

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 42 PARCEL N<sup>o</sup>: 4.2-87  
Street & Number of Proposed Work: 7 NORTH WATER ST  
Owner of record: 7 N. WATER ST REALTY TRUST  
Mailing Address: PO BOX 1436  
NANTUCKET MA 02554  
Contact Phone #: 508 292 0665 E-mail: robelt.nantucket@gmail.com

**AGENT INFORMATION (if applicable)**

Name: ROBERT SARKISIAN  
Mailing Address: 24 MACYS LN  
NANTUCKET, MA 02554  
Contact Phone #: 508 292 0665 E-mail: robelt.nantucket@gmail.com

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other: Removal - existing portion of fence/gate  
Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_ (describe) \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A  
**REVISIONS:** 1. East Elevation  
2. South Elevation add steel drive way - 2 stacked spaces. brick side walk to Roman's space is 6 feet wide - and be 4 feet deep - fence/gate is being removed.  
3. West Elevation  
4. North Elevation  
\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Paired Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): \_\_\_\_\_  
Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
Hardscape materials: Driveways WHITE GRILL Walkways \_\_\_\_\_ Walls \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

\* Note: Complete door and window schedules are required.

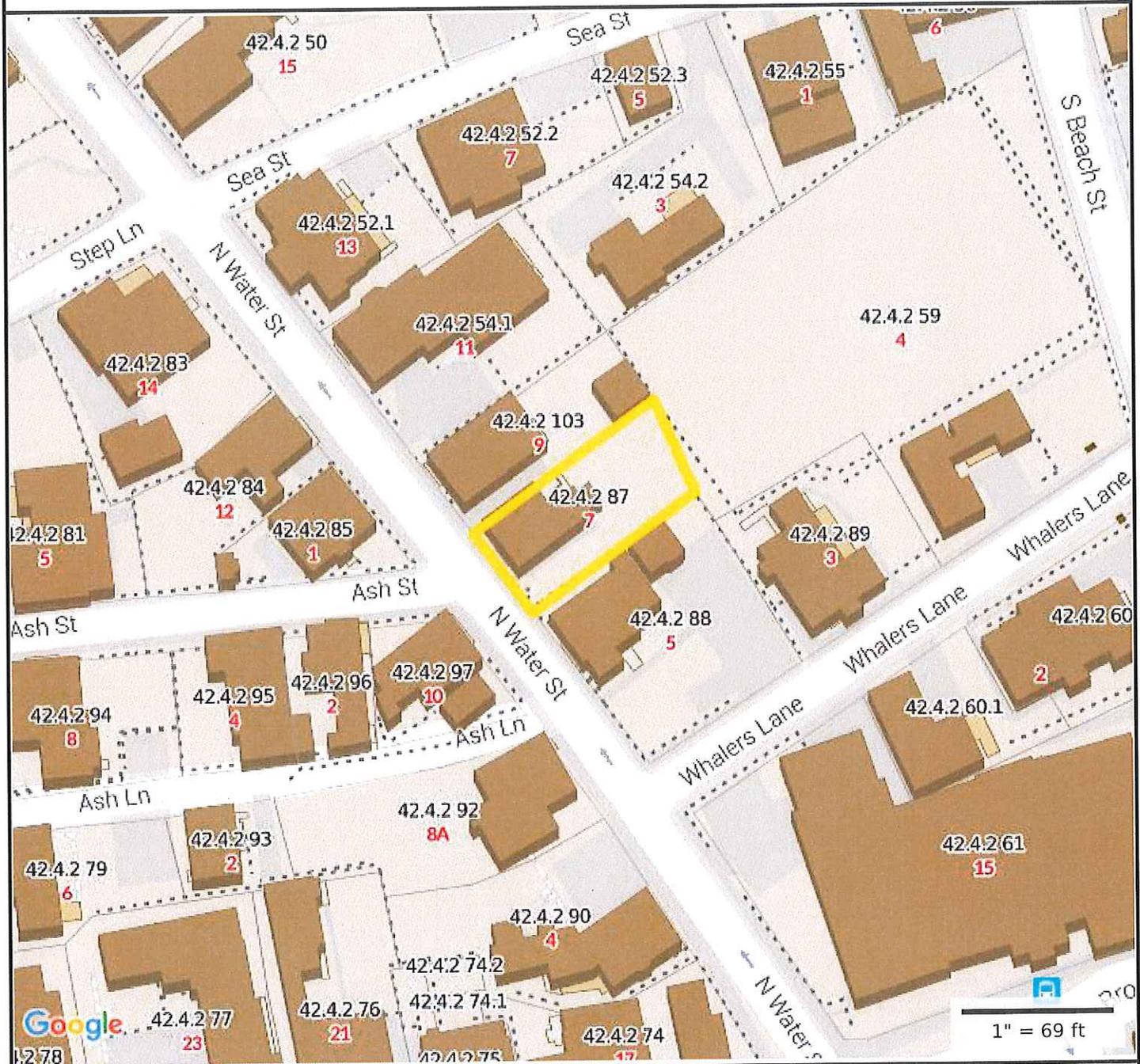
**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/9/16 Signature of owner of record Dana Vasconcelos Signed under penalties of perjury



**Property Information**

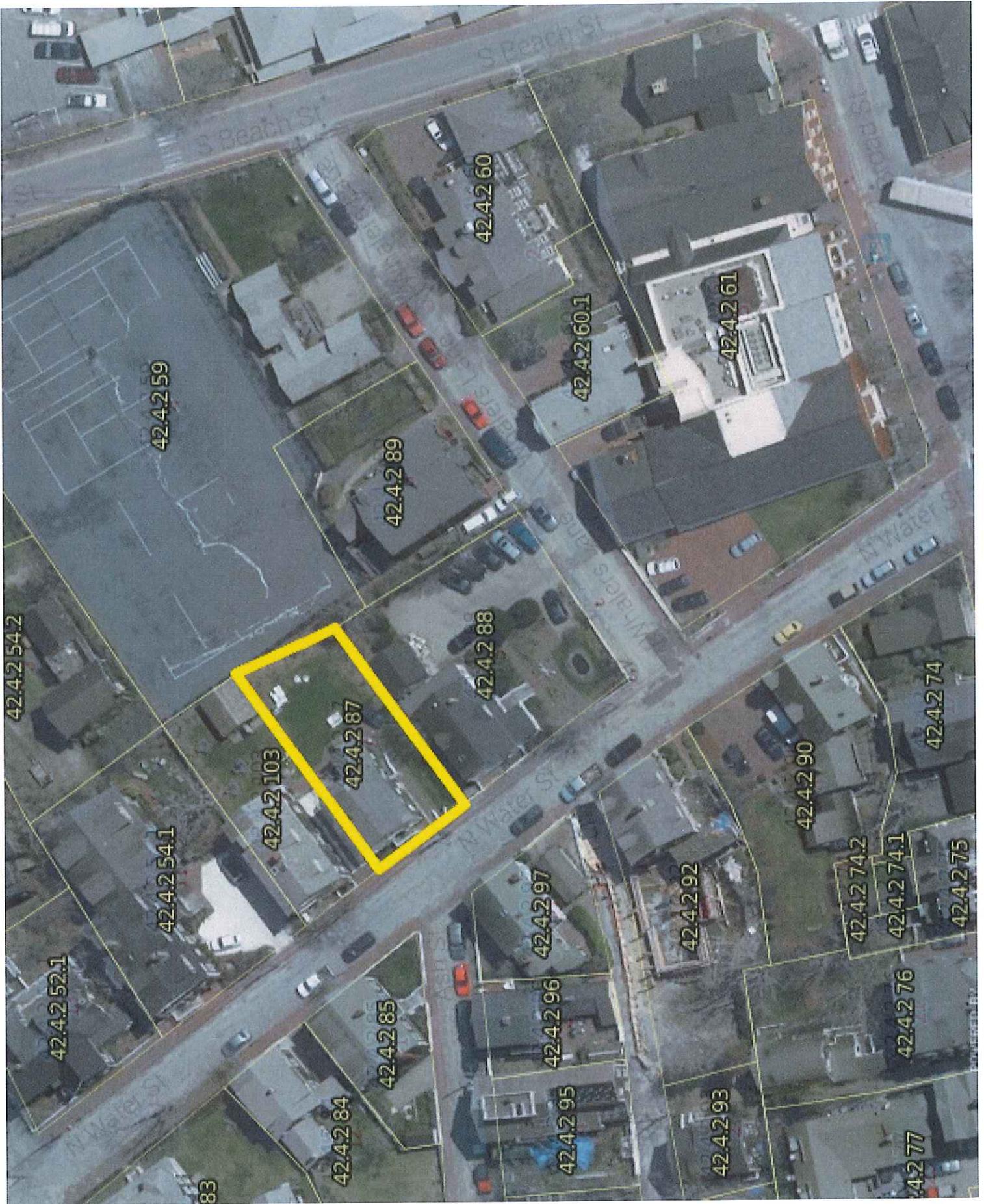
**Property ID** 42.4.2 87  
**Location** 7 N WATER ST  
**Owner** OREILLY SARA S TR



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014  
Properties updated January, 2015





N/F  
NANTUCKET YACHT CLUB, INC.  
42.4.2-59

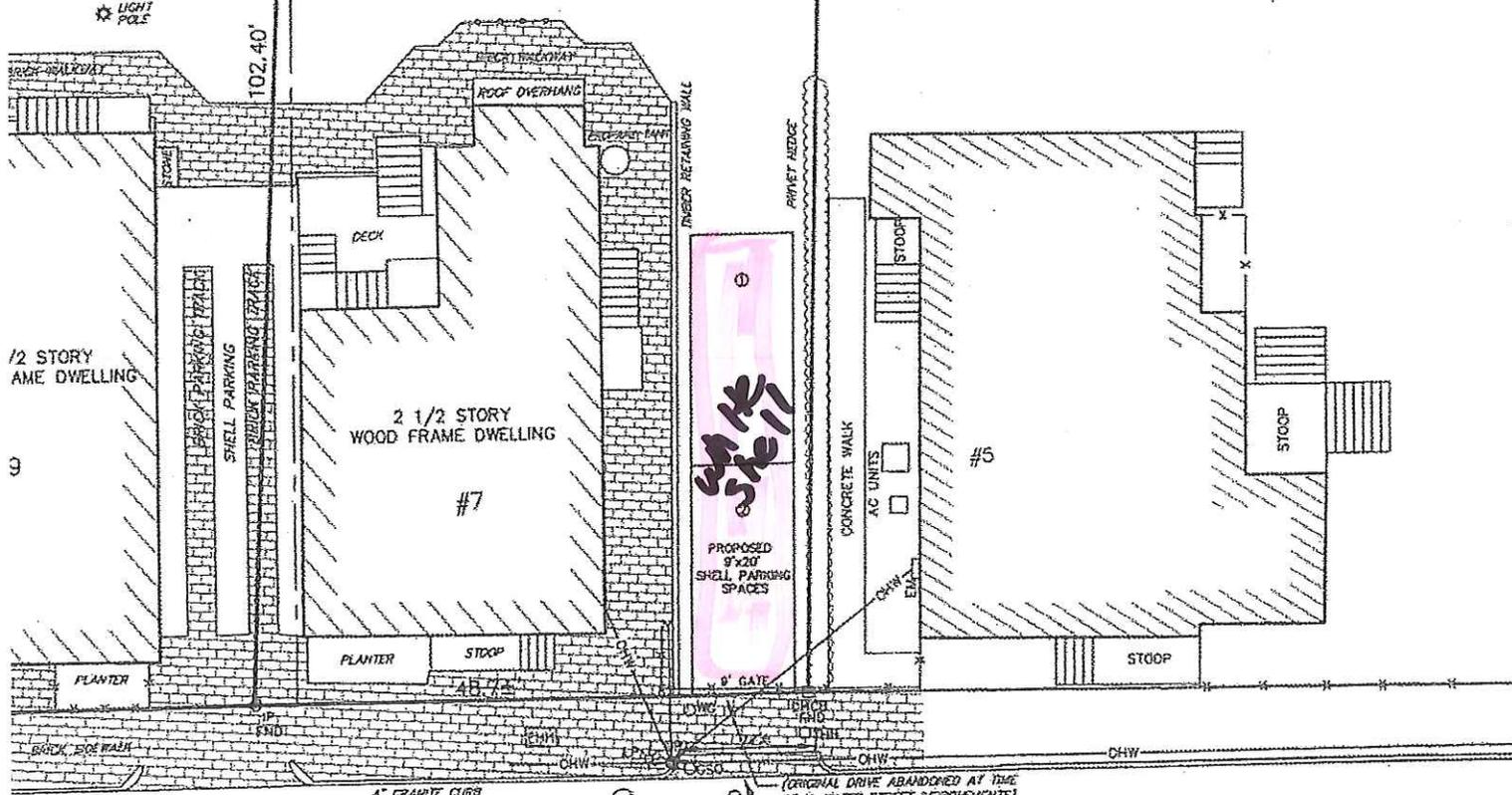
CHAIN LINK FENCE



N/F  
SLOSSER O'REILLY, TRUSTEE OF  
TH WATER STREET REALTY TRUST  
42.4.2-103

EASEMENT BENEFITTING  
#9 NORTH WATER STREET  
Dd. Bk. 1145, Pg. 115  
Dd. Bk. 1529, Pg. 227

N/F  
NANTUCKET THEATRE  
PROJECT LLC  
42.4.2-88



1/2 STORY  
FRAME DWELLING

2 1/2 STORY  
WOOD FRAME DWELLING  
#7

#5

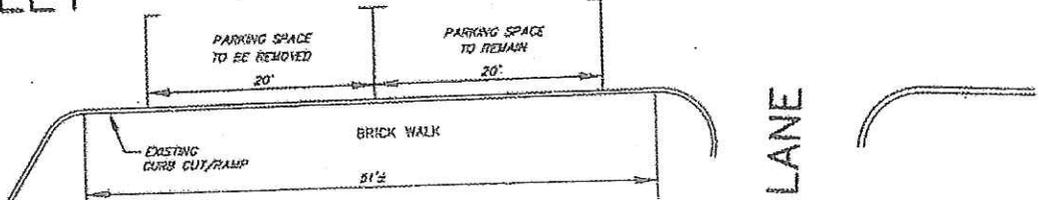


# NORTH WATER STREET

(PUBLIC-1799 ROAD) (CORBBLE)

← ONE WAY

STREET



PARKING SPACE  
TO BE REMOVED  
20'

PARKING SPACE  
TO REMAIN  
20'

BRICK WALK

EXISTING  
CURB CUT/RAMP

51'2"

LANE

(ORIGINAL DRIVE ABANDONED AT TIME  
OF N. WATER STREET IMPROVEMENTS)  
PROPOSED RAMP & CURB (2" RADIUS)



N/Y  
NANTUCKET YACHT CLUB, INC.  
42.4.2-59

CHAIN LINK FENCE



47.1'±

TIMBER RETAINING WALL

DHCB FND

7.1'

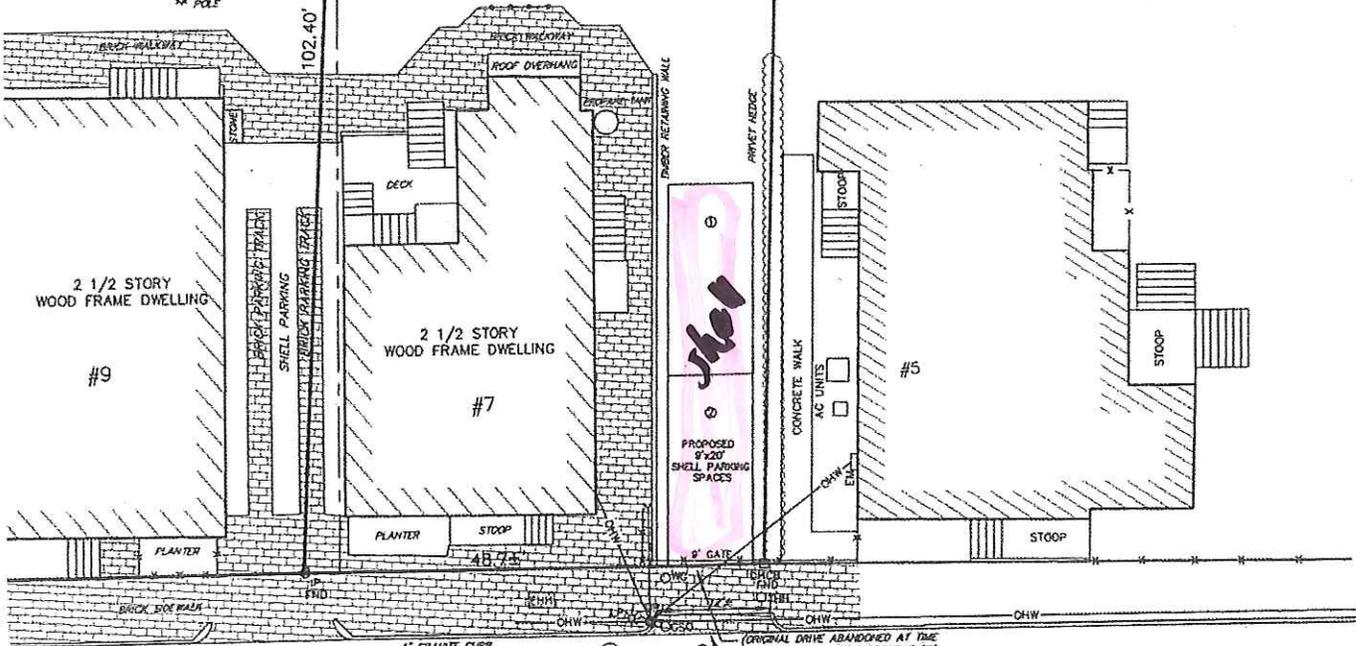
93.12'

N/Y  
SARA SHLOSSER O'REILLY, TRUSTEE OF  
9 NORTH WATER STREET REALTY TRUST  
42.4.2-103

EASEMENT BENEFITTING  
#9 NORTH WATER STREET  
Dd. Bk. 1146, Pg. 115  
Dd. Bk. 1529, Pg. 227

N/Y  
NANTUCKET THEATRE  
PROJECT LLC  
42.4.2-88

LIGHT  
POLE



NORTH WATER STREET

(PUBLIC-1799 ROAD) (COBBLE)

ONE WAY

ASH STREET

ASH LANE

PARKING SPACE  
TO BE REMOVED  
20'

PARKING SPACE  
TO REMAIN  
20'

EXISTING  
CURB CUT/RAMP

BRICK WALK

91'±

(ORIGINAL DRIVE ABANDONED AT TIME  
OF N. WATER STREET IMPROVEMENTS)  
PROPOSED RAMP & CURB (2' RADIUS)

CURB CUT/ DRIVEWAY ACCESS  
PERMIT PLOT PLAN  
#7 NORTH WATER STREET  
IN  
NANTUCKET, MASSACHUSETTS



## 7 North Water Street

Remove existing portion of white Gate and Fence to accommodate two 9' x 20' tandem (stacked) parking spaces.  
The driveway will be white shell.



Rear view of 7 North Water Street

Driveway will go to the left of the brick walk way

The existing white gate will be removed



Brass Lantern Guest House

11 North Water Street

white shell driveway



SEA ST

ASH ST

N WATER ST

ASH LN

WHALERS LN

2013

BROAD ST