

1. Viewpack

Documents:

2 N BEACH ST- GAS VENT.PDF
3 COON ST ROOF .PDF
4 HOWARD CT - REV 11-0163-WINDOWS-CHIMNEY.PDF
6 NEW LANE - WINDOW CHANGES.PDF
7-9 HUSSEY ST-PERGOLA-OUTDR SHOWER.PDF
13 WARREN ST- REV 11-0234- CLR CHG.PDF
13 WARREN ST- SHED.PDF
15 WARREN ST- REV 73358-SHUTTERS-CHIMNEY.PDF
23 PINE ST- REV 11-0244-FENESTRATION.PDF
57 ORANGE ST- HARDSCAPE.PDF
80C WASHINGTON ST-LK WINDOWS.PDF

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 42.4.1 PARCEL N^o: 604
 Street & Number of Proposed Work: 2N Beach St
 Owner of record: Brigitte Petrocelli
 Mailing Address: 560 Harland St
Milton MA 02186
 Contact Phone #: (617)803-5249 E-mail: brigitte.petrocelli@gmail.com

AGENT INFORMATION (if applicable)

Name: Steven Boucher
 Mailing Address: 5 Hiram St
Acushnet MA 02743
 Contact Phone #: 774-263-5644 E-mail: gcbys@steve@gmail.com

FOR OFFICE USE ONLY	
Date application received: <u>11/17/20</u>	Fee Paid: \$ <u>50</u>
Must be acted on by: <u>3/29/20</u>	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 - Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 - Pool (Zoning District _____) Roof Other gas vent 2'x8"
- Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
 Original Date: _____ (describe) 2. South Elevation
 Original Builder: _____ 3. West Elevation - gas vent 2'x8"
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation
 *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size): _____
 Siding: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
 Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
 Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
 Hardscape materials: Driveways _____ Walkways _____ Walls _____

Fence: Height: _____
Type: _____
Length: _____

Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence _____ Shutters _____

Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of my revisions to this application will initiate a new sixty-day review period.
 Date 1/19/20 Signature of owner of record [Signature] Signed under penalty of perjury _____



EAST

South



↩ Reply ▾ 🗑 Delete 🚫 Junk 🚫 Block ...

Fwd: Gas fireplace

SB

Steven Boucher <qcbysteve@gmail.com>

Fri 1/17/2020 9:46 AM

The UPS Store #5207 ✓



Get [Outlook for iOS](#)

From: Chris Young <chris@housefitters.com>

Sent: Thursday, January 16, 2020 5:10 PM

To: Brigitte Petrocelli; Steven R Boucher

Subject: RE: Gas fireplace

Brigitte -

I'm glad Kathy will take it up for you. Here is the info you asked for:

Material - Galvanized Steel

Color - Grey Steel (natural, not painted)

Height - Approx. 24" above the roof (to top of cap)

Wind Cover -



Exact Location - directly above center of fireplace, although we can offset it a few feet, if that is critical. We would just need the room above the unit to shift the pipes using 45 degree elbows.

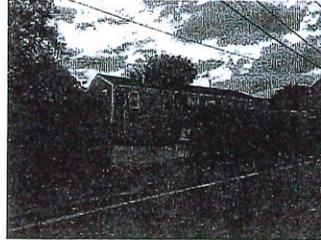
Let me know if you need anything else.

Good luck!

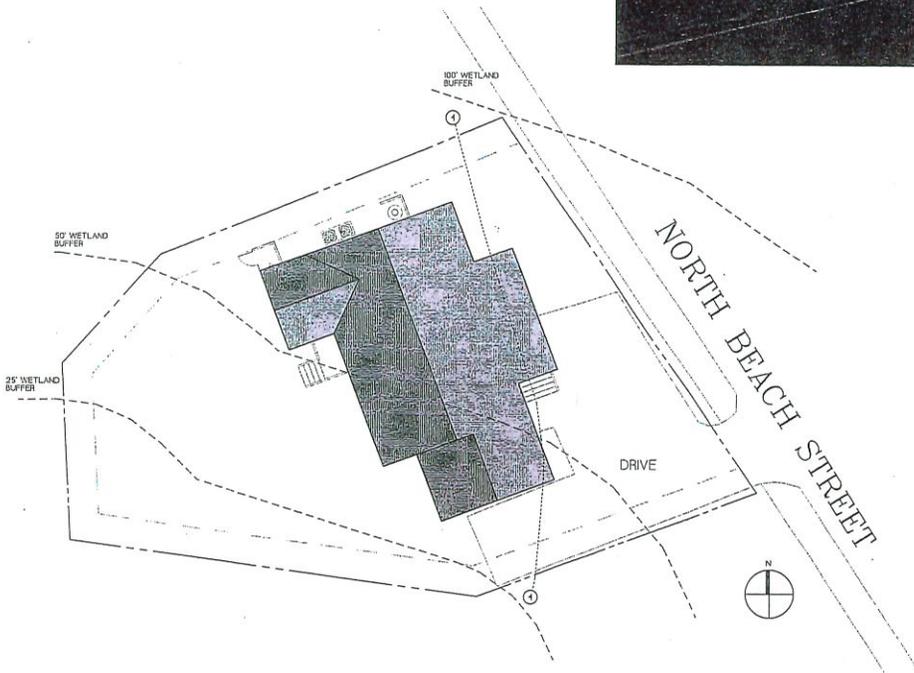
Chris

-----Original Message-----

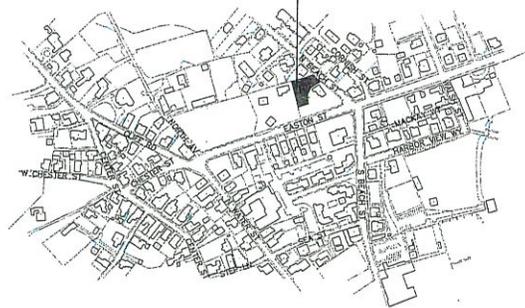
From: Brigitte Petrocelli <brigittepetrocelli@gmail.com>



DOOR & WINDOW SCHEDULE				
SYM	MANUFACTURER	WINDOW SIZE	QTY.	REMARKS
A	BOSTON SASH	2'-8" X 5'-0"	4	4/4 CH. FT. (R)
B	BOSTON SASH	2'-0" X 4'-0"	1	4/4 CH. FT. (R)
I	EXISTING		1	1/2 LT. 1 PNL. FRENCH DOOR



ZONING CLASSIFICATION: L.C.	MAP: 42.4.I	PARCEL: 64
MIN. AREA:	5,000 sqft.	
MIN. FRONTAGE:	40 ft.	
FRONT YARD S.B.:	0 ft.	
SIDE S.B.:	5 ft.	
REAR S.B.:	5 ft.	
GROUND COVER (%):	50%	



NOTE:
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CAREFULLY REVIEW ALL WORKING DRAWINGS AND DETAILS FOR ACCURACY AND CONSISTENCY. THE DESIGNER & ENGINEER OF RECORD CANNOT BE HELD RESPONSIBLE FOR WORK INITIATED INCORRECTLY DUE TO MISUNDERSTANDING OR MISINTERPRETATION. IF THERE ARE ANY QUESTIONS AFTER THE STRUCTURAL DRAWINGS HAVE BEEN REVIEWED, PLEASE CALL THE ENGINEER OF RECORD BEFORE INITIATING ANY WORK.

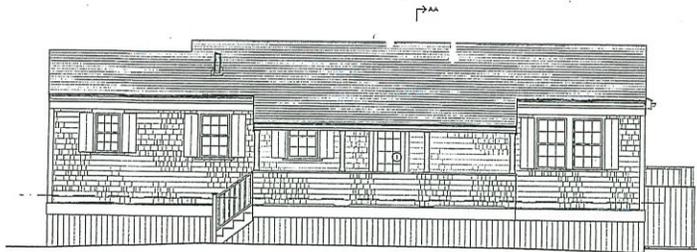
NOTE:
ALL SITE WORK SHOULD BE VERIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO AND DURING CONSTRUCTION FOR PROPER LOCATION OF PROPERTY & SETBACK LINES.

NOTE:
ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATING FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN CHARGE.

NOTE:
ALL INTERIOR DIMENSIONS ARE ± 1/2" TO THE INTERIOR FINISHED CONDITIONS.

REVISIONS:
9/03/2018: AS-BUILT MEASURING
9/03/2018: AS-BUILT PLANS
9/24/2018: HDC PRINT
11/04/2018: PROGRESS PRINT
11/25/2018: HDC REVISION
12/26/2018: SECTIONS
7/27/2019: PROGRESS PRINT
8/12/2019: BUILDING DEPARTMENT SET

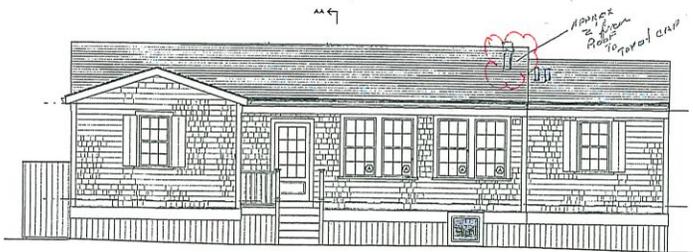
COPYRIGHT NOTICE Petrocelli Residence 100 North Beach Street Boston, MA 02116 781-552-1111 www.petrocelli.com	PROJECT: PETROCELLI RESIDENCE		SHEET NO. 5	
	DATE: 7/27/2019	SCALE: 1/8" = 1'-0"	S 1	



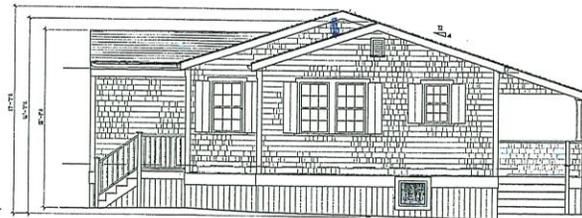
EAST ELEVATION
SCALE 1/4"=1'-0"



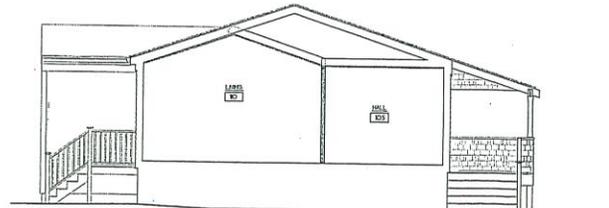
NORTH ELEVATION
SCALE 1/4"=1'-0"



WEST ELEVATION
SCALE 1/4"=1'-0"



SOUTH ELEVATION
SCALE 1/4"=1'-0"



BUILDING SECTION AA
SCALE 1/4"=1'-0"



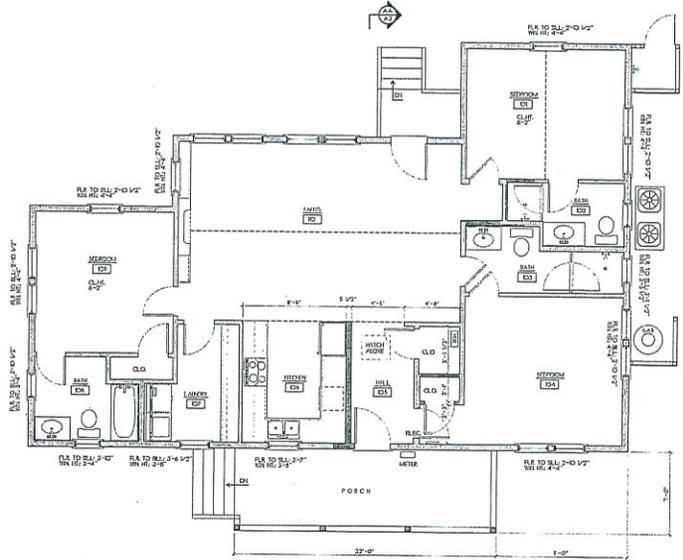
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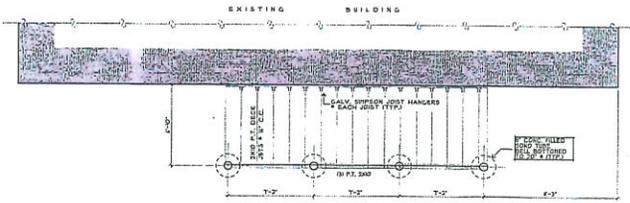
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8/23/2018 HDC REVISION
12/28/2018 SECTIONS
7/27/2019 PROGRESS PRINT
7/30/2019 HDC REVISION
8/12/2019 BUILDING DEPARTMENT SET

COPYRIGHT NOTICE All rights reserved. No part of this drawing may be reproduced without the written permission of the author. All other rights reserved. © 2018 Petrocelli Engineering, Inc.	PETROCELLI RESIDENCE OWNER: THE PETROCELLI FAMILY ARCHITECT: JAMES J. PETROCELLI, AIA PROJECT NO. 18-001 MODE: 3D/2D/3D/4D/5D/6D/7D/8D/9D/10D/11D/12D/13D/14D/15D/16D/17D/18D/19D/20D/21D/22D/23D/24D/25D/26D/27D/28D/29D/30D/31D/32D/33D/34D/35D/36D/37D/38D/39D/40D/41D/42D/43D/44D/45D/46D/47D/48D/49D/50D/51D/52D/53D/54D/55D/56D/57D/58D/59D/60D/61D/62D/63D/64D/65D/66D/67D/68D/69D/70D/71D/72D/73D/74D/75D/76D/77D/78D/79D/80D/81D/82D/83D/84D/85D/86D/87D/88D/89D/90D/91D/92D/93D/94D/95D/96D/97D/98D/99D/100D/101D/102D/103D/104D/105D/106D/107D/108D/109D/110D/111D/112D/113D/114D/115D/116D/117D/118D/119D/120D/121D/122D/123D/124D/125D/126D/127D/128D/129D/130D/131D/132D/133D/134D/135D/136D/137D/138D/139D/140D/141D/142D/143D/144D/145D/146D/147D/148D/149D/150D/151D/152D/153D/154D/155D/156D/157D/158D/159D/160D/161D/162D/163D/164D/165D/166D/167D/168D/169D/170D/171D/172D/173D/174D/175D/176D/177D/178D/179D/180D/181D/182D/183D/184D/185D/186D/187D/188D/189D/190D/191D/192D/193D/194D/195D/196D/197D/198D/199D/200D/201D/202D/203D/204D/205D/206D/207D/208D/209D/210D/211D/212D/213D/214D/215D/216D/217D/218D/219D/220D/221D/222D/223D/224D/225D/226D/227D/228D/229D/230D/231D/232D/233D/234D/235D/236D/237D/238D/239D/240D/241D/242D/243D/244D/245D/246D/247D/248D/249D/250D/251D/252D/253D/254D/255D/256D/257D/258D/259D/260D/261D/262D/263D/264D/265D/266D/267D/268D/269D/270D/271D/272D/273D/274D/275D/276D/277D/278D/279D/280D/281D/282D/283D/284D/285D/286D/287D/288D/289D/290D/291D/292D/293D/294D/295D/296D/297D/298D/299D/300D/301D/302D/303D/304D/305D/306D/307D/308D/309D/310D/311D/312D/313D/314D/315D/316D/317D/318D/319D/320D/321D/322D/323D/324D/325D/326D/327D/328D/329D/330D/331D/332D/333D/334D/335D/336D/337D/338D/339D/340D/341D/342D/343D/344D/345D/346D/347D/348D/349D/350D/351D/352D/353D/354D/355D/356D/357D/358D/359D/360D/361D/362D/363D/364D/365D/366D/367D/368D/369D/370D/371D/372D/373D/374D/375D/376D/377D/378D/379D/380D/381D/382D/383D/384D/385D/386D/387D/388D/389D/390D/391D/392D/393D/394D/395D/396D/397D/398D/399D/400D/401D/402D/403D/404D/405D/406D/407D/408D/409D/410D/411D/412D/413D/414D/415D/416D/417D/418D/419D/420D/421D/422D/423D/424D/425D/426D/427D/428D/429D/430D/431D/432D/433D/434D/435D/436D/437D/438D/439D/440D/441D/442D/443D/444D/445D/446D/447D/448D/449D/450D/451D/452D/453D/454D/455D/456D/457D/458D/459D/460D/461D/462D/463D/464D/465D/466D/467D/468D/469D/470D/471D/472D/473D/474D/475D/476D/477D/478D/479D/480D/481D/482D/483D/484D/485D/486D/487D/488D/489D/490D/491D/492D/493D/494D/495D/496D/497D/498D/499D/500D/501D/502D/503D/504D/505D/506D/507D/508D/509D/510D/511D/512D/513D/514D/515D/516D/517D/518D/519D/520D/521D/522D/523D/524D/525D/526D/527D/528D/529D/530D/531D/532D/533D/534D/535D/536D/537D/538D/539D/540D/541D/542D/543D/544D/545D/546D/547D/548D/549D/550D/551D/552D/553D/554D/555D/556D/557D/558D/559D/560D/561D/562D/563D/564D/565D/566D/567D/568D/569D/570D/571D/572D/573D/574D/575D/576D/577D/578D/579D/580D/581D/582D/583D/584D/585D/586D/587D/588D/589D/590D/591D/592D/593D/594D/595D/596D/597D/598D/599D/600D/601D/602D/603D/604D/605D/606D/607D/608D/609D/610D/611D/612D/613D/614D/615D/616D/617D/618D/619D/620D/621D/622D/623D/624D/625D/626D/627D/628D/629D/630D/631D/632D/633D/634D/635D/636D/637D/638D/639D/640D/641D/642D/643D/644D/645D/646D/647D/648D/649D/650D/651D/652D/653D/654D/655D/656D/657D/658D/659D/660D/661D/662D/663D/664D/665D/666D/667D/668D/669D/670D/671D/672D/673D/674D/675D/676D/677D/678D/679D/680D/681D/682D/683D/684D/685D/686D/687D/688D/689D/690D/691D/692D/693D/694D/695D/696D/697D/698D/699D/700D/701D/702D/703D/704D/705D/706D/707D/708D/709D/710D/711D/712D/713D/714D/715D/716D/717D/718D/719D/720D/721D/722D/723D/724D/725D/726D/727D/728D/729D/730D/731D/732D/733D/734D/735D/736D/737D/738D/739D/740D/741D/742D/743D/744D/745D/746D/747D/748D/749D/750D/751D/752D/753D/754D/755D/756D/757D/758D/759D/760D/761D/762D/763D/764D/765D/766D/767D/768D/769D/770D/771D/772D/773D/774D/775D/776D/777D/778D/779D/780D/781D/782D/783D/784D/785D/786D/787D/788D/789D/790D/791D/792D/793D/794D/795D/796D/797D/798D/799D/800D/801D/802D/803D/804D/805D/806D/807D/808D/809D/810D/811D/812D/813D/814D/815D/816D/817D/818D/819D/820D/821D/822D/823D/824D/825D/826D/827D/828D/829D/830D/831D/832D/833D/834D/835D/836D/837D/838D/839D/840D/841D/842D/843D/844D/845D/846D/847D/848D/849D/850D/851D/852D/853D/854D/855D/856D/857D/858D/859D/860D/861D/862D/863D/864D/865D/866D/867D/868D/869D/870D/871D/872D/873D/874D/875D/876D/877D/878D/879D/880D/881D/882D/883D/884D/885D/886D/887D/888D/889D/890D/891D/892D/893D/894D/895D/896D/897D/898D/899D/900D/901D/902D/903D/904D/905D/906D/907D/908D/909D/910D/911D/912D/913D/914D/915D/916D/917D/918D/919D/920D/921D/922D/923D/924D/925D/926D/927D/928D/929D/930D/931D/932D/933D/934D/935D/936D/937D/938D/939D/940D/941D/942D/943D/944D/945D/946D/947D/948D/949D/950D/951D/952D/953D/954D/955D/956D/957D/958D/959D/960D/961D/962D/963D/964D/965D/966D/967D/968D/969D/970D/971D/972D/973D/974D/975D/976D/977D/978D/979D/980D/981D/982D/983D/984D/985D/986D/987D/988D/989D/990D/991D/992D/993D/994D/995D/996D/997D/998D/999D/1000D/1001D/1002D/1003D/1004D/1005D/1006D/1007D/1008D/1009D/1010D/1011D/1012D/1013D/1014D/1015D/1016D/1017D/1018D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1st FLOOR PLAN
SCALE 1/4"=1'-0"

KEY:
NEW WALLS
EXISTING WALLS

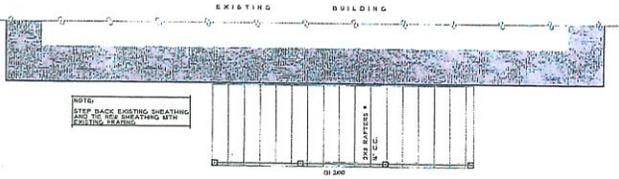


DECK FRAMING PLAN
SCALE 1/4"=1'-0"

NOTE:
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CAREFULLY REVIEW ALL BORING DRAWINGS AND DETAILS FOR ACCURACY AND CONSISTENCY. THE DESIGNER / ENGINEER OF RECORD CANNOT BE HELD RESPONSIBLE FOR WORK INITIATED INCORRECTLY DUE TO MISUNDERSTANDING OR MISINTERPRETATION. IF THERE ARE ANY QUESTIONS AFTER THE STRUCTURAL DRAWINGS HAVE BEEN REVIEWED, PLEASE CALL THE ENGINEER OF RECORD BEFORE INITIATING ANY WORK.

NOTE:
ALL SITE WORK SHOULD BE VERIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO AND DURING CONSTRUCTION FOR PROPER LOCATION OF PROPERTY / SETBACK LINES.

NOTE:
ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN CHARGE.



DECK ROOF FRAMING PLAN
SCALE 1/4"=1'-0"

NOTE:
ALL INTERIOR DIMENSIONS ARE 1/2" TO THE INTERIOR FINISHED CONDITIONS.

- REVISIONS:
- 9/05/2018 AS-BUILT MEASURING
 - 9/18/2018 AS-BUILT PLANS
 - 9/24/2018 HDC PRINT
 - 10/08/2018 PROGRESS PRINT
 - 11/25/2018 HDC REVISION
 - 12/16/2018 SECTIONS
 - 7/07/2019 PROGRESS PRINT
 - 6/12/2019 BUILDING DEPARTMENT SET

COPYRIGHT NOTICE <small>THIS DRAWING IS THE PROPERTY OF THE ENGINEER OF RECORD AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER OF RECORD.</small>	PETROCELLI RESIDENCE <small>FOR EX. USE ONLY PROJECT NO. 18-0000000000 DATE 08-20-2018 AND 08-20-2019</small>		FLOOR PLANS <small>ADDRESS: 1400 W. 10TH ST. PROJECT NO. 18-0000000000</small>		SHEET NO. a1
	DATE: 7/27/2019 SCALE: 1/4" = 1'-0"	DATE: 7/27/2019 SCALE: 1/4" = 1'-0"	DATE: 7/27/2019 SCALE: 1/4" = 1'-0"	DATE: 7/27/2019 SCALE: 1/4" = 1'-0"	DATE: 7/27/2019 SCALE: 1/4" = 1'-0"

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 55.14 PARCEL N°: 84
Street & Number of Proposed Work: 3 COGN ST
Owner of record: TONY AND LINDA PAROTTO
Mailing Address: 74 PASTURE LANE APT. 331
BRYN MAWR, PA 19010
Contact Phone #: 610-202-726 E-mail: LPAROTTO@YAHOO.COM

AGENT INFORMATION (if applicable)

Name: GEORGE WINK
Mailing Address: 127 CENTER ST
YARMOUTHPORT, MA 02675
Contact Phone #: 774-238-6035 E-mail: PLAHEADR36@HOTMAIL.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
- 1. East Elevation
 - 2. South Elevation
 - 3. West Elevation
 - 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 8/12 Secondary Mass 8/12 Dormer 12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

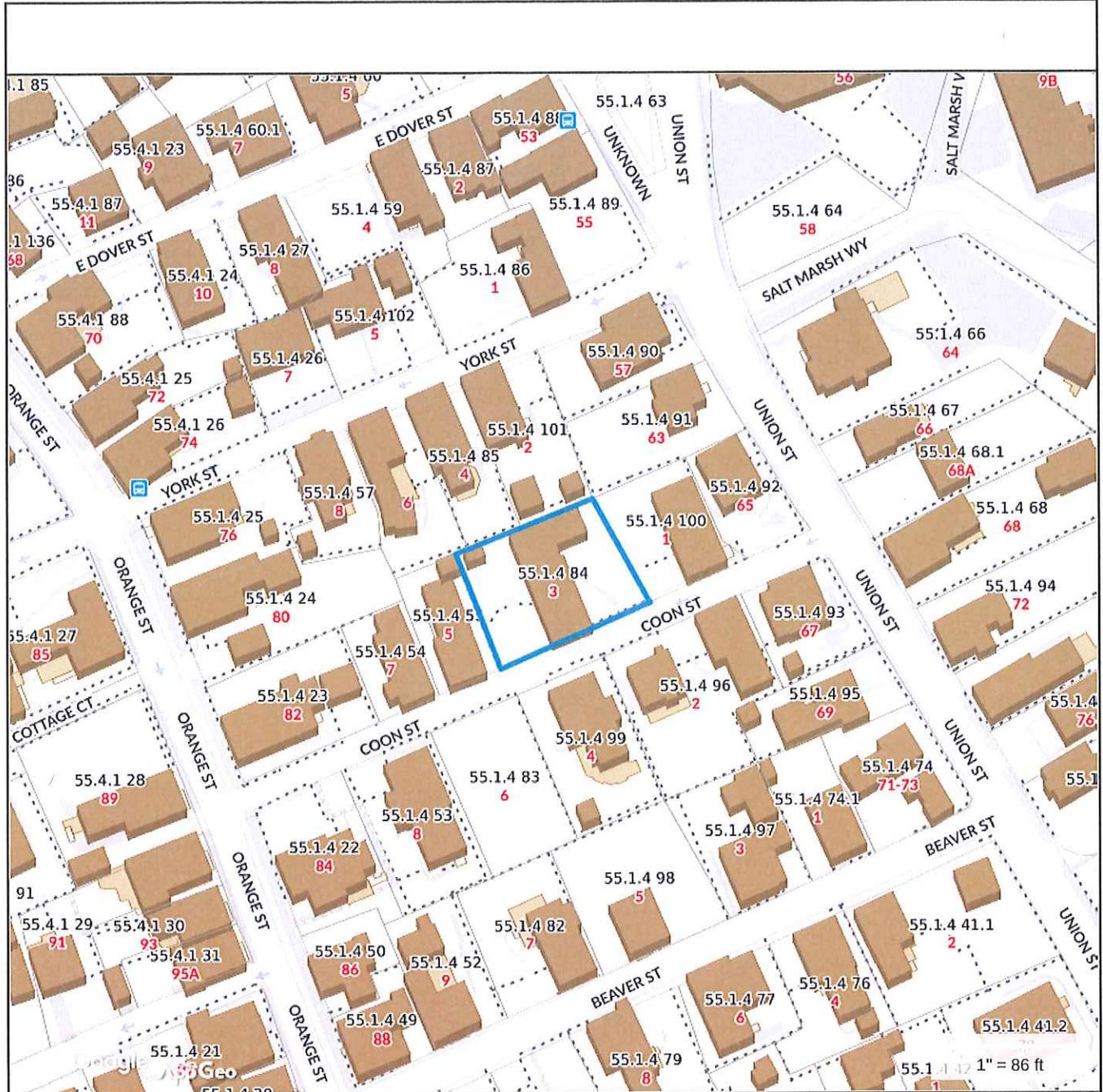
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof PEWTER WOOD - CERTIFIED LAWNMAY
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 1/22/20 Signature of owner of record George Wink (AGENT) Signed under penalties of perjury



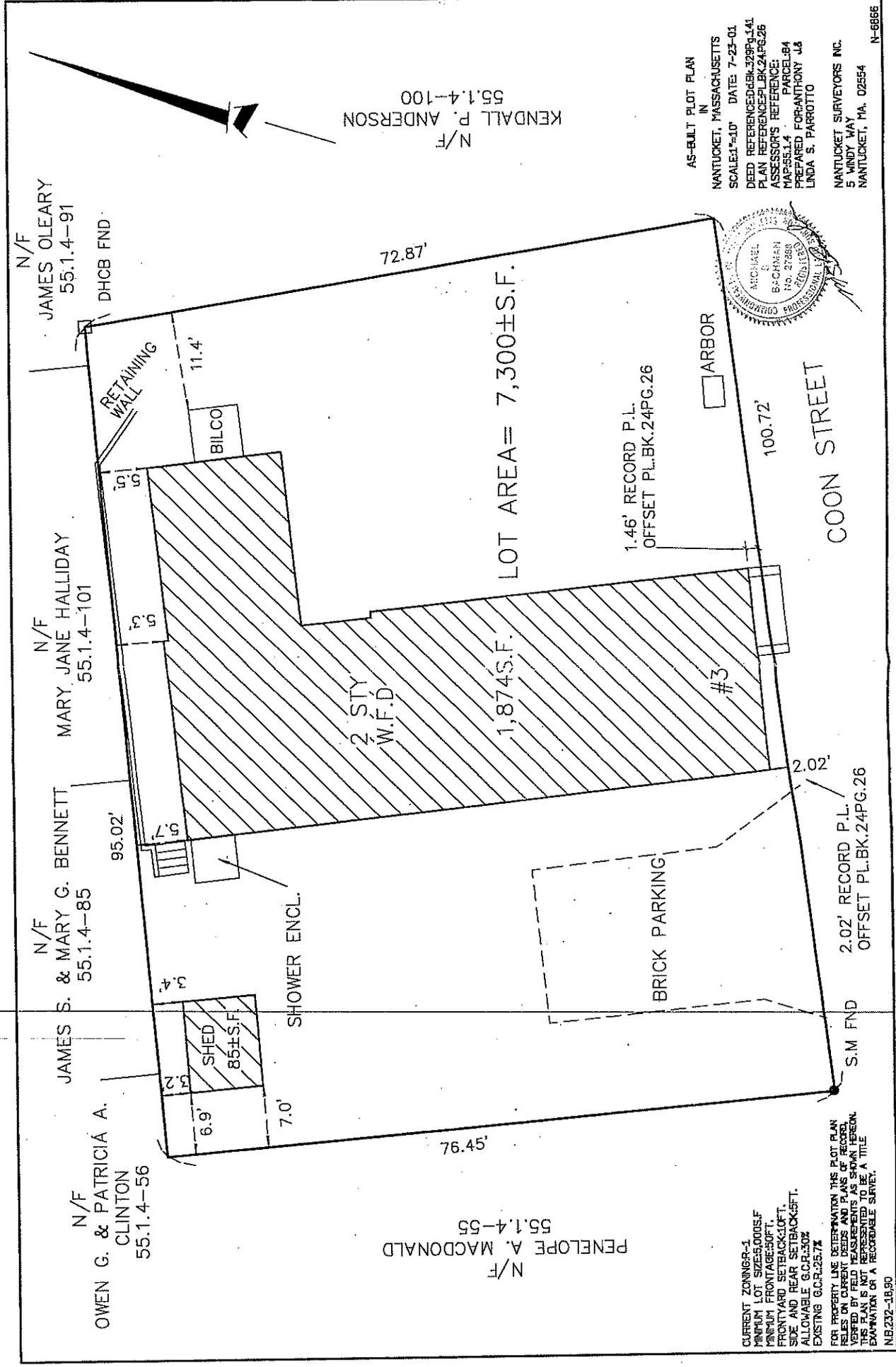
Property Information
 Property ID 55.1.4 84
 Location 3 COON ST
 Owner PARROTTO LINDA S



**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
 Data updated 11/19/2018



N/F
 JAMES O'LEARY
 55.1.4-91

N/F
 MARY JANE HALLIDAY
 55.1.4-101

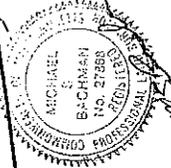
N/F
 JAMES S. & MARY G. BENNETT
 55.1.4-85

N/F
 OWEN G. & PATRICIA A. CLINTON
 55.1.4-56

N/F
 KENDALL P. ANDERSON
 55.1.4-100

N/F
 PENELOPE A. MACDONALD
 55.1.4-55

AS-BUILT PLOT PLAN
 IN
 NANTUCKET, MASSACHUSETTS
 SCALE: 1"=10' DATE: 7-23-01
 DEED REFERENCED: BK-329PG-141
 PLAN REFERENCE: PL.BK-24PG-26
 ASSESSOR'S REFERENCE:
 MAP-55.1.4 PARCEL-94
 PREPARED FOR: ANTHONY J &
 LINDA S. PARROTTO
 NANTUCKET SURVEYORS, INC.
 5 WINDY WAY
 NANTUCKET, MA. 02554
 N-6666



COON STREET

CURRENT ZONING: R-1
 MINIMUM LOT SIZE: 5,000 S.F.
 MINIMUM FRONT YARD SETBACK: 10 FT.
 FRONT YARD SETBACK: 10 FT.
 SIDE AND REAR SETBACK: 5 FT.
 ALLOWABLE G.C.R.: 25.7%
 EXISTING G.C.R.: 25.7%
 FOR PROPERTY LINE DETERMINATION THIS PLOT PLAN
 RELIES ON CURRENT DEEDS AND PLANS OF RECORD.
 VERIFIED BY FIELD MEASUREMENTS AS SHOWN HEREON.
 THIS PLAN IS NOT REPRESENTED TO BE A TITLE
 EXAMINATION OR A RECORDABLE SURVEY.
 NB-232-18,90

3 COON ST

NORTH





3 COON ST

EAST

3 COON ST

SOUTH





153M
WEST

153M003 E

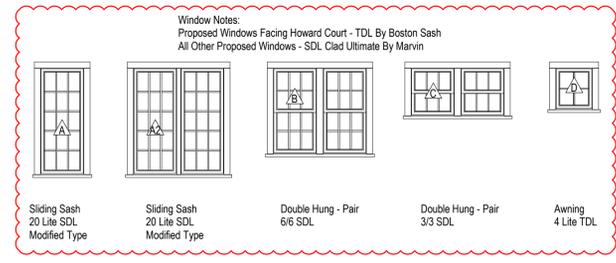
Mackenzie Cottage

4 Howard Court Nantucket, MA 02554

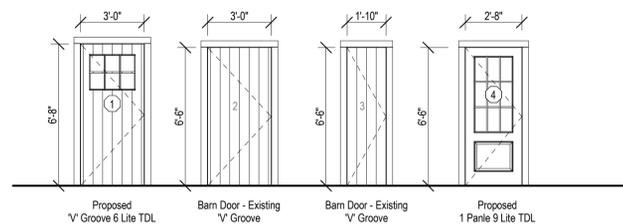
HDC Submission - Not for Construction 01.22.20



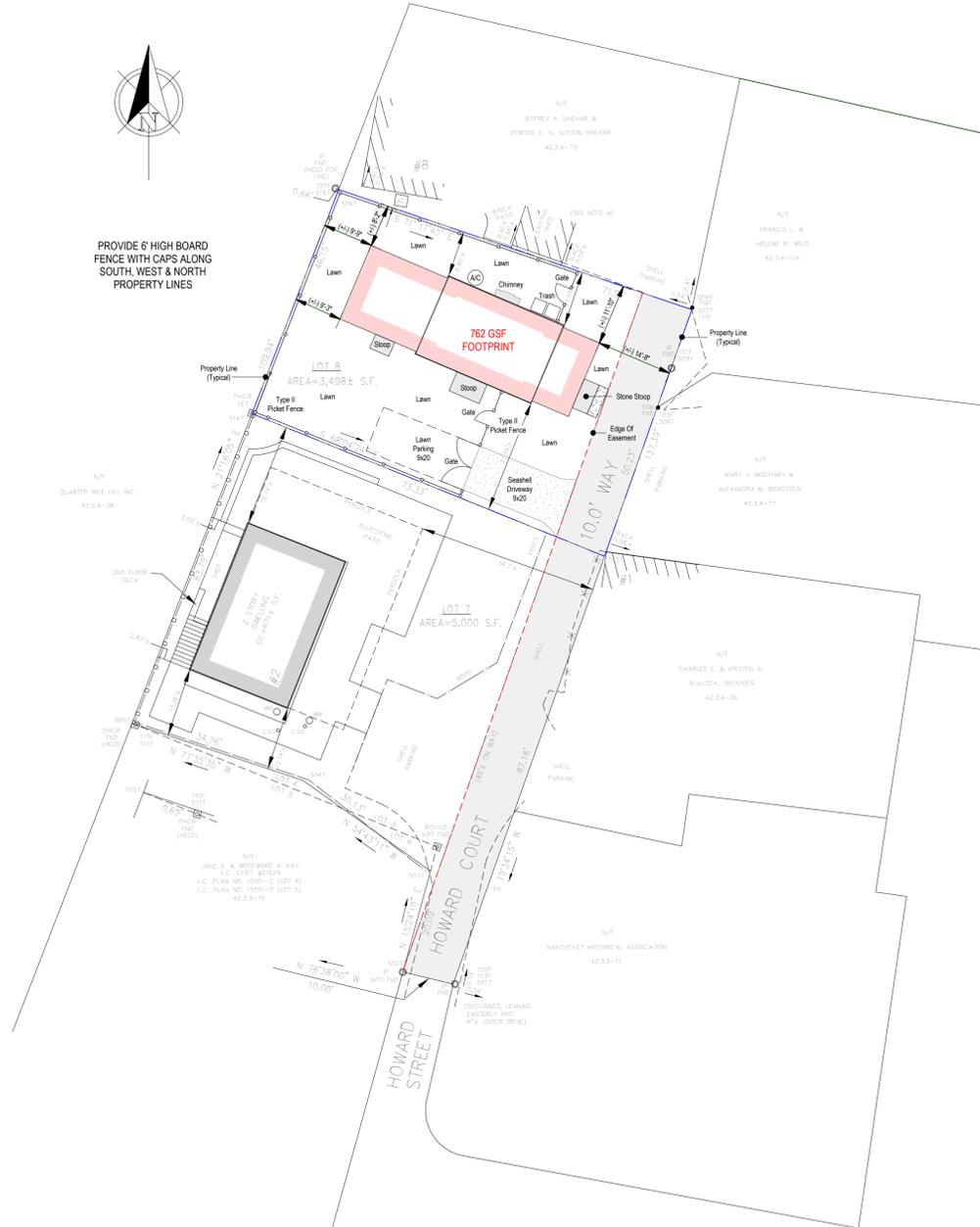
Locus Map
Not to Scale



Window Legend
1/4" = 1'-0"



Door Legend
1/4" = 1'-0"



Site Plan
1/16" = 1'-0"

1915
Mackenzie Cottage
4 Howard Court Nantucket,
MA 02554



Cover Sheet

Site Information

Map & Parcel:	42.3.4 / 36
Current Zoning:	ROH
Minimum Frontage:	50 ft
Front Setback:	0 ft
Side/Rear Setback:	5 ft
Lot Size:	3,498 sq ft
Min. Lot Size:	5,000 sq ft
Allowable G.C.:	50% / 1,749 sq ft
Existing G.C.:	397 sq ft
Proposed G.C.:	365 sq ft
Total Proposed G.C.:	762 sq ft

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 Plans
- A.2.1 Exterior Elevations

Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.

DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING, WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

G.1.1
1915

HDC Submission - Not for Construction 01.22.20

1915
 MacKenzie Cottage
 4 Howard Court Nantucket,
 MA 02554



Plans

Site Information

Map & Parcel:	42.3.4 / 36
Current Zoning:	ROH
Minimum Frontage:	50 ft
Front Setback:	0 ft
Side/Rear Setback:	5 ft
Lot Size:	3,498 sq ft
Min. Lot Size:	5,000 sq ft
Allowable G.C.:	50% / 1,749 sq ft
Existing G.C.:	397 sq ft
Proposed G.C.:	365 sq ft
Total Proposed G.C.:	762 sq ft

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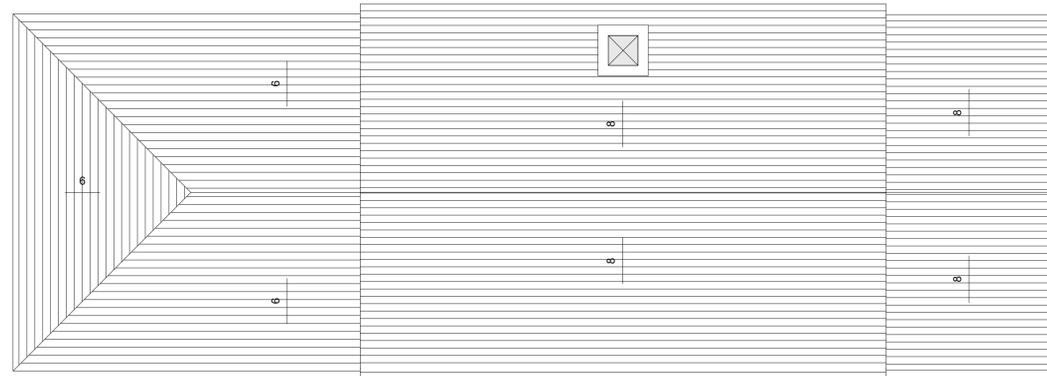
SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 Plans
- A.2.1 Exterior Elevations

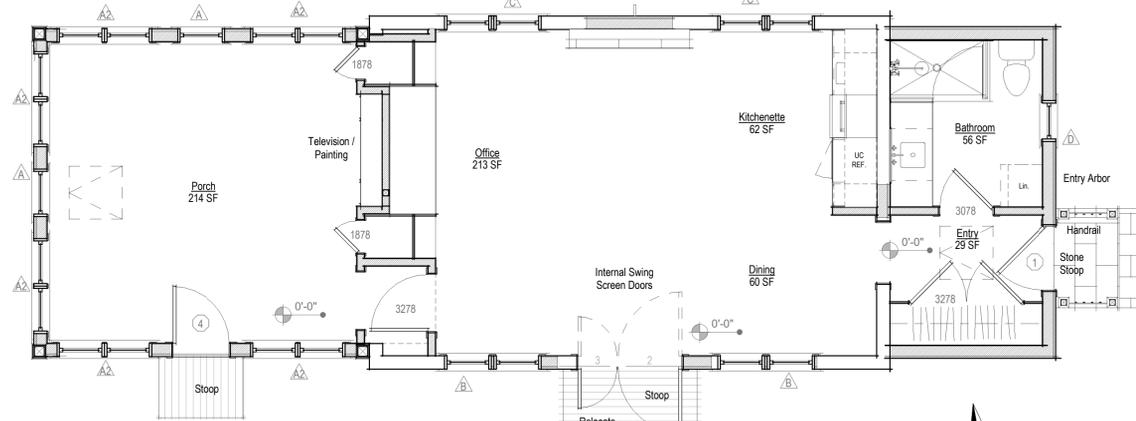
Revisions

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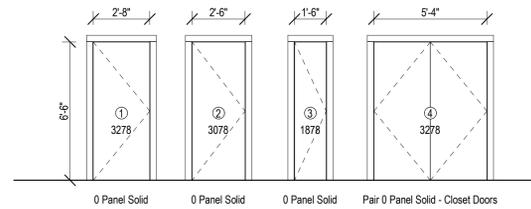
A.1.1
1915



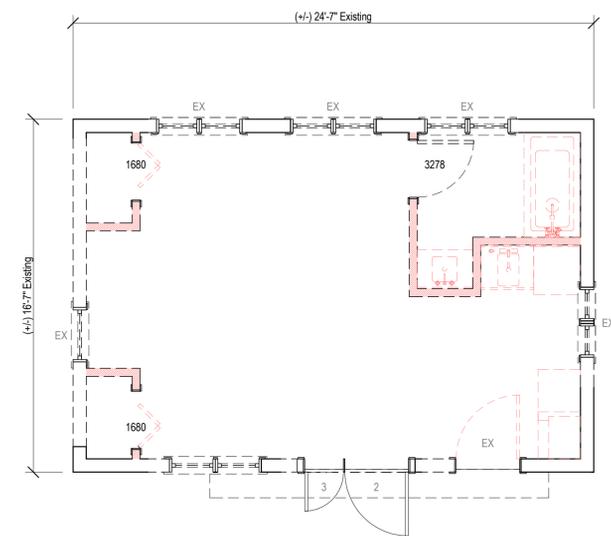
Roof Plan - Proposed
 1/4" = 1'-0"



Floor Plan - Proposed
 1/4" = 1'-0"



Interior Door Legend
 1/4" = 1'-0"



Floor Plan - Demolition
 1/4" = 1'-0"

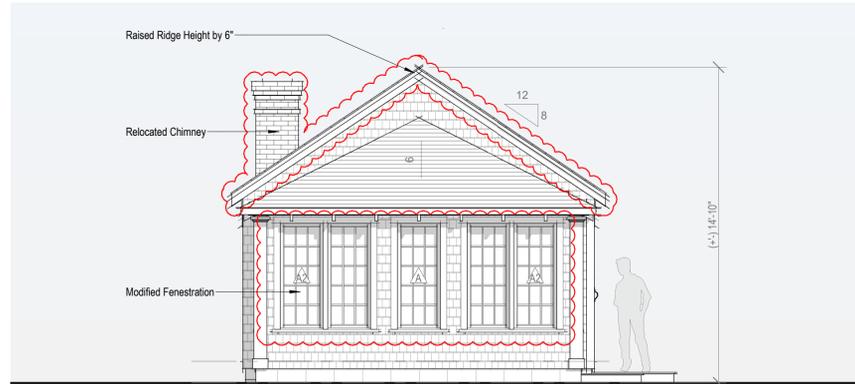
HDC Submission - Not for Construction 01.22.20



West Elevation - Previously Approved HDC
3/16" = 1'-0"



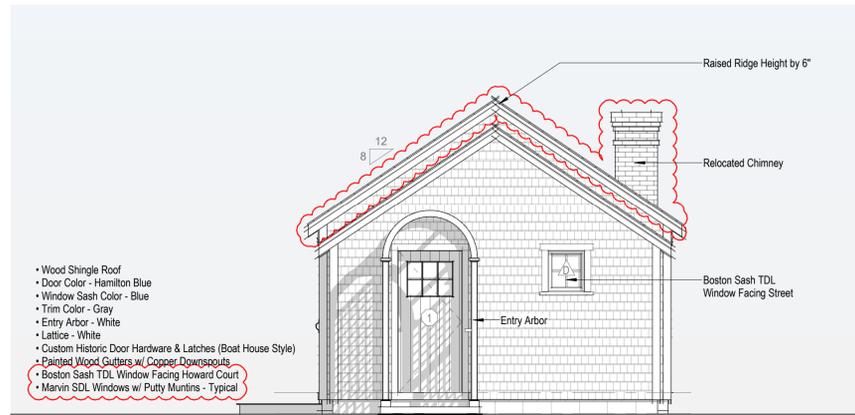
South Elevation - Previously Approved HDC
3/16" = 1'-0"



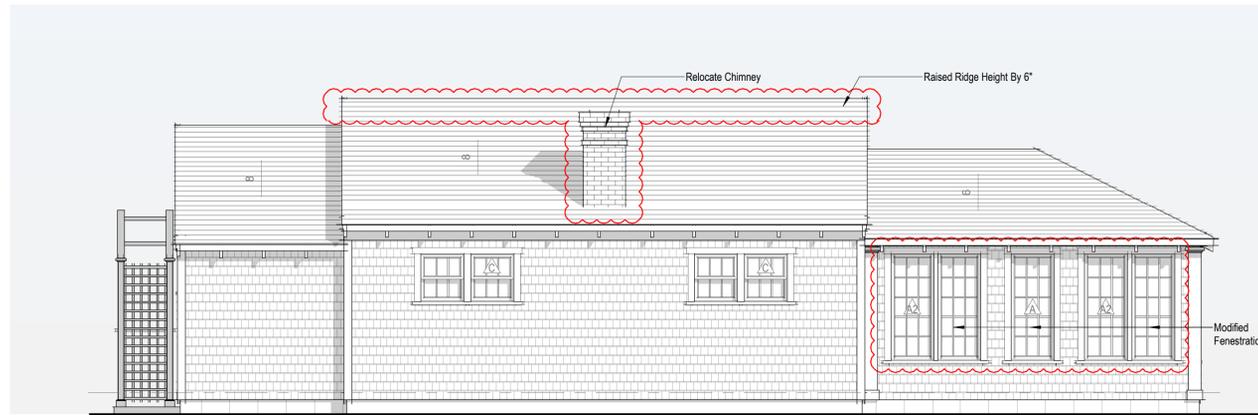
West Elevation - Proposed
1/4" = 1'-0"



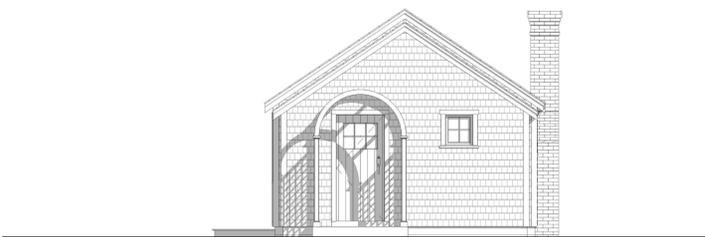
South Elevation - Proposed
1/4" = 1'-0"



East Elevation - Proposed
1/4" = 1'-0"



North Elevation - Proposed
1/4" = 1'-0"



East Elevation - Previously Approved HDC
3/16" = 1'-0"



North Elevation - Previously Approved HDC
3/16" = 1'-0"

1915
MacKenzie Cottage
4 Howard Court Nantucket,
MA 02554



Exterior Elevations

Site Information

Map & Parcel:	42.34 / 36
Current Zoning:	ROH
Minimum Frontage:	50 ft
Front Setback:	0 ft
Side/Rear Setback:	5 ft
Lot Size:	3,498 sq ft
Min. Lot Size:	5,000 sq ft
Allowable G.C.:	50% / 1,749 sq ft
Existing G.C.:	397 sq ft
Proposed G.C.:	365 sq ft
Total Proposed G.C.:	762 sq ft

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 Plans
- A.2.1 Exterior Elevations

Revisions

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A.2.1
1915

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 42.3.4 PARCEL N°: 36
Street & Number of Proposed Work: 4 Howard Ct
Owner of record: Ian & Carolyn MacKenzie
Mailing Address: 35 India Street
Nantucket, MA 02554
Contact Phone #: 917 912 2457 E-mail: ianmackenzie@earth

AGENT INFORMATION (if applicable) link.net

Name: Ementus
Mailing Address: 8 Williams Ln
Nantucket MA
Contact Phone #: 508 325 4995 E-mail: matt@ementusdeve-
lopment.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other Alterations to existing single story structure / window manufacture
Size of Structure or Addition: Length: (+/-) 48.5' Sq. Footage 1st floor: 762 Decks/Patio: Size: _____ 1st floor 2nd floor
Width: (+/-) 16.5' Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 0' South 0' East 0' West 0'
Height of ridge above final finish grade: North (+/-) 14'-10" South (+/-) 14'-10" East (+/-) 14'-10" West (+/-) 14'-10"

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation Relocate chimney / raised roof ridge
Original Date: 1900 (describe) 2. South Elevation Modified fenestration / raised roof ridge
Original Builder: _____ 3. West Elevation Modified fenestration / relocate chimney / raised ridge
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation Modified fenestration / relocate chimney / raised ridge
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Min Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) red Other _____
Roof Pitch: Main Mass 8 / 12 Secondary Mass 6 / 12 Dormer _____ / 12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) red cedar
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other to match existing
B. Treatment Paint Natural to weather Other to match existing
C. Dimensions: Fascia 4" Rake 6" Soffit (Overhang) 6" Corner boards 4 1/2" Frieze 4"
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square 3.5"
Windows*: Double Hung Casement All Wood Other Sliding & Awning
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front 6 Like Bam w/ Groove Rear _____ Side 9 Like w/ V Groove
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall White Cedar shingles - THE Clapboard (if applicable) _____ Roof Red cedar shingles
Trim Quaker Gray Sash Hamilton Blue Doors Hamilton Blue to match existing
Deck Maple wood - Natural Foundation Natural Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes to the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
Date 01.22.2020 Signature of owner of record _____ Signed under penalty of perjury _____

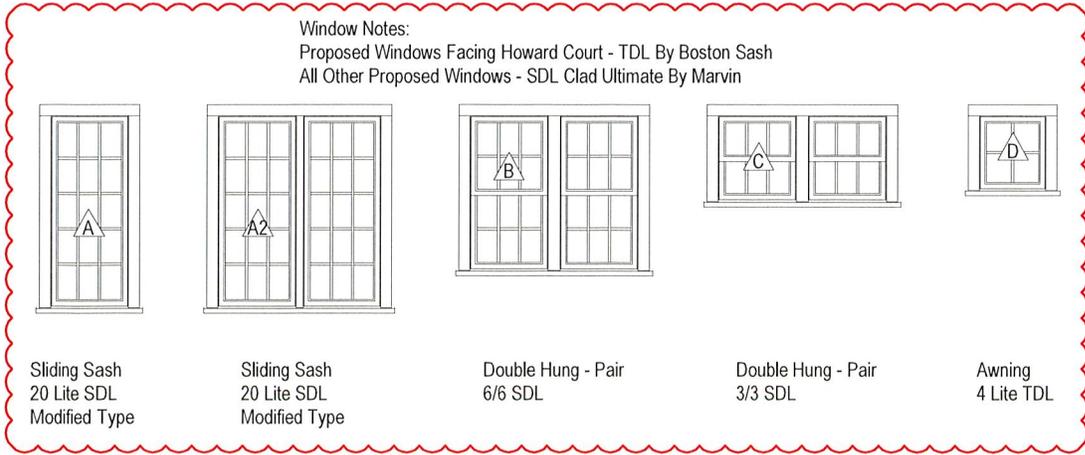
Mackenzie Cottage

4 Howard Court Nantucket, MA 02554



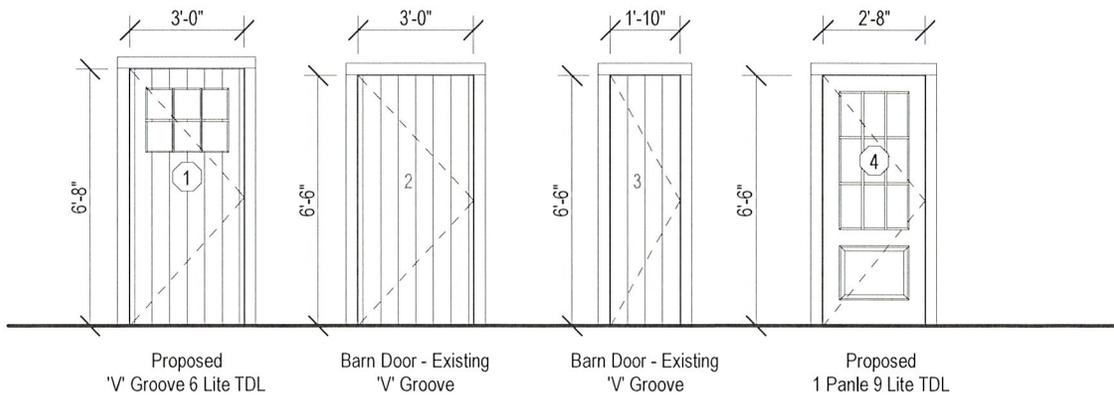
Locus Map

Not to Scale



Window Legend

1/4" = 1'-0"

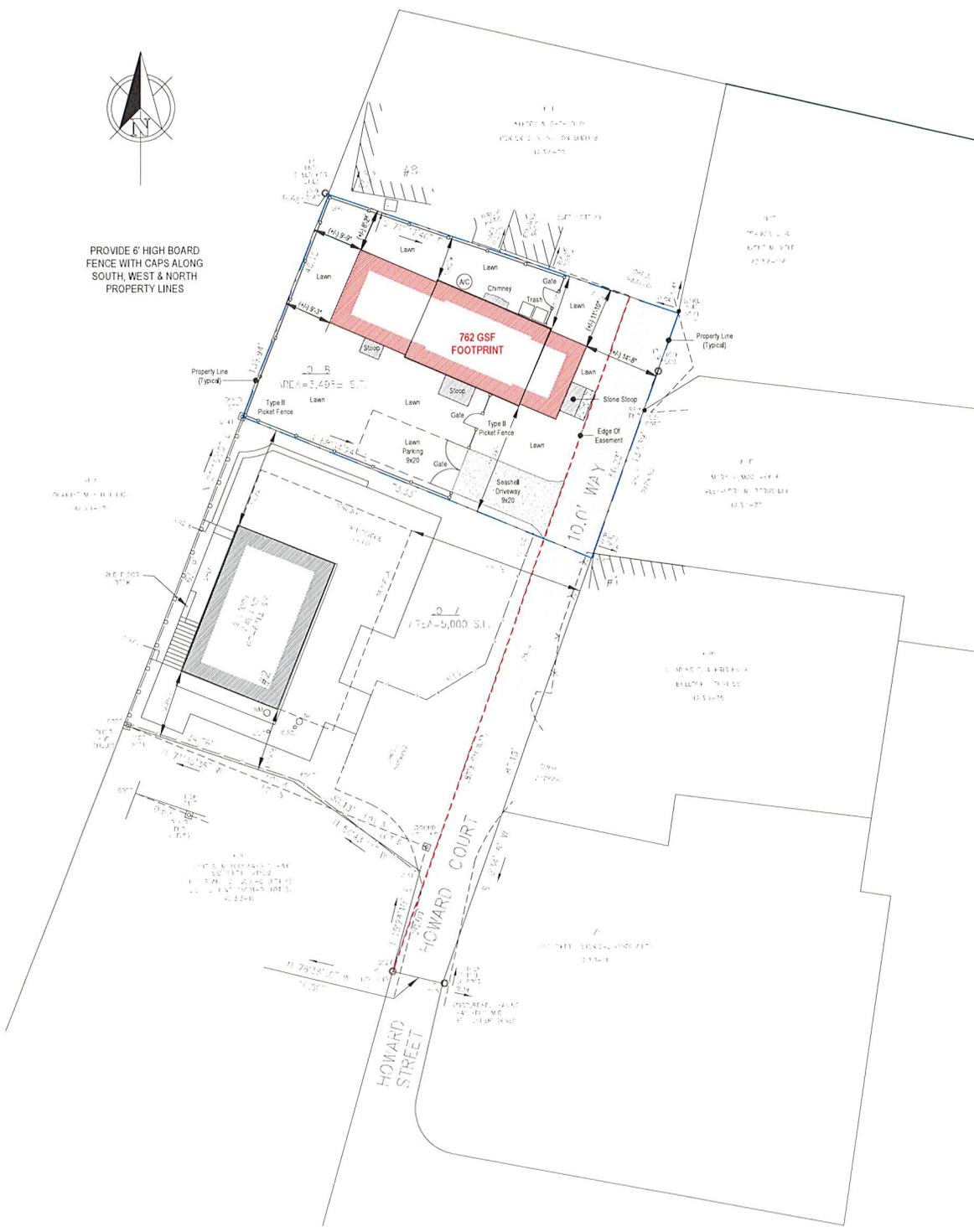


Door Legend

1/4" = 1'-0"

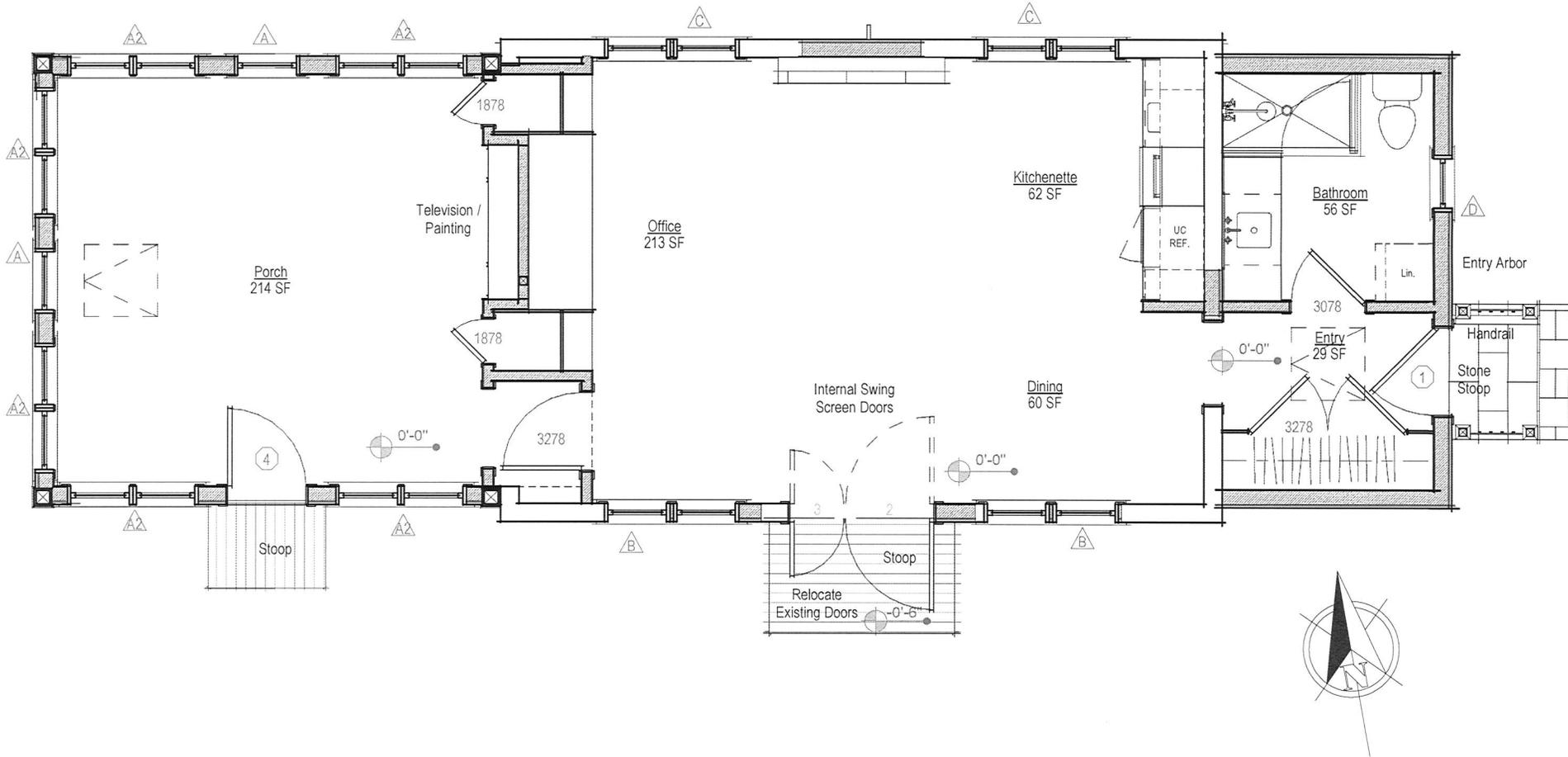


PROVIDE 6' HIGH BOARD FENCE WITH CAPS ALONG SOUTH, WEST & NORTH PROPERTY LINES



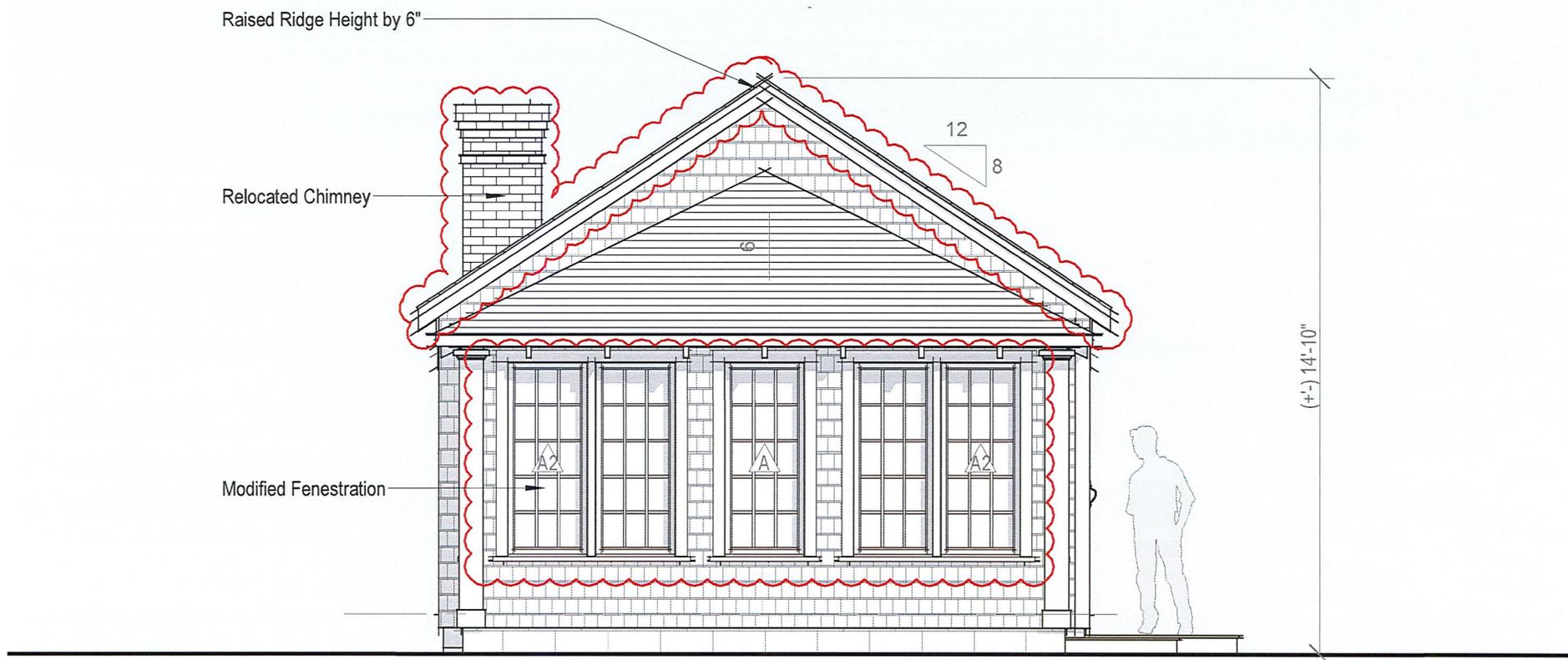
Site Plan

1/16" = 1'-0"



Floor Plan - Proposed

1/4" = 1'-0"



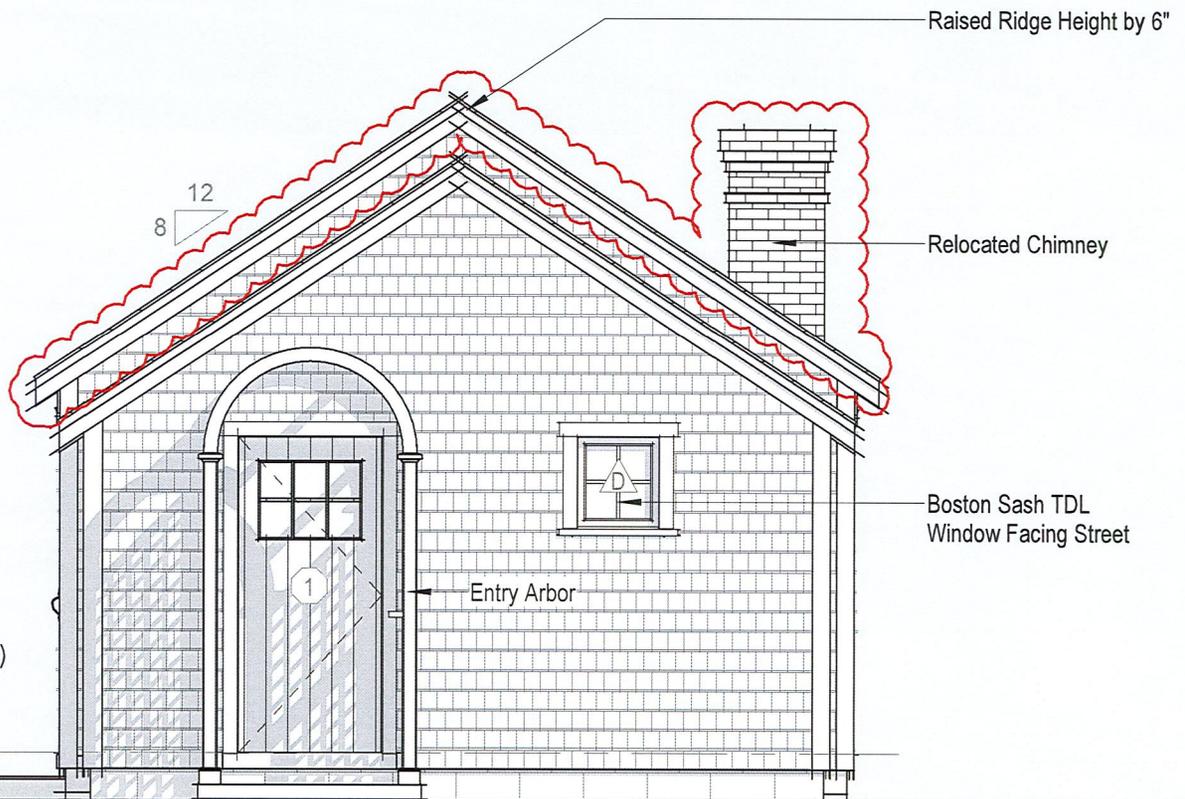
West Elevation - Proposed

1/4" = 1'-0"



South Elevation - Proposed

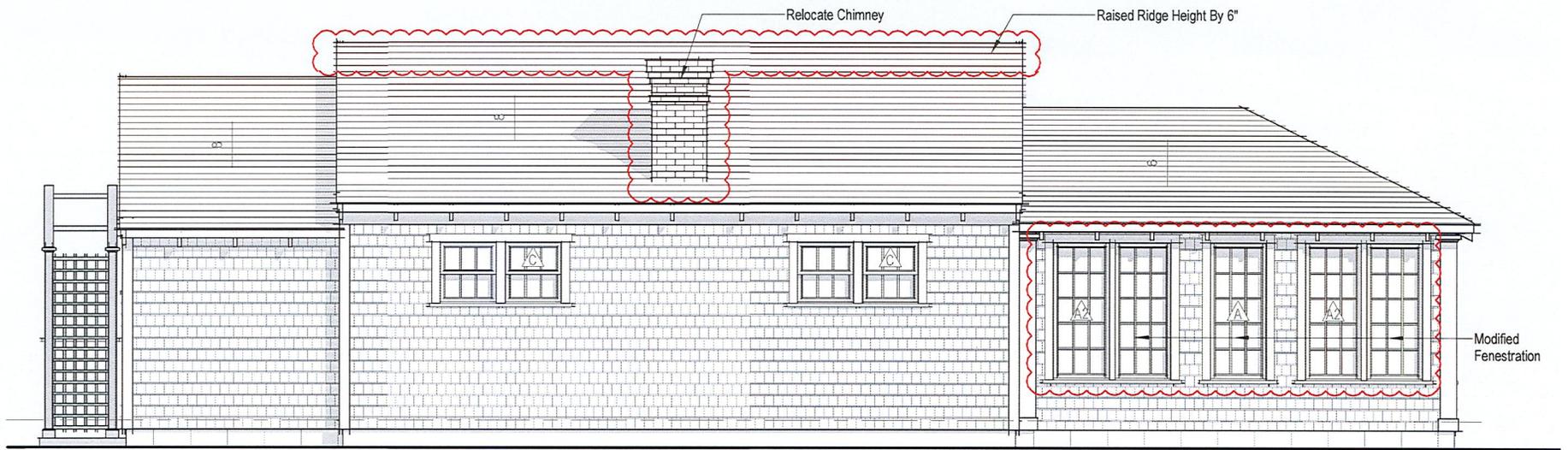
1/4" = 1'-0"



- Wood Shingle Roof
- Door Color - Hamilton Blue
- Window Sash Color - Blue
- Trim Color - Gray
- Entry Arbor - White
- Lattice - White
- Custom Historic Door Hardware & Latches (Boat House Style)
- Painted Wood Gutters w/ Copper Downspouts
- Boston Sash TDL Window Facing Howard Court
- Marvin SDL Windows w/ Putty Muntins - Typical

East Elevation - Proposed

1/4" = 1'-0"



North Elevation - Proposed

1/4" = 1'-0"

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 294
 Street & Number of Proposed Work: 6 New Ln
 Owner of record: Sullivan Krueger Family Trust
 Mailing Address: 6 W 77th St Apt 9A
New York NY 10024
 Contact Phone #: 228-2722 E-mail: _____

AGENT INFORMATION (if applicable)

Name: BPC Architecture
 Mailing Address: 12 Boat St
Nantucket MA 02554
 Contact Phone #: 228-2722 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 7/20/08
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
 Original Date: _____ (describe) 2. South Elevation
 Original Builder: _____ 3. West Elevation Window change
 4. North Elevation

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural

Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

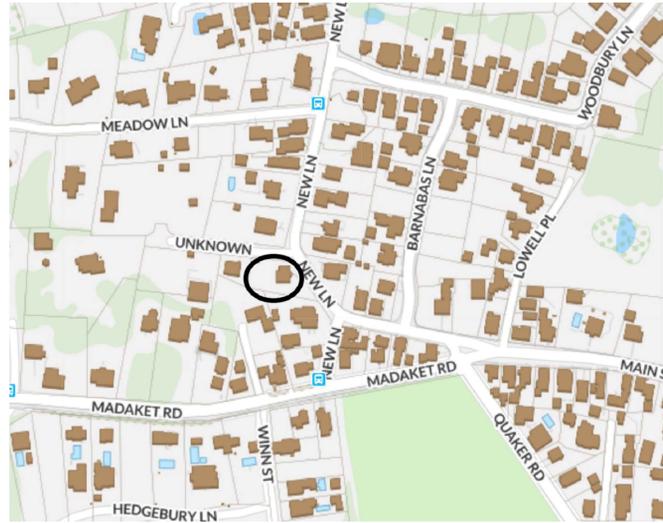
Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

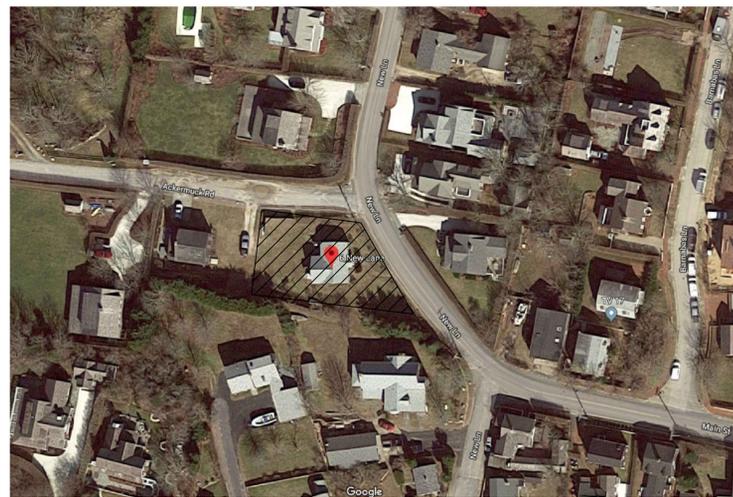
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 1/4/2010 Signature of owner of record [Signature] Signed under penalties of perjury

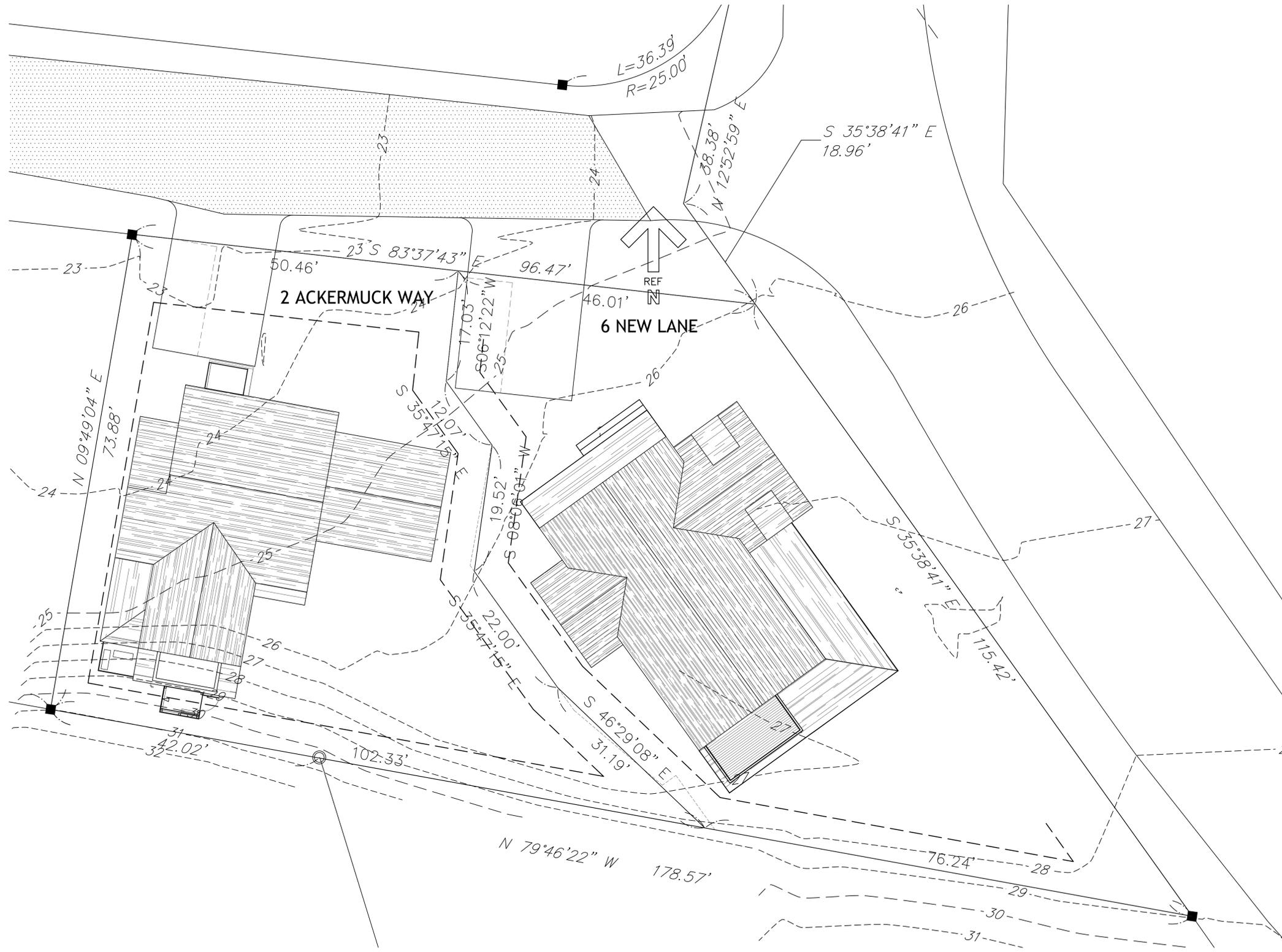
6 NEW LANE



LOCUS PLAN: NTS



AERIAL VIEW: NTS



SITE PLAN: 1/8" = 1'-0"

DOOR & WINDOW SCHEDULE

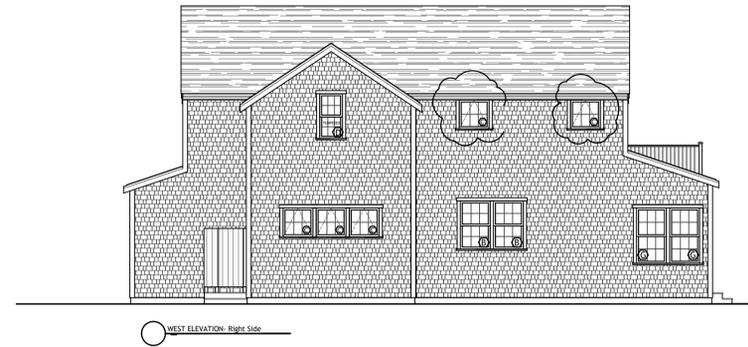
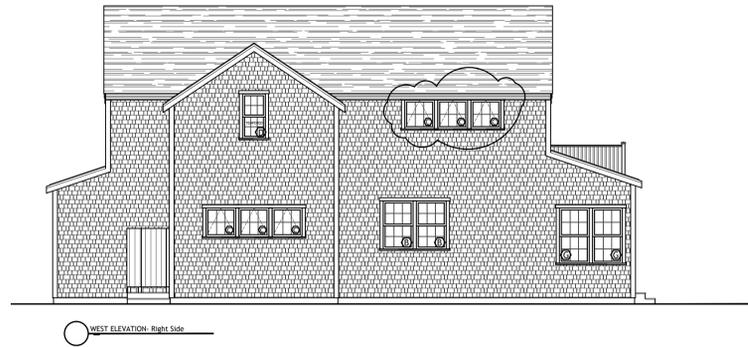
ID	MANUF.	MODEL #	UNIT SIZE	QTY.	DESCRIPTION	DP +/-
1	CUSTOM		3'-0" x 7'-0"	1	WOOD PANEL FRONT DOOR	
2	CUSTOM		3'-6" x 7'-0"	1	WOOD PANEL FRONT DOOR	
3	ANDERSEN	FWH54611		1	15 LIGHT FRENCH DOORS	
4	ANDERSEN	FWG60611		1	15 LIGHT FRENCH DOORS (SLIDING)	
5						
WINDOWS						
ID	MANUF.	MODEL #	ROUGH OPENING*	QTY.	DESCRIPTION	DP +/-
A	ANDERSEN	TW21052	3'-0 1/8" x 5'-4 7/8"	16	6/6 DBL HUNG	
B	ANDERSEN	TW21042	3'-0 1/8" x 4'-4 7/8"	5	6/6 DBL HUNG	
C	ANDERSEN	AX31	3'-0 1/2" x 2'-8"	6	6 LIGHT AWNING	
D	ANDERSEN	TW20310	2'-2 1/8" x 4'-0 7/8"	2	6/6 DBL HUNG	
E	ANDERSEN	AW21	2'-0 5/8" x 2'-4 7/8"	2	4 LIGHT - FIXED	
F	ANDERSEN	TW28310	2'-10 1/8" x 4'-0 7/8"	3	6/6 DBL HUNG	
G	ANDERSEN	TW2852	2'-10 1/8" x 5'-4 7/8"	8	6/6 DBL HUNG	
H	ANDERSEN	TW2642	2'-8 1/8" x 4'-4 7/8"	2	6/6 DBL HUNG	

* CONTRACTOR TO VERIFY ROUGH OPENING DIMENSIONS THROUGH WINDOW MANUFACTURER

HDC APPROVED

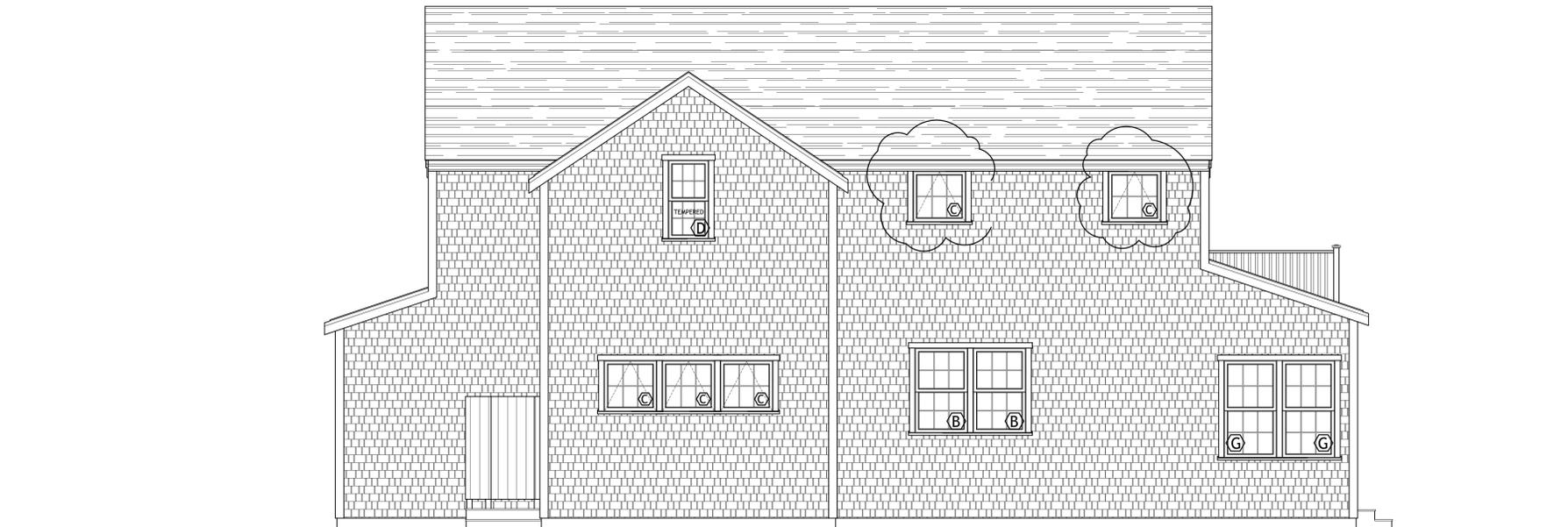


PROPOSED



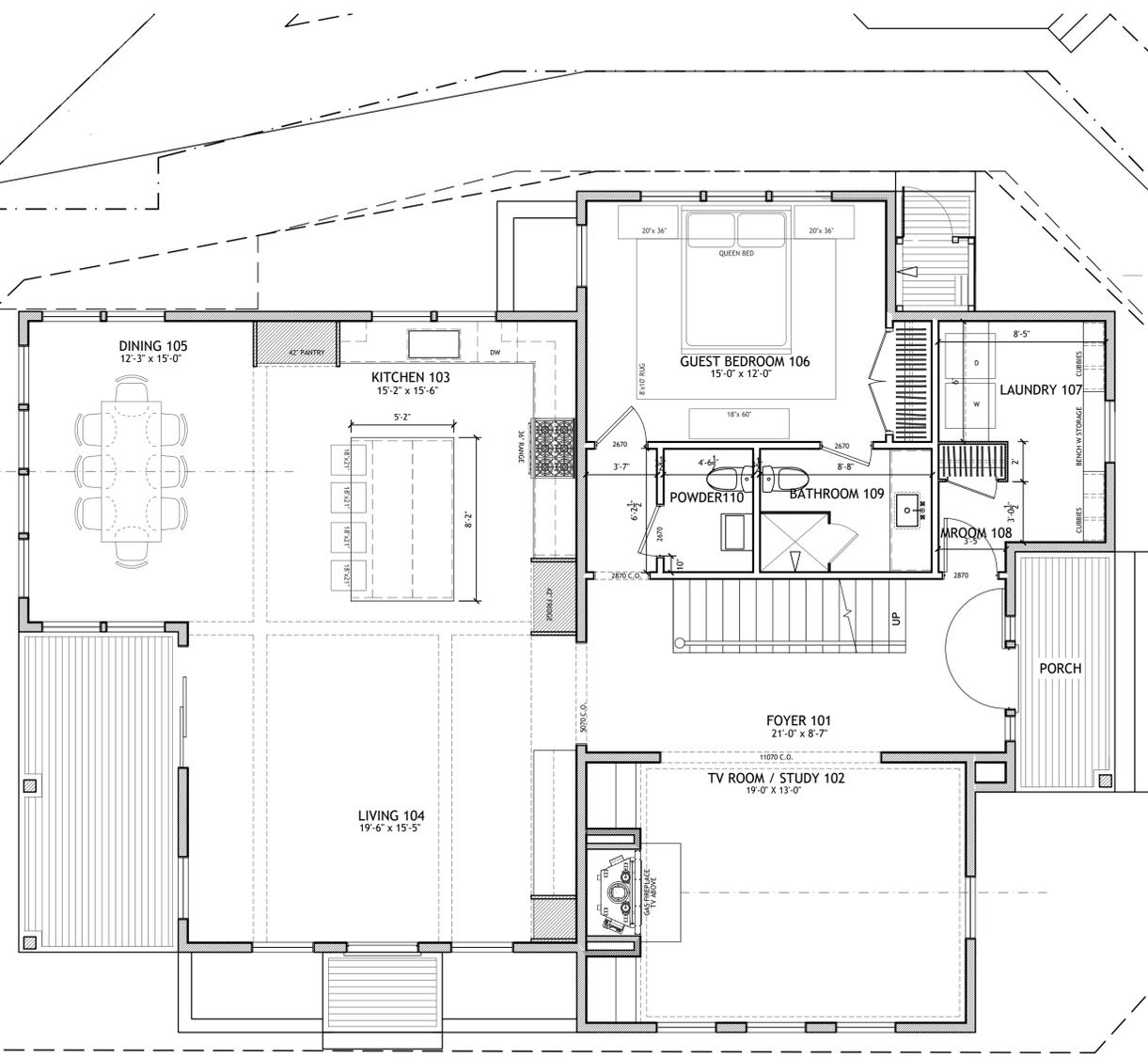


○ NORTH ELEVATION- Front



○ WEST ELEVATION- Right Side

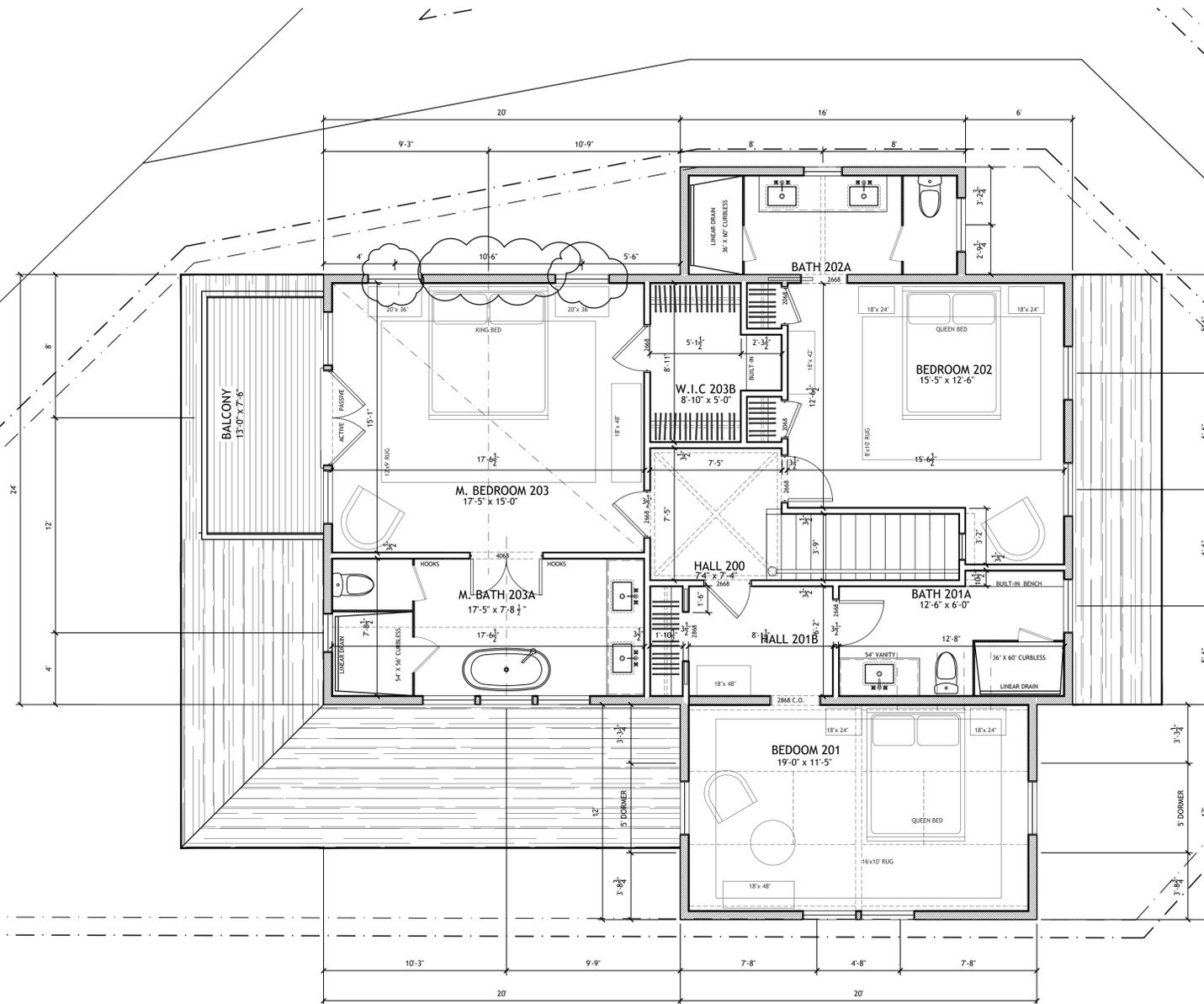




○ FIRST FLOOR PLAN - 1,692 SF

ACKERMUCK ↗

NEW LANE



○ SECOND FLOOR PLAN - 1,344 SF

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 42.3.4 PARCEL N°: 64 + 64.1

Street & Number of Proposed Work: 7+9 Hussey St

Owner of record: ACK Properties LLC

Mailing Address: % Mac Trust Naples LLC
500 5th Ave S #502 Naples FL

Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: BPC Architecture

Mailing Address: 72 Boaks St
Nantucket MA 02554

Contact Phone #: 228-2722 E-mail: _____

FOR OFFICE USE ONLY

#297

Date application received: 1/22/20 Fee Paid: \$ 50

Must be acted on by: 3/28/20

Extended to: _____

Approved: _____ Disapproved: _____

Chairman: _____

Member: _____

Member: _____

Member: _____

Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed

Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____

Pool (Zoning District _____) Roof Other Pergola, outdoor shower, small deck addition

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor

Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor

Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____

Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____

Original Date: _____

Original Builder: _____

Is there an HDC survey form for this building attached? Yes N/A

REVISIONS*

1. East Elevation
2. South Elevation
3. West Elevation Pergola, outdoor shower, small deck addition
4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural

Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____

Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side

Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS - match existing

Sidewall _____ Clapboard (if applicable) _____ Roof _____

Trim _____ Sash _____ Doors _____

Deck natural to weather Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 1-6-2020 Signature of owner of record [Signature] Signed under penalties of perjury



APPROVED
 JUL 24 '12 58233
 NO EXTERIOR CHANGES
 WITHOUT H.D.C. APPROVAL

EXISTING



APPROVED
 JUL 24 '12 58233
 NO EXTERIOR CHANGES
 WITHOUT H.D.C. APPROVAL

PROPOSED



HISTORIC DISTRICT COMMISSION REGULAR MEETING

2 Fairgrounds Road
Nantucket, Massachusetts 02554
www.nantucket-ma.gov

Commissioners: Raymond Pohl (Chair), Diane Coombs (Vice-chair), John McLaughlin, Abigail Camp, Vallorie Oliver,
Associate Commissioners: Stephen Welch, Terence Watterson, Jessie Dutra

~~ MINUTES ~~

Tuesday, December 3, 2019

Public Safety Facility, 4 Fairgrounds Road, Training Room – 4:30 p.m.

Called to order at 4:36 p.m. and announcements by Mr. Pohl

Staff in attendance: Cathy Flynn, Land Use Specialist; Terry Norton, Town Minutes Taker
 Attending Members: Pohl, McLaughlin, Camp, Welch, Watterson
 Absent Members: Coombs, Oliver, Dutra
 Late Arrivals: None
 Early Departures: Dutra & Pohl, 6:56 p.m.

Agenda adopted as amended by unanimous consent.

I. PUBLIC COMMENT

None

II. CONSENT

<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1. Kozar, Richard #11-0217	1 A Street	Window change	60.2.4-79	Self
2. 21 Quidnet Rd, LLC #11-0218	21 Quidnet Road	Renew COA 66616	21-30	Ethan McMorrow
3. Kocoloski, Adam #11-0219	57 Polpis Road	Rev. 72849: dormers only	54-25	Ethan McMorrow
4. Pongrace, Donald #11-0234	16 Warren Street	Dormers	55-43.3	Ethan McMorrow
5. George, Suzanne #11-0216	20 Quidnet Road	Mini-split unit	21-117.1	SS Climate Control
6. Last Waltz #11-0214	83 Bartlett Road	216 sf addition	66-409	Edgewater
7. Lochtefeld, Peter #11-0220	11 Essex Road	Rev.72978:mve egress win	67-605	Self
8. Sharp, Randy #11-0225	53 Meadowview Drive	Rev. 71071: drmr/add 4 ft	56-73	Thornewill Design, LLC
9. Sharp, Randy #11-0224	76 Polpis Road	Rev. 72734: color change	43-177	Thornewill Design, LLC
10. Wilson, James #11-0233	1 Appleton Road	178. sf addition	66-388	Thornewill Design, LLC
11. Miraila, Laxmi #11-0226	11 Cedar Circle	Enlrg drmr/mve otdr shw	55-495	Richard Green
12. Daly, John #11-0242	6 Nobadeer Way	Shed	68-172	SMRD
13. Mack, Rob #11-0228	2 Farmview Drive	Rev. 72510: lattice	66-176	Val Oliver Design
14. Grey Lady Ln, LLC #11-0221	12 Grey Lady Lane	Rev.72924: frnt dr/clr chg	66-706	Val Oliver Design
15. Fraser, Claire #11-0235	64 Sankaty Road	Studio	48-80.1	Val Oliver
16. Wolfe, Richard #11-0237	68 Washington Street	Roof change	42.2.3-15	Rick Kalman
17. Cristler, Shawn #11-0236	11 Bayberry Lane	Rev. 73183: shed dormer	67-63	Brook Meerbergen
18. Sheridan, Paul #11-0243	17 Black Fish Lane	Rev. 10-0046: repl wind	73-109	Emeritus
19. Wetherell, Eliz. #11-0239	10 Hickory Meadow Ln	New art studio	41-904	Emeritus
20. 55 Grove Ln, LLC #11-0238	55 Grove Lane	282 sf add/wind/dr chngs	41-419	Sophie Metz Design

Voting Pohl, McLaughlin, Camp, Welch, Watterson

Alternates None

Recused None

Documentation None

Representing None

Public None

Concerns No concerns

Motion **Motion to Approve. (Camp)**

Vote Carried 4-0//McLaughlin abstain

Certificate #

HDC-2019-11-(as noted)

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 55 PARCEL N^o: 43.3
 Street & Number of Proposed Work: 13/16 WARREN ST
 Owner of record: OLWEN + DONALD PONGRACE
 Mailing Address: 4150 FORDHAM ROAD NW
WASHINGTON DC 20016
 Contact Phone #: 610 999 2525 E-mail: _____

AGENT INFORMATION (if applicable)

Name: ETHAN MIMORROW
 Mailing Address: PO BOX 1052
NANTUCKET MA 02554
 Contact Phone #: 228 0456 E-mail: ethan67@comcast.net

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 11 0234
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation COLOR CHANGE
 Original Date: _____ (describe) 2. South Elevation, REDUCE WINDOW(D) TME D.H. WINDOWS
 Original Builder: _____ 3. West Elevation IN SIZE
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation TRIM COLOR FROM GRAY TO WHITE
 *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

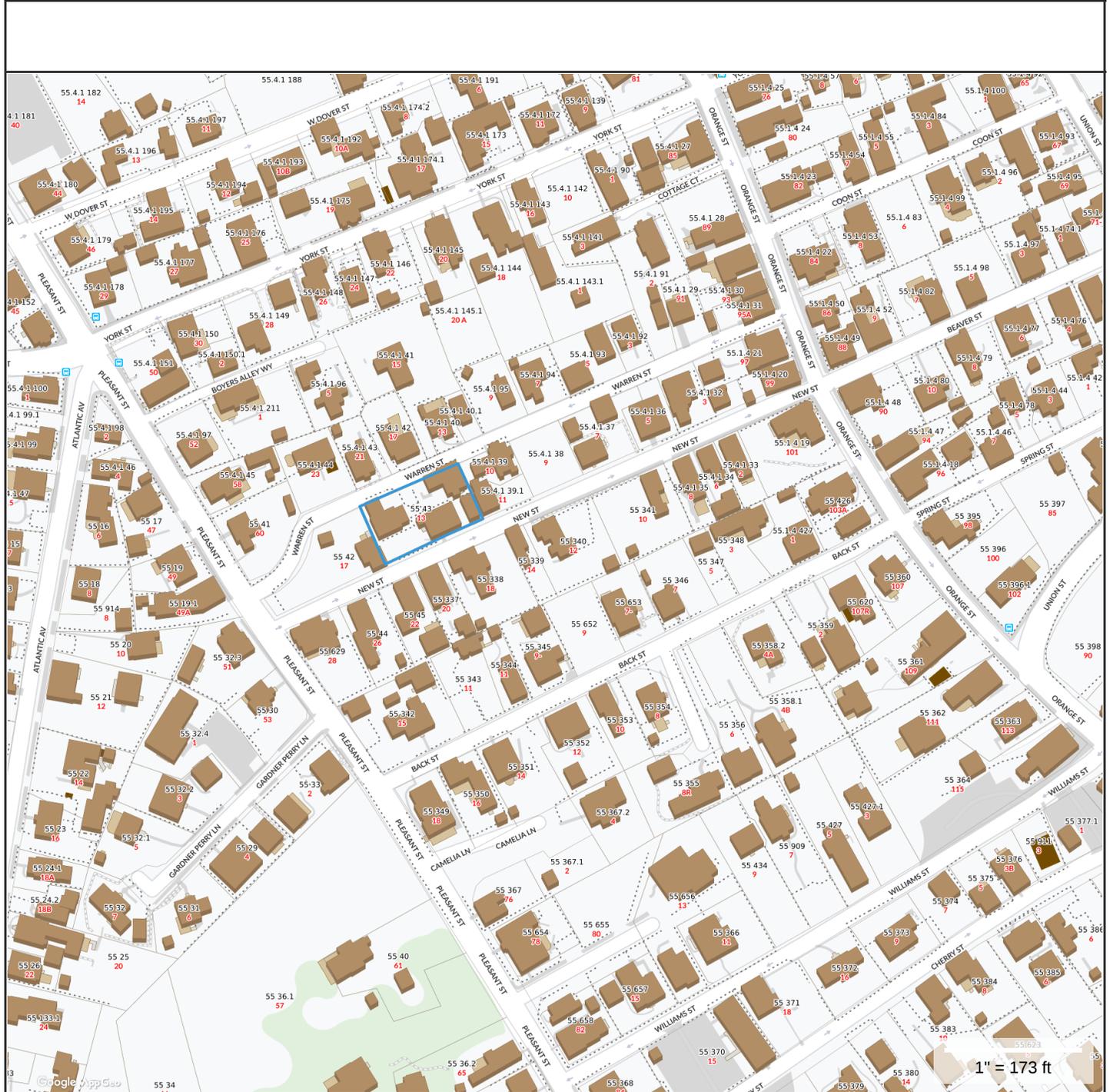
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim WHITE Sash WHITE Doors WHITE (BLACK FRONT)
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 1-16-2020 Signature of owner of record _____ Signed under penalties of perjury _____



Property Information

Property ID 55 43.1
Location 13 NEW ST
Owner FELDBERG ELAINE Z



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

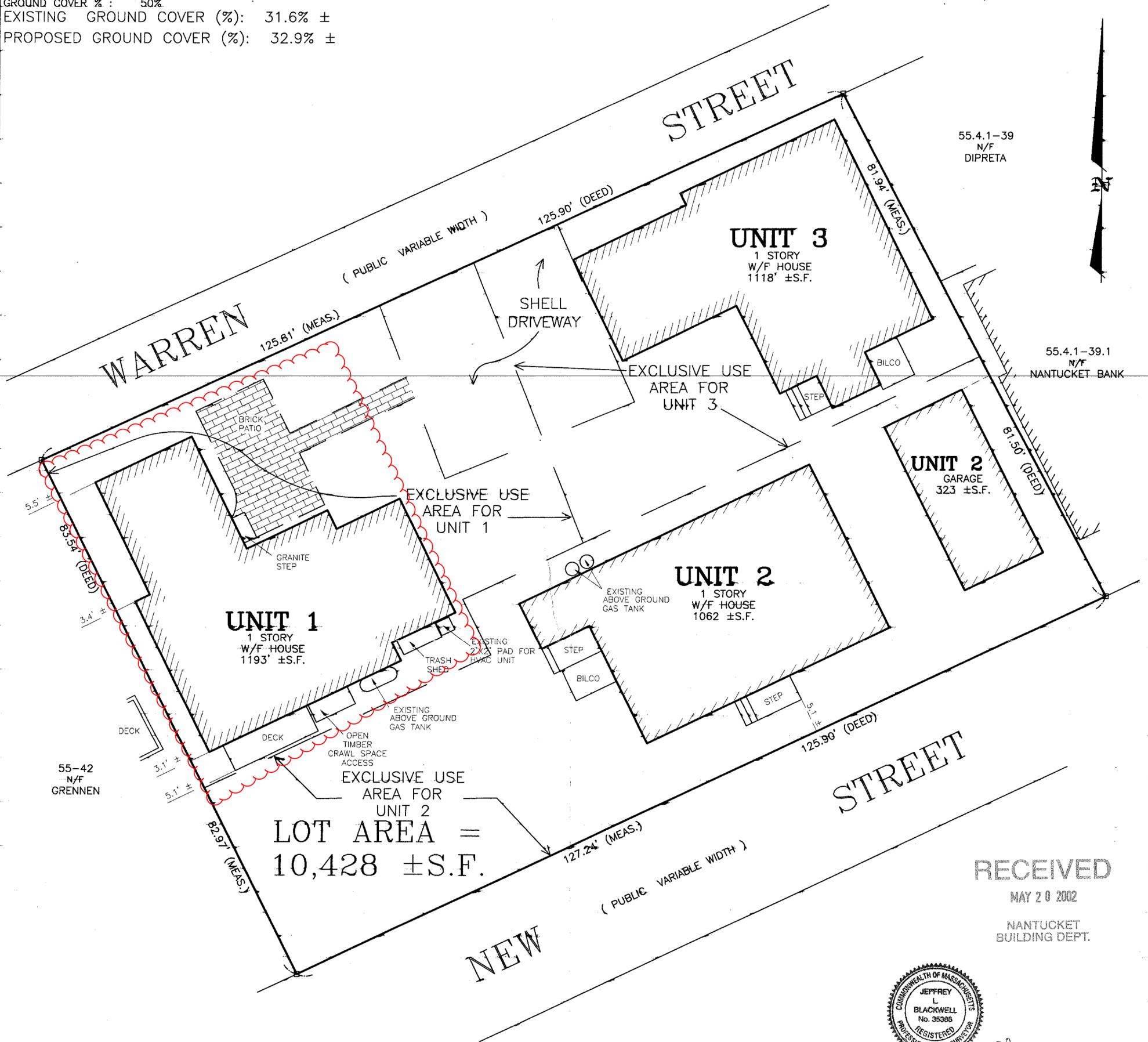
Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
Data updated 11/19/2018

CURRENT ZONING CLASSIFICATION:
Residential Old Historic (R-OH)

MINIMUM LOT SIZE: 5000 S.F.
MINIMUM FRONTAGE: 50 FT.
FRONT YARD SETBACK: none
REAR/SIDE SETBACK: 5 FT.
GROUND COVER % : 50%
EXISTING GROUND COVER (%): 31.6% ±
PROPOSED GROUND COVER (%): 32.9% ±

ONLY ORIGINALLY STAMPED AND
ENDORSED COPIES OF THIS PLAN
SHALL BE ACKNOWLEDGED BY
THE CERTIFYING LAND SURVEYOR



LOT AREA =
10,428 ± S.F.

RECEIVED
MAY 20 2002
NANTUCKET
BUILDING DEPT.



BUILDING LOCATION PLAN OF LAND IN NANTUCKET, MASS.

SCALE: 1" = 10' DATE: JULY 23, 2001
REV: MAY 13, 2002

OWNER: LAURIE H. DONOVAN, TRUSTEE of
WARREN STREET REALTY TRUST

DEED BOOK: 683, PG. 163 PLAN FILE: 47-B
UNIT No. 1 of the SHEARWATER CONDOMINIUM
LOCUS: #16 WARREN STREET

BLACKWELL and ASSOCIATES, Inc.
Professional Land Surveyors
20 TEASDALE CIRCLE
NANTUCKET, MASS. 02554
(508) 228-9026

GRAPHIC SCALE



THIS PLOT PLAN WAS PREPARED FOR THE TOWN OF NANTUCKET BUILDING DEPARTMENT ONLY AND SHOULD NOT BE CONSIDERED A PROPERTY LINE SURVEY. THIS PLAN SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES, FENCES, HEDGES OR ANY ANCILLARY STRUCTURES ON THE PREMISES. THE PROPERTY LINES SHOWN RELY ON CURRENT DEEDS AND PLANS OF RECORD. THIS PLOT PLAN IS NOT A CERTIFICATION AS TO TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR RECORDS.

ASSESSOR MAP: . . 55 . . PARCEL: . . 43.3 . .

13 NEW ST

Location 13 NEW ST

Mblu 55 / / 43/1 /

Acct# 00003198

Owner FELDBERG ELAINE Z

Assessment \$2,243,000

PID 3198

Building Count 2

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2019	\$2,243,000	\$0	\$2,243,000

Owner of Record

Owner FELDBERG ELAINE Z
Co-Owner C/O REPO PRODUCTS
Address 4485 ATLANTA RD
 SMYRNA, GA 30080

Sale Price \$1,540,000
Certificate
Book & Page 00970/0028
Sale Date 07/29/2005
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
FELDBERG ELAINE Z	\$1,540,000		00970/0028	00	07/29/2005
SEMPRINI WAYNE P & PAULETTE D	\$560,000		00750/0270	01	04/08/2002
DEY PENELOPE TR	\$0		00400/0030		10/23/1992

Building Information

Building 1 : Section 1

Year Built: 1965
Living Area: 1,976
Replacement Cost: \$2,089,580
Building Percent 90
Good:
Replacement Cost
Less Depreciation: \$1,880,600

Building Photo

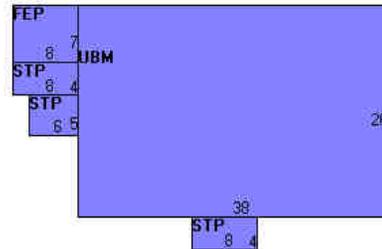
Building Attributes	
Field	Description
STYLE	Condominium
MODEL	Res Condo
Stories:	1.5

Grade	Good
Occupancy	1
Interior Wall 1:	Drywall/Sheet
Interior Wall 2:	
Interior Floor 1	Hardwood
Interior Floor 2	
Heat Fuel:	Oil
Heat Type:	Hot Water
AC Type:	None
Ttl Bedrms:	4 Bedrooms
Ttl Bathrms:	2 Full
Ttl Half Bths:	0
Xtra Fixtres	
Total Rooms:	5 Rooms
Bath Style:	Average
Kitchen Style:	Modern
Grade	Avg to Good
Stories:	1
Residential Units:	3
Exterior Wall 1:	Wood Shingle
Exterior Wall 2:	
Roof Structure	Gable/Hip
Roof Cover	Wood Shingle
Cmrc'l Units:	0
Res/Com Units:	0
Section #:	0
Parking Spaces	0
Section Style:	0
Foundation	
Security:	
Cmplx Cnd	
Xtra Field 1:	
Remodel Ext:	
Super	



(<http://images.vgsi.com/photos/NantucketMAPphotos//\00\00\86\08.jpg>)

Building Layout



(<http://images.vgsi.com/photos/NantucketMAPphotos//Sketches>)

Building Sub-Areas (sq ft)		Legend	
Code	Description	Gross Area	Living Area
BAS	First Floor	988	988
FHS	Half Story, Finished	988	988
FEP	Porch, Enclosed, Finished	56	0
STP	Stoop	94	0
UBM	Basement, Unfinished	988	0
		3,114	1,976

Building 2 : Section 1

Year Built: 2004
Living Area: 432
Replacement Cost: \$372,034
Building Percent Good: 96
Replacement Cost Less Depreciation: \$357,200

Building Attributes : Bldg 2 of 2	
Field	Description

Building Photo

CERTIFICATE NO: _____

DATE ISSUED: _____

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PROPERTY DESCRIPTION

TAX MAP N°: 55 PARCEL N°: 43.3
 Street & Number of Proposed Work: 13 WARREN ST
 Owner of record: OLWEN & DONALD PONGRACE
 Mailing Address: 4150 FORDHAM RD NW
WASHINGTON DC 20016
 Contact Phone #: 610 999 2525 E-mail: _____

AGENT INFORMATION (if applicable)

Name: ETHAN MCMORROW DESIGNS
 Mailing Address: PO BOX 1052
NANTUCKET MA 02554
 Contact Phone #: 228 0456 E-mail: ethan67@comcast.net

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other DORMERS
 Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

REVISIONS*
 1. East Elevation REPLACE DOOR w/ WINDOW
 2. South Elevation NEW DORMERS
 3. West Elevation NEW 4 LT WINDOW MOVE OUT DOOR SHOWER
 4. North Elevation NEW DORMER ADD DOOR
 Historic Name: _____
 Original Date: _____ (describe)
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A
 *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer 4/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar White Cedar, Shakes, etc.) TME
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other TO MATCH EXISTING
 B. Treatment Paint Natural to weather Other TO MATCH EXISTING
 C. Dimensions: Fascia TME Rake TME Soffit (Overhang) TME Corner boards TME Frieze TME
 Window Casing TME Door Frame TME Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other TO MATCH EXISTING
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer BOSTON SASH
Doors* (type and material): TDL SDL Front SIMPSON Rear _____ Side SIMPSON
 Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof NATURAL
 Trim GRAY (TME) Sash GRAY (TME) Doors TME
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications of the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

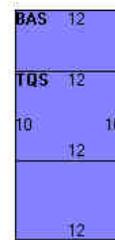
Date 11-19-18 Signature of owner of record _____ Signed under penalties of perjury

STYLE	Condominium
MODEL	Res Condo
Stories:	1.75
Grade	Avg to Good
Occupancy	1
Interior Wall 1:	Plastered
Interior Wall 2:	
Interior Floor 1	Hardwood
Interior Floor 2	
Heat Fuel:	Coal or Wood
Heat Type:	None
AC Type:	None
Ttl Bedrms:	00
Ttl Bathrms:	0
Ttl Half Bths:	1
Xtra Fixtres	
Total Rooms:	
Bath Style:	Average
Kitchen Style:	Modern
Grade	Avg to Good
Stories:	1
Residential Units:	3
Exterior Wall 1:	Wood Shingle
Exterior Wall 2:	
Roof Structure	Gable/Hip
Roof Cover	Wood Shingle
Cmrcd Units:	0
Res/Com Units:	0
Section #:	0
Parking Spaces	0
Section Style:	0
Foundation	
Security:	
Cmplx Cnd	
Xtra Field 1:	
Remodel Ext:	
Super	



(<http://images.vgsi.com/photos/NantucketMAPhotos//\00\01\32\90.jpg>)

Building Layout



(<http://images.vgsi.com/photos/NantucketMAPhotos//Sketches/3>)

Building Sub-Areas (sq ft)			<u>Legend</u>
Code	Description	Gross Area	Living Area
BAS	First Floor	312	312
TQS	Three Quarter Story	120	120
		432	432

Extra Features

Extra Features	<u>Legend</u>
No Data for Extra Features	

Land

Land Use

Use Code 1022
Description Condo House
Zone ROH
Neighborhood 550
Alt Land Appr Category No

Land Line Valuation

Size (Acres) 0
Frontage 0
Depth 0
Assessed Value \$0

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
FGR2	GARAGE-GOOD			323 S.F.	\$4,400	1
PAT1	PATIO-AVG			208 S.F.	\$800	2

Valuation History

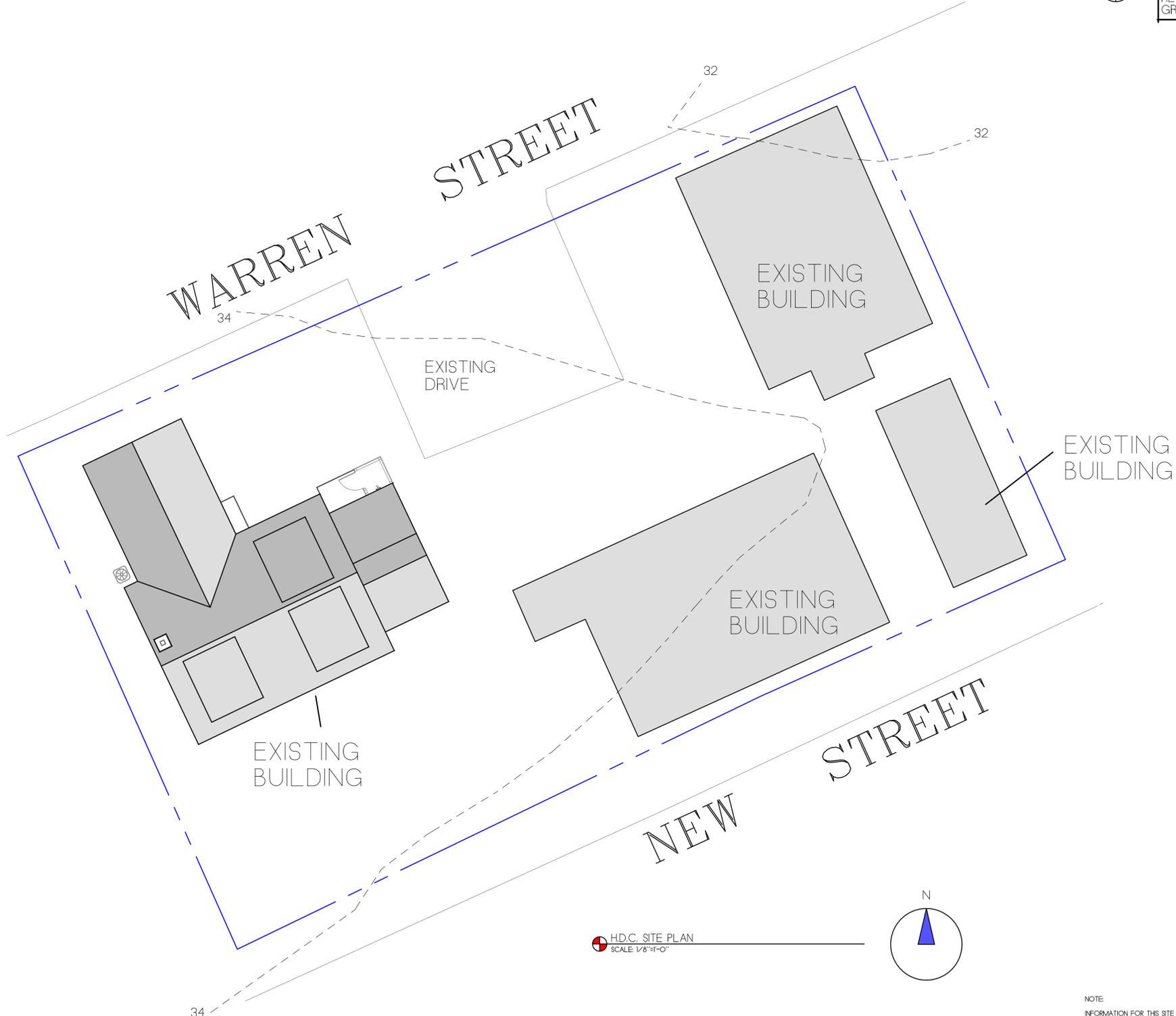
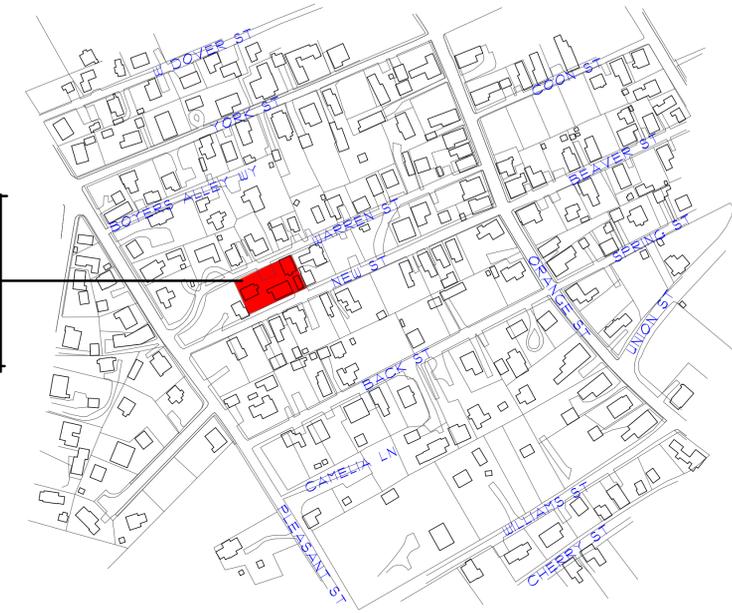
Assessment			
Valuation Year	Improvements	Land	Total
2018	\$1,965,200	\$0	\$1,965,200
2017	\$1,965,300	\$0	\$1,965,300
2016	\$1,892,200	\$0	\$1,892,200
2015	\$1,778,900	\$0	\$1,778,900
2014	\$1,778,900	\$0	\$1,778,900

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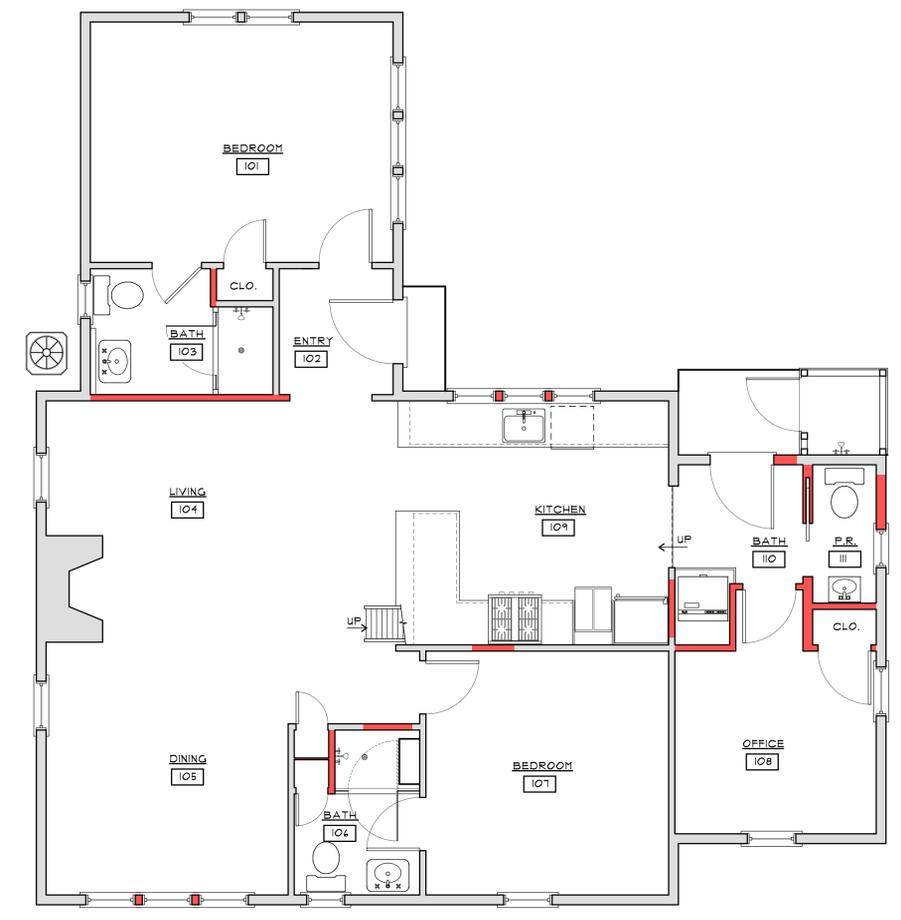
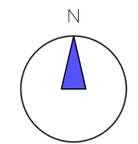
DOOR & WINDOW SCHEDULE				
SYM	MANUFACTURER	WINDOW SIZE	QTY.	REMARKS
A	BOSTON SASH	2'-3" X 2'-0"	3	4 LT. TO MATCH EXISTING UNIT UPPER SASH
B	BOSTON SASH	2'-0" X 3'-0"	1	4/4 D.H. (T.M.E.)
C	BOSTON SASH	1'-8" X 2'-0"	1	4 LT. FIXED UNIT
D	BOSTON SASH	2'-3" X 3'-8"	3	4/4 D.H. (T.M.E.)
E	BOSTON SASH	2'-3" X 3'-8"	1	4/4 D.H. (T.M.E.)
1	SIMPSON	3'-0" X 4'-8"	1	1/2 LT. 1 PNL. EXTERIOR DOOR
2	SIMPSON	3'-0" X 4'-8"	1	4 LT. 1 PNL. EXTERIOR DOOR

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL UNIT DIMENSIONS PRIOR TO ORDERING. IF THERE ARE ANY QUESTIONS OR DISCREPANCIES PLEASE CONTACT THE DESIGNERS.

ZONING CLASSIFICATION: R.O.H.
 MAP: 55 PARCEL: 43.3
 MIN. AREA: 5,000 sqft.
 MIN. FRONTAGE: 50 ft.
 FRONT YARD S.B.: 0 ft.
 SIDE S.B.: 5 ft.
 REAR S.B.: 5 ft.
 GROUND COVER (%): 50%



HDC SITE PLAN
 SCALE 1/8"=1'-0"



FLOOR PLAN
 SCALE 1/4"=1'-0" 1/80 SF.

KEY:
 NEW WALLS: [Red line]
 EXISTING WALLS: [Black line]

REVISIONS:
 11/21/2003: AS-BUILT MEASURING
 11/15/2019: PROGRESS PRINT
 11/20/2019: HDC PRINT
 1/09/2020: PROGRESS PRINT
 1/11/2020: HDC REVISION

NOTE:
 INFORMATION FOR THIS SITE PLAN WAS TAKEN FROM THE NANTUCKET GIS MAPS AND A SUPPLIED SURVEY FROM THE LAND REGISTRATION OFFICE BY NANTUCKET SURVEYORS INC. DATED MAY 31 2002 THIS DRAWING DOES NOT CONSTITUTE A REGISTERED SURVEY AND IS FOR THE NANTUCKET HISTORIC DISTRICT COMMISSION USE ONLY. ALL SITE WORK SHOULD BE VERIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO AND DURING CONSTRUCTION.

NOTE:
 IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CAREFULLY REVIEW ALL WORKING DRAWINGS AND DETAILS FOR ACCURACY AND CONSISTENCY. THE DESIGNER & ENGINEER OF RECORD CANNOT BE HELD RESPONSIBLE FOR WORK INITIATED INCORRECTLY DUE TO MISUNDERSTANDING OR MISINTERPRETATION. IF THERE ARE ANY QUESTIONS AFTER THE STRUCTURAL DRAWINGS HAVE BEEN REVIEWED, PLEASE CALL THE ENGINEER OF RECORD BEFORE INITIATING ANY WORK.

NOTE:
 ALL SITE WORK SHOULD BE VERIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO AND DURING CONSTRUCTION FOR PROPER LOCATION OF PROPERTY & SETBACK LINES.

NOTE:
 ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN CHARGE.

COPYRIGHT NOTICE <small>These drawings are the property of Ethan McMorris Design & Assoc, Inc. may not be used without the express written authorization from Ethan McMorris Design & Associates Inc.</small>	PONGRACE RESIDENCE DRAWN BY: ETHAN MCMORRIS		MAP: 55 PARCEL: 43.3 HDC SITE PLAN ONLY		SHEET NO. S 1
	F.O. BOX 1032 NANTUCKET, MA 02554 PHONE 508-228-0456 email ethan@7cconcat.net		ADDRESS: 13 WARREN STREET NANTUCKET, MA 02554	DATE: 1/11/2020	



NORTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS:
11/21/2003: AS-BUILT MEASURING
11/15/2019: PROGRESS PRINT
11/19/2019: PROGRESS PRINT
11/20/2019: HDC PRINT
1/09/2020: PROGRESS PRINT
1/11/2020: HDC REVISION

NOTE:
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NOTE:
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PONGRACE RESIDENCE
DRAWN BY: ETHAN MCMORROW
P.O. BOX 1292
NANTUCKET, MA 02554
PHONE 508-228-0456 email: ethan@comcast.net

MAP: 55 PARCEL: 43.3
ELEVATIONS
ADDRESS: 13 WARREN STREET NANTUCKET, MA 02554
DATE: 1/11/2020
SCALE: 1/4" = 1'-0"

SHEET NO.
a 2

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 55 PARCEL N°: 43.3
 Street & Number of Proposed Work: 13 ~~WARREN~~ WARREN ST
 Owner of record: OLWEN + DONALD PONGRACE
 Mailing Address: 4150 FORDHAM RD NW
WASHINGTON DC 20016
 Contact Phone #: 610 999 2529 E-mail: _____

AGENT INFORMATION (if applicable)

Name: ETHAN M'MORROW DESIGNS
 Mailing Address: PO BOX 1052
NANTUCKET MA 02554
 Contact Phone #: 228 0456 E-mail: ethan@76.comcast.net

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 6'-0" Sq. Footage 1st floor: 60 Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 10'-0" Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North -0- South -0- East -0- West -0-
 Height of ridge above final finish grade: North 10'-9"± South 10'-9"± East 10'-9"± West 10'-9"±

Additional Remarks

REVISIONS*

- Historic Name: _____
 Original Date: _____ (describe)
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6'-8"± Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 7/12 TME Secondary Mass _____/12_____ Dormer _____/12_____ Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) TME
 Fence: Height: _____
 Type: _____
 Length: _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front _____ Side _____
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other TO MATCH HOUSE
 C. Dimensions: Fascia TME Rake TME Soffit (Overhang) TME Corner boards _____ Frieze _____
 Window Casing TME Door Frame TME Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other RE-USE WINDOW FROM HOUSE
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front CUSTOM WOOD Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

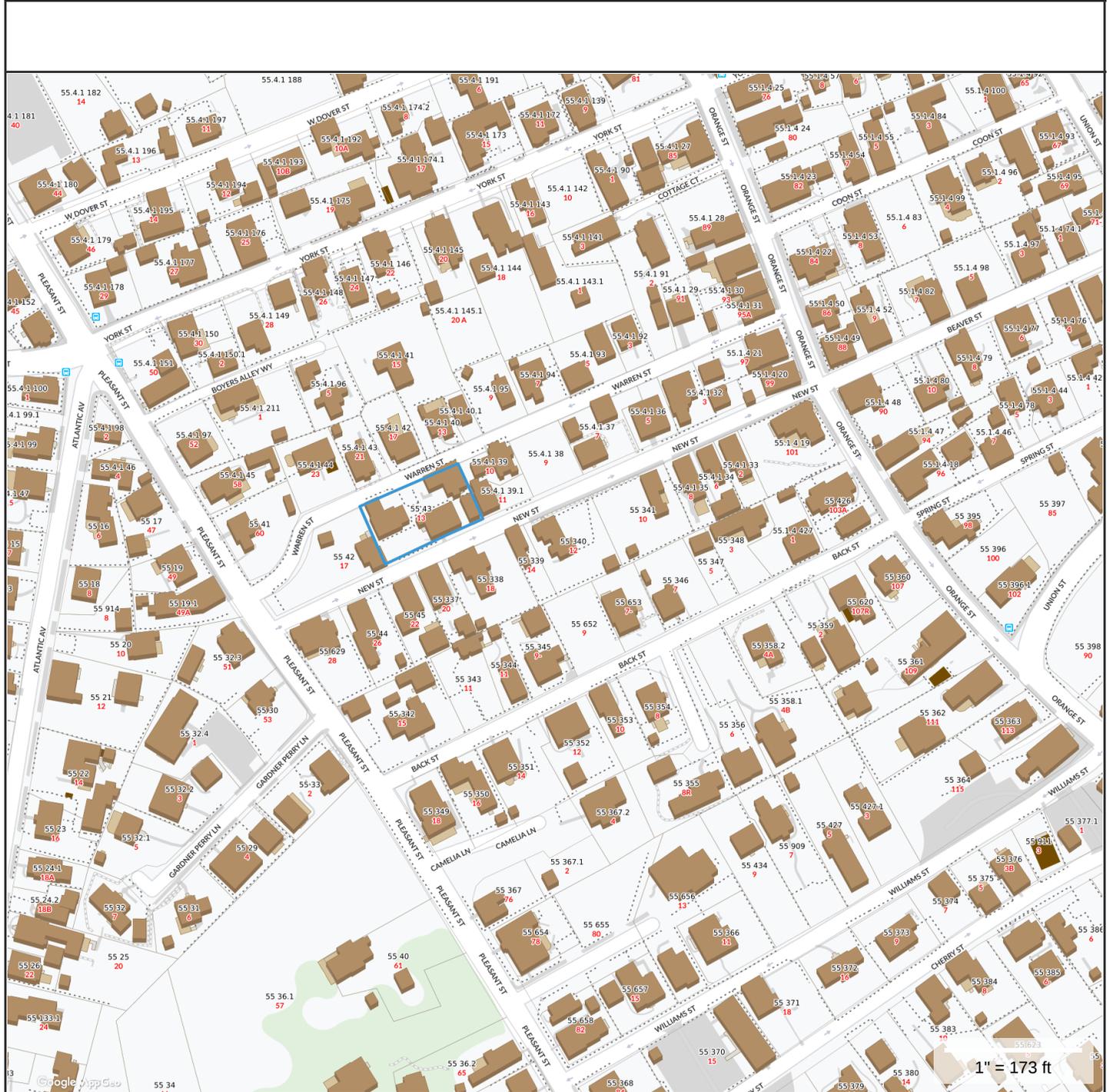
COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof NATURAL
 Trim WHITE Sash WHITE Doors WHITE
 Deck _____ Foundation NATURAL Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 1-16-2020 Signature of owner of record _____ Signed under penalties of perjury



Property Information

Property ID 55 43.1
Location 13 NEW ST
Owner FELDBERG ELAINE Z



MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
 Data updated 11/19/2018

13 NEW ST

Location 13 NEW ST

Mblu 55 / / 43/1 /

Acct# 00003198

Owner FELDBERG ELAINE Z

Assessment \$2,243,000

PID 3198

Building Count 2

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2019	\$2,243,000	\$0	\$2,243,000

Owner of Record

Owner FELDBERG ELAINE Z
Co-Owner C/O REPO PRODUCTS
Address 4485 ATLANTA RD
 SMYRNA, GA 30080

Sale Price \$1,540,000
Certificate
Book & Page 00970/0028
Sale Date 07/29/2005
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
FELDBERG ELAINE Z	\$1,540,000		00970/0028	00	07/29/2005
SEMPRINI WAYNE P & PAULETTE D	\$560,000		00750/0270	01	04/08/2002
DEY PENELOPE TR	\$0		00400/0030		10/23/1992

Building Information

Building 1 : Section 1

Year Built: 1965
Living Area: 1,976
Replacement Cost: \$2,089,580
Building Percent 90
Good:
Replacement Cost
Less Depreciation: \$1,880,600

Building Photo

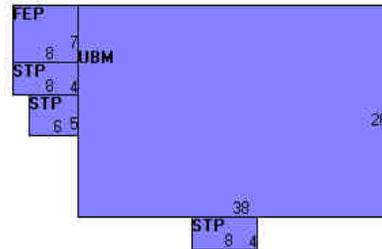
Building Attributes	
Field	Description
STYLE	Condominium
MODEL	Res Condo
Stories:	1.5

Grade	Good
Occupancy	1
Interior Wall 1:	Drywall/Sheet
Interior Wall 2:	
Interior Floor 1	Hardwood
Interior Floor 2	
Heat Fuel:	Oil
Heat Type:	Hot Water
AC Type:	None
Ttl Bedrms:	4 Bedrooms
Ttl Bathrms:	2 Full
Ttl Half Bths:	0
Xtra Fixtres	
Total Rooms:	5 Rooms
Bath Style:	Average
Kitchen Style:	Modern
Grade	Avg to Good
Stories:	1
Residential Units:	3
Exterior Wall 1:	Wood Shingle
Exterior Wall 2:	
Roof Structure	Gable/Hip
Roof Cover	Wood Shingle
Cmrc'l Units:	0
Res/Com Units:	0
Section #:	0
Parking Spaces	0
Section Style:	0
Foundation	
Security:	
Cmplx Cnd	
Xtra Field 1:	
Remodel Ext:	
Super	



(http://images.vgsi.com/photos/NantucketMAPhotos//\00\00\86\08.jpg)

Building Layout



(http://images.vgsi.com/photos/NantucketMAPhotos//Sketches/)

Building Sub-Areas (sq ft)		Legend	
Code	Description	Gross Area	Living Area
BAS	First Floor	988	988
FHS	Half Story, Finished	988	988
FEP	Porch, Enclosed, Finished	56	0
STP	Stoop	94	0
UBM	Basement, Unfinished	988	0
		3,114	1,976

Building 2 : Section 1

Year Built: 2004
Living Area: 432
Replacement Cost: \$372,034
Building Percent Good: 96
Replacement Cost Less Depreciation: \$357,200

Building Attributes : Bldg 2 of 2	
Field	Description

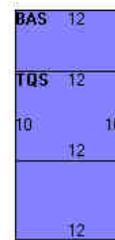
Building Photo

STYLE	Condominium
MODEL	Res Condo
Stories:	1.75
Grade	Avg to Good
Occupancy	1
Interior Wall 1:	Plastered
Interior Wall 2:	
Interior Floor 1	Hardwood
Interior Floor 2	
Heat Fuel:	Coal or Wood
Heat Type:	None
AC Type:	None
Ttl Bedrms:	00
Ttl Bathrms:	0
Ttl Half Bths:	1
Xtra Fixtres	
Total Rooms:	
Bath Style:	Average
Kitchen Style:	Modern
Grade	Avg to Good
Stories:	1
Residential Units:	3
Exterior Wall 1:	Wood Shingle
Exterior Wall 2:	
Roof Structure	Gable/Hip
Roof Cover	Wood Shingle
Cmrcd Units:	0
Res/Com Units:	0
Section #:	0
Parking Spaces	0
Section Style:	0
Foundation	
Security:	
Cmplx Cnd	
Xtra Field 1:	
Remodel Ext:	
Super	



(<http://images.vgsi.com/photos/NantucketMAPhotos//\00\01\32\90.jpg>)

Building Layout



(<http://images.vgsi.com/photos/NantucketMAPhotos//Sketches/3>)

Building Sub-Areas (sq ft)			<u>Legend</u>
Code	Description	Gross Area	Living Area
BAS	First Floor	312	312
TQS	Three Quarter Story	120	120
		432	432

Extra Features

Extra Features	<u>Legend</u>
No Data for Extra Features	

Land

Land Use

Use Code 1022
Description Condo House
Zone ROH
Neighborhood 550
Alt Land Appr Category No

Land Line Valuation

Size (Acres) 0
Frontage 0
Depth 0
Assessed Value \$0

Outbuildings

Outbuildings						Legend
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
FGR2	GARAGE-GOOD			323 S.F.	\$4,400	1
PAT1	PATIO-AVG			208 S.F.	\$800	2

Valuation History

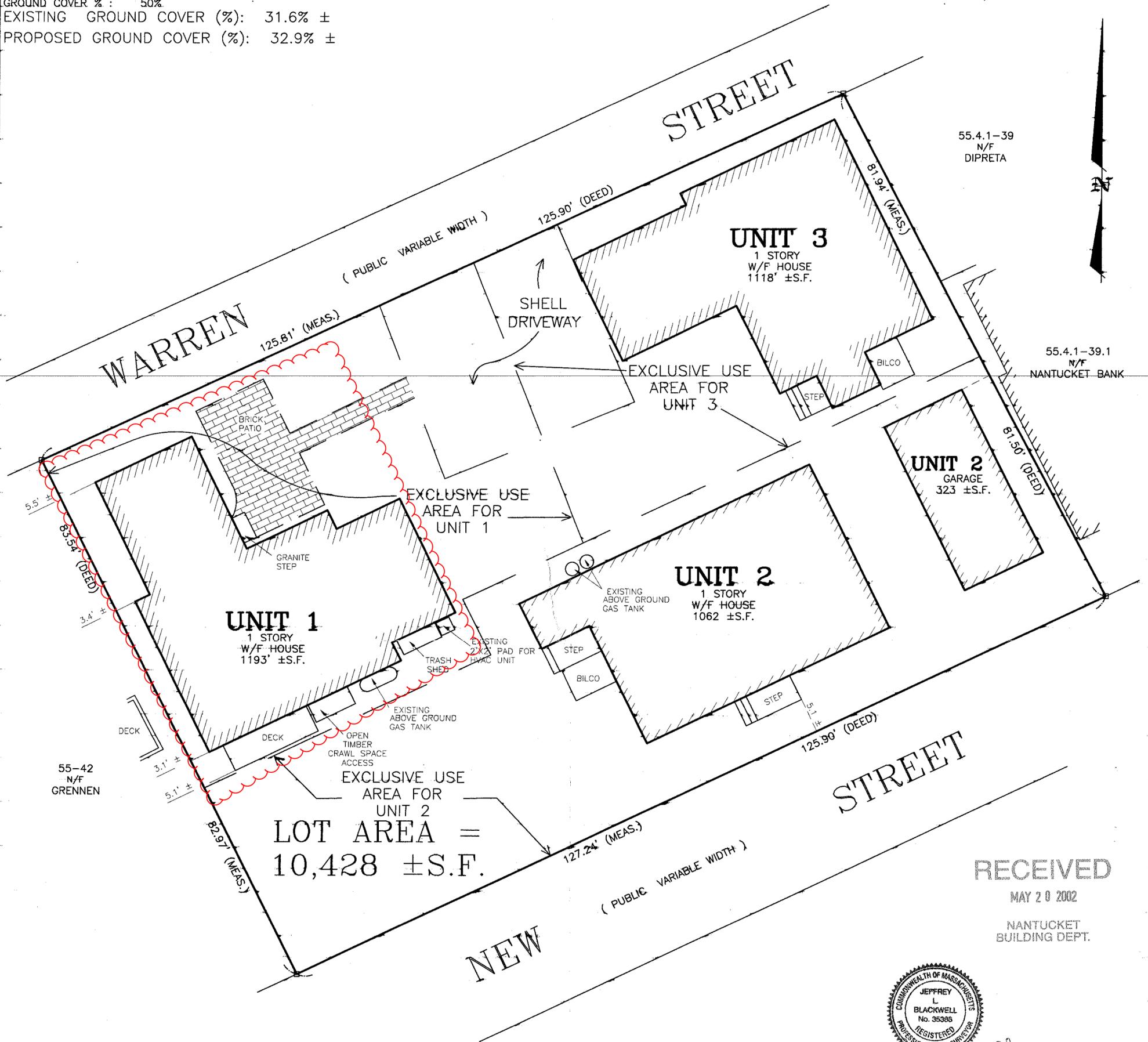
Assessment			
Valuation Year	Improvements	Land	Total
2018	\$1,965,200	\$0	\$1,965,200
2017	\$1,965,300	\$0	\$1,965,300
2016	\$1,892,200	\$0	\$1,892,200
2015	\$1,778,900	\$0	\$1,778,900
2014	\$1,778,900	\$0	\$1,778,900

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CURRENT ZONING CLASSIFICATION:
Residential Old Historic (R-OH)

MINIMUM LOT SIZE: 5000 S.F.
MINIMUM FRONTAGE: 50 FT.
FRONT YARD SETBACK: none
REAR/SIDE SETBACK: 5 FT.
GROUND COVER % : 50%
EXISTING GROUND COVER (%): 31.6% ±
PROPOSED GROUND COVER (%): 32.9% ±

ONLY ORIGINALLY STAMPED AND
ENDORSED COPIES OF THIS PLAN
SHALL BE ACKNOWLEDGED BY
THE CERTIFYING LAND SURVEYOR



RECEIVED
MAY 20 2002
NANTUCKET
BUILDING DEPT.



BUILDING LOCATION PLAN OF LAND IN NANTUCKET, MASS.

SCALE: 1" = 10' DATE: JULY 23, 2001
REV: MAY 13, 2002

OWNER: LAURIE H. DONOVAN, TRUSTEE of
WARREN STREET REALTY TRUST
DEED BOOK: 683, PG. 163 PLAN FILE: 47-B
UNIT No. 1 of the SHEARWATER CONDOMINIUM
LOCUS: #16 WARREN STREET

BLACKWELL and ASSOCIATES, Inc.
Professional Land Surveyors
20 TEASDALE CIRLCE
NANTUCKET, MASS. 02554
(508) 228-9026

GRAPHIC SCALE



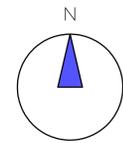
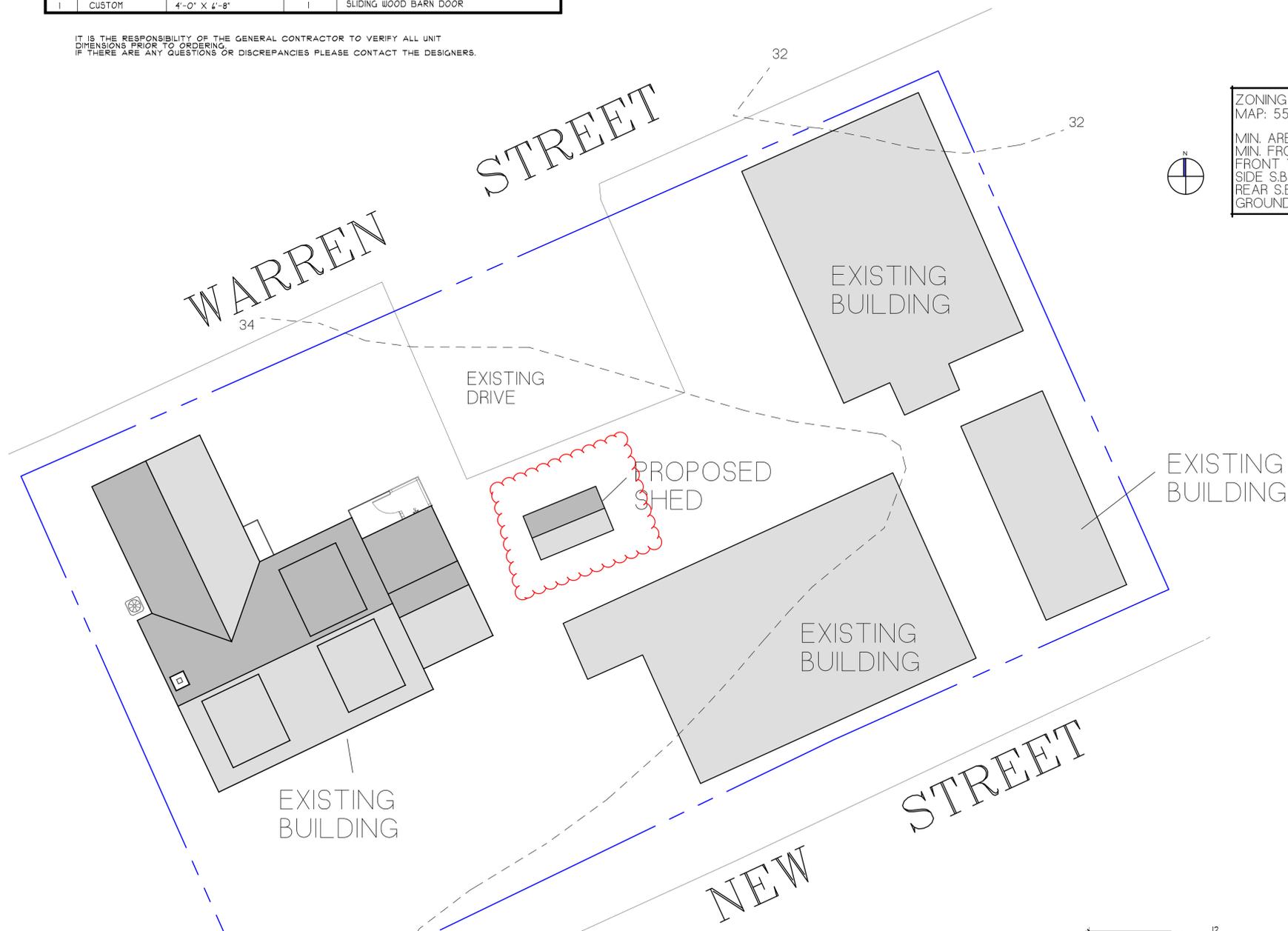
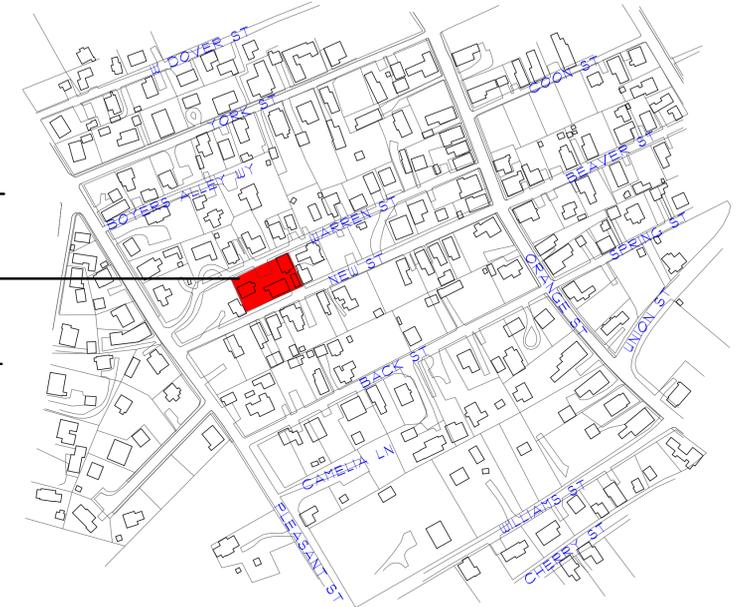
THIS PLOT PLAN WAS PREPARED FOR THE TOWN OF NANTUCKET BUILDING DEPARTMENT ONLY AND SHOULD NOT BE CONSIDERED A PROPERTY LINE SURVEY. THIS PLAN SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES, FENCES, HEDGES OR ANY ANCILLARY STRUCTURES ON THE PREMISES. THE PROPERTY LINES SHOWN RELY ON CURRENT DEEDS AND PLANS OF RECORD. THIS PLOT PLAN IS NOT A CERTIFICATION AS TO TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR RECORDS.

ASSESSOR MAP: . . 55 . . PARCEL: . . 43.3 . .

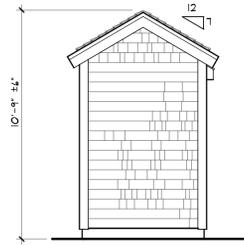
DOOR & WINDOW SCHEDULE				
SYM	MANUFACTURER	WINDOW SIZE	QTY.	REMARKS
A	EXISTING*	2'-3" X 2'-0"	1	4/4 D.H. (RE-USE EXISTING WINDOW)
I	CUSTOM	4'-0" X 4'-8"	1	SLIDING WOOD BARN DOOR

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL UNIT DIMENSIONS PRIOR TO ORDERING. IF THERE ARE ANY QUESTIONS OR DISCREPANCIES PLEASE CONTACT THE DESIGNERS.

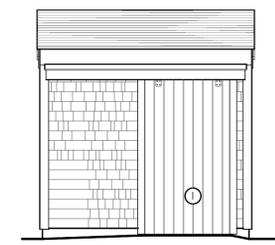
ZONING CLASSIFICATION: R.O.H.	
MAP: 55	PARCEL: 43.3
MIN. AREA:	5,000 sqft.
MIN. FRONTAGE:	50 ft.
FRONT YARD S.B.:	0 ft.
SIDE S.B.:	5 ft.
REAR S.B.:	5 ft.
GROUND COVER (%):	50%



H.D.C. SITE PLAN
SCALE: 1/8"=1'-0"



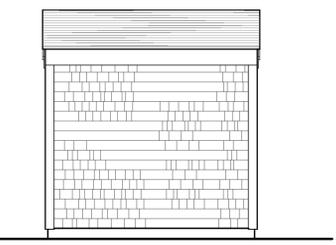
EAST ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS:
1/16/2020: SHED PLANS

NOTE:
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CAREFULLY REVIEW ALL WORKING DRAWINGS AND DETAILS FOR ACCURACY AND CONSISTENCY. THE DESIGNER & ENGINEER OF RECORD CANNOT BE HELD RESPONSIBLE FOR WORK INITIATED INCORRECTLY DUE TO MISUNDERSTANDING OR MISINTERPRETATION. IF THERE ARE ANY QUESTIONS AFTER THE STRUCTURAL DRAWINGS HAVE BEEN REVIEWED, PLEASE CALL THE ENGINEER OF RECORD BEFORE INITIATING ANY WORK.

NOTE:
ALL SITE WORK SHOULD BE VERIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO AND DURING CONSTRUCTION FOR PROPER LOCATION OF PROPERTY & SETBACK LINES.

NOTE:
ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN CHARGE.

COPYRIGHT NOTICE <small>These drawings are the property of Ethan McMorow Design & Assoc. Inc. and may not be used without the express written authorization from Ethan McMorow © Ethan McMorow Design & Associates Inc.</small>	PONGRACE RESIDENCE <small>DRAWN BY: ETHAN MCMORROW P.O. BOX 1032 NANTUCKET, MA 02554 PHONE 508-228-0456 email ethan@pconcat.net</small>		MAP: 55 PARCEL: 43.3 H.D.C. SITE PLAN ONLY		SHEET NO. s 2
	ADDRESS: 13 WARREN STREET NANTUCKET, MA 02554	DATE: 1/16/2020	SCALE: AS NOTED		

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 55.4.1 PARCEL N°: _____
Street & Number of Proposed Work: 15 WARREN STREET
Owner of record: MARY & PAULINE BOGAN
Mailing Address: 15 WARREN ST.
NANTUCKET, MA 01984
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: VALERIE DESIGN LINE
Mailing Address: PO BOX 3087
NANTUCKET, MA 01984
Contact Phone # (508) 325-4319 E-mail: val@valeriedesign.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 73358
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: N/C Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS: 1. East Elevation
Original Date: 1850 (describe) 2. South Elevation
Original Builder: (INFO IN FILE AT HDC) 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*DON'T WANT TO ADD SHUTTERS - FRONT
- REMOVE 2ND CHIMNEY (NOT HISTORIC)*

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

Fence: Height: _____
Type: _____
Length: _____

* Note: Complete door and window schedules are required.

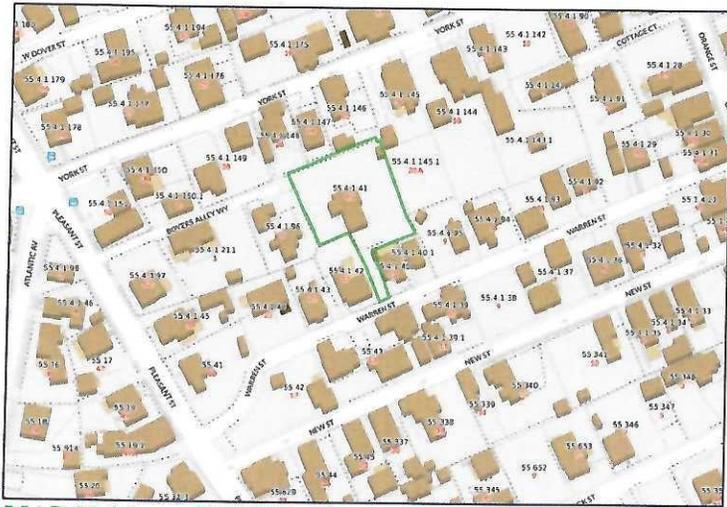
COLORS

Sidewall NO CHANGES NTW Clapboard (if applicable) _____ Roof GRAY BROWN
Trim WHITE Sash WHITE Doors WHITE
Deck NTW Foundation N/C Fence _____ Shutters NONE

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

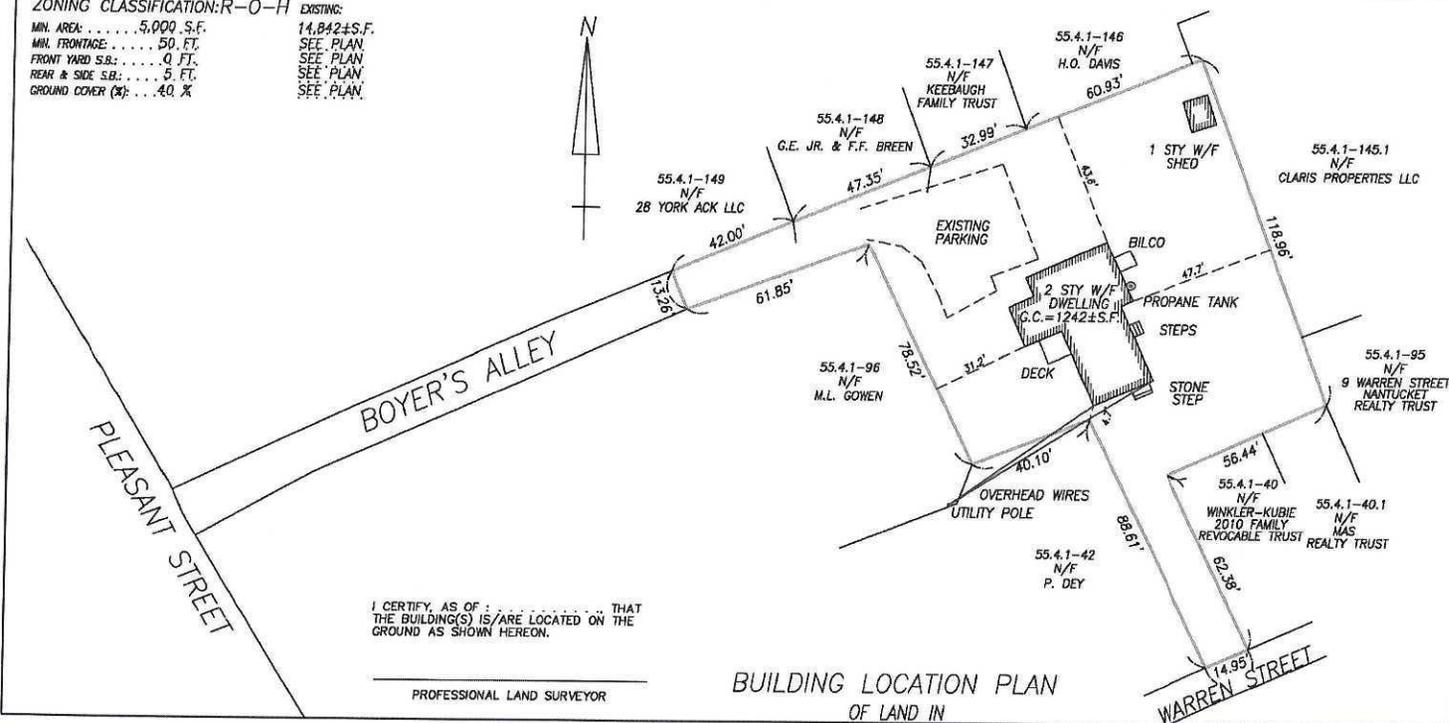
Date 1/15/20 Signature of owner of record _____ Signed under penalties of perjury _____



MAP 55.4.1 PARCEL 41



ZONING CLASSIFICATION: R-O-H EXISTING:
 MIN. AREA: 5,000 S.F. 14,842±S.F.
 MIN. FRONTAGE: 50 FT. SEE PLAN
 FRONT YARD S.B.: 0 FT. SEE PLAN
 REAR & SIDE S.B.: 5 FT. SEE PLAN
 GROUND COVER (%): 40. % SEE PLAN



I CERTIFY, AS OF THAT THE BUILDING(S) IS/ARE LOCATED ON THE GROUND AS SHOWN HEREON.

PROFESSIONAL LAND SURVEYOR

BUILDING LOCATION PLAN OF LAND IN

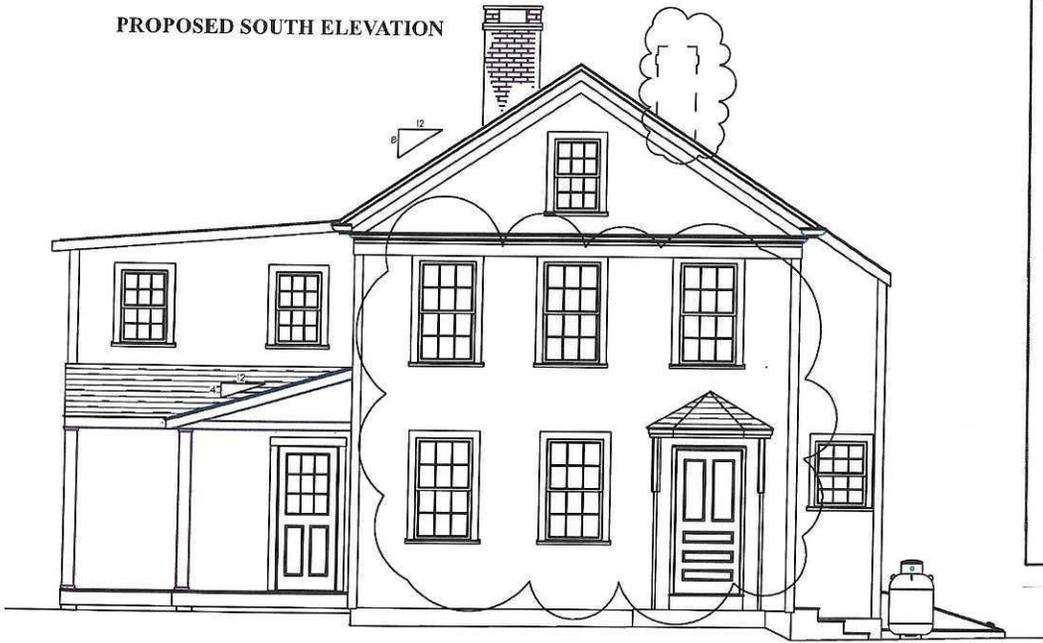
SCALE: 1/4"=1'
 DRAWN BY: VO
 DATE: 1-13-20

BOGAN- 15 WARREN STREET
 MINOR REV TO COA#73358

VAL OLIVER DESIGN, INC
 PO BOX 3057
 NANTUCKET, MA 02584



PROPOSED SOUTH ELEVATION



EXISTING SOUTH ELEVATION

ALTERATIONS PROPOSED- ELIMINATE ADDITIONS

1. REPLACE WINDOWS WITH 6/6 DIVIDED LIGHT AND REPAIR HARDWARE ON SECOND FLOOR.
2. FIRST FLOOR WINDOWS REGLAZED AND NEW SEUM-GLAZING
3. ADD SUTTERS AND BUSH OVER ROOF BACK SIDE SECOND FLOOR
4. KEEP ATTIC WINDOW BEING LEFT EXISTING, NO GO BACK TO FAN LIGHT AS IN PHOTO
5. ADD PORCH ON WEST

EXISTING WEST ELEVATION

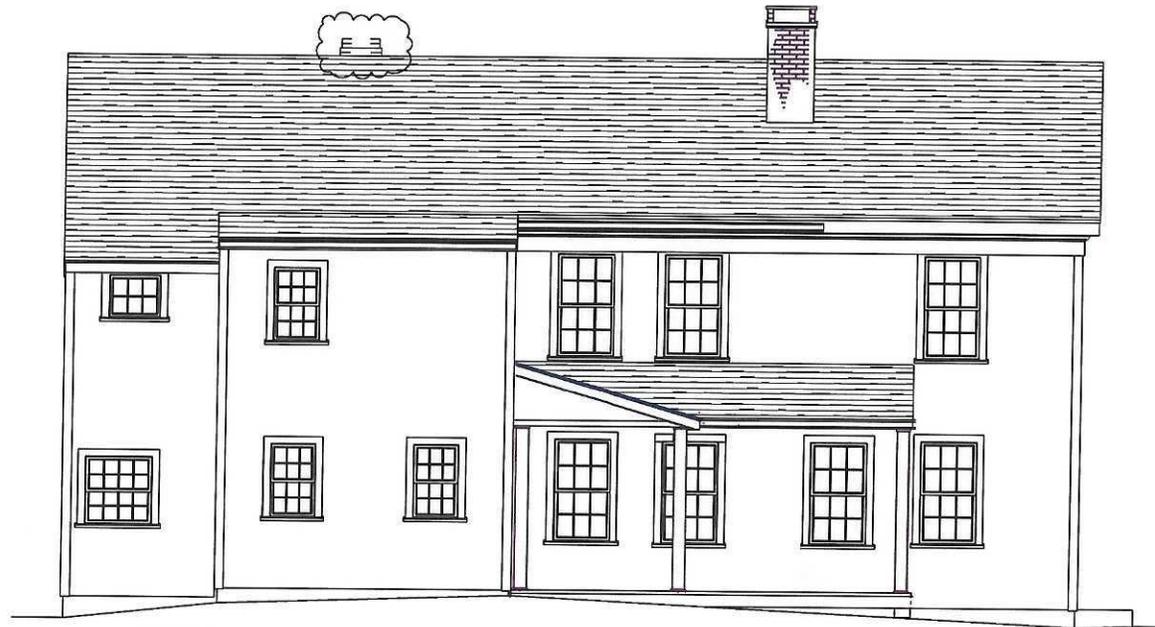
PREVIOUS SUBMISSION

BOGAN- 15 WARREN STREET
PROPOSED ALTERATIONS TO EXIST HOUSE

VAL OLIVER DESIGN, INC
PO BOX 3057
NANTUCKET, MA 02584

PROPOSED REVISIONS TO COA 73358

1. DO NOT WANT SHUTTERS
2. REMOVE SECONDARY CHIMNEY (NON HISTORIC ONE)



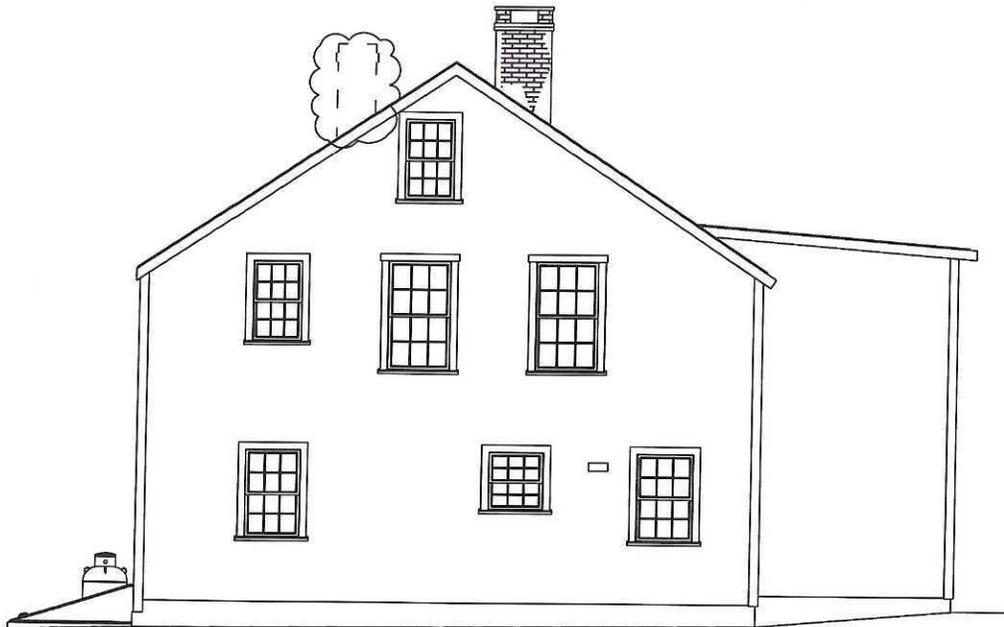
PROPOSED WEST ELEVATION

SCALE: 1/4"=1'-0"
DRAWN BY: VO
DATE: 1-13-20

BOGAN- 15 WARREN STREET
REV TO COA 73358

VAL OLIVER DESIGN, INC
PO BOX 3057
NANTUCKET, MA 02584





PROPOSED NORTH ELEVATION

PROPOSED REVISIONS TO COA 73358
1. REMOVE SECONDARY CHIMNEY
(NON HISTORIC ONE)



PROPOSED EAST ELEVATION

EXISTING NORTH ELEVATION

EXISTING EAST ELEVATION

ALTERATIONS PROPOSED: ELIMINATE ADJUSTING

1. REPLACE WINDOWS WITH THE EXISTING SIZE AND STYLE DOUBLE GLAZED ON SECOND FLOOR
2. FIRST FLOOR WINDOWS REGULAR AND NEW FLOOR SCHEDULE
3. ADD SMALL ROOF OVER DOOR

PREVIOUS SUBMISSION

VAL OLIVER DESIGN, INC.
 30 BOX 3057
 NANTUCKET, MA 02584

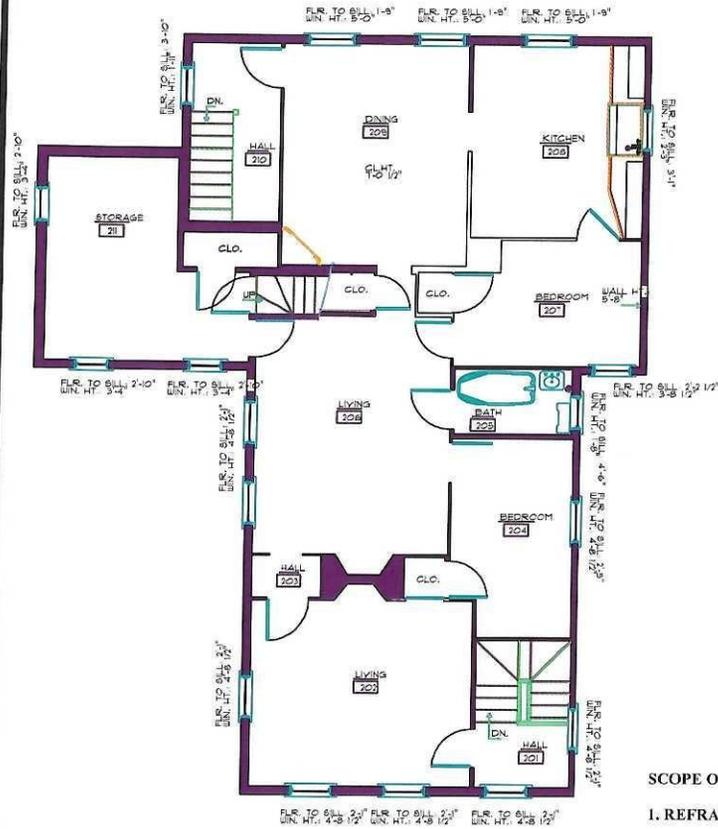
BOGAN-15 WARREN STREET
 PROPOSED ALTERATIONS

SCALE: 1/4"=1'
DRAWN BY: VO
DATE: 1-13-20

VAL OLIVER DESIGN, INC
PO BOX 3057
NANTUCKET, MA 02584

BOGAN-15 WARREN STREET
REV TO COA 73358

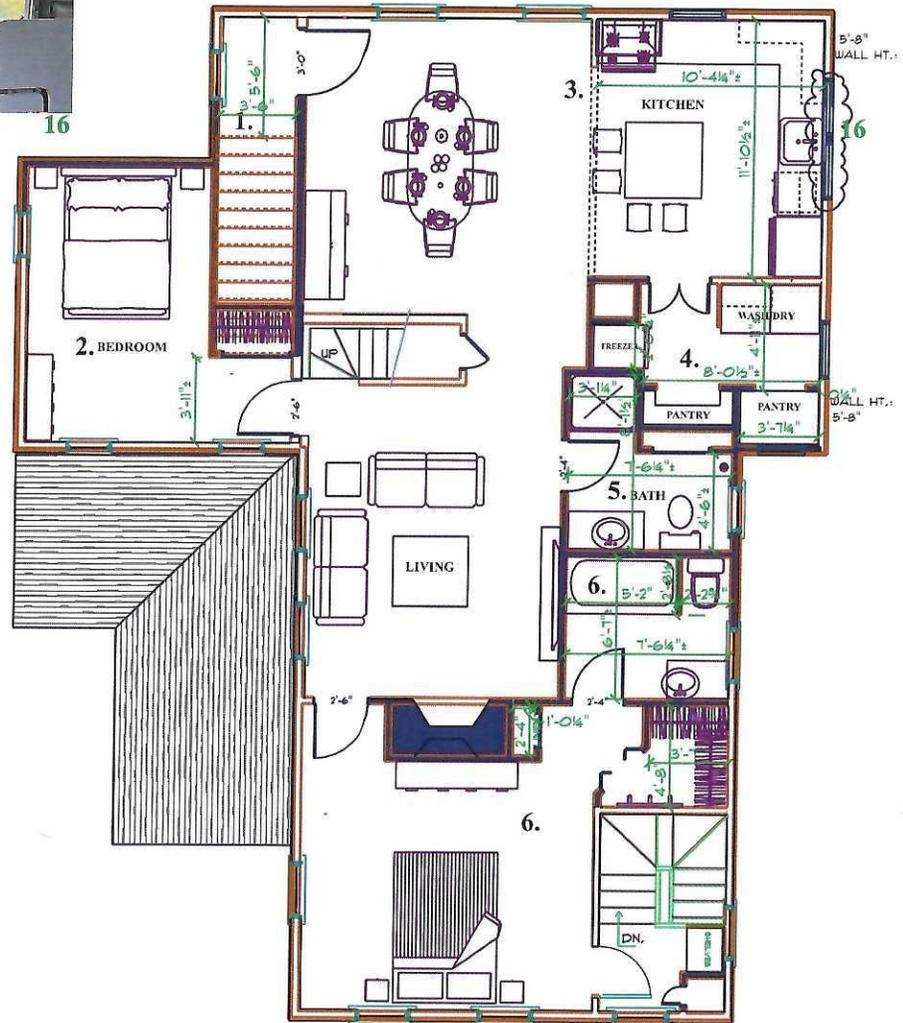
SCALE: 1/4"=1'
DRAWN BY: VO
DATE: 1-13-20



EXISTING SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



PROPOSED ALTERATIONS- SECOND FLOOR PLAN (630SF +/-)



SCOPE OF WORK:

1. REFRAME STAIRS (WIDER)
2. TURN STORAGE ROOM INTO A BEDROOM
3. REMOVE WALL AND REMODEL EXISTING KITCHEN
4. ADD LAUNDRY/PANTRY
5. REMODEL EXIST BATH
6. CREATE MASTER SUITE WITH PRIVATE BATH
7. REPLACE ALL WINDOWS WITH TRU DIVIDED LIGHT WITH STORM-SCREEN UNITS

GENERAL CONSTRUCTION REQUIREMENTS:

1. ALL WORK SHALL COMPLY WITH THE STATE AND LOCAL CODES.
2. CONCRETE SHALL BE 3000PSI OR STRONGER
3. STEEL REINFORCEMENT SHALL BE 60000 PSI DEFORMED B&T
4. PROVIDE WATERPROOFING AS REQUIRED BY STATE CODES.
5. PROVIDE FOOTING DRAINS AS REQUIRED.
6. PROVIDE ANCHOR BOLTS AS REQUIRED BY CODE.
7. UNLESS OTHERWISE SPECIFIED, MASONRY CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL FOUNDATION MOISTURE PROOFING.
8. ALL CONSTRUCTION MUST COMPLY WITH THE CURRENT MASSACHUSETTS STATE BUILDING CODE 180 CMR OR IECC 2015-STATE BOARD OF BUILDING REGULATIONS AND STANDARDS.

DISCLAIMER NOTE:

AN ARCHITECTURAL DESIGNER IS NOT A REGISTERED ARCHITECT AND DOES NOT ASSUME THE SAME RESPONSIBILITIES AS ONE. PRIOR TO ANY CONSTRUCTION, THE OWNER AND/OR CONTRACTOR ARE RESPONSIBLE FOR REVIEWING ALL PROJECT REQUIREMENTS (DEPICTED IN THESE DRAWINGS), AS TO CONFORMITY WITH ALL STATE AND LOCAL BLDG CODES AND REGULATIONS. THESE REQUIREMENTS ARE INCLUDING BUT NOT LIMITED TO, ZONING, CONSERVATIONS, AND HEALTH DEPTS. CONTRACTOR AND/OR OTHER PROFESSIONALS MUST CHECK AND VERIFY ALL CRITICAL TOLERANCES AND DIMENSIONS FOR PROPER SIZING AND DETAILING OF STRUCTURAL ELEMENTS BEFORE CONSTRUCTION.

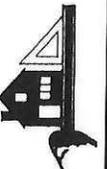
SCALE: 1/4"=1'

DRAWN BY: VO

DATE: 10-12-19

BOGAN- 15 WARREN STREET
PROPOSED ALTERATIONS

VAL OLIVER DESIGN, INC
PO BOX 3057
NANTUCKET, MA 02584



Ash Residence

23 Pine Street
Nantucket, MA 02554



1944
Ash Residence
23 Pine Street
Nantucket, MA 02554



Cover Sheet

Site Information

Map & Parcel:	42.3.2 / 113
Current Zoning:	ROH
Minimum Frontage:	50'
Front Setback:	None
Side/Rear Setback:	5'
Lot Size:	3,833 SF +/-
Min. Lot Size:	5,000 SF
Allowable G.C.:	1,533 SF +/-
Existing G.C.:	751 SF +/-
Proposed G.C.:	1,145 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

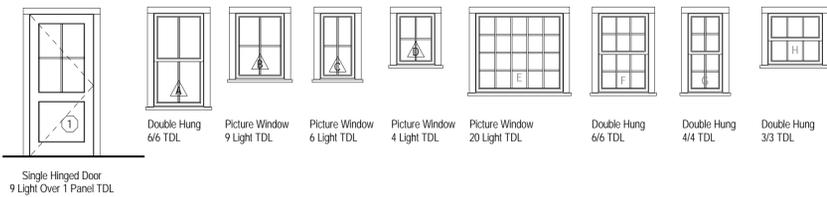
G.1.1	Cover Sheet
A.1.1	Floor Plans
A.1.2	Floor Plans
A.2.1	Exterior Elevations
F.1.1	Foundation Plan
S.1.1	Framing Plans
S.1.2	Roof Framing Plan
S.2.1	Building Sections

01.22.20



1 Locus Map

Not to Scale



WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
A	15			Green Mountain		EGRESS WINDOW	≥ 30
B	8			**			≥ 30
C	8	1'-10" +/-	3'-2" +/-	**			≥ 30
D	1	2'-0" +/-	2'-6" +/-	**			≥ 30
F	7						≥ 30
Q	4						≥ 30

DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
1	1	3'-0"	6'-8"	TBD			
59	1	7'-6"	7'-6"	Custom	Custom		

2 Window/Door Legend

1/4" = 1'-0"

WINDOW & DOOR NOTES

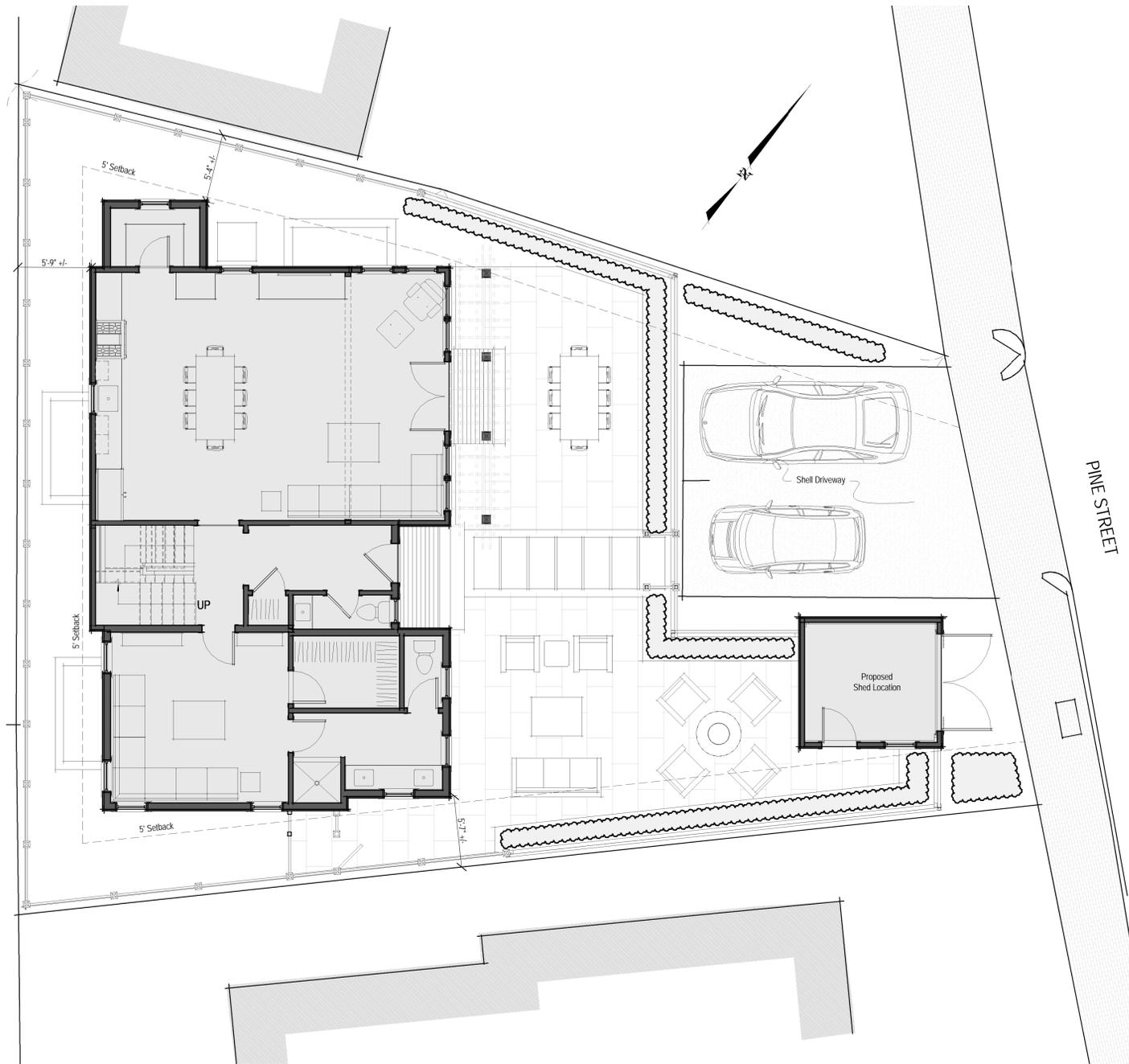
- Windows w/ DP Rating of 30 or Greater Required
- Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
- Refer to Plan for Tempered Glass Locations. Contractor to Verify Tempered Windows are Provided Where Required
- Contractor shall install Self Adhesive Flexible Window Flashing by Grace or Equal
- General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & are in Accordance w/ Massachusetts Minimum Egress Requirements
- General Contractor to Verify Window & Door Order Matches or Exceeds Required Energy Ratings
- Contractor shall Provide Architect w/ Window & Door Quote for Quantity & Type Verification Prior to Order
- Contractor to Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior to Order
- The Unit Measurements Given in this Document are For A Guide Only
- Due to Slight Discrepancies & Changes in Manufacturing, Contractors Must Verify Rough Opening Dimensions of All Windows & Doors w/ Manufacturer Prior Framing
- All Windows Must Have A 0.32 U-factor Or Better

East

North

West

South



3 Site Plan

3/16" = 1'-0"

HDC Submission

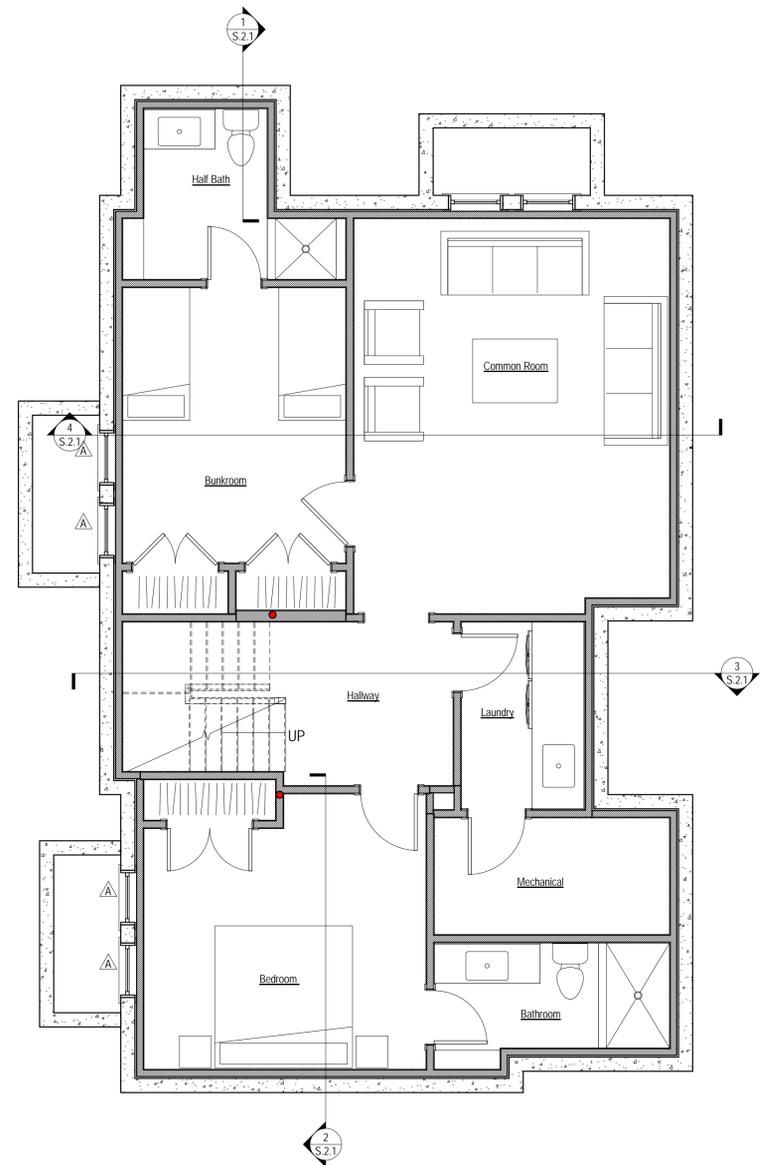
Revisions

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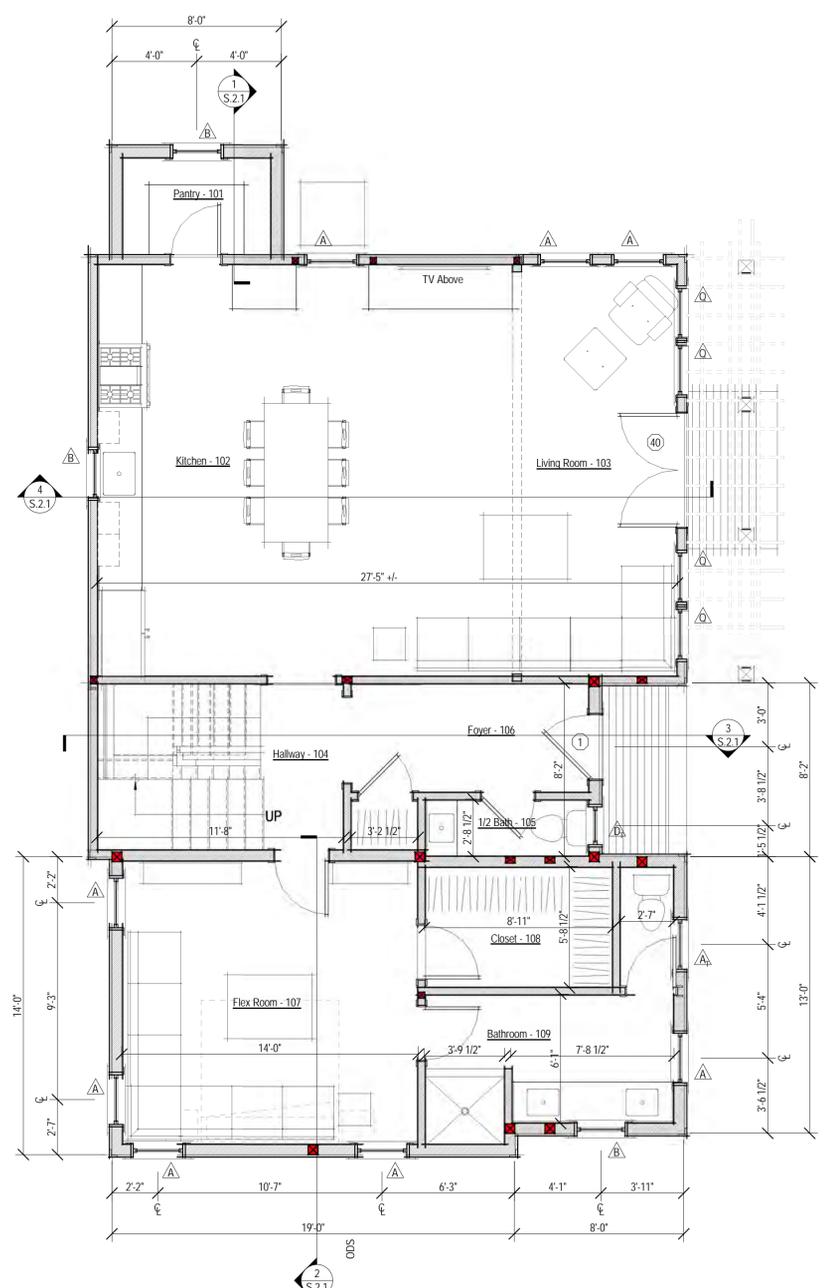
G.1.1
1944

01.22.20

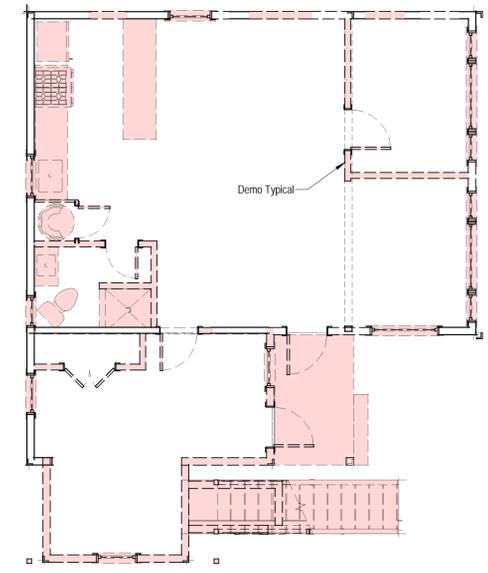
HDC Submission



1 Basement Plan
1/4" = 1'-0"



2 Proposed First Floor Plan
1/4" = 1'-0"



3 Existing First Floor Demo Plan
3/16" = 1'-0"

PARTITION LEGEND

	Existing 2x4 Partition, Dimensioned to Face of Wall Finish		Existing 2x6 Partition, Dimensioned to Face of Wall Finish
	Proposed 2x4 Partition, Dimensioned to Face of Stud		Proposed 2x6 Partition, Dimensioned to Face of Stud

EXISTING CONDITIONS NOTES:

- Plan Dimensions and Building Heights Reflected in Existing/Demolition Plans are Based on Field Measurements Recorded by Architect and Surveyor. Contractor to Notify Architect Immediately of Any Major Discrepancy Discovered Between the Drawings and the Actual Existing Conditions, Especially Where Concerning the Existing Foundation and Structure.
- Existing Framing Sizes and Span Directions to be Verified by Contractor Prior to Beginning Construction.
- Plumb Down From All Existing Stud Walls When Setting Foundation Forms. Verify All Foundation Wall Dimension in Field.

1944
Ash Residence

23 Pine Street
Nantucket, MA 02554

8 Williams Lane Nantucket, MA 02554
P. 508.325.4995
F. 508.325.6980
www.emeritusdevelopment.com

Floor Plans

Site Information

Map & Parcel:	42.3.2 / 113
Current Zoning:	ROH
Minimum Frontage:	50'
Front Setback:	None
Side/Rear Setback:	5'
Lot Size:	3,833 SF +/-
Min. Lot Size:	5,000 SF
Allowable G.C.:	1,533 SF +/-
Existing G.C.:	751 SF +/-
Proposed G.C.:	1,145 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 Floor Plans
- A.1.2 Floor Plans
- A.2.1 Exterior Elevations
- F.1.1 Foundation Plan
- S.1.1 Framing Plans
- S.1.2 Roof Framing Plan
- S.2.1 Building Sections

Revisions

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A.1.1
1944

01.22.20

HDC Submission

1944 Ash Residence

23 Pine Street
Nantucket, MA 02554

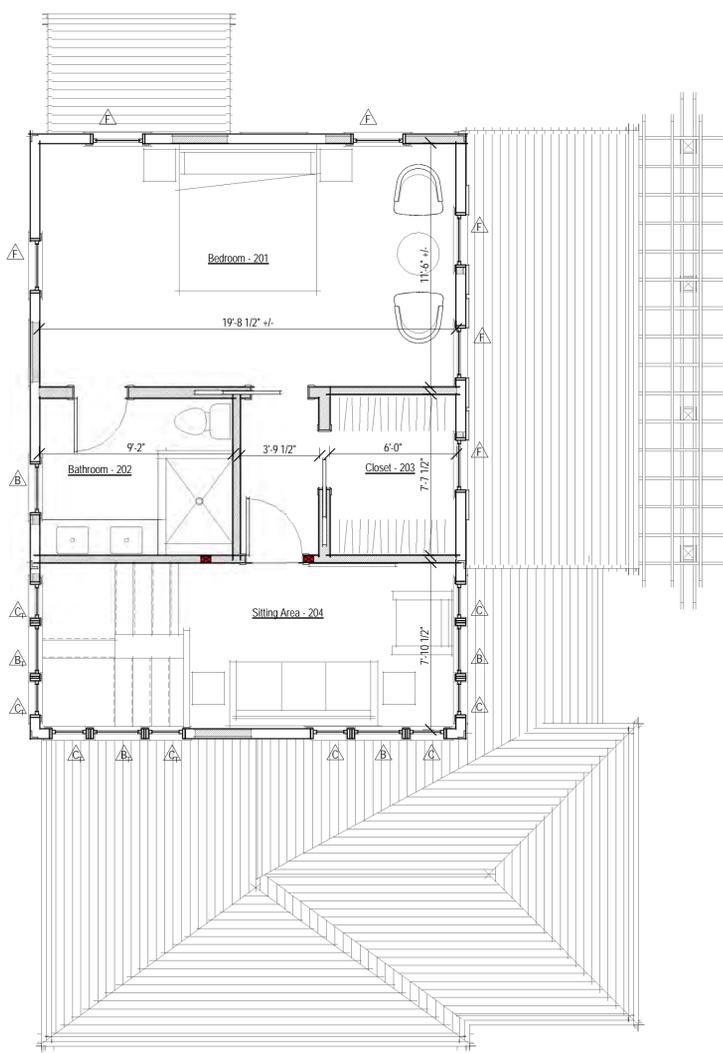


Floor Plans

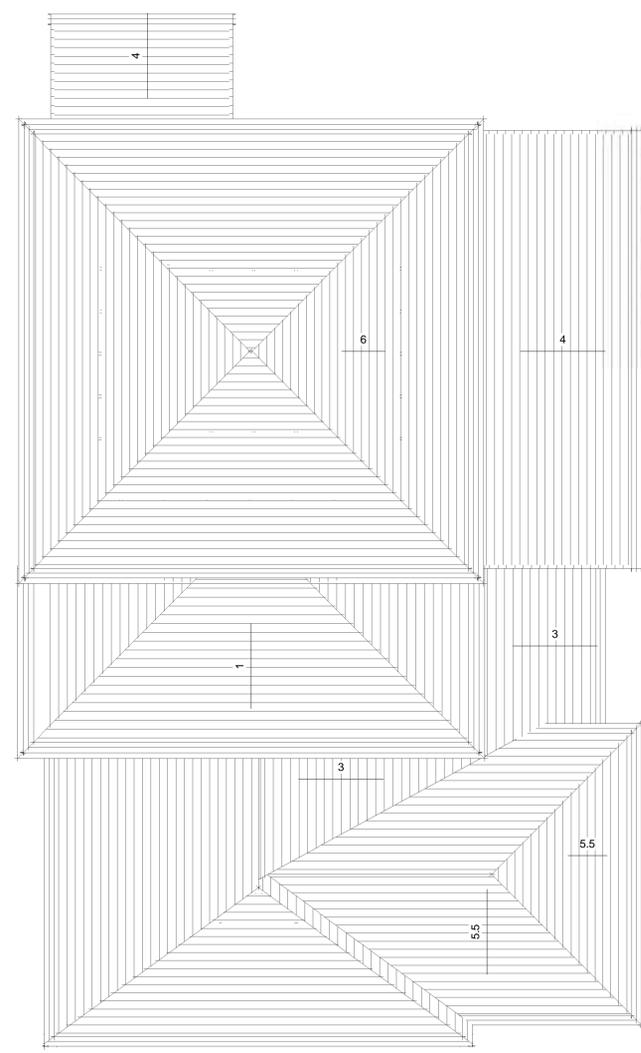
Site Information

Map & Parcel:	42.3.2 / 113
Current Zoning:	ROH
Minimum Frontage:	50'
Front Setback:	None
Side/Rear Setback:	5'
Lot Size:	3,833 SF +/-
Min. Lot Size:	5,000 SF
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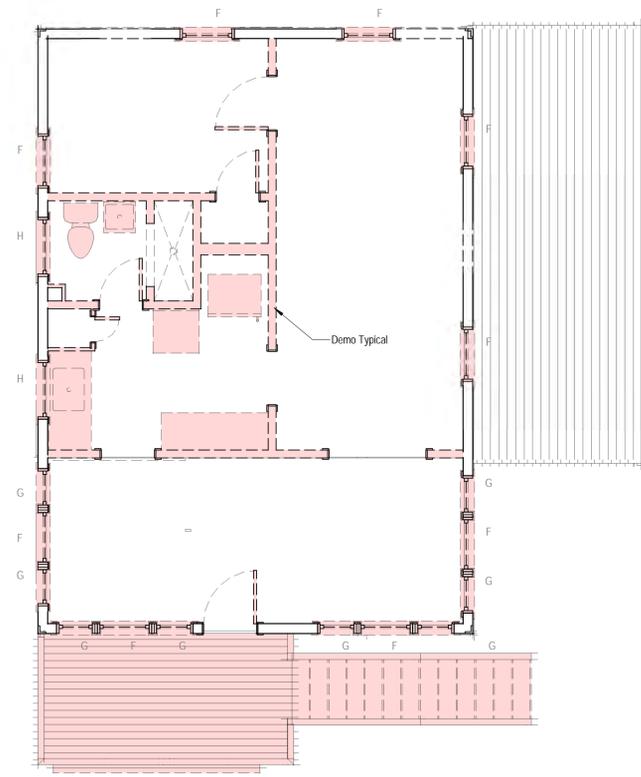
Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.



1 Proposed Second Floor Plan
1/4" = 1'-0"



2 Roof Plan
1/4" = 1'-0"



3 Existing Second Floor Demo Plan
1/4" = 1'-0"

PARTITION LEGEND	
	Existing 2x4 Partition, Dimensioned to Face of Wall Finish
	Existing 2x6 Partition, Dimensioned to Face of Wall Finish
	Proposed 2x4 Partition, Dimensioned to Face of Stud
	Proposed 2x6 Partition, Dimensioned to Face of Stud

EXISTING CONDITIONS NOTES:

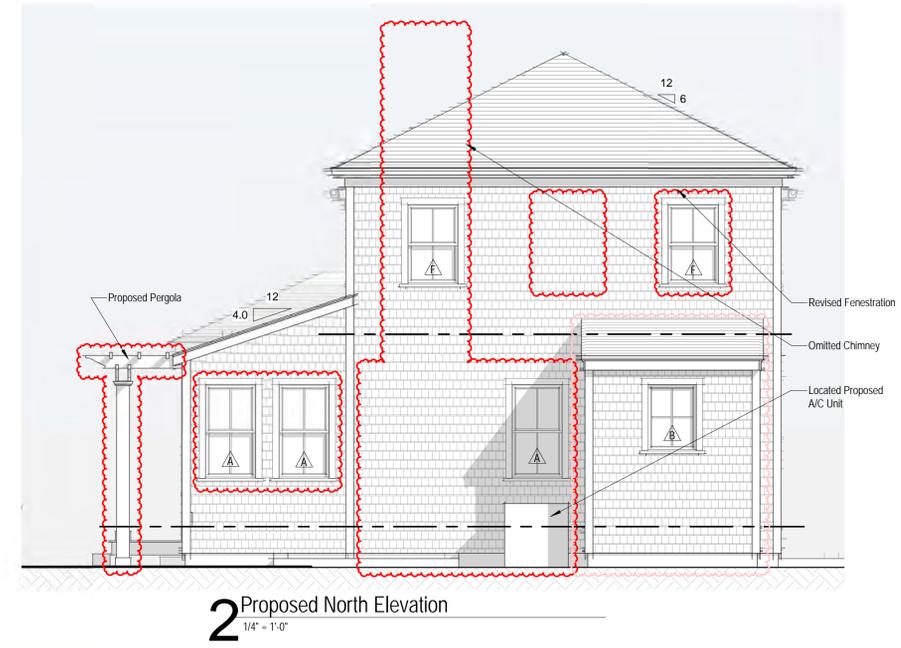
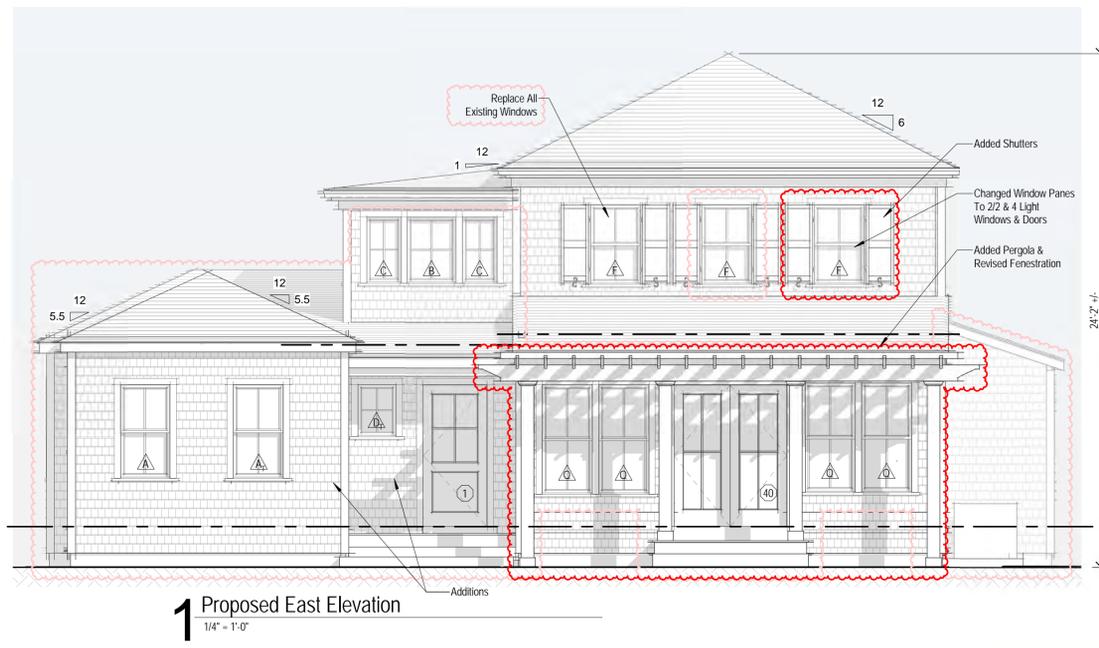
- Plan Dimensions and Building Heights Reflected in Existing/Demolition Plans are Based on Field Measurements Recorded by Architect and Surveyor. Contractor to Notify Architect Immediately of Any Major Discrepancy Discovered Between the Drawings and the Actual Existing Conditions, Especially Where Concerning the Existing Foundation and Structure.
- Existing Framing Sizes and Span Directions to be Verified by Contractor Prior to Beginning Construction.
- Plumb Down From All Existing Stud Walls When Setting Foundation Forms. Verify All Foundation Wall Dimension in Field.

Revisions

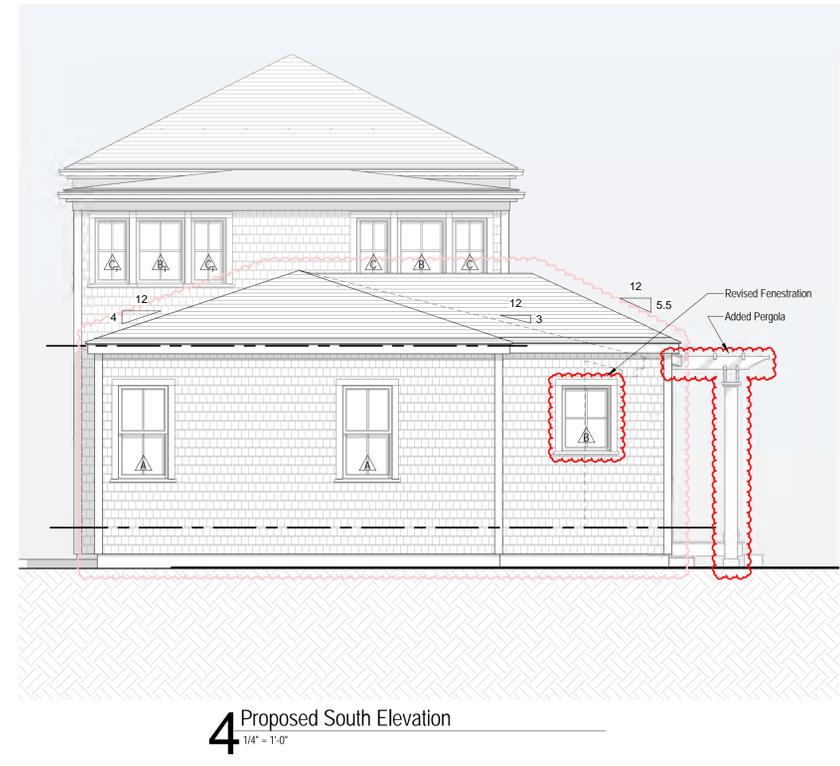
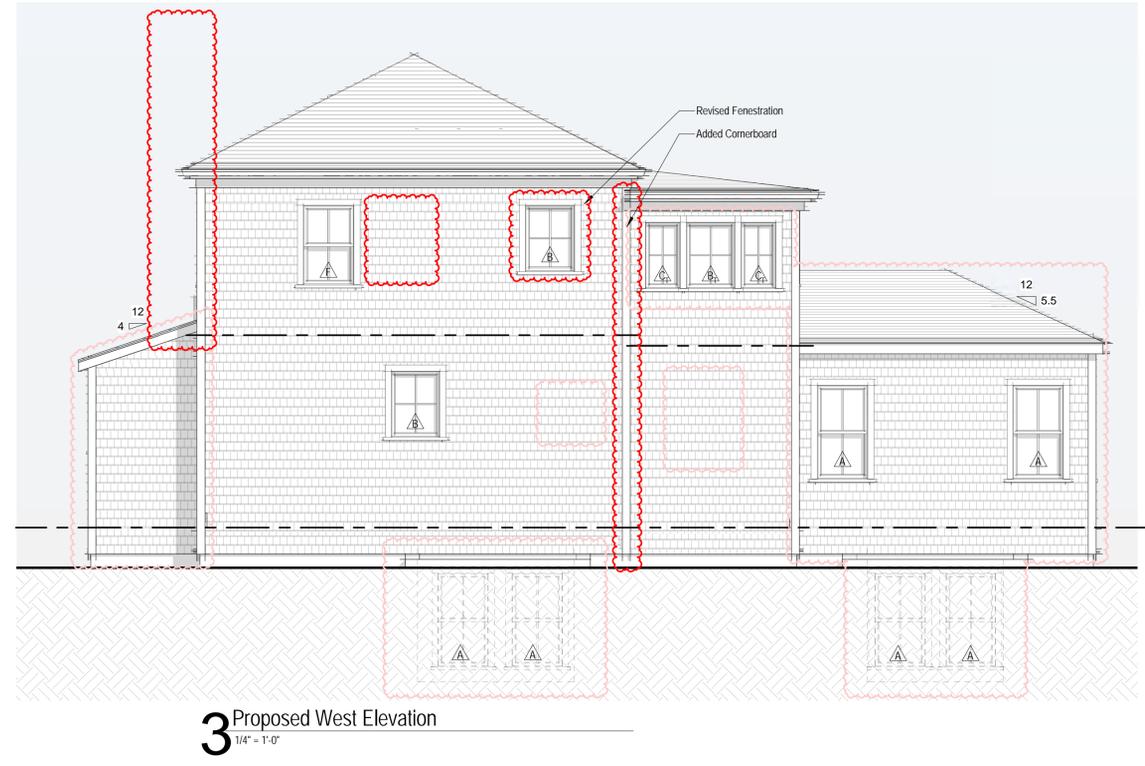
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A.1.2 1944

01.22.20



HDC Submission



1944
Ash Residence
23 Pine Street
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	42.3.2 / 113
Current Zoning:	ROH
Minimum Frontage:	50'
Front Setback:	None
Side/Rear Setback:	5'
Lot Size:	3,833 SF +/-
Min. Lot Size:	5,000 SF
Allowable G.C.:	1,533 SF +/-
Existing G.C.:	751 SF +/-
Proposed G.C.:	1,145 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 Floor Plans
- A.1.2 Floor Plans
- A.2.1 Exterior Elevations
- F.1.1 Foundation Plan
- S.1.1 Framing Plans
- S.1.2 Roof Framing Plan
- S.2.1 Building Sections

Revisions

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A.2.1
1944

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 42.3.2 PARCEL N°: 113
 Street & Number of Proposed Work: 23 PINE STREET
 Owner of record: DIANE ASH
 Mailing Address: 23 PINE STREET
NANTUCKET, MA 02554
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EMERITUS
 Mailing Address: 8 WILLIAMS LANE
NANTUCKET, MA 02554
 Contact Phone #: _____ E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 2019-11-0244
 Pool (Zoning District _____) Roof Other FEUSTRATION REVISIONS, ADDED PERGOLA & LIMITED CHIMNEY
 Size of Structure or Addition: Length: NO CHANGE Sq. Footage 1st floor: NO CHANGE Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North NO CHANGE South _____ East _____ West _____
 Height of ridge above final finish grade: North NO CHANGE South _____ East _____ West _____

Additional Remarks:

Historic Name: _____ REVISIONS*: 1. East Elevation ADDED SHUTTERS, PERGOLA & REVISED FEUSTRATION
 Original Date: _____ (describe) 2. South Elevation REVISED FEUSTRATION
 Original Builder: _____ 3. West Elevation FEUSTRATION CHANGE & ADDED CORNER BOARDS
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation LIMITED CHIMNEY & REVISED FEUSTRATION
 *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size): _____
 Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
 Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
 Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
 Hardscape materials: Driveways _____ Walkways _____ Walls _____

Fence: Height: _____
 Type: _____
 Length: _____

* Note: Complete door and window schedules are required.

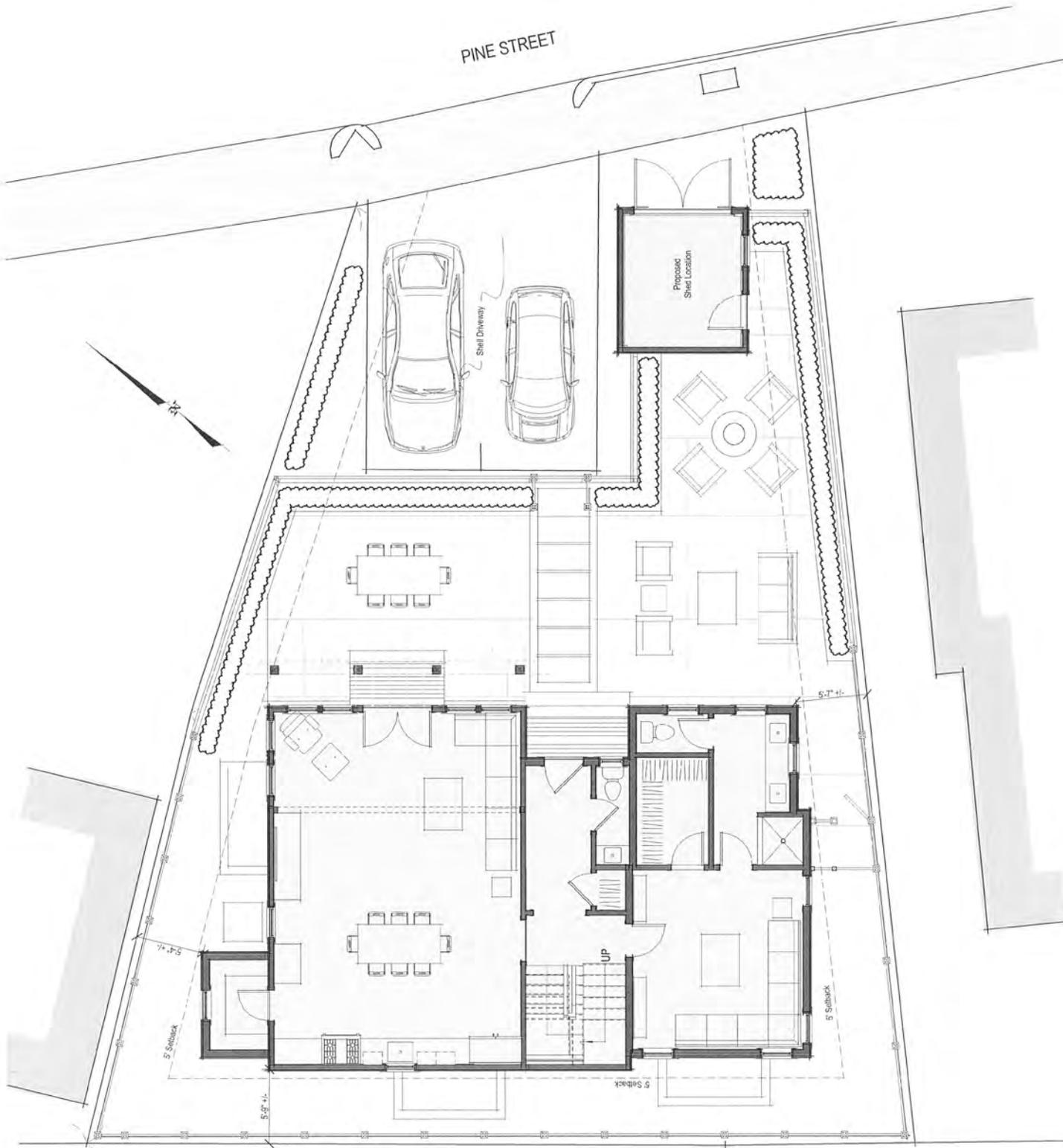
NO CHANGE
 Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence _____ Shutters _____

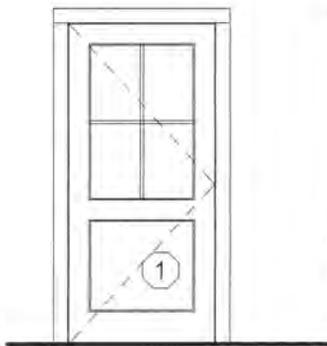
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
 Date 1/21/20 Signature of owner of record _____ Signed under penalty of perjury _____

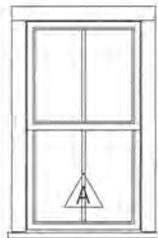


PINE STREET

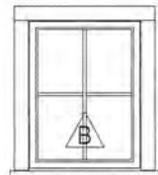




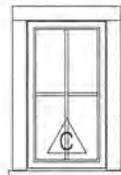
Single Hinged Door
9 Light Over 1 Panel TD



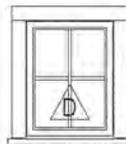
Double Hung
6/6 TD



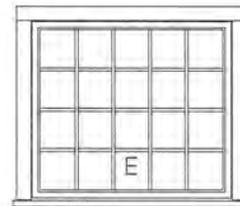
Picture Window
9 Light TD



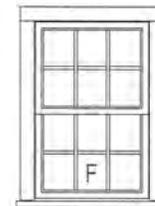
Picture Window
6 Light TD



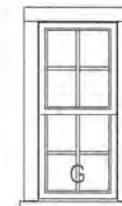
Picture Window
4 Light TD



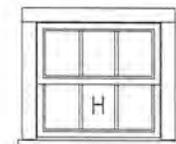
Picture Window
20 Light TD



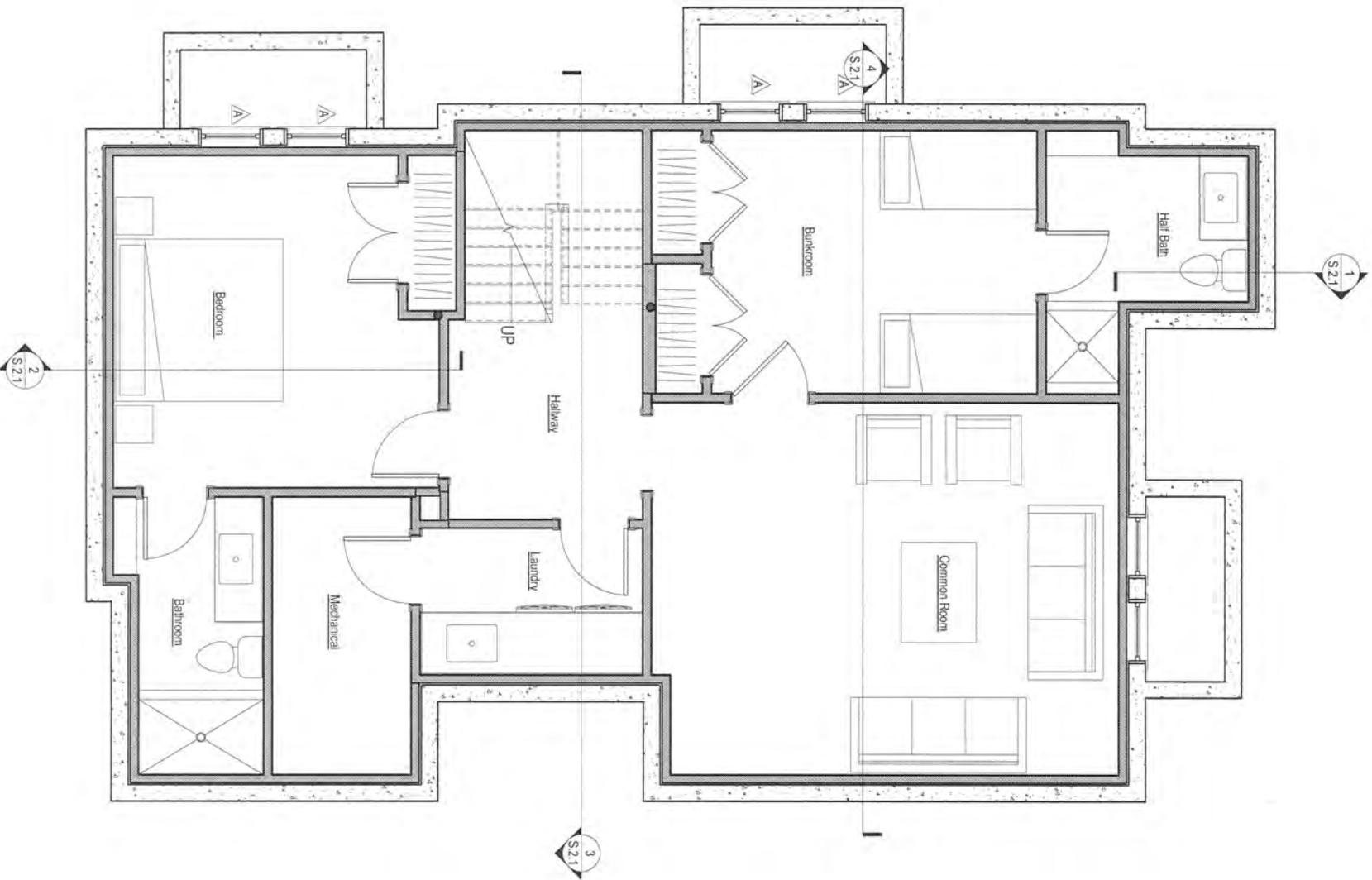
Double Hung
6/6 TD



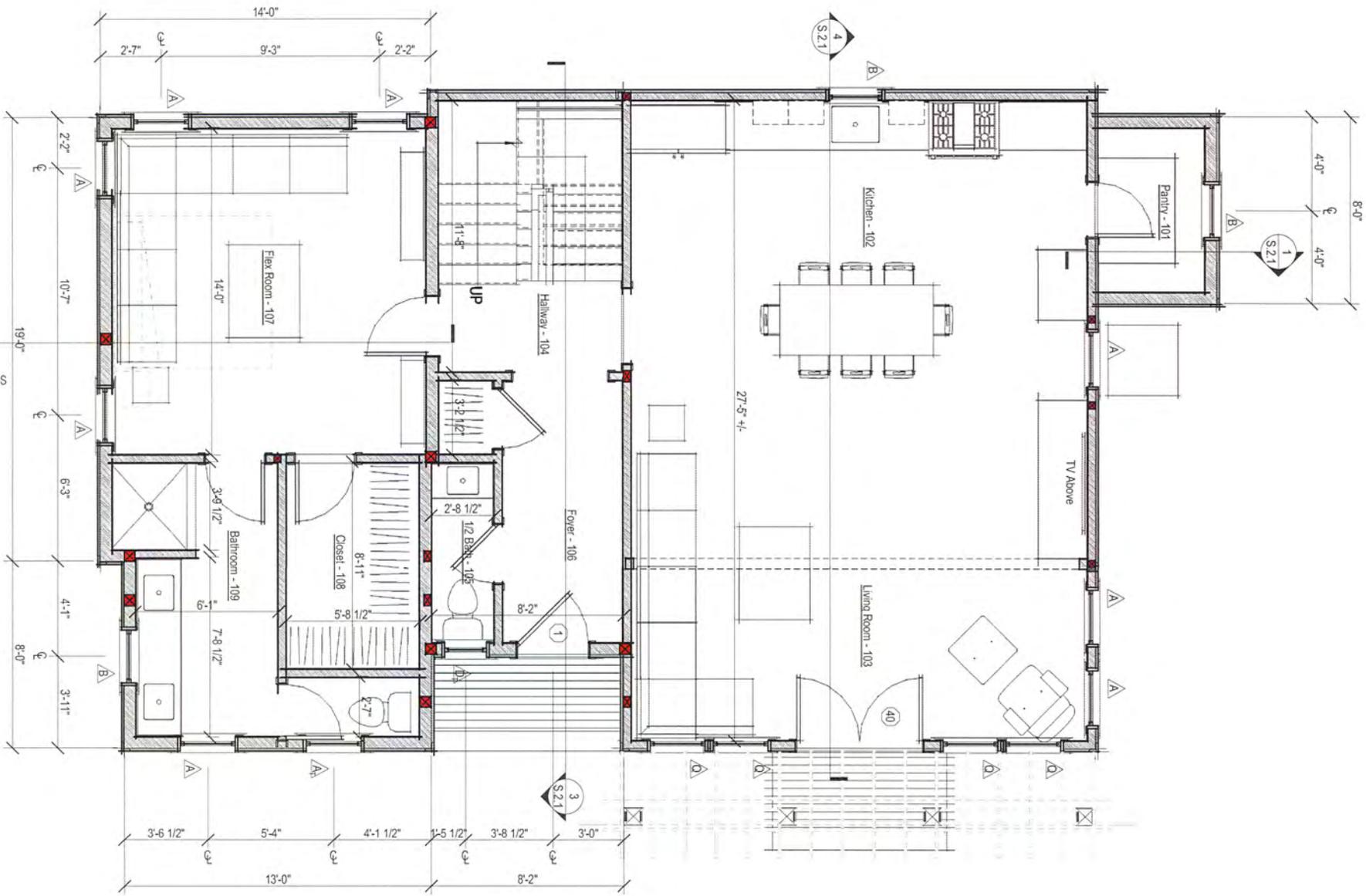
Double Hung
4/4 TD



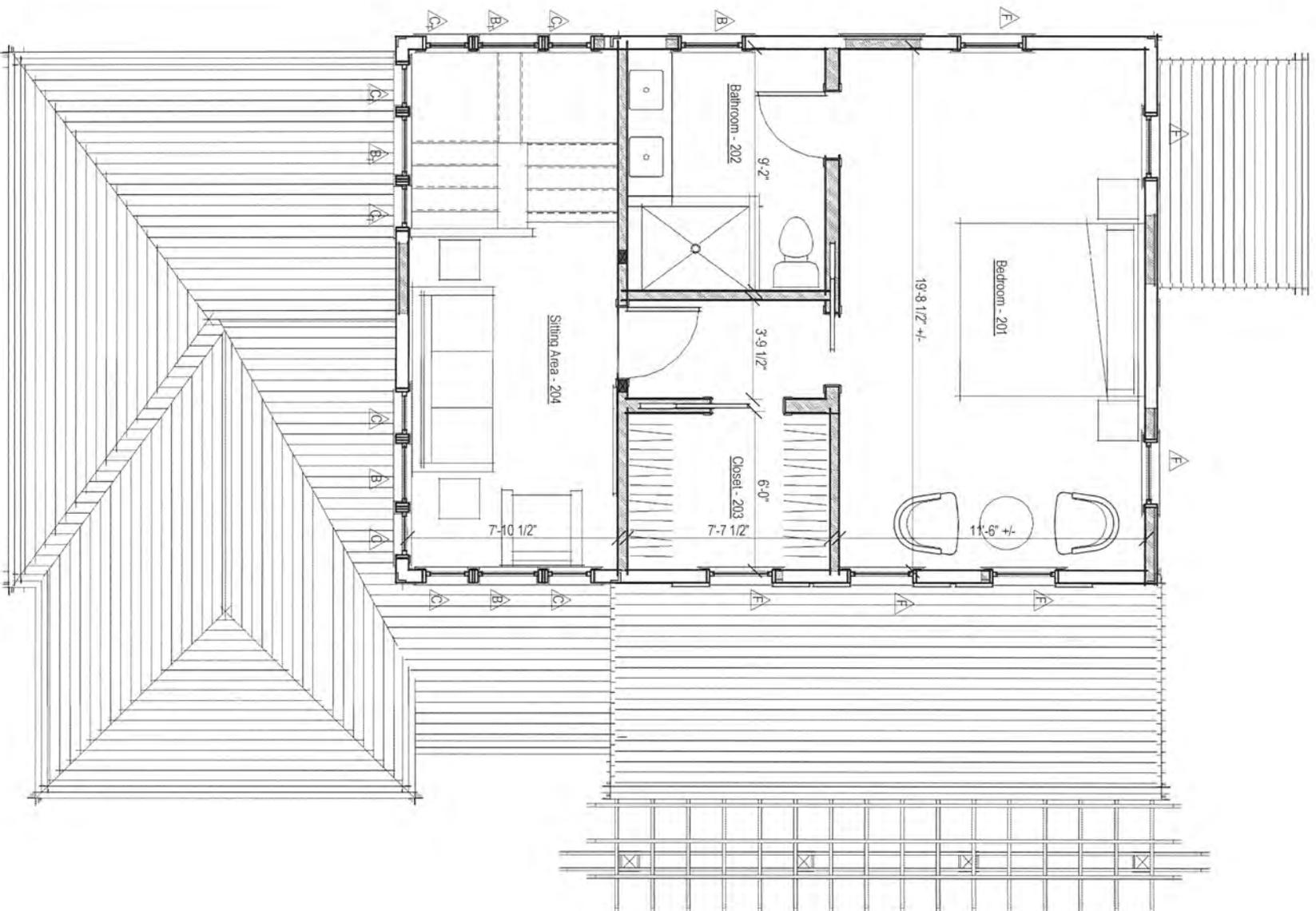
Double Hung
3/3 TD



Basement Plan
1/4" = 1'-0"

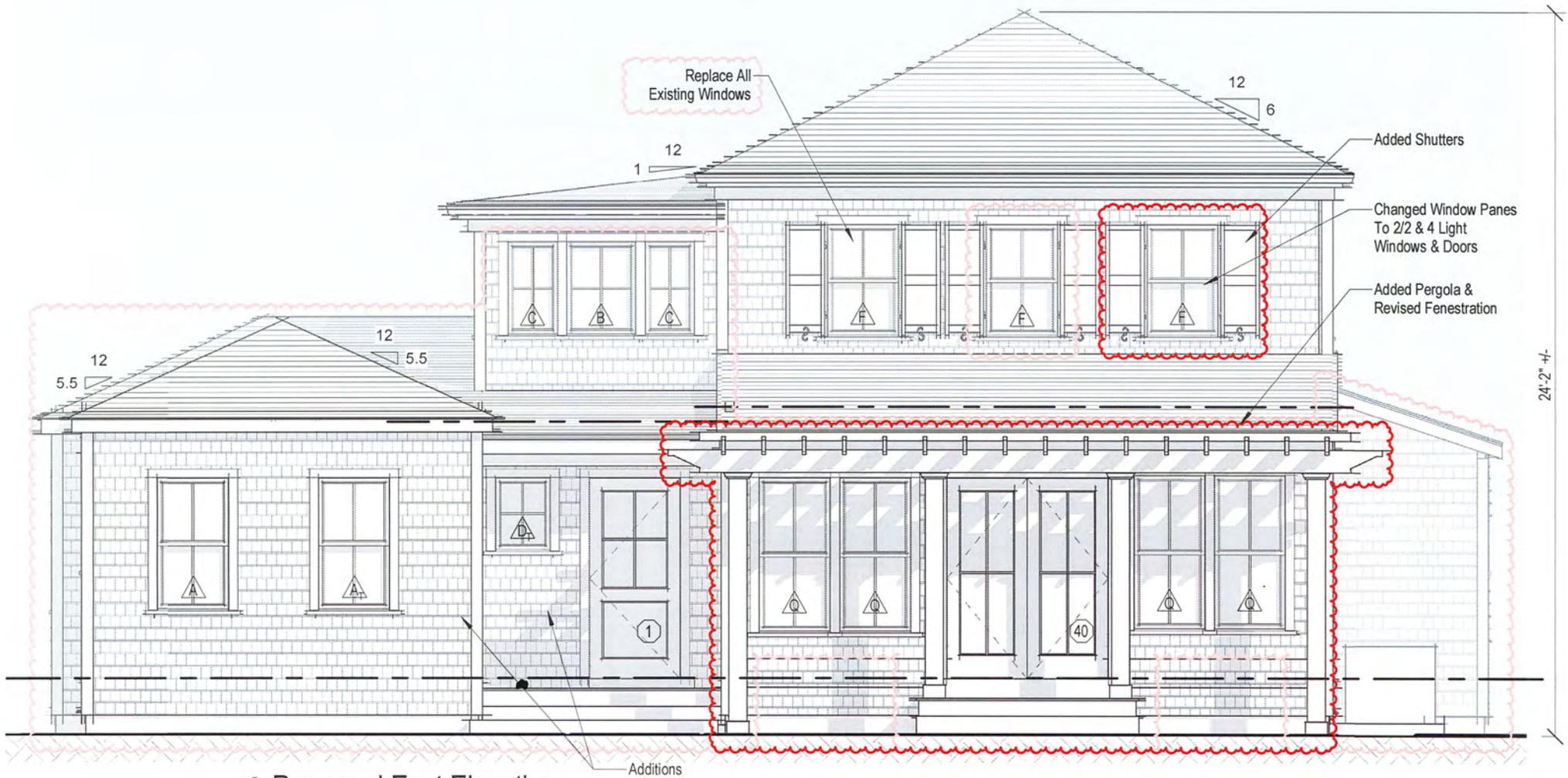


2 Proposed First Floor Plan
 1/4" = 1'-0"



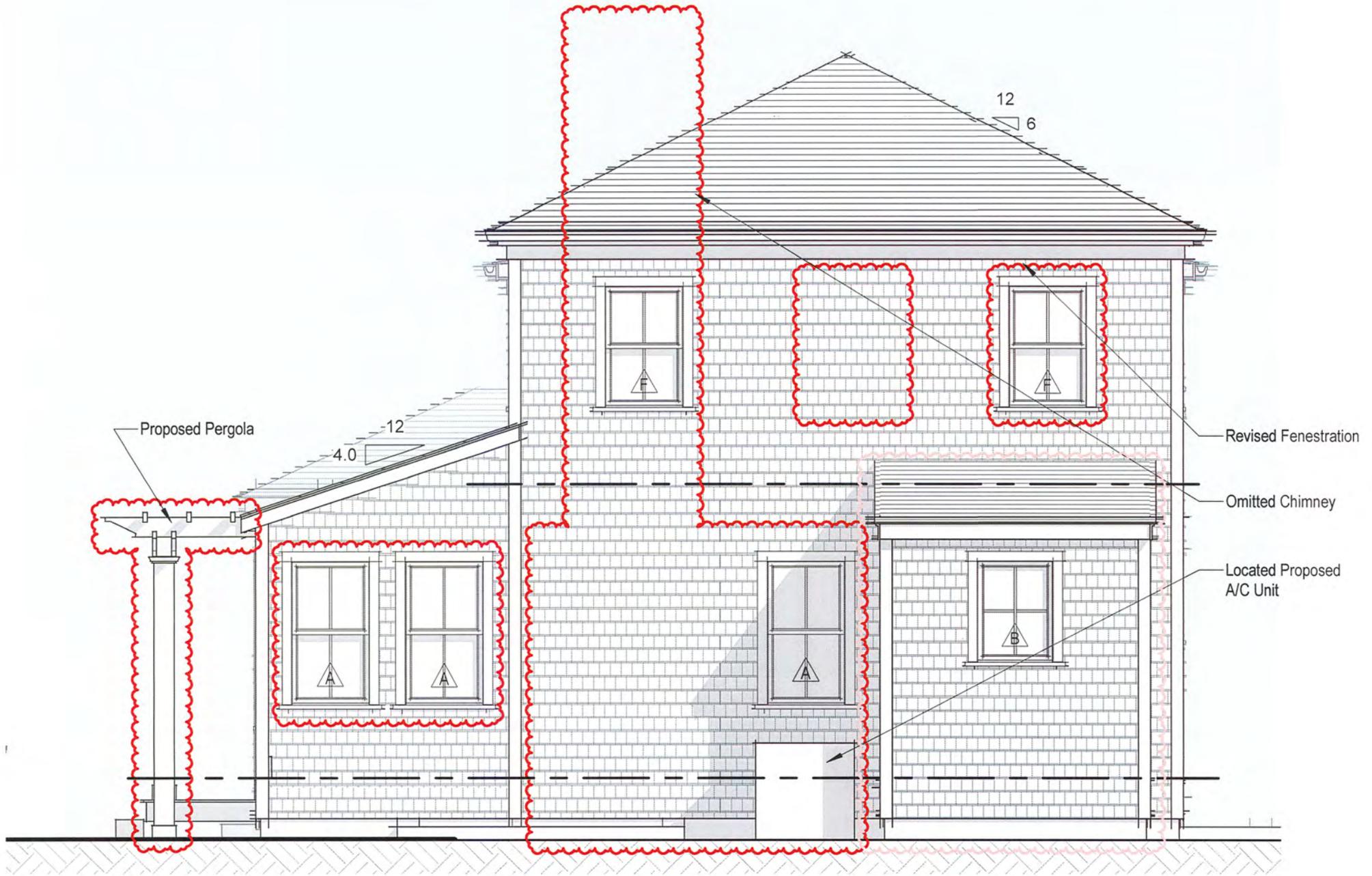
Proposed Second Floor Plan

1/4" = 1'-0"



1 Proposed East Elevation
 1/4" = 1'-0"

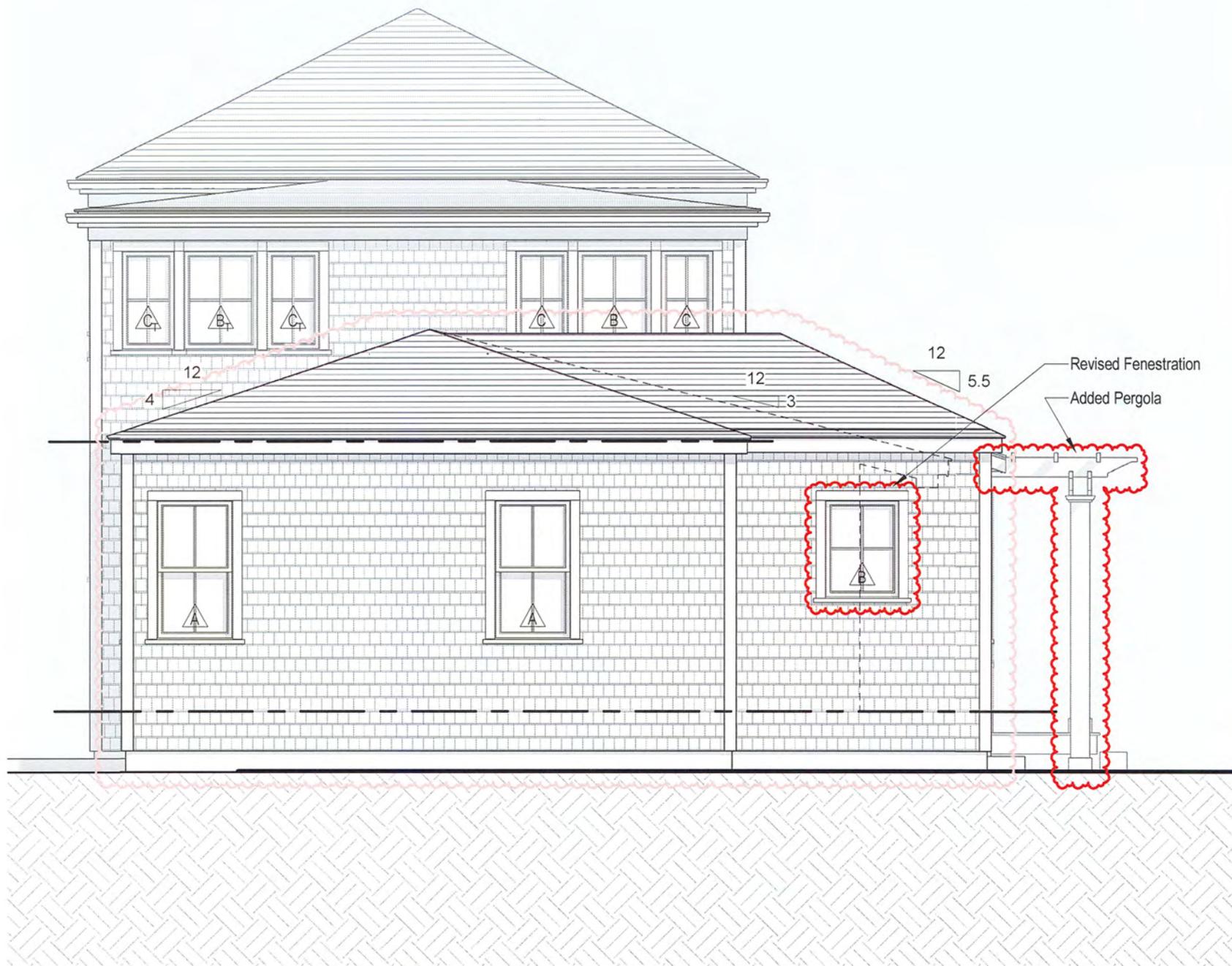
Additions



2 Proposed North Elevation
 1/4" = 1'-0"



3 Proposed West Elevation
1/4" = 1'-0"



4 Proposed South Elevation
1/4" = 1'-0"

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 42.3.2 PARCEL N^o: 37.2
Street & Number of Proposed Work: 57 ORANGE ST.
Owner of record: CARA MCCAFFREY
Mailing Address: 57 ORANGE ST.
NANTUCKET, MA 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EARTHWORKS LANDSCAPE/TIDALBURY
Mailing Address: PO BOX 3065
NANTUCKET, MA 02554
Contact Phone #: 857-369-2246 E-mail: tidalb@gmail.com

FOR OFFICE USE ONLY
Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

Fence: Height: _____
Type: _____
Length: _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

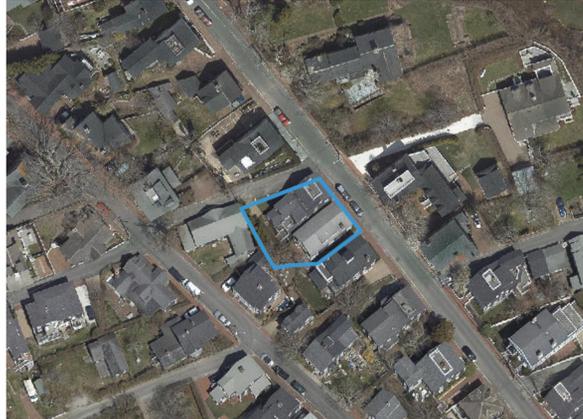
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Date 01.20.20 Signature of owner of record _____ Signed under penalties of perjury



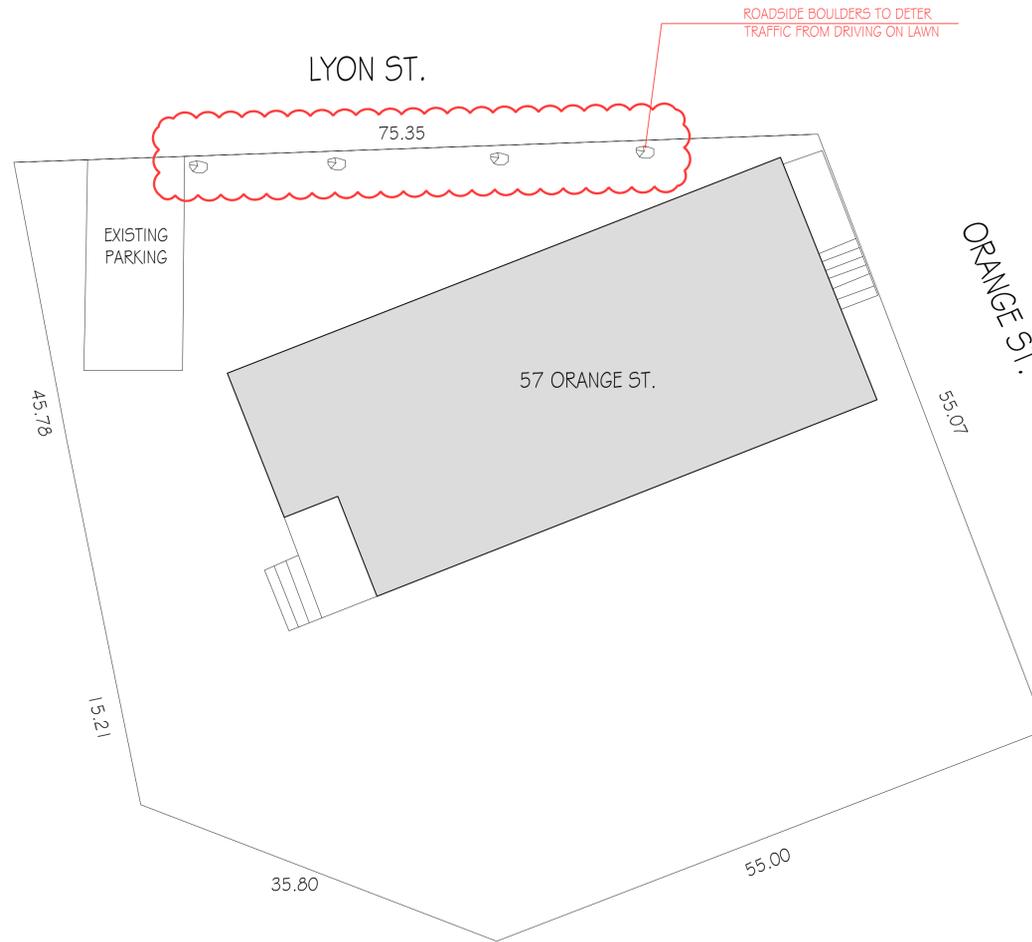
GIS MAP MAP - 42.3.2 PARCEL - 37.2



AERIAL MAP MAP - 42.3.2 PARCEL - 37.2



EXISTING BOULDERS



EARTHWORKS LANDSCAPE
Nantucket, Ma 02554

PROJECT

57 ORANGE ST.
NANTUCKET, MA

DRAWING

HDC SUBMISSION

JANUARY 2, 2020
1" = 8'

REVISIONS

HDC-1

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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PROPERTY DESCRIPTION

TAX MAP N^o: 42.2.3 PARCEL N^o: 20.2

Street & Number of Proposed Work: B.O.C. Washington St.

Owner of record: Perry, Teressa Giguere Trust

Mailing Address: 28 Sesagacha Pond Road
Nantucket MA 02554

Contact Phone #: 970.376.4144 E-mail: mysperry@aol.com

AGENT INFORMATION (if applicable)

Name: Carey Company Inc

Mailing Address: PO Box 3579
Nantucket MA 02589

Contact Phone #: 785.623.8926 E-mail: Chris@CareyCompanyInc.com

FOR OFFICE USE ONLY

Date application received: 01/08/2020 Fee Paid: \$ 25

Must be acted on by: 03/28/2020

Extended to: _____

Approved: _____ Disapproved: _____

Chairman: _____

Member: _____

Member: _____

Member: _____

Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No. _____
- Pool (Zoning District _____)
- Roof
- Other Window Replacement Like kW. 8 Total Nonhistoric

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor

Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor

Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____

Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____

Original Date: _____ (describe)

Original Builder: _____

Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 1/12 Secondary Mass 1/12 Dormer 1/12 Other _____

Roofing material: Asphalt 3-Tab Architectural

Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____

Type: _____

Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____

Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material)

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side

Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other white

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other boverle

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer Simpson TDL

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

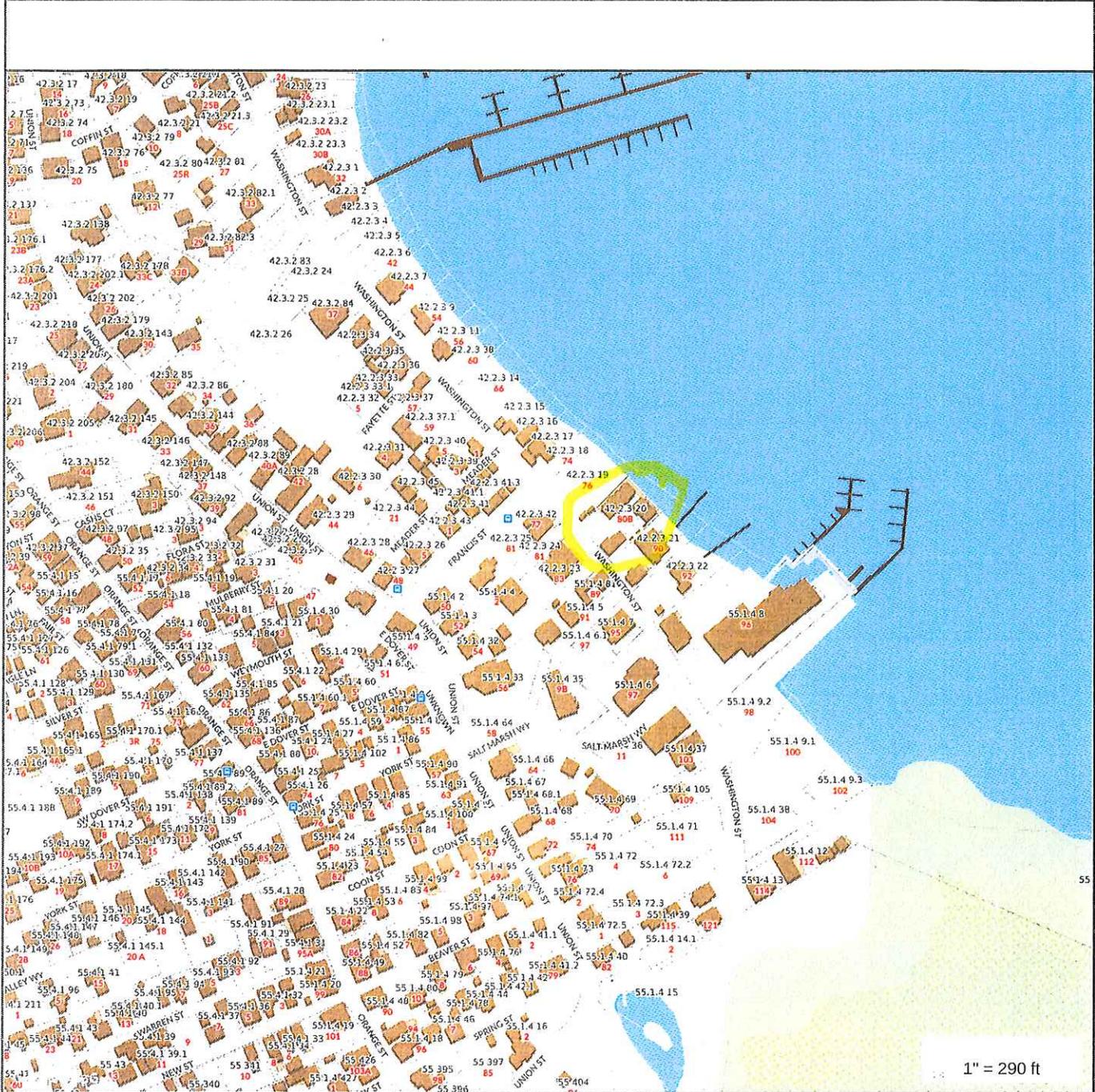
Sidewall Cedar White Clapboard (if applicable) _____ Roof _____

Trim white Sash white Doors _____

Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
Data updated 11/19/2018

RECEIVED
JAN 08 2020
By





RECEIVED
JAN 08 2020
BY

PROPERTY IS PAID BY
RECEIVED 1/8/20
NOT TO BE USED
AS A SIGN
1/8/20