

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**  
for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 42.3.4 PARCEL N<sup>o</sup>: 60  
Street & Number of Proposed Work: 11 QUINCE ST  
Owner of record: Susan Einbinder  
Mailing Address: 11 QUINCE ST  
NANTUCKET, MA, 02554  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: Emeritus Development  
Mailing Address: 8 Williams Ln  
Nantucket, MA 02554  
Contact Phone #: 508 325 4995 E-mail: matt@emeritusdevelopment.com

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling     Addition     Garage     Driveway/Apron     Commercial     Historical Renovation     Deck/Patio     Steps     Shed
  - Color Change     Fence     Gate     Hardscaping     Move Building     Demolition     Revisions to previous Cert. No. \_\_\_\_\_
  - Pool (Zoning District \_\_\_\_\_)     Roof     Other WINDOW CHANGES, ADD WALKOUT, PEAV ROOF & COVERED PORCH
- Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: The Terry's  
Original Date: BEFORE 1949 - AFTER 1923 (describe)  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

**REVISIONS:**

1. East Elevation RELOCATE WINDOW, ADD WINDOW
  2. South Elevation ADD BASEMENT WALKOUT & PEAV ROOF
  3. West Elevation ADD COVERED PORCH, PEAV ROOF, WALKOUT BASE EXISTING GRADE
  4. North Elevation ADD COVERED PORCH, PEAV ROOF, WALKOUT
- \*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed N/A  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) N/A  Other \_\_\_\_\_  
Roof Pitch: Main Mass /12 Secondary Mass /12 Dormer /12 Other COVERED PORCH 3/12 PEAV ROOF  
Roofing material:  Asphalt  3-Tab  Architectural EXISTING  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer N/A Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side  \_\_\_\_\_  
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) ±5 1/2" Corner boards EXISTING Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear Double French 12 Lite Side Single French 12 Lite

Garage Door(s): Type N/A Material \_\_\_\_\_

Hardscape materials: Driveways N/A Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**EXISTING/NO CHANGE**

**COLORS**

Sidewall NATURAL Clapboard (if applicable) N/A Roof BLACK  
Trim WHITE Sash WHITE Doors PATIO DOORS WHITE  
Deck NATURAL Foundation GREEN Fence N/A Shutters N/A

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 06/08/16

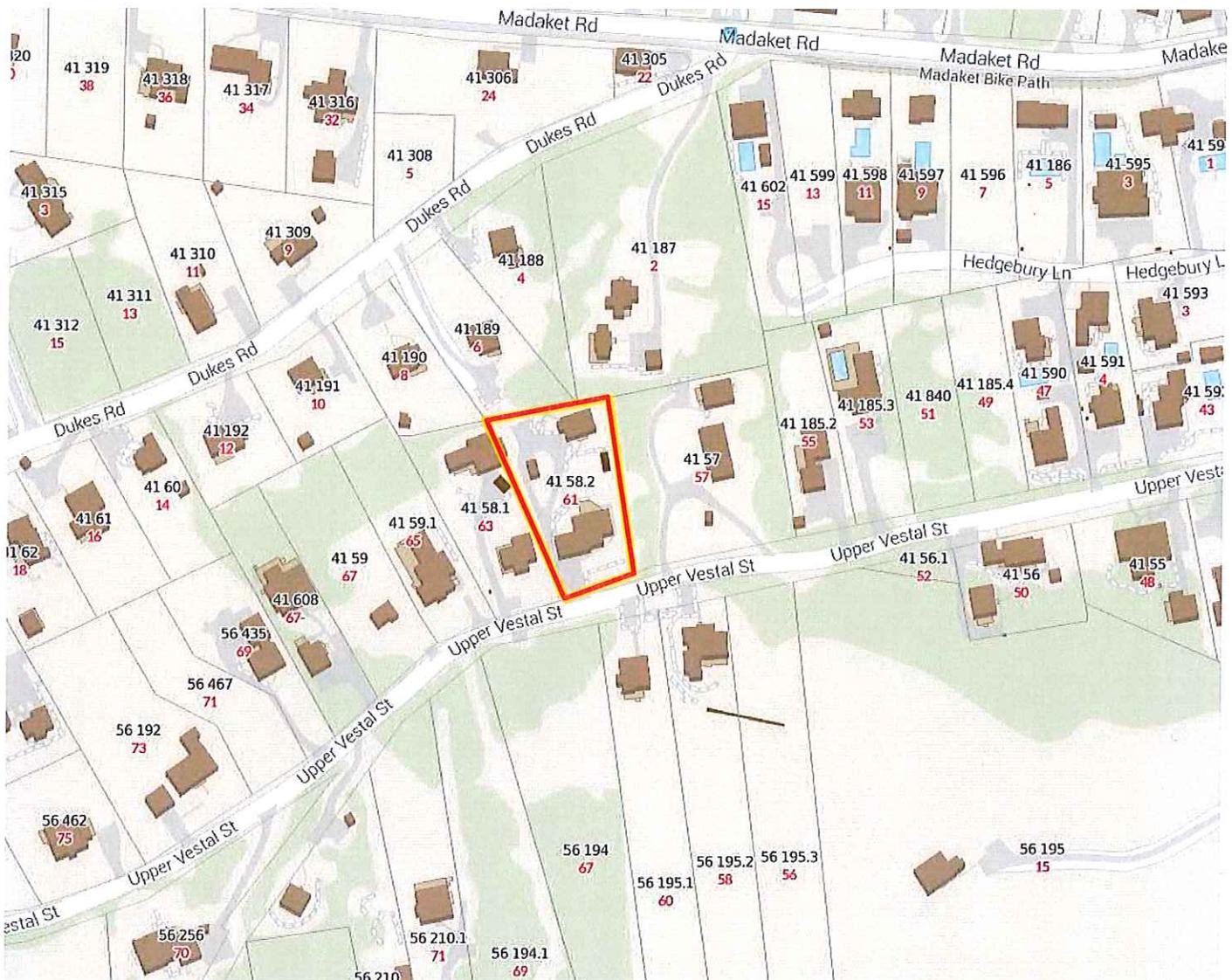
Signature of owner of record \_\_\_\_\_

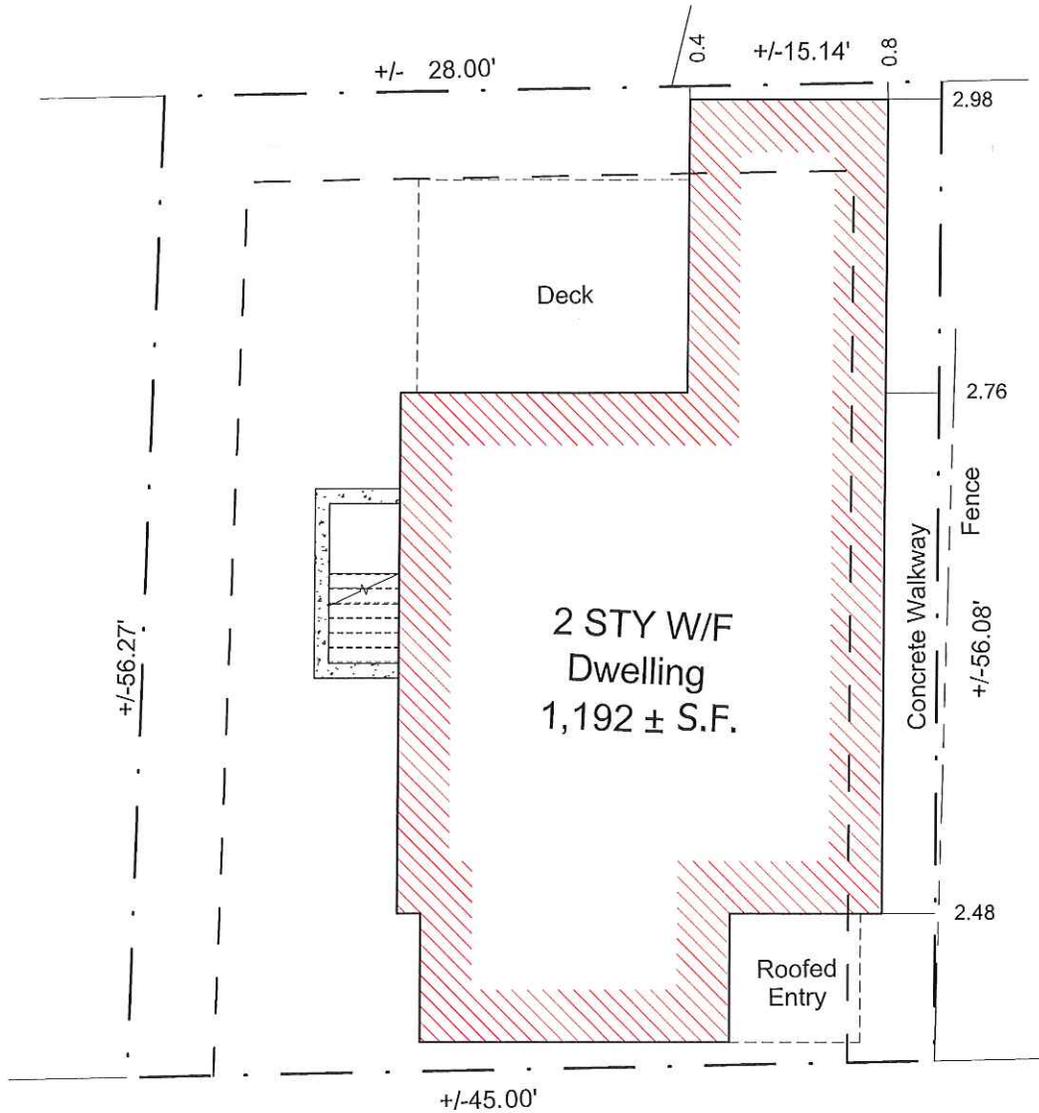
Signed under penalties of perjury

# Einbinder Residence

11 Quince Street

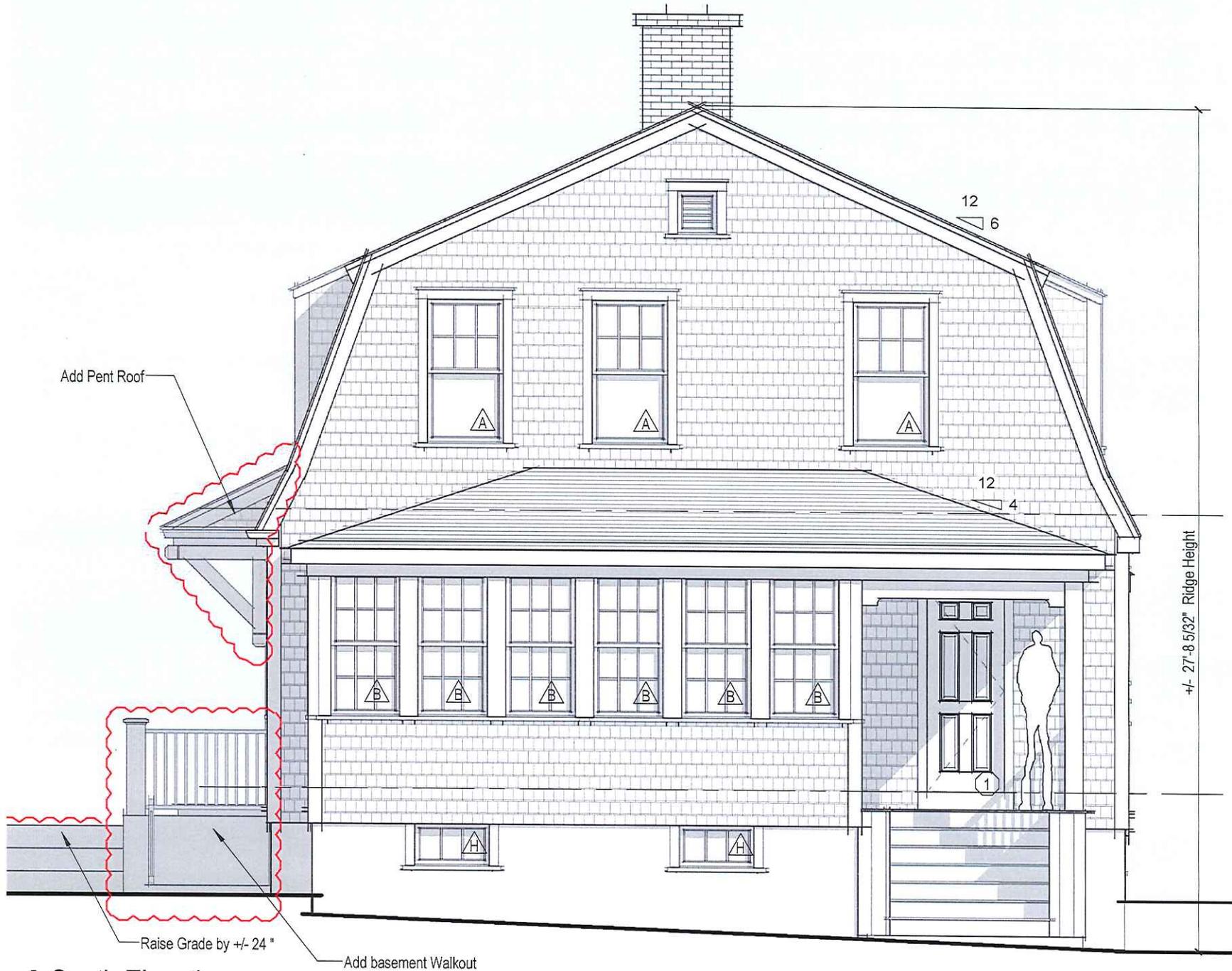
Nantucket, MA 02554





QUINCE STREET

Note : This Site plan was not provided by Professional Land Surveyor and should not be used for construction. The Site Plan Drawing was created from scanned plot plan Deed: Bk 564 Pg 223 Plan: None Found. Pending as-built site plan.



**1** South Elevation

1/4" = 1'-0"

Add Pent Roof

Raise Grade by +/- 24"

Add basement Walkout

+/- 27'-8 5/32" Ridge Height

12  
6

12  
4

A

A

A

B

B

B

B

B

B

1

H

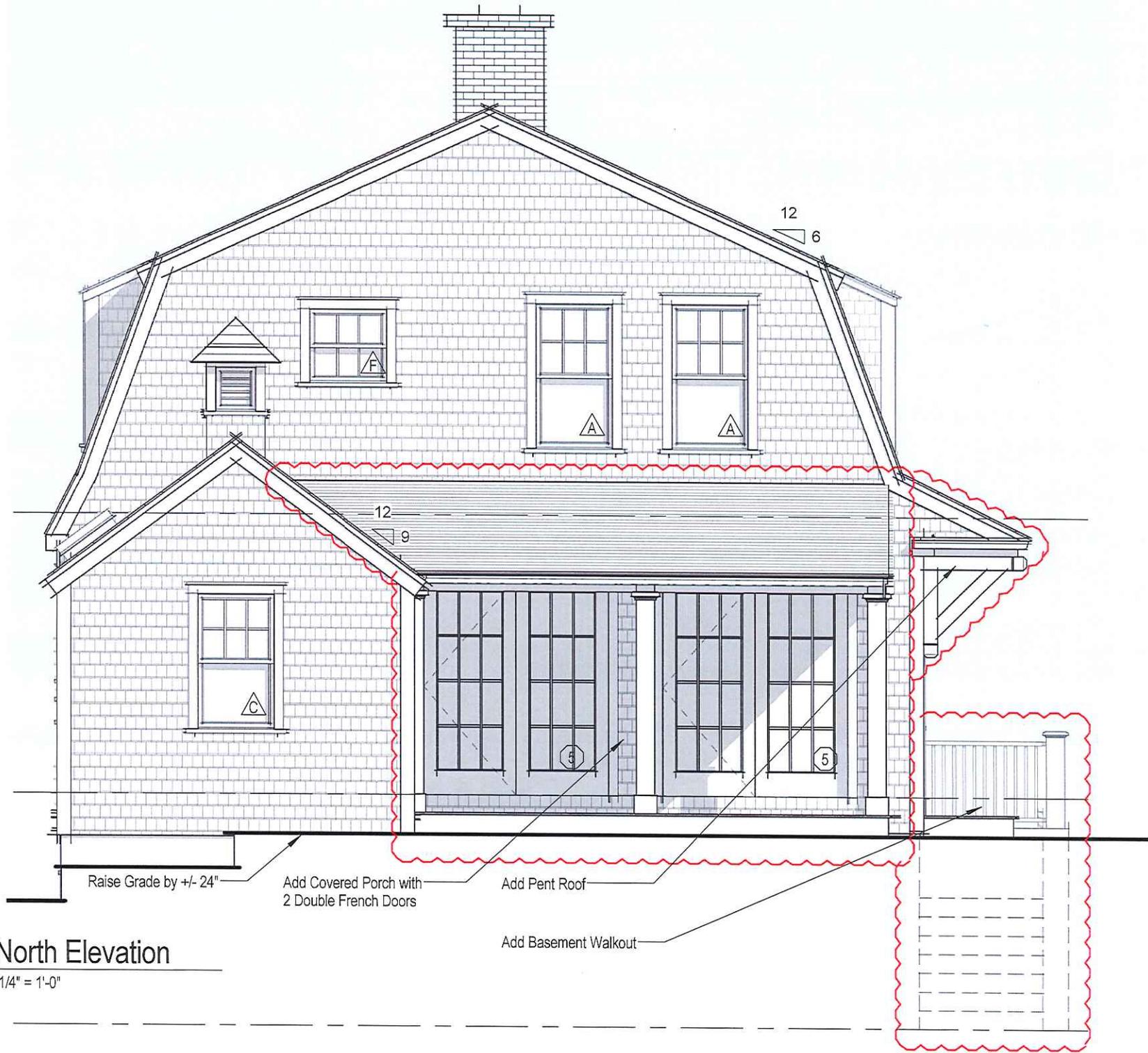
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Add Window

Shift Window  
8" to Right

2 East Elevation  
1/4" = 1'-0"



# 3 North Elevation

1/4" = 1'-0"

Raise Grade by +/- 24"

Add Covered Porch with  
2 Double French Doors

Add Pent Roof

Add Basement Walkout

12  
9

12  
6

F

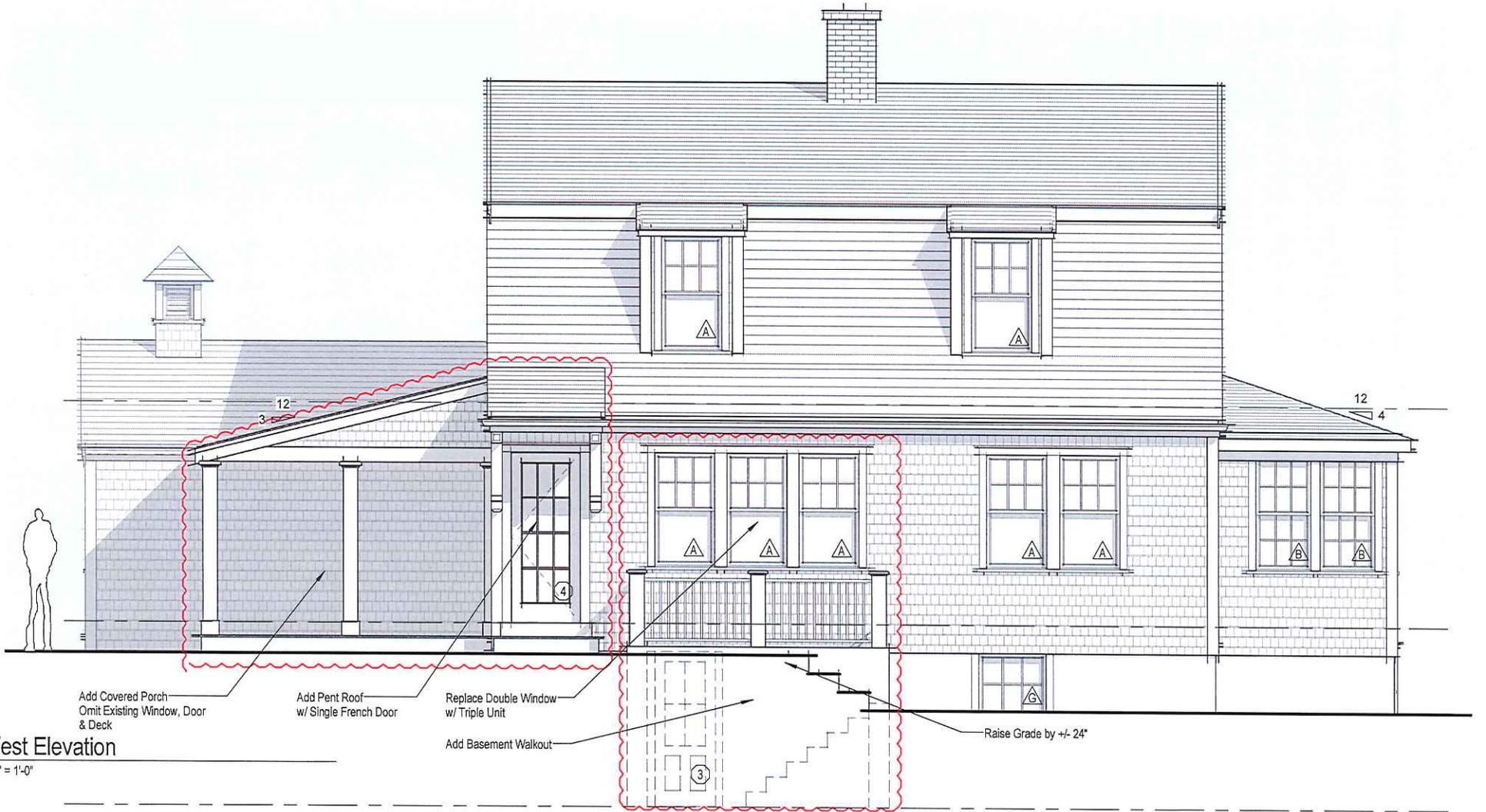
A

A

C

5

5



**4** West Elevation  
 1/4" = 1'-0"

Add Covered Porch  
 Omit Existing Window, Door  
 & Deck

Add Pent Roof  
 w/ Single French Door

Replace Double Window  
 w/ Triple Unit

Add Basement Walkout

Raise Grade by +/- 24"

12/3

12/4

A

A

A

A

A

A

A

B

B

G

3

4