

## 1. Viewpack

### Documents:

8 HULBERT AVE SHED.PDF  
9 W CHESTER ST HARDSCAPING.PDF  
9 W CHESTER ST REV 72875.PDF  
20 CLIFF RD WINDOWS REPLACEMENT.PDF  
46 JEFFERSON AVE - HANDRAIL REVISIONS.PDF  
50 CLIFF RD - SOLAR ROOF ARRAY.PDF  
51 FAIR STREET - EXTERIOR SHOWER.PDF  
52 CLIFF ROAD - REV TO HDC2019-11-0094.PDF  
96 MAIN STREET - AAB LIFT.PDF  
1 WEYMOUTH ST - ADDITION.PDF  
2 COMMERCIAL STREET - FLOOD PROTECTION PLATFORM.PDF  
2 HOWARD - REV 73318.PDF  
2 STONE ALLEY - ADDITION.PDF  
4 ANGOLA - SHED.PDF

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 27.2.3 PARCEL N°: 7.2  
Street & Number of Proposed Work: 8 HULBERT AVE  
Owner of record: 8 HULBERT LLC  
Mailing Address: 2 BROAD ST  
NANTUCKET MA 02554  
Contact Phone #: 508-228-2728 E-mail: —

#### AGENT INFORMATION (if applicable)

Name: MARK CUTONE ARCHITECTURE +  
Mailing Address: 2 BROAD ST  
NANTUCKET MA 02554  
Contact Phone #: 508-228-2728 E-mail: DMG@MARKCUTONE.COM

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 12'-6" Sq. Footage 1st floor: 200SF Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 16'-0" Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North — South — East — West —  
Height of ridge above final finish grade: North 14'-10" South " East " West "

#### Additional Remarks

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

**Roof Pitch:** Main Mass 10 /12 Secondary Mass \_\_\_\_\_ /12 Dormer \_\_\_\_\_ /12 Other \_\_\_\_\_

**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

**Leaders (material and size):** \_\_\_\_\_

**Sidewall:**  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Other \_\_\_\_\_

**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia 8 Rake 8 Soffit (Overhang) — Corner boards 6 Frieze —  
Window Casing 4 Door Frame 4 Columns / Posts: Round — Square —

**Windows\*:**  Double Hung  Casement  All Wood  Other FIXED  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

**Doors\* (type and material):**  TDL  SDL Front BOARD DOORS Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

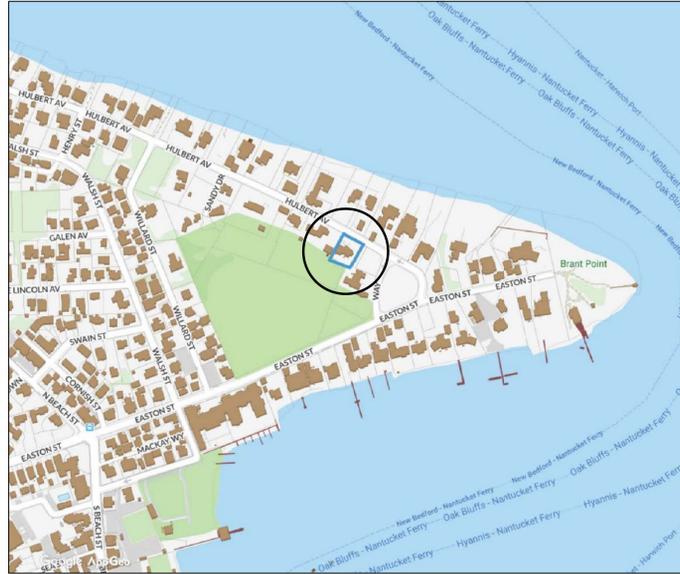
Sidewall NTW Clapboard (if applicable) — Roof NTW  
Trim WHITE Sash WHITE Doors WHITE  
Deck — Foundation — Fence — Shutters —

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 1/3/20 Signature of owner of record [Signature] 8 HULBERT LLC Signed under penalties of perjury

# 8 HULBERT AVENUE

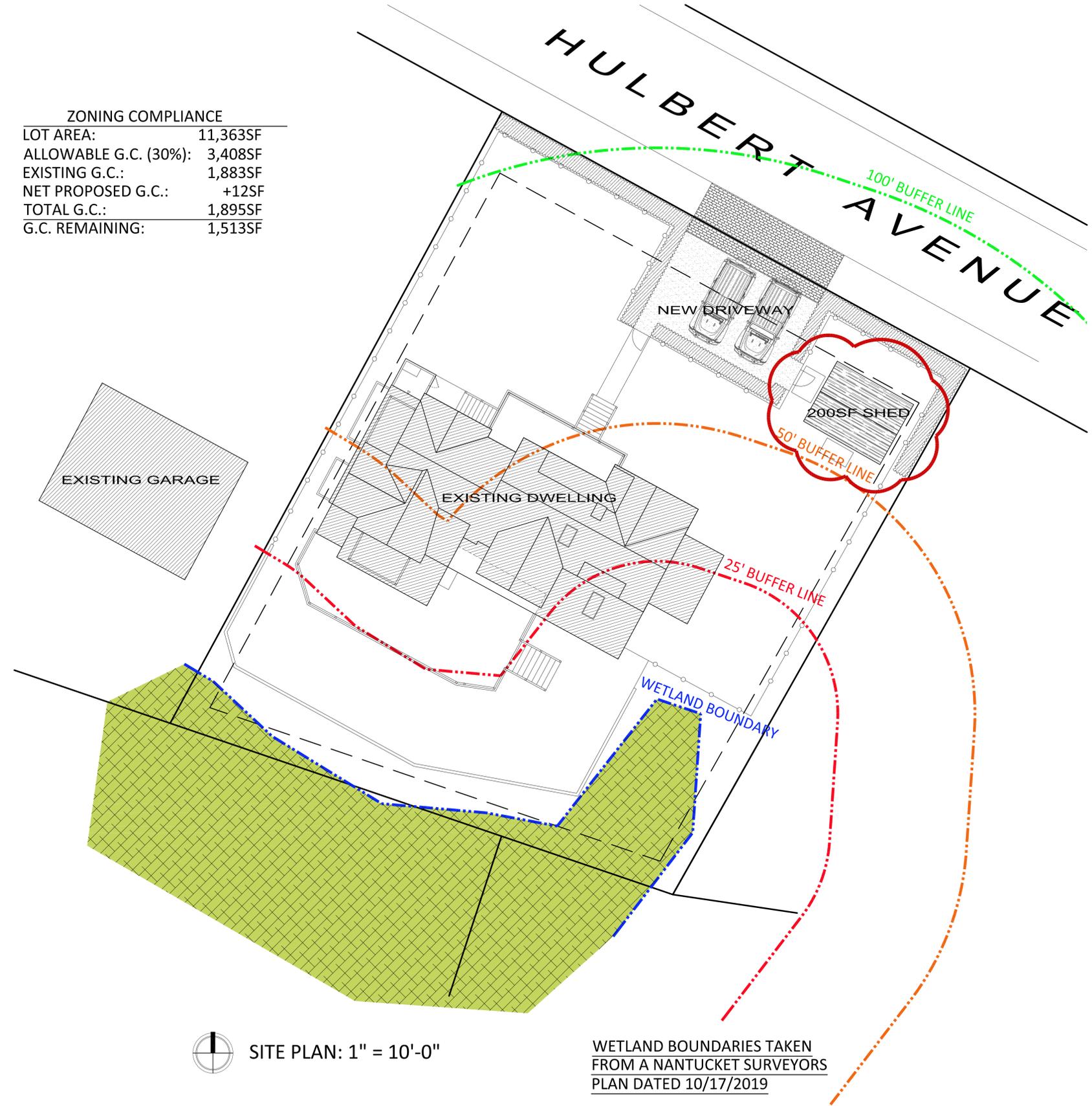


LOCUS PLAN: NTS



AERIAL VIEW: NTS

ZONING COMPLIANCE	
LOT AREA:	11,363SF
ALLOWABLE G.C. (30%):	3,408SF
EXISTING G.C.:	1,883SF
NET PROPOSED G.C.:	+12SF
TOTAL G.C.:	1,895SF
G.C. REMAINING:	1,513SF



SITE PLAN: 1" = 10'-0"

WETLAND BOUNDARIES TAKEN FROM A NANTUCKET SURVEYORS PLAN DATED 10/17/2019



2 BROAD STREET  
NANTUCKET, MA 02554  
508.228.2728  
MARKCUTONE.COM

### SURVEYOR

NANTUCKET SURVEYORS  
BOX 3627  
NANTUCKET, MA 02584  
508.228.0240

### STRUCTURAL DESIGN

CAPE STRUCTURAL CONSULTANTS  
P.O. BOX 798  
FALMOUTH, MA 02541  
508.457.6794

SHED HDC

8 HULBERT AVENUE  
8 HULBERT AVENUE  
NANTUCKET, MA 02554  
MAP: 29.2.3 PARCEL: 7.2

COVER SHEET

C1.1

18 DECEMBER 2019



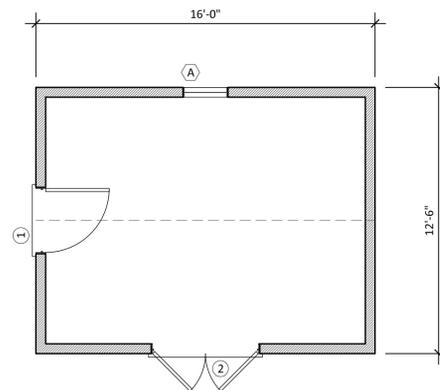
2 BROAD STREET  
NANTUCKET, MA 02554  
508.228.2728  
MARKCUTONE.COM

**SURVEYOR**

NANTUCKET SURVEYORS  
BOX 3627  
NANTUCKET, MA 02584  
508.228.0240

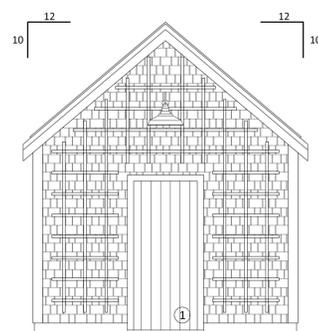
**STRUCTURAL DESIGN**

CAPE STRUCTURAL CONSULTANTS  
P.O. BOX 798  
FALMOUTH, MA 02541  
508.457.6794

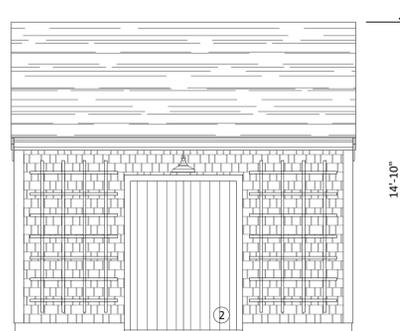


WINDOW SCHEDULE				
#	QTY	MODEL NUMBER	ROUGH OPENING	DESCRIPTION
(A)	--	PELLA 2532	R.O.: 2'-1 3/4" x 2'-8 3/4"	4 LITE FIXED CASEMENT WINDOW
DOOR SCHEDULE				
#	QTY	MODEL NUMBER	ROUGH OPENING	DESCRIPTION
(1)	--	CUSTOM 3070 DOOR	R.O.: 3'-3" x 7'-3"	CUSTOM BOARD DOOR
(2)	--	CUSTOM (2)2670 DOORS	R.O.: 5'-3" x 7'-3"	CUSTOM BOARD DOORS

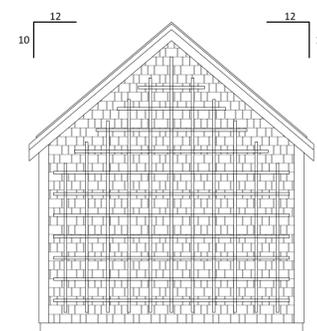
**SHED PLAN (200SF)**  
SCALE: 1/4" = 1'-0"



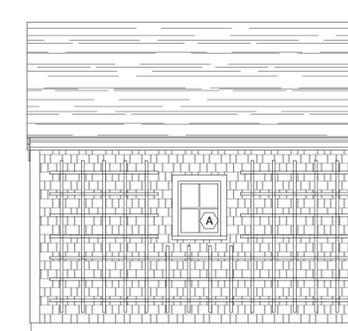
**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

SHED HDC

8 HULBERT AVENUE  
8 HULBERT AVENUE  
NANTUCKET, MA 02554  
MAP: 29.2.3 PARCEL: 7.2

**PLAN & ELEVATIONS**

**A1.1**

18 DECEMBER 2019

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### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 42.4.3 PARCEL N°: 12  
 Street & Number of Proposed Work: 9 West Chester st.  
 Owner of record: ACK CRAZY, LLC  
 Mailing Address: 78 Rue Du Prince  
Edwards, CO 81632  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: JBS studio  
 Mailing Address: PO Box 3741  
Nantucket, MA 02584  
 Contact Phone #: 774 333 5995 E-mail: juncj@thejbsstudio.com

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling     Addition     Garage     Driveway/Apron     Commercial     Historical Renovation     Deck/Patio     Steps     Shed  
 Color Change     Fence     Gate     Hardscaping     Move Building     Demolition     Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)     Roof     Other \_\_\_\_\_

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_  
 Original Builder: \_\_\_\_\_  
 Is there an HDC survey form for this building attached?  Yes  N/A

#### REVISIONS\*

1. East Elevation
2. South Elevation Brick driveway & parking 2 spots
3. West Elevation Match existing driveway & apron
4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block     Block Parged     Brick (type) \_\_\_\_\_     Poured Concrete     Piers  
 Masonry Chimney:  Block Parged     Brick (type) \_\_\_\_\_     Other \_\_\_\_\_  
 Roof Pitch: Main Mass 12 Secondary Mass 12 Dormer 12 Other \_\_\_\_\_  
 Roofing material:  Asphalt     3-Tab     Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood     Aluminum     Copper     Leaders (material) \_\_\_\_\_

#### Leaders (material and size):

Sidewall:  White cedar shingles     Clapboard (exposure: \_\_\_\_\_ inches)    Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine     Redwood     Cedar     Other \_\_\_\_\_

B. Treatment  Paint     Natural to weather     Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung     Casement     All Wood     Other \_\_\_\_\_

True Divided Lights (muntins), single pane     SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL     SDL    Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways Brick Walkways Brick Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

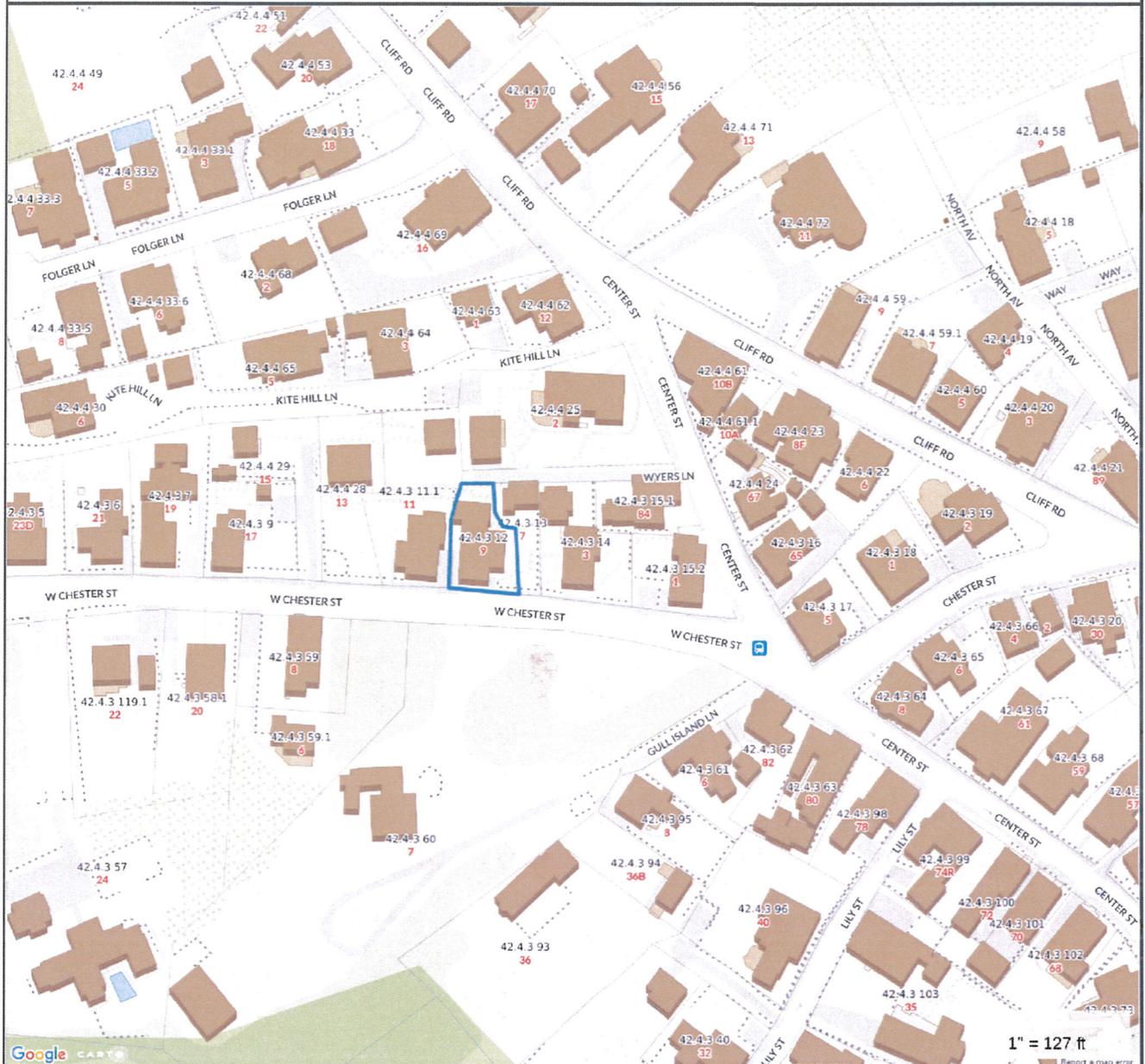
Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
 Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
 Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 1/8/2020 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_

### 9 Westchester



**Property Information**

**Property ID** 42.4.3.12  
**Location** 9 W CHESTER ST  
**Owner** JOFFE ROBERT D



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014  
Properties updated 12/11/2017

# WYERS LANE

N 86° 54' 00" E  
39.01'

N 86° 54' 00" E  
30.90'

EXISTING 1 STY.  
W/F DWELLING  
467 SF

42.4  
N  
DUT

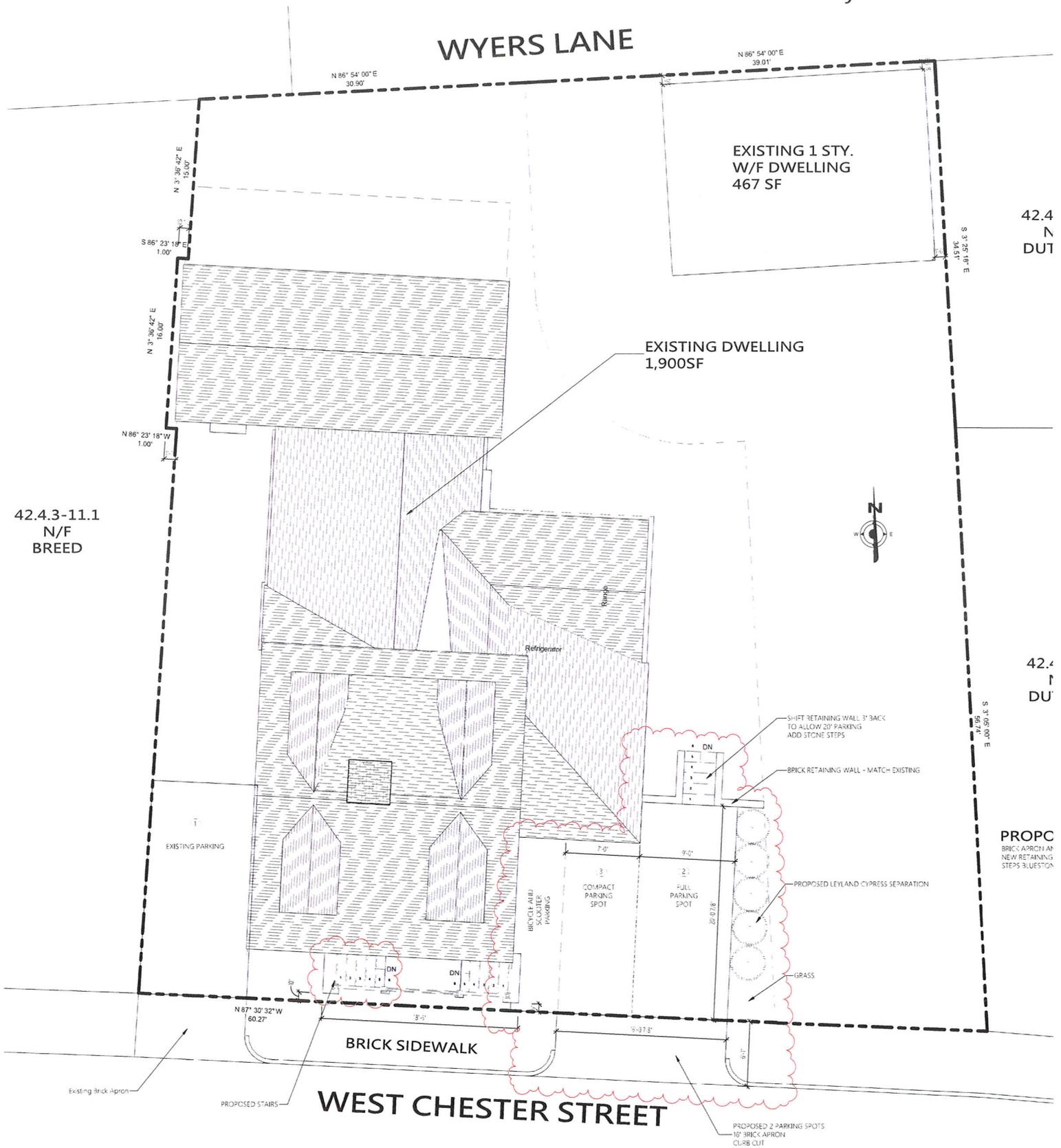
EXISTING DWELLING  
1,900SF

42.4.3-11.1  
N/F  
BREED



42.4  
N  
DUT

PROPC  
BRICK APRON AN  
NEW RETAINING  
STEPS BLUESTON



2

NTS



LOCATION

## PROPOSED DRIVEWAY LOCATION

BRICK APRON AND DRIVEWAY TO MATCH EXISTING DRIVEWAY ON WEST.  
NEW RETAINING WALL MATCHING EXISTING BRICK WITH BRICK CAP.  
STEPS BLUESTONE OR GRANITE







HDC Submission Only - Not For Construction

ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF JBSTUDIO. JBSTUDIO CANNOT BE HELD RESPONSIBLE FOR WORK INITIATED INCORRECTLY DUE TO MISUNDERSTANDING OR MISINTERPRETATION. IF THERE ARE ANY QUESTIONS, PLEASE CALL JBSTUDIO. THESE DRAWINGS AND DESIGNS THEY ILLUSTRATE ARE SOLE PROPERTY OF JBSTUDIO AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF JBSTUDIO. DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" CANNOT NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING CONSTRUCTION MATERIALS.



www.theJBStudio.com

JBStudio  
PO Box 3741  
Nantucket, MA 02584

tel: (508) 332-9654  
email: juraj@theJBStudio.com

Project

**ACK CRAZY  
Residence**  
9 Westchester St., Nantucket, MA  
02554

Sheet

Site Plan

**SHEET INDEX**

- C.101 Site Plan
- A.201 Elevations
- A.202 Elevations
- Grand total: 3

Date

01.07.2020

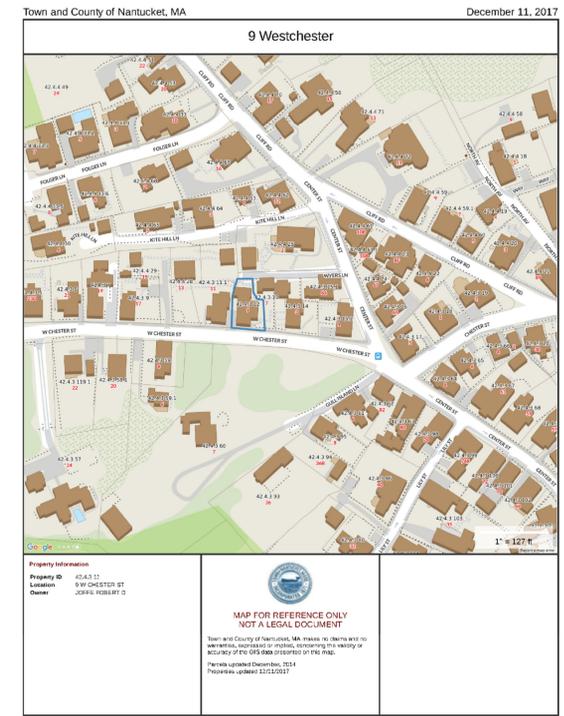
**Revisions**

No.	Description	Date
23	Add Exterior Stair	01.07.2020
24	New Parking	01.07.2020

**C.101**

Scale

As indicated

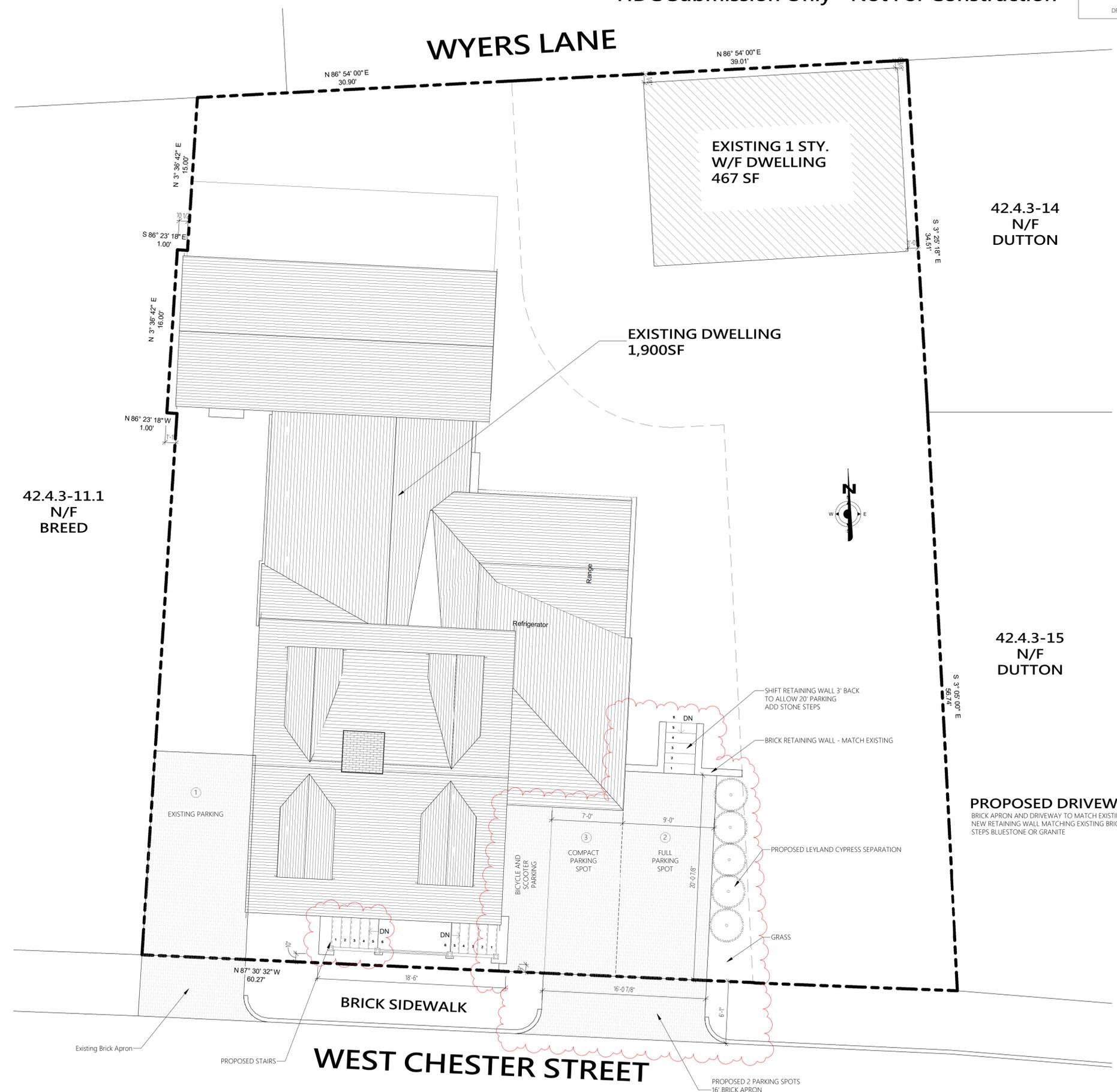


2 Locus Map NTS



**PROPOSED DRIVEWAY LOCATION**

BRICK APRON AND DRIVEWAY TO MATCH EXISTING DRIVEWAY ON WEST. NEW RETAINING WALL MATCHING EXISTING BRICK WITH BRICK CAP. STEPS BLUESTONE OR GRANITE



4 Site  
1:60

1/7/2020 3:20:42 PM

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TAX MAP N°: 42.43 PARCEL N°: 12  
Street & Number of Proposed Work: 9 West Chester st.  
Owner of record: ACK CRAZY LLC  
Mailing Address: 78 Rue Du Princee  
Edwards, CO 81632  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: JB Studio  
Mailing Address: PO Box 3741  
Nantucket, MA 02584  
Contact Phone #: 774 333 5995 E-mail: juraj@thejbstudio.com

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Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. 22875
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: N/A  
Original Date: c 1795  
Original Builder: unknown

**REVISIONS\***

- 1. East Elevation
- 2. South Elevation Add steps from left side of landing
- 3. West Elevation Match right side, omit window in basement
- 4. North Elevation

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 12 Secondary Mass \_\_\_\_\_/12 \_\_\_\_\_ Dormer \_\_\_\_\_/12 \_\_\_\_\_ Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

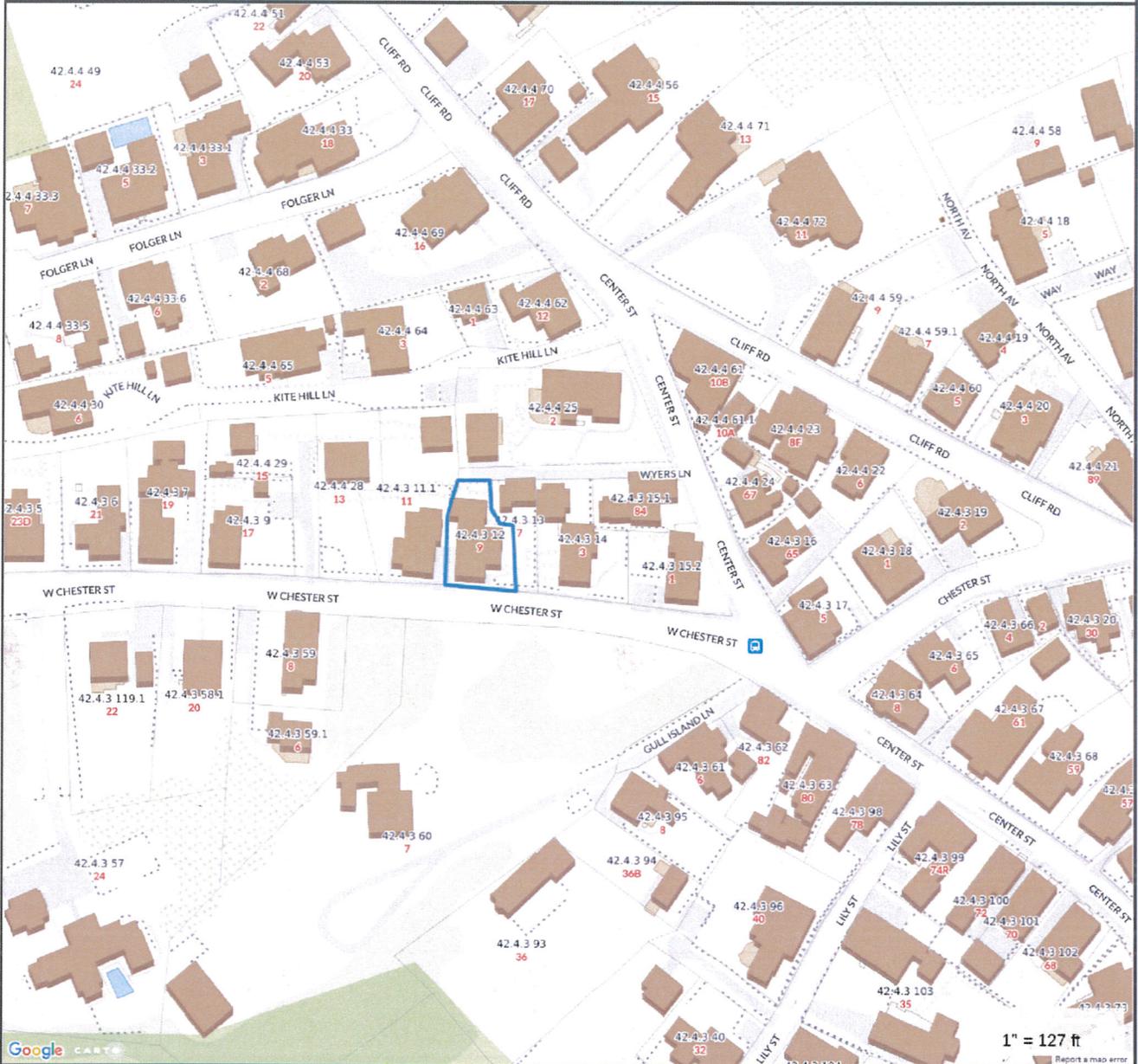
Sidewall NTU Clapboard (if applicable) \_\_\_\_\_ Roof Black  
Trim white Sash white Doors white  
Deck NTU Foundation Brick - red Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 11/8/2020 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_

# 9 Westchester



Property Information	
Property ID	42.4.3 12
Location	9 W CHESTER ST
Owner	JOFFE ROBERT D



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014  
Properties updated 12/11/2017

1" = 127 ft

[Report a map error](#)

J  
F  
M  
t  
E  
P

# WYERS LANE



42.4.3-11.1  
N/F  
BREED

42.4  
N  
DU

42.4  
DU

PROPC  
BRICK APRON A  
NEW RETAINING  
STEPS BILESTO



**1** Previously Approved South Elevation

3/16" = 1'-0"



2

## Previously Approved West Elevation

3/16" = 1'-0"



1

# Previously Approved North Elevation

3/16" = 1'-0"



2

## Previously Approved East Elevation

3/16" = 1'-0"



**3** Proposed South Elevation

1/4" = 1'-0"



**4** Proposed West Elevation

1/4" = 1'-0"



3 Proposed North Elevation - No Change

1/4" = 1'-0"



4

## Proposed East Elevation

1/4" = 1'-0"



HDC Submission Only - Not For Construction

ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF JBSTUDIO. JBSTUDIO CANNOT BE HELD RESPONSIBLE FOR WORK INITIATED INCORRECTLY DUE TO MISUNDERSTANDING OR MISINTERPRETATION. IF THERE ARE ANY QUESTIONS, PLEASE CALL JBSTUDIO. THESE DRAWINGS AND DESIGNS THEY ILLUSTRATE ARE SOLE PROPERTY OF JBSTUDIO AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF JBSTUDIO. DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" CANNOT NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING CONSTRUCTION MATERIALS.



www.theJBStudio.com

JBStudio  
PO Box 3741  
Nantucket, MA 02584

tel: (508) 332-9654  
email: juraj@theJBStudio.com

Project

**ACK CRAZY  
Residence**  
9 Westchester St., Nantucket, MA  
02554

Sheet

Site Plan

**SHEET INDEX**

- C.101 Site Plan
- A.201 Elevations
- A.202 Elevations
- Grand total: 3

Date

01.07.2020

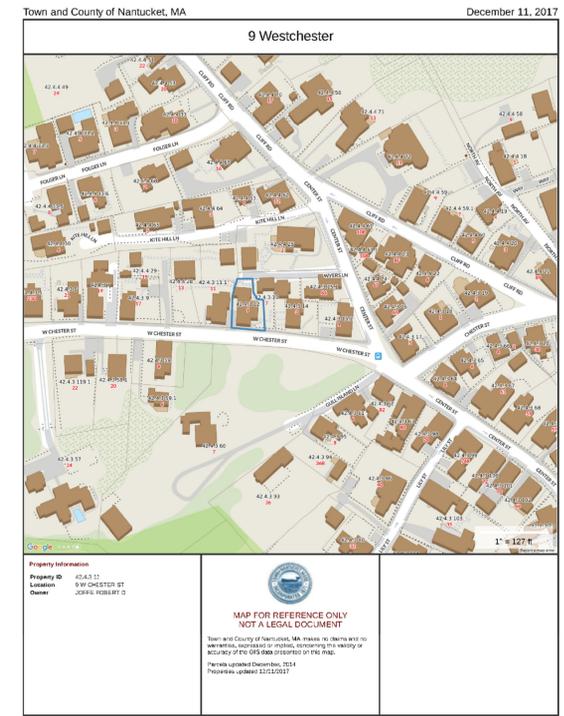
**Revisions**

No.	Description	Date
23	Add Exterior Stair	01.07.2020
24	New Parking	01.07.2020

**C.101**

Scale

As indicated

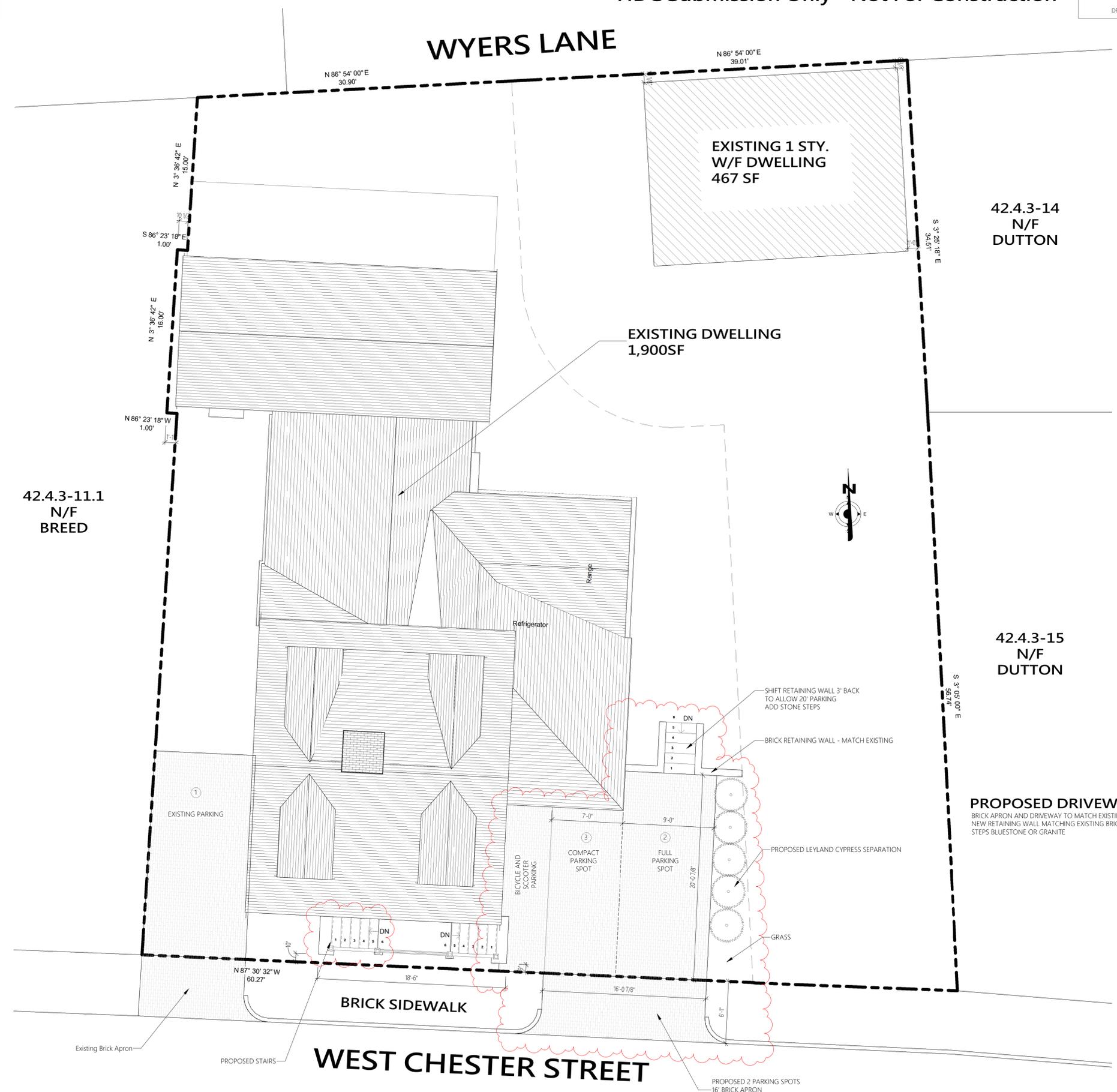


2 Locus Map NTS



**PROPOSED DRIVEWAY LOCATION**

BRICK APRON AND DRIVEWAY TO MATCH EXISTING DRIVEWAY ON WEST. NEW RETAINING WALL MATCHING EXISTING BRICK WITH BRICK CAP. STEPS BLUESTONE OR GRANITE



4 Site  
1:60

**SHEET INDEX**

- C.101 Site Plan
- A.201 Elevations
- A.202 Elevations
- Grand total: 3

01.07.2020

Revisions

No.	Description	Date
23	Add Exterior Stair	01.07.2020
25	Omit Window	01.07.2020

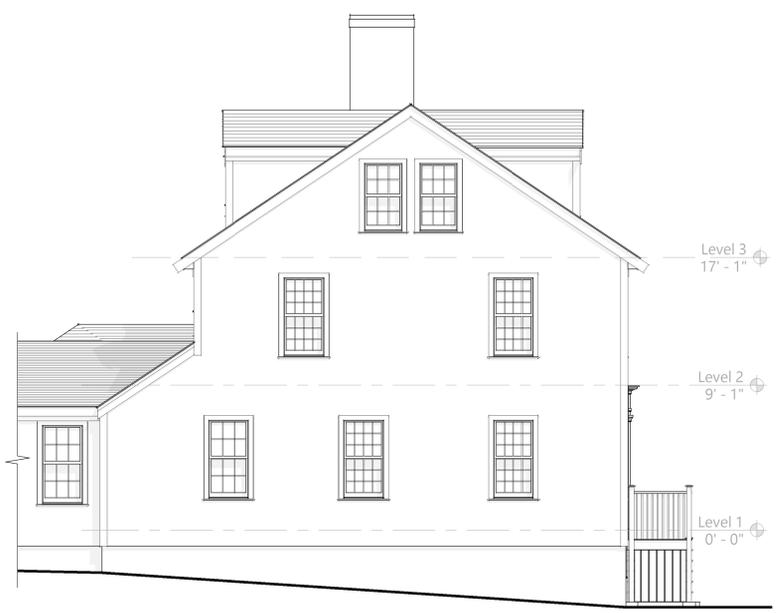
**A.201**



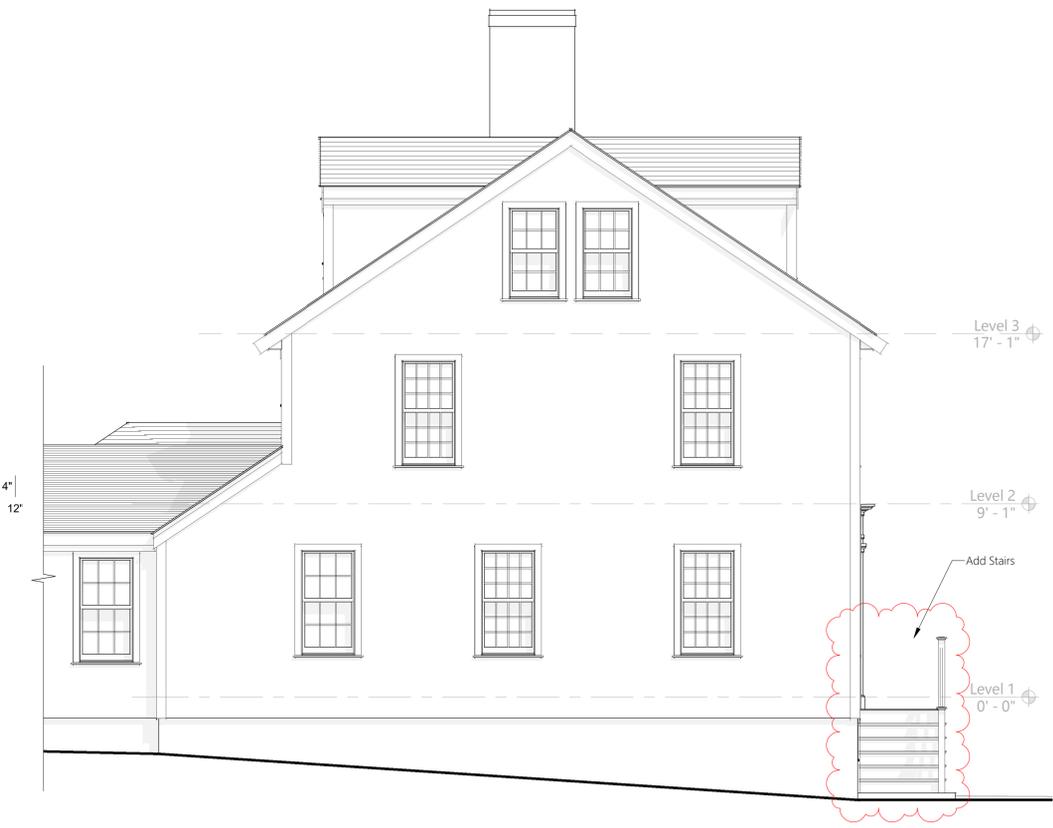
**1** Previously Approved South Elevation  
3/16" = 1'-0"



**3** Proposed South Elevation  
1/4" = 1'-0"



**2** Previously Approved West Elevation  
3/16" = 1'-0"



**4** Proposed West Elevation  
1/4" = 1'-0"

Project

**ACK CRAZY  
Residence**  
9 Westchester St., Nantucket, MA  
02554

Sheet

Elevations

**SHEET INDEX**

- C.101 Site Plan
- A.201 Elevations
- A.202 Elevations
- Grand total: 3

Date

**01.07.2020**

Revisions

No.	Description	Date
23	Add Exterior Stair	01.07.2020

**A.202**

Scale

As indicated



**1** Previously Approved North Elevation  
3/16" = 1'-0"



**3** Proposed North Elevation - No Change  
1/4" = 1'-0"



**2** Previously Approved East Elevation  
3/16" = 1'-0"



**4** Proposed East Elevation  
1/4" = 1'-0"

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 42.4.4 PARCEL N°: 53  
Street & Number of Proposed Work: 20 CLIFF ROAD  
Owner of record: VISBY HOLDINGS LLC  
Mailing Address: 1265 UNION ST.  
N. MARSHFIELD, MA 02059  
Contact Phone #: 617-851-7177 E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: LINDA WILLIAMS  
Mailing Address: PO Box 1446  
NANTUCKET, MA 02554  
Contact Phone #: 508-221-0432 E-mail: CZARINA LINDA @COMCAST.NET

FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other REPLACE WINDOWS AND DOORS  
Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: 1747 REVISIONS\* 1. East Elevation REPLACE ALL WINDOWS EXCEPT DIAMOND PANEES; REPLACE ALL FRENCH DOORS; MAY INVOLVE WINDOW TRIM  
Original Date: SEE ATTACHED (describe) 2. South Elevation REPLACE MENT-IN KIND - WINDOW PANE PATTERNS TO REMAIN UNCHAINED  
Original Builder: HISTORICAL INFO 3. West Elevation \_\_\_\_\_  
4. North Elevation \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A  
\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): \_\_\_\_\_  
Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
Windows\*:  Double Hung  Casement  All Wood  Other 4/6 + 8/8 + 12/12 + 9/6 + 3/3 + 6 LT FIXED  
 True Divided Lights (muntins), single pane  Insulated  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
Doors\* (type and material):  HDL  SDL Front NO CHANGE Rear FRENCH DOORS INSULATED Side 9LT - 6/3 pane!  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

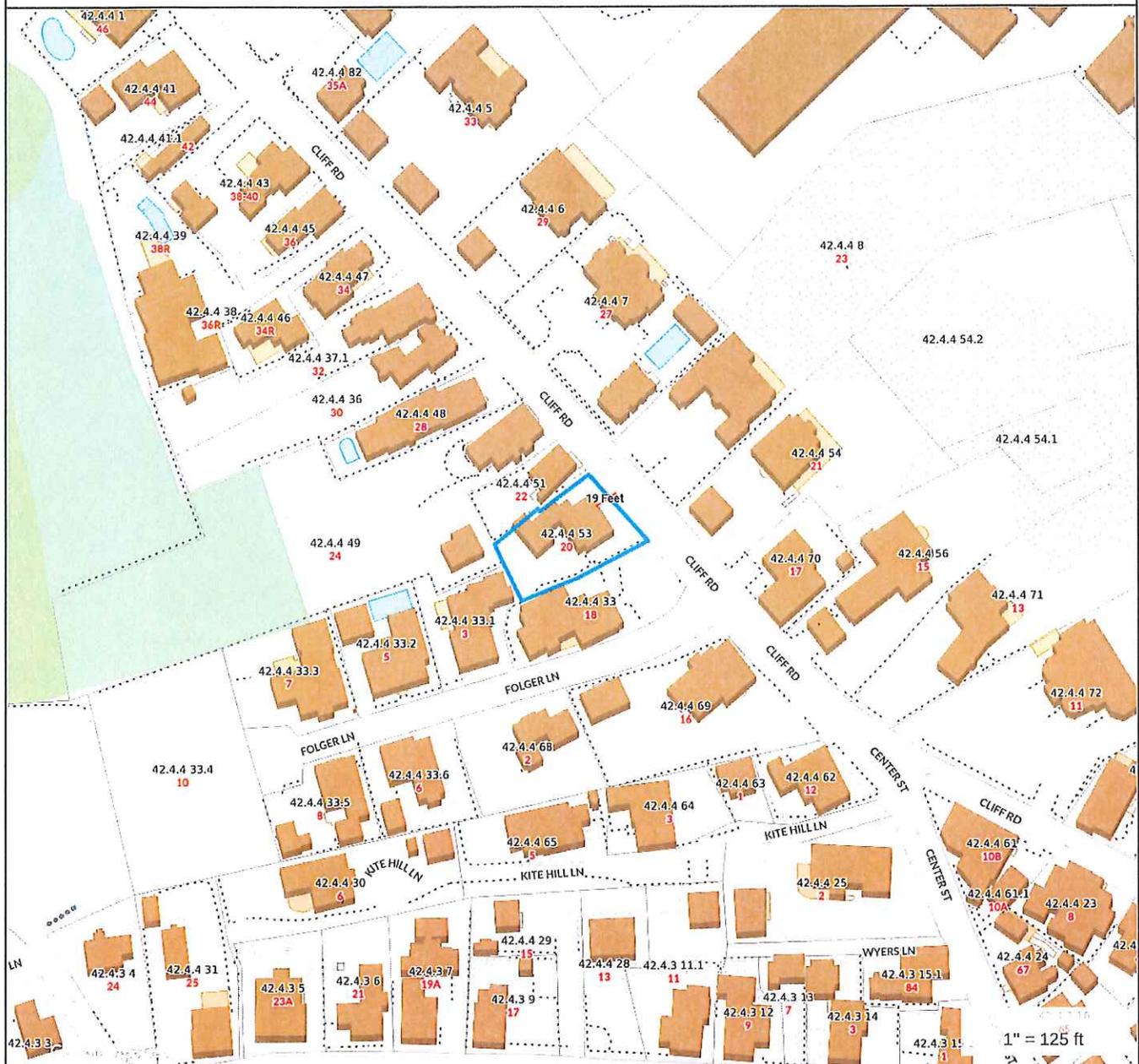
Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim WHITE TME Sash WHITE TME Doors WHITE TME  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 11/21/2000 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_





**Property Information**

Property ID 42.4.4 53  
 Location 20 CLIFF RD  
 Owner NANTUCKET PROPERTY ACQUISITION



**MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT**

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Geometry updated 11/13/2018  
 Data updated 11/19/2018



**Property Information**

Property ID 42.4.4 53  
Location 20 CLIFF RD  
Owner NANTUCKET PROPERTY ACQUISITION



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Geometry updated 11/13/2018  
Data updated 11/19/2018

WINDOW/DOOR DETAILS – EXTERIOR











20 CLIFF ROAD

WINDOW/DOOR SURVEY AND ARCHITECTURAL DETAILS

SOUTH ELEVATION – MAIN BODY OF THE HOUSE





WINDOWS

MAIN:

4 12/12

3 9/9

LEFT ADDITION:

1 9/9

1 9/6 SMALLER

EAST ELEVATION – MAIN BODY OF HOUSE – FACING STREET



WINDOWS

2 12/12

2 9/9

1 9/6

WEST ELEVATION – MAIN BODY OF THE HOUSE



WINDOWS

2 6/6

1 9/6

1 3/3

2 TRIPLE FRENCH DOOR UNITS

**NORTH ELEVATION – MAIN BODY OF THE HOUSE**



**WINDOWS**

1 6/6

1 8/8

1 GANGED PAIR DIAMOND – FIXED – TO REMAIN AND REPAIRED

**DORMER WINDOWS**

2 PAIR OF 3/3 WINDOWS

**NORTH/EAST ELEVATION – MAIN BODY OF HOUSE AND REAR ADDITION**



**REAR ADDITION**

**SOUTH /WEST ELEVATION**



SOUTH



WEST



NORTH/EAST



WINDOWS

**SOUTH:**

5 6/6

1 SINGLE FRENCH DOOR

1 DOUBLE FRENCH DOOR

**WEST:**

1 6/6

1 6/6 SMALLER

1 6 LT FIXED

1 DOUBLE FRENCH DOORS

**NORTH/EAST:**

1 GANGED PAIR DIAMOND – FIXED – TO REMAIN AND REPAIRED

3 6/6

4 6/6 SMALLER

2 3/3

1 6 LT FIXED

2 9 LT SIDE DOORS FACING EAST

20 CLIFF ROAD

INTERIOR WINDOW/DOOR DETAIL

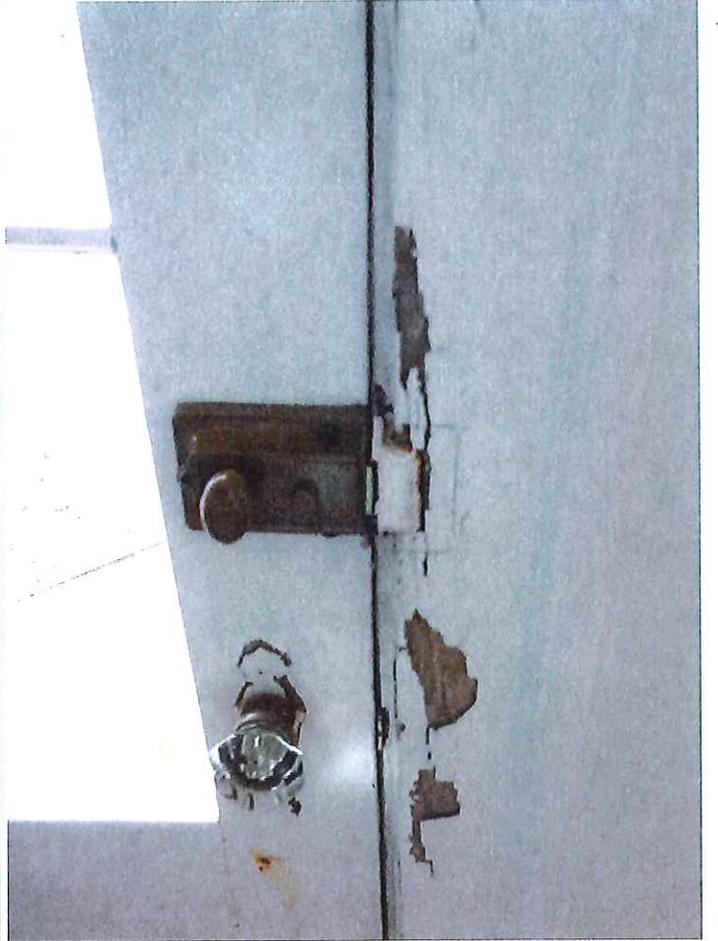












CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 30 PARCEL N°: 44  
Street & Number of Proposed Work: 46 Jefferson Ave  
Owner of record: Cliffside Beach Inc  
Mailing Address: 46 Jefferson Ave  
Nantucket, MA, 02554  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: EMERITUS  
Mailing Address: 8 Williams Ln,  
Nantucket, MA, 02554  
Contact Phone #: 508 325 4995 E-mail: marco@emeritus-  
development.com

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other: HANDRAIL & RAILING REVISIONS  
Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_ REVISIONS: 1. East Elevation REPLACE RAISING BALUSTERS TO  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation MATCH EXISTING CROSSBUCK DETAIL  
Original Builder: \_\_\_\_\_ 3. West Elevation ADD ACCESSIBLE HANDRAIL  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation \_\_\_\_\_  
\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): \_\_\_\_\_  
Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim WHITE \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

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Date: 01/08/20 Signature of owner of record \_\_\_\_\_ Closed under authority of \_\_\_\_\_



**Property Information**  
**Property ID** 30 44  
**Location** 46 JEFFERSON AV  
**Owner** CLIFFSIDE BEACH INC

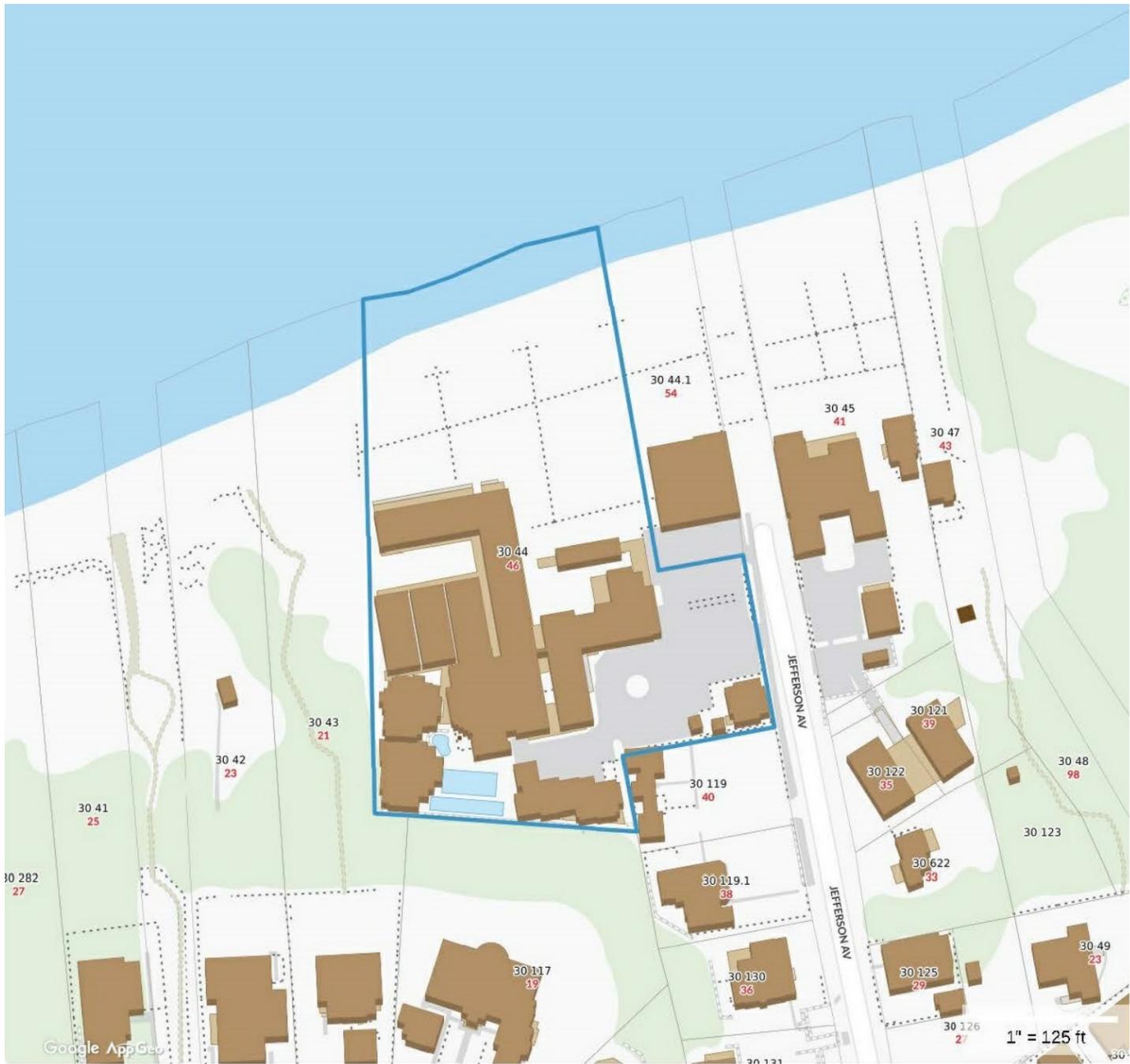


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Geometry updated 11/13/2018  
 Data updated 11/19/2018

Locus Map  
 not to scale



Property Information  
 Property ID 30 44  
 Location 46 JEFFERSON AV  
 Owner CLIFFSIDE BEACH INC



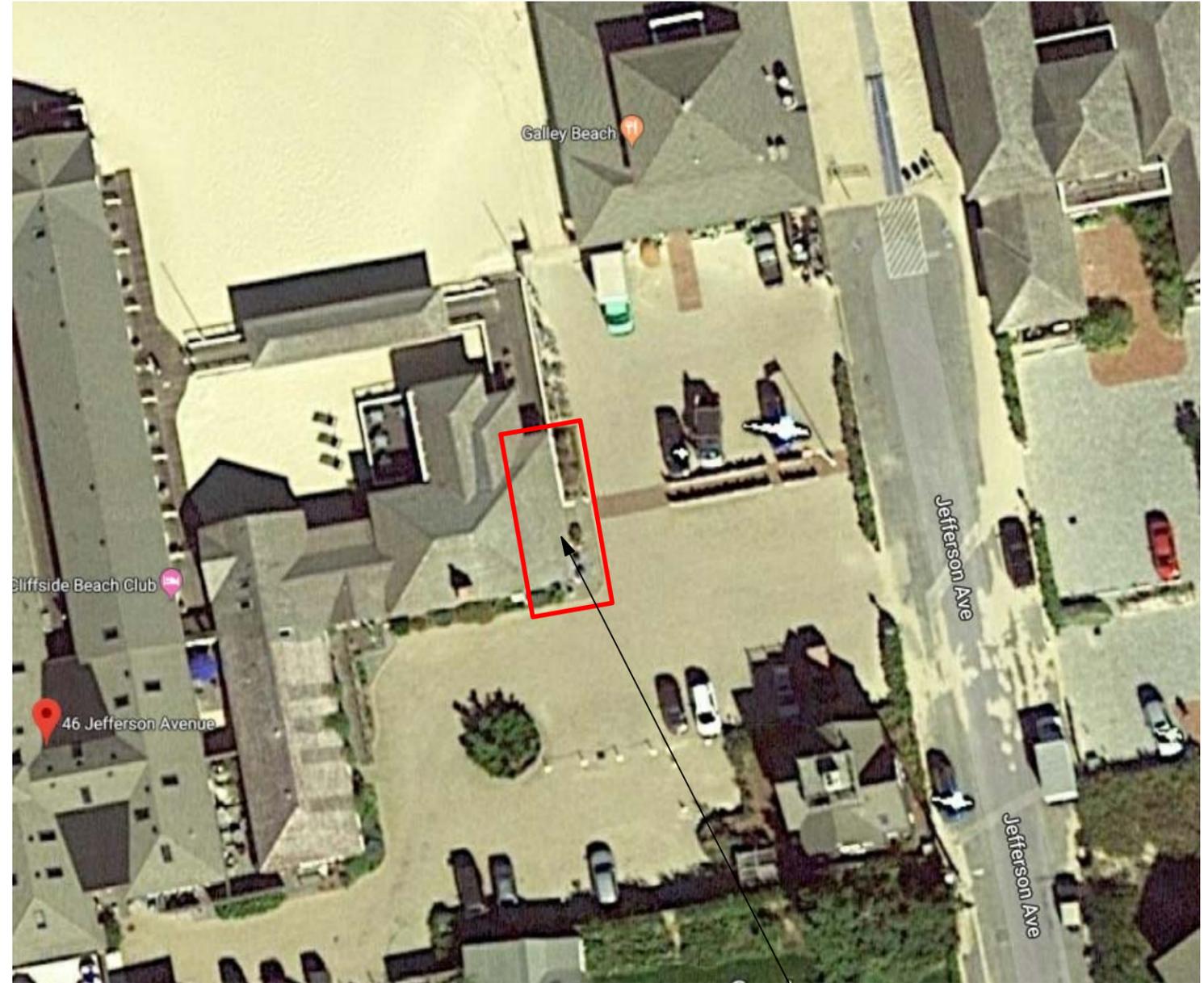
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Geometry updated 11/13/2018  
 Data updated 11/19/2018

Locus Map  
 not to scale

*Railing*  
 46 Jefferson Ave,  
 Nantucket, MA 02554

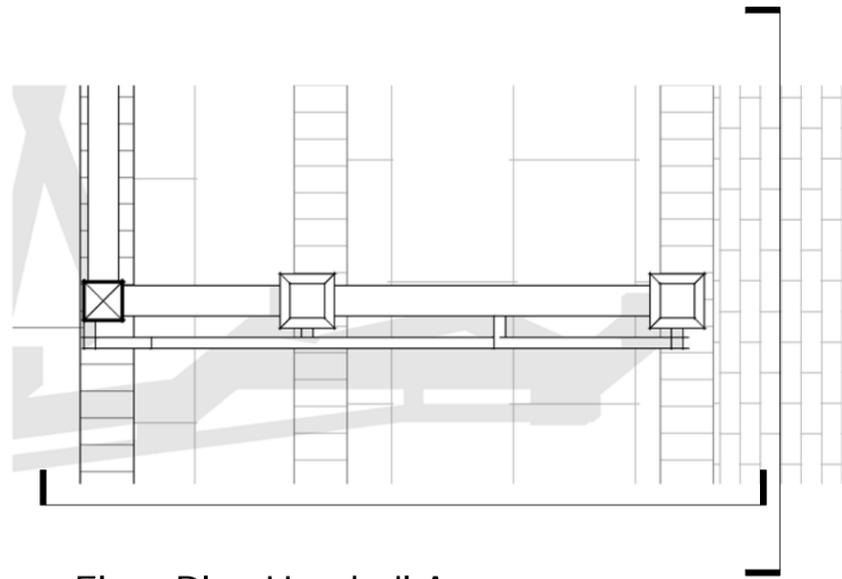


Aerial View  
 not to scale

Location of Work Area

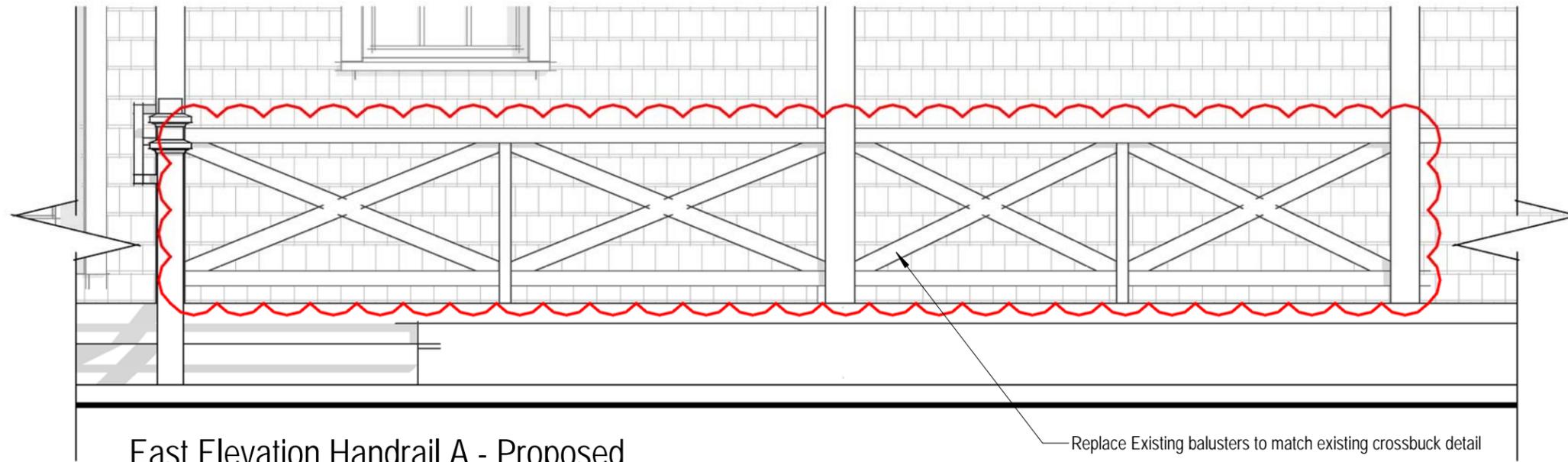


8 Williams Lane Nantucket, MA  
 02554  
 P. 508.325.4995  
 F. 508.325.6980  
 www.emeritusdevelopment.com



Floor Plan Handrail A

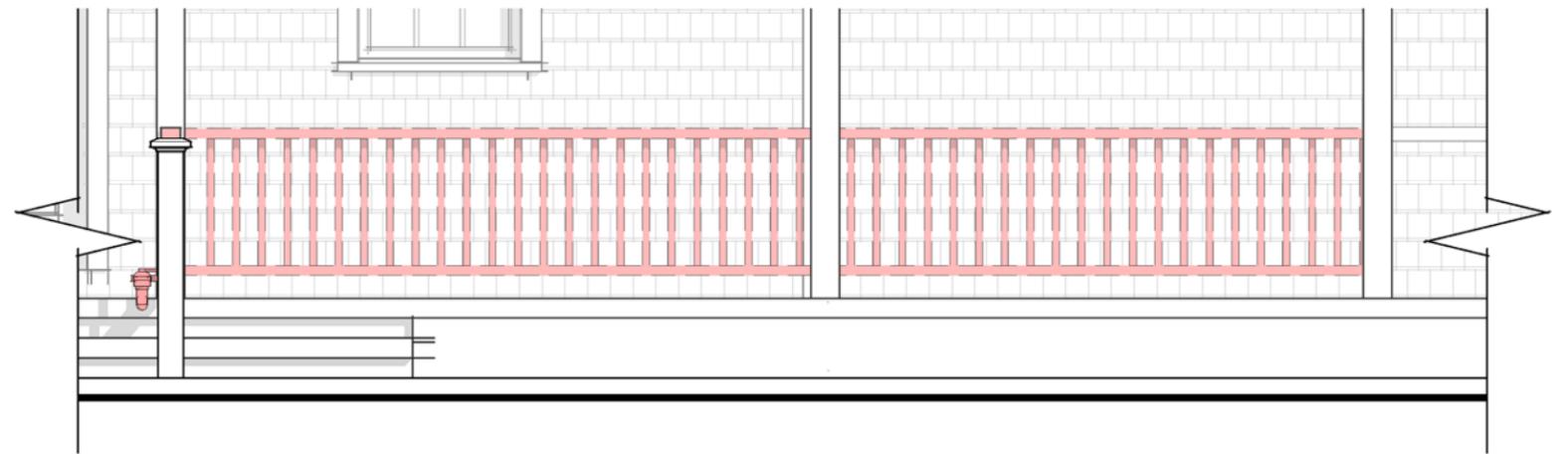
1/2" = 1'-0"



East Elevation Handrail A - Proposed

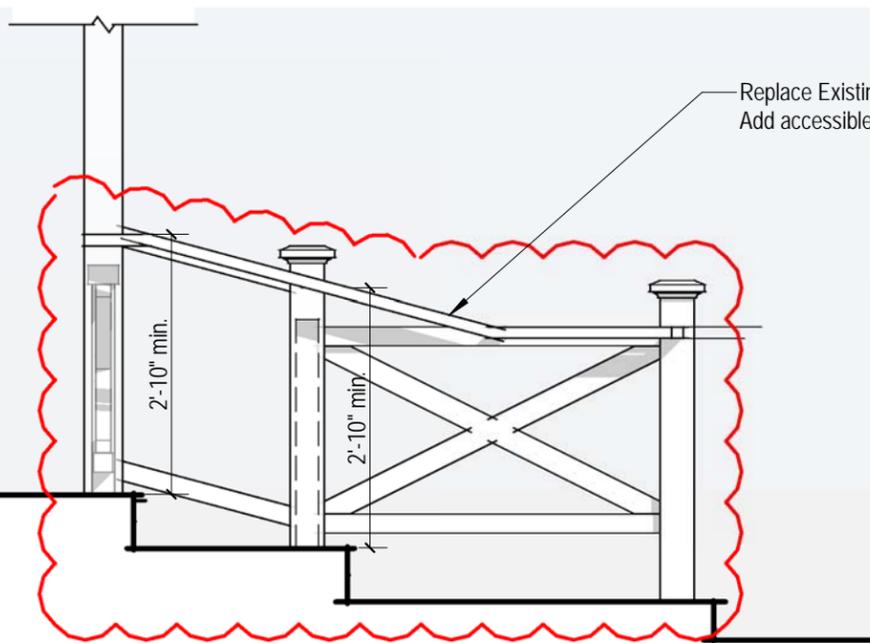
1/2" = 1'-0"

Replace Existing balusters to match existing crossbuck detail



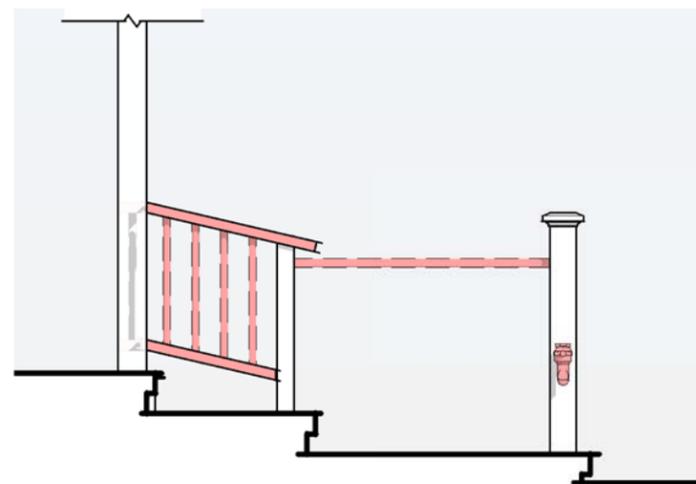
East Elevation Handrail A - Existing / Demo

3/8" = 1'-0"



South Elevation Handrail A - Proposed

1/2" = 1'-0"



South Elevation Handrail A - Existing / Demo

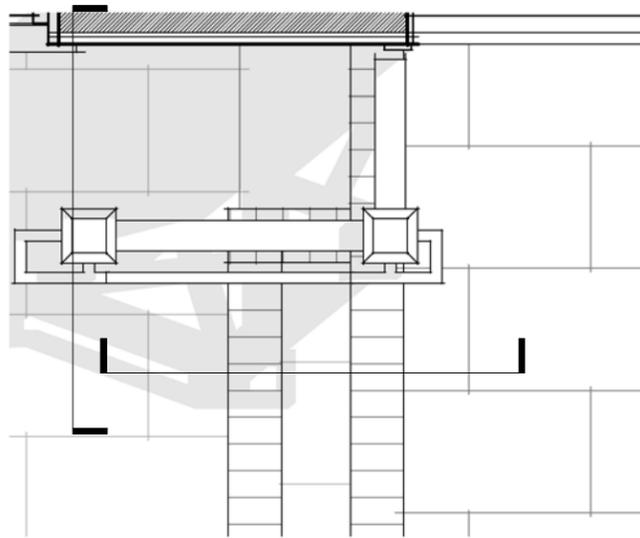
3/8" = 1'-0"

*Railing*

46 Jefferson Ave,  
Nantucket, MA 02554

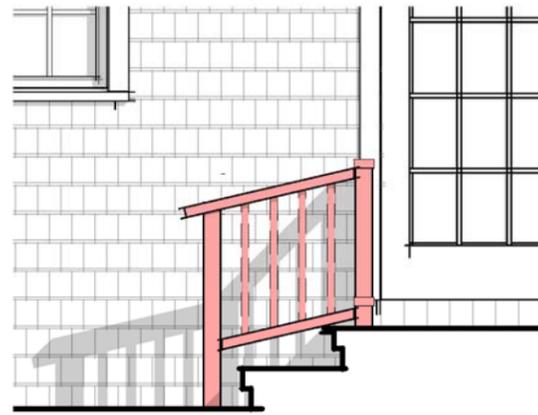


8 Williams Lane Nantucket, MA  
02554  
P. 508.325.4995  
F. 508.325.6980  
www.emeritusdevelopment.com



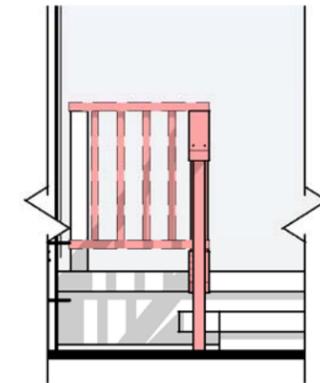
Floor Plan Handrail B

1/2" = 1'-0"



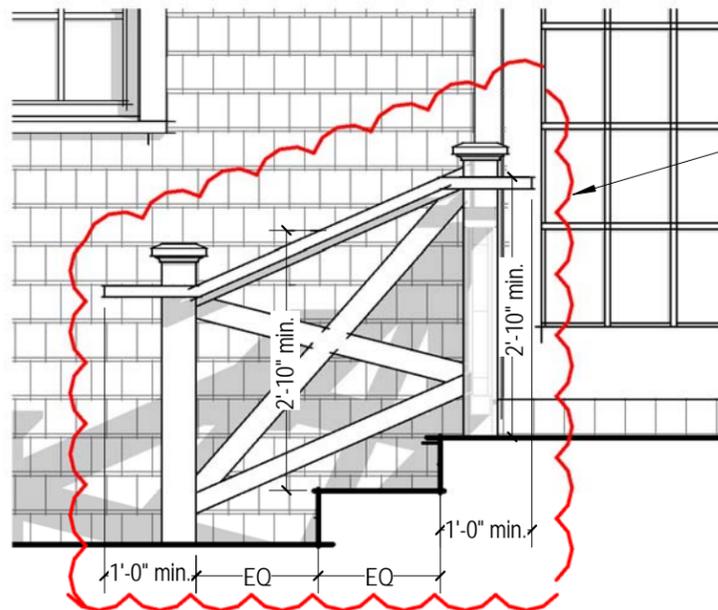
East Elevation Handrail B - Existing / Demo

3/8" = 1'-0"



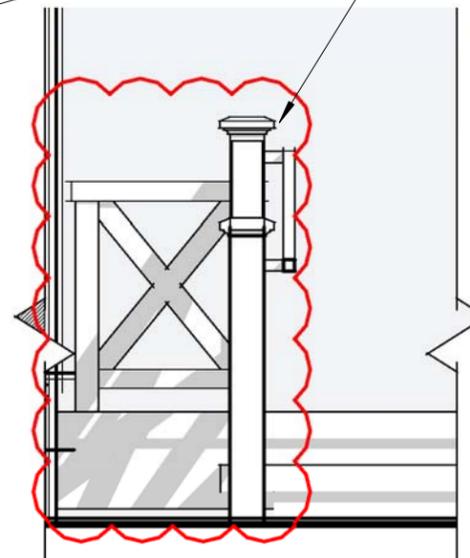
South Elevation Handrail B - Existing / Demo

3/8" = 1'-0"



East Elevation Handrail B - Proposed

1/2" = 1'-0"



South Elevation Handrail B - Proposed

1/2" = 1'-0"

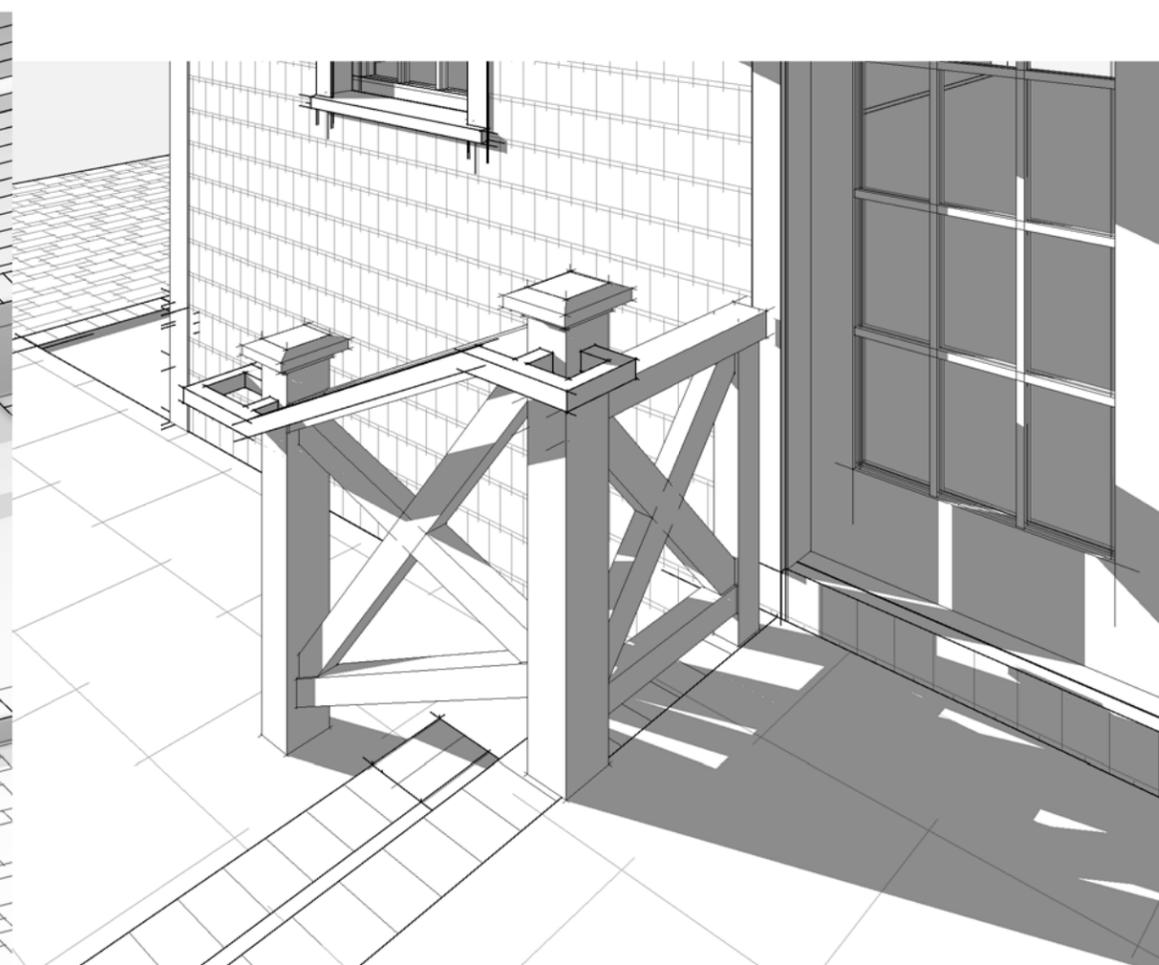
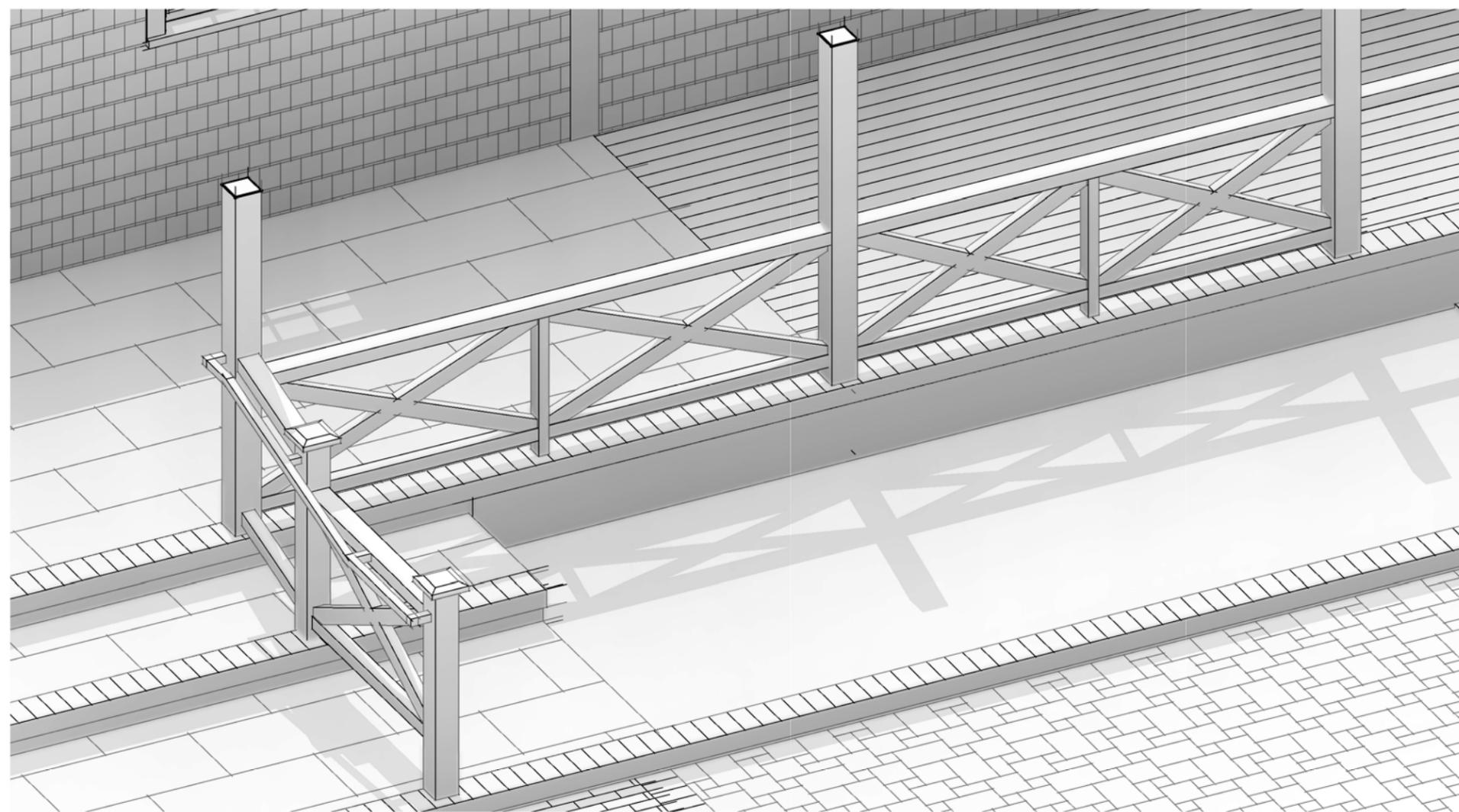
Replace Existing balusters to match existing crossbuck detail  
Add accessible handrail

*Railing*

46 Jefferson Ave,  
Nantucket, MA 02554

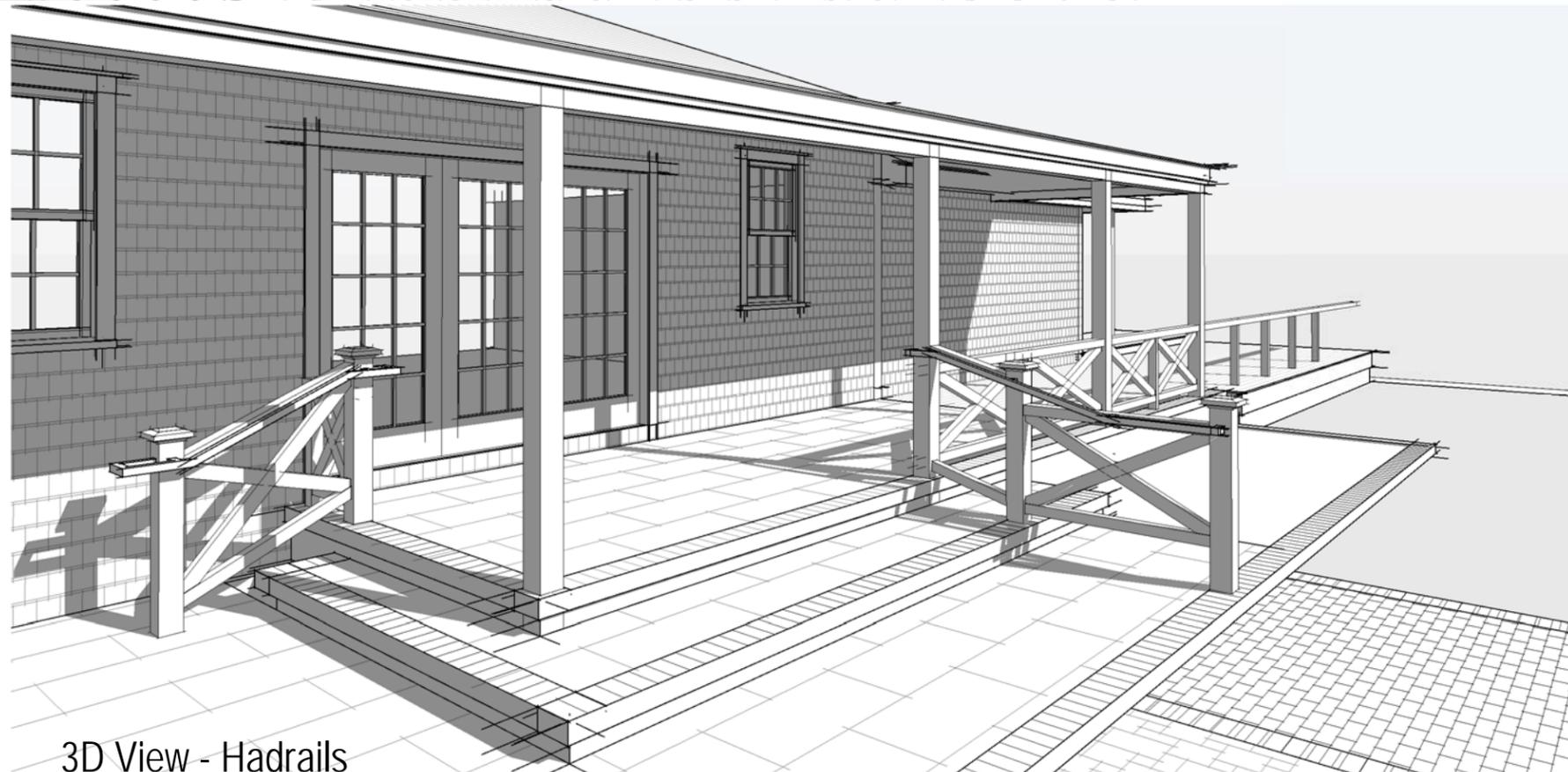


8 Williams Lane Nantucket, MA  
02554  
P. 508.325.4995  
F. 508.325.6980  
www.emeritusdevelopment.com



3D View - Handrail B

3D View - Handrail A



3D View - Handrails

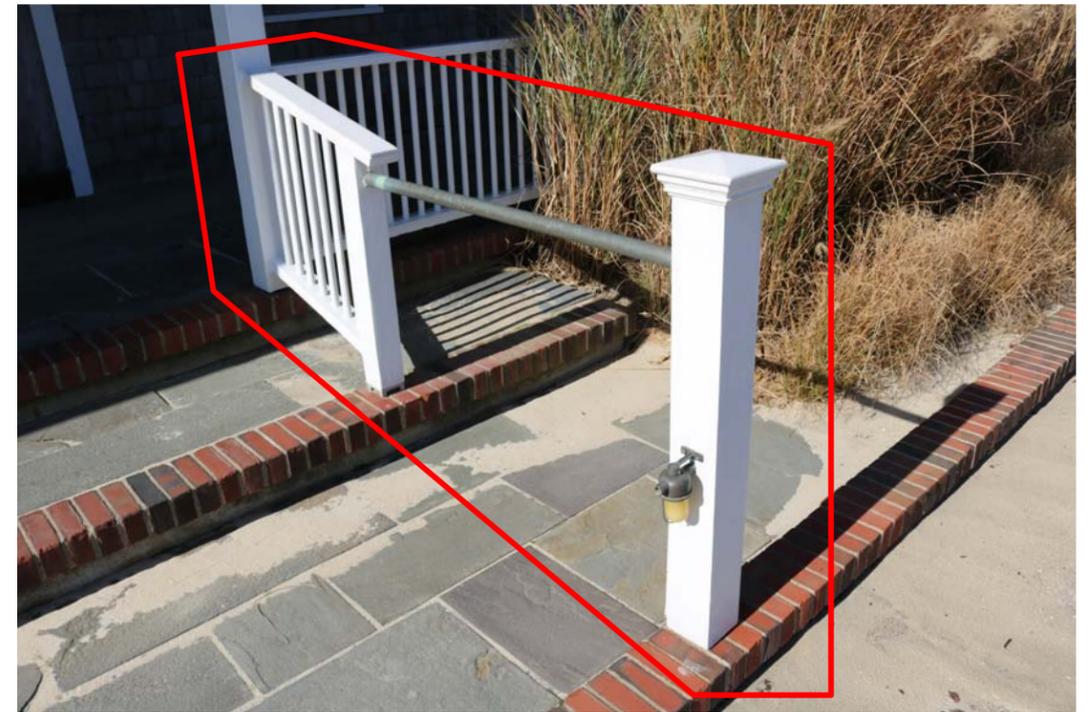
*Railing*  
46 Jefferson Ave,  
Nantucket, MA 02554



8 Williams Lane Nantucket, MA  
02554  
P. 508.325.4995  
F. 508.325.6980  
www.emeritusdevelopment.com



Existing East Elevation



Existing Handrail A

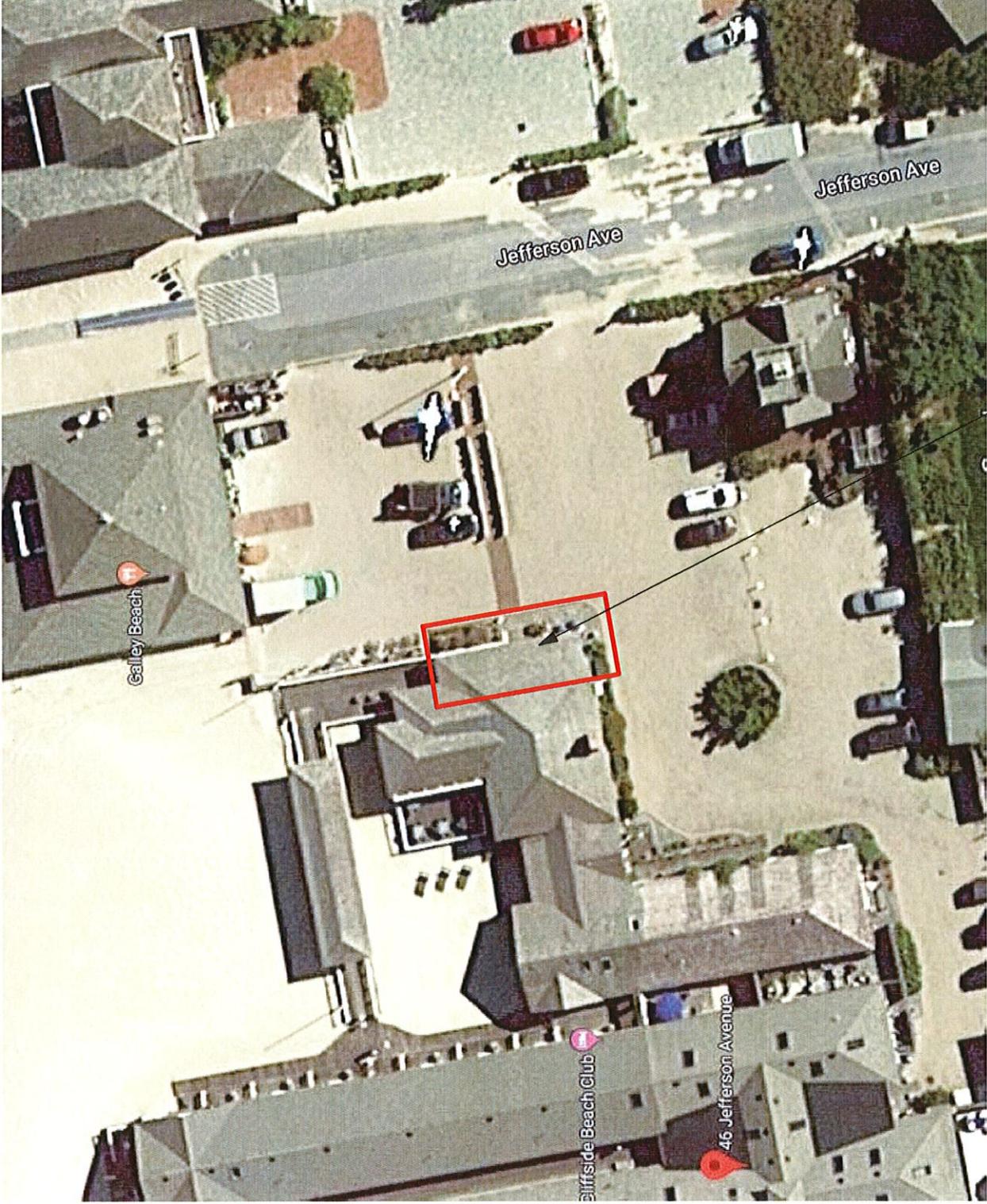


Existing Handrail B



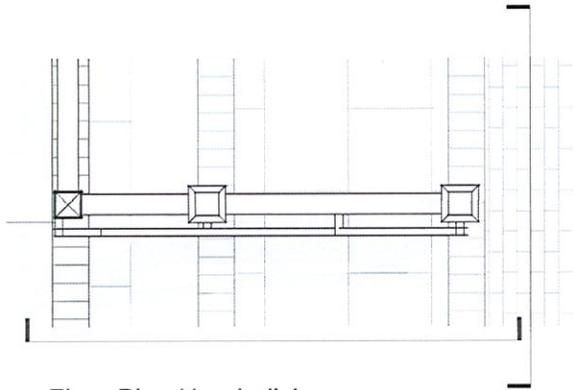
Existing Crossback Detail

*Railing*  
46 Jefferson Ave,  
Nantucket, MA 02554



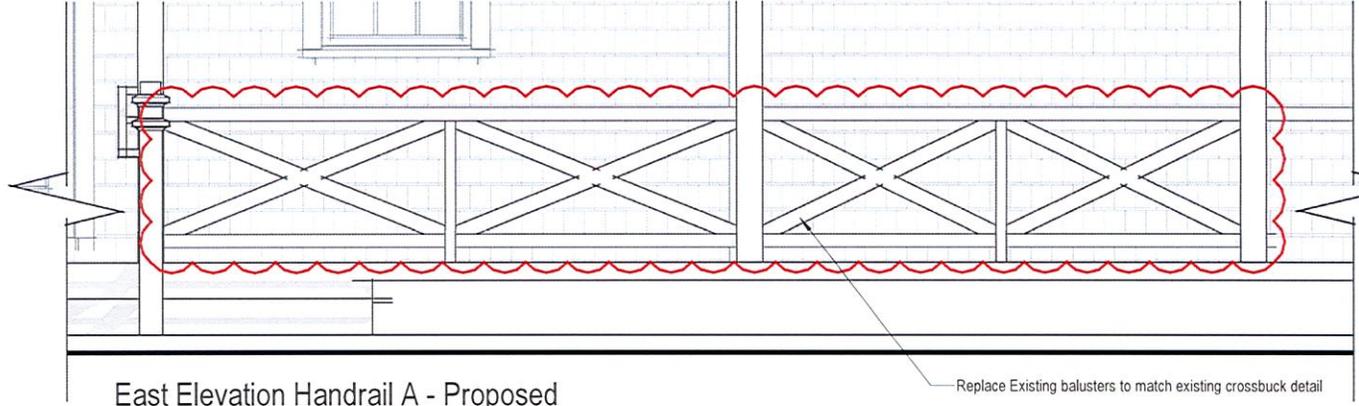
Location of Work Area

Aerial View  
not to scale



Floor Plan Handrail A

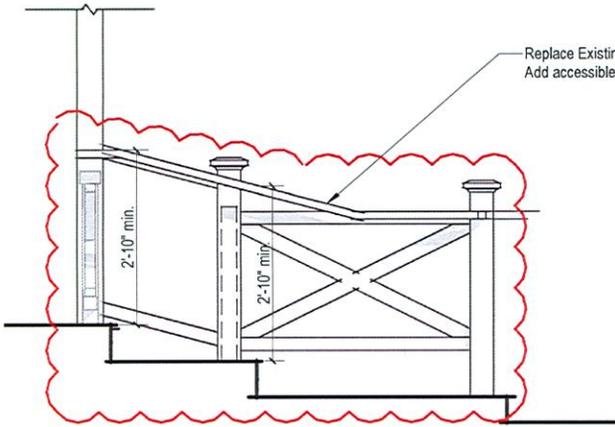
1/2" = 1'-0"



East Elevation Handrail A - Proposed

1/2" = 1'-0"

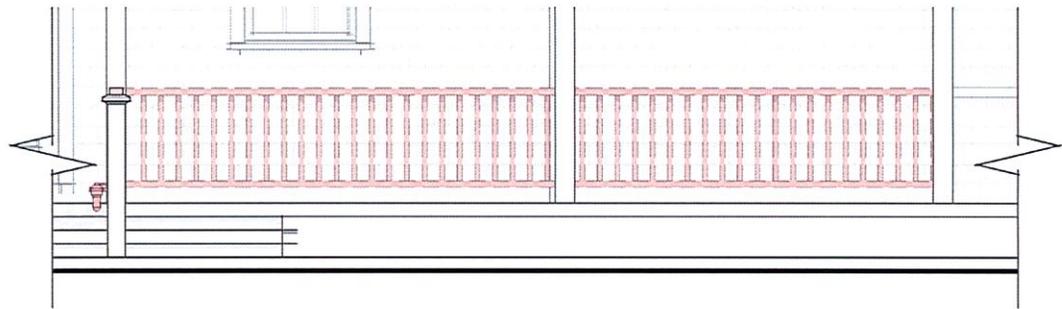
Replace Existing balusters to match existing crossbuck detail



South Elevation Handrail A - Proposed

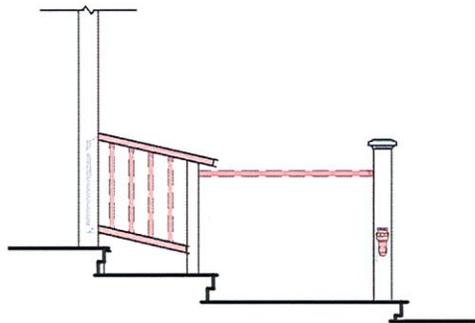
1/2" = 1'-0"

Replace Existing balusters to match existing crossbuck detail  
Add accessible handrail



East Elevation Handrail A - Existing / Demo

3/8" = 1'-0"

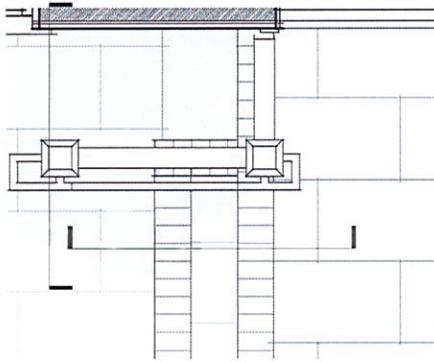


South Elevation Handrail A - Existing / Demo

3/8" = 1'-0"

*Railing*

46 Jefferson Ave,  
Nantucket, MA 02554



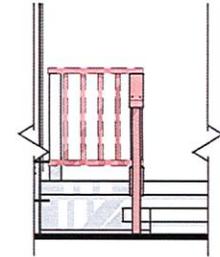
Floor Plan Handrail B

1/2" = 1'-0"



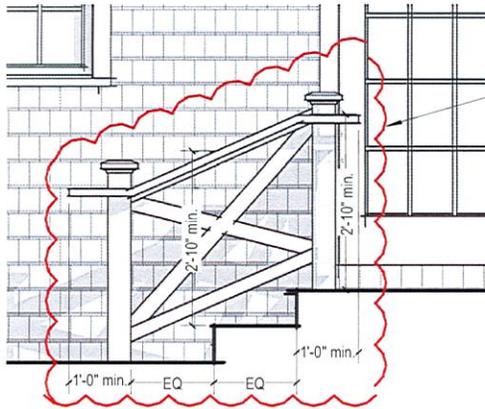
East Elevation Handrail B - Existing / Demo

3/8" = 1'-0"



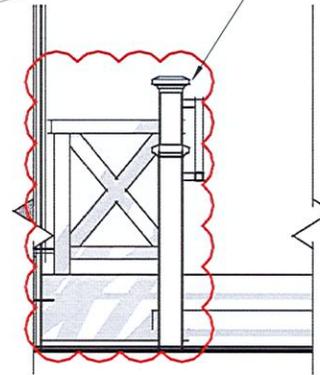
South Elevation Handrail B - Existing / Demo

3/8" = 1'-0"



East Elevation Handrail B - Proposed

1/2" = 1'-0"

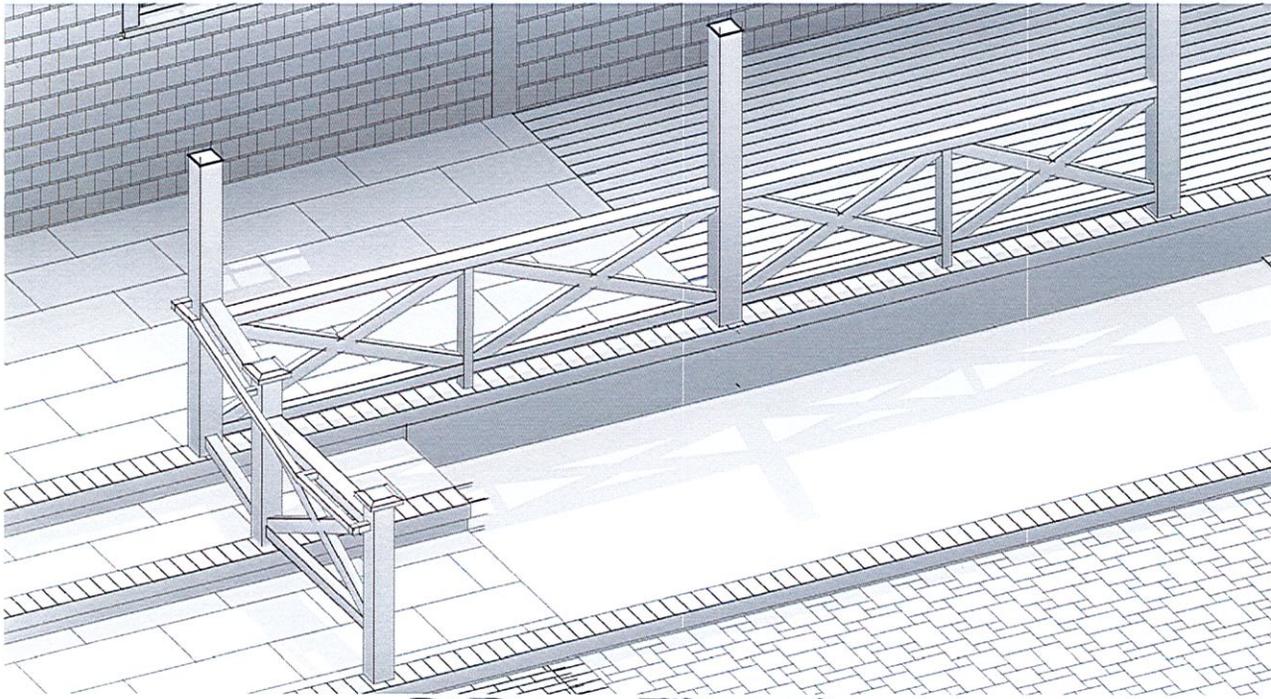


South Elevation Handrail B - Proposed

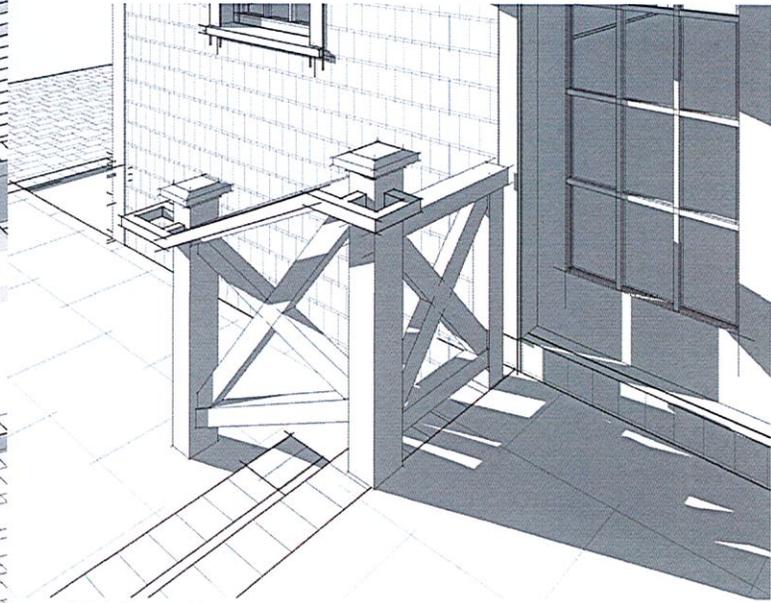
1/2" = 1'-0"

Replace Existing balusters to match existing crossbuck detail  
Add accessible handrail

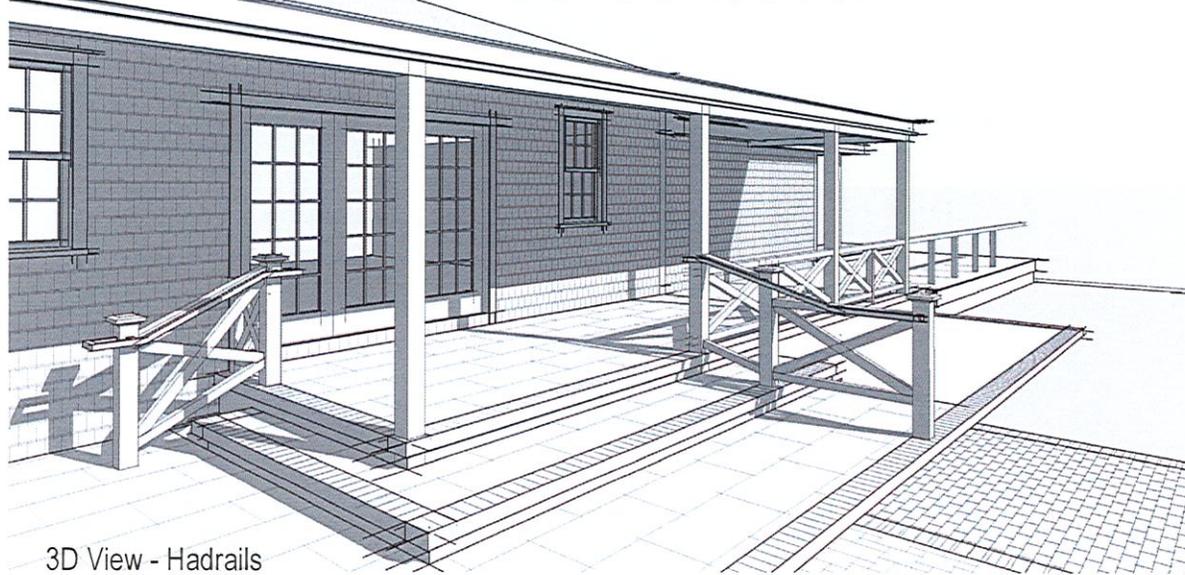
*Railing*  
46 Jefferson Ave,  
Nantucket, MA 02554



3D View - Handrail A



3D View - Handrail B

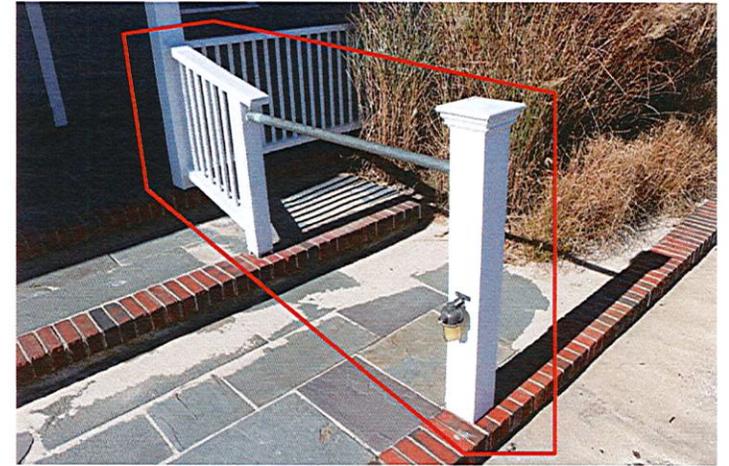


3D View - Handrails

*Railing*  
46 Jefferson Ave,  
Nantucket, MA 02554



Existing East Elevation



Existing Handrail A



Existing Handrail B

*Railing*  
46 Jefferson Ave,  
Nantucket, MA 02554



Existing Crossbuck Detail

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 41 PARCEL N<sup>o</sup>: 28  
Street & Number of Proposed Work: 50 CLIFF RD  
Owner of record: MATTHEW FEE  
Mailing Address: 50 CLIFF RD  
NANTUCKET MA 02554  
Contact Phone #: 774 236 1174 E-mail: smat@nantucket.com

**AGENT INFORMATION (if applicable)**

Name: ACK SMART ENERGY  
Mailing Address: 61 OLD SOUTH RD # 500  
NANTUCKET MA 02554  
Contact Phone #: 508 257 1786 E-mail: SOAK@ACKSMART.COM

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other INSTALL 37 ALL BLACK ROOF MOUNTED SOLAR PV PANELS  
Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

\* Note: Complete door and window schedules are required.

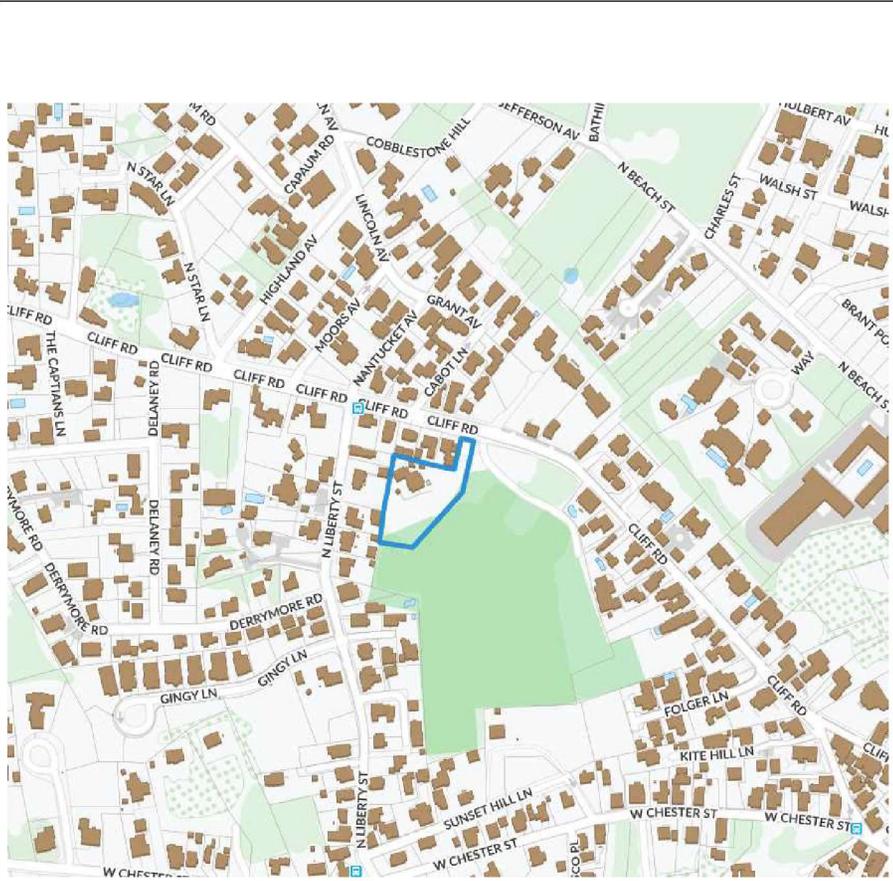
**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

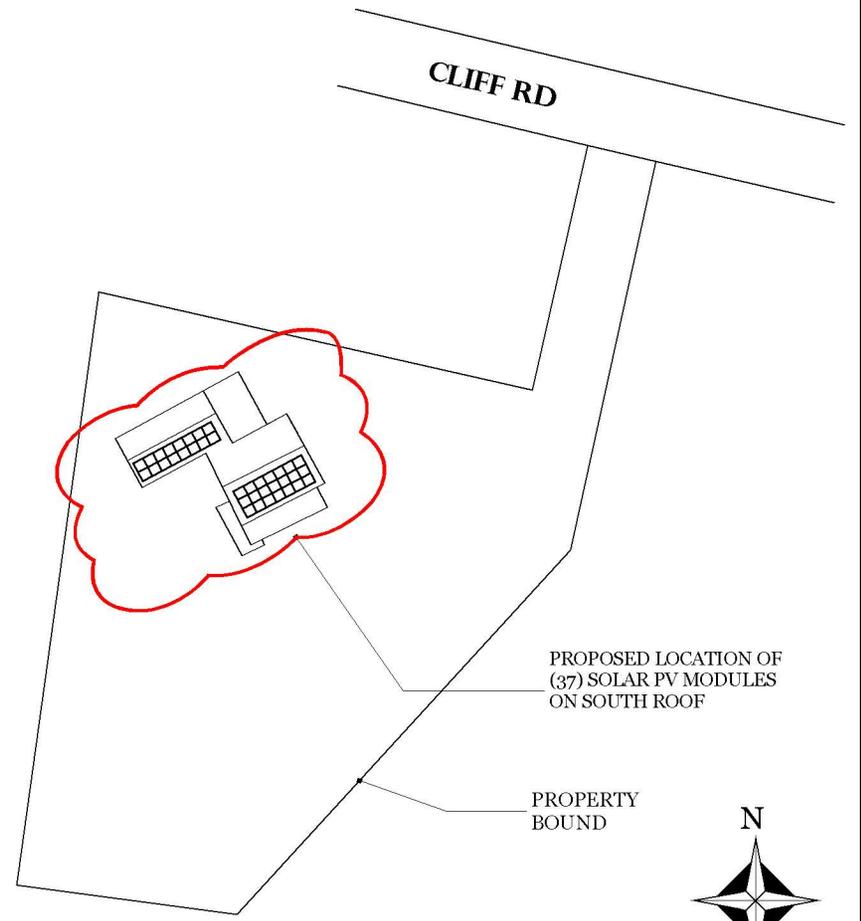
Date 11/20/19 Signature of owner of record W Fee Matthew Fee Signed under penalties of perjury



locus map  
Scale: not to scale

ZONING CLASS: R0H  
Front Setback: NONE  
side/rear setback: 5 ft

Site Plan  
Scale: 1" = 50' 0"



PROPOSED LOCATION OF  
(37) SOLAR PV MODULES  
ON SOUTH ROOF

PROPERTY  
BOUND



GIS & SITE PLAN

ROOFTOP SOLAR ARRAY  
12.03 KW DC, 7.6 KW AC

OWNER:	FEE, MATTHEW
SITE ADDRESS:	50 CLIFF RD
CITY, STATE, ZIP:	NANTUCKET, MA 02554
MAP: 41	PARCEL: 28

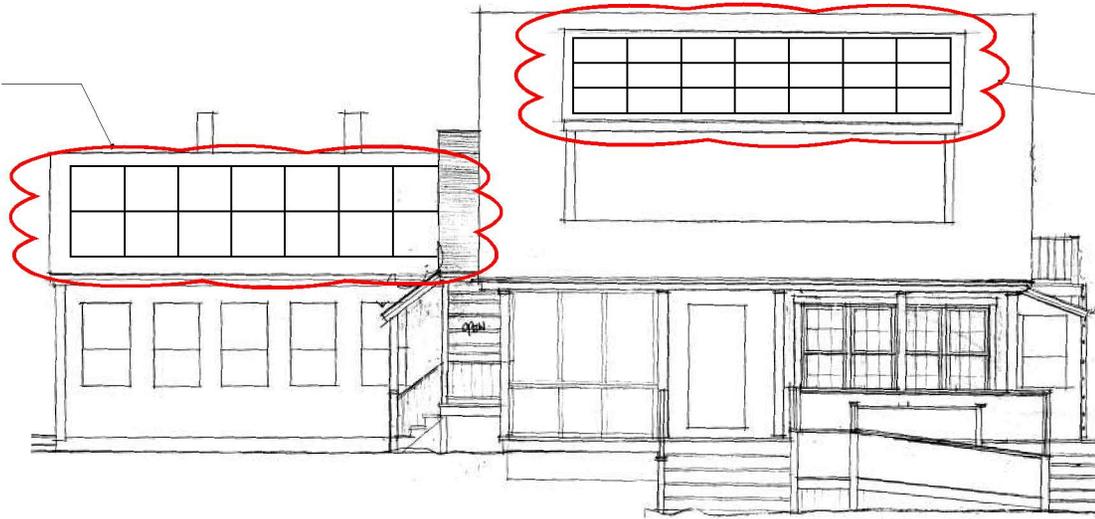
REVISIONS	
MM/DD/YY	REMARKS
1 1/8/2020	SUBMITTED FOR HDC & PERMITTING REVIEW
2	
3	
4	
5	

PV 01

PROPOSED INSTALLATION OF  
(16) ALL BLACK SOLAR PV  
MODULES TO SOUTH ROOFTOP

PROPOSED INSTALLATION OF  
(21) ALL BLACK SOLAR PV  
MODULES TO SOUTH ROOFTOP

SOUTH



EAST



Scale: 1/8" = 1' 0"



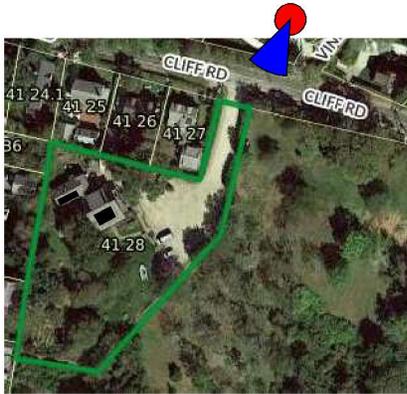
PROPOSED ELEVATIONS

ROOFTOP SOLAR ARRAY  
12.03 KW DC, 7.6 KW AC

OWNER:	FEE, MATTHEW
SITE ADDRESS:	50 CLIFF RD
CITY, STATE, ZIP:	NANTUCKET, MA 02554
MAP: 41	PARCEL: 28

REVISIONS	
MM/DD/YY	REMARKS
1 1/8/2020	SUBMITTED FOR HDC & PERMITTING REVIEW
2	
3	
4	
5	

PV 02



Solar array will not be visible from Cliff Rd



PHOTOS

ROOFTOP SOLAR ARRAY  
12.03 KW DC, 7.6 KW AC

OWNER: FEE, MATTHEW  
SITE ADDRESS: 50 CLIFF RD  
CITY, STATE, ZIP: NANTUCKET, MA 02554  
MAP: 41 PARCEL: 28

REVISIONS

MM/DD/YY	REMARKS
1/8/2020	SUBMITTED FOR HDC & PERMITTING REVIEW
2	
3	
4	
5	

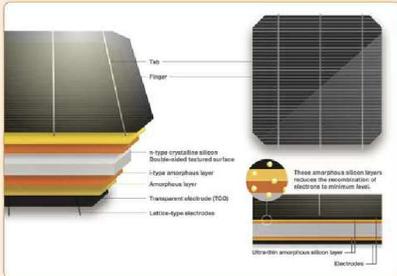


**HIT.**  
Photovoltaic Module

**Panasonic**

**N325K / N320K**

Panasonic's unique heterojunction technology uses ultra-thin amorphous silicon layers. These thin dual layers reduce losses, resulting in higher energy output than conventional panels.



Panasonic HIT® Black is the brand new all-black module which features high efficiency 19.4%, industry leading temperature coefficient of  $-0.258\%/^{\circ}\text{C}$  and a sleek design. Powerful and aesthetically designed to make your roof look great.



**Our competitive advantages**



**High Efficiency at High Temperatures**  
As temperature increases, HIT® continues to perform at high levels due to the industry leading temperature coefficient of  $-0.258\%/^{\circ}\text{C}$ . No other module even comes close to our temperature characteristics. That means more energy throughout the day.



**25 Year Product and Performance Warranty\*\***  
Industry leading 25 year product workmanship and performance warranty is backed by a century old company - Panasonic. Power output is guaranteed to 90.76% after 25 years, far greater than other companies.



**Quality and Reliability**  
Panasonic's vertical integration, 21 years of experience manufacturing HIT® and 20 internal tests beyond those mandated by current standards provides extreme quality assurance.



**Higher Efficiency 19.4%**  
Enables higher power output and greater energy yields. HIT® provides maximum production for your limited roof space.



**Low Degradation**  
HIT "N-type" cells result in extremely Low Light Induced Degradation (LID) and zero Potential Induced Degradation (PID) which supports reliability and longevity. This technology reduces annual degradation to 0.26% compare to 0.70% in conventional panels, guaranteeing more power for the long haul.



**Enhanced Frame Design**  
A new 40mm frame increases durability and strength, being able to handle loads of up to 5400Pa. Also, the water drainage system gives rain water and snow melt a place to go, reducing water stains and soiling. Less dirt on the module means more sunlight getting through to generate power.

HIT® is a registered trademark of Panasonic Group

**HIT.**  
Photovoltaic Module

**Panasonic**

**N325K / N320K**

**ELECTRICAL SPECIFICATIONS**

Model	VBHN325KA03	VBHN320KA03
Rated Power (P <sub>max</sub> ) <sup>1</sup>	325W	320W
Maximum Power Voltage (V <sub>mp</sub> )	59.2V	58.7V
Maximum Power Current (I <sub>mp</sub> )	5.50A	5.46A
Open Circuit Voltage (V <sub>oc</sub> )	70.9V	70.5V
Short Circuit Current (I <sub>sc</sub> )	5.94A	5.89A
Temperature Coefficient (P <sub>max</sub> )	-0.258%/°C	-0.258%/°C
Temperature Coefficient (V <sub>oc</sub> )	-0.17%/°C	-0.16%/°C
Temperature Coefficient (I <sub>sc</sub> )	3.27mA/°C	3.21mA/°C
NOCT	44.6°C	44.9°C
CEC PTC Rating (Potential)	302.4	297.6
Cell Efficiency	21.8%	21.5%
Module Efficiency	19.4%	19.1%
Watts per Ft. <sup>2</sup>	18.03W	17.8W
Maximum System Voltage	600V	600V
Series Fuse Rating	15A	15A
Warranted Tolerance (±%)	+10%/-0%	+10%/-0%

**MECHANICAL SPECIFICATIONS**

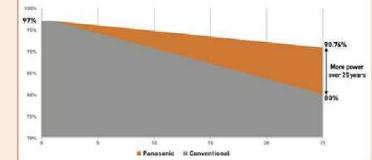
Model	VBHN325KA03, VBHN320KA03
Internal Bypass Diodes	4 Bypass Diodes
Module Area	16.92 Ft. <sup>2</sup> (1.47m <sup>2</sup> )
Weight	41.89 Lbs (19kg)
Dimensions LxWxH	62.6 x 41.5 x 1.6 (1593x1053x40mm)
Cable Length - Male/F - Female	40.2x40.2 in. (1020x1020 mm)
Cable Size / Type	No. 12 AWG / PV Cable
Connector Type <sup>1</sup>	Multi-Contact <sup>2</sup> Type IV (MC4™)
Static Wind / Snow Load	112 PSF (5400Pa)***
Pallet Dimensions LxWxH	65.3x43.7x48.5 in. (1663x1115x1232mm)
Quantity per Pallet / Pallet Weight	24 pcs./1629 Lbs. (475 kg)
Quantity per 40' Container	472 pcs.
Quantity per 20' Container	236 pcs.

**Operating Conditions & Safety Ratings**

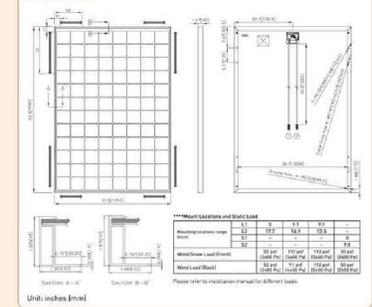
Model	VBHN325KA03, VBHN320KA03
Operating Temperature	-40°F to 185°F (-40°C to 85°C)
Hail Safety Impact Velocity	1" hailstone (25mm) at 52 mph (22m/s)
Safety & Rating Certifications	UL 1703, cUL, Certified by UL LLC, CEC, FUSE, ISO9001
UL 1703 Fire Classification	Type 2
Limited Warranty	25** Yrs Workmanship and Power Output Linear***
Manufacturing Locations	USA and Malaysia

NOTE: Standard Test Conditions: Air mass 1.5, irradiance = 1000W/m<sup>2</sup>, cell temp. 25°C  
 \* Maximum power at delivery. For guarantee conditions, please check our guarantee document.  
 \*\* Installation need to be registered through our website [www.panasonicamericas.com](http://www.panasonicamericas.com) within 60 days in order to receive better five (5) year product workmanship. Otherwise, product workmanship will be only fifteen (15) years.  
 \*\*\* 1st year 1%, after 3rd year 0.25% annual degradation to year 25.  
 \*S10: Cell Temp. 25°C, AM1.5, 1000W/m<sup>2</sup>  
 \*Safety locking step (PV-25014) is not applied with the module.  
 NOTE: Specifications and information subject may change without notice.

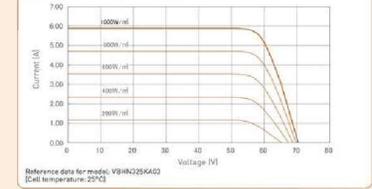
**PERFORMANCE WARRANTY**



**DIMENSIONS**



**DEPENDENCE ON IRRADIANCE**



CAUTION! Please read the installation manual carefully before using the products. Used electrical and electronic products must not be mixed with general household waste. For proper treatment, recovery and recycling of old products, please take them to applicable collection points in accordance with your national legislation.

**Panasonic**

Panasonic Eco Solutions of North America  
Two Riverfront Plaza, 5th Floor, Newark, NJ 07102  
panasonic@11plus.panasonic.com  
na.panasonic.com/solarpanels

All Rights Reserved © 2011 COPYRIGHT Panasonic Corporation  
Specifications are subject to change without notice  
08/2017

RS17940D5\_3.14.19



**PV MODULE SPECIFICATIONS**

ROOFTOP SOLAR ARRAY  
12.03 KW DC, 7.6 KW AC

OWNER:	FEE, MATTHEW	REVISIONS	
SITE ADDRESS:	50 CLIFF RD	MM/DD/YYYY	REMARKS
		1	8/8/2020 SUBMITTED FOR HDC & PERMITTING REVIEW
		2	
		3	
		4	
		5	
CITY, STATE, ZIP:	NANTUCKET, MA 02554		
MAP: 41	PARCEL: 28		

PV 04

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.  
**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 42.3.2 PARCEL N°: 101  
Street & Number of Proposed Work: 51 FAIR STREET  
Owner of record: Joanne + Jonathan Ames  
Mailing Address: 11 JONAS CROSS LN.  
GRANDVERMIL, NJ. 07450  
Contact Phone #: \_\_\_\_\_ E-mail: lastpro@aol.com

#### AGENT INFORMATION (If applicable)

Name: VALONIA DESIGN INC.  
Mailing Address: PO BOX 3057  
NANTUCKET, MA 0584  
Contact Phone: (508) 325-4919 E-mail: ackval@valoniacom.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other: EXTERNAL SHOWER (BxA)  
Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North N/A South N/A East N/A West N/A

#### Additional Remarks

Historic Name: (N/A) DOES NOT INVOLVE REVISIONS\*: 1. East Elevation  
ATELINO HOUSE (describe) 2. South Elevation  
Original Date: \_\_\_\_\_ 3. West Elevation EXT. SHOWER  
Original Builder: 1900 4. North Elevation

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass /12 Secondary Mass /12 Dormer /12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): \_\_\_\_\_  
Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

SHOWER ENCLOSURE  
Form: Height: 4'-0"  
Type: BOARD/BATTEN  
Length: BxA NTW

\* Note: Complete door and window schedules are required.

NOT APPLICABLE

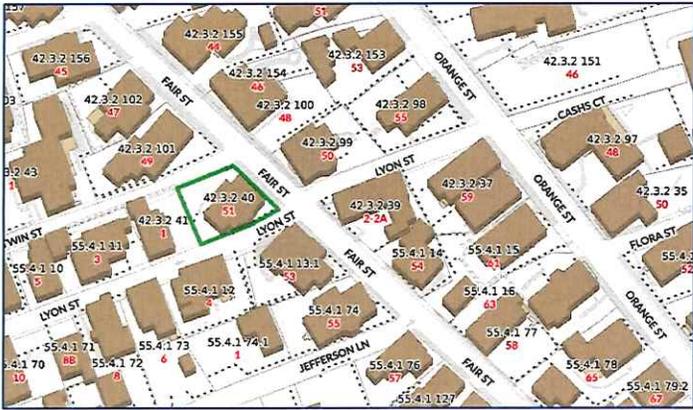
#### COLORS

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date: 12/29/19 Signature of owner of record: \_\_\_\_\_ Signed under penalties of perjury



MAP 42.3.2 PARCEL 101

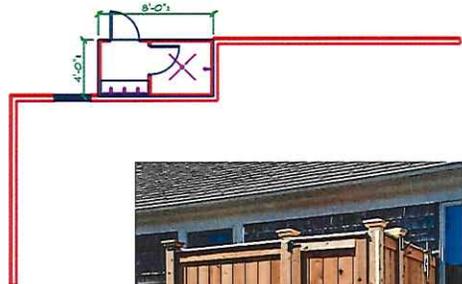
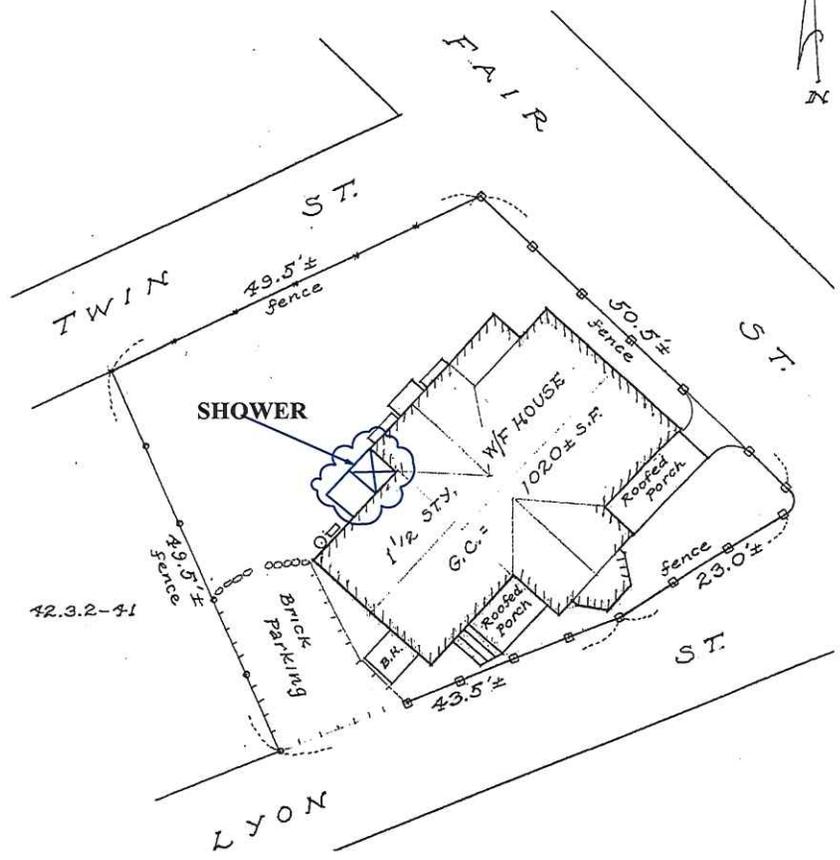


ZONING CLASSIFICATION: ROH

MIN. AREA: 5000 S.F.  
 MIN. FRONTAGE: 50 FT.  
 FRONT YARD S.B.: NONE  
 REAR & SIDE S.B.: 5 FT.  
 GROUND COVER (%): 50%

EXISTING:

3030± S.F. Approx. fenced area.  
 SEE PLAN



EXAMPLE



RECEIVED  
 JAN 08 2020

AMES- 51 FAIR ST  
 PROPOSED SHOWER

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 41 PARCEL N°: 27  
Street & Number of Proposed Work: 52 Cliff Rd  
Owner of record: Matthew & Shella Fox  
Mailing Address: 52 Cliff Rd,  
Nantucket, MA, 02554  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: Emmettus  
Mailing Address: 8 Williams Ln,  
Nantucket, MA, 02554  
Contact Phone #: 508 325 4995 E-mail: matf@emmettus-  
development.com

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. HDC 2019-11-009
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: NO CHANGE

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

**REVISIONS\***

- 1. East Elevation NO CHANGE
- (describe) 2. South Elevation roof & fenestration changes
- 3. West Elevation ''''''''
- 4. North Elevation NO CHANGES

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

NO CHANGE / MATCH EXISTING

**COLORS**

Sidewall NANTUCKET Clapboard (if applicable) N/A Roof NANTUCKET  
Trim WHITE Sash WHITE Doors WHITE  
Deck NANTUCKET Foundation N/A Fence N/A Shutters N/A

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 01/08/20

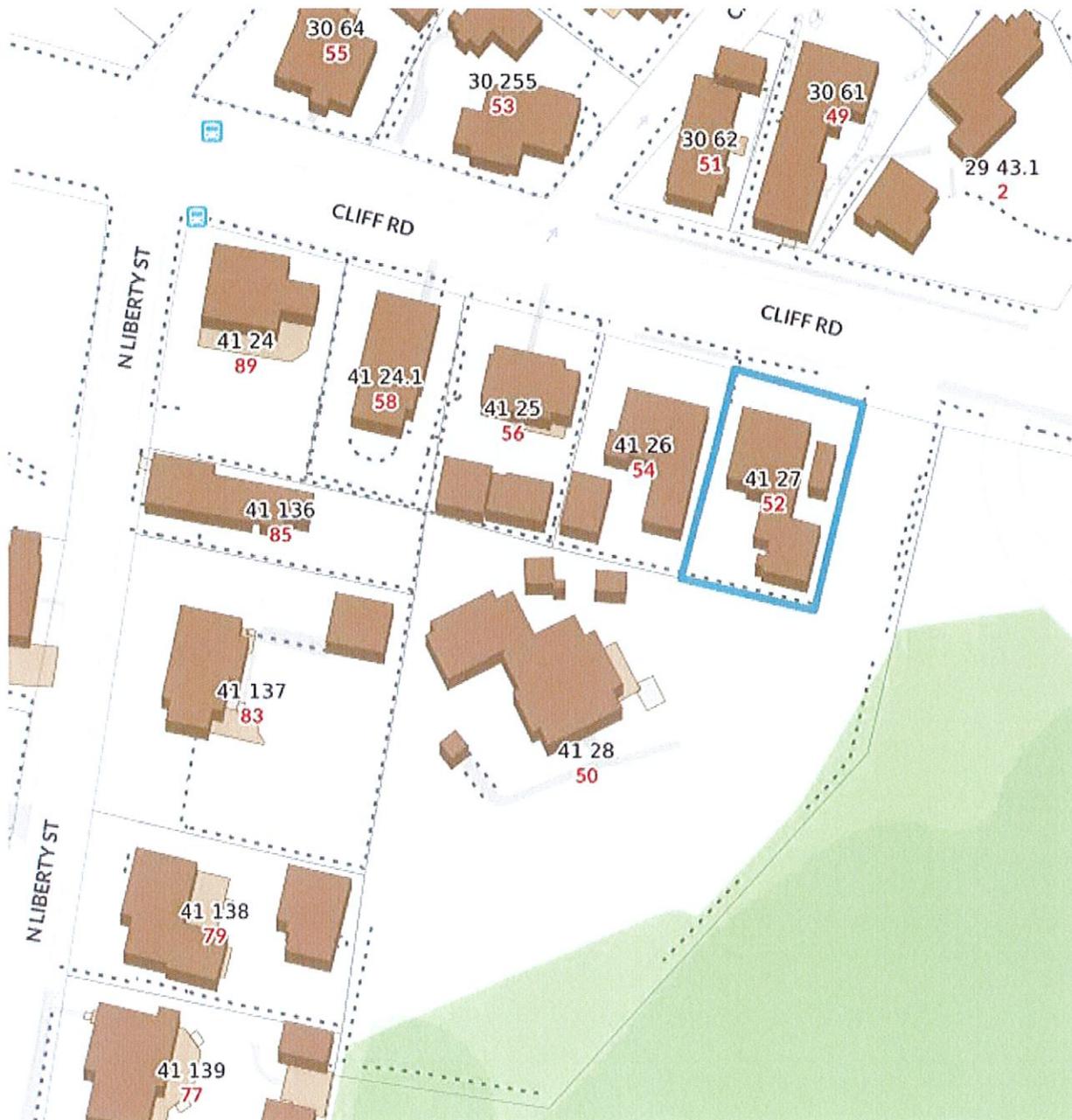
Signature of owner of record \_\_\_\_\_

Signed under penalty of perjury \_\_\_\_\_

# Fee Residence - Addition

52 Cliff Rd.

Nantucket, MA 02554



# Fee Residence - Addition

52 Cliff Rd.  
Nantucket, MA 02554

**1848**

Fee Residence -  
Addition  
52 Cliff Rd.  
Nantucket, MA 02554



**Cover Sheet**

**Site Information**

Map & Parcel:	41 / 27
Current Zoning:	ROH
Minimum Frontage:	50 ft.
Front Setback:	0 ft.
Side/Rear Setback:	5 ft.
Lot Size:	6,000 s.f. (+/-)
Min. Lot Size:	5,000 s.f.
Allowable G.C.:	40%   2,400 s.f.
Existing G.C.:	27%   1,619 s.f. (+/-)
Proposed G.C.:	6%   380 s.f. (+/-)
Total Proposed G.C.:	33%   1,999 s.f. (+/-)

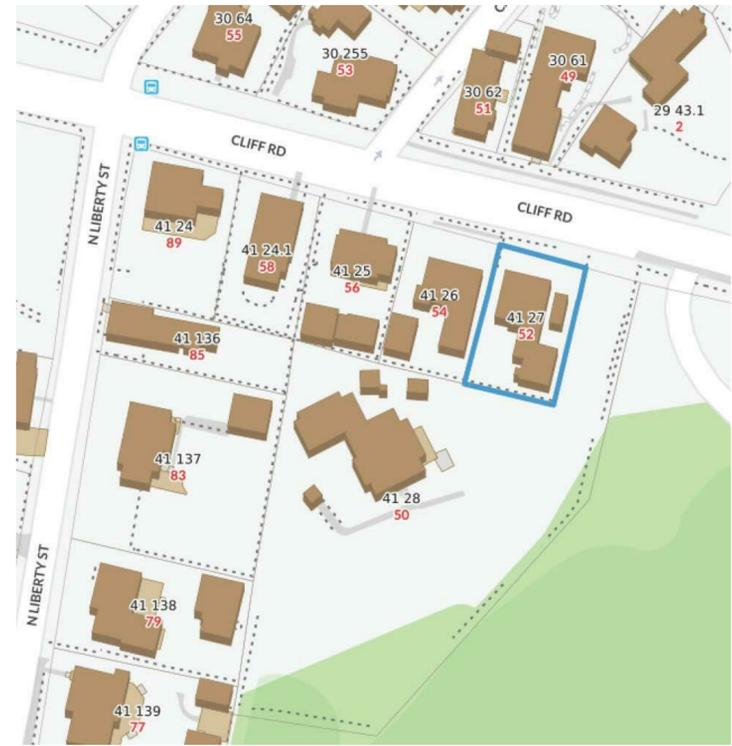
Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

**SHEET INDEX**

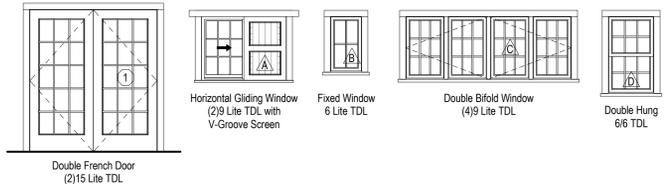
- G.1.1 Cover Sheet
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- F.1.1 Foundation Plan & Details
- S.1.1 Framing Plans
- S.2.1 Building Sections

01.08.20

H.D.C. Submission



**1** Locus Map  
Not to Scale

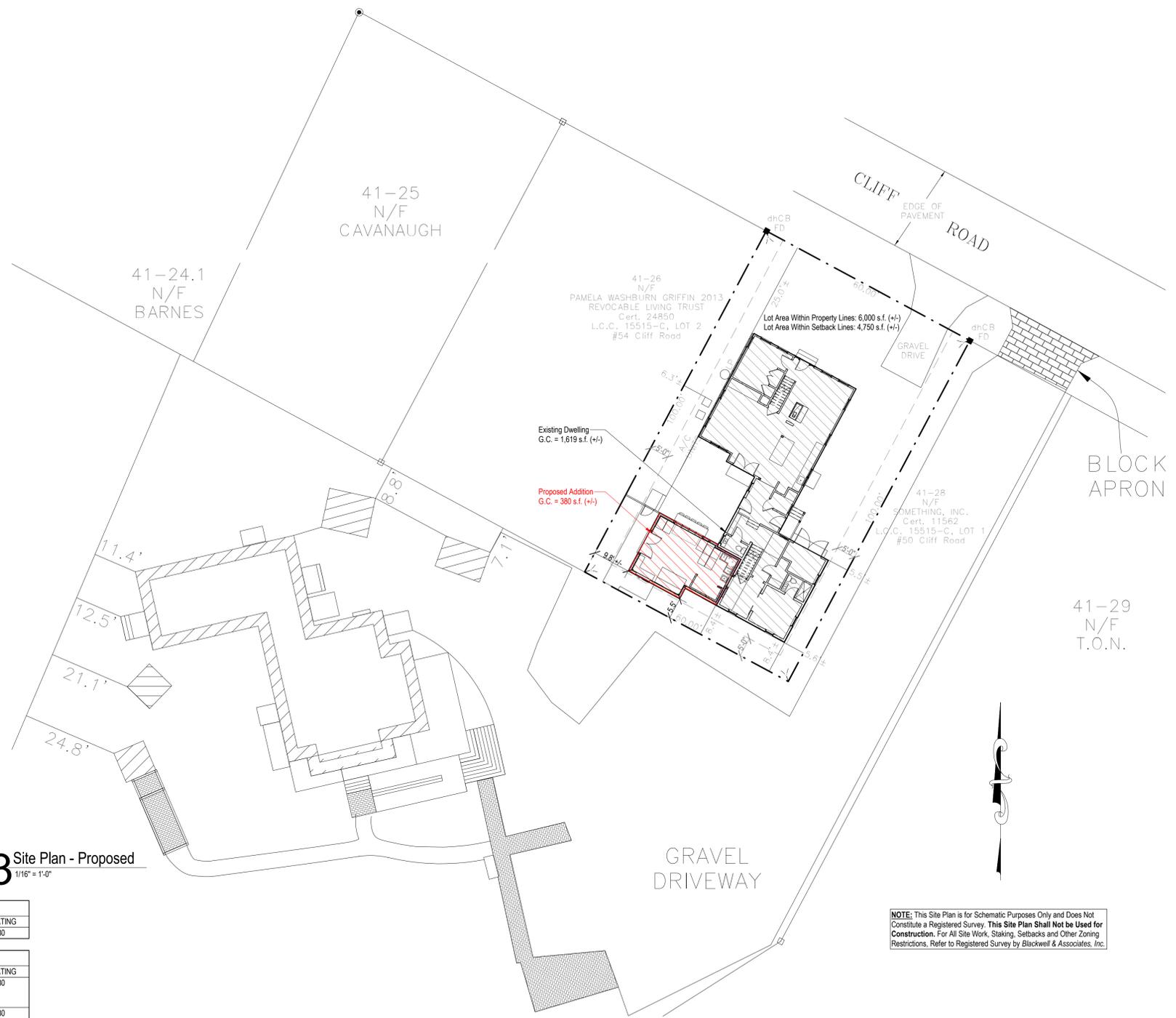


**2** Exterior Door & Window Legend  
1/4" = 1'-0"

EXTERIOR DOOR SCHEDULE						
DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION
1	1	6'-0"	6'-8"	N/A	N/A	Relocate Existing Double French Door
DP RATING						
≥ 30						

WINDOW SCHEDULE						
WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION
A	1	4'-0"	3'-0"	TBD	TBD	Horizontal Gliding Window, Wood, True Divided Lite, Single Pane Insulating Glass, V-Groove Screen
B	1	1'-8"	2'-8"	TBD	TBD	Fixed Window, Wood, True Divided Lite, Single Pane Insulating Glass
C	1	2'-0"	3'-0"	TBD	TBD	Double Bifold Window, Wood, True Divided Lite, Single Pane Insulating Glass
D	1	2'-4"	3'-8"	TBD	TBD	Double Hung Window, Wood, True Divided Lite, Single Pane Insulating Glass
DP RATING						
≥ 30						

**3** Site Plan - Proposed  
1/16" = 1'-0"



**NOTE:** This Site Plan is for Schematic Purposes Only and Does Not Constitute a Registered Survey. **This Site Plan Shall Not be Used for Construction.** For All Site Work, Staking, Setbacks and Other Zoning Restrictions, Refer to Registered Survey by Blackwell & Associates, Inc.

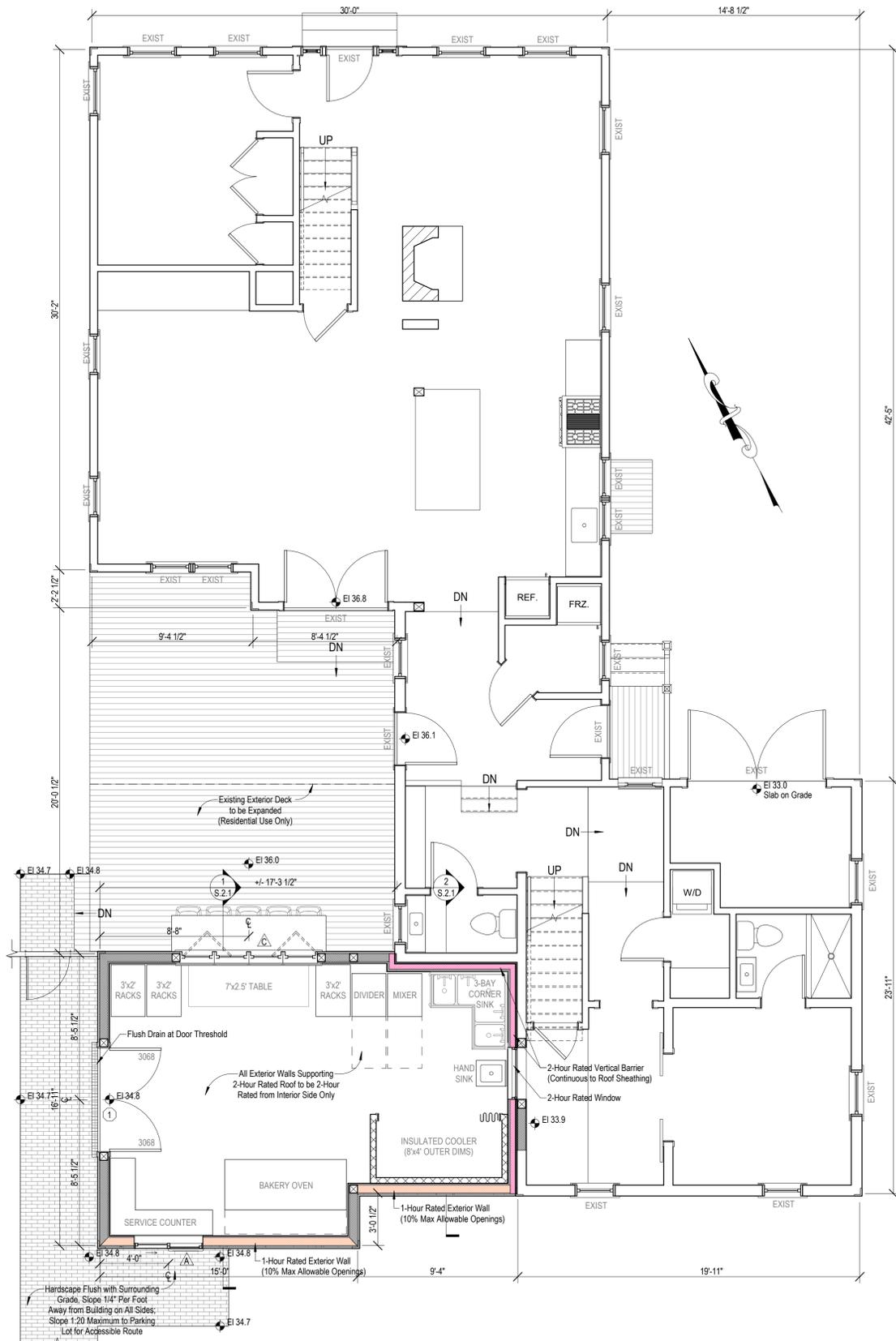
**Revisions**

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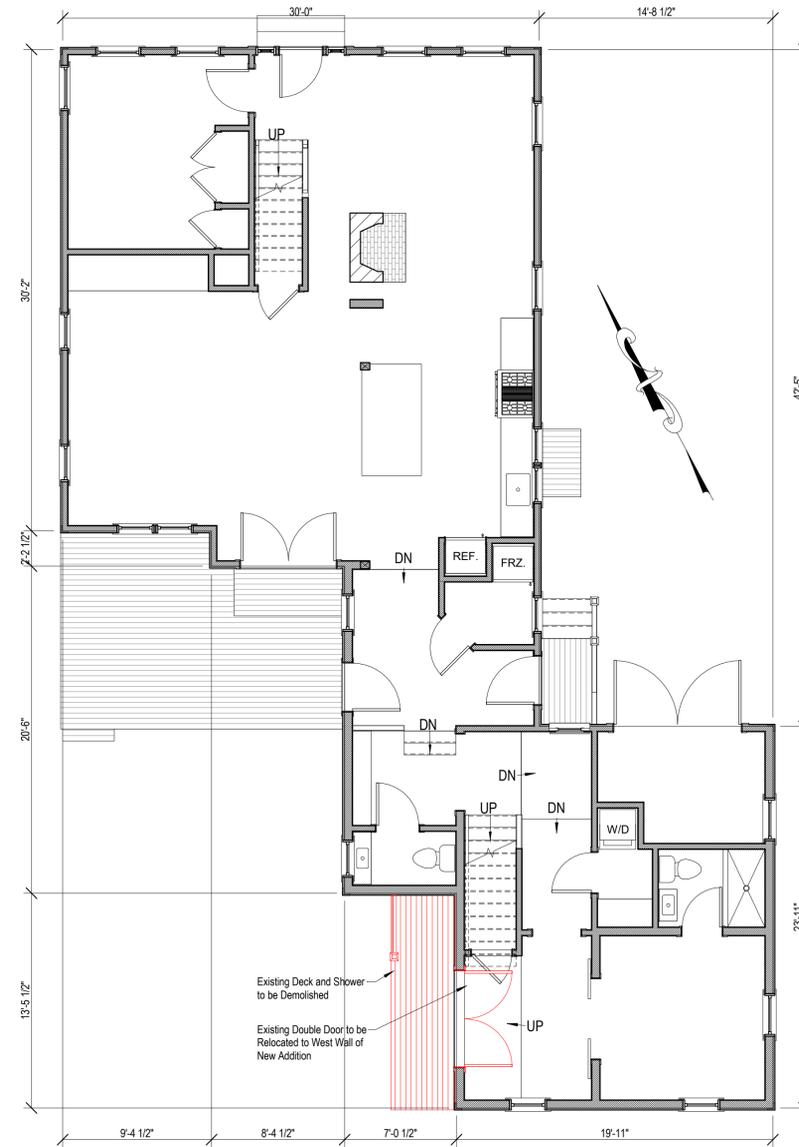
**G.1.1**  
**1848**

01.08.20

H.D.C. Submission



1 First Floor Plan - Proposed  
1/4" = 1'-0"



1X First Floor Plan - Existing  
3/16" = 1'-0"

1848

Fee Residence - Addition

52 Cliff Rd.  
Nantucket, MA 02554



First Floor Plan

Site Information

Map & Parcel:	41 / 27
Current Zoning:	ROH
Minimum Frontage:	50 ft.
Front Setback:	0 ft.
Side/Rear Setback:	5 ft.
Lot Size:	6,000 s.f. (+/-)
Min. Lot Size:	5,000 s.f.
Allowable G.C.:	40%   2,400 s.f.
Existing G.C.:	27%   1,619 s.f. (+/-)
Proposed G.C.:	6%   380 s.f. (+/-)
Total Proposed G.C.:	33%   1,999 s.f. (+/-)

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- F.1.1 Foundation Plan & Details
- S.1.1 Framing Plans
- S.2.1 Building Sections

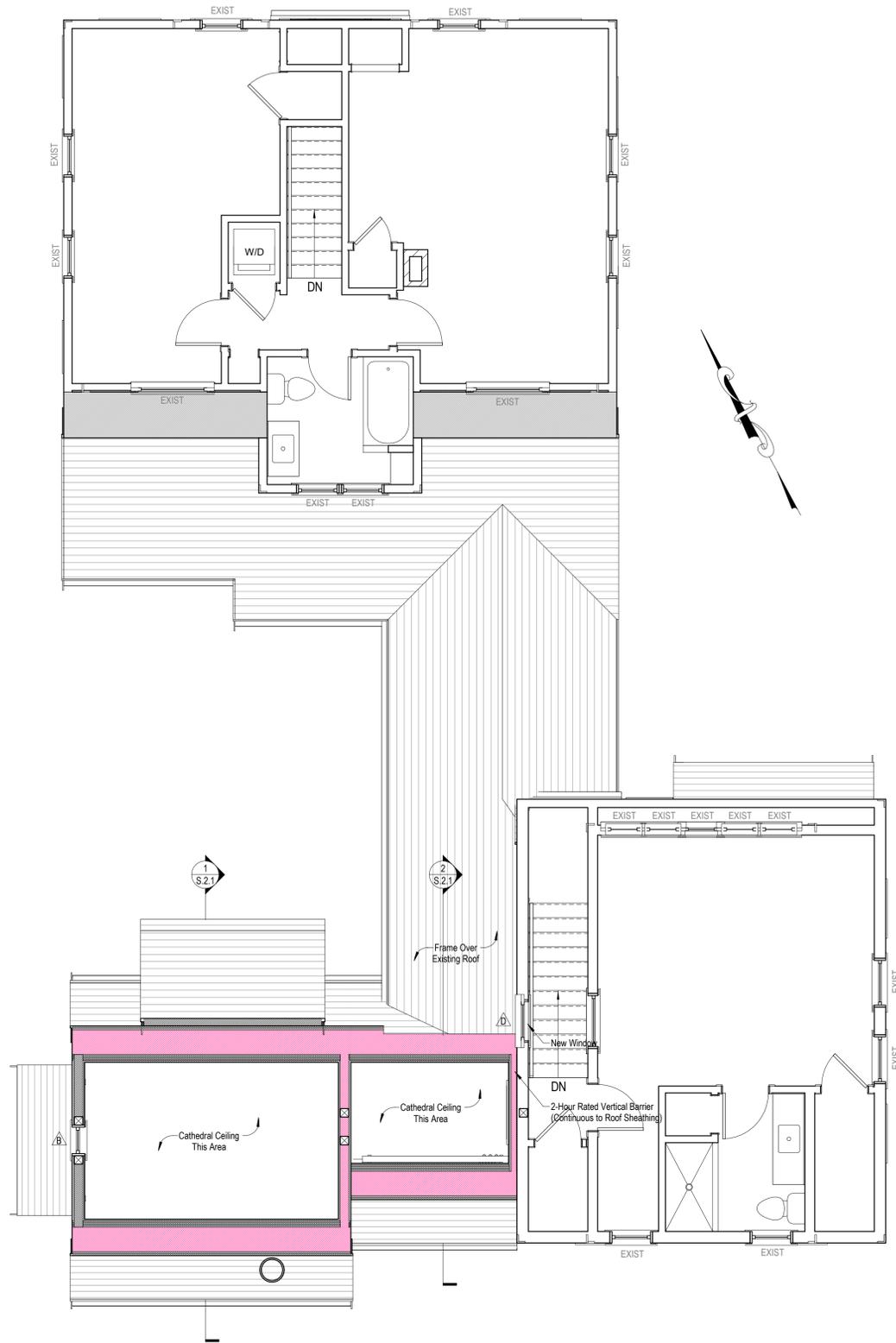
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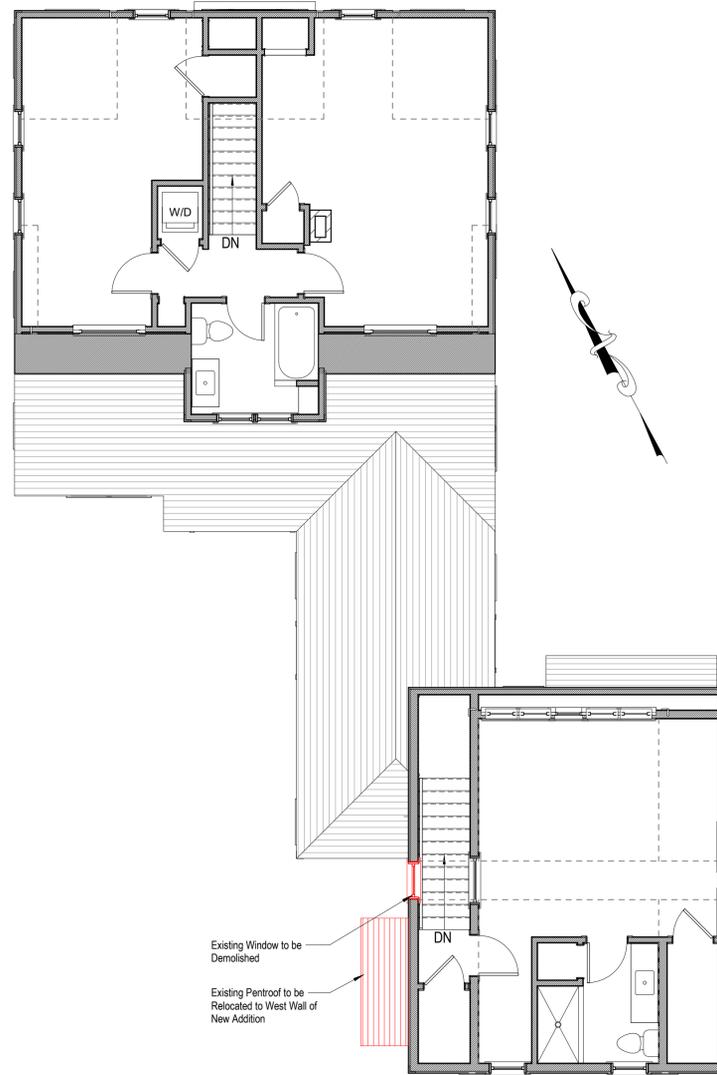
A.1.1  
1848

01.08.20

H.D.C. Submission



**2** Second Floor Plan - Proposed  
1/4" = 1'-0"



**2X** Second Floor Plan - Existing  
3/16" = 1'-0"

**1848**

Fee Residence -  
Addition

52 Cliff Rd.  
Nantucket, MA 02554



**Second Floor Plan**

**Site Information**

Map & Parcel:	41 / 27
Current Zoning:	ROH
Minimum Frontage:	50 ft.
Front Setback:	0 ft.
Side/Rear Setback:	5 ft.
Lot Size:	6,000 s.f. (+/-)
Min. Lot Size:	5,000 s.f.
Allowable G.C.:	40%   2,400 s.f.
Existing G.C.:	27%   1,619 s.f. (+/-)
Proposed G.C.:	6%   380 s.f. (+/-)
Total Proposed G.C.:	33%   1,999 s.f. (+/-)

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- A.2.2 Exterior Elevations
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- S.1.1 Framing Plans
- S.2.1 Building Sections

**Revisions**

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**A.1.2**  
**1848**

01.08.20

H.D.C. Submission



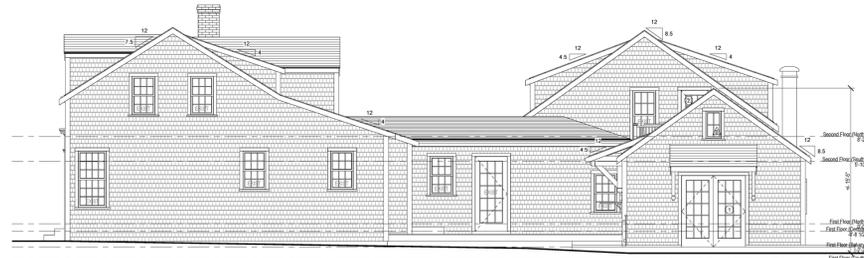
1 North Elevation - Proposed  
1/4" = 1'-0"



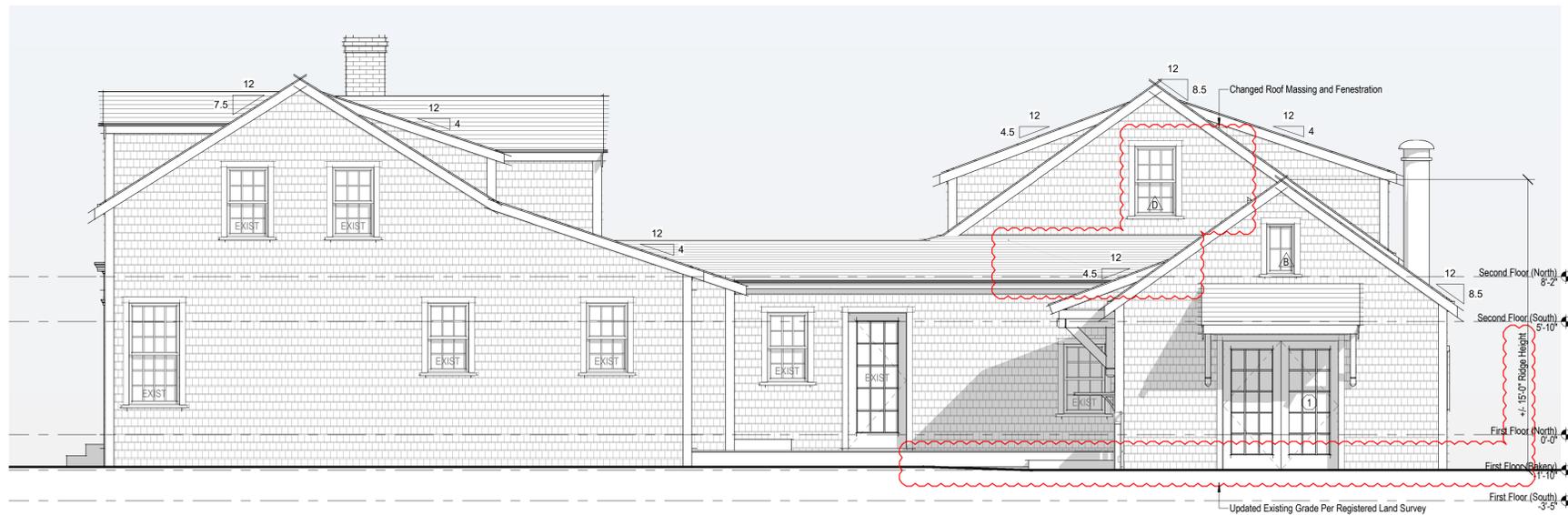
1X North Elevation - Existing  
1/8" = 1'-0"



2X West Elevation - Existing  
1/8" = 1'-0"



2P Previously Approved West Elevation  
1/8" = 1'-0"



2 West Elevation - Proposed  
1/4" = 1'-0"

1848

Fee Residence - Addition

52 Cliff Rd.  
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	41 / 27
Current Zoning:	ROH
Minimum Frontage:	50 ft.
Front Setback:	0 ft.
Side/Rear Setback:	5 ft.
Lot Size:	6,000 s.f. (+/-)
Min. Lot Size:	5,000 s.f.
Allowable G.C.:	40%   2,400 s.f.
Existing G.C.:	27%   1,619 s.f. (+/-)
Proposed G.C.:	6%   380 s.f. (+/-)
Total Proposed G.C.:	33%   1,999 s.f. (+/-)

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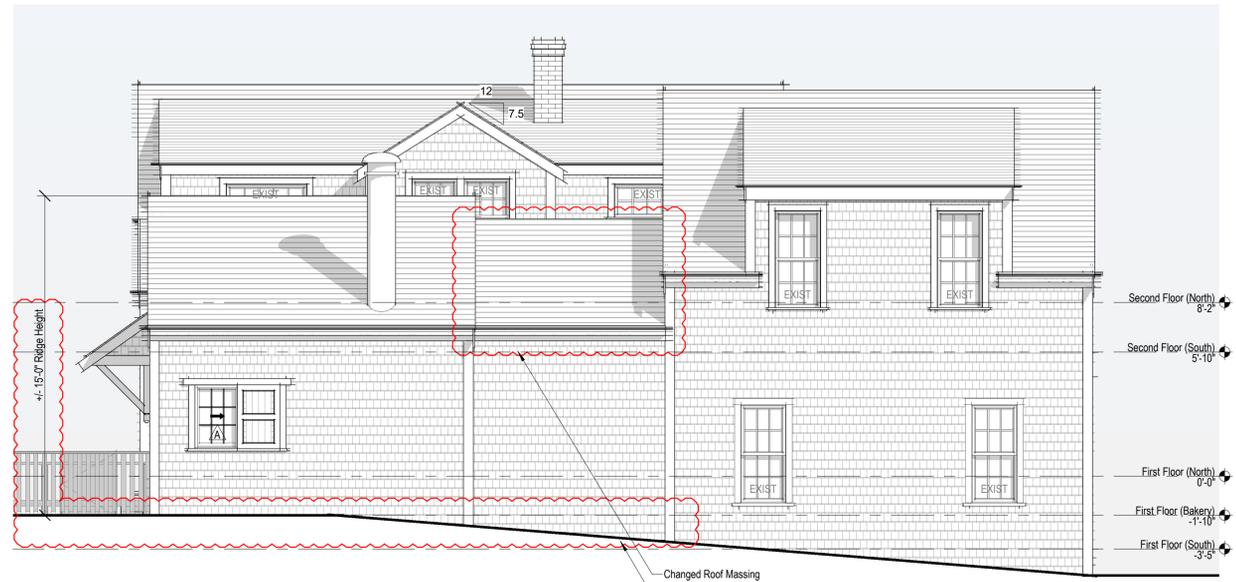
Revisions

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A.2.1  
1848

01.08.20

H.D.C. Submission



**3** South Elevation - Proposed  
1/4" = 1'-0"

Changed Roof Massing  
Updated Existing Grade Per Registered Land Survey



**3X** South Elevation - Existing  
1/8" = 1'-0"



**3P** Previously Approved South Elevation  
1/8" = 1'-0"



**4X** East Elevation - Existing  
1/8" = 1'-0"



**4P** Previously Approved East Elevation  
1/8" = 1'-0"



**4** East Elevation - Proposed  
1/4" = 1'-0"

Updated Existing Grade Per Registered Land Survey

**1848**  
Fee Residence - Addition  
52 Cliff Rd.  
Nantucket, MA 02554



**Exterior Elevations**

**Site Information**

Map & Parcel:	41 / 27
Current Zoning:	ROH
Minimum Frontage:	50 ft.
Front Setback:	0 ft.
Side/Rear Setback:	5 ft.
Lot Size:	6,000 s.f. (+/-)
Min. Lot Size:	5,000 s.f.
Allowable G.C.:	40%   2,400 s.f.
Existing G.C.:	27%   1,619 s.f. (+/-)
Proposed G.C.:	6%   380 s.f. (+/-)
Total Proposed G.C.:	33%   1,999 s.f. (+/-)

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**SHEET INDEX**

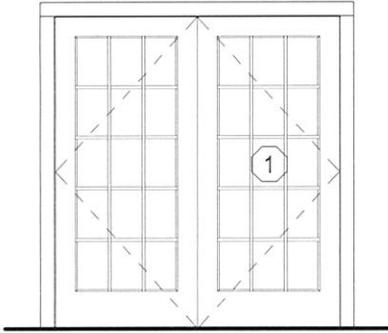
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- S.2.1 Building Sections

**Revisions**

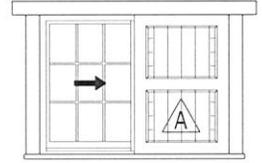
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**A.2.2**  
**1848**

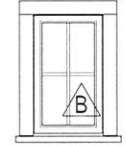
24



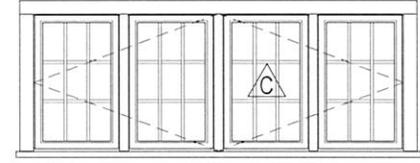
Double French Door  
(2)15 Lite TDL



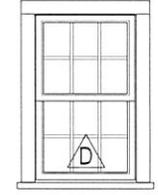
Horizontal Gliding Window  
(2)9 Lite TDL with  
V-Groove Screen



Fixed Window  
6 Lite TDL



Double Bifold Window  
(4)9 Lite TDL



Double Hung  
6/6 TDL

## 2 Exterior Door & Window Legend

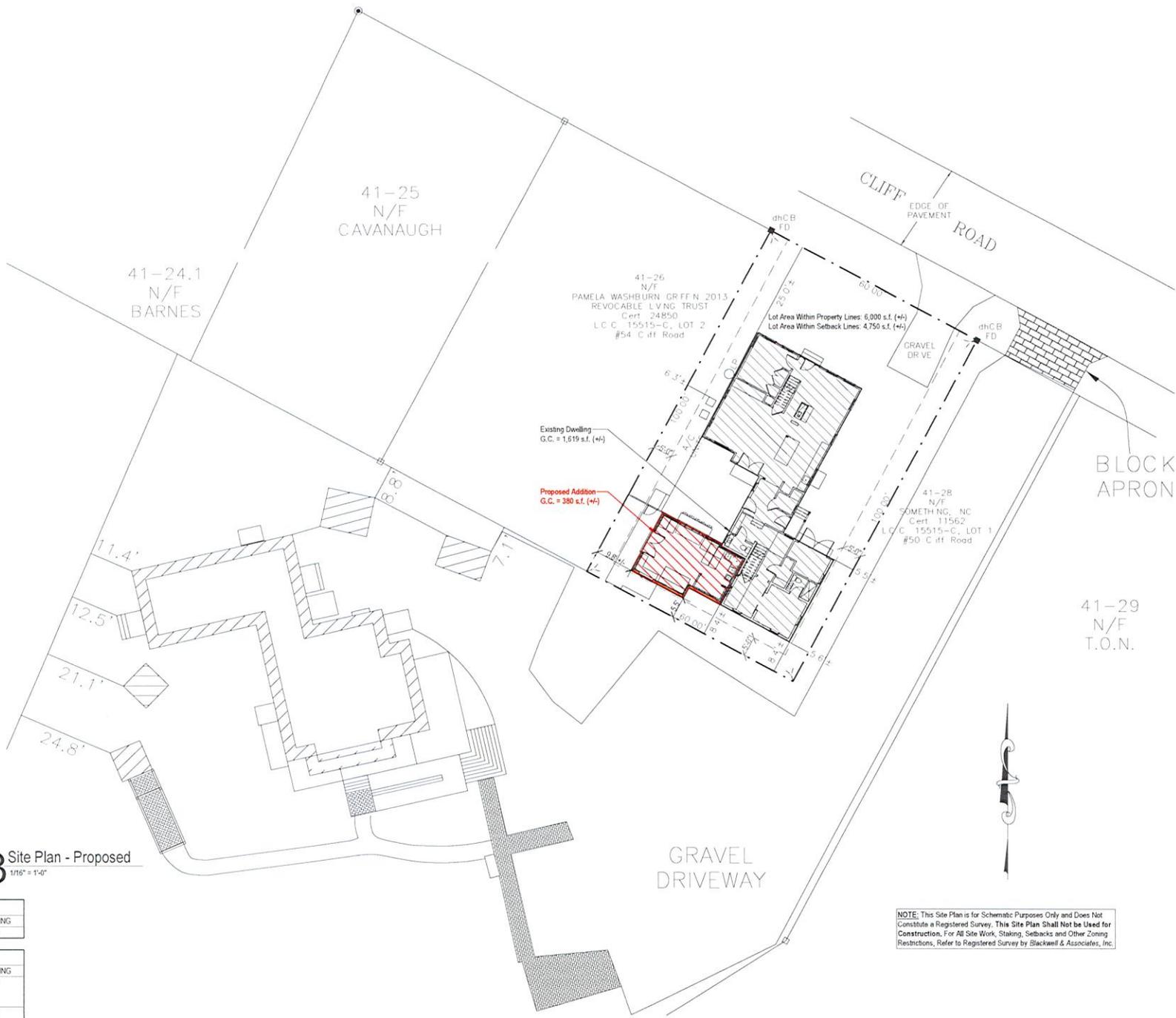
1/4" = 1'-0"

## 3 Site Plan

1/16" = 1'-0"

EXTERIOR DOOR SCHEDULE							
DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
1	1	6'-0"	6'-8"	N/A	N/A	Relocate Existing Double French Door	≥ 30

WINDOW SCHEDULE							
WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
A	1	4'-0"	3'-0"	TBD	TBD	Horizontal Gliding Window, Wood, True Divided Lite, Single Pane Insulating Glass, V-Groove Screen	≥ 30
B	1	1'-8"	2'-8"	TBD	TBD	Fixed Window, Wood, True Divided Lite, Single Pane Insulating Glass	≥ 30
C	1	2'-0"	3'-0"	TBD	TBD	Double Bifold Window, Wood, True Divided Lite, Single Pane Insulating Glass	≥ 30
D	1	2'-4"	3'-8"	TBD	TBD	Double Hung Window, Wood, True Divided Lite, Single Pane Insulating Glass	≥ 30



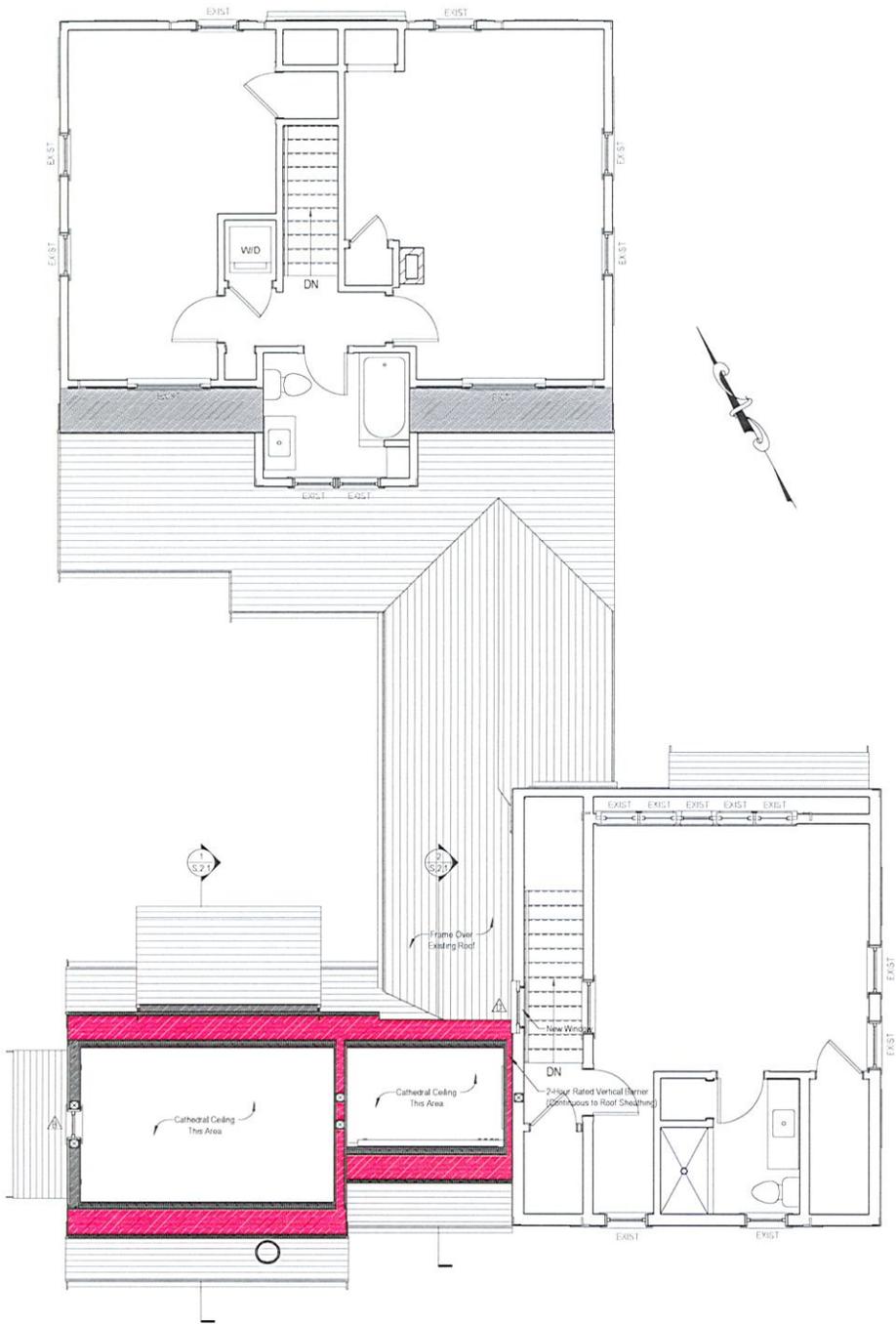
3 Site Plan - Proposed  
 1/16" = 1'-0"

ATING	30
ATING	30
	30
	30
	30

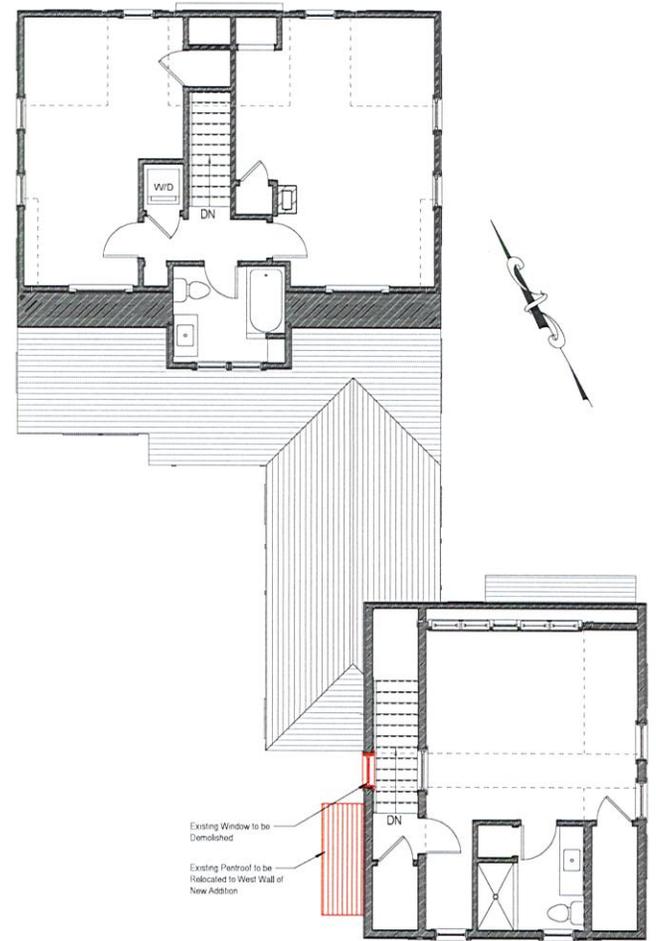


NOTE: This Site Plan is for Schematic Purposes Only and Does Not Constitute a Registered Survey. This Site Plan Shall Not be Used for Construction. For All Site Work, Staking, Setbacks and Other Zoning Restrictions, Refer to Registered Survey by Blackwell & Associates, Inc.





**2** Second Floor Plan - Proposed  
 1/8" = 1'-0"



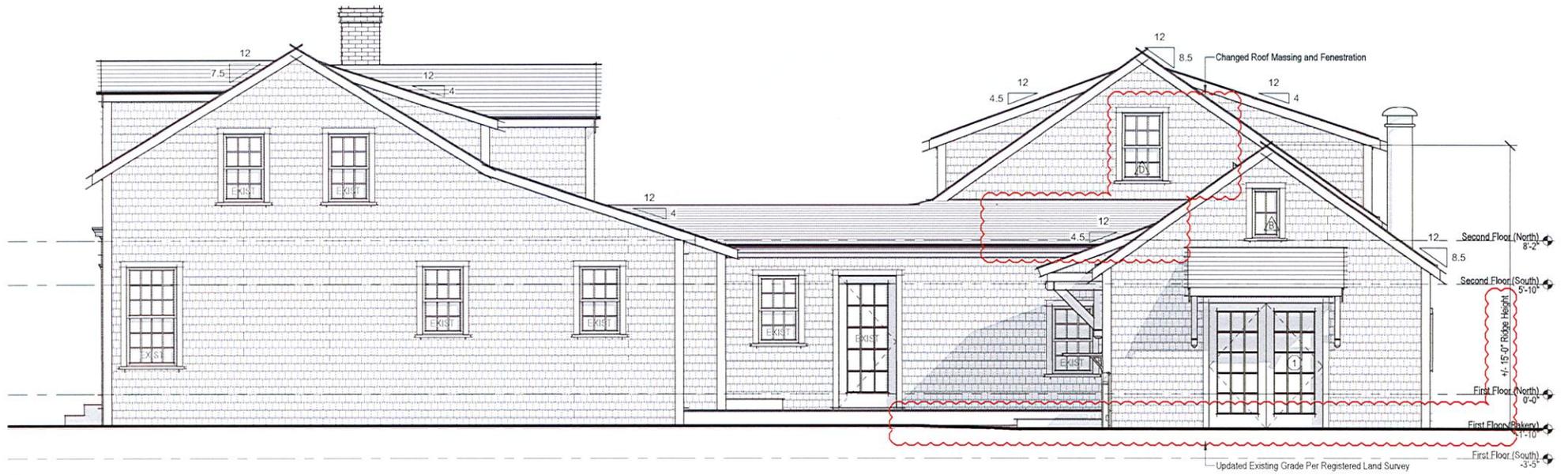
**2X** Second Floor Plan - Existing  
 3/16" = 1'-0"



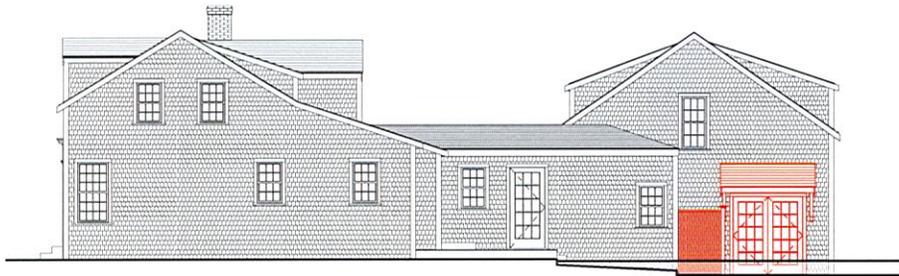
**1** North Elevation - Proposed  
1/4" = 1'-0"



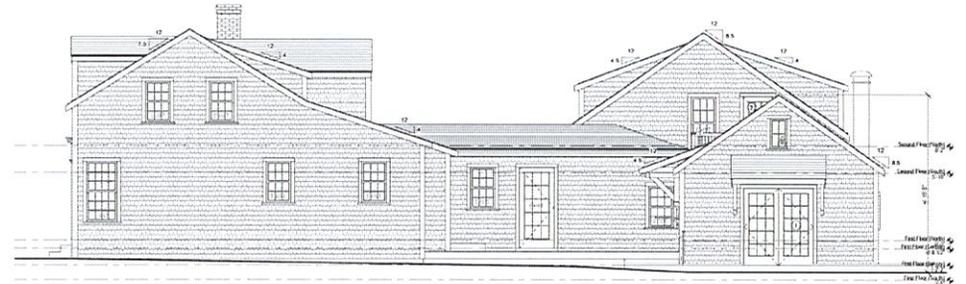
**1X** North Elevation - Existing  
1/8" = 1'-0"



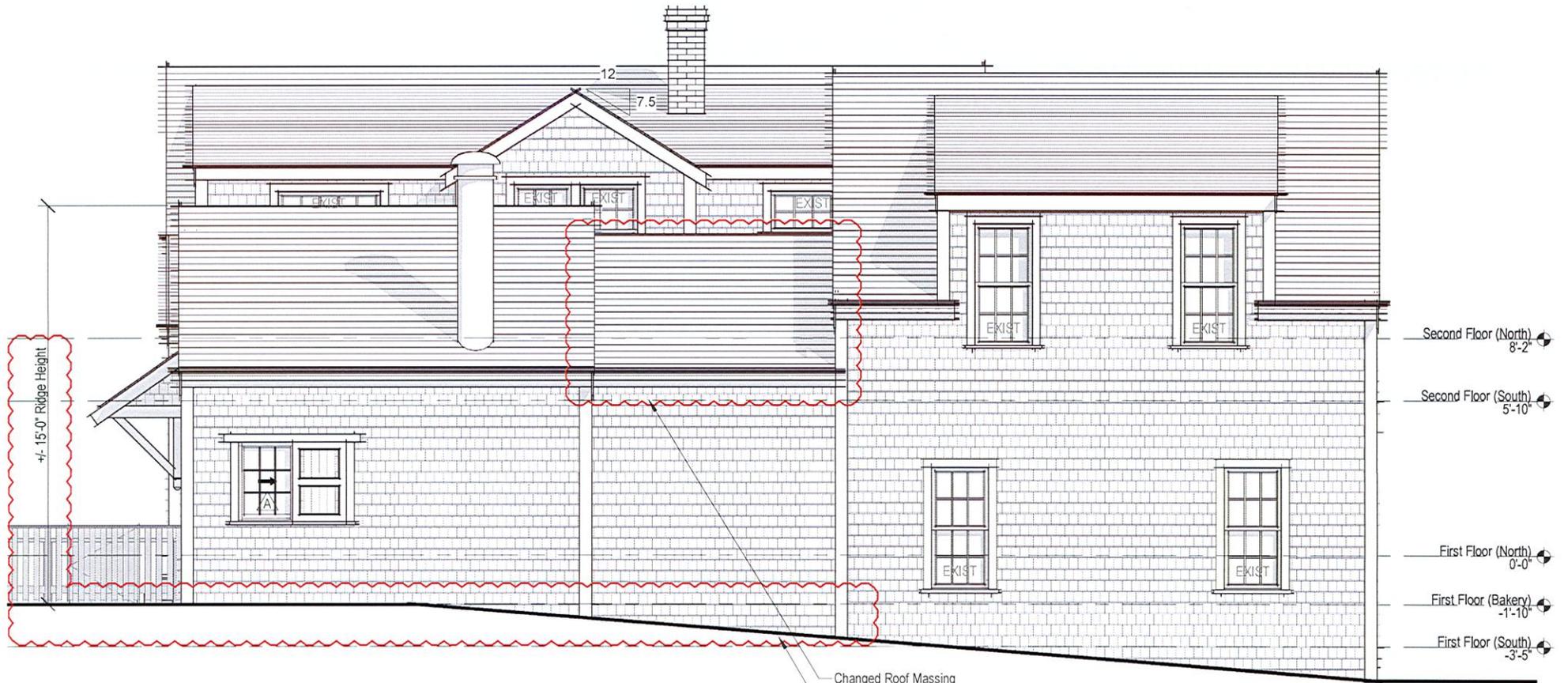
2 West Elevation - Proposed  
 1/4" = 1'-0"



**2X** West Elevation - Existing  
1/8" = 1'-0"



**2P** Previously Approved West Elevation  
1/8" = 1'-0"



### 3 South Elevation - Proposed

1/4" = 1'-0"

Changed Roof Massing  
 Updated Existing Grade Per  
 Registered Land Survey

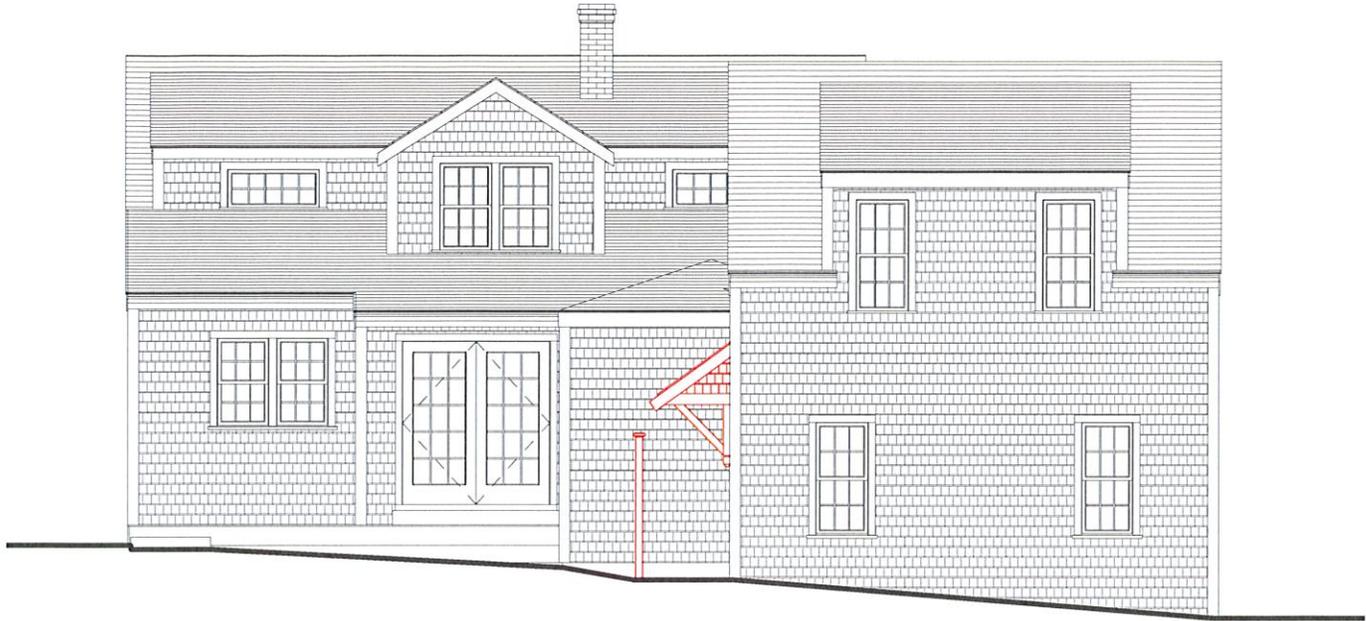
Second Floor (North) 8'-2"

Second Floor (South) 5'-10"

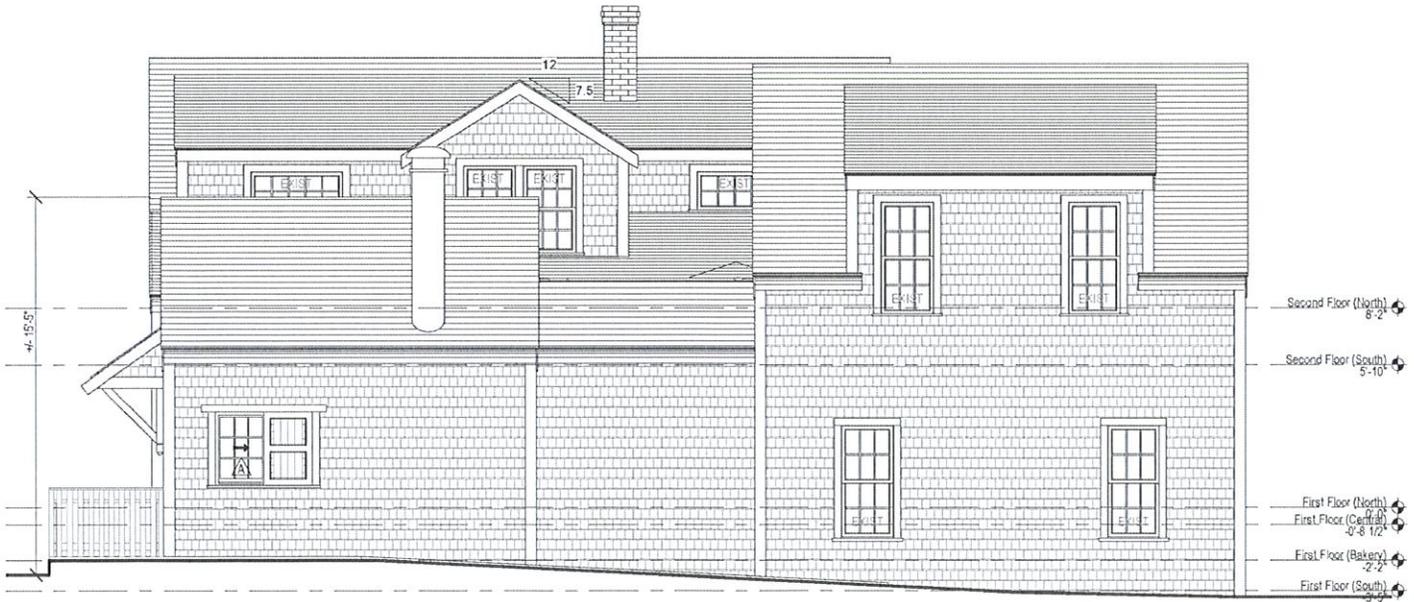
First Floor (North) 0'-0"

First Floor (Bakery) -1'-10"

First Floor (South) -3'-5"



**3X** South Elevation - Existing  
 1/8" = 1'-0"



**3P** Previously Approved South Elevation  
 1/8" = 1'-0"



**4** East Elevation - Proposed

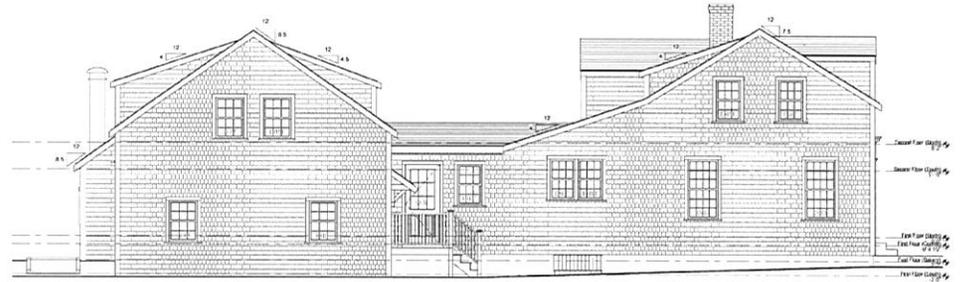
1/4" = 1'-0"

Updated Existing Grade Per  
Registered Land Survey

- Second Floor (North) 8'-2"
- Second Floor (South) 5'-10"
- First Floor (North) 0'-0"
- First Floor (Porch) -1'-10"
- First Floor (South) -3'-5"



**4X** East Elevation - Existing  
1/8" = 1'-0"



**4P** Previously Approved East Elevation  
1/8" = 1'-0"

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 42.3.3 PARCEL N°: 61  
Street & Number of Proposed Work: 96 MAIN STREET  
Owner of record: NANTUCKET HISTORICAL ASSOCIATION  
Mailing Address: PO BOX 1016  
NANTUCKET MA 02554  
Contact Phone #: 508 680 3266 E-mail: erudd@nha.org

#### AGENT INFORMATION (if applicable)

Name: EDWIN RUDD  
Mailing Address: PO Box 1016  
NANTUCKET MA  
Contact Phone #: 508 680 3266 E-mail: erudd@nha.org

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

ALL EXISTING

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other AAB LIFT  
Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: THE HADWEN HOUSE  
Original Date: 1845  
Original Builder: FREDERICK BROWN COLEMAN

**REVISIONS\***  
(describe) 1. East Elevation N/A  
2. South Elevation AAB LIFT  
3. West Elevation N/A  
4. North Elevation N/A

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS EXISTING

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date January 7, 2020

Signature of owner of record James Russell

Signed under penalties of perjury





**Property Information**

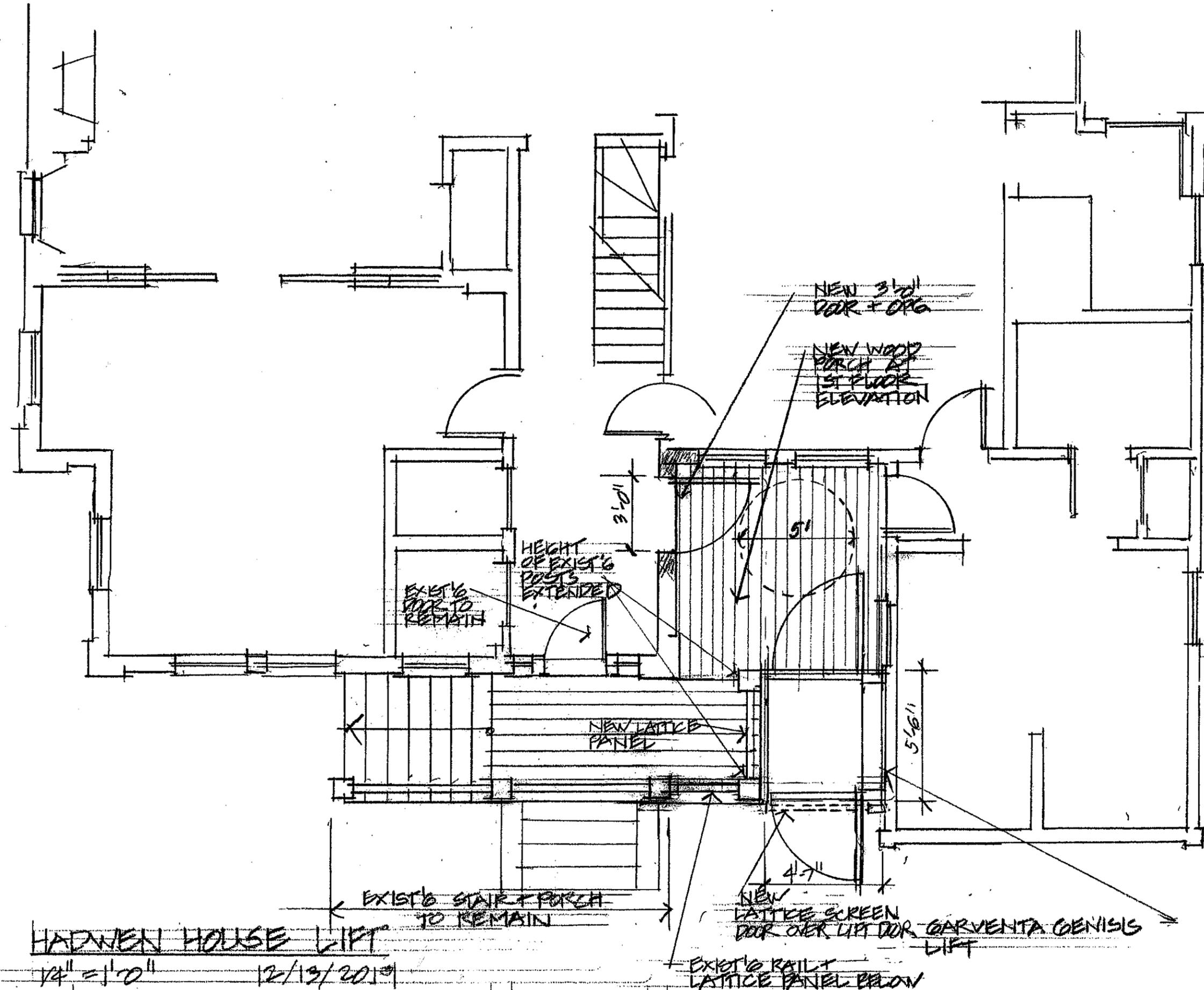
**Property ID** 42.3.3.61  
**Location** 96 MAIN ST  
**Owner** NANTUCKET HISTORICAL ASSN



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018  
Data updated 11/19/2018



NEW 3 1/2"  
DOOR + ORG

NEW WOOD  
PORCH AT  
1ST FLOOR  
ELEVATION

HEIGHT  
OF EXIST'G  
POSTS  
EXTENDED

EXIST'G  
POSTS TO  
REMAIN

NEW LATTICE  
PANEL

NEW  
LATTICE SCREEN  
DOOR OVER LIFT DOOR GARVENTA GENESIS  
LIFT

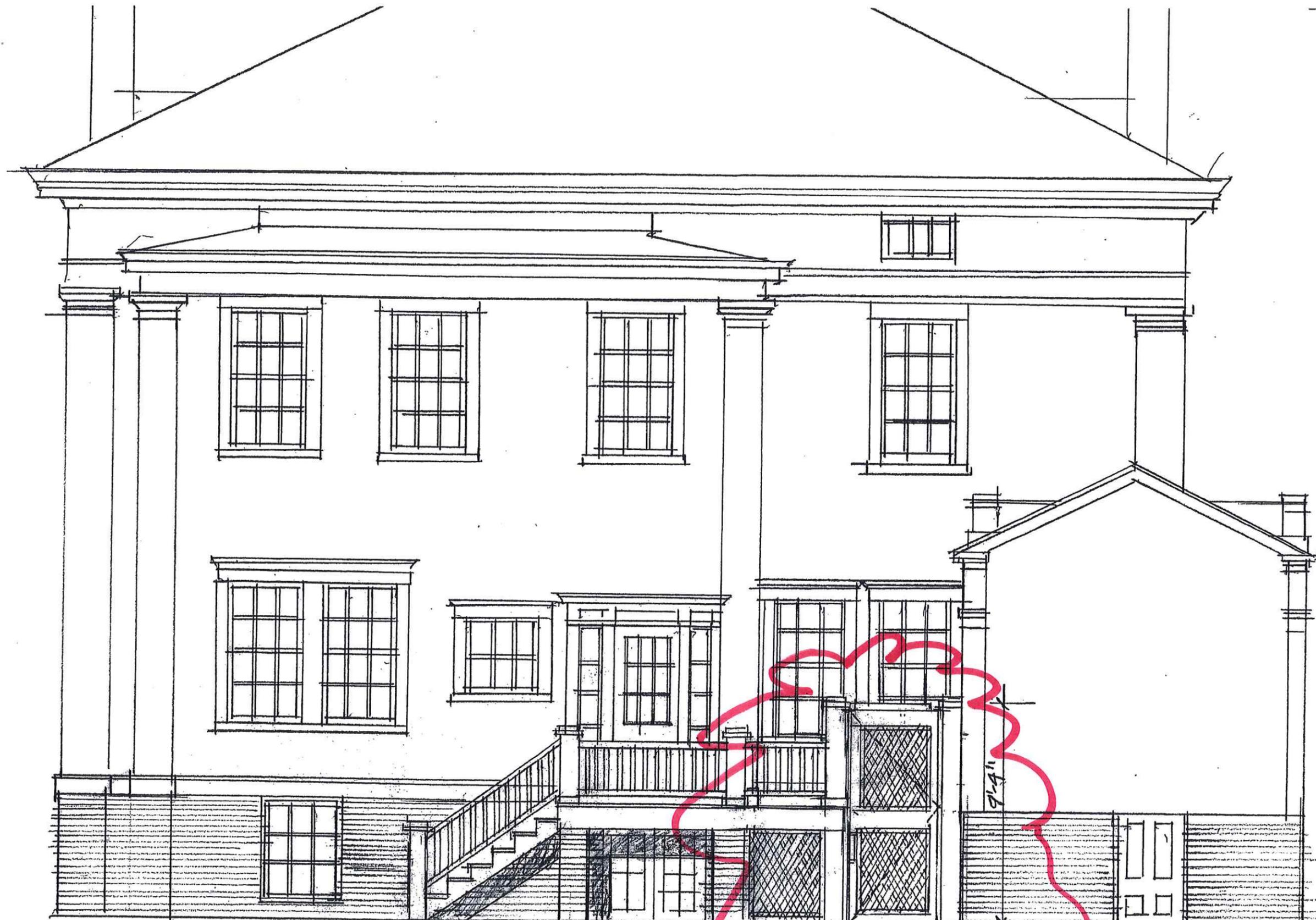
EXIST'G RAIL  
LATTICE PANEL BELOW

HADWEN HOUSE LIFT

EXIST'G STAIR + PORCH  
TO REMAIN

1/4" = 1'-0"

12/19/2019



HADWEN HOUSE LIFT  
1/4" = 1'-0" 12/13/2019

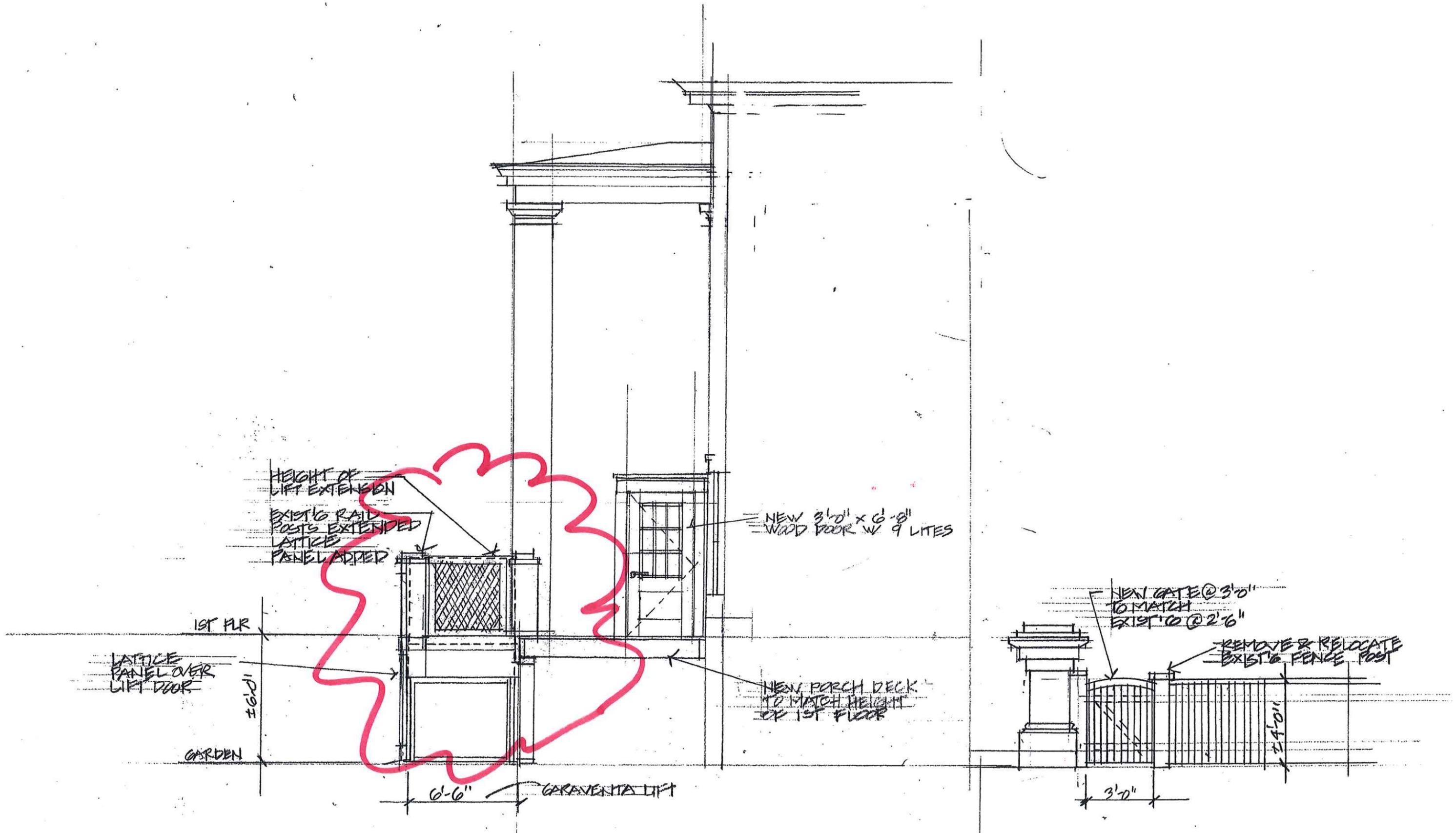
EXIST'G STAIR, PORCH + RAIL  
TO REMAIN

EXIST'G  
PORCH, RAIL +  
LATTICE RE-BUILT

NEW CARAVENTA LIFT  
APPLY LATTICE PANEL  
TO STD. METAL DOOR

4'-7"

9'-4"



HEIGHT OF LIFT EXTENSION

EXIST'G RAIL POSTS EXTENDED LATTICE PANEL ADDED

NEW 3'-0" x 6'-8" WOOD FLOOR W/ 9 LITES

NEW PORCH DECK TO MATCH HEIGHT OF 1ST FLOOR

NEW GATE @ 3'-0" TO MATCH EXIST'G @ 2'-6"

REMOVE & RELOCATE EXIST'G FENCE POST

LATTICE PANEL OVER LIFT DOOR

1ST FLR

±6'-0"

GARDEN

6'-6" GARAVENTA LIFT

3'-0"

±4'-0"

# 1 Weymouth St Addition



2 Fairgrounds Road, Nantucket, Massachusetts 02554  
Telephone: 508.325.7587, Fax: 508.228.7298  
[www.nantucket-ma.gov/Pages/NantucketMA\\_HistDist/index](http://www.nantucket-ma.gov/Pages/NantucketMA_HistDist/index)  
CHECKLIST FOR HDC APPLICATIONS

## REQUIRED WITH ALL APPLICATIONS:

- X 1. Completed Application Form: Description of ALL work must be indicated on application form.
- X 2. Property Owner's Signature: Current owner's signature preferred; If the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
- X 3. Application Fee: See back of application for fee schedule or call the office.
- X 4. Locus Map (4 copies): Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) <http://www.mapgeo.com/NantucketMA/>.
- X 5. Site Plan (4 Copies): must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and *placement of HVAC units, electrical boxes, fuel tanks, etc.*.
- X 6. 8-1/2" x 11" Copies of ALL Application Materials: Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12), collated and stapled.
- X 7. Photographs: Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
- X 8. Electronic submission: All documents submitted to the HDC office must also be converted to Adobe Acrobat format <http://www.adobe.com/pdf/>; this is free software that may have come pre-loaded on your computer. Electronic copies can also be created using the scanner located in the Department of Inspectional Services.

## REQUIRED WHERE APPLICABLE:

- X 1. Supplemental Information for Historic Buildings: It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application.
- X 2. Exterior Elevations and Floor Plans (4 copies): Must be 1/4-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. *All changes from approved or existing design must be clouded on drawings.* All material MUST BE LEGIBLE, collated and stapled. Reduced sets should maintain a font size of 12.
- X 3. As-Built Plans (1 copy): of existing elevations
- HA 4. Hardscaping Plans (4 copies): To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE, collated and stapled.
- X 5. Topographic Map: Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).
- HA 6. Door and Window Schedule (4 copies): Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
- ECU 7. I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.  
(Initial to indicate read and understand)
- HA 8. Abutter Notification Materials – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet.
- HA 9. Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc.

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket In Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 55.1.4 PARCEL N°. 30  
Street & Number of Proposed Work: 1 WEYMOUTH ST.  
Owner of record: DKKIE INVEST L.P.  
Mailing Address: 351 DORADO BEACH EAST  
DORADO, PR 00646  
Contact Phone #: 508-221-0370 E-mail: ADM@CONSTRUCTION.COM

**AGENT INFORMATION (if applicable)**

Name: ROBERT NEWMAN  
Mailing Address: PO Box 2113  
NANTUCKET, MA 02584  
Contact Phone #: 508-228-8650 E-mail: R.C.NEWMAN@COMCAST.NET

FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_  
Size of Structure or Addition: Length: 7' Sq. Footage 1st floor: 64 Decks/Patio: Size: —  1st floor  2nd floor  
Width: 9' Sq. footage 2nd floor: — Size: —  1st floor  2nd floor  
Sq. footage 3rd floor: —  
Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0  
Height of ridge above final finish grade: North EXIST. South EXIST. East EXIST. West EXIST.

**Additional Remarks**

Historic Name: 1 WEYMOUTH ST.  
Original Date: 1794  
Original Builder: TACUWAVE (CHASE)

REVISIONS\*  
(describe) 1. East Elevation 1<sup>st</sup> LEVEL 7x9' ADDITION  
2. South Elevation NO CHANGE  
3. West Elevation " "  
4. North Elevation 1<sup>st</sup> LEVEL 7x9' ADDITION

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed EX.  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers \_\_\_\_\_  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass EX/12 Secondary Mass 4/12 Dormer 1/12 Other \_\_\_\_\_  
Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
Skylights (flat only): Manufacturer — Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): 4660 4x4  
Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side  \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia 6 Rake 6 Soffit (Overhang) 6 Corner boards 6 Frieze 6  
Window Casing 4 Door Frame EX. Columns/Posts: Round — Square —  
Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
Doors\* (type and material):  TDL  SDL Front EX. Rear EX. Side EX.  
Garage Door(s): Type — EX Material \_\_\_\_\_  
Hardscape materials: Driveways — EX Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall WHITE CEDAR NTW Clapboard (if applicable) — Roof MATCH EX.  
Trim WHITE - EX Sash WHITE - EX. Doors " "  
Deck EX Foundation CONCRETE NTW Fence — Shutters —

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 1-3-20 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury

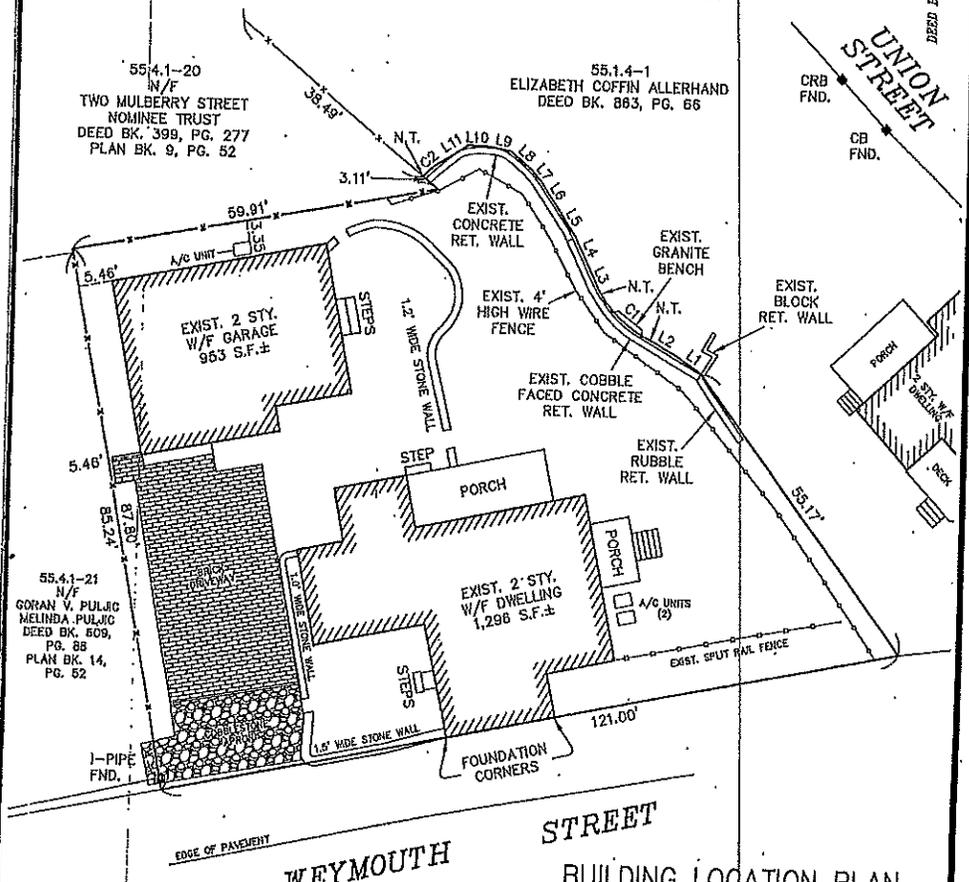
CURRENT ZONING CLASSIFICATION:  
Residential Old Historic (R-OH)

MINIMUM LOT SIZE: 5000 S.F.  
MINIMUM FRONTAGE: 50 FT.  
FRONT YARD SETBACK: none  
REAR/SIDE SETBACK: 5 FT.  
GROUND COVER % : 50%

Existing: 8,629 S.F.±  
SEE PLAN  
SEE PLAN  
SEE PLAN  
26.1% ±

**LEGEND**  
N.T. DENOTES NON-TANGENT CURVE  
CRB ■ DENOTES COUNTY ROAD BOUND FOUND  
CB ■ DENOTES CONCRETE BOUND FOUND  
I-PIPE ○ DENOTES IRON PIPE FOUND  
--- DENOTES PROPERTY LINES WITH FENCES

LINE	DISTANCE	CURVE	RADIUS	LENGTH	TANGENT	CH. DIST.
L1	5.14'	C1	18.72'	11.14'	5.74'	10.97'
L2	4.94'	CURVE	RADIUS	LENGTH	TANGENT	CH. DIST.
L4	3.77'					
L5	6.29'	C2	9.00'	3.25'	1.64'	3.23'
L6	5.53'					
L7	4.45'					
L8	2.98'					
L9	4.05'					
L10	4.34'					
L11	2.86'					
L12	5.50'					



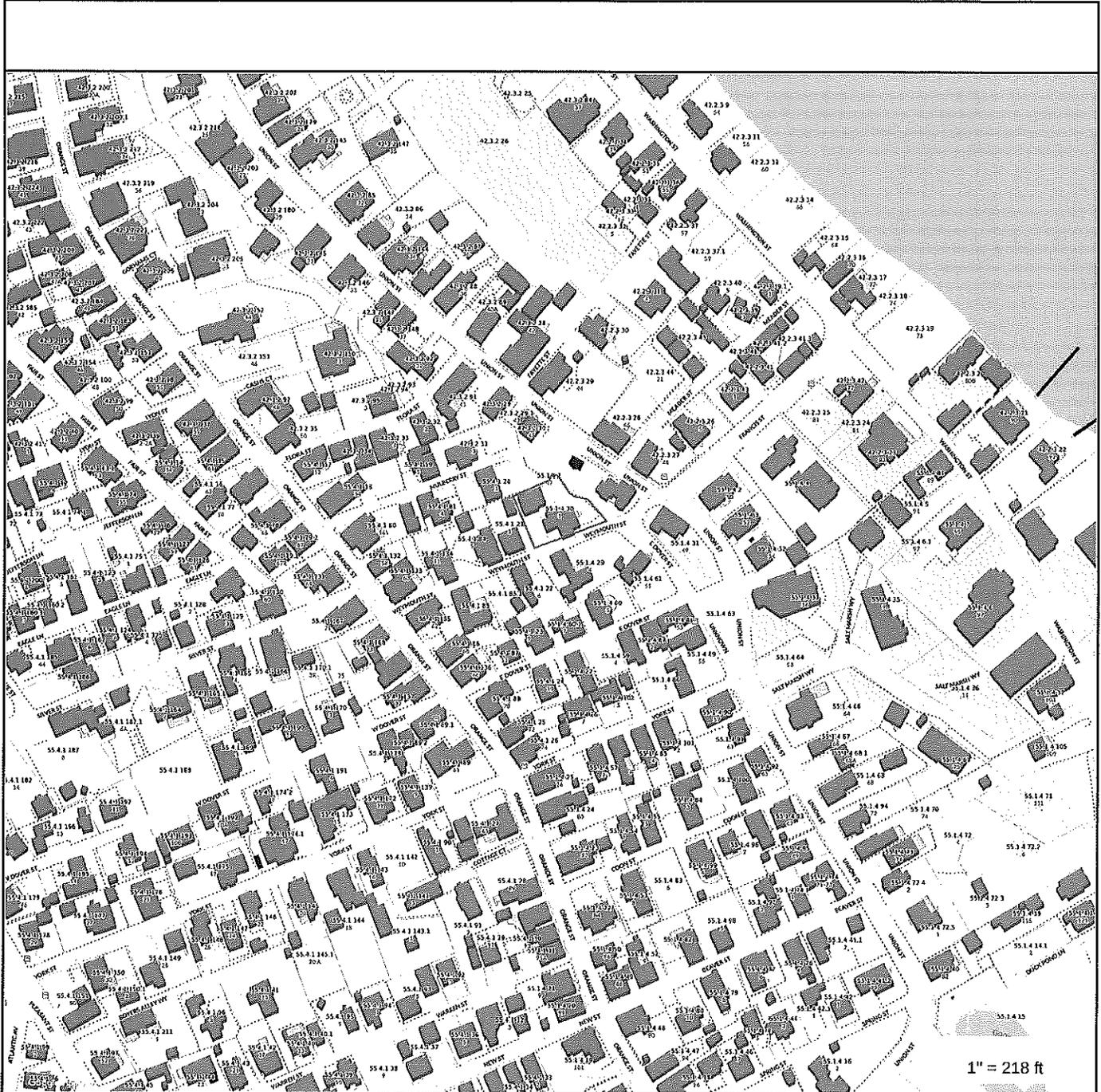
THIS PLOT PLAN WAS PREPARED FOR THE TOWN OF NANTUCKET BUILDING DEPARTMENT ONLY AND SHOULD NOT BE CONSIDERED A PROPERTY LINE SURVEY. THIS PLAN SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES, FENCES, HEDGES OR ANY ANCILLARY STRUCTURES ON THE PREMISES. THE PROPERTY LINES SHOWN RELY ON CURRENT DEEDS AND PLANS OF RECORD. THIS PLOT PLAN IS NOT A CERTIFICATION AS TO TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR RECORDS.

ASSESSOR MAP: .55.1.4., PARCEL: . . .30. . .

**BUILDING LOCATION PLAN**  
OF LAND IN  
NANTUCKET, MASS.

SCALE: 1" = 20' DATE: MARCH 25, 2013  
Owner: **DICKIE INVESTMENTS LIMITED PARTNERSHIP**  
Deed Bk./Pg.: . 713/331 . Plan No.: . 2012-12. . .  
Locus: . . . #1, WEYMOUTH STREET . . . . .

**BLACKWELL & ASSOCIATES, Inc.**  
Professional Land Surveyors  
20 TEASDALE CIRCLE  
NANTUCKET, MASS. 02554  
(508) 228-9028



1" = 218 ft

**Property Information**

Property ID 55.1.4 30  
 Location 1 WEYMOUTH ST  
 Owner DICKIE INVESTMENTS LP



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018  
Data updated 11/19/2018



DRAWING INDEX

1

SITE PLAN  
ZONING INFO.  
ELEVATIONS:  
EXISTING & PROPOSED  
NORTH & EAST ELEVATIONS

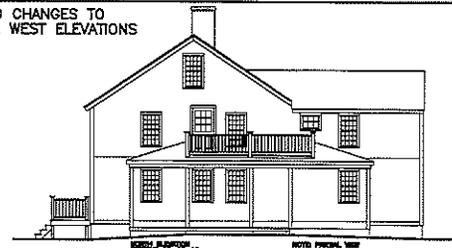
LOCUS MAP  
1 WENSMOUTH STREET  
LOT NO. 5  
MAP NO. 30  
PARCELS NO. 30  
ZONING CLASSIFICATION RCH  
LOT AREA 8,829 s.f.  
SETBACKS:  
FRONT YARD 0'  
REAR/SIDE 40'  
G.C.R. 40%  
ALLOWED G.C. 3,452 s.f.  
EXISTING G.C. 1,940 s.f.  
DWELLING 1 1,238 s.f.  
GARAGE APARTMENT 65 s.f.  
PROPOSED ADDITION 64 s.f.  
TOTAL G.C. PROPOSED 2,313 s.f.  
USE GROUPS  
RESIDENTIAL  
TYPE SA, PROTECTED



EAST ELEVATION 01-07-2020

NOTE: PARTIAL VIEW

NOTE: NO CHANGES TO SOUTH & WEST ELEVATIONS



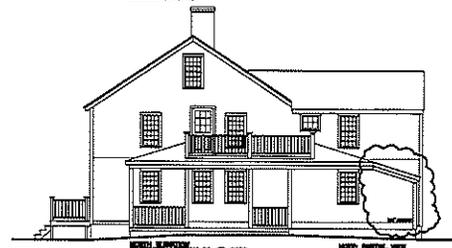
NORTH ELEVATION 01-07-2020

NOTE: PARTIAL VIEW



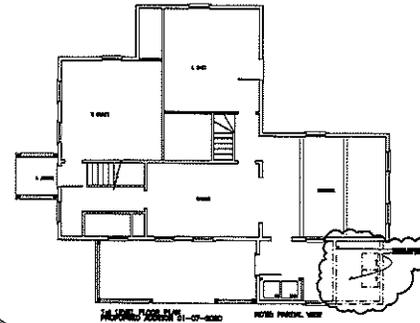
WEST ELEVATION 01-07-2020

NOTE: PARTIAL VIEW



SOUTH ELEVATION 01-07-2020

NOTE: PARTIAL VIEW



FLOOR PLAN 01-07-2020

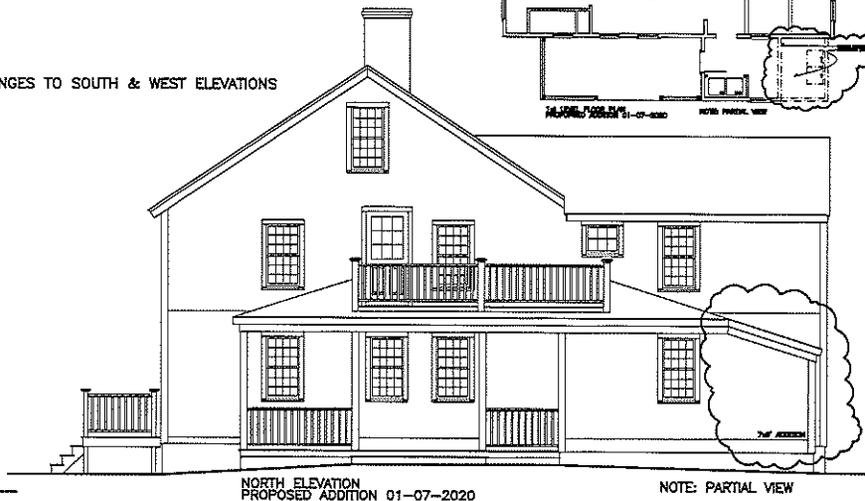
NOTE: PARTIAL VIEW

NOTE: NO CHANGES TO SOUTH & WEST ELEVATIONS



WEST ELEVATION  
PROPOSED ADDITION 01-07-2020

NOTE: PARTIAL VIEW

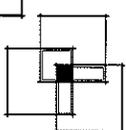


NORTH ELEVATION  
PROPOSED ADDITION 01-07-2020

NOTE: PARTIAL VIEW

SANDCASTLE CONSTRUCTION INC.  
ARCHITECTS & BUILDERS

P.O. BOX 2113  
NANTUCKET, MA  
02584



PROJECT  
DICKIE INVESTMENTS LP  
WALKER RESIDENCE  
1 WENSMOUTH STREET  
NANTUCKET, MA

TITLE  
FLOOR PLANS:  
1st LEVEL  
2nd LEVEL  
D & W SCHEDULES

DATE  
01-07-2020  
SCALE  
1/4" = 1'-0"

4

ADDITION  
JOB NO.

West El.

1 WEYFOUTH ST



1 Weymouth St.  
North El.



WEST EL.

1 Weymouth St.



1 Weymouth St.





# HISTORIC DISTRICT COMMISSION

37 Washington Street

Nantucket, Massachusetts 02554

Telephone: 508.228.7231

Fax: 508.325.7572

## Historic Structures Supplemental Application

Owner of Record: DICKIE INVESTMENTS LP

Address: 1 WLEYMOUTH STREET Map/Parcel: 55.1.4 / 30

Historic Name of Building: 1 WLEYMOUTH ST.

Original Date of Construction: 1795 HDC Survey?  Yes  No

How is the structure rated?  Individually Significant  Contributing  Non-Contributing

Describe Proposed Work:  
1ST LEVEL LAUNDRY SPACE ADDITION (7x9', 64 SF)

Describe amount of existing building fabric to be removed or altered (use additional pages if necessary):

REMOVE EXTERIOR 9' WALL SECTION, 1ST LEVEL, 1990'S  
CONSTRUCTION ERA / ADDITION. NO ORIGINAL 1795  
BUILDING MATERIAL TO BE MODIFIED OR REMOVED:  
SEE ATTACHED PLANS

### All Historic Structure Applications must contain:

- 1. **Historic Documentation** (including date of construction, architectural/historic significance, evolution of structure, maps (i.e. Sanborn Fire Insurance), photographs)
- 2. **As Built Drawings** (include all elevations, floor plans, and any significant detailing)
- 3. **Black and White Photographs** (include current elevations and significant details)
- 4. **Demolition Plan** (include all existing building fabric to be removed, both interior and exterior)

Please contact the office at 228-7231 if you have any questions regarding the research or this application. This application must be completed as part of the overall Certificate of Appropriateness application. The Historic Structures Advisory Board may also request further information as part of its review. The HDC reserves the right to delay the review of an application if this information is not provided.

# BUILDING-STRUCTURE INVENTORY FORM

NANTUCKET HISTORIC DISTRICT COMMISSION  
NANTUCKET, MASSACHUSETTS

SURVEY/

FILM ROLL #: 040-25-10

MAP/PARCEL#: 5514-030

Recorded By: REG Date: 7/1/21 Organization: HDC

## IDENTIFICATION:

1. STREET NAME & NO.: 1 Weymouth St. 2. BUILDING NAME: \_\_\_\_\_

3. OWNERSHIP:  a. public  b. private 4. PRESENT OWNER: Dickie Rebecca S.

5. OWNERSHIP HISTORY: (include owner names, date(s) of ownership, and information source)

1795-Thomas V. McCleave + George Chase bought land from Abisha Bunker. 1841-sold w/ house to Benjamin McCleave. 1845-to George Myrick. 1851-Fisher Brothers. 1856-Edward Austin. 2 months later-Tessac Bearse. 1873-Dr. Simpson. 1920-Wilson sisters. 1945-Lawrence Miller. 1946-Harold + Swendlyn Gaillard. 1951-Robert B. + Rebecca S. Dickie.

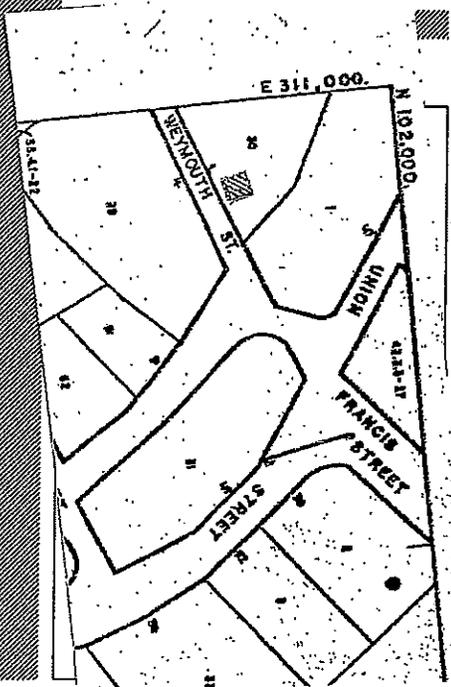
-PI: N 1977 #22

6. USE: Original: divelling Present: dwelling  
 a. seasonal  b. year-round

7. ACCESSIBILITY TO PUBLIC:

Exterior visible from public road:  a. Yes  b. No

Interior accessible, explain: no



DESCRIPTION:

10. FOUNDATION

- a. brick
- b. rubblestone
- c. concrete
- d. other: \_\_\_\_\_

11. STRUCTURAL SYSTEM

- a. post-and-beam
- b. balloon wood frame
- c. masonry load-bearing walls
- d. other: \_\_\_\_\_

12. EXTERIOR WALL MATERIAL: Front Facade:

- a. shingles - weathered
- b. shingles - painted
- c. brick
- d. clapboard
- e. board and batten
- f. flush boarding
- g. other: \_\_\_\_\_

13. EXTERIOR WALL MATERIAL: Side Elevations:

- a. shingles - weathered
- b. shingles - painted
- c. brick
- d. clapboard
- e. board and batten
- f. flush boarding
- g. other: \_\_\_\_\_

14. EXTERIOR WALL MATERIAL: Rear Elevation:

- a. shingles - weathered
- b. shingles - painted
- c. brick
- d. clapboard
- e. board and batten
- f. flush boarding
- g. other: \_\_\_\_\_

15. NUMBER OF STORIES:

- a. 1
- b. 1 1/2
- c. 1 3/4
- d. 2
- e. 2 1/2
- f. 3
- g. other: \_\_\_\_\_

16. ROOF SHAPE:

- a. gable
- b. gambrel
- c. hip
- d. shed
- e. other: \_\_\_\_\_

17. ROOFING MATERIAL:

- a. composition shingle
- b. weathered cedar shingle
- c. slate

18. ROOF FEATURES:

- a. roof walk - had - NHA photo
- b. dormers on street facade
- c. dormers on side elevations
- d. dormers on rear elevation
- e. balustrade
- f. skylight
- g. roof hatch
- h. cupola
- i. other: \_\_\_\_\_

19. DORMER ROOF(S):

- a. gable
- b. hip
- c. shed
- d. other: \_\_\_\_\_

20. CHIMNEY MATERIAL:

- a. brick, unpainted
- b. brick, painted
- c. brick, parged
- d. rubblestone
- e. concrete block
- f. metal

21. CHIMNEY POSITION:

- a. center
- b. off-center
- c. end wall
- d. other: \_\_\_\_\_

22. NUMBER OF CHIMNEYS:

- a. one
- b. two
- c. three
- d. other: \_\_\_\_\_

23. CHIMNEY FEATURES:

- a. corbelling
- b. chimney pots/owls
- c. pilastered

24. FRONT/PRIMARY DOOR LOCATION:

- a. center
- b. off-center *faces Union St.*

25. FRONT/PRIMARY DOOR FRAME FEATURES:

(check several if appropriate)

- a. sidelights
- b. transom
- c. plank frame
- d. flush frame
- e. Federal
- f. fanlight
- g. blind fan
- h. Greek Revival
- i. recessed
- j. other: filasters

26. NUMBER OF BAYS:

- a. three
- b. four
- c. five
- d. N/A
- e. other: \_\_\_\_\_

27. WINDOW FRAME TYPE:

- a. flush
- b. plank frame
- c. bull-nose
- d. other: capped

28. WINDOW SASH TYPE(S) - FRONT FACADE:

- a. 12/12
- b. 9/9
- c. 6/6
- d. 2/2
- e. casement
- f. other: \_\_\_\_\_

29. PORCH:

- a. front
- b. side
- c. wrap

30. DETAILS:

(check several if appropriate)

- a. corner boards (plain)
- b. corner boards (beaded)
- c. corner board (single)
- d. entry stairs w. balustrade
- e. blinds
- f. watertable
- g. pilasters
- h. trellis
- i. other: \_\_\_\_\_

31. CONDITION:

- a. excellent
- b. good
- c. fair
- d. deteriorated

32. INTEGRITY:

- a. original site
- b. moved if so, when?: \_\_\_\_\_

Major alterations or additions: \_\_\_\_\_  
(with dates if known) \_\_\_\_\_

SIGNIFICANCE:

33. ROLE THE BUILDING PLAYS:

- a. individually significant
- b. contributing
- c. non-contributing

34. DATE OF INITIAL CONSTRUCTION: 1796 SOURCE: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_

BUILDER: \_\_\_\_\_

35. BUILDING TYPE:

- a. box
- b. additive
- c. gable front
- d. gable ell
- e. side-gabled
- f. other: to Union St.

36. STYLE OF ARCHITECTURE:

- a. pre-1750, 2 1/2-story Lean-to
- b. post-1750, 1 3/4-story Lean-to
- c. Typical Nantucket 4-bay
- d. 1 3/4 story, 3-bay
- e. Federal
- f. Greek Revival
- g. Gothic Revival
- h. Italianate
- i. Second Empire
- j. Queen Anne
- k. Colonial Revival
- l. Shingle style
- m. Bungalow
- n. Four Square

o. other: \_\_\_\_\_

37. HISTORICAL AND ARCHITECTURAL IMPORTANCE: Faces east, built c. 1796

38. SOURCES:

- a. Registry of Deeds: \_\_\_\_\_
- b. Assessor's Records: \_\_\_\_\_
- c. Lancaster, The Architecture of Historic Nantucket, page: 291
- d. H. C. Forman, Early Nantucket & Its Whaling Houses, page: \_\_\_\_\_
- e. Sanborn Maps, date: \_\_\_\_\_
- f. NHA photos: \_\_\_\_\_
- g. HABS research: \_\_\_\_\_
- h. NHA plaque records: \_\_\_\_\_
- i. other: P1:N 1977 #22

GENERAL SETTING AND ORIENTATION OF BUILDING:

39. LOT SIZE: .19A  a. 1/2 acre or less  b. 1/2 acre or more: \_\_\_\_\_

40. APPROXIMATE FRONTAGE: \_\_\_\_\_ feet

41. SETBACK FROM STREET:  a. at sidewalk  c. 20 feet or less  
 b. 10 feet or less  d. other: \_\_\_\_\_

42. ORIENTATION TO STREET ADDRESS:  a. gabled  b. ridge parallel  c. other: \_\_\_\_\_

43. SURROUNDINGS:  a. densely built-up  d. residential  
(check several if appropriate)  b. scattered buildings  e. commercial  
 c. open land  f. old historic district

44. RELATED OUTBUILDINGS AND PROPERTY:

See form(s): \_\_\_\_\_

- a. barn
- e. carriage house
- i. garage
- m. scallop shanty
- b. privy
- f. shed
- j. greenhouse
- n. landscape features: \_\_\_\_\_
- c. shop
- g. gardens
- k. fence
- o. other: flag pole
- d. arbor
- h. deck
- l. parking

45. OTHER NOTABLE FEATURES: \_\_\_\_\_

(Building or site including interior features if known) \_\_\_\_\_

January 3, 2020

Nantucket Historic District Commission  
2 Fairgrounds Road  
Nantucket, MA 02554  
Attn: Cathy Flynn, Land Use Specialist

***Re: Nantucket Electric Company d/b/a National Grid  
Application for Certificate of Appropriateness for New Switchgear  
Platform and Other Improvements at Property off Commercial Street  
and Candle Street, Nantucket, Massachusetts***

Dear Cathy:

This firm represents Nantucket Electric Company d/b/a National Grid (“NEC”) in connection with its application for a Certificate of Appropriateness to the Nantucket Historic District Commission (the “HDC”) for a raised metal flood protection platform to protect switchgear enclosures, extension of 6’-tall chain link fencing and other related site improvements.

We hereby submit the following items for filing with the HDC:

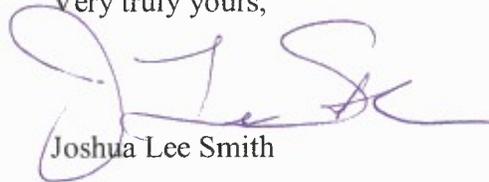
1. Signed Certificate of Appropriateness Application with Statement in Support;
2. Initialed checklist;
3. Locus Map (4 copies);
4. Plan set (i.e., existing conditions and site plan) (4 copies);
5. Photo simulations (4 copies);
6. 8-1/2” x 11” copies of all materials (4 copies);
7. Certified abutters list (original) with mailing receipts;
8. HDC notice; and
9. Filing fee payable to the Town of Nantucket in the amount of **\$50.00**.

We appreciate the HDC's consideration of the requested Certificate of Appropriateness. Kindly file this application with the HDC. NEC requests that the application be scheduled for a hearing and review at the HDC's next available meeting, which is scheduled to occur on **January 14, 2020**.

Please do not hesitate to contact me with any questions you may have with respect to this matter or require any additional information or documentation in order to process this application.

Thank you.

Very truly yours,



Joshua Lee Smith

JLS:mab  
Enclosures

cc: Project Team

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass. 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 42 PARCEL N<sup>o</sup>: 3.1.92; 3.1.91;  
2 Commercial 3.1.93; 3.1.231;  
Street & Number of Proposed Work: St., Nantucket, MA 3.1.230; 3.1.37  
Owner of record: Nantucket Electric Company d/b/a National Grid  
Mailing Address: 40 Sylvan Road  
Waltham, MA 02451  
Contact Phone #: 508-926-3464 E-mail: jsmith@bowditch.com

**AGENT INFORMATION (if applicable)**

Name: Joshua Lee Smith, Esquire  
Mailing Address: 311 Main Street, P.O. Box 15156  
Worcester, MA 01615  
Contact Phone #: 508-926-3464 E-mail: jsmith@bowditch.com

FOR OFFICE USE ONLY  
Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other See attached.
- Size of Structure or Addition: Length: 75' Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 13' Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: N/A

Original Date: \_\_\_\_\_

Original Builder: \_\_\_\_\_

Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

**Foundation:** Height Exposed ± 6"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) N/A  
**Fence:** Height: 6'  
Type: Chain link  
Length: 78'  
**Skylights (flat only):** Manufacturer N/A Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) N/A  
**Leaders (material and size):** N/A  
**Sidewall:**  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other N/A  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other N/A  
B. Treatment  Paint  Natural to weather  Other N/A  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other N/A  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front N/A Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways N/A Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date \_\_\_\_\_ Signature of owner of record Joshua Lee Smith Signed under penalties of perjury

**Statement in Support of Nantucket Electric Company d/b/a National Grid  
Application for Certificate of Appropriateness Application to  
Nantucket Historic District Commission in Connection with the Construction and  
Installation of a New Switchgear Platform and Other Improvements at  
Property off Commercial Street and Candle Street, Nantucket, Massachusetts**

Nantucket Electric Company d/b/a National Grid (“Nantucket Electric”) seeks to obtain a certificate of appropriateness from the Town of Nantucket Historic District Commission (the “Board”) in connection with the construction and installation of a new switchgear platform and other improvements at its existing electric substation located off Commercial Street and Candle Street, Nantucket, Massachusetts.

I. Background, Project Scope and Purpose.

Nantucket Electric owns approximately 2.25-acres of land at the corner of Commercial Street and Candle Street (the “Property”),<sup>1</sup> and which property is located in the Residential Commercial zoning district and various overlay districts.<sup>2</sup> The Property is currently used as an unmanned electric substation, and also contains areas for storage of equipment and materials.

Nantucket Electric is proposing to install a raised metal flood-protection platform within the site, which platform will be 6’ above grade with a 3’-6” handrail around its edge, and will be approximately 13’ wide by 75’ long (the “New Platform”).<sup>3</sup> Affixed atop the New Platform will be three relocated switchgears (currently located on the ground level near the street) as well as a new fourth switchgear to be added in the future. Each switchgear will be contained within a secure metal enclosure that will be approximately 6’-3” wide, 6’-3” long and 3’-9” tall (i.e., the top of each switchgear enclosure will be approximately 9’-9” above grade). The flood barriers currently surrounding two of the three switchgear enclosures on site will be removed upon installation of the New Platform.

The existing 6-foot chain link fence and privet hedge along Commercial Street will be extended along the street and into the site in order to provide visual screening. An existing utility pole and curb cut will be shifted easterly along Commercial Street in order to accommodate the New Platform and the new fence and hedge. The existing Sweetbay Magnolias behind the existing switchgears will remain in their current location and continue to serve as screening from across Candle Street.

The purpose of the project is to provide necessary flood protection measures for the switchgear equipment in furtherance of providing safe and reliable electric service for Nantucket.

---

<sup>1</sup> The Property contains a number of parcels which are designated by the Nantucket Assessor’s Office as having parcel identifications of 42.3.1.92, 42.3.1.91, 42.3.1.93, 42.3.1.231, 42.3.1.230 and 42.3.1.37.

<sup>2</sup> I.e., Core Historic District, Flood Hazard Overlay District, Town Overlay District, Formula Business Exclusion District and Fire-Resistant Shingles District.

<sup>3</sup> With the stairs at each end, the New Platform will be approximately 17 feet wide.

II. Reasons for Issuing Certificate of Appropriateness.

A. General Design, Arrangement, Texture, Material and Color of the Building and Structures.

The design, arrangement, texture, material and color of the proposed metallic New Platform under the project are standard for unmanned public utility facilities of this type and for National Grid. The kind, size, height and nature of the New Platform, new fence and facilities will be the same or similar to other existing equipment and facilities at the site, none of which are historically significant. The New Platform will be gray with green switchgear enclosures. The new fence will be the same design, texture, color and size as the existing fencing. All of the proposed project facilities will blend in with the existing facilities at the site.

The New Platform and other improvements are compatible with nearby buildings and structures with respect to size, height, design, texture, material and color. Nearby buildings and structures are not historically significant, and the project will not adversely affect the character of the surrounding neighborhood or the Town's historic assets.

B. Location on the Property and Position of Buildings.

The Property is already substantially developed with the existing substation and equipment and materials storage and parking areas, and, based on the shape, size and topography of the Property, the only area suitable for the New Platform is located in the proposed southeasterly portion of the Property, close to the substation. No other areas within the Property are suitable for the project. The proposed structures will be located a substantial distance from the street and surrounding properties, and will comply with all dimensional requirements under the Zoning Bylaw, including minimum yard setbacks.

The project facilities will not present unduly adverse visual impacts as the New Platform with the switchgear enclosures will be less than 10 feet in height and will be substantially screened by a type of fence and hedge that currently exists at the site, along with other structures and vegetation.

C. Project Need and Benefits; Neighborhood Impacts.

Issuance of the requested certificate will enable Nantucket Electric to continue to provide electricity to its customers in a safe and reliable manner and promote the highest and best use of the Property, which has been used for public utility use for decades. The project helps alleviate the heightened risk of damage to equipment that is vitally important to the electric grid and disruption of electric service, especially during times of severe weather, flooding or other similar events. If the requested certificate is not issued or unreasonably conditioned, substantial harm, hardship and detriment may be incurred by Nantucket Electric and residents, businesses and visitors of the Island. Moreover, Nantucket Electric may not be able to continue to provide reliable electric service to these customers during severe weather events, which would be a substantial detriment to the public good.

The primary use of the Property will remain the same upon completion of the project; however, the project will enhance the use by keeping the switchgears out of harm's way, which will result in safer and more reliable service. The project encourages the most appropriate use of the land, and will preserve and promote public health and safety, general welfare and overall economic vitality.

The New Platform will have no greater impact on, adversely affect or be detrimental to adjoining premises or zones or the neighborhood, and the proposed use is functionally and aesthetically compatible with the existing and allowed uses of the neighborhood, which contains a mix of commercial, industrial and residential properties. The kind, size, height and nature of the New Platform and its use are similar to the existing public utility use at the Property. The project facilities will not present unduly adverse visual impacts or negatively affect the Town's historic core as the New Platform will be adequately screened by the proposed expansion of the fencing and hedge that currently exists. The proposed location of the New Platform is set back from the street and is in the most appropriate location at the Property based on the limited developable land due to existing areas used for operations, structures, equipment and storage.

The project will continue to provide for safe and effective flow of traffic to and from the Property and will not result in a nuisance or hazard to vehicles or pedestrians within or off the Property or create any line of sight hazards along streets. The majority of the Property is, and will continue to be, an unmanned facility and closed to the public, and the project will not result in increases in traffic volumes or negative impacts on adjacent streets and ways.

The project will not require town services or infrastructure, such as public water or sewer, connections to municipal stormwater management systems or refuse removal. Once in operation, the New Platform and enclosed switchgears are not expected to result in any increase in noise levels that would be noticeable at any abutting properties based on the low noise levels generated, ambient sound levels and significant distances to any abutting properties.



**REQUIRED WITH ALL APPLICATIONS:**

JUS

1. **Completed Application Form:** Description of **ALL** work must be indicated on application form.

JUS

2. **Property Owner's Signature:** Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.

JU

3. **Application Fee:** See back of application for fee schedule or call the office.

JU

4. **Locus Map (4 copies):** Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) <http://www.mapgeo.com/NantucketMA/>.

JUS

5. **Site Plan (4 Copies):** must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and **placement of HVAC units, electrical boxes, fuel tanks, etc.**

JUS

6. **8-1/2" x 11" Copies of ALL Application Materials:** Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material **MUST BE LEGIBLE (font size no smaller than 12)**, collated and stapled.

JU

7. **Photographs:** Required of **ALL** applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.

JUS

8. **Electronic submission:** All documents submitted to the HDC office must also be converted to Adobe Acrobat format <http://www.adobe.com/pdf/>; this is free software that may have come pre-loaded on your computer. Electronic copies can also be created using the scanner located in the Department of Inspectional Services.

**REQUIRED WHERE APPLICABLE:**

N/A

1. **Supplemental Information for Historic Buildings:** It is the applicant's responsibility to research the historical status of any and **ALL** buildings. Additional information may be obtained from the Nantucket Historical Association Library. **If not historic, denote on application.**

N/A

2. **Exterior Elevations and Floor Plans (4 copies):** Must be 1/4-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. **All changes from approved or existing design must be clouded on drawings.** All material **MUST BE LEGIBLE**, collated and stapled. Reduced sets should maintain a font size of 12.

N/A

3. **As-Built Plans (1 copy):** of existing elevations

N/A

4. **Hardscaping Plans (4 copies):** To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material **MUST BE LEGIBLE**, collated and stapled.

N/A

5. **Topographic Map:** Must show existing and proposed grade for any change of more than **one** foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).

N/A

6. **Door and Window Schedule (4 copies):** Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.

N/A

7. **I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.**

(Initial to indicate read and understand)

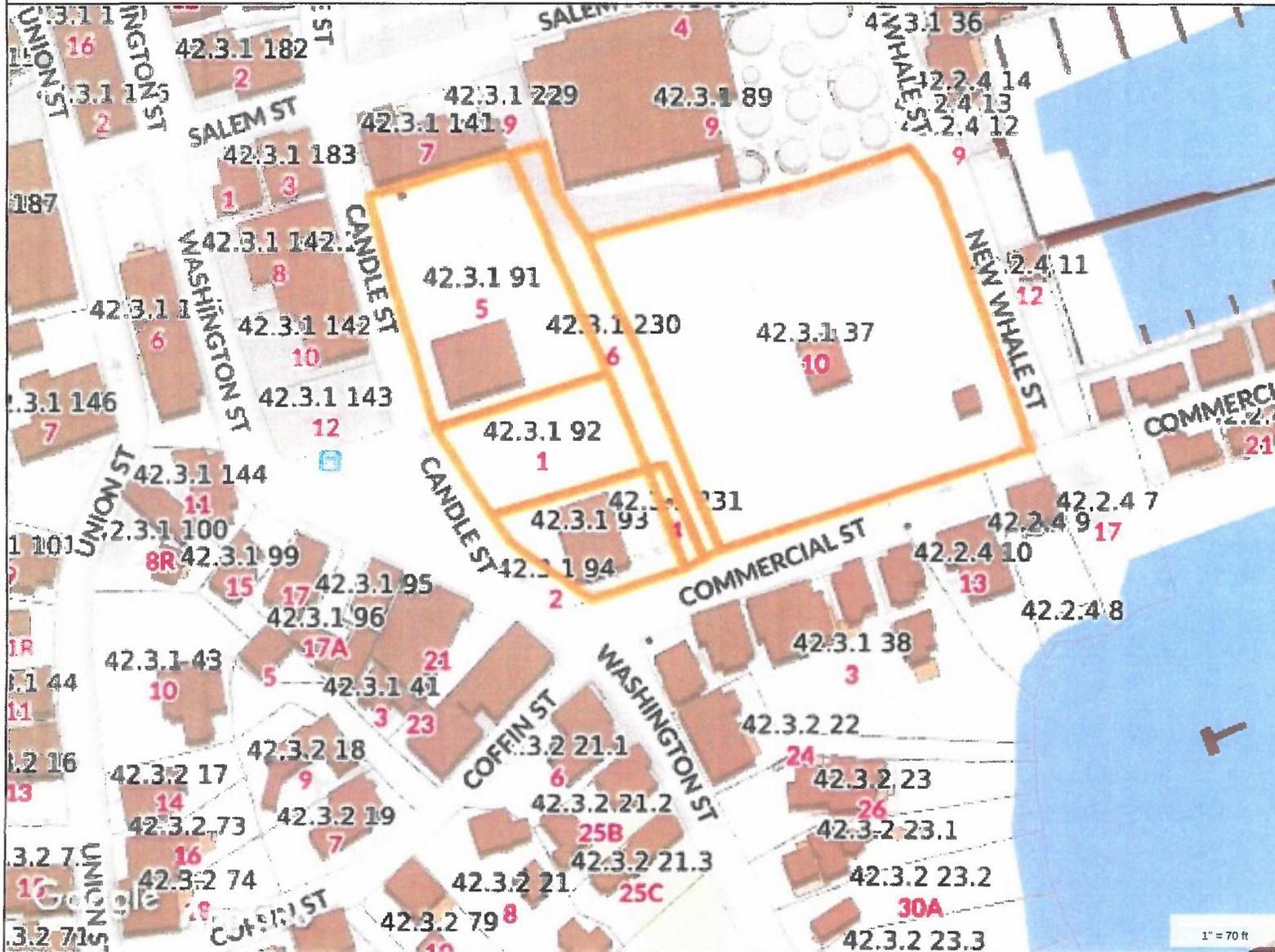
JUS

8. **Abutter Notification Materials** – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more **except** in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet.

JUS

9. **Approvals** from Planning Board, Zoning Board of Appeals, Conservation Commission etc.

Nantucket Electric Company - Locus Map



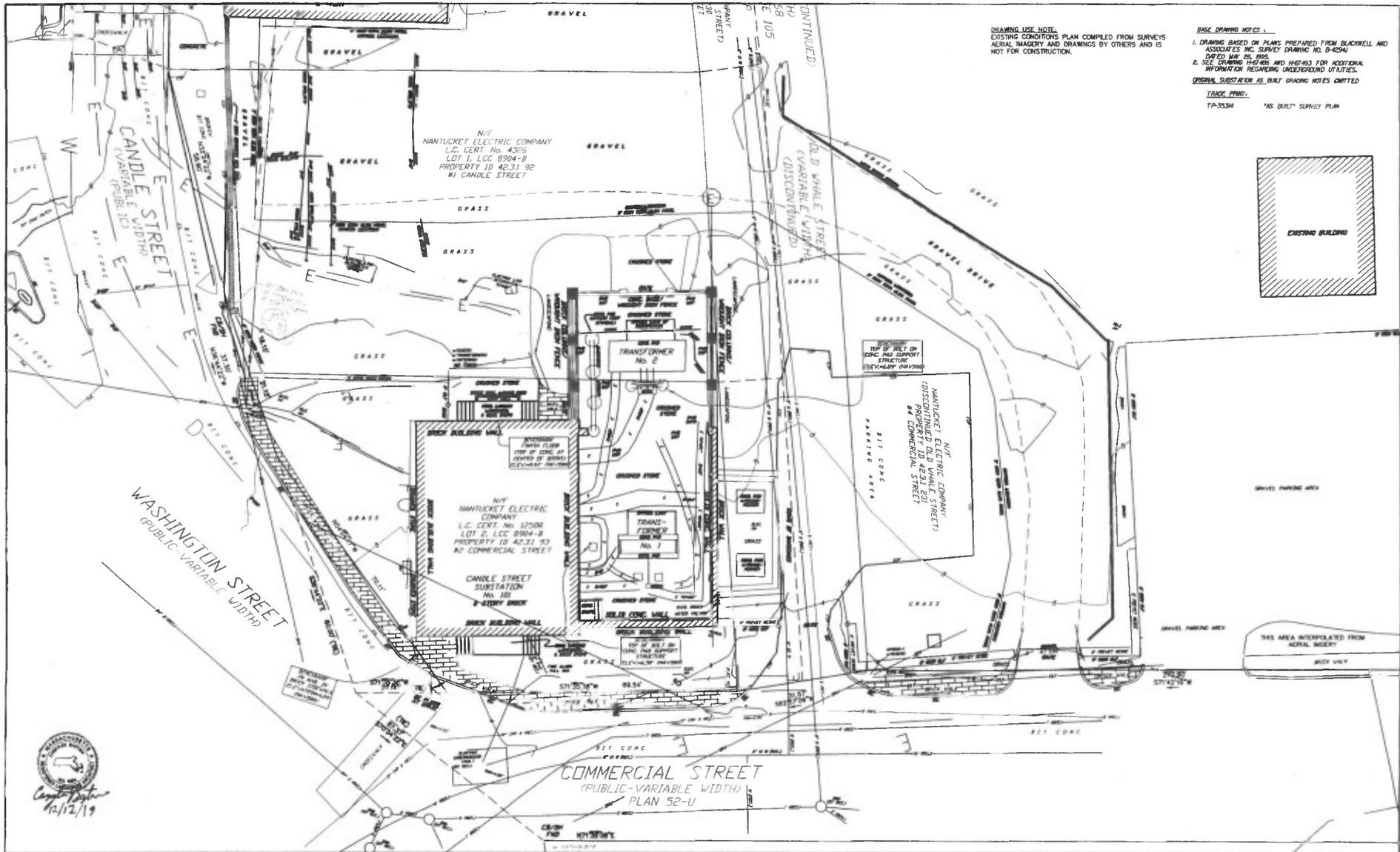
MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018  
Data updated 11/19/2018

1" = 70 ft





  
 12/12/19

**CANDLE STREET SUBSTATION**

**EXISTING CONDITIONS PLAN**

NANTUCKET, MA SCALE: 1"=10' DATE: 11/02/2019 DRAWING: E2.2 OF 3

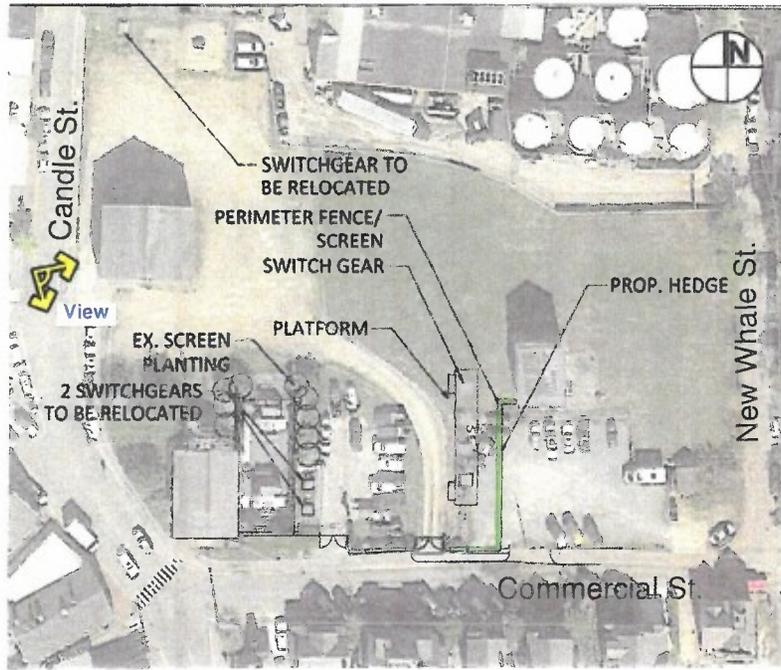
SCALE: 1" = 10' 20' FEET

**BSC GROUP**

CIVIL ENGINEERING, LANDSCAPE ARCHITECTURE, SURVEYING, PLANNING, GIS AND ECOLOGICAL SCIENCES

PROJECT: 19510.03





Candle Street Substation, Existing Condition  
View from Candle Street.

**Notes:**

Parked vehicles with mobile generators removed in proposed view to show the new equipment.

Equipment includes extension of 6' fence and hedge, behind the new flood protection platform at 6' above grade with three switchgear boxes, 6'-3" wide 3'-9" tall, relocated to the platform, with space for a fourth.

See section 2 for full views with close-ups of the equipment.



Candle Street Substation, Proposed Condition  
View from Candle street.

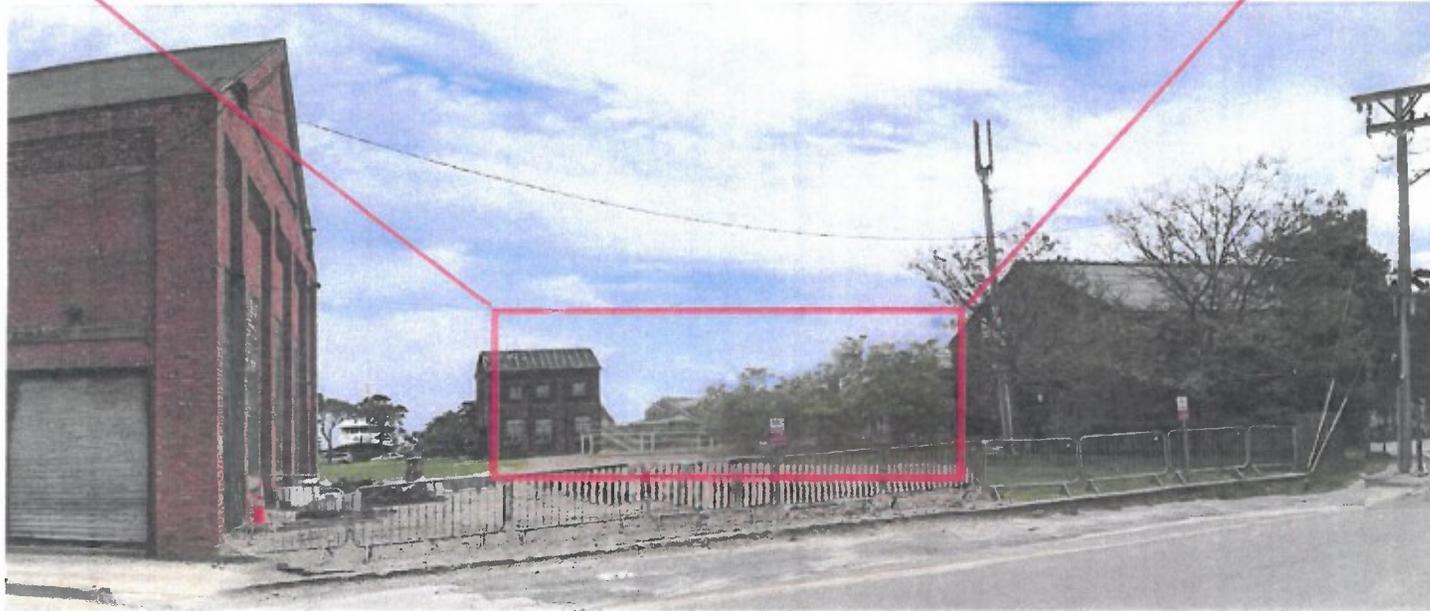
**Visual Simulation**

**Candle Street - Substation Rebuild**

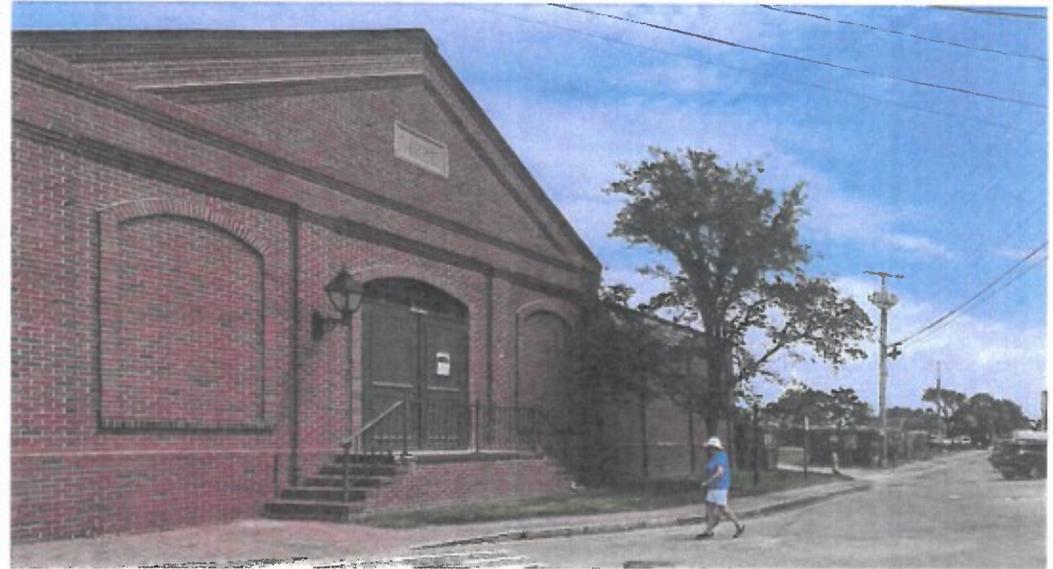
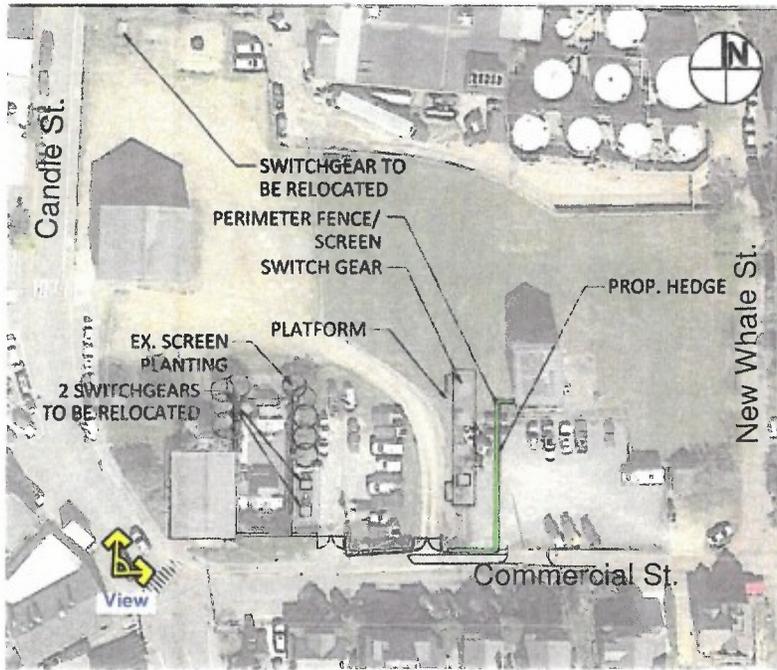
Nantucket, MA  
October 29, 2019



Space for 4th future switchgear.



Candle Street Substation, Proposed Condition  
View from Candle Street.



Candle Street Substation, Existing Condition  
View from Washington Street and Commercial Street intersection.

**Notes:**

Equipment includes extension of 6' fence and hedge, flood protection platform at 6' above grade, and four switchgear boxes 6'-3" wide, 3'-9" tall.

Pole removed and curb cut adjusted for adjacent parking area.

Gate is open in this view.

See section 2 for full views with close ups of the equipment.

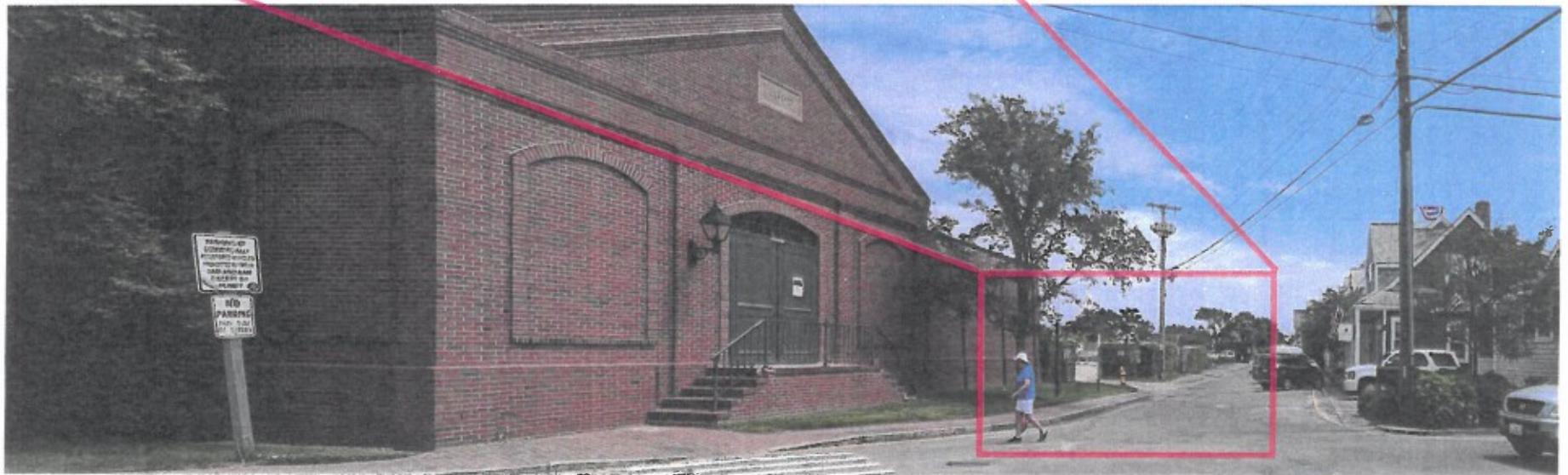


Candle Street Substation, Proposed Condition  
View from Washington Street and Commercial Street intersection.

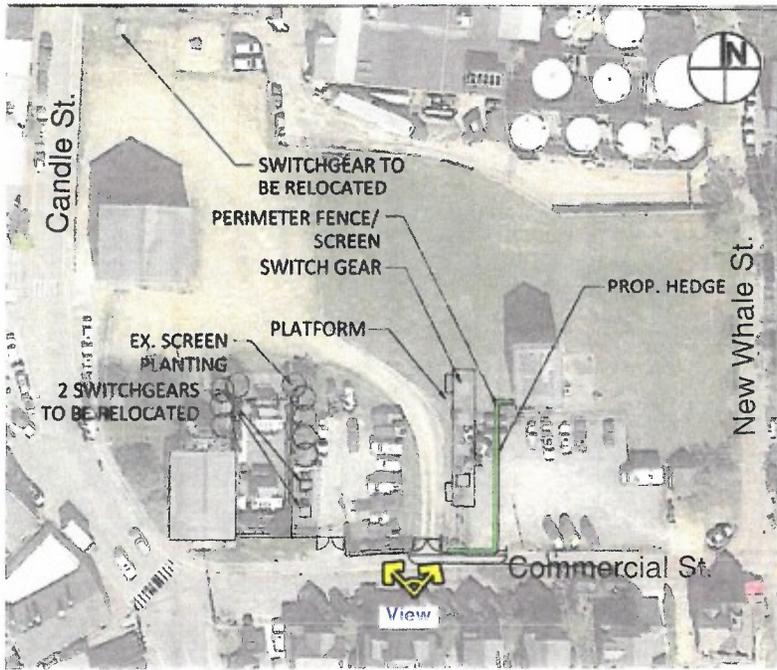
**Visual Simulation**

**Candle Street - Substation Rebuild**

Nantucket, MA  
October 29, 2019



Candle Street Substation, Proposed Condition  
View from Washington Street and Commercial Street intersection.



Candle Street Substation, Existing Condition  
View from Commercial Street.

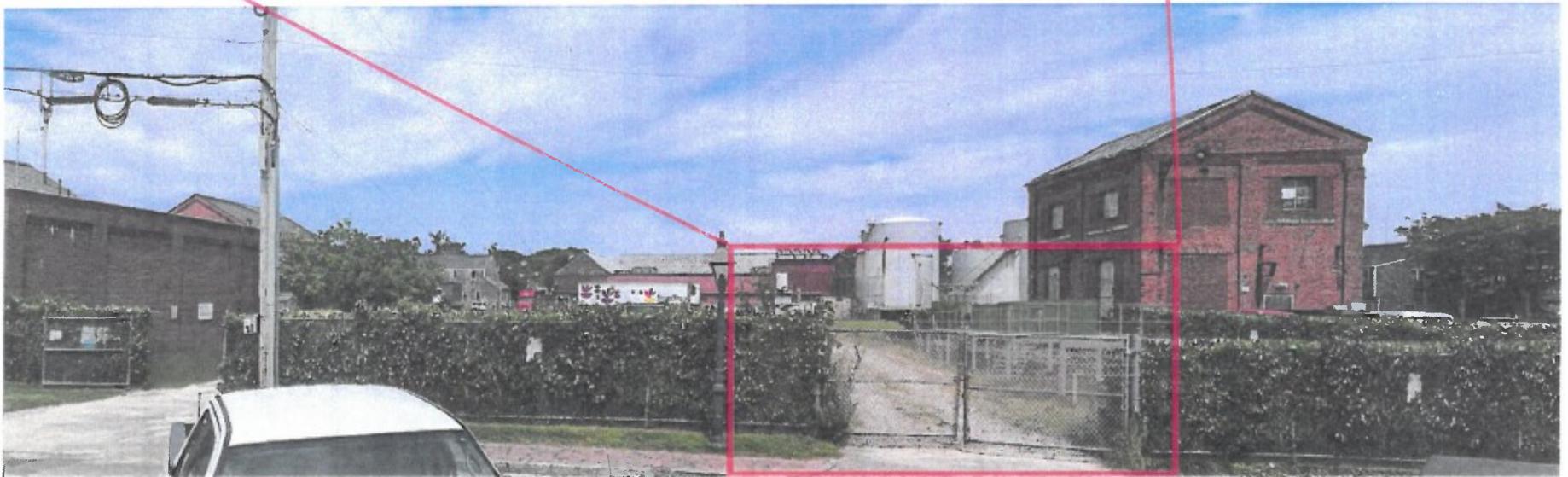
**Notes:**

Equipment includes extended 6' fence and privet hedge.  
Flood protection platform at 6' above grade, and relocation  
of 3 switchgear boxes 6'-3" wide, 3'-9" tall onto the platform.  
See section 2 for full views with close ups of the equipment.

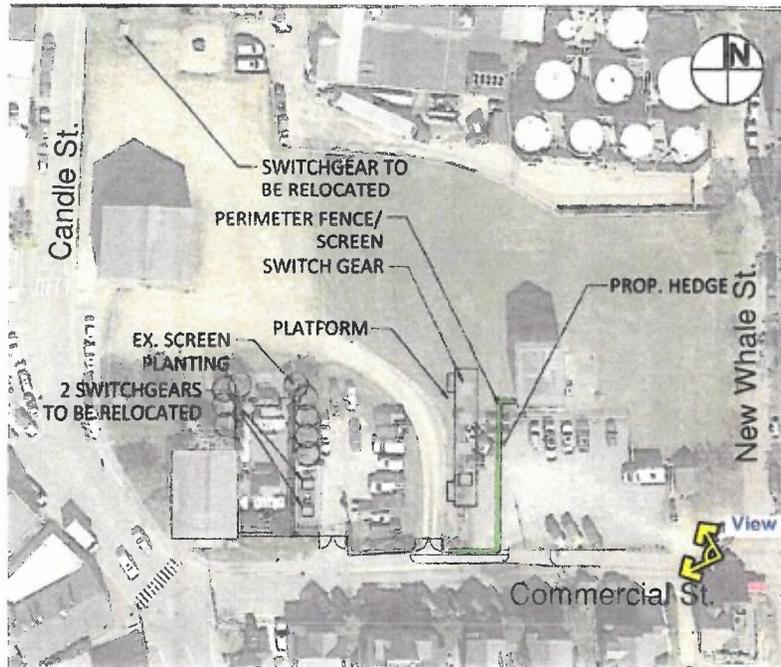


Candle Street Substation, Proposed Condition  
View from Commercial Street.

Visual Simulation  
Candle Street - Substation Rebuild  
Nantucket, MA  
October 29, 2019



Candle Street Substation, Proposed Condition  
View from Commercial Street.



Candle Street Substation, Existing Condition  
View from Commercial Street and New Whale Street intersection.

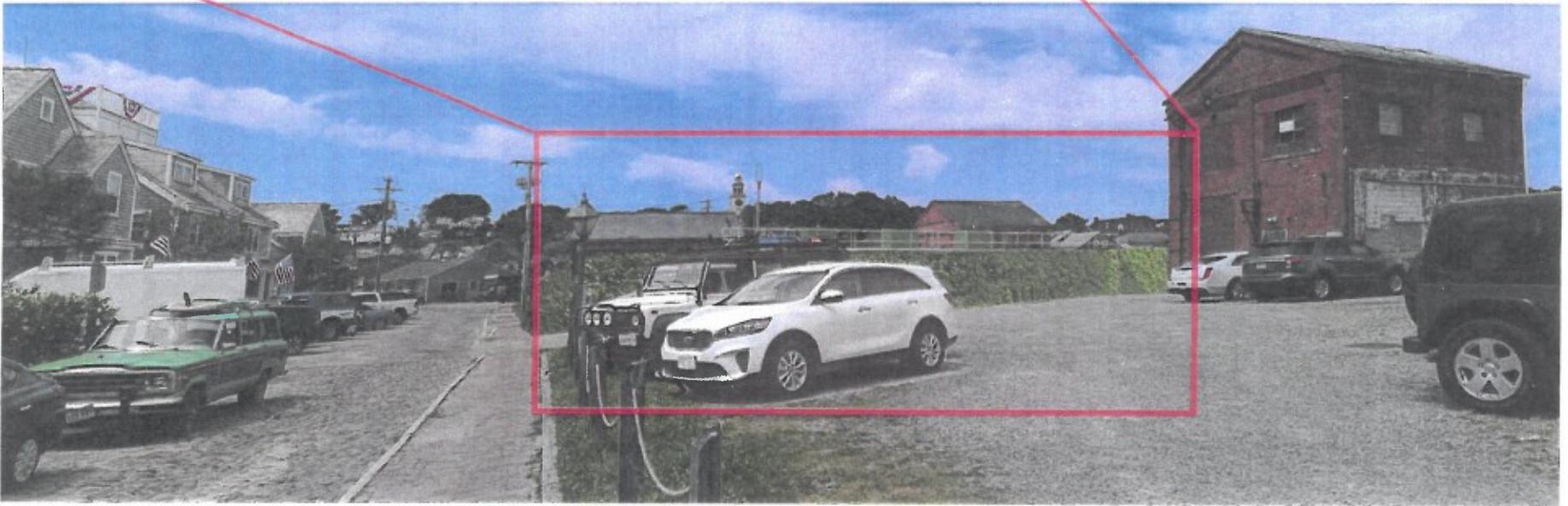
**Notes:**

Equipment includes extended 6' fence and privet hedge,  
(Gate not visible)  
Pole removed and curb cut adjusted at adjacent parking area.  
Flood protection platform at 6' above grade, and relocation  
of 3 switchgear boxes 6'-3" wide, 3'-9" tall onto the platform.  
See section 2 for full views with close ups of the equipment.

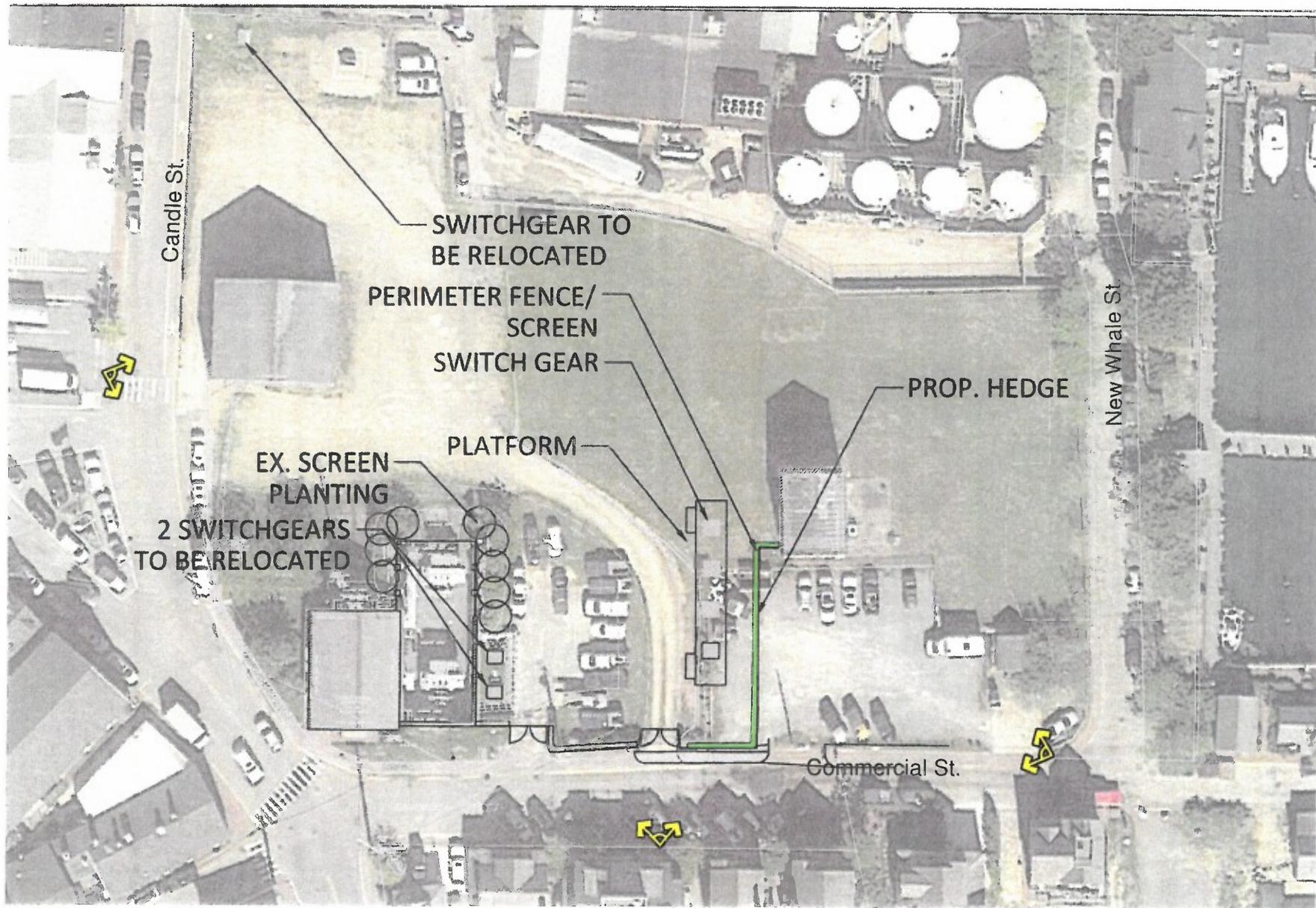


Candle Street Substation Proposed Condition  
View from Commercial Street and New Whale Street intersection.

Visual Simulation  
Candle Street - Substation Rebuild  
Nantucket, MA  
October 29, 2019



Candle Street Substation Proposed Condition  
View from Commercial Street and New Whale Street intersection.



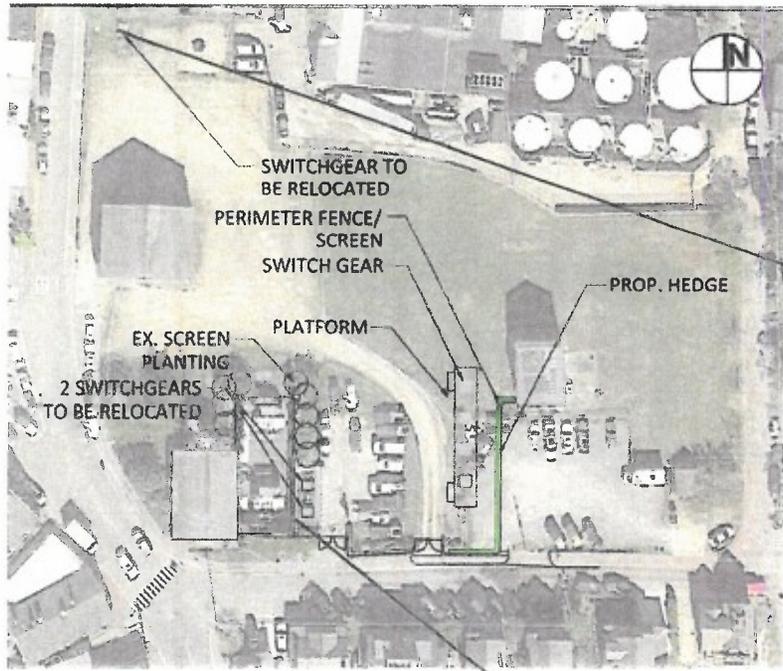
Visual Simulation

SITE PLAN CONTEXT

Candle Street - Substation Rebuild

Nantucket, MA

October 29, 2019



Existing equipment to be relocated



Existing equipment to be relocated

Visual Simulation  
 Candle Street - Substation Rebuild  
 Nantucket, MA  
 October 29, 2019



RECEIVED  
BOARD OF ASSESSORS  
NOV 22 2019  
TOWN OF  
NANTUCKET, MA

TOWN OF NANTUCKET  
HISTORIC DISTRICT COMMISSION

LIST OF PARTIES IN INTEREST IN THE MATTER OF THE PETITION OF:

PROPERTY OWNER..... Nantucket Electric Company d/b/a National Grid  
MAILING ADDRESS..... 40 Sylvan Road, Waltham, MA 02451  
PROPERTY LOCATION..... 1 Candle Street, 5 Candle Street, 2 Commercial Street, 4 Commercial Street,  
6 Commercial Street and 10 New Whale Street  
ASSESSORS MAP/PARCEL..... (MBL: 4231.92, 4231.91, 4231.93, 4231.231, 4231.230 and 4231.37)  
SUBMITTED BY:..... Mark A. Borenstein, Attorney for Nantucket Electric Company d/b/a National Grid  
Bowditch & Dewev. LLP  
311 Main Street  
Worcester, MA 01608  
Tele.: (508) 926-3459  
Email: mborenstein@bowditch.com

SEE ATTACHED PAGES

I certify that the foregoing is a list of persons who are owners of land directly adjacent to the subject property or directly opposite the subject property on any public or private street or way, all as they appear on the most recent applicable tax list.

11-22-19  
DATE

[Signature]  
ASSESSOR'S OFFICE  
TOWN OF NANTUCKET

4224  
NANTUCKET ISLANDS LAND BANK  
22 BROAD STREET  
NANTUCKET, MA 02554

4224  
ROWLAND MILTON & ROBERTA  
15 DEER RUN RD  
NANTUCKET, MA 02554

4224  
MULLER DAVID F  
580 WASHINGTON ST PH02  
BOSTON, MA 02111

4224  
NANTUCKET ELECTRIC COMPANY  
C/O PROPERTY TAX DEPT  
40 SYLVAN RD  
WALTHAM, MA 02451-2286

4224  
NANTUCKET ELECTRIC COMPANY  
C/O PROPERTY TAX DEPT  
40 SYLVAN RD  
WALTHAM, MA 02451-2286

4231  
TACK3 LLC  
C/O HARBORVIEW NANTUCKET  
24 WASHINGTON ST  
NANTUCKET, MA 02554

4231  
WHELDEN LARRY B TR  
N L T NOMINEE TRUST  
PO BOX 454  
NANTUCKET, MA 02554

4231  
AMERICAN LEGION  
BYRON L SYLVARO POST # 82  
PO BOX 265  
NANTUCKET, MA 02554

4231  
MCCREADY RICHARD J ETAL TRSTS  
WINTHROP MANAGEMENT LP  
PO BOX 9507  
BOSTON, MA 02114-9507

4231  
NANTUCKET COUNTY OF  
16 BROAD ST  
NANTUCKET, MA 02554

4231  
ARTISTS ASSOCIATION OF NANTUCKET  
PO BOX 1104  
NANTUCKET, MA 02554

4231  
17A WASHINGTON ST LLC  
955 CONNECTICUT AV #5103  
BRIDGEPORT, CT 06607

4231  
17A WASHINGTON ST LLC  
19 FIVE MILE ROAD  
DARIEN, CT 06820

4231  
BERRY MAX N TRST  
BERRY REV REALTY TRUST  
2716 CHESAPEAKE STREET NW  
WASHINGTON, DC 20008

4231  
MCCREADY RICHARD J ETAL TRSTS  
WINTHROP MANAGEMENT LLP  
PO BOX 9507  
BOSTON, MA 02114-9507

4231  
GREENHOUND LLC  
ZERO MAIN STREET  
NANTUCKET, MA 02554

4231  
LEICHTER DOROTHY M TR  
C/O SUSAN THURSTON  
PO BOX 405  
NANTUCKET, MA 02554

4231  
GREENHOUND LLC  
ZERO MAIN STREET  
NANTUCKET, MA 02554

4231  
SWEET PEA ACK LLC  
73 MAIN ST  
NANTUCKET, MA 02554

4231  
SHERBURNE ASSOCIATES  
C/O WINTHROP MANAGEMENT LP  
PO BOX 9507  
BOSTON, MA 02114-9507

4232  
SOWER PROPERTY LLC  
C/O JANIS ALDRIDGE INC  
P O BOX 1818  
NANTUCKET, MA 02554

**ABUTTERS LISTING  
NANTUCKET, MA**

Map	Block	Lot	Unit	Owner-s Name	Co Owner-s Name	Address	City	ST Zip	Parcel Location
4224		7		NANTUCKET ISLANDS LAND BANK		22 BROAD STREET	NANTUCKET	MA 02554	17 COMMERCIAL WF
4224		9		ROWLAND MILTON & ROBERTA		15 DEER RUN RD	NANTUCKET	MA 02554	15 COMMERCIAL WF
4224		10		MULLER DAVID F		580 WASHINGTON ST PH02	BOSTON	MA 02111	13 COMMERCIAL WF
4224		11		NANTUCKET ELECTRIC COMPANY	C/O PROPERTY TAX DEPT	40 SYLVAN RD	WALTHAM	MA 02451-2286	12 NEW WHALE ST
4224		12		NANTUCKET ELECTRIC COMPANY	C/O PROPERTY TAX DEPT	40 SYLVAN RD	WALTHAM	MA 02451-2286	9 NEW WHALE ST
4231		38		TACK3 LLC	C/O HARBORVIEW NANTUCKET	24 WASHINGTON ST	NANTUCKET	MA 02554	3 COMMERCIAL ST
4231		39		WHELDEN LARRY B TR	N L T NOMINEE TRUST	PO BOX 454	NANTUCKET	MA 02554	23 WASHINGTON ST
4231		40		AMERICAN LEGION	BYRON L SYLVARO POST # 82	PO BOX 265	NANTUCKET	MA 02554	21 WASHINGTON ST
4231		89		MCCREADY RICHARD J ETAL TRSTS	WINTHROP MANAGEMENT LP	PO BOX 9507	BOSTON	MA 02114-9507	9 SALEM ST
4231		94		NANTUCKET COUNTY OF		16 BROAD ST	NANTUCKET	MA 02554	2 COMMERCIAL ST
4231		95		ARTISTS ASSOCIATION OF NANTUCKET		PO BOX 1104	NANTUCKET	MA 02554	19 WASHINGTON ST
4231		96		17A WASHINGTON ST LLC		955 CONNECTICUT AV #5103	BRIDGEPORT	CT 06607	17A WASHINGTON ST
4231		97		17A WASHINGTON ST LLC		19 FIVE MILE ROAD	DARIEN	CT 06820	17 WASHINGTON ST
4231		99		BERRY MAX N TRST	BERRY REV REALTY TRUST	2716 CHESAPEAKE STREET N	WASHINGTON	DC 20008	15 WASHINGTON ST
4231		141		MCCREADY RICHARD J ETAL TRSTS	WINTHROP MANAGEMENT LLP	PO BOX 9507	BOSTON	MA 02114-9507	7 SALEM ST
4231		142		GREENHOUND LLC		ZERO MAIN STREET	NANTUCKET	MA 02554	10 WASHINGTON ST
4231		142	1	LEICHTER DOROTHY M TR	C/O SUSAN THURSTON	PO BOX 405	NANTUCKET	MA 02554	8 WASHINGTON ST
4231		143		GREENHOUND LLC		ZERO MAIN STREET	NANTUCKET	MA 02554	12 WASHINGTON ST
4231		144		SWEET PEA ACK LLC		73 MAIN ST	NANTUCKET	MA 02554	11 WASHINGTON ST
4231		229		SHERBURNE ASSOCIATES	C/O WINTHROP MANAGEMENT LP	PO BOX 9507	BOSTON	MA 02114-9507	9 SALEM ST
4232		21	1	SOWER PROPERTY LLC	C/O JANIS ALDRIDGE INC	P O BOX 1818	NANTUCKET	MA 02554	6 COFFIN ST

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Certified Mail Fee \$3.50  
 SMITH 1105  
 140773-08261

Extra Services & Fees (check box, add fee)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55  
 Total Postage and Fees \$6.85

Sent To: Richard J. McCreedy, et al Trustees  
 Winthrop Management LP  
 P.O. Box 9507  
 Boston, MA 02114-9507

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Postage \$0.55  
 Total Postage and Fees \$6.85

Sent To: Artists Association of Nantucket  
 P.O. Box 1104  
 Nantucket, MA 02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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 Adult Signature Restricted Delivery \$0.00

Postage \$0.55  
 Total Postage and Fees \$6.85

Sent To: Dorothy M. Leichter Trust  
 c/o Susan Thurston  
 P.O. Box 405  
 Nantucket, MA 02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**BOSTON, MA 02114**

Certified Mail Fee \$3.50  
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 140773-08261

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 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55  
 Total Postage and Fees \$6.85

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 P.O. Box 9507  
 Boston MA 02114-9507

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee \$3.50  
 SMITH 1105  
 140773-08261

Extra Services & Fees (check box, add fee)  
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 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55  
 Total Postage and Fees \$6.85

Sent To: County of Nantucket  
 16 Broad Street  
 Nantucket, MA 02554

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**DARIEN, CT 06820**

Certified Mail Fee \$3.50  
 SMITH 1105  
 140773-08261

Extra Services & Fees (check box, add fee)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55  
 Total Postage and Fees \$6.85

Sent To: 17A Washington Street LLC  
 19 Five Mile Road  
 Darien, CT 06820

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55  
 Total Postage and Fees \$6.85

Sent To: Sower Property LLC  
 c/o Janis Aldridge Inc.  
 P.O. Box 1818  
 Nantucket, MA 02554

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Sent To: Nantucket Electric Company  
 c/o Property Tax Dept.  
 40 Sylvan Road  
 Waltham, MA 02451-2286

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 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.55  
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Sent To: Greenhound LLC  
 0 Main Street  
 Nantucket, MA 02554

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Postage \$0.55  
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Sent To: American Legion  
 Byron L. Sylvano Post #82  
 P.O. Box 265  
 Nantucket, MA 02554

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 Adult Signature Required \$0.00  
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Postage \$0.55  
 Total Postage and Fees \$6.85

Sent To: Larry B. Whelden, Trustee  
 N. L. Nominee Trust  
 P.O. Box 454  
 Nantucket, MA 02554

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**BRIDGEPORT, CT 06607**

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 Return Receipt (hardcopy) \$0.00  
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 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
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Postage \$0.55  
 Total Postage and Fees \$6.85

Sent To: 17A Washington Street LLC  
 955 Connecticut Ave #5103  
 Bridgeport, CT 06607

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7017 0190 0000 2747 0511

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JAN 3 2020  
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01/03/2020

Sent To: David F. Muller  
580 Washington St PH02  
Boston, MA 02111

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7017 0190 0000 2747 0528

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01/03/2020

Sent To: Nantucket Electric Company  
c/o Property Tax Dept.  
40 Sylvan Road  
Waltham, MA 02451-2286

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Postage: \$0.55

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01/03/2020

Sent To: Nantucket Islands Land Bank  
22 Broad Street  
Nantucket, MA 02554

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 Adult Signature Restricted Delivery \$0.00

Postage: \$0.55

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Sent To: Milton & Roberta Rowland  
15 Deer Run Road  
Nantucket, MA 02554

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Sent To: Sweet Pea ACK LLC  
73 Main Street  
Nantucket, MA 02554

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0 Main Street  
Nantucket, MA 02554

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01/03/2020

Sent To: Tack3 LLC  
c/o Harboryview Nantucket  
24 Washington Street  
Nantucket, MA 02554

PS Form 3800, April 2015 PSN 7530-02-000-9001 See Reverse for Instructions

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 Adult Signature Restricted Delivery \$0.00

Postage: \$0.55

Total Postage and Fees: \$6.85

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JAN 3 2020  
01601-9991 USPS

01/03/2020

Sent To: Sherburne Associates  
c/o Winthrop Management LP  
P.O. Box 9507  
Boston, MA 02114-9507

PS Form 3800, April 2015 PSN 7530-02-000-9001 See Reverse for Instructions

7017 0190 0000 2747 0634

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**BOSTON, MA 02114**

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 Return Receipt (hardcopy) \$2.80  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
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 Adult Signature Restricted Delivery \$0.00

Postage: \$0.55

Total Postage and Fees: \$6.85

SMITH 1105  
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JAN 3 2020  
01601-9991 USPS

01/03/2020

Sent To: Richard J. McCreedy, et al, Trustees  
Winthrop Management LLP  
P.O. Box 9507  
Boston, MA 02114-9507

PS Form 3800, April 2015 PSN 7530-02-000-9001 See Reverse for Instructions



# HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road

Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Fax: 508.228.7298

## NOTICE OF HDC APPLICATION

### ABUTTERS AND INTERESTED PARTIES

Please be informed that the Nantucket Historic District Commission will be considering the following proposal:

Address of Proposed Work: 2 Commercial Street

Tax Map Number: 42 Parcel Number: 3.1.92; 3.1.91; 3.1.93;  
3.1.231; 3.1.230; 3.1.37

Owner of Record: Nantucket Electric Company d/b/a National Grid

Description of Proposal: Installation of 1. A raised metal flood protection platform to support  
switchgear enclosures, approximately 9'-9" above grade; 2. Extension of 6' - tall chain link fencing; and  
3. Other related site improvements.

See Statement in Support.

Anticipated HDC Submission Date: January 6, 2020

You have been identified either as an abutter or interested party to the above property and are being notified in accordance with the Town Bylaw. Please note that the above submission date is an estimate only; the actual meeting date will be determined once the HDC staff has established that a complete application has been submitted. Please contact the HDC office to verify the date. Please note that notification is only required at the time of initial submission of an application, not for each time an application goes before the Commission. Abutters are responsible for monitoring the status of applications.

If you wish to comment on the above proposal, you are encouraged to submit your comments in writing to the HDC office. If you wish to testify at a Commission meeting please be aware that your testimony may be limited by the Commission in accordance with Commission policies, which are included on the back of this form. Due to the large sizes of most applications, the HDC office may not be able to send faxed copies of the plans. Off-island abutters wishing more detailed information may enlist an on-island representative to view the plans in the HDC office.

If you have any questions, please contact the HDC office at 508.325.7587.

## **HDC POLICIES FOR AN ABUTTER AND/OR INTERESTED PARTY TESTIMONY**

Abutters are encouraged to limit their responses to issues that fall within the statutory mandate of the HDC – mainly the appearance of a proposal from the publicly traveled way and its impact on the existing historic environmental context. Issues such as land uses, noise, and impacts on private property are outside of the HDC's purview and cannot be addressed by the Commission.

In order to maintain a balance between the wishes of abutters and interested parties to express their concerns and the need of the HDC to conduct its business in a timely fashion, the following policies have been established:

Abutters and interested parties wishing to testify before the Commission shall be limited to three minutes of testimony. Only one representative from each abutting property or interested party shall be permitted to testify.

For those cases in which a substantial number of abutters and/or interested parties wish to testify (as determined by the Chair), the Chair shall structure the review of an application as follows:

1. Introduction of the application;
2. Response by applicant;
3. Public comment in favor of proposal;
4. Public comment in opposition of proposal;
5. Closing of public comment-no further comment unless requested by Commission members through the Chair;
6. Commission comments and discussion with applicant;
7. Commission action.

The above meeting policies may be waived at the discretion of the Chair.

**BOWDITCH & DEWEY LLP  
REGISTRY ACCOUNT**

311 MAIN STREET  
WORCESTER, MA 01608

14562

DATE 1/3/00

5-13/110

ZShield™ Check Fraud Protection for Business

PAY TO THE ORDER OF

Town of Nantucket

\$ 50.00

Fifty and 00/100

DOLLARS



*[Signature]*

⑈014562⑈ ⑆011000138⑆ 000054215030⑈

**BOWDITCH & DEWEY LLP  
REGISTRY ACCOUNT**

DETACH AND RETAIN THIS STATEMENT  
THE ATTACHED CHECK IS IN PAYMENT OF ITEMS DESCRIBED BELOW.  
IF NOT CORRECT PLEASE NOTIFY US PROMPTLY. NO RECEIPT DESIRED.

Deluxe Corporation 1-800-328-0304 or www.deluxe.com/shop  
PRODUCT 55202N

14562

DATE	INVOICE NO.	DESCRIPTION	AMOUNT	DEDUCTIONS		NET AMOUNT
				PARTICULARS	AMOUNT	
		<u>Town of Nantucket</u>				
		<u>Filing Fee</u>	<u>\$ 50</u>			
				<u>140773</u>	<u>0826</u>	

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 42.3.4 PARCEL N<sup>o</sup>: 36.1 (?)  
Street & Number of Proposed Work: 2 HOWARD CT (LOT 07)  
Owner of record: DAVID & ELIZABETH YEAGER  
Mailing Address: 218 LAUNSDALE AVE  
WAYNE, PA 19087  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: BROOK MEERBERGEN  
Mailing Address: PO BOX 673  
OLSHH  
Contact Phone #: 813388 E-mail: \_\_\_\_\_

FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**  
See reverse for required documentation.

Provenance: 72949; 73099; 73318

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. 73318
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_ (describe)  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A  
**REVISIONS\***  
1. East Elevation 4'-0" PROJECTION +/- BRACKETED PERGOLA; DOOR COLOR TO WALLER GR  
2. South Elevation  
3. West Elevation BRACKETED PERGOLA (4'-0" PROJECTION)  
4. North Elevation BRACKETED PERGOLA (10'-0" LENGTH +/-)  
\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): \_\_\_\_\_  
Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall TOP PERGOLA NTW Clapboard (if applicable) \_\_\_\_\_ Roof (DARK LIVE GREEN)  
Sash \_\_\_\_\_ Doors FRONT DOOR TO WALLER GREEN  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

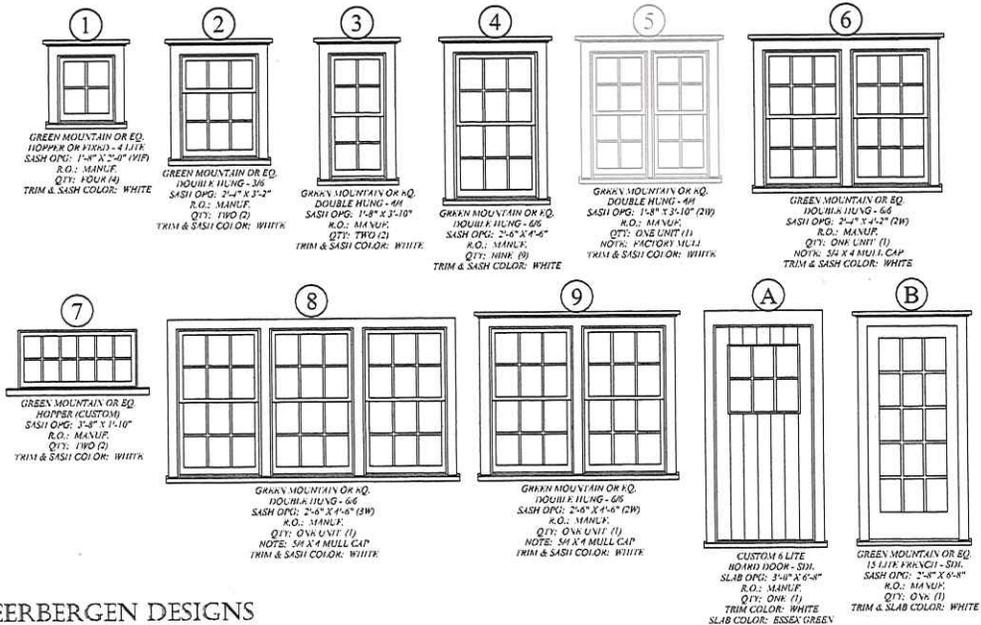
Date 01-03-20 Signature of owner of record David & Elizabeth Yeager Signed under penalties of perjury

YEAGER ADDITION  
2 HOWARD COURT  
SCALE: 1" = 20'-0"



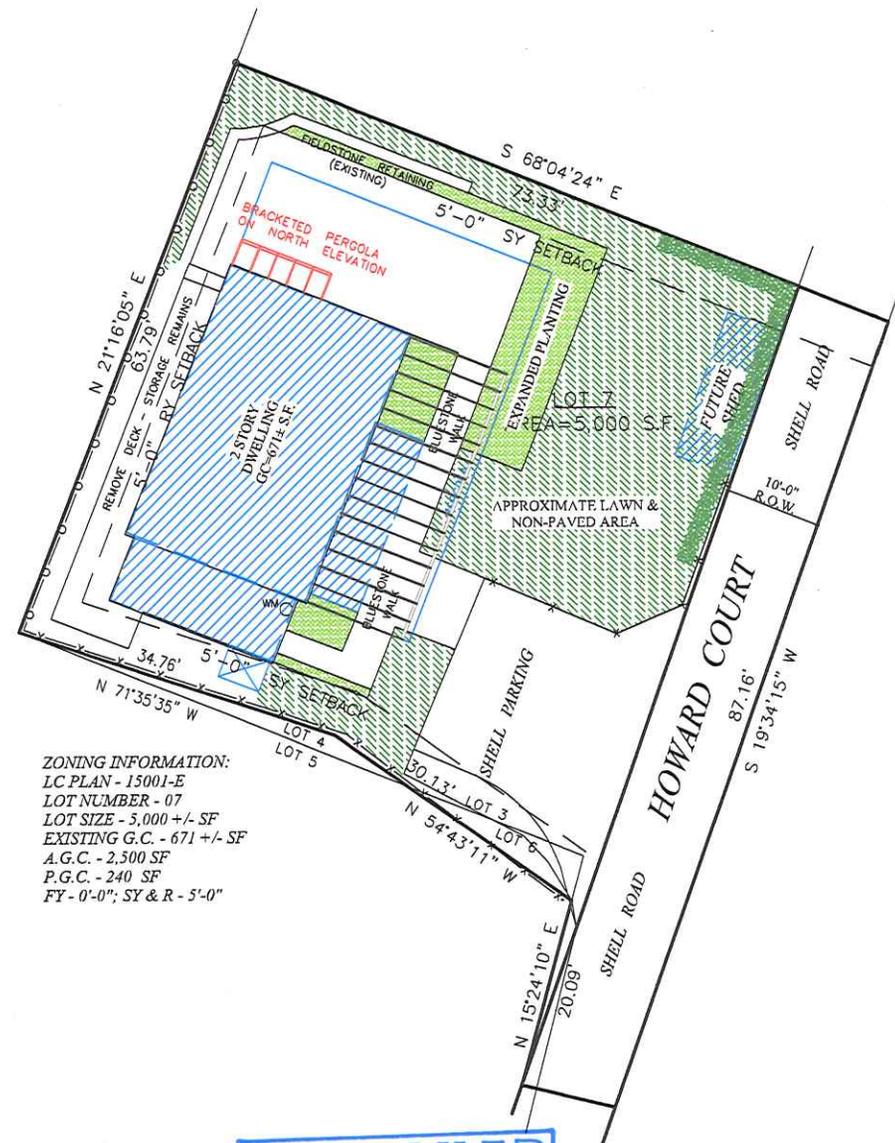
2 HOWARD COURT LOCUS MAP - NOT TO SCALE  
YEAGER - MAP 42.3.4; PCL 36

WINDOWS ON STREET ELEVATION TO BE TRUE  
DIVIDED LIGHT. ALL OTHERS TO BE WOOD INSULATED  
GLASS SIMULATED DIVIDED LITE WITH SPACER BARS  
PER COA => 73318



MEERBERGEN DESIGNS  
PO BOX 673  
NANTUCKET, MA 02554  
508.228.1388

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ZONING INFORMATION:  
LC PLAN - 15001-E  
LOT NUMBER - 07  
LOT SIZE - 3,000 +/- SF  
EXISTING G.C. - 671 +/- SF  
A.G.C. - 2,500 SF  
P.G.C. - 240 SF  
FY - 0'-0"; SY & R - 5'-0"

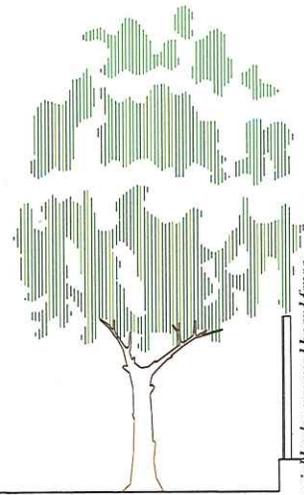


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YEAGER ADDITION  
2 HOWARD COURT  
SCALE: 1/8" = 1'-0"



EAST ELEVATION  
facing howard court



neighbor's approved board fence

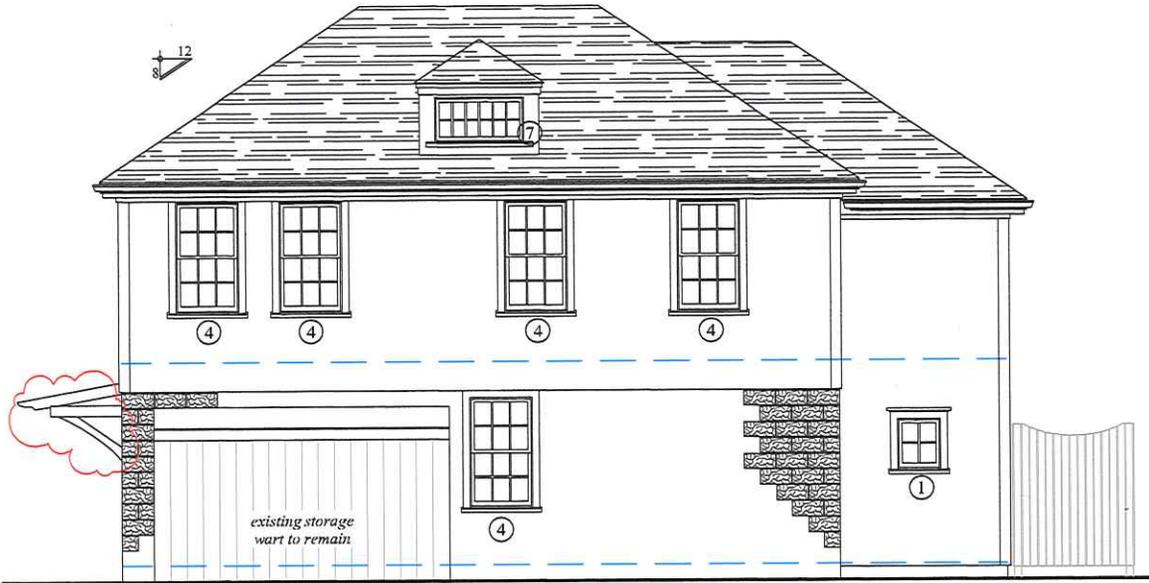


NORTH ELEVATION

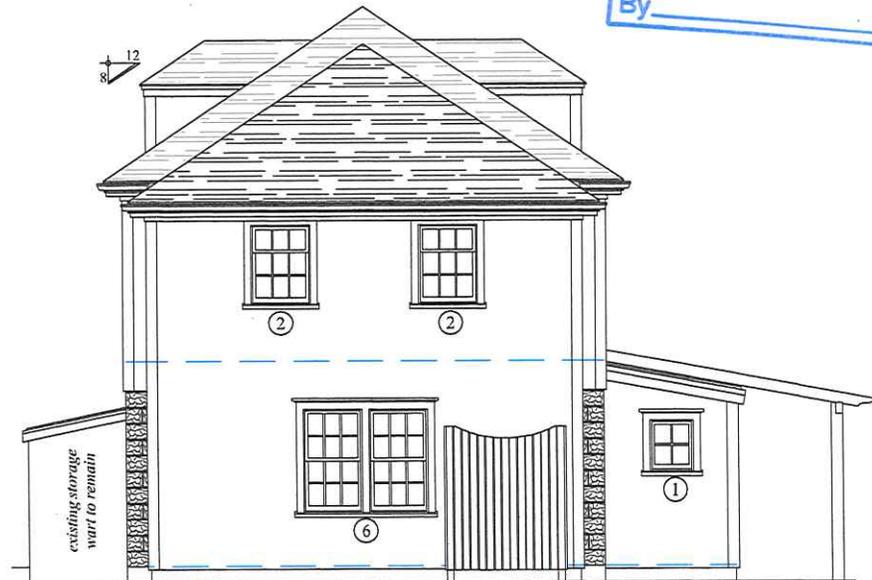
MEERBERGEN DESIGNS  
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NANTUCKET, MA 02554  
508.228.1388

YEAGER ADDITION  
2 HOWARD COURT  
SCALE: 1/8" = 1'-0"

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WEST ELEVATION



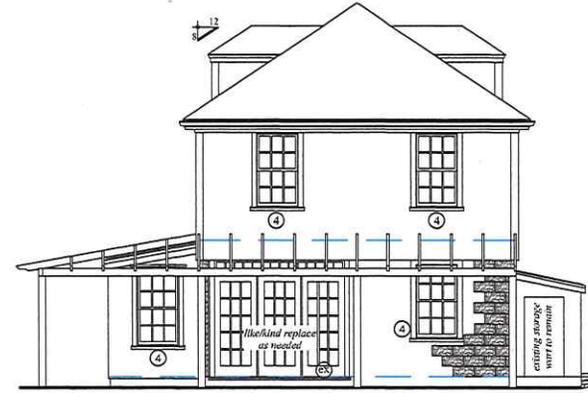
SOUTH ELEVATION

YEAGER ADDITION  
 CoA PROVENANCE: 72949; 73099; 73318  
 2 HOWARD COURT  
 SCALE: 1" = 20'-0"  
 DRAWING SCALE: NONE

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 not be reproduced electronically  
 or in any other manner without the express  
 consent of brook meerbergen.



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION



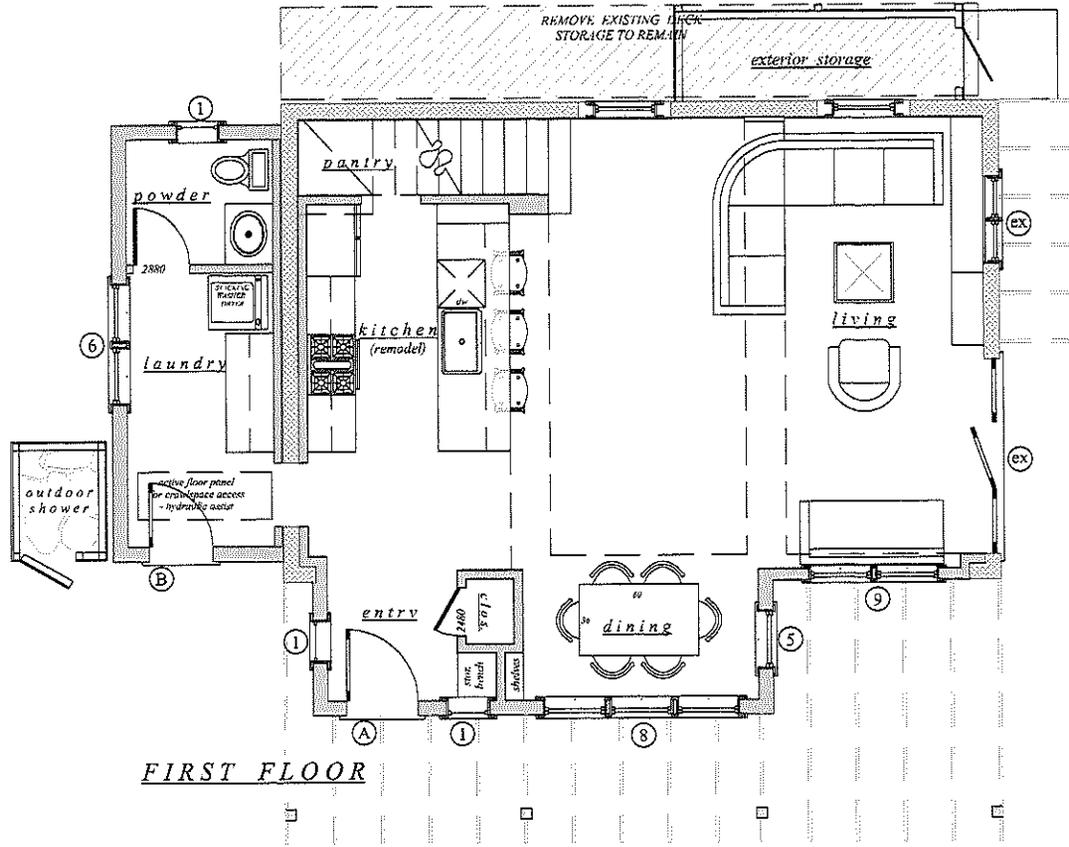
SOUTH ELEVATION



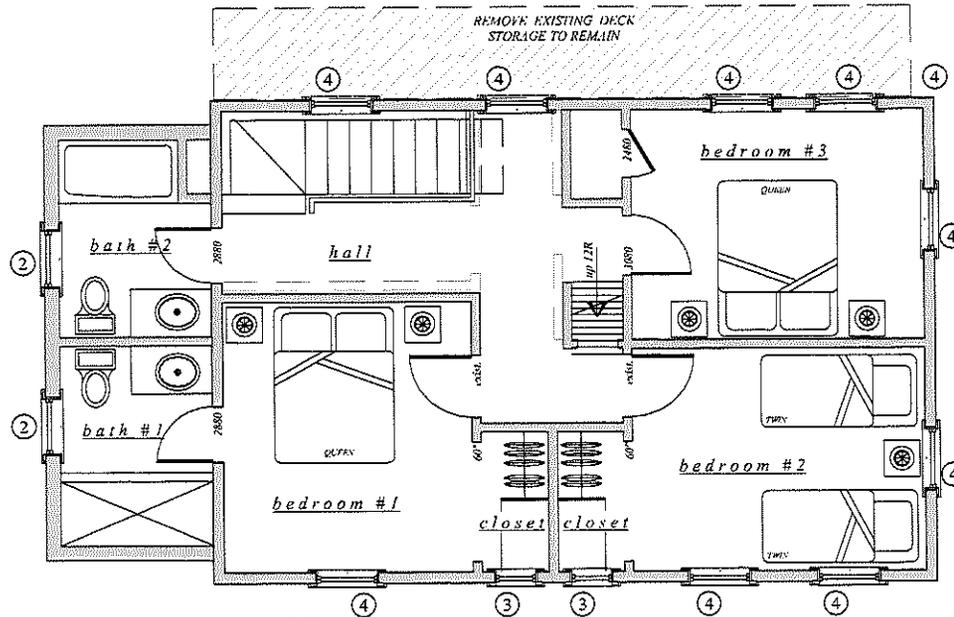
MEERBERGEN DESIGNS  
 PO BOX 673  
 NANTUCKET, MA 02554  
 508.228.1388

YEAGER ADDITION  
 2 HOWARD COURT  
 SCALE: 1/8" = 1'-0"

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 not be reproduced electronically  
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 consent of brook meerbergen.



FIRST FLOOR

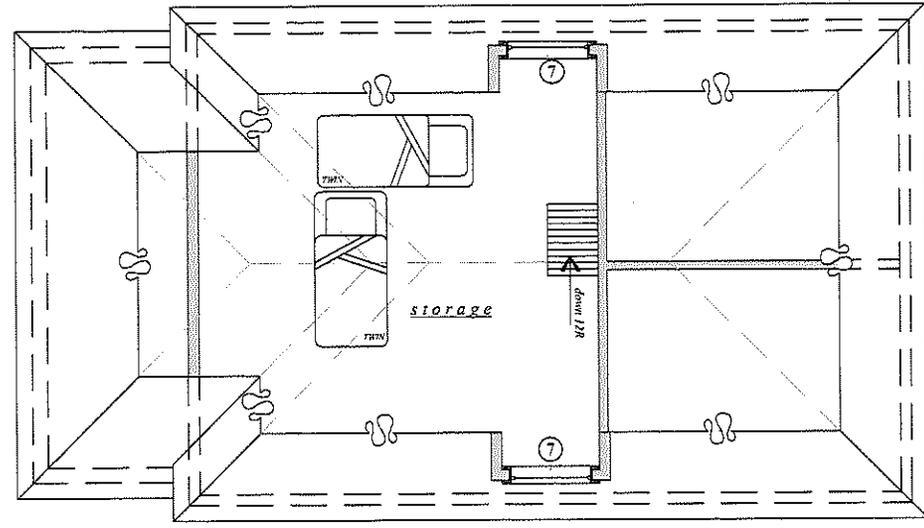


SECOND FLOOR

MEERBERGEN DESIGNS  
 PO BOX 673  
 NANTUCKET, MA 02554  
 508.228.1388

YEAGER ADDITION  
2 HOWARD COURT  
SCALE: 1/8" = 1'-0"

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ATTIC PLAN  
expand existing

MEERBERGEN DESIGNS  
PO BOX 673  
NANTUCKET, MA 02554  
508.228.1388

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 42.3.1 PARCEL N°. 102  
 Street & Number of Proposed Work: 2 Stone Alley  
 Owner of record: 450 Green Park LLC  
 Mailing Address: 5 Hardway Farms Road  
Morrisstown, NJ 07960  
 Contact Phone #: (508) 690-4612 E-mail: SANDROX@CASTLEGROUP

#### AGENT INFORMATION (if applicable) 99.com

Name: LINK PERMITTING & DESIGN  
 Mailing Address: PO Box 1001  
NANTUCKET MA 02554  
 Contact Phone #: (508) 221-8274 E-mail: LINK02554@GMAIL.COM

FOR OFFICE USE ONLY ✓ 11228

Date application received: 5/29/19 Fee Paid: \$ 440

Must be acted on by: 8/02/19, 10/8/19, 12/15/19

Extended to: 2/07/20

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 40' Sq. Footage 1st floor: 1200 Decks/Patio: Size: 34' x 12'  1st floor  2nd floor

Width: 30' Sq. Footage 2nd floor: 1000 Size: 6' x 24'  1st floor  2nd floor

Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

Height of ridge above final finish grade: North 29'6" South 26'6" East 34' West 26'6"

#### Additional Remarks

Historic Name: GEORGE B. UPTON HOUSE REVISIONS\* 1. East Elevation BUMP REAR ELEVATION OUT, ADD DOORS + WINDOWS ADD 1ST FLOOR + 2ND FLOOR DECK BSMT WINDOWS

Original Date: \_\_\_\_\_ (describe) 2. South Elevation ADD WINDOW, EXPAND DECK, ADD 2ND FLOOR WINDOWS

Original Builder: \_\_\_\_\_ 3. West Elevation RELOCATE CHIMNEY

Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation RAISE MAIN RIDGE

\*Cloud on drawings and submit photographs of existing elevations. MOVE REAR WALL OUT, ADD WINDOWS, DOORS, DECKS

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural

Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): WOOD

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia MATCH EXISTING Rake MATCH Soffit (Overhang) MATCH Corner boards MATCH Frieze MATCH

Window Casing MATCH Door Frame MATCH Columns/Posts: Round  Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways TBD Walkways TBD Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_

Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_

Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5.29.2019 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury

LOCUS MAP 42.3.1 PARCEL 102



FIELD STONE RISERS TO MATCH EXISTING



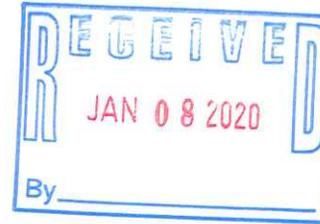
EXISTING FIELD STONE WALL



EXISTING FIELD STONE WALL



FIELD STONE FOUNDATION WALL



**PROJECT**

**2 STONE ALLEY RESIDENCE**  
2 STONE ALLEY  
NANTUCKET MA 02554

**ARCHITECT**

PAUL ALDEN CURTIS  
13 DUNCAN STREET, NANTUCKET, MA  
T 917 423-7894

**SURVEYOR**

J. MARCKLINGER & ASSOCIATES, INC.  
45 STATE ST., NANTUCKET, MA  
T 310 945-7054

**BASE PLAN INFORMATION**

ZONING CLASSIFICATION: R-0H  
MINIMUM LOT SIZE = 5,000 SQ. FT.  
MINIMUM FRONTAGE = 50  
FRONT YARD SETBACK = NONE  
REAR YARD SETBACK = 5 FT.  
SIDE YARD SETBACK = 5 FT.  
GROUND COVER RATIO = 50%  
EXISTING GROUND COVER RATIO = 9.7%

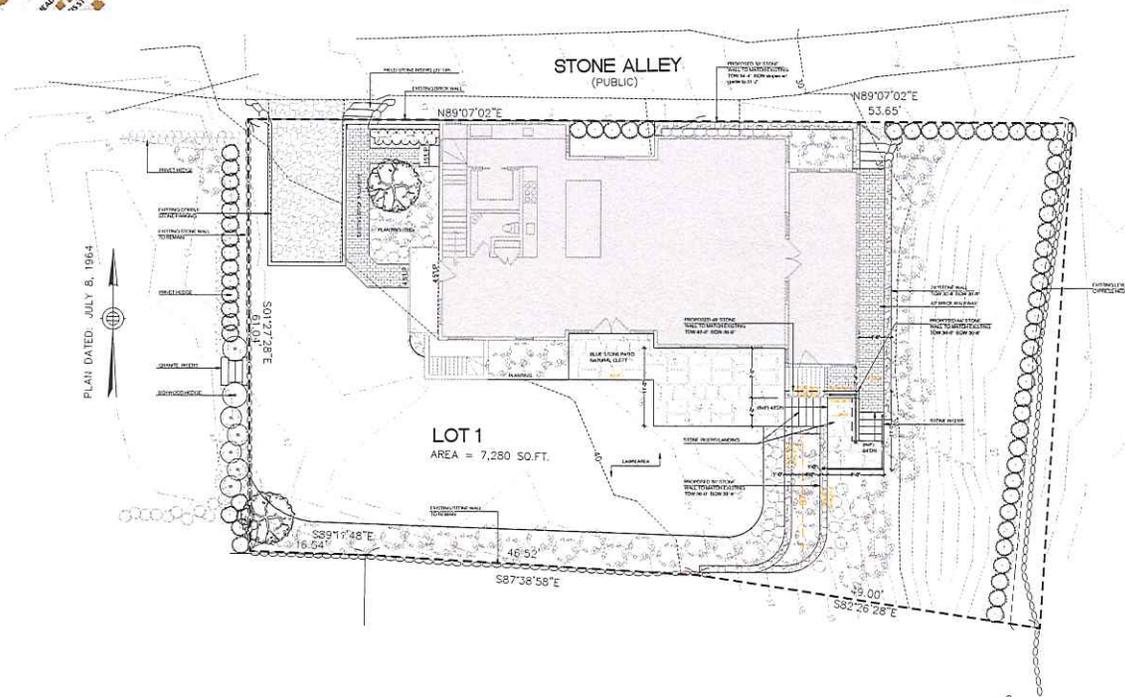
**"TOPOGRAPHIC" PLOT PLAN**  
NANTUCKET, MA.

(NANTUCKET COUNTY)  
SCALE 1 IN. = 10 FT  
2 STONE ALLEY  
JANUARY 30, 2017

L.C.C. 11559-B CERT.: 24475  
ASSESSORS MAP 42.3.1, PARCEL 102

OWNER: 450 GREEN PARK LLC

JOSEPH MARCKLINGER P.L.S.  
J. MARCKLINGER & ASSOCIATES, INC.  
PROFESSIONAL LAND SURVEYORS  
P.O. BOX 896  
NANTUCKET, MA. 02554  
(310) 945-7054



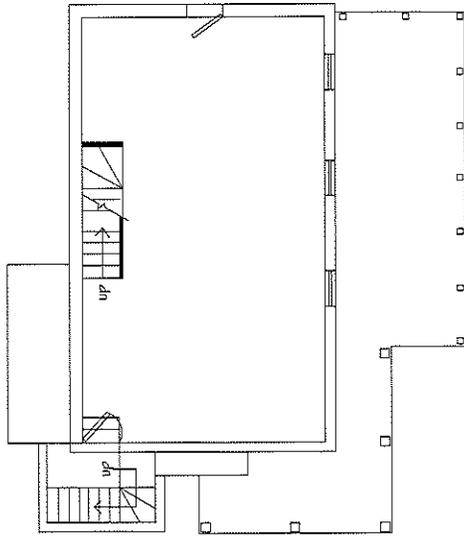
**SITE PLAN**

**DRAWING INFO**

DATE: DECEMBER 12, 2019 REV.  
SCALE: 1/8" = 1' - 0"

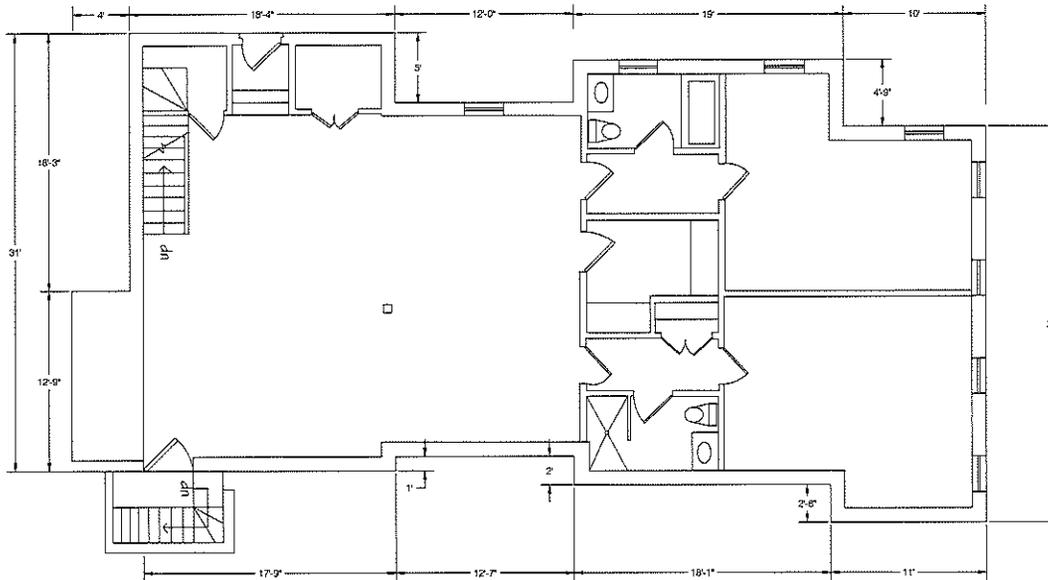
**REVISIONS**

DATE: AUGUST 23, 2019  
DATE: NOVEMBER 11, 2019  
DATE: NOVEMBER 26, 2019  
DATE: NOVEMBER 26, 2019



EXISTING BASEMENT PLAN

SCALE: 1/4" = 1'-0"



PROPOSED BASEMENT PLAN

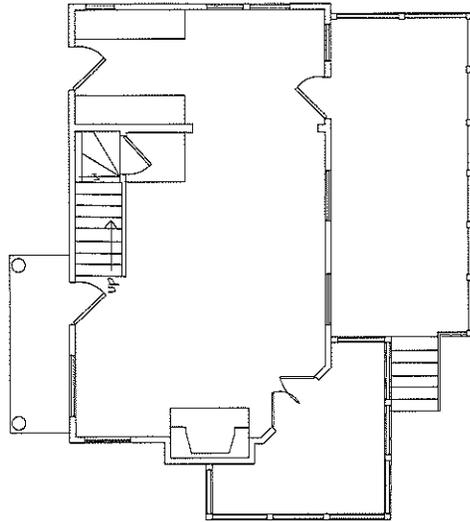
SCALE: 1/4" = 1'-0"



REVISIONS	
NO.	DESCRIPTION
1	INITIAL ISSUE
2	REVISED

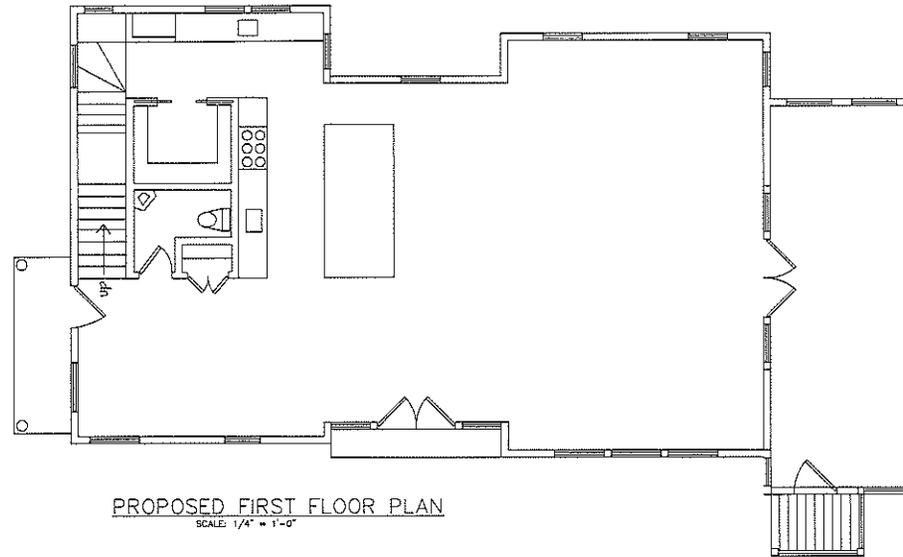
JOB LOCATION:  
**2 STONE ALLEY  
 NANTUCKET, MA**  
 BASEMENT PLANS

SHEET  
**A1**  
 FILE#: JDS19056  
 DATE: 12/12/19  
 PROJ: [REDACTED]  
 C.M. N/A



EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



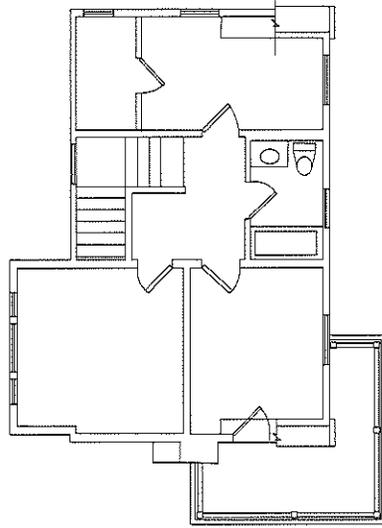
PROPOSED FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

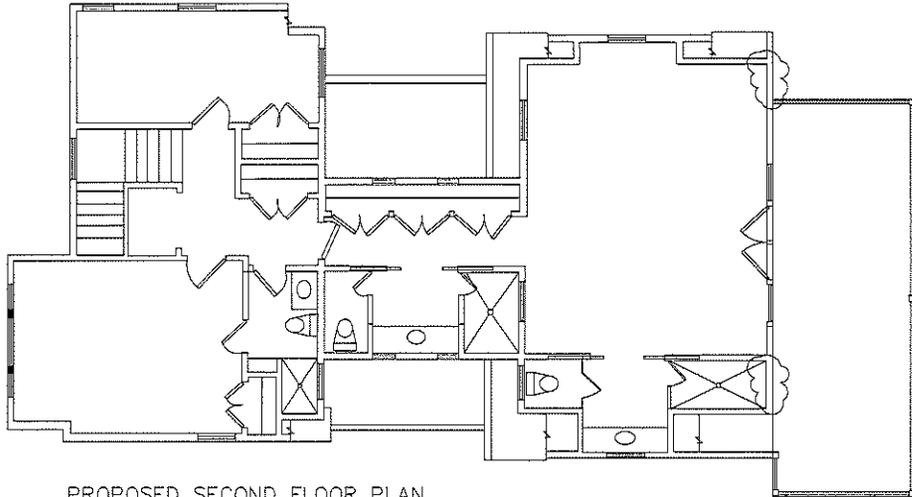
REVISIONS		
NO.	DESCRIPTION	DATE
INITIAL	ISSUED	11/19/19
RESERVE	ISS	12/12/19

JOB LOCATION:  
 2 STONE ALLEY  
 NANTUCKET, MA  
 FIRST FLOOR PLANS

SHEET  
**A2**  
 FILE# JDS19056  
 DATE: 12/12/19  
 PROJ. [REDACTED]  
 C.M. N/A



EXISTING SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



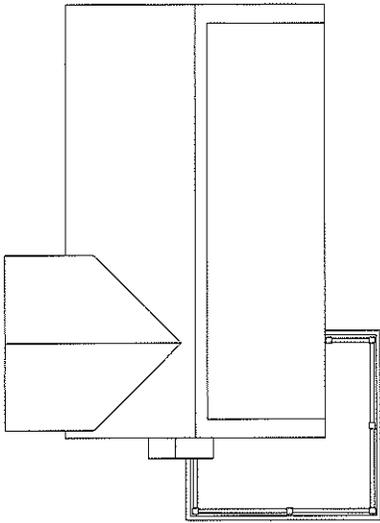
REVISIONS	
NO.	DESCRIPTION
1	INITIAL ISSUE
2	DATE
3	BY
4	DATE
5	BY
6	DATE
7	BY
8	DATE
9	BY
10	DATE

JOB LOCATION:  
2 STONE ALLEY  
NANTUCKET, MA

SECOND FLOOR PLANS

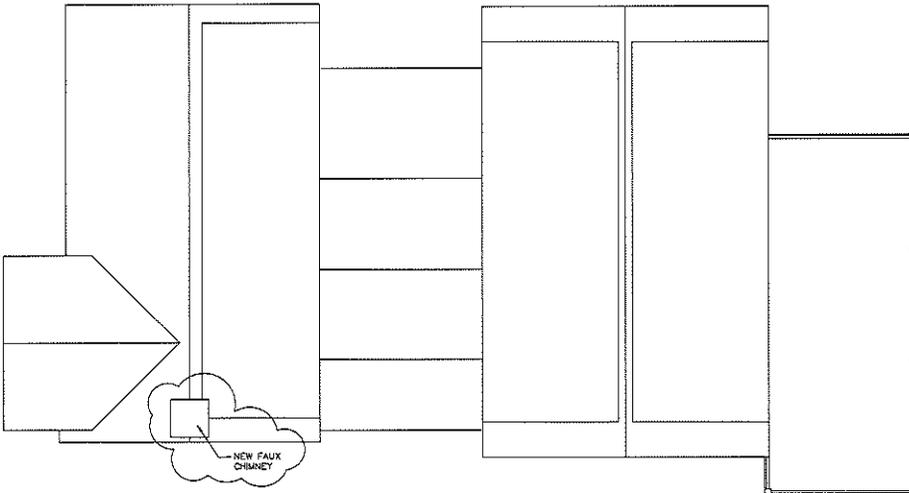
SHEET  
**A3**

FILE#: JDS19056  
DATE: 12/12/19  
PROJ: [REDACTED]  
C.M. N/A



EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"



PROPOSED ROOF PLAN

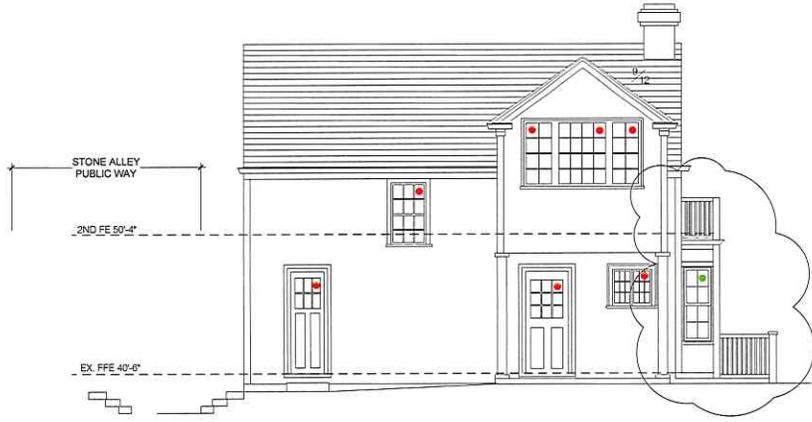
SCALE: 1/4" = 1'-0"



REVISIONS	
NO.	DATE
1	11/19/19
2	12/12/19

JOB LOCATION:  
 2 STONE ALLEY  
 NANTUCKET, MA  
 ROOF PLANS

SHEET  
**A4**  
 FILE#: JDS19056  
 DATE: 12/12/19  
 PROJ: [REDACTED]  
 C.M. N/A



PROPOSED WEST ELEVATION  
SCALE: 1/4" = 1'-0"



EXISTING EAST ELEVATION  
SCALE: 1/4" = 1'-0"

- Window Left in Place
- Revised Window
- New Window



PROPOSED EAST ELEVATION  
SCALE: 1/4" = 1'-0"

NO	REVISIONS	DATE
1	ISSUED FOR PERMITS	11/09/19
2	REVISED	05/12/12/19

JOB LOCATION:  
2 STONE ALLEY  
NANTUCKET, MA  
EAST & WEST ELEVATIONS

SHEET  
**A5**  
FILE#: JDS19056  
DATE: 12/12/19 (REV)  
PROJ. [REDACTED]  
C.M. N/A



EXISTING SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



PROPOSED SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"

- Window Let in Place
- Reused Window
- New Window

NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE LOGS	JDS	11/19/19
2	REVISED	JDS	12/12/19

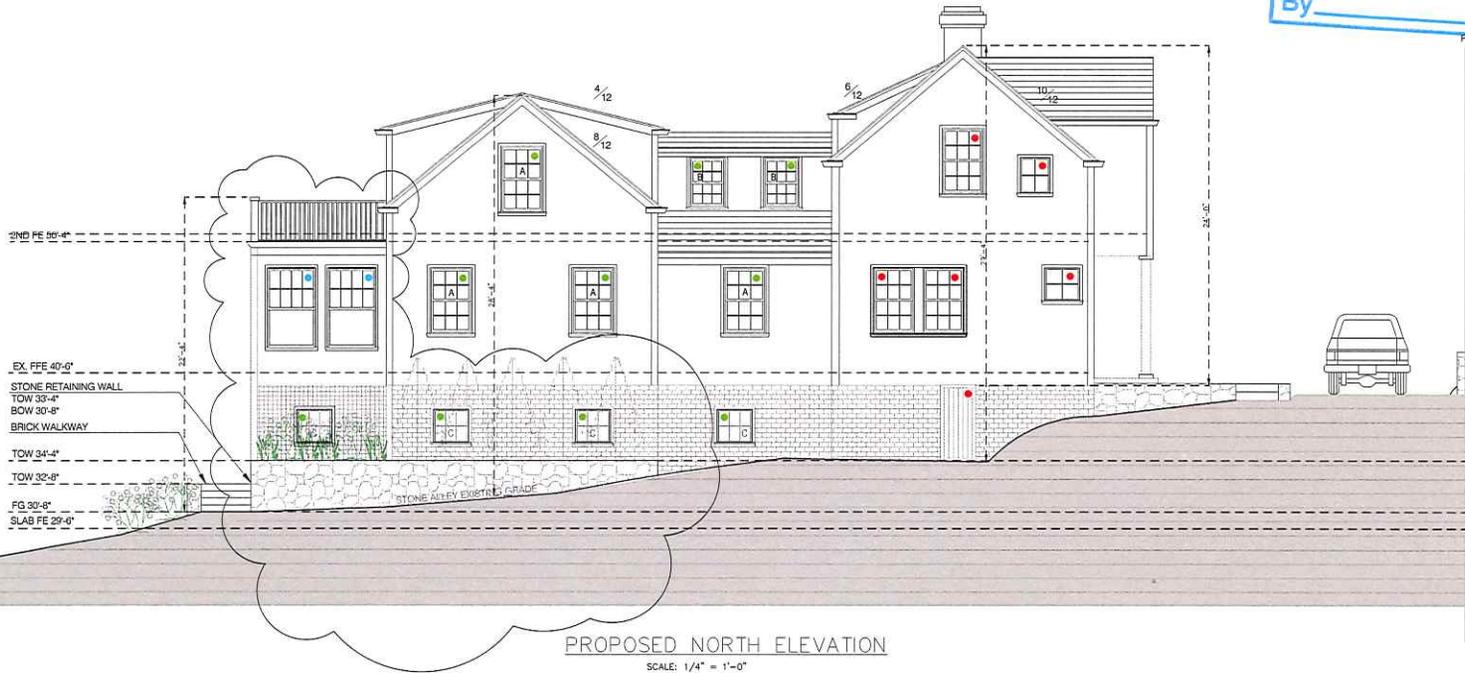
2 STONE ALLEY  
NANTUCKET, MA  
SOUTH ELEVATIONS

SHEET  
**A6**  
FILE#: JDS19056  
DATE: 12/12/19  
PROJ: [REDACTED]  
C.M. N/A



EXISTING NORTH ELEVATION

SCALE: 1/4" = 1'-0"



PROPOSED NORTH ELEVATION

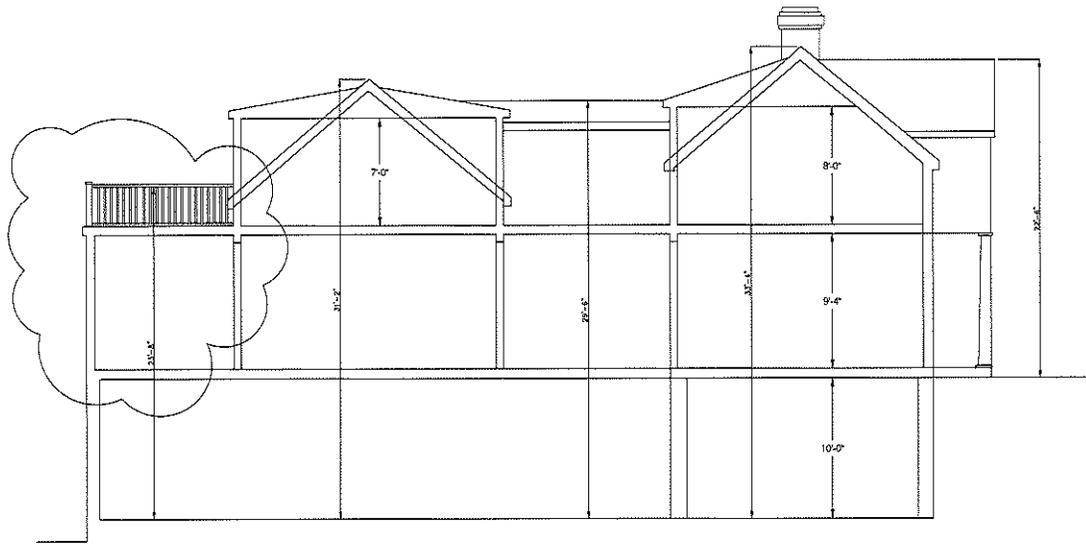
SCALE: 1/4" = 1'-0"

- EX. FFE 40'-6"
- STONE RETAINING WALL
- TOW 38'-8"
- BOW 30'-8"
- BRICK WALKWAY
- TOW 34'-4"
- TOW 32'-8"
- FG 30'-6"
- SLAB FE 29'-0"

NO.	REVISIONS	DATE
1	ISSUED FOR PERMITS	11/19/19
2	REVISIONS	12/12/19

JOB LOCATION:  
 2 STONE ALLEY  
 NANTUCKET, MA  
 NORTH ELEVATIONS

SHEET  
**A7**  
 FILE#: JDS19056  
 DATE: 12/12/19 (REV)  
 PROJ. [REDACTED]  
 C.M. N/A



**EAST-WEST BUILDING SECTION**  
SCALE: 1/4" = 1'-0"

REVISIONS	
NO.	DESCRIPTION
1	INITIAL ISSUE
2	ISSUE
3	ISSUE
4	ISSUE
5	ISSUE
6	ISSUE
7	ISSUE
8	ISSUE
9	ISSUE
10	ISSUE

JOB LOCATION:  
**2 STONE ALLEY**  
**NANTUCKET, MA**  
 BUILDING SECTION

SHEET  
**S1**  
 FILE#: JDS19056  
 DATE: 12/12/19  
 PROJ. MGR. JDS  
 C.M. N/A

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 55.4.1 PARCEL N°: 22.2  
Street & Number of Proposed Work: 4 Angola Street  
Owner of record: Michael Reitermann ETAL  
Mailing Address: 4 Angola Street  
NANTUCKET, MA 02554  
Contact Phone #: 508-228-0689 E-mail: StructuresUNLTD@gmail.com

**AGENT INFORMATION (if applicable)**

Name: Nantucket Structures UNLTD, INC.  
Mailing Address: 20 Gregson Avenue  
NANTUCKET, MA 02554  
Contact Phone #: 508-228-0689 E-mail: StructuresUNLTD@gmail.com

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_  
Size of Structure or Addition: Length: 13'6" Sq. Footage 1st floor: 1895F Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 14' Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_  
Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0  
Height of ridge above final finish grade: North 13'6" South 13'6" East 13'6" West 13'6"

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass 1/12 Secondary Mass 1/12 Dormer 1/12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles NATURAL  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia 1"X5" Rake 1"X5" Soffit (Overhang) 1"X5" Corner boards 1"X6" Frieze 1"X5"  
Window Casing 1"X4" Door Frame 1"X4" Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other 4 Light Fixed (2/2)  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front Tongue & Groove Rear \_\_\_\_\_ Side 9 Light/2 Panel - Wood  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall to weather Clapboard (if applicable) \_\_\_\_\_ Roof Dual Black  
Trim white Sash white Doors white  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

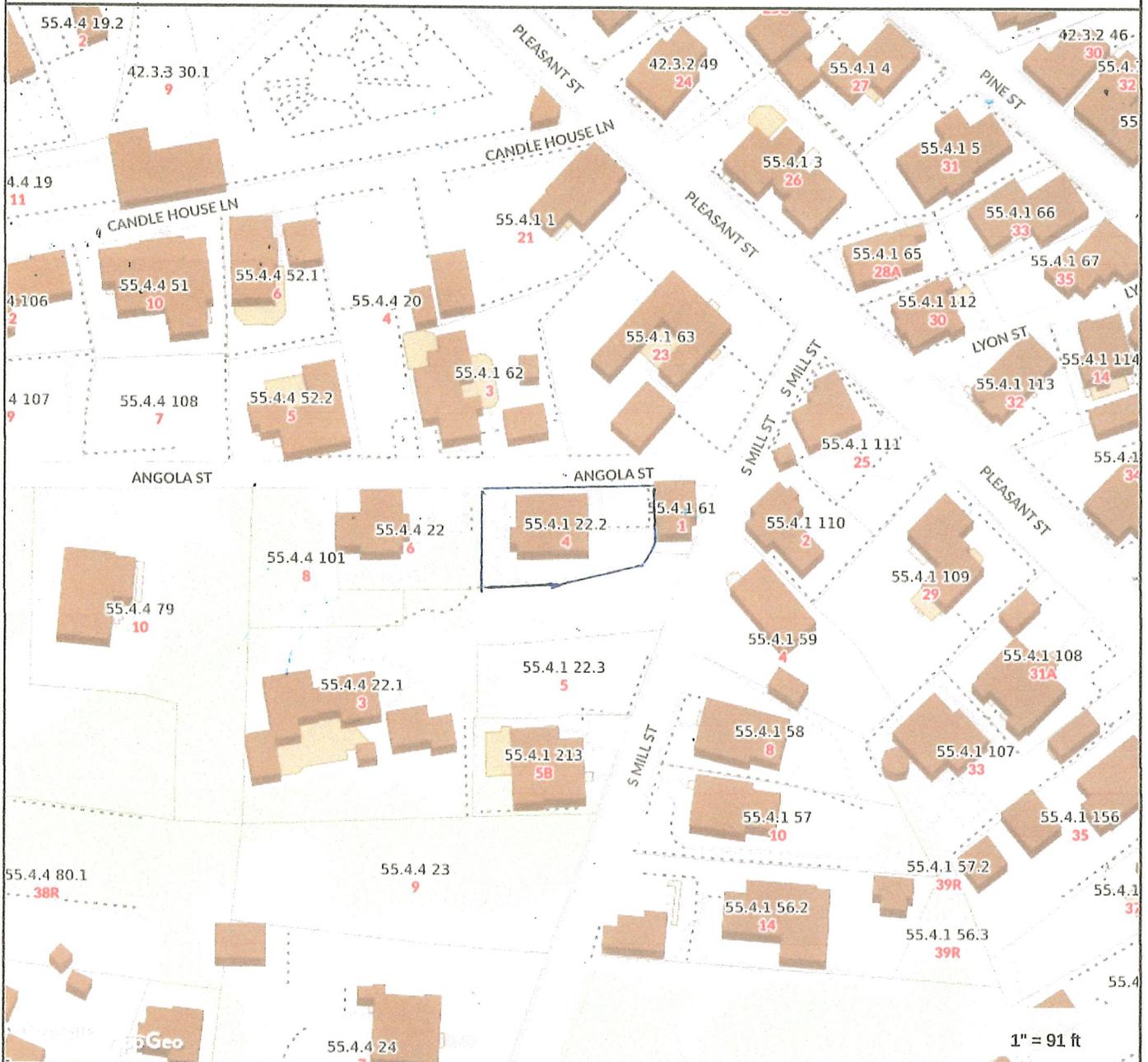
Date 12/12/19

Signature of owner of record Nancy L. Drabral, agent

Signed under penalties of perjury



# 4 ANGOLA STREET



S



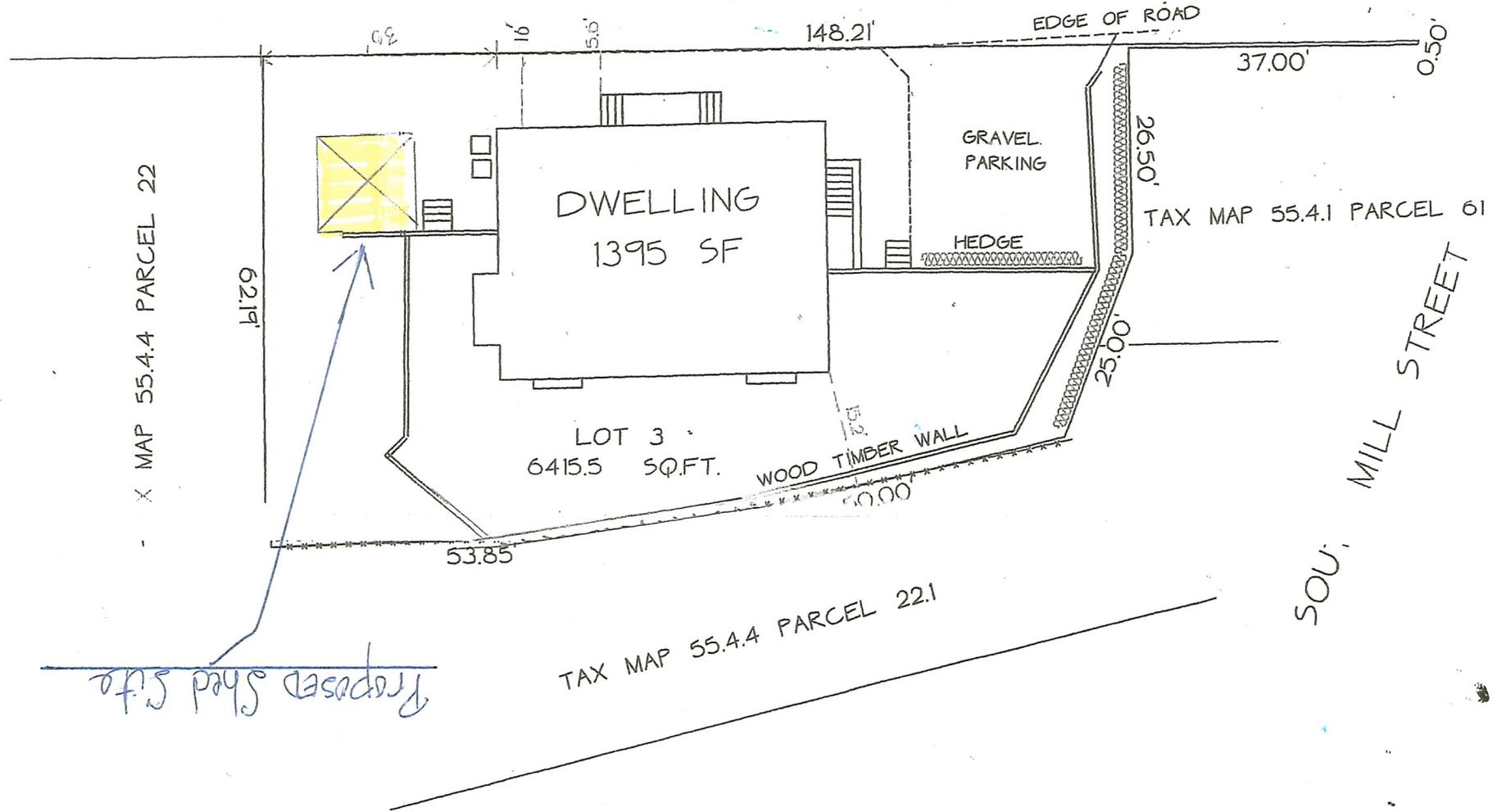
**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018  
Data updated 11/19/2018

ANGOLA STREET

RECEIVED  
JAN 08 2020  
BY



*Proposed Shed Site*

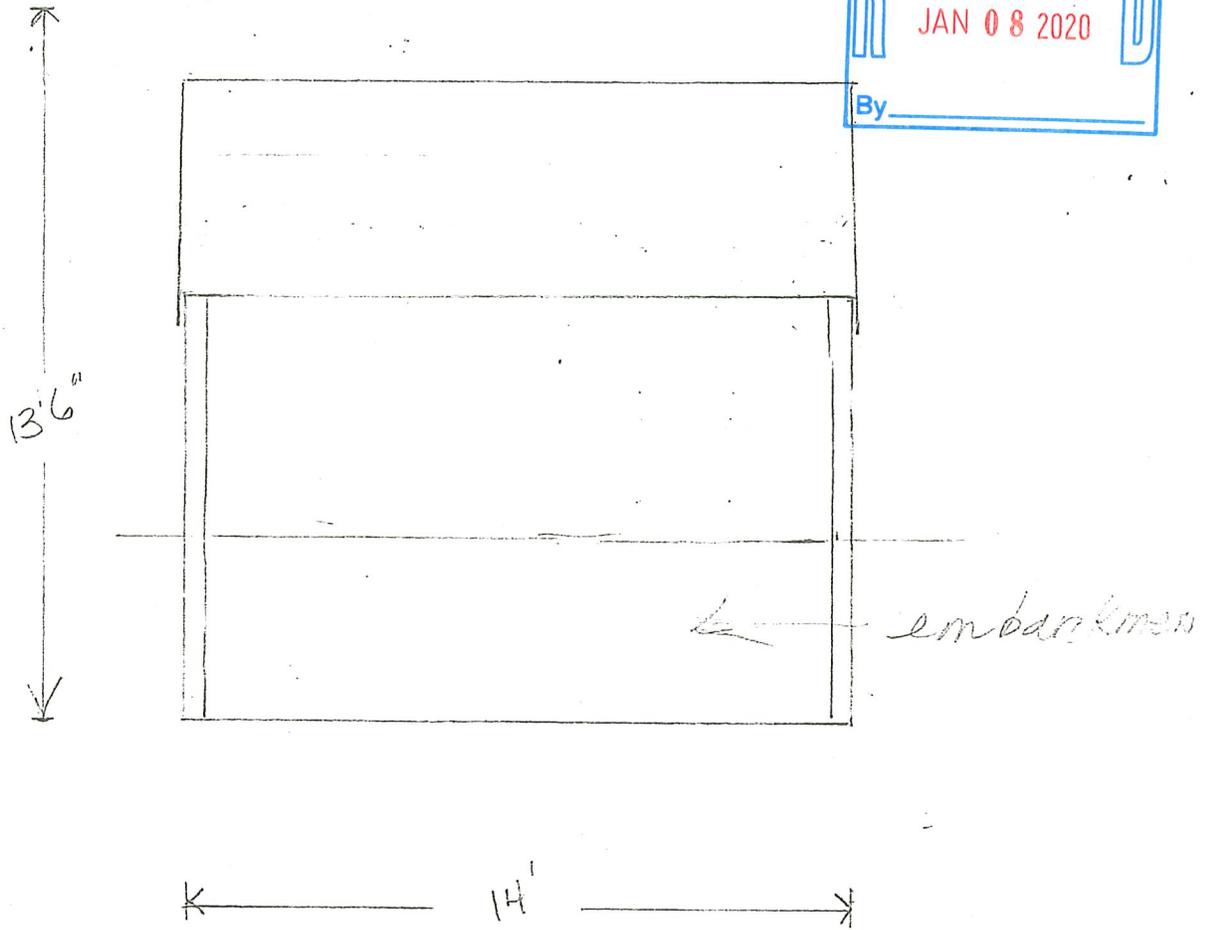
SOUTH MILL STREET



NORTH ELEVATION

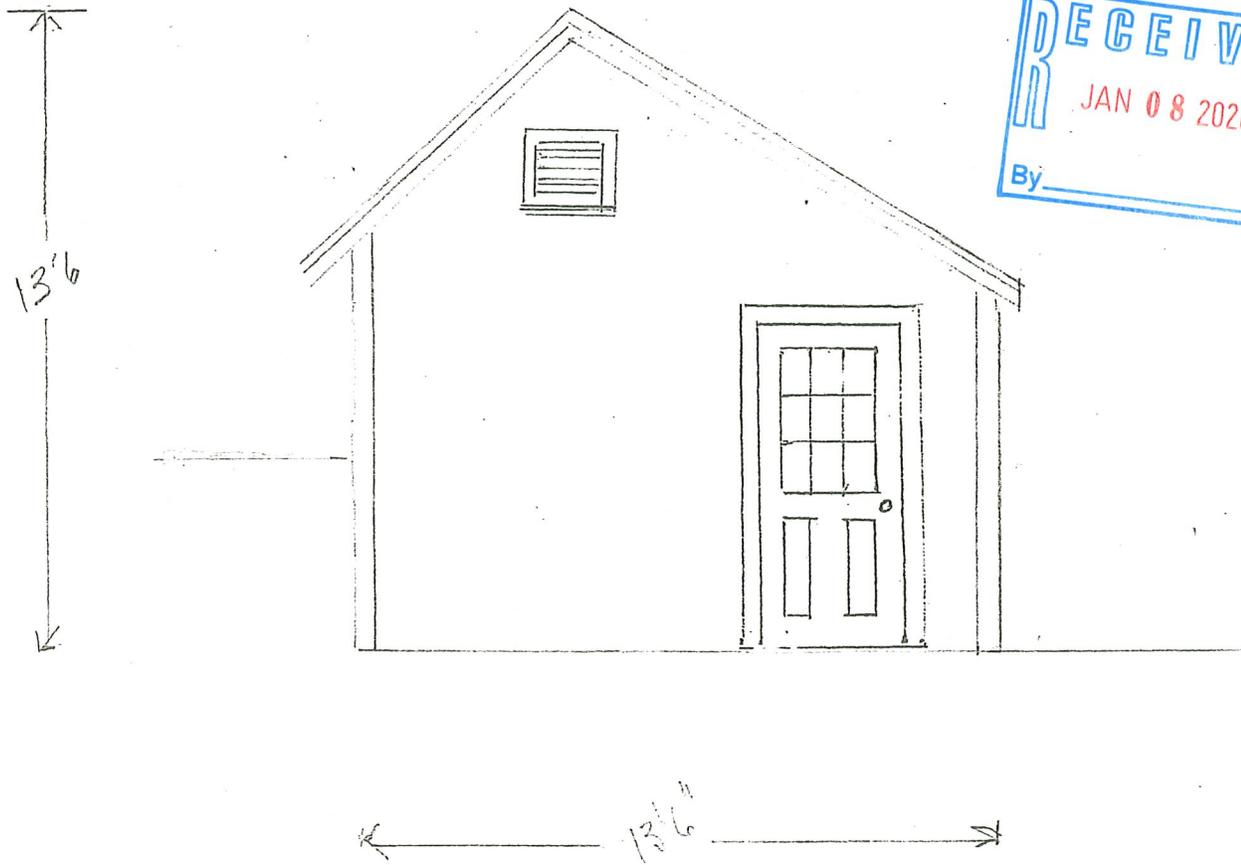
4 Panels E

Scale 1/4" = 1'-0"



South Elevation  
Scale 1/4" = 1'-0"

4 Angola St

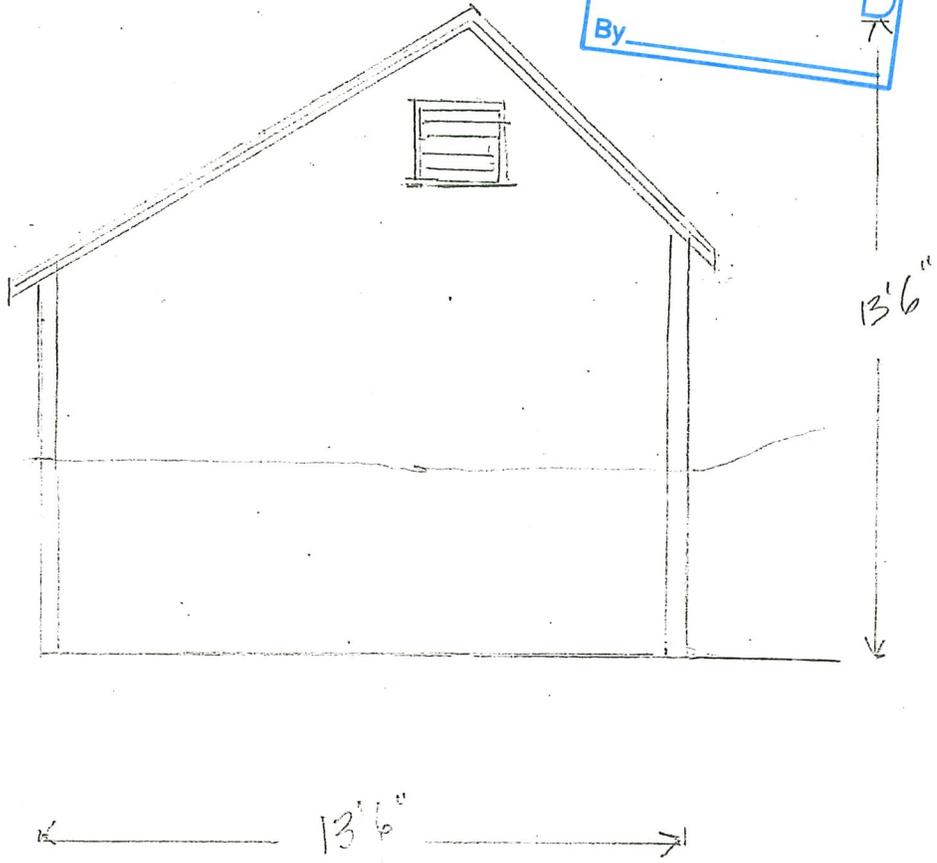


EAST ELEVATION

4 Augusta St

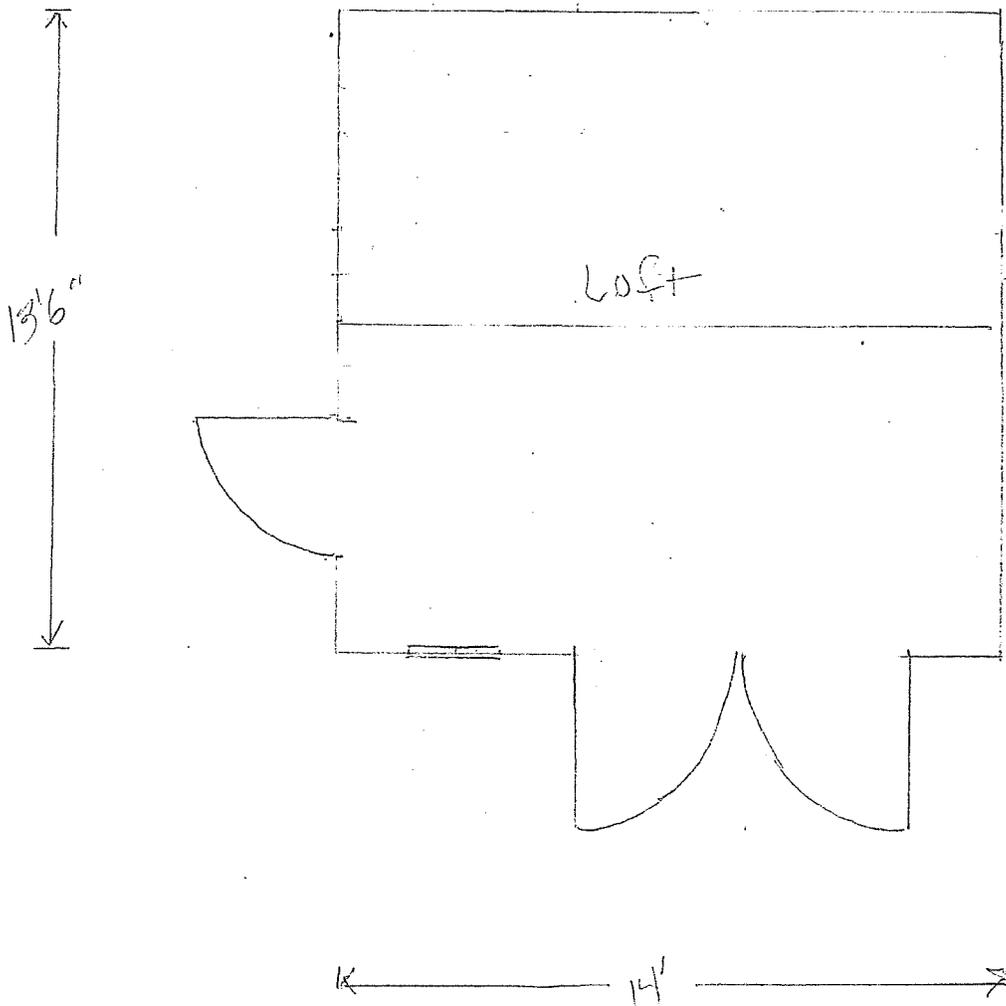
Scale 1/4" = 1'-0"

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By



WEST Elevation

Scale  $1/4'' = 1'-0''$



Floor Plan

4 Arches St.

Scale  $\frac{1}{4}" = 1'-0"$