

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 43 PARCEL N°: 94.6  
Street & Number of Proposed Work: 10 PIPPENS WAY  
Owner of record: PIPPENS WAY LLC  
Mailing Address: 10 PIPPENS WAY  
NANTUCKET MA  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: NANTUCKET ARCH. CORP LTD  
Mailing Address: PO BOX 1814  
NANTUCKET MA  
Contact Phone #: 228-5031 x 2 E-mail: \_\_\_\_\_  
SCUE@NANTUCKETARCHITECTURE.COM

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. 64080  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other Garage Door  
Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

-historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A  
**REVISIONS\*** 1. East Elevation  
2. South Elevation  
3. West Elevation  
4. North Elevation OVER HEAD GARAGE DOOR REVISION  
\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type OH DOOR Material RED CEDAR  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

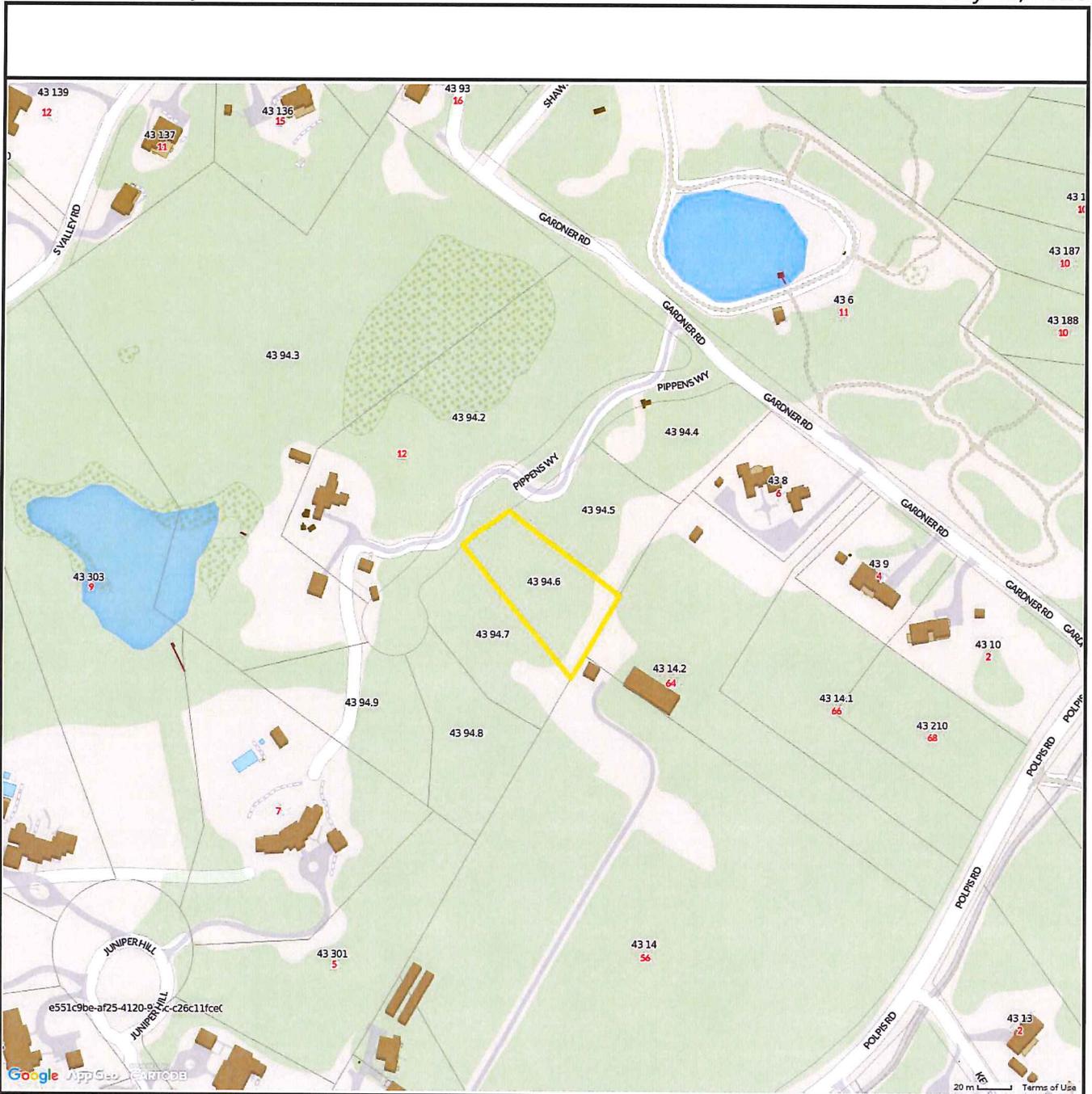
Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors EMERALD GREEN  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/16/18 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury

2016 MAY 25 PM 2:27



**Property Information**

**Property ID** 43 94.6  
**Location** 10 PIPPENS WY  
**Owner** PIPPENS WAY LLC

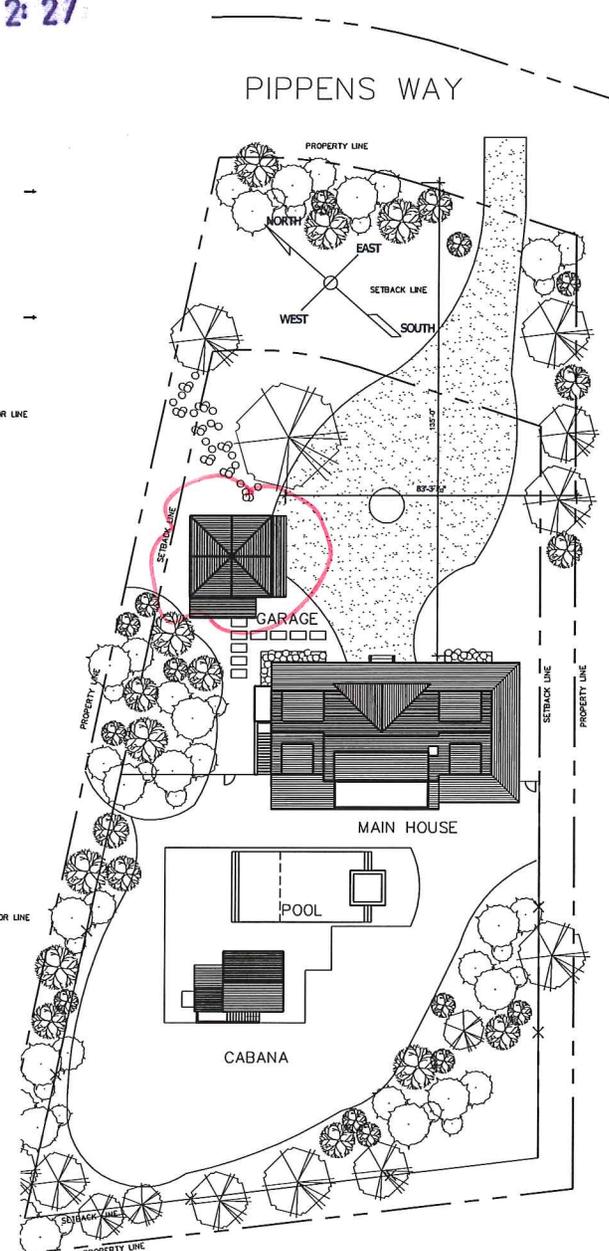
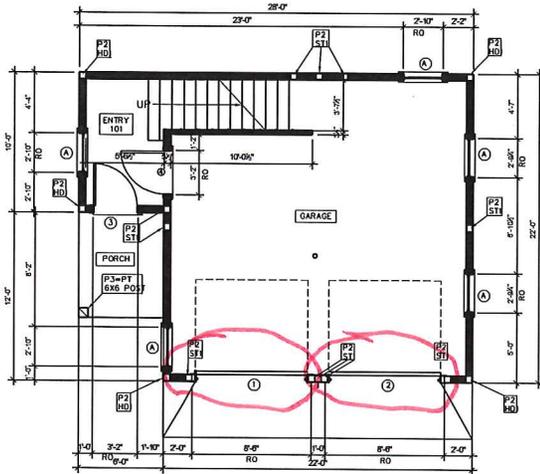


**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014  
Properties updated January, 2015

2016 MAY 25 PM 2: 27



NANTUCKET ARCHITECTURE GROUP LTD.  
 POST OFFICE BOX 1814  
 NANTUCKET, MASSACHUSETTS, 02554  
 TELEPHONE 508.228.5631  
 WWW.NANTUCKETARCHITECTURE.COM

NEW RESIDENCE FOR:  
 PIPPENS WAY LLC  
 10 PIPPENS WAY  
 MAP: 43 PARCEL: 94.6

FLOOR PLANS  
 STRUCTURAL PLANS  
 SCALE: 1/4" = 1'-0"

HDC: 13, APRIL, 2015  
 BIDDING:  
 BLDG. DEPT: 17, AUG. 2015  
 REVISIONS:  
 REVISIONS:  
 REVISIONS:  
 D/B: 1504.02.1035

A2

The Genuine. The Original.



Signed approval of this design is required prior to acceptance and/or entry of a sales order. Approval must be returned to source of your quotation. Minor finish preparation may be required. To validate warranty, manufacturer's finishing instructions must be followed (available on product label and/or Owner's Manual upon request). Differences in grain and color variation are inherent in natural wood products. These are not considered defects and will not be held under warranty.

Customer:  
ODC CAPE COD

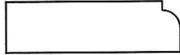
Approval No.:  
CH16-0632

Project:  
WELLEN

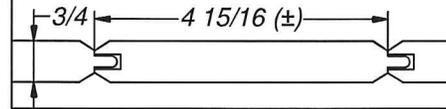
Date:  
3/15/16

Drawn By:  
KWP

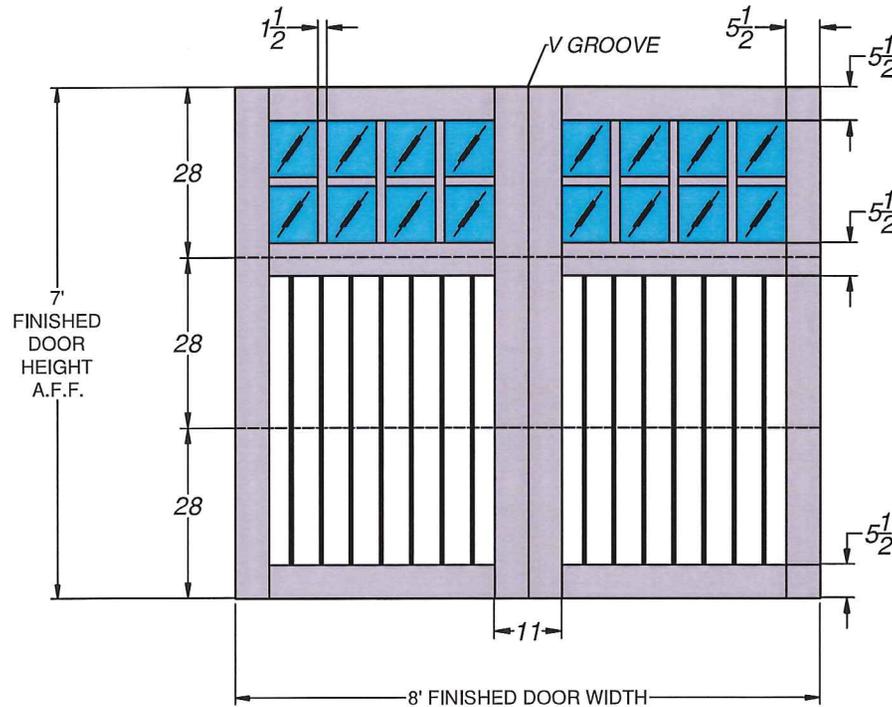
X \_\_\_\_\_  
APPROVAL  
SIGNATURE



\* COPED \*



6" WESTERN RED CEDAR  
V-GROOVE SIDING (TYP.)



Model: 588	Door Width (Ft -In): 8-0	Door Height (Ft -In): 7-0	No. Sections: 3	No. Panels: 2	Exterior Surface: 3/4" X 6" WRC T&G	Trim Overlay: SMOOTH WESTERN RED CEDAR
Top Section Design: GLAZED SQUARE TOP	Glazing Type: 1/8" DSB	Qty of Lites: 16	Lite Dividers: TRUE CROSS DIVIDED	Finishing (By Others): STAIN GRADE		