

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 42.3.1 PARCEL N°: 45
 Street & Number of Proposed Work: 14R ORANGE ST.
 Owner of record: HAMATHA REALTY TRUST-DAVID KING
 Mailing Address: 53 Round Hill Road
Greenwich, CT 06831
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: ETHAN McMORROW
 Mailing Address: PO BOX 1052
NANTUCKET, MA 02554
 Contact Phone #: 508-228-0456 E-mail: ETHAN67@COMCAST.NET

FOR OFFICE USE ONLY

Date application received: 5/25/16 Fee Paid: \$ Ø
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other 5' to 6' retaining wall to replace existing @ ~95'±
 Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____
 Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
 Original Date: _____
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls 95' retaining wall to match existing

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors NATURAL
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/25/16 Signature of owner of record _____ Signed under penalties of perjury

Attorney for client



Property Information

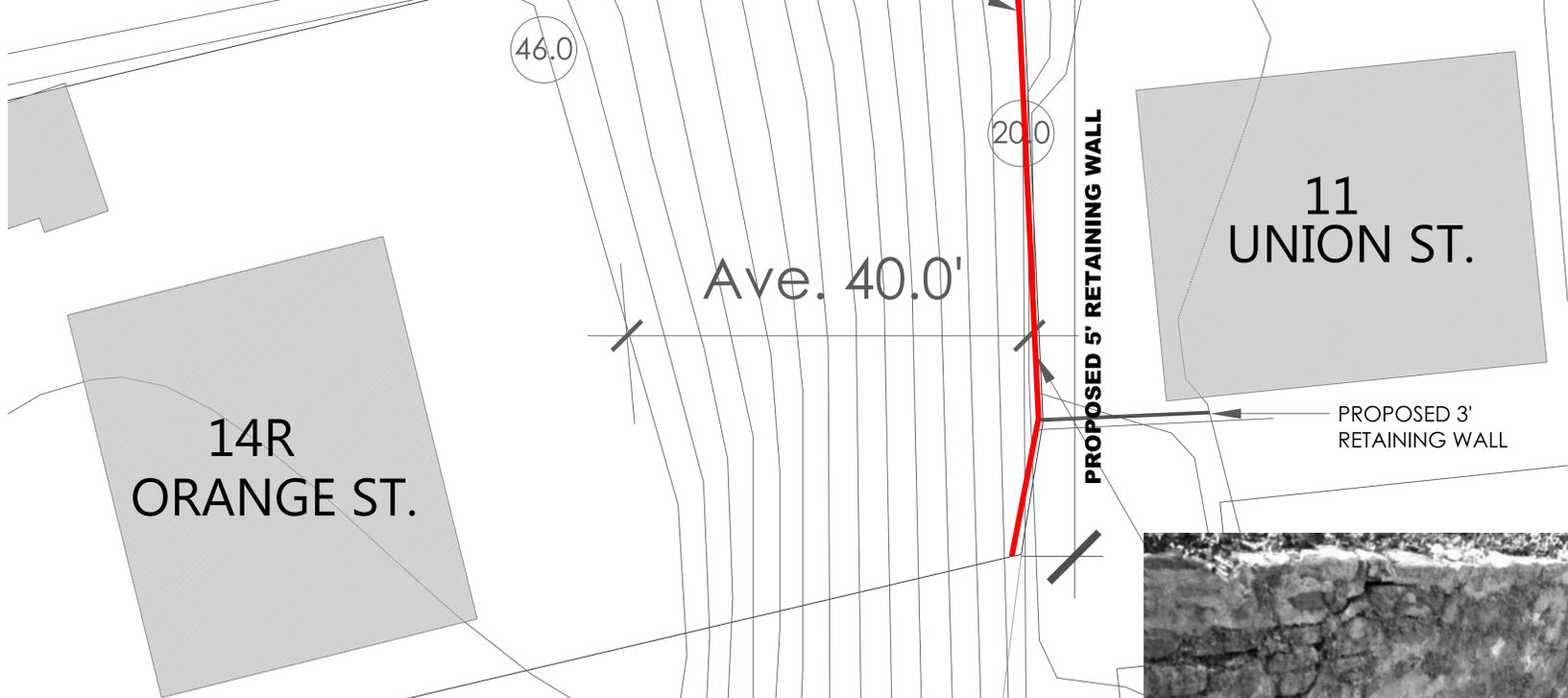
Property ID 42.3.1.45
Location 14R ORANGE ST
Owner HAMATHA REALTY TRUST



**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014
 Properties updated January, 2015



Retaining Wall Plan

1. See all General Notes on this sheet.
2. Coordinate all dimensions, elevations, openings and code compliance with drawings and sketches supplied by landscape designer.
3. Contractor is responsible for assuring that the retaining structure shall sit adequately on the new foundation WITHIN the property lines of 14R Orange Street Residence.

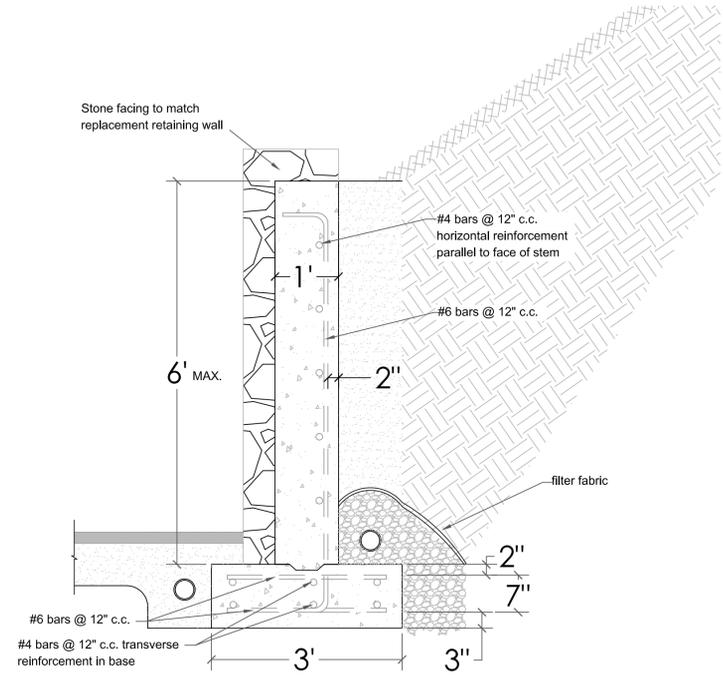
GENERAL NOTES:

1. ALL WORK SHALL COMPLY WITH STATE AND LOCAL CODES
2. CONCRETE SHALL BE 3000 PSI OR STRONGER
3. STEEL REINFORCING SHALL BE 60,000 PSI DEFORMED BAR
4. PROVIDE WATERPROOFING AS REQUIRED BY STATE CODE.
5. PROVIDE FOOTING DRAINS AS REQUIRED BY STATE CODE.
6. PROVIDE ANCHOR BOLTS MIN. 6'-0" O.C. BEGINNING NO LESS THAN 12" FROM CORNERS
7. UNLESS OTHERWISE SPECIFIED, MASONRY CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FOUNDATION MOISTURE PROOFING AND INSULATION
8. ALL CONSTRUCTION MUST COMPLY WITH CURRENT MASSACHUSETTS STATE BUILDING CODE 780 CMR - STATE BOARD OF BUILDING REGULATIONS AND STANDARDS (8TH EDITION).

GENERAL EARTHWORK REQUIREMENTS

1. ALL BACKFILL SOILS MATERIALS TO BE ASTM D 2487 SOIL CLASSIFICATION GROUPS GW, GP, GM, SW, SP, SM, FREE OF ROCK OR GRAVEL LARGER THAN 2 INCHES IN ANY DIMENSION, DEBRIS, WASTE, FROZEN MATERIALS, VEGETATION, OR OTHER DELETERIOUS MATTER.
2. THE SUB-BASE SOILS MATERIAL TO BE A NATURALLY OR ARTIFICIALLY GRADED MIXTURE OF NATURAL OR CRUSHED GRAVEL, CRUSHED STONE, AND NATURAL OR CRUSHED SAND, ASTM C2940, WITH AT LEAST 95 PERCENT PASSING A 1-1/2 INCH SIEVE AND NOT MORE THAN 8 PERCENT PASSING A NO. 200 SIEVE.
3. DRAINAGE FILL TO BE A WASHED EVENLY GRADED MIXTURE OF CRUSHED STONE, OR CRUSHED OR UNCRUSHED GRAVEL, ASTM D 448, SIZE 57, WITH 100 PERCENT PASSING A 1-1/2 INCH SIEVE AND NOT MORE THAN 5 % PASSING A NO. 8 SIEVE.
4. PROTECT SUB-GRADES AND FOUNDATION SOILS FROM SOFTENING AND DAMAGE BY WATER, FREEZING TEMPERATURES, OR FROST.
5. EXCAVATE TO SUB-GRADE ELEVATIONS REGARDLESS OF CHARACTER OF MATERIALS AND OBSTRUCTIONS ENCOUNTERED.
6. WHEN SUB-GRADE OR EXISTING GROUND SURFACE TO RECEIVE FILL HAS A DENSITY LESS THAN THAT REQUIRED FOR FILL, BREAK UP GROUND SURFACE, PULVERIZE, MOISTURE-CONDITION OR AERATE SOIL, AND RE-COMPACT.
7. PLACE BACKFILL AND FILL IN LAYERS NOT MORE THAN 8 INCHES IN LOOSE DEPTH AT OPTIMUM MOISTURE CONTENT. COMPACT EACH LAYER UNDER STRUCTURES, BUILDING SLABS, PAVEMENTS, AND WALKWAYS TO 95% OF MAXIMUM DRY UNIT WEIGHT ACCORDING TO ASTM D 698; ELSEWHERE TO 90%.

GENERAL NOTES:
 1. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CAREFULLY AND THOROUGHLY REVIEW ALL CONTRACT DOCUMENTS PRIOR TO CONSTRUCTION TO INSURE THAT THE ACCURACY IS CONSISTENT WITH THE INTENT OF THE WORK AND IN ACCORDANCE WITH MASS CODE 780 CMR. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER IN CHARGE. IF ANY WORK IS IMPROPERLY INSTALLED DUE TO THE FAILURE OF THE CONTRACTOR TO NOTIFY THE ENGINEER IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO REMEDY THE PROBLEM AT THEIR EXPENSE.
 2. ALL SITE WORK TO BE VERIFIED BY A REGISTERED MASSACHUSETTS SURVEYOR PRIOR TO COMMENCEMENT TO ASSURE PROPER LOCATION OF ALL STRUCTURES.
 3. ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO INSTALLATION AND ANY DEVIATIONS OR DISCREPANCIES FROM THE DRAWINGS SHALL BE APPROVED PRIOR TO INSTALLATION.



5' RETAINING WALL DETAIL
SCALE 3/4" = 1'-0"



Zoning Classification: R.O.H.
MAP: 42.3.1 PARCEL 45

LAND AREA:	0.18 ACRES
FRONTAGE:	0
FRONT YARD SETBACK:	0
REAR & SIDE S.B.:	5 FEET
EXISTING GROUND COVER:	3605 S.F.

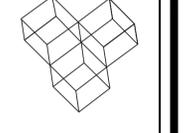


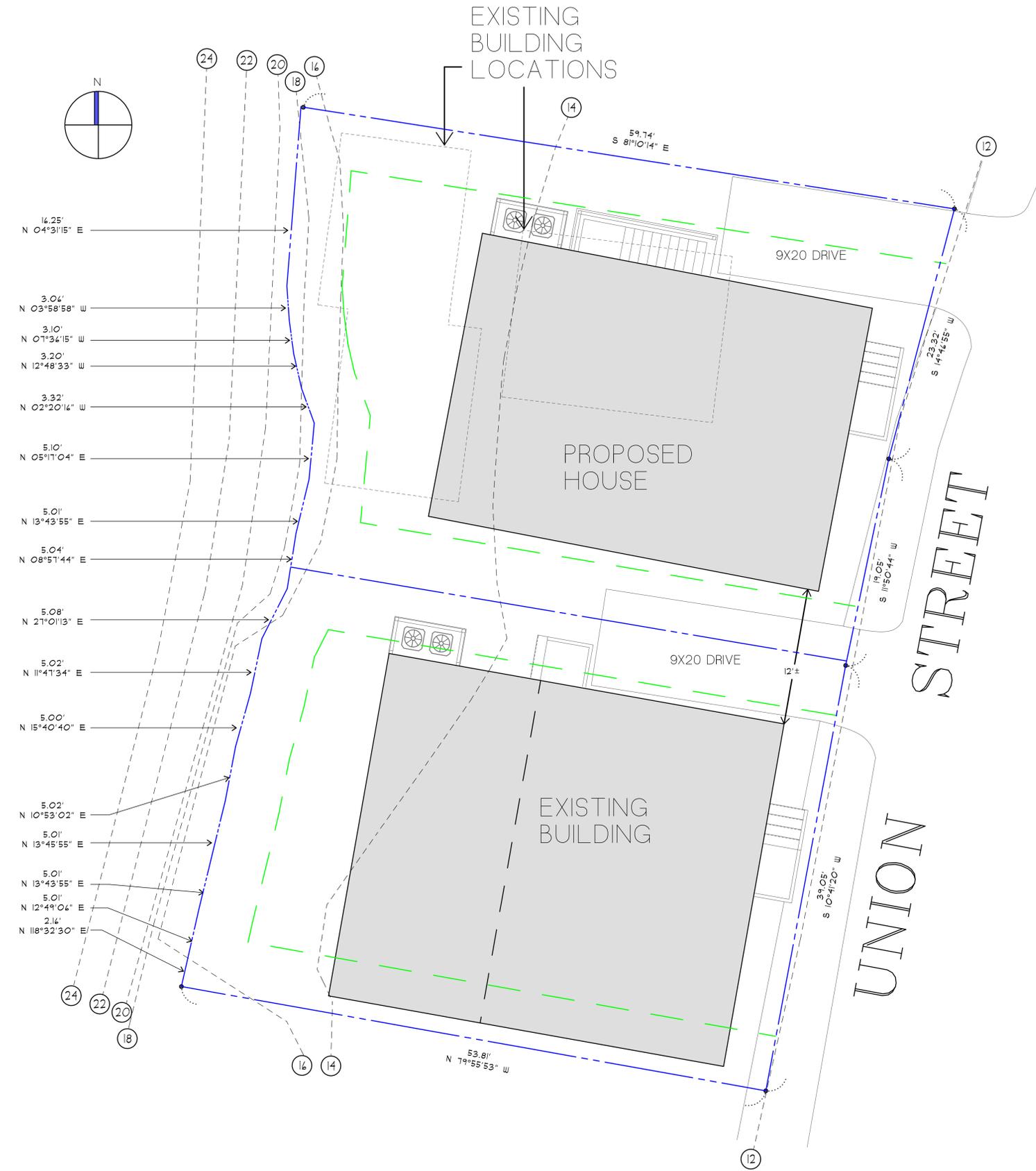
14R Orange St. Retaining Wall
 THE PROPOSED STRUCTURE(S) AS SHOWN (HEREON DOTES) NOT REPRESENT OR IMPLY CONFORMANCE WITH THE NANTUCKET ZONING BY-LAW.
 ADDRESS: 14R Orange St. Nantucket
 DATE: 05.25.16
 SCALE: AS SHOWN
 DRAWING NO. S1.0

REVISIONS:
 1.
 2.

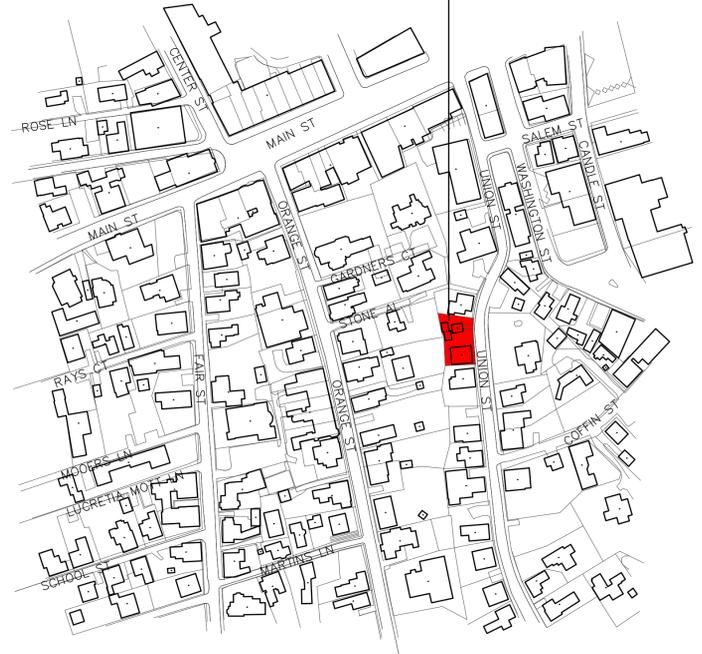
81 Somerset Road
 Nantucket, MA 02554

Burnham Engineering, Inc.
 Geotechnical & Structural Engineering
 Email: tburnham@burnhamengineering.com
 Phone: (508) 228-3306





ZONING CLASSIFICATION: R.O.H.	
MAP: 42.3.1	PARCEL: 44
MIN. AREA:	5,000 sqft.
MIN. FRONTAGE:	50 ft.
FRONT YARD S.B.:	NONE
REAR & SIDE S.B.:	5 ft.
GROUND COVER (%):	50%



NOTE:
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CAREFULLY REVIEW ALL WORKING DRAWINGS AND DETAILS FOR ACCURACY AND CONSISTENCY. THE DESIGNER & ENGINEER OF RECORD CANNOT BE HELD RESPONSIBLE FOR WORK INITIATED INCORRECTLY DUE TO MISUNDERSTANDING OR MISINTERPRETATION. IF THERE ARE ANY QUESTIONS AFTER THE STRUCTURAL DRAWINGS HAVE BEEN REVIEWED, PLEASE CALL THE ENGINEER OF RECORD BEFORE INITIATING ANY WORK.

NOTE:
ALL SITE WORK SHOULD BE VERIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO AND DURING CONSTRUCTION FOR PROPER LOCATION OF PROPERTY & SETBACK LINES.

NOTE:
ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN CHARGE.

11 UNION STREET		H.D.C. SITE PLAN		SHEET NO.
DRAWN BY: ETHAN McMORROW		ADDRESS:	DATE:	SCALE:
P.O. BOX 1052		11 UNION STREET	5/24/2016	3/16" = 1'-0"
NANTUCKET, MA 02554		NANTUCKET, MA 02554		
PHONE: 508-228-0450 email: ethan@7mcncast.net				S 1