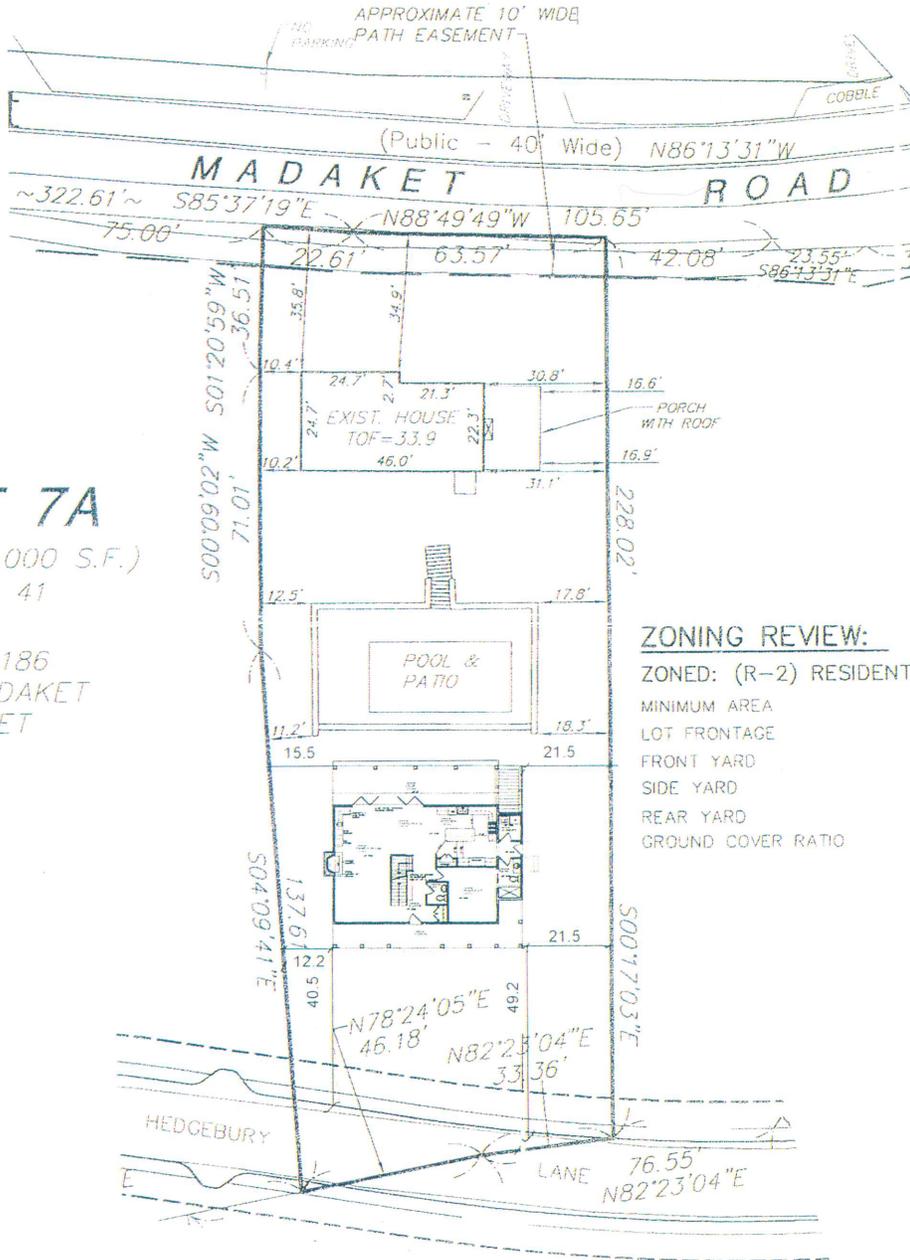
1. ANR PLAN OF LAND, LOTS 1 - 12 MADAKET ROAD, WINN STREET AND VESTAL STREET EXTENSION IN NANTUCKET, MA, PREPARED FOR MICHAEL W. C. EMERSON, PREPARED BY DAYLOR CONSULTING GROUP, INC. DATED JUNE 23, 2005, RECORDED AS PLAN 53 OF 2006.

**GENERAL NOTES:**

1. LOCUS IS SHOWN AS LOT 186, MAP 41, TOWN OF NANTUCKET ASSESSORS' MAPS.



LOCUS MAP



**LOT 7A**  
(AREA=20,000 S.F.)  
MAP 41

LOT 186  
# 12 MADAKET  
STREET

**ZONING REVIEW:**

ZONED:	(R-2) RESIDENTIAL 2
MINIMUM AREA	20,000 S.F.
LOT FRONTAGE	75'
FRONT YARD	30'
SIDE YARD	10'
REAR YARD	10'
GROUND COVER RATIO	12.5%

**PURPOSE**

THE PURPOSE OF THIS PLAN IS TO SHOW THE LOCATION OF THE EXISTING BUILDING IN RELATION TO THE PROPERTY LINES, BASED ON AN ON-THE-GROUND SURVEY PERFORMED IN MAY 2007. THE PROPOSED PLAN SHOWS THE ADDITION OF THE PROPOSED MAIN HOUSE.

**PREPARED FOR:**

TED NORBERG  
40 RIVER GLEN ROAD  
WELLESLEY, MA 02481

SCALE: 1"=30'

**PROPOSED SITE PLAN**  
**LOT 7A (# 5 HEDGEBURY LANE )**  
**NANTUCKET, MA**

1. ALL EXTERIOR WALLS SHALL BE 2X6 @ 16" O.C. UNLESS OTHERWISE NOTED.
2. ALL INTERIOR WALLS SHALL BE 2X4 @ 16" O.C. UNLESS OTHERWISE NOTED.
3. CONTRACTOR SHALL VERIFY ALL WINDOW SMOOTH OPENINGS PRIOR TO ORDERING WINDOWS.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. CONTRACTOR ASSUMES RESPONSIBILITY FOR ANY MISSING OR INCORRECT DIMENSIONS NOT BROUGHT TO THE ATTENTION OF THE DESIGNER.

GENERAL NOTES

NO.	REVISION	DATE

CONTRACTOR NORTHSIDE DESIGN ASSOCIATES EXPRESSLY RESERVES THE COPYRIGHT AND ALL OTHER RIGHTS IN THESE PLANS AND THEY ARE NOT TO BE REPRODUCED, COPIED, OR OTHERWISE TRANSMITTED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF NORTHSIDE DESIGN ASSOCIATES.

BUILDER:

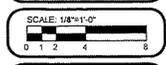
DESIGNER:  

**NORTHSIDE DESIGN ASSOCIATES**  
 DISTRICTS: RESIDENTIAL & COMMERCIAL DESIGN  
 141 MAIN STREET • YARMOOUTHPORT • MA 02875  
 (508) 342-2210 (508) 342-9402  
 NORTHSIDEDESIGN.COM  
 NORTHSD@GMAIL.COM

STRUCTURAL ENGINEER:  
**TAYLOR DESIGN LLC**  
 STAMP:

PROJECT: PROPOSED  
**NORBERG RESIDENCE**  
 5 HEDGEBURY LANE  
 NANTUCKET, MA.

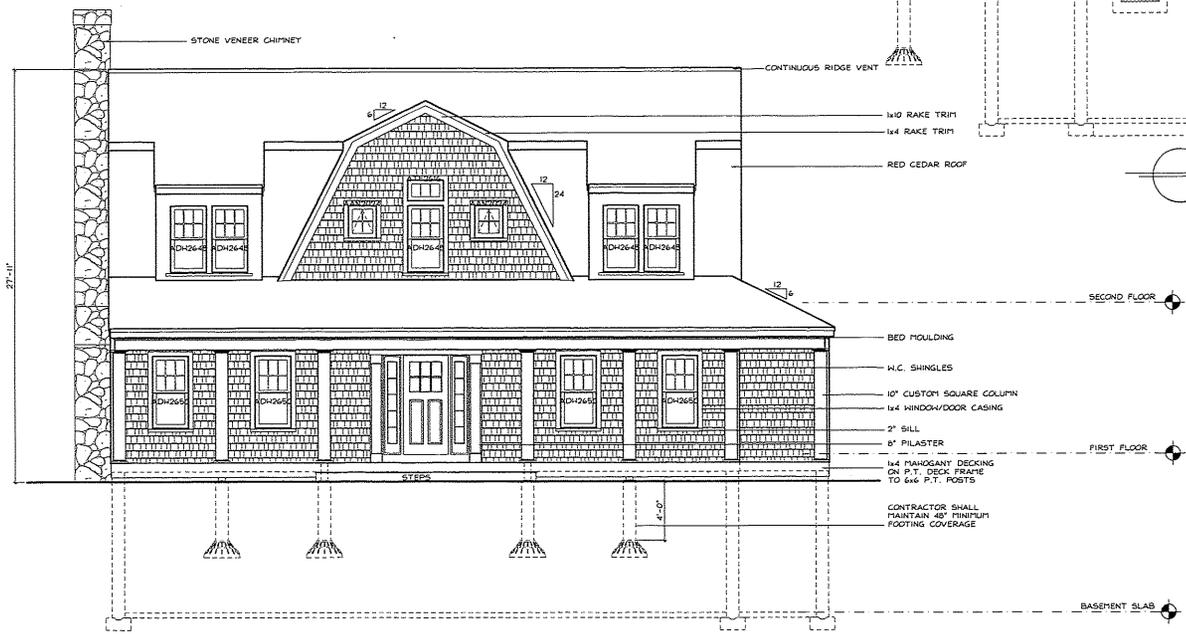
TITLE:  
**ELEVATIONS**



PROJECT #:	SHEET
15-30	<b>A.4</b>
DATE:	OF
2/16/16	<b>5</b>



RIGHT ELEVATION



FRONT ELEVATION

- CONTINUOUS RIDGE VENT
- 1/4" RAKE TRIM
- 1/4" RAKE TRIM
- RED CEDAR ROOF
- BED MOULDING
- H.C. SHINGLES
- 10" CUSTOM SQUARE COLUMN
- 1/4" WINDOW/DOOR CASING
- 2" SILL
- 2" PLASTER
- 1/4" PIANO/GRANTY DECKING ON P.T. DECK FRAME TO 6x6 P.T. POSTS
- CONTRACTOR SHALL MAINTAIN 48" MINIMUM FOOTING COVERAGE

27'-11"

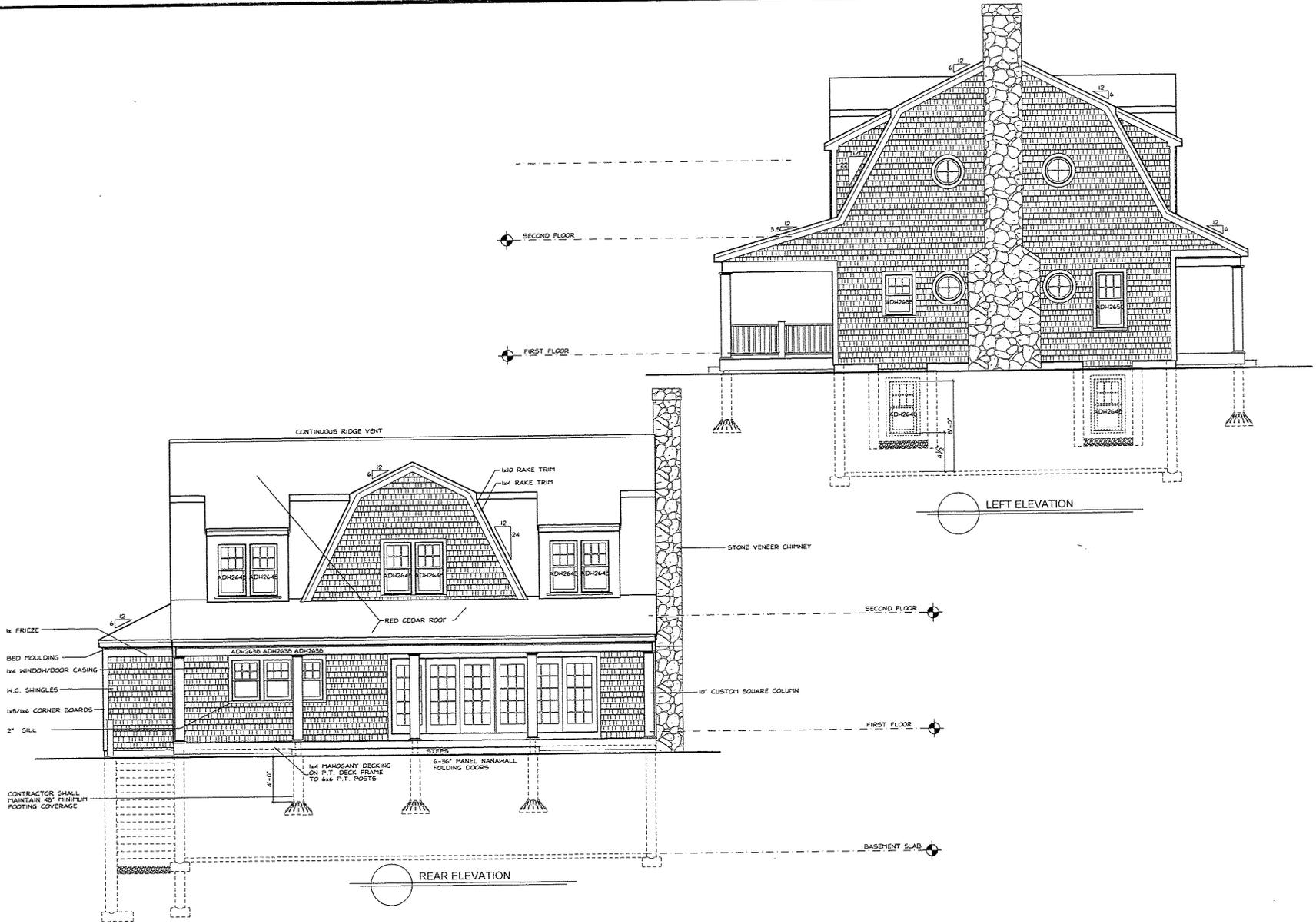
SECOND FLOOR

FIRST FLOOR

SECOND FLOOR

FIRST FLOOR

BASEMENT SLAB



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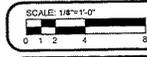
DESIGNER: **NORTHSIDE DESIGN ASSOCIATES**  
 141 MAIN STREET • NANTUCKETPORT • MA 02567  
 (508) 342-2210 (508) 342-9802  
 NORTHSIDEDESIGN.COM  
 NORTHSIDE@NORTHSIDE.COM

STRUCTURAL ENGINEER:  
**TAYLOR DESIGN LLC**

STAMP

PROJECT:  
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