

1. Viewpack

Documents:

1 MAXEY POND - FENCE -DRIVEWAY.PDF
7 MILLBROOK - NEW DWELLING.PDF
11 DAVIS LN - POOL.PDF
11 DAVIS LN - SHED.PDF
11 DAVIS LN- CABANA.PDF
11 DAVIS LN- NEW DWELLING.PDF
25 MILLBROOK RD- ADDITION.PDF
88 QUIDNET RD - DEMO-RENO-ADDITION.PDF
307 POPLIS RD- NEW BARN.PDF

2. No Meeting Agenda

There is no agenda available for this meeting. Please view the minutes.

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 40 PARCEL N°: 107
Street & Number of Proposed Work: 1 Maxey Pond Road
Owner of record: Lilymoor LLC
Mailing Address: 20 Fairmount Ave Chatham NJ
07928
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Jardins International
Mailing Address: 53 Pleasant Street Nantucket Ma
02554
Contact Phone #: 508-325-9911 E-mail: eo@jardinsintl.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 - Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 - Pool (Zoning District _____) Roof Other _____
- Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways Brick Parking trim w/ Walkways Blue Stone & Brick Walls P.A Fieldstone to

Fence: Height: 5'10"
Type: Solid Board
Length: 4'-265'

* Note: Complete door and window schedules are required. Existing Shell Driveway & Belgium Match Existing

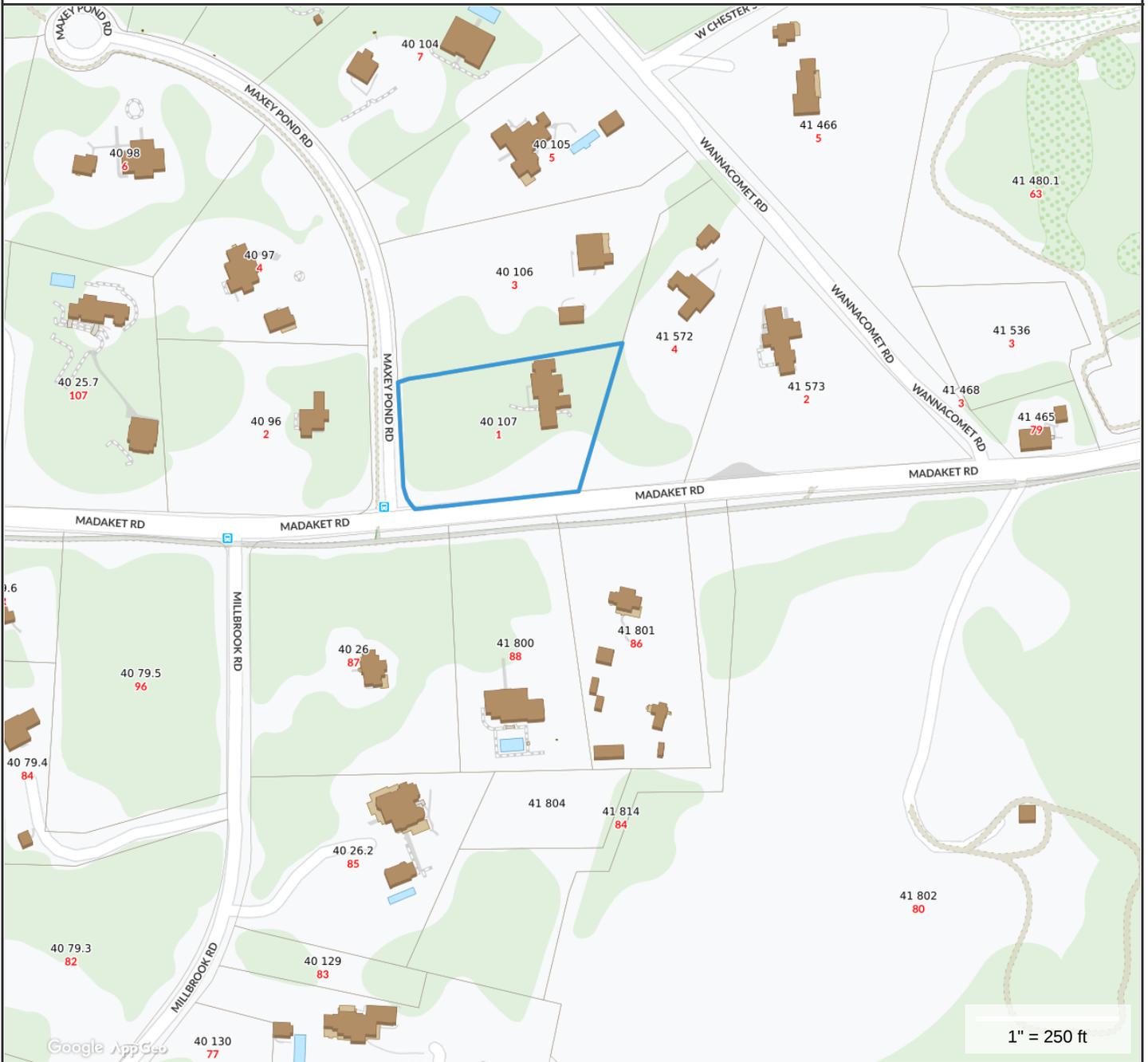
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence Natural to Shutters _____
Weather

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2.25.2020 Signature of owner of record E An (agent) Signed under penalties of perjury



Property Information

Property ID 40 107
Location 1 MAXEY POND RD
Owner LILYMOOR LLC



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
Data updated 11/19/2018

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

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PROPERTY DESCRIPTION

TAX MAP N°: 56 PARCEL N°: 324, 474, 475
Street & Number of Proposed Work: 7 MILLBROOK RD.
Owner of record: RICH LAMARZEE
Mailing Address: 9 MILLBROOK RD.
NANTUCKET, MA 0254
Contact Phone #: 508-221-4942 E-mail: R.lamarzee@islandmarine.com

AGENT INFORMATION (if applicable)

Name: VAL CIVILIC DESIGN INC.
Mailing Address: PO BOX 3057
NANTUCKET, MA 0254
Contact Phone #: 508-324-4719 E-mail: ccval@valcivilic.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ 716.40
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 80'-0" Sq. Footage 1st floor: 2275 Decks/Patio: Size: 5 x 17 1st floor 2nd floor
Width: 21'-0" Sq. Footage 2nd floor: 1217 Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North 20'-0" South 20'-0" East 20'-0" West 20'-0"

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8'-12" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 7/12 Secondary Mass _____/12 Dormer _____/12 Other 12/25 (column)
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 8" Rake 1 x 8 Soffit (Overhang) 4"-8" Corner boards 1 x 6 Frieze _____
Window Casing 1 x 4 Door Frame 1 x 6 Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front 6 PANEL / SIBERITE Rear COLUMNS Side GLASS

Garage Door(s): Type BAEN DOORS Material WOOD (NTW)

Hardscape materials: Driveways TBD Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NTW Clapboard (if applicable) _____ Roof BLACK
Trim WHITE Sash WHITE Doors WHITE
Deck NTW Foundation CONC Fence _____ Shutters _____

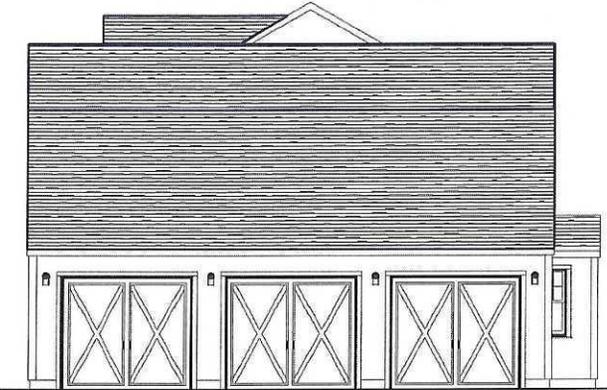
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 21 Signature of owner of record _____ Signed under penalties of perjury _____



FRONT (NORTH WEST) FACING MILLBROOK



RIGHT (SOUTH WEST)



LEFT (NORTH EAST)



REAR (SOUTH EAST)

CHAMPION FACTORY 041
 CHAMPION MODULAR, INC.
 10642 S. SUSQUEHANNA TRAIL
 LIVERPOOL, PA 17045
 CHAMPION
 MODULAR

BRAND:



BUILDER:

DREAMLINE MODULAR

CUSTOMER/PROJECT:

LARRABEE

ENGINEERS / ARCHITECT'S SEAL

PROPOSED DWELLING FOR:
 RICH LARRABEE
 7 MILLBROOK RD

APPROVERS SEAL

MODIFICATIONS

PROJECT:

42367
 TWO STORY

TITLE:

FLOOR PLANS

DRAWN BY: ST

DATE: 01-30-20

SCALE: = 1/4"

FILENAME: 42367.PD

SHEET:

PROPRIETARY AND CONFIDENTIAL
 THESE DRAWINGS AND SPECIFICATIONS ARE ORIGINAL
 PROPRIETARY AND CONFIDENTIAL MATERIALS OF CHAMPION
 COPYRIGHT © 2016-S217 BY CHAMPION

CERTIFICATE NO: _____

DATE ISSUED: _____

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PROPERTY DESCRIPTION

TAX MAP N°: 82 PARCEL N°: 75
 Street & Number of Proposed Work: 11 DAVIS LN
 Owner of record: 11 DAVIS LLC
 Mailing Address: 11 DAVIS LN
Nantucket, MA, 02554
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EMERENTUS
 Mailing Address: 8 Williams Ln,
Nantucket, MA, 02554
 Contact Phone #: 508 325 4995 E-mail: nat@emerentus-developments.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

POOL

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District: UG-2) Roof Other: New Pool 36' x 18' & fence
 Size of Structure or Addition: Length: 36'0" Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 18'0" Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

Historic Name: _____
 Original Date: _____ (describe)
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

Fence: Height: 4'0"
 Type: wire fence w/ 4x4 posts
 Length: ± 52'

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence NANTAC Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

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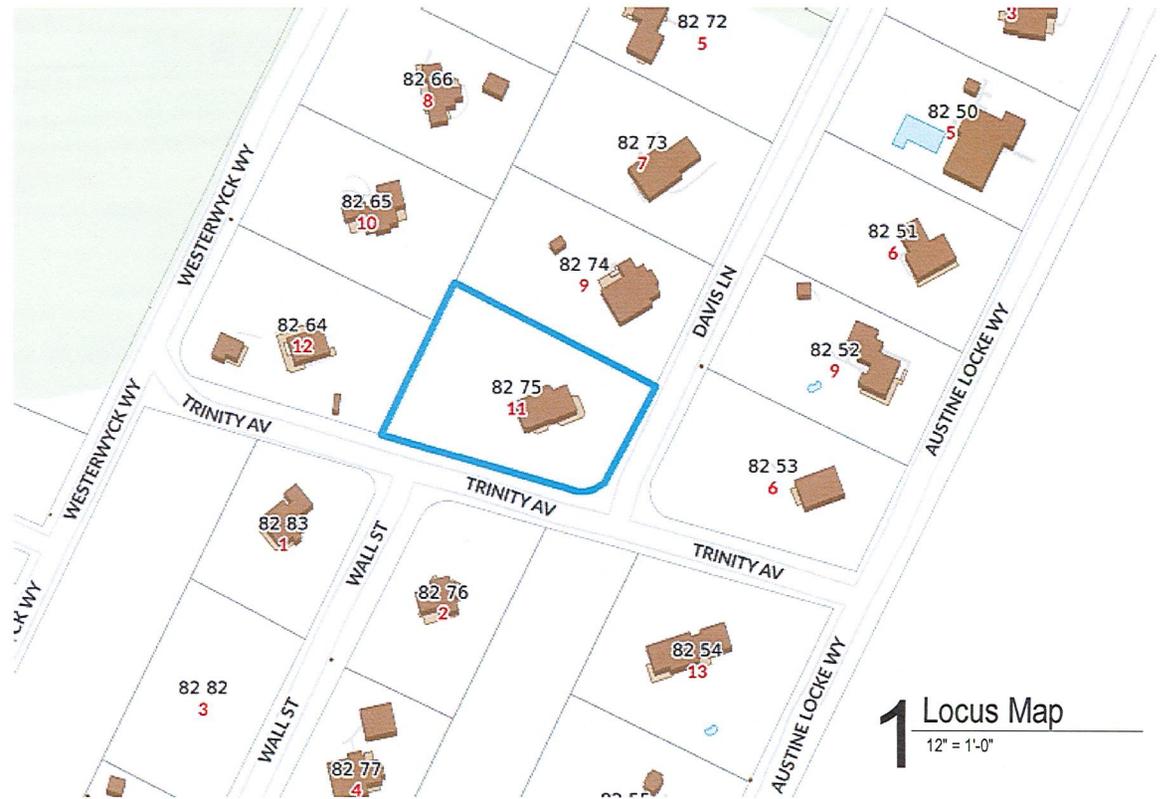
Date 02/04/20

Signature of owner of record _____

Signed under penalty of perjury _____

New Pool

11 Davis Ln
Nantucket, MA 02554



1 Locus Map
12" = 1'-0"

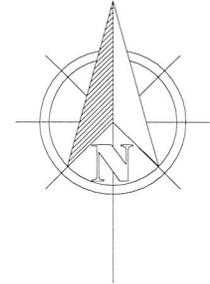
#10 WESTERWYCK WAY
MAP 82 PARCEL 65

EX.
WELL
(W)

14x7

#9 DAVIS LANE
MAP 82 PARCEL 74

15x3



New Pool

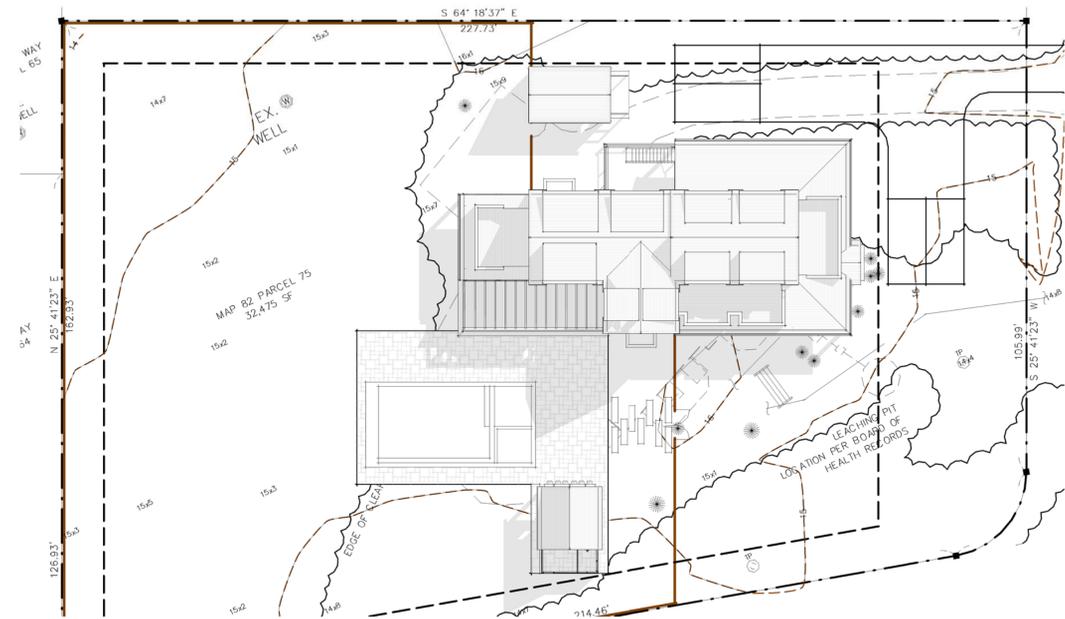
11 Davis Ln
Nantucket, MA 02554

03.04.20

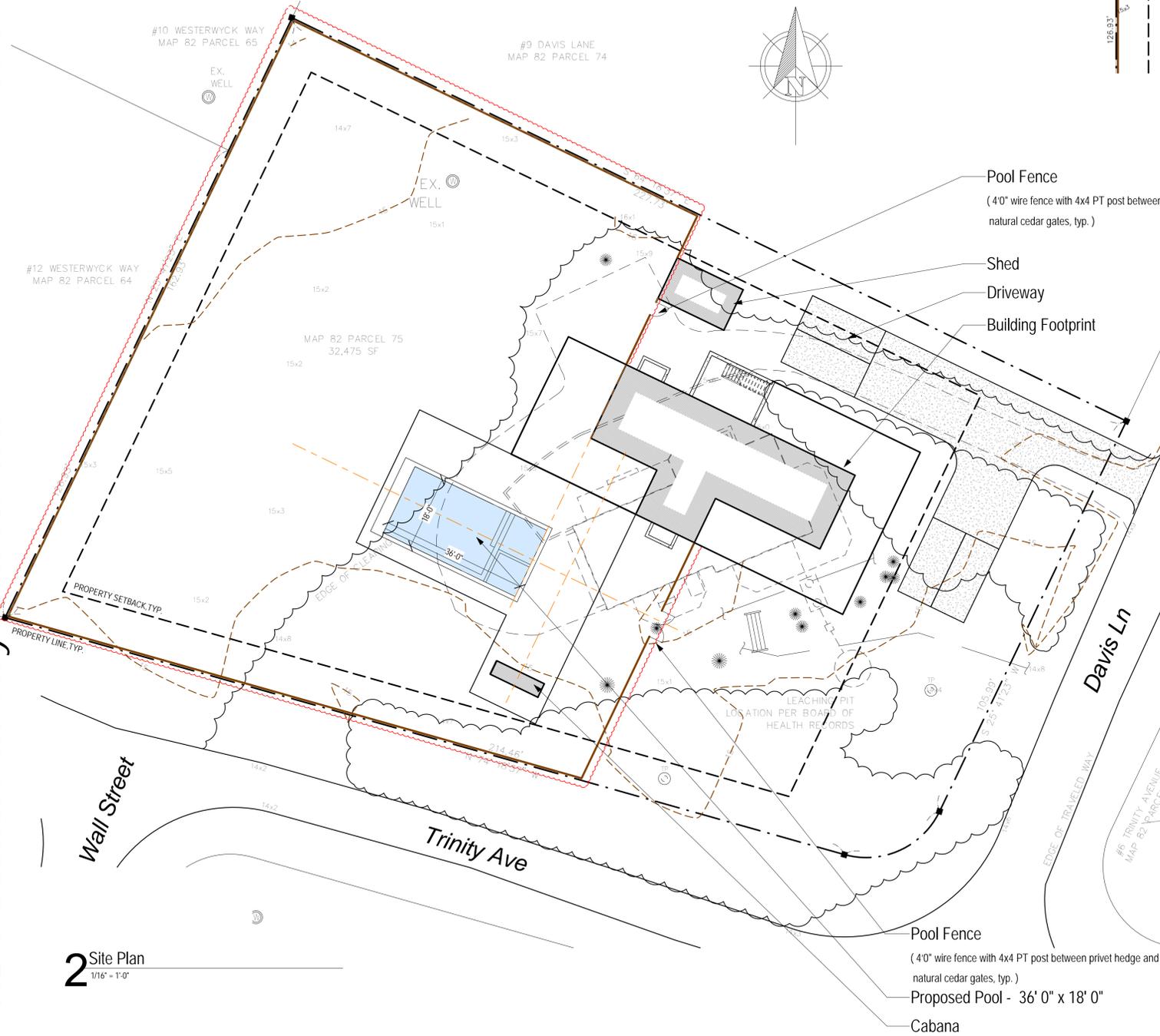
HDC Submission Only / For Review



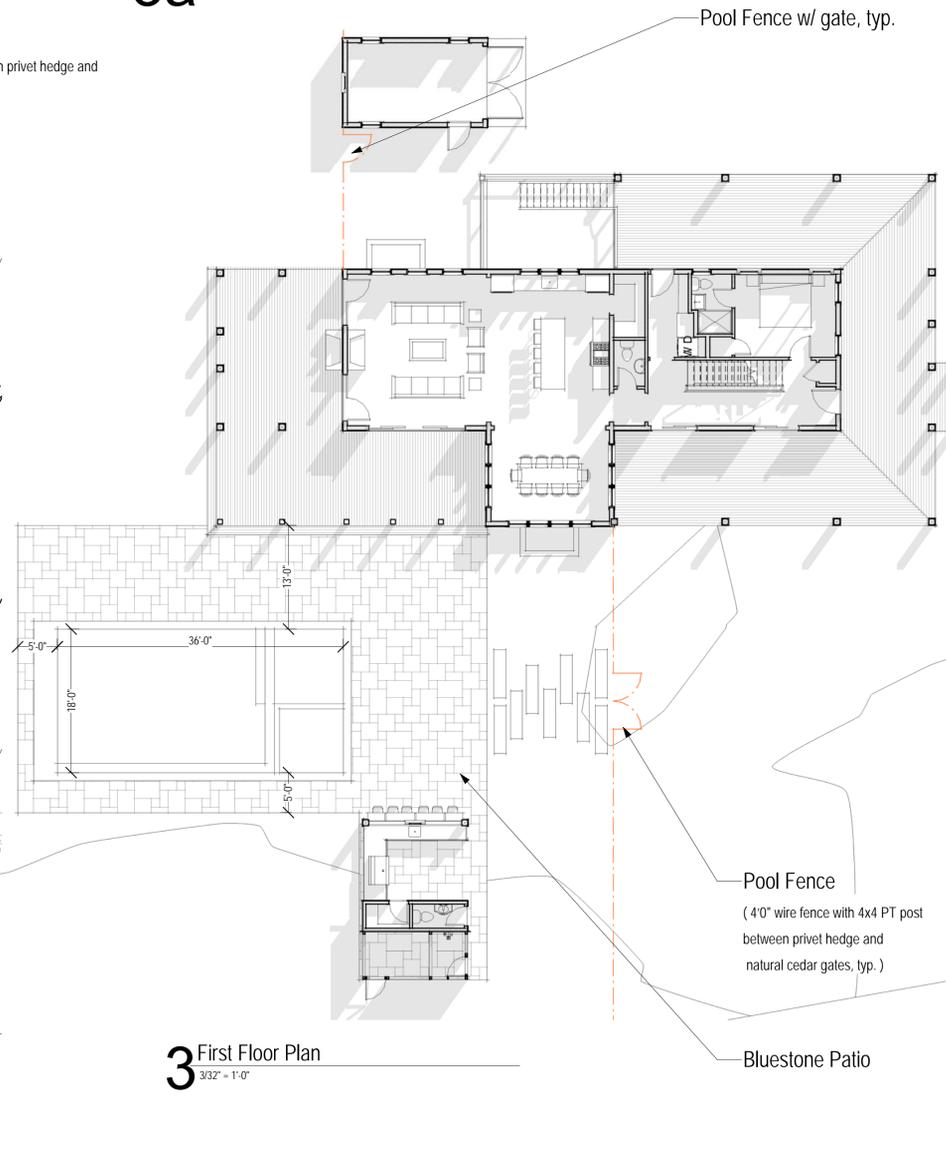
1 Locus Map
1" = 1'-0"



3a Roof Plan
1" = 20'-0"



2 Site Plan
1/16" = 1'-0"



3 First Floor Plan
3/32" = 1'-0"

2004

New Pool

11 Davis Ln
Nantucket, MA 02554



Site Plan

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
Allowable G.C.:	-----
Existing G.C.:	-----
Proposed G.C.:	n/a
Total Proposed G.C.:	-----

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX
G.1.2 Site Plan

Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.
DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

G.1.2
2004

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

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for structural work.

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PROPERTY DESCRIPTION

TAX MAP N°: 82 PARCEL N°: 75
Street & Number of Proposed Work: 11 Davis Ln
Owner of record: 11 Davis LLC
Mailing Address: 11 Davis Ln,
Nantucket, MA, 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Eugentus
Mailing Address: 8 Williams Ln,
Nantucket, MA, 02554
Contact Phone #: 508 325 4995 E-mail: mat@eugentus-
development.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

SHED

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
Size of Structure or Addition: Length: 18'0" Sq. Footage 1st floor: 198 SF Decks/Patio: Size: N/A 1st floor 2nd floor
Width: 11'0" Sq. Footage 2nd floor: N/A Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: N/A
Difference between existing grade and proposed finish grade: North +6" South +6" East +6" West +6"
Height of ridge above final finish grade: North +15'9" South +15'9" East +15'9" West +15'9"

Additional Remarks

REVISIONS*

1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation
Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed +8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) N/A Other _____
Roof Pitch: Main Mass 12/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR
Skylights (flat only): Manufacturer N/A Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): COPPER
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side _____
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) +1'0" Corner boards N/A Frieze 1x4
Window Casing 5/8 x 4 Door Frame 3/4 x 4 Columns/Posts: Round _____ Square N/A
Windows*: Double Hung Casement All Wood Other FRAMED
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front 1 panel 3 lite Rear N/A Side 4 lite
Garage Door(s): Type N/A Material _____
Hardscape materials: Driveways N/A Walkways N/A Walls N/A

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) N/A Roof NATURAL
Trim WHITE Sash WHITE Doors WHITE
Deck N/A Foundation NATURAL Fence N/A Shutters N/A

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 03/04/20

Signature of owner of record _____

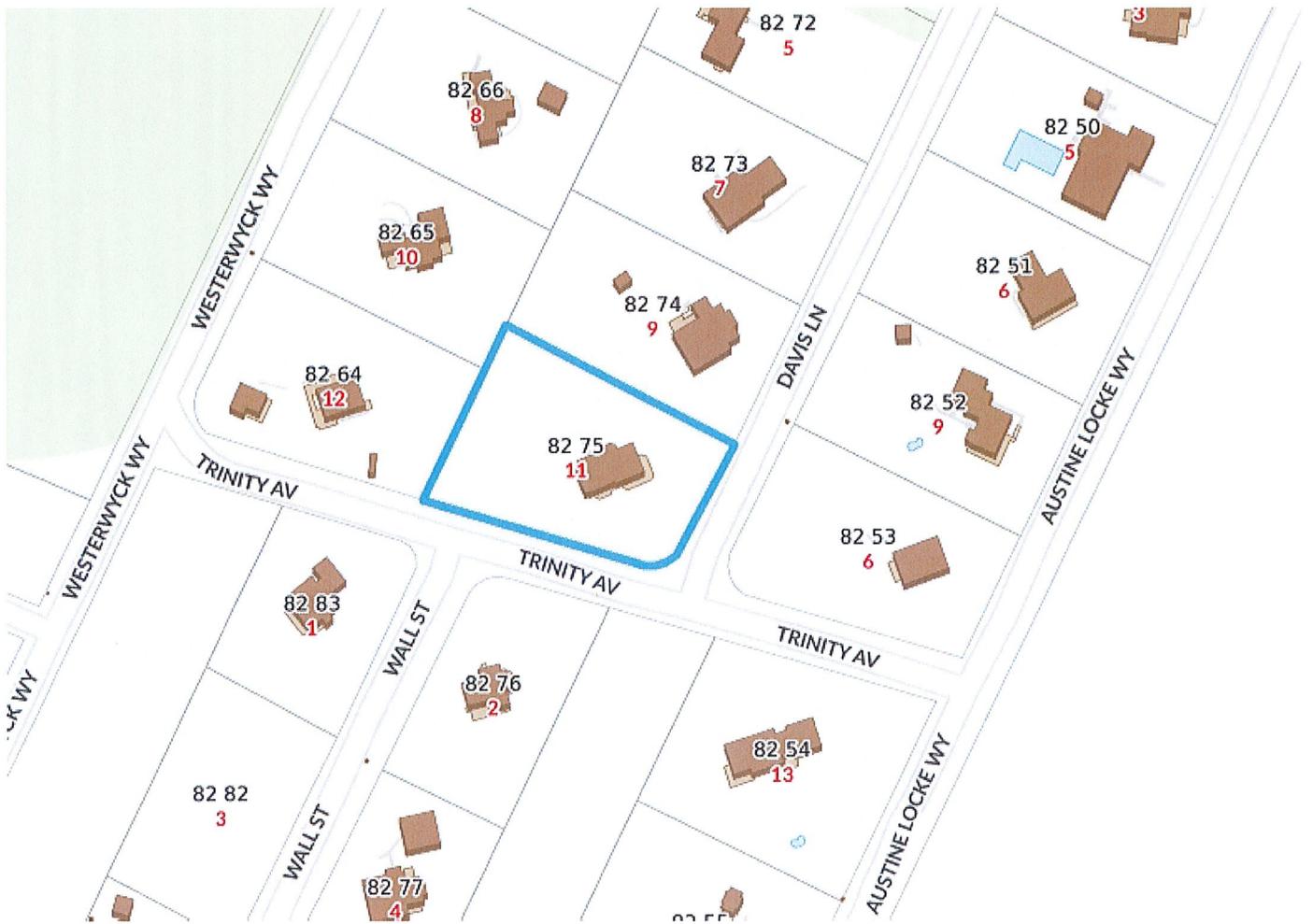
Signed under penalties of perjury

Shed

11 Davis Ln

Nantucket, MA 02554

03.04.20



Shed

11 Davis Ln
Nantucket, MA 02554



East



South



West



North

2004

Shed

11 Davis Ln
Nantucket, MA 02554



Cover Sheet

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
Allowable G.C.:	1,500 sq. ft. (per 139-33E(1b))
Existing G.C.:	1,351 sq. ft. (to be demolished)
Proposed G.C.:	198 sq. ft.
Total Proposed G.C.:	1,490 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

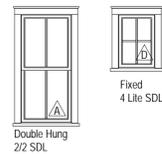
SHEET INDEX

G.1.1	Cover Sheet
A.1.1	Floor Plan & Elevations

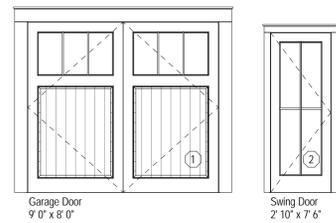
03.04.20



1 Locus Map
Not to Scale



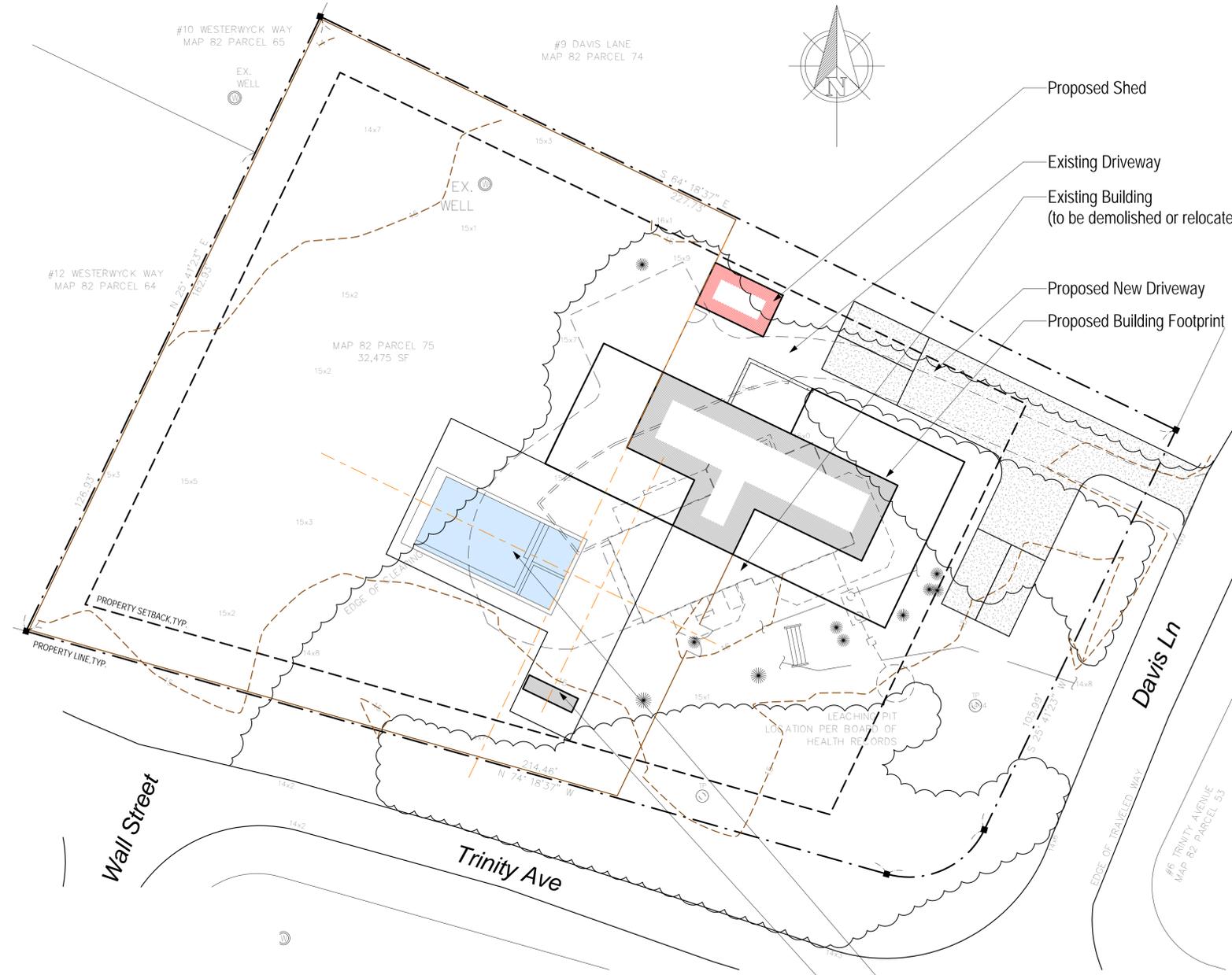
Window Legend
1/4" = 1'-0"



Door Legend
1/4" = 1'-0"

WINDOW & DOOR NOTES

1. Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
2. Windows w/ DP Rating of 30 or Greater Required
3. Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
4. Refer to Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
5. Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
6. General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
7. General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
8. Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
9. Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
10. The Unit Measurements Given in this Document Are For A Guide Only
11. Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



3 Site Plan
1/16" = 1'-0"

HDC Submission Only / FOR REVIEW

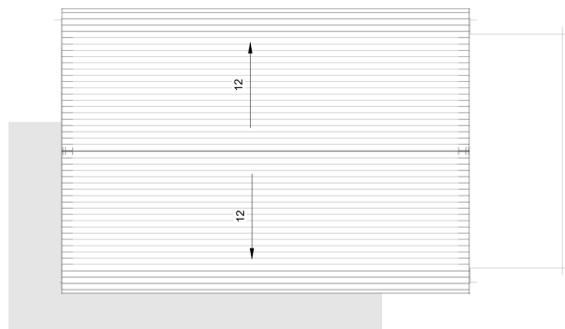
Revisions

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G.1.1
2004

03.04.20

HDC Submission Only / FOR REVIEW



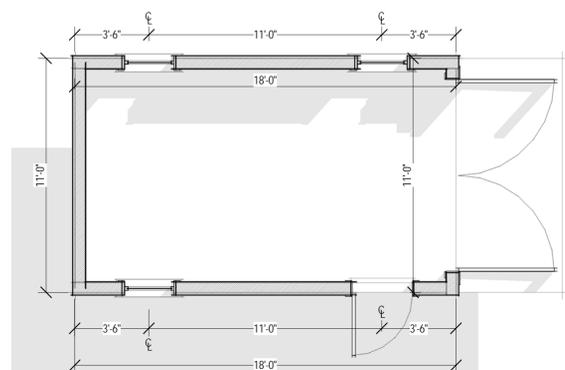
0 Roof Plan
1/4" = 1'-0"



2 East Elevation
1/4" = 1'-0"



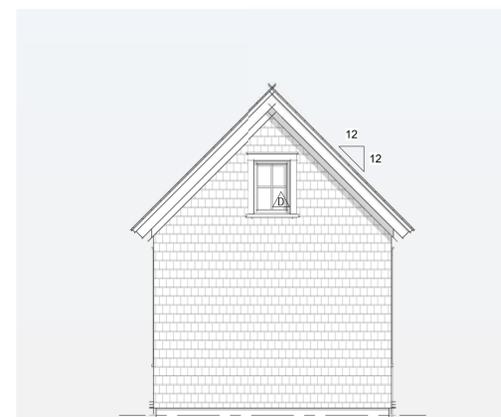
3 South Elevation
1/4" = 1'-0"



1 First Floor Plan
1/4" = 1'-0"



4 North Elevation
1/4" = 1'-0"



5 West Elevation
1/4" = 1'-0"

2004

Shed

11 Davis Ln
Nantucket, MA 02554



Floor Plan & Elevations

Site Information

Map & Parcel: 82 / 75
 Current Zoning: LUG - 2
 Minimum Frontage: 150 ft.
 Front Setback: 35 ft.
 Side/Rear Setback: 10 ft. / 10 ft. (per 139-33E(2a))
 Lot Size: +/- 32,475 sq. ft.
 Min. Lot Size: 80,000 sq. ft.
 Allowable G.C.: 1,500 sq. ft. (per 139-33E(1b))
 Existing G.C.: 1,351 sq. ft. (to be demolished)
 Proposed G.C.: 198 sq. ft.
 Total Proposed G.C.: 1,490 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

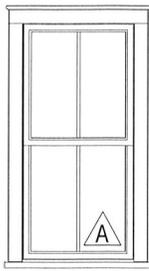
SHEET INDEX

G.1.1 Cover Sheet
 A.1.1 Floor Plan & Elevations

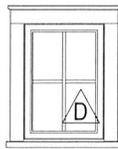
Revisions

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A.1.1
2004



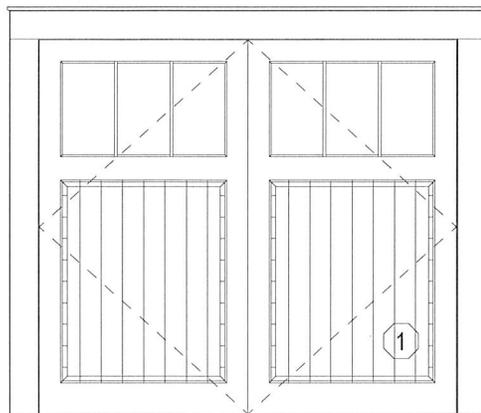
Double Hung
2/2 SDL



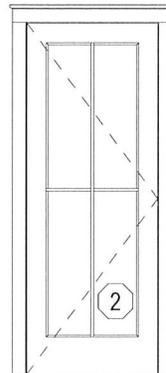
Fixed
4 Lite SDL

Window Legend

1/4" = 1'-0"



Garage Door
9' 0" x 8' 0"



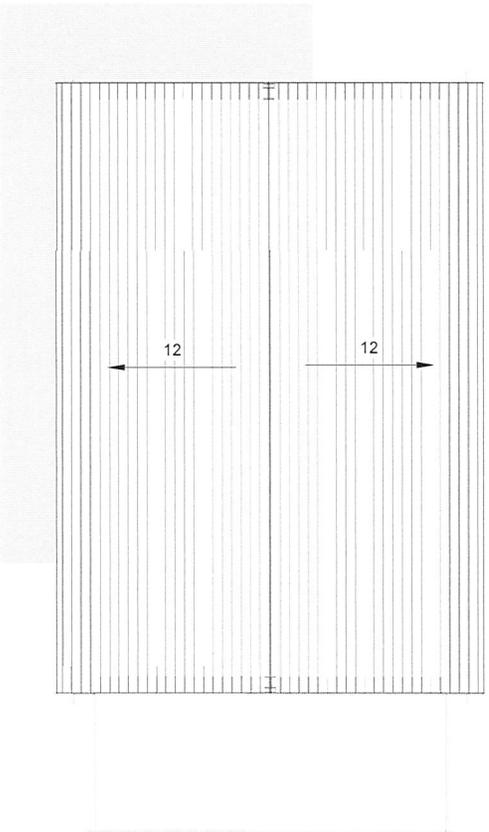
Swing Door
2' 10" x 7' 6"

Door Legend

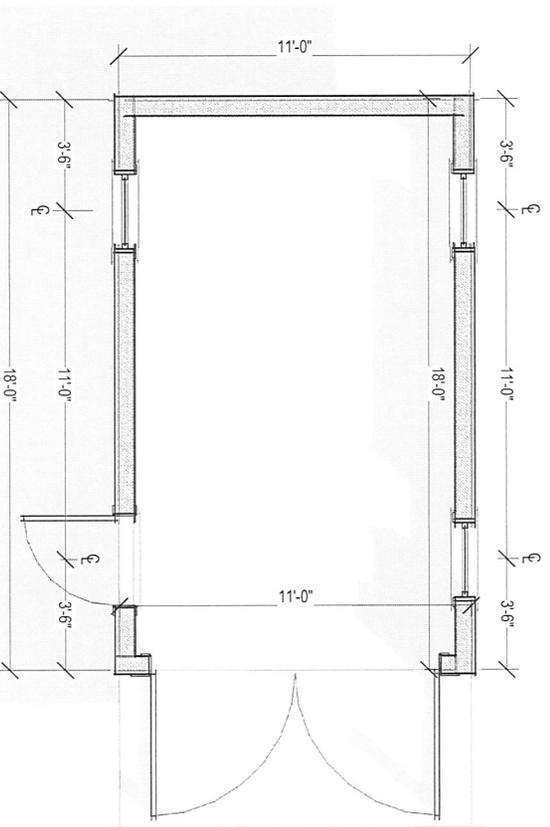
1/4" = 1'-0"

WINDOW & DOOR NOTES

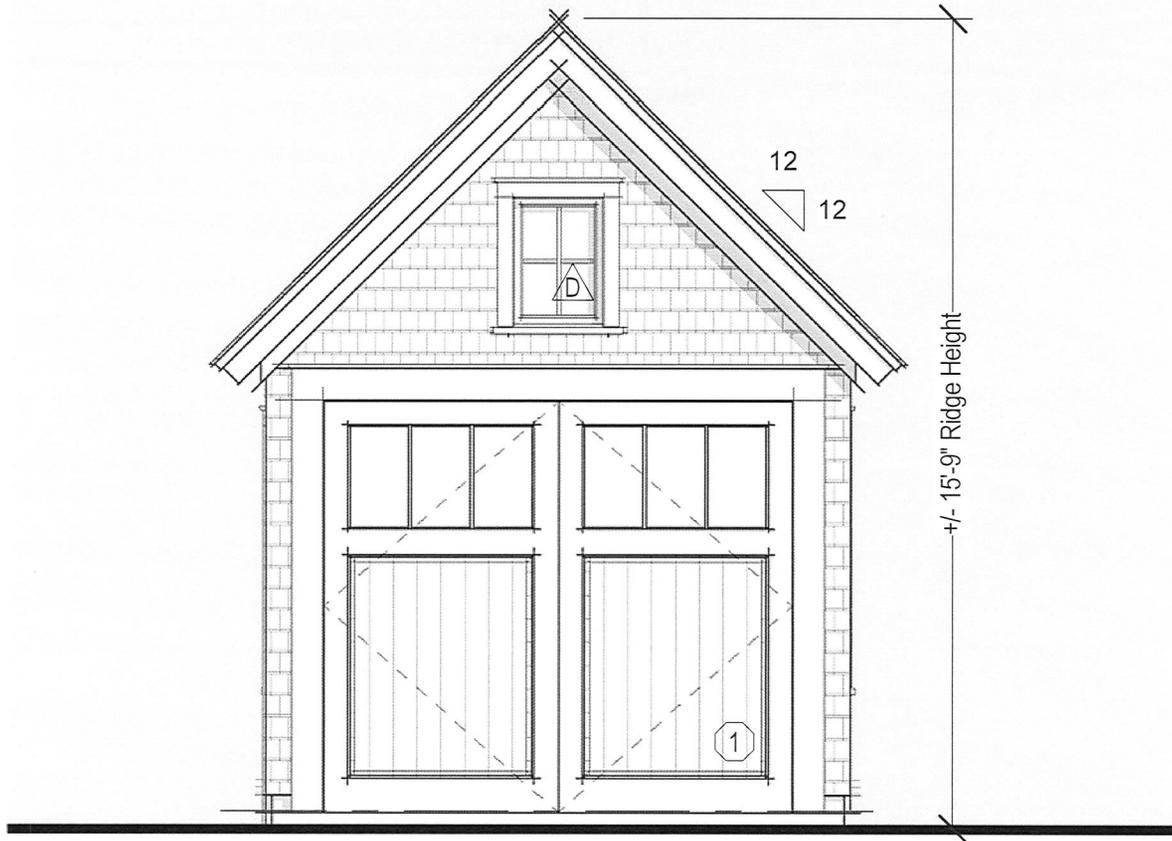
1. Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
2. Windows w/ DP Rating of 30 or Greater Required
3. Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
4. Refer To Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
5. Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
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0 Roof Plan
 1/4" = 1'-0"



1 First Floor Plan
 1/4" = 1'-0"



2 East Elevation

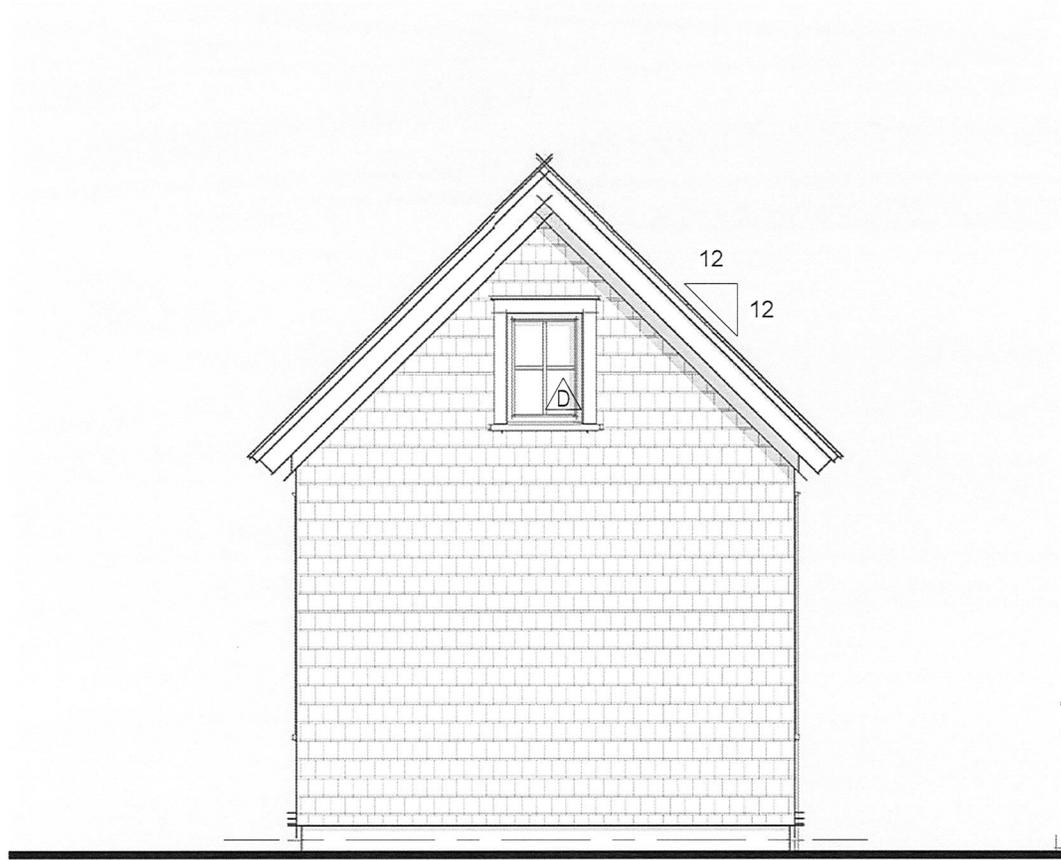
1/4" = 1'-0"



3 South Elevation
1/4" = 1'-0"



4 North Elevation
1/4" = 1'-0"

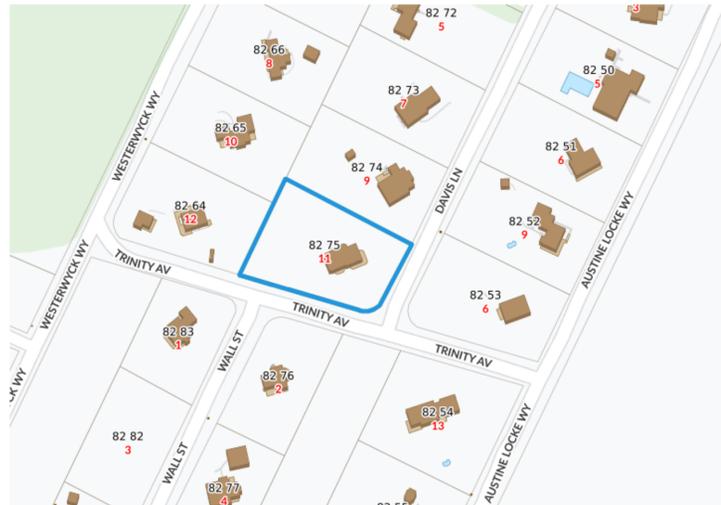


5 West Elevation
1/4" = 1'-0"

Cabana

11 Davis Ln
Nantucket, MA 02554

03.04.20



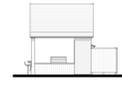
1 Locus Map
Not to Scale



East



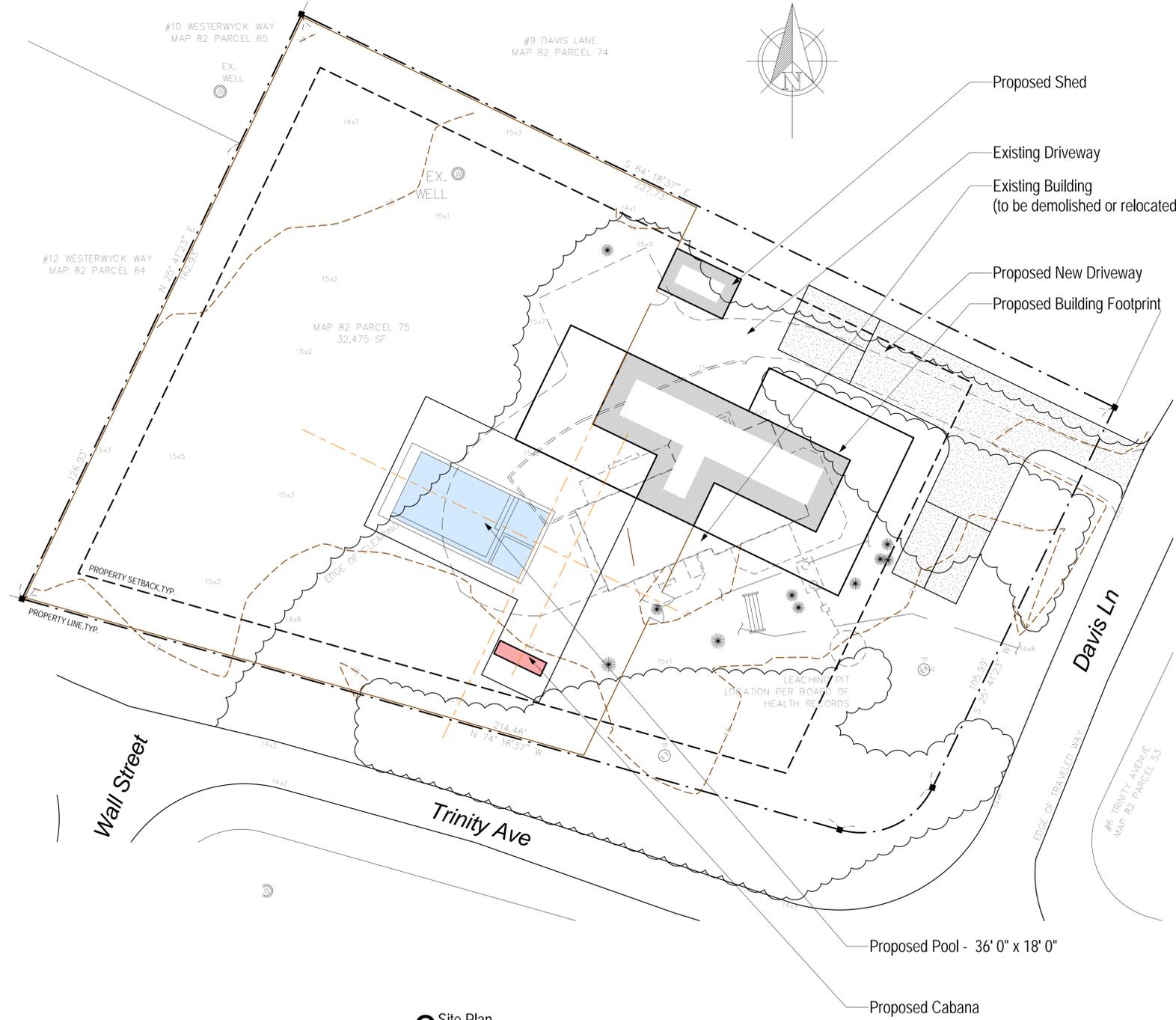
South



West



North



3 Site Plan
1/16" = 1'-0"



Fixed
4 Lite SGL

Window Legend

1/4" = 1'-0"



Door Legend

1/4" = 1'-0"

WINDOW & DOOR NOTES

1. Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
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2004

Cabana

11 Davis Ln
Nantucket, MA 02554



Cover Sheet

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
Allowable G.C.:	1,500 sq. ft. (per 139-33E(1b))
Existing G.C.:	1,351 sq. ft. (to be demolished)
Proposed G.C.:	48 sq. ft.
Total Proposed G.C.:	1,490 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

G.1.1	Cover Sheet
A.1.1	Floor Plan & Elevations

Revisions

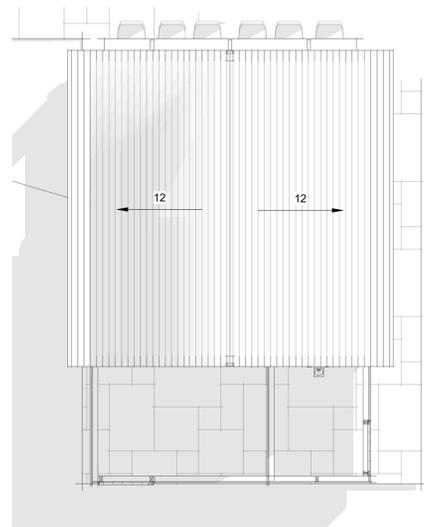
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G.1.1
2004

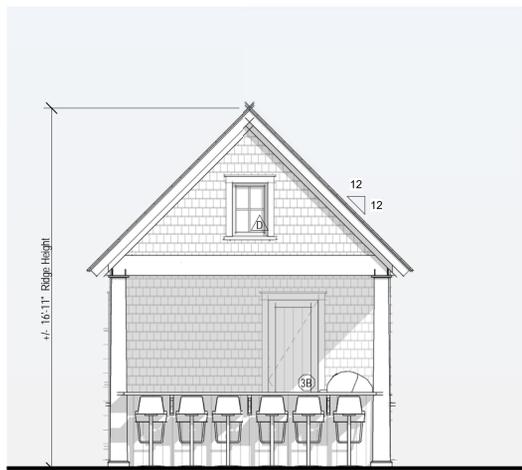
HDC Submission Only / FOR REVIEW

03.04.20

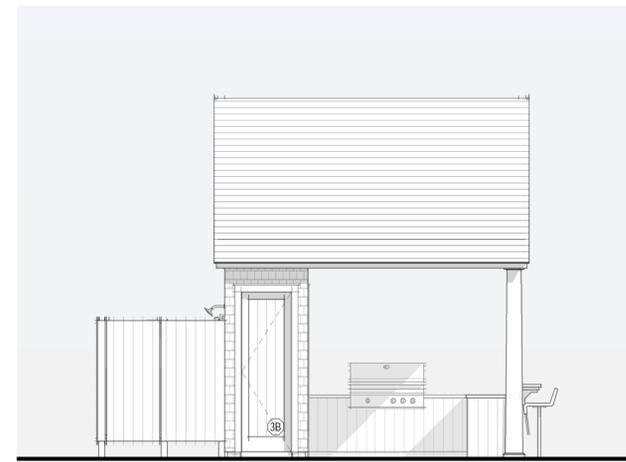
HDC Submission Only / FOR REVIEW



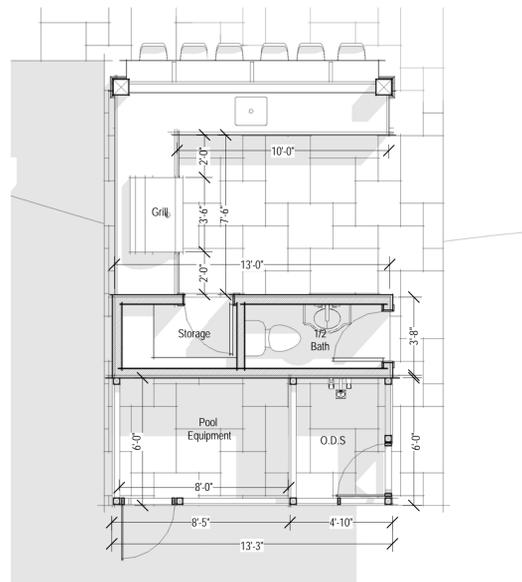
0 Roof Plan
1/4" = 1'-0"



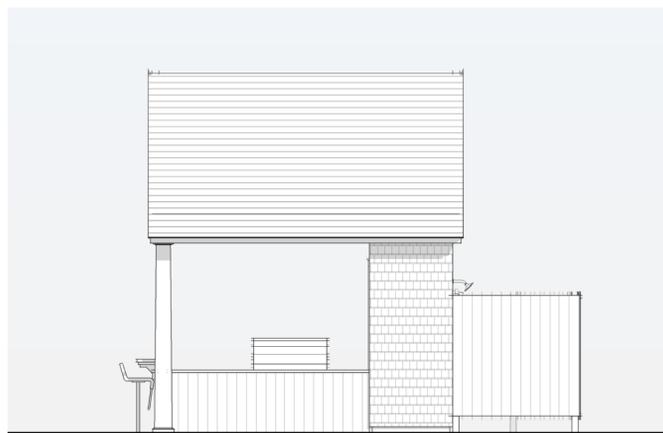
2 North Elevation
1/4" = 1'-0"



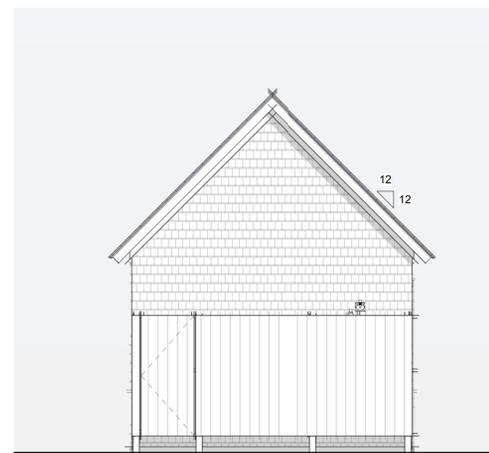
3 East Elevation
1/4" = 1'-0"



1 First Floor Plan
1/4" = 1'-0"



4 West Elevation
1/4" = 1'-0"



5 South Elevation
1/4" = 1'-0"

2004

Cabana

11 Davis Ln
Nantucket, MA 02554



Floor Plan & Elevations

Site Information

Map & Parcel: 82 / 75
 Current Zoning: LUG - 2
 Minimum Frontage: 150 ft.
 Front Setback: 35 ft.
 Side/Rear Setback: 10 ft. / 10 ft. (per 139-33E(2a))
 Lot Size: +/- 32,475 sq. ft.
 Min. Lot Size: 80,000 sq. ft.
 Allowable G.C.: 1,500 sq. ft. (per 139-33E(1b))
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 Proposed G.C.: 48 sq. ft.
 Total Proposed G.C.: 1,490 sq. ft.

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SHEET INDEX

G.1.1 Cover Sheet
 A.1.1 Floor Plan & Elevations

Revisions

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A.1.1
2004

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 82 PARCEL N°: 75
Street & Number of Proposed Work: 11 DAVIS LN
Owner of record: 11 DAVIS LLC
Mailing Address: 11 DAVIS LN
NANTUCKET, MA, 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EMERITUS
Mailing Address: 8 WILLIAMS LN
NANTUCKET, MA, 02554
Contact Phone #: 508 325 4995 E-mail: MATT@EMERITUS
DEVELOPMENT.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other POOL HOUSE / CABANA
Size of Structure or Addition: Length: 13'0" Sq. Footage 1st floor: 48 SF Decks/Patio: Size: #250 SF 1st floor 2nd floor
Width: 3'8" Sq. Footage 2nd floor: N/A Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: N/A

Difference between existing grade and proposed finish grade: North +6" South +6" East +6" West +6"
Height of ridge above final finish grade: North +16'11" South +16'11" East +16'11" West +16'11"

Additional Remarks

REVISIONS*

- 1. East Elevation
- 2. South Elevation
- 3. West Elevation
- 4. North Elevation

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed ±8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) N/A Other _____
Roof Pitch: Main Mass 12/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR
Skylights (flat only): Manufacturer N/A Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): COPPER
Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) ±10" Corner boards N/A Frieze 1x4
Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round _____ Square Tapered 5 1/4" x 11 1/4"
Windows*: Double Hung Casement All Wood Other FIXED
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Panel Front 1 panel Rear _____ Side 1 panel
Garage Door(s): Type N/A Material _____
Hardscape materials: Driveways N/A Walkways N/A Walls N/A

Fence: Height: _____
Type: _____
Length: _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) N/A Roof NATURAL
Trim WHITE Sash WHITE Doors WHITE
Deck NATURAL Foundation NATURAL Fence N/A Shutters N/A

* Attach manufacturer's color samples if color is not from HDC approval list.

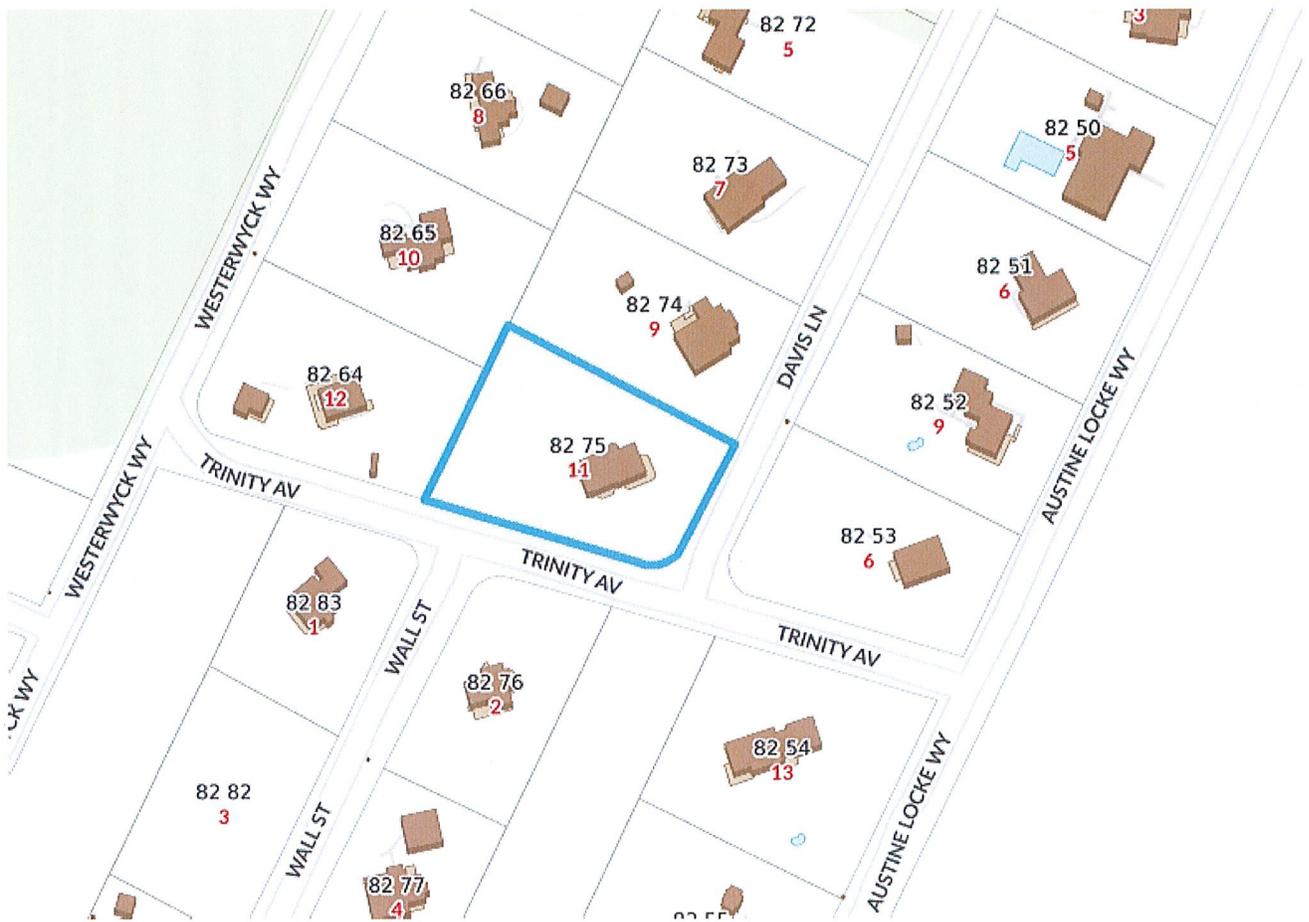
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
Date 03/04/20 Signature of owner of record _____ Signed under penalty of perjury _____

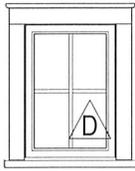
Cabana

11 Davis Ln

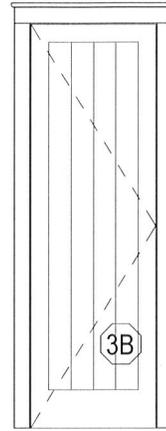
Nantucket, MA 02554

03.04.20





Fixed
4 Lite SDL



Window Legend

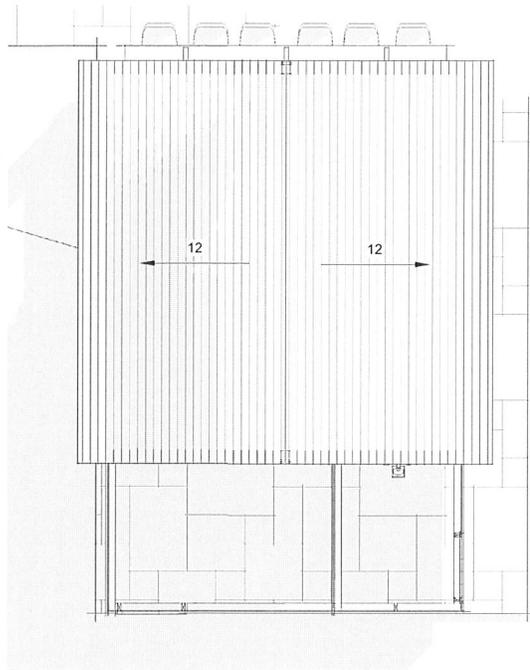
1/4" = 1'-0"

Door Legend

1/4" = 1'-0"

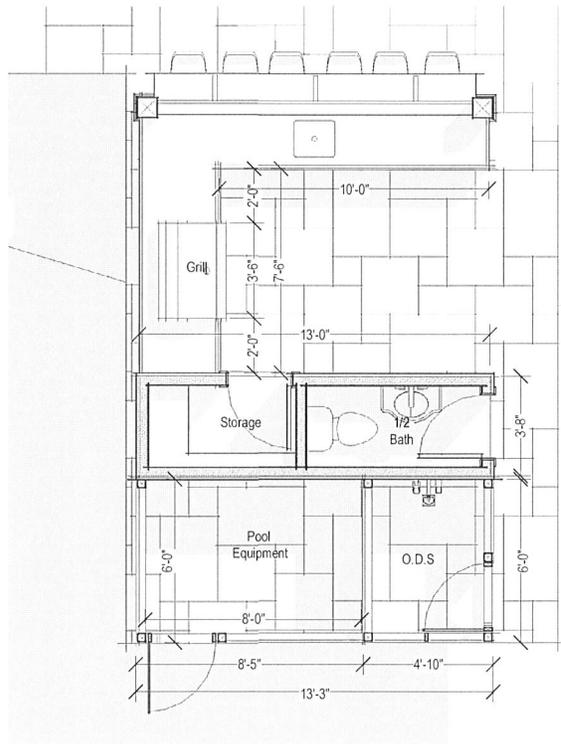
WINDOW & DOOR NOTES

1. Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
2. Windows w/ DP Rating of 30 or Greater Required
3. Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
4. Refer To Plan For Tempered Glass Locations; Contrator To Verify Tempered Windows Are Provided Where Required
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9. Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
10. The Unit Measurements Given In this Document Are For A Guide Only
11. Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



0 Roof Plan

1/4" = 1'-0"



1 First Floor Plan

1/4" = 1'-0"



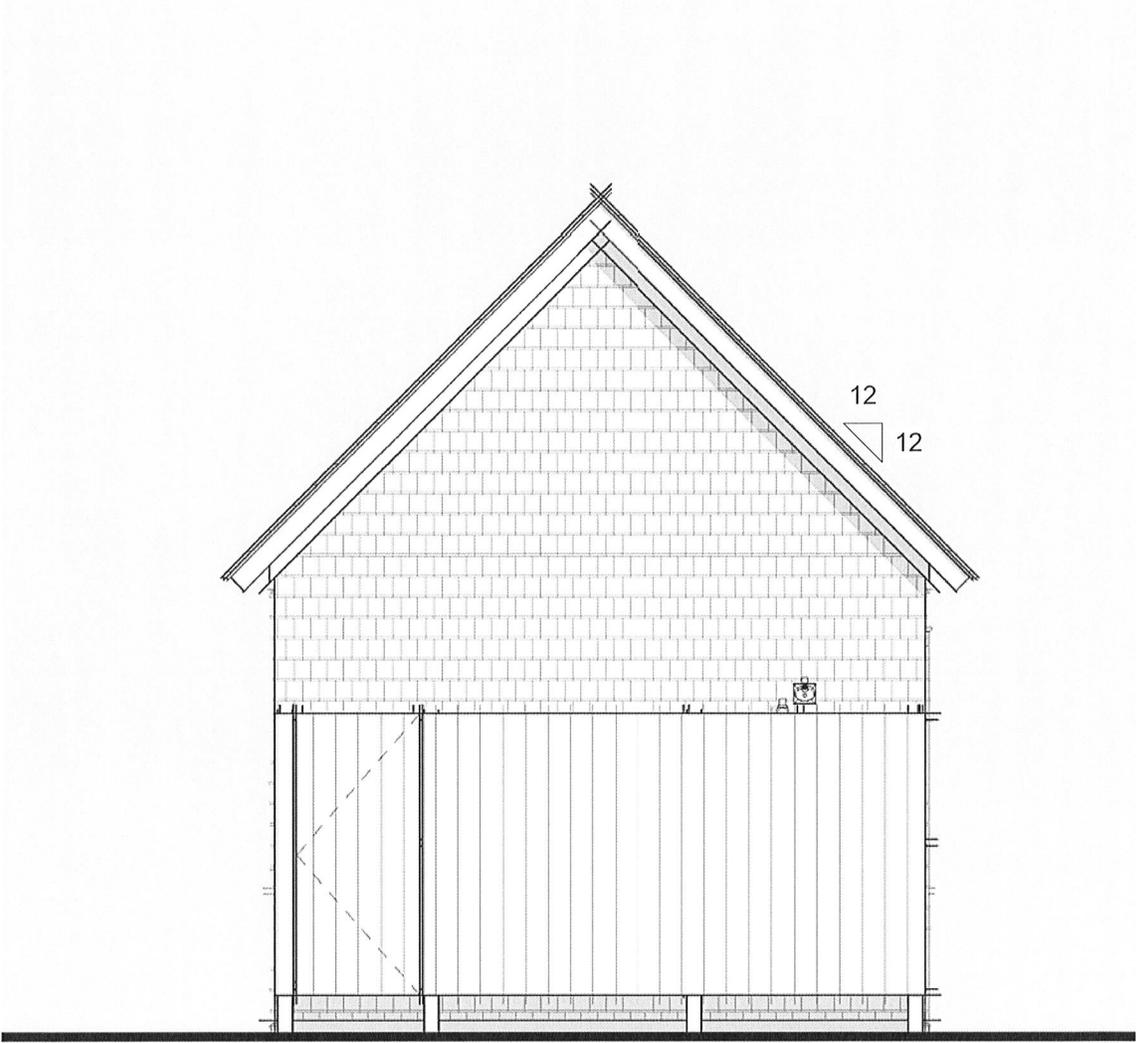
2 North Elevation
1/4" = 1'-0"



3 East Elevation
1/4" = 1'-0"



4 West Elevation
1/4" = 1'-0"



5 South Elevation

$\frac{1}{4}'' = 1'-0''$

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 82 PARCEL N°: 75
Street & Number of Proposed Work: 11 DAVIS LN
Owner of record: 11 DAVIS LLC
Mailing Address: 11 DAVIS LN,
NANTUCKET, MA, 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EMERITUS
Mailing Address: 8 WILLIAM LN,
NANTUCKET, MA, 02554
Contact Phone #: 508 325 4995 E-mail: MATT@EMERITUS
DEVELOPMENT.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Member: _____

Notes - Comments - Restrictions - Conditions

MAIN HOUSE

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 02'6" Sq. Footage 1st floor: 1,442 S.F. Decks/Patio: Size: 1,953 S.F. 1st floor 2nd floor
Width: 32'0" Sq. Footage 2nd floor: 1,442 S.F. Size: 669 S.F. 1st floor 2nd floor
Sq. Footage 3rd floor: N/A

Difference between existing grade and proposed finish grade: North +6" South +6" East +6" West +6"
Height of ridge above final finish grade: North +28'11" South +28'11" East +28'11" West +28'11"

Additional Remarks

REVISIONS*

- 1. East Elevation
 - 2. South Elevation
 - 3. West Elevation
 - 4. North Elevation
- Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed +8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) N/A Other N/A
Roof Pitch: Main Mass 12/12 Secondary Mass 12/12 Dormer 8/9/12 Other COVERED PORCH ROOF 4/12
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer N/A Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): COPPER

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) +1'0" Corner boards N/A Frieze 1x4
Window Casing 3/4x4 Door Frame 3/4x4 Columns/Posts: Round _____ Square Tapered 3 1/4" to 1 1/4"

Windows*: Double Hung Casement All Wood Other FIXED
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front 1 panel 4 Lite Rear 4 Lite Side 4 Lite
Garage Door(s): Type N/A Material _____

Hardscape materials: Driveways N/A Walkways N/A Walls N/A

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) N/A Roof NATURAL
Trim WHITE Sash WHITE Doors WHITE
Deck NATURAL Foundation NATURAL Fence N/A Shutters N/A

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

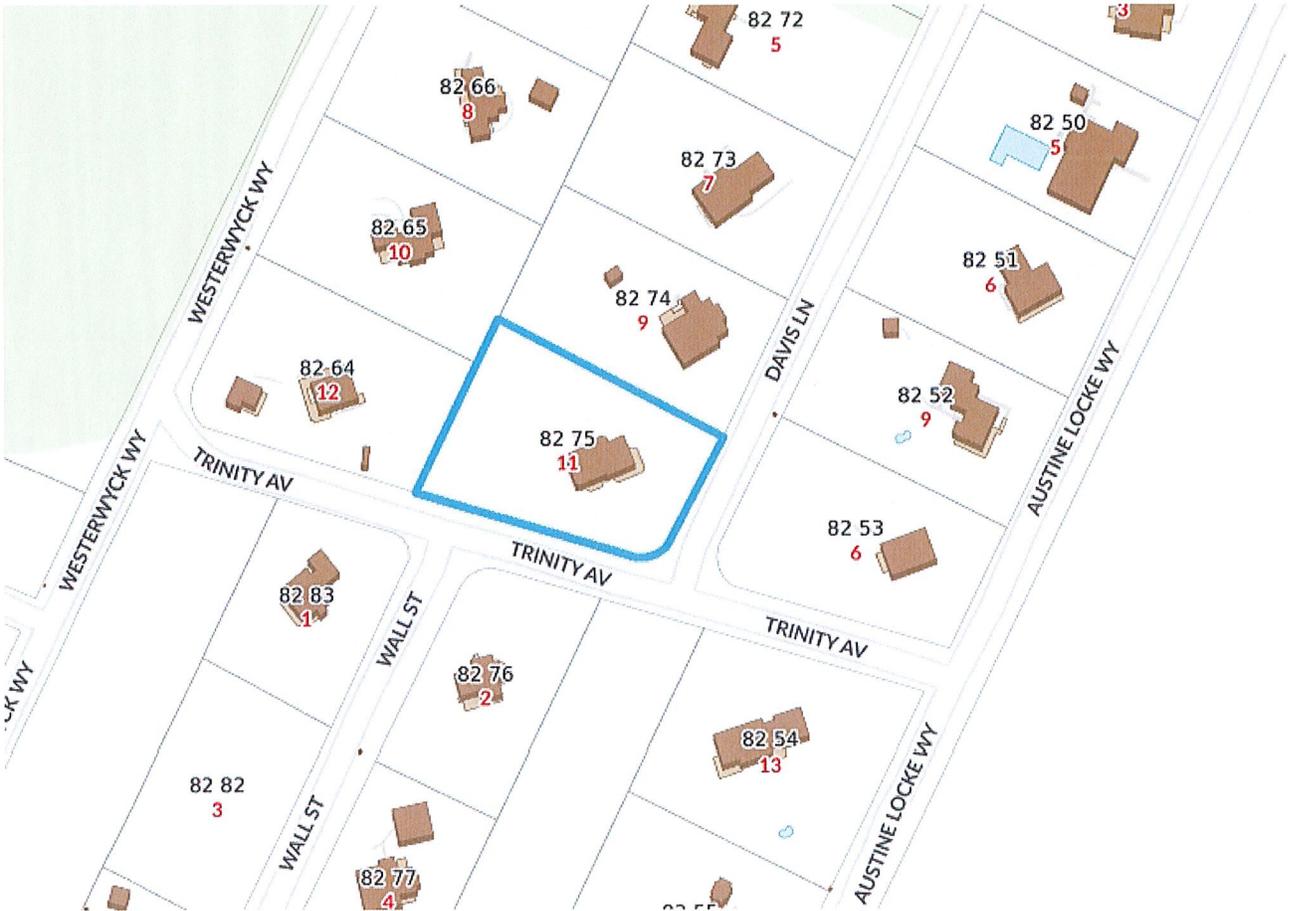
Date 03/04/20 Signature of owner of record _____ Signed under penalties of perjury _____

Main House

11 Davis Ln

Nantucket, MA 02554

03.04.20



Main House

11 Davis Ln
Nantucket, MA 02554



East



South

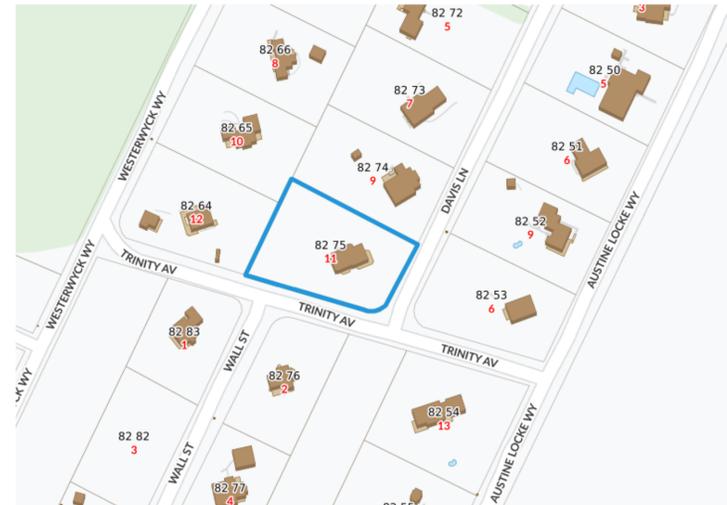


West

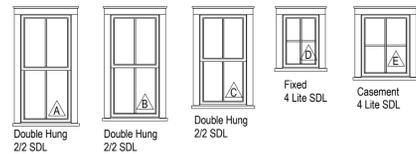


North

03.04.20

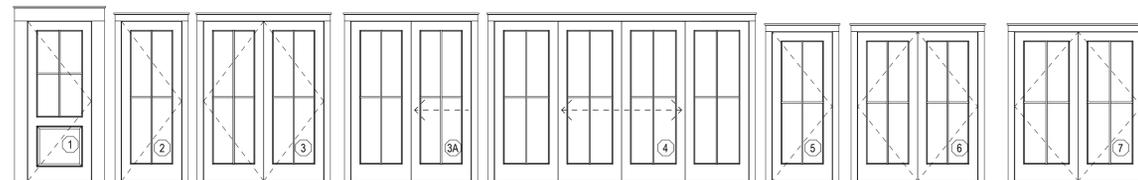


1 Locus Map
Not to Scale



Window Legend
1/4" = 1'-0"

WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
A	21	2'-7"	5'-2"	TBD	≥ 30
B	8	2'-6"	4'-11"	TBD	≥ 30
C	12	2'-5"	4'-4"	TBD	≥ 30
D	5	1'-11"	2'-7"	TBD	≥ 30
E	6	2'-6"	3'-0"	TBD	≥ 30

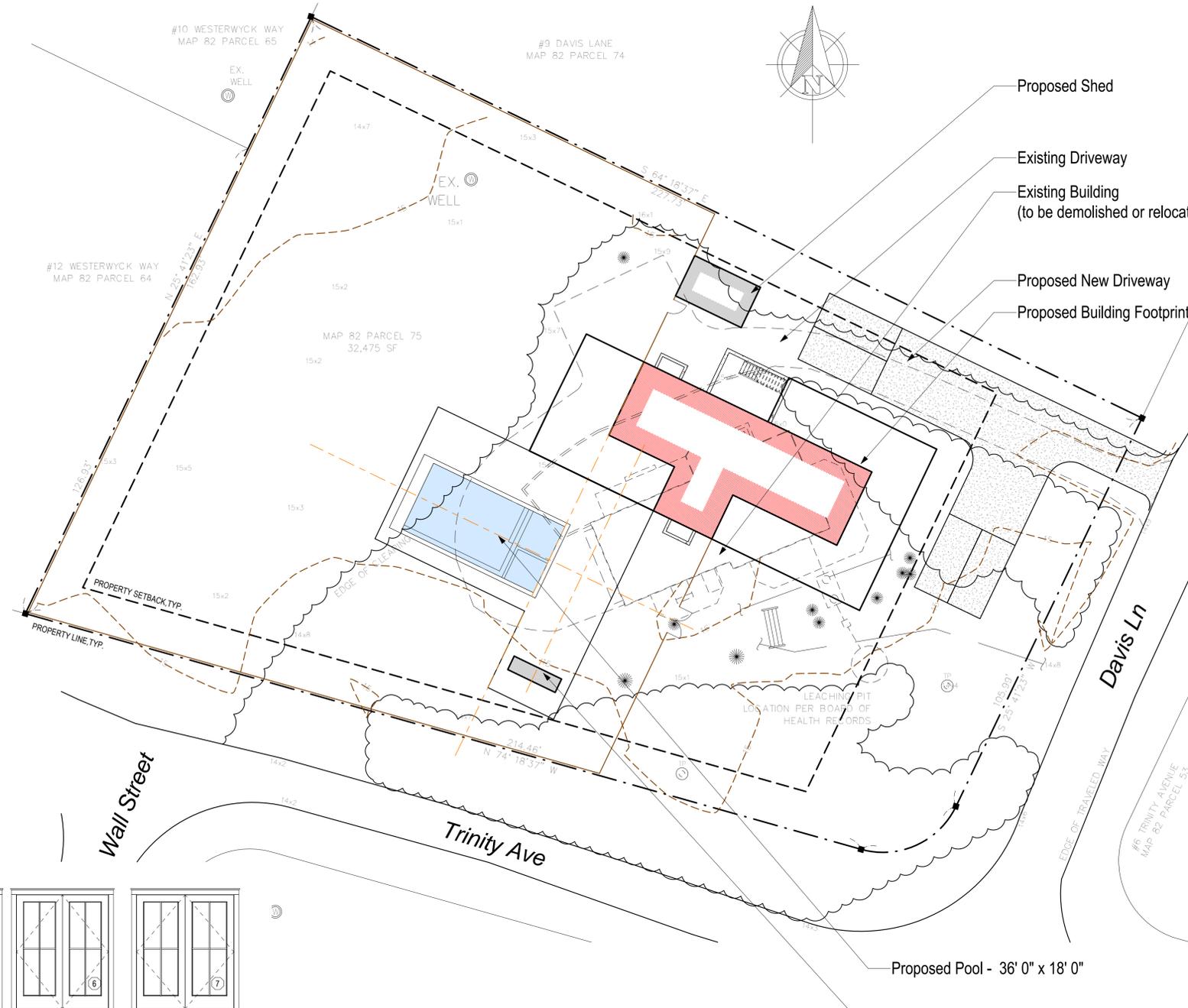


Door Legend
1/4" = 1'-0"

DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
1	1	3'-0"	7'-6"	TBD	≥ 30
2	1	2'-10"	7'-6"	TBD	≥ 30
3	3	5'-8"	7'-6"	TBD	≥ 30
3A	2	5'-8"	7'-6"	TBD	≥ 30
4	1	12'-0"	7'-6"	TBD	≥ 30
5	2	2'-10"	7'-0"	TBD	≥ 30
6	2	5'-8"	7'-0"	TBD	≥ 30
7	1	6'-0"	7'-0"	TBD	≥ 30

WINDOW & DOOR NOTES

- Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
- Windows w/ DP Rating of 30 or Greater Required
- Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
- Refer To Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
- Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
- General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
- General Contractor to Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
- Contractor Shall Provide Architekt w/ Window & Door Quote For Quantity & Type Verification Prior To Order
- Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
- The Unit Measurements Given In This Document Are For A Guide Only
- Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



3 Site Plan
1/16" = 1'-0"

2004

Main House

11 Davis Ln
Nantucket, MA 02554



Cover Sheet

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
Allowable G.C.:	1,500 sq. ft. (per 139-33E(1b))
Existing G.C.:	1,351 sq. ft. (to be demolished)
Proposed G.C.:	1,442 sq. ft.
Total Proposed G.C.:	1,490 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.0 Basement Plan
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.
DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING, WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

G.1.1
2004

HDC Submission Only / FOR REVIEW

03.04.20

HDC Submission Only / FOR REVIEW



1 East Elevation
1/4" = 1'-0"



2 South Elevation
1/4" = 1'-0"

2004

Main House

11 Davis Ln
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
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A.2.1
2004

03.04.20

HDC Submission Only / FOR REVIEW



1 West Elevation
1/4" = 1'-0"



2 North Elevation
1/4" = 1'-0"

2004

Main House

11 Davis Ln
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel: 82 / 75
 Current Zoning: LUG - 2
 Minimum Frontage: 150 ft.
 Front Setback: 35 ft.
 Side/Rear Setback: 10 ft. / 10 ft. (per 139-33E(2a))
 Lot Size: +/- 32,475 sq. ft.
 Min. Lot Size: 80,000 sq. ft.
 Allowable G.C.: 1,500 sq. ft. (per 139-33E(1b))
 Existing G.C.: 1,351 sq. ft. (to be demolished)
 Proposed G.C.: 1,442 sq. ft.
 Total Proposed G.C.: 1,490 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

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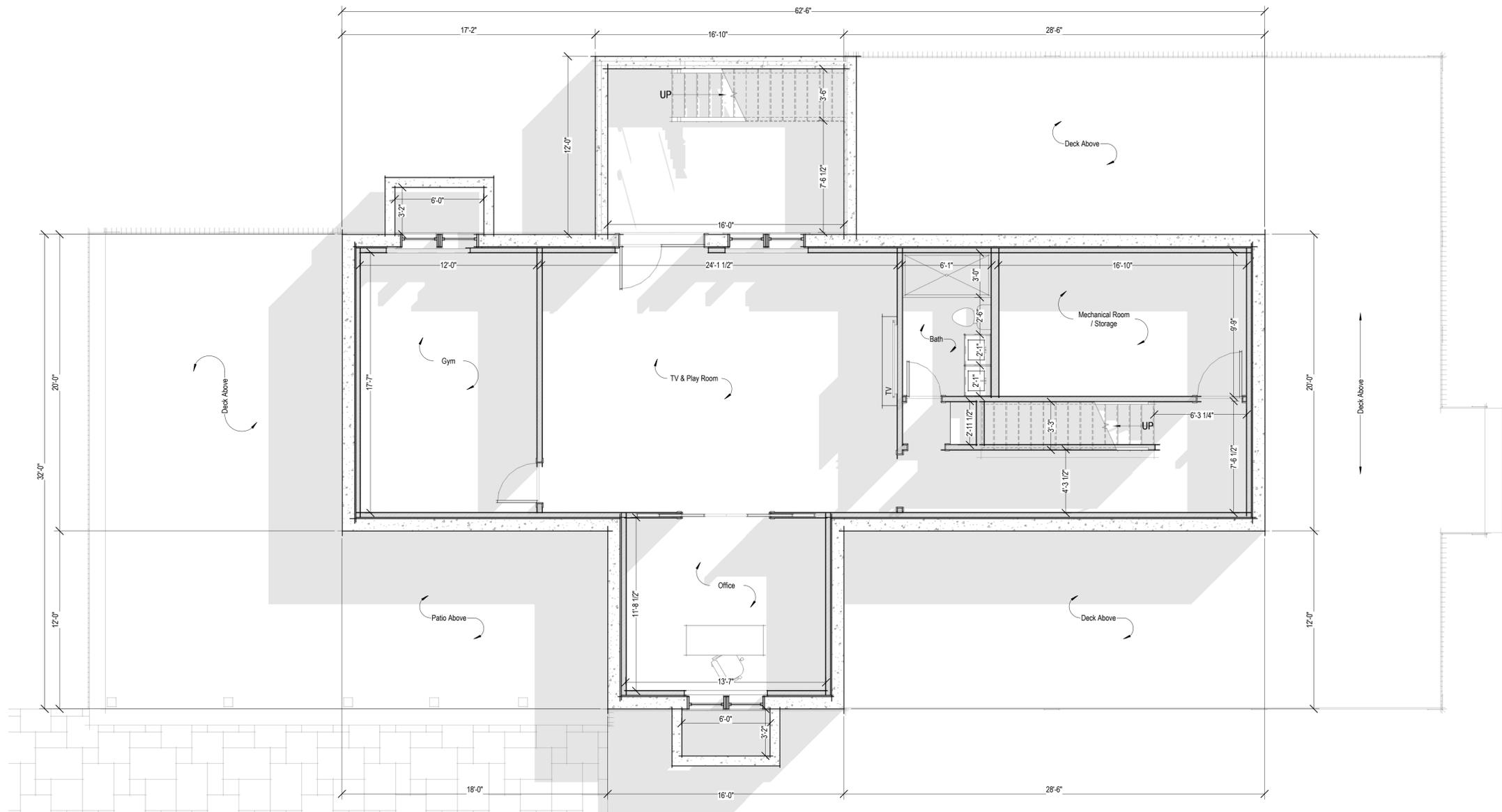
Revisions

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A.2.2
2004

03.04.20

HDC Submission Only / FOR REVIEW



1 Basement Plan
1/4" = 1'-0"

2004

Main House

11 Davis Ln
Nantucket, MA 02554



Basement Plan

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
Allowable G.C.:	1,500 sq. ft. (per 139-33E(1b))
Existing G.C.:	1,351 sq. ft. (to be demolished)
Proposed G.C.:	1,442 sq. ft.
Total Proposed G.C.:	1,490 sq. ft.

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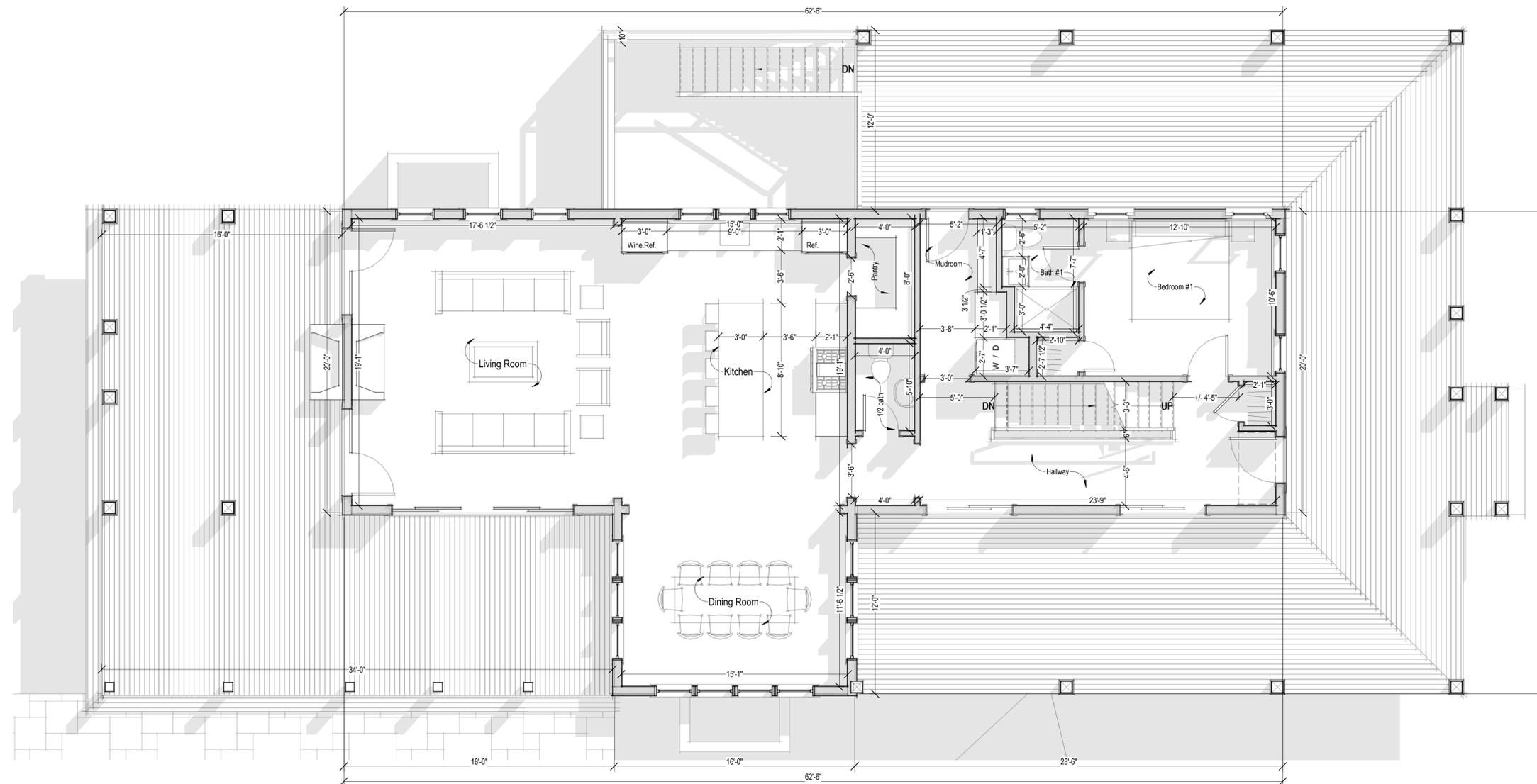
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A.1.0
2004

03.04.20

HDC Submission Only / FOR REVIEW



1 First Floor Plan
1/4" = 1'-0"

2004
Main House
11 Davis Ln
Nantucket, MA 02554



First Floor Plan

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
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Existing G.C.:	1,351 sq. ft. (to be demolished)
Proposed G.C.:	1,442 sq. ft.
Total Proposed G.C.:	1,490 sq. ft.

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A.2.2	Exterior Elevations

Revisions

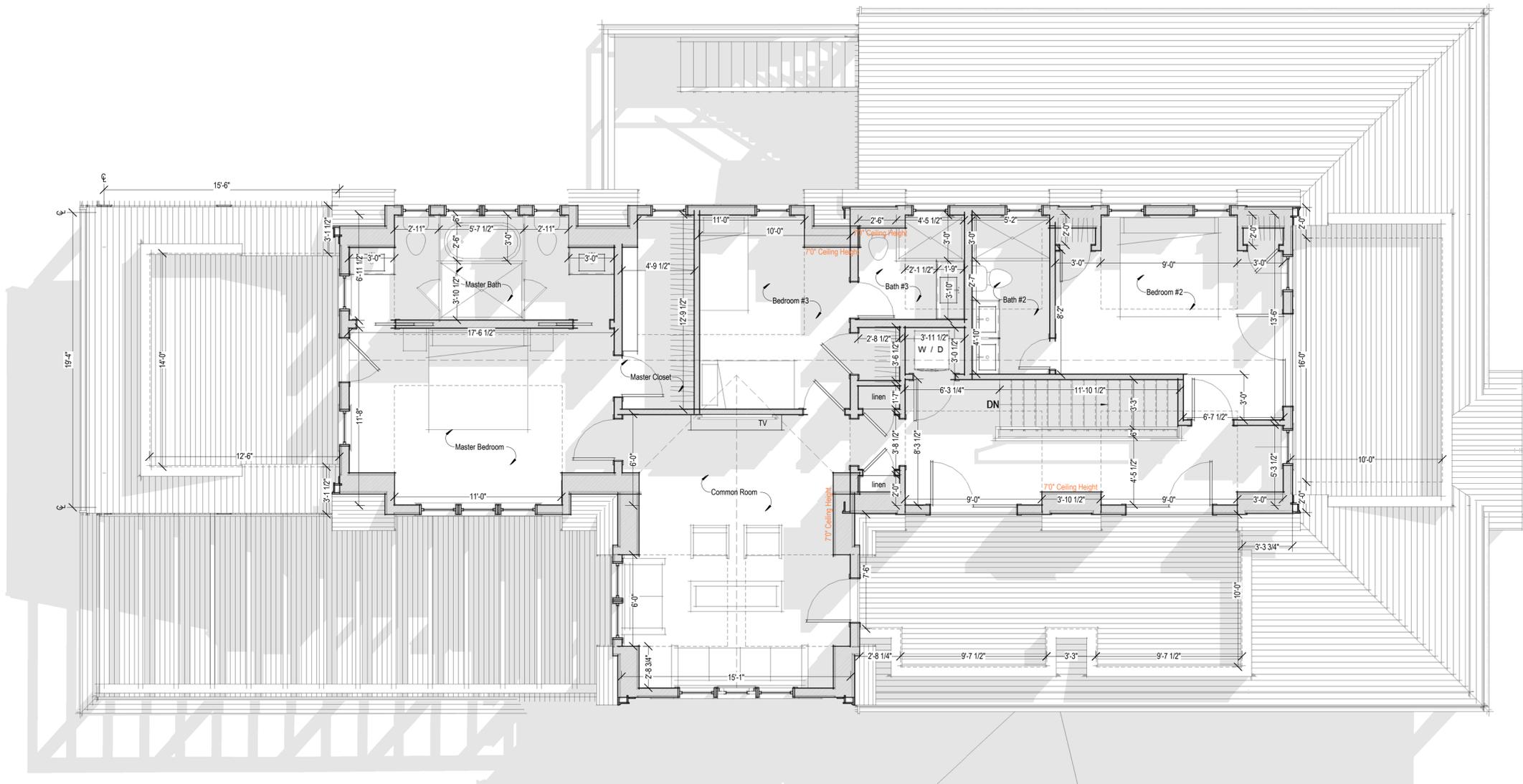
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A.1.1
2004

03.04.20

HDC Submission Only / FOR REVIEW



1 Second Floor Plan
1/4" = 1'-0"

2004

Main House

11 Davis Ln
Nantucket, MA 02554



Second Floor Plan

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
Allowable G.C.:	1,500 sq. ft. (per 139-33E(1b))
Existing G.C.:	1,351 sq. ft. (to be demolished)
Proposed G.C.:	1,442 sq. ft.
Total Proposed G.C.:	1,490 sq. ft.

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Revisions

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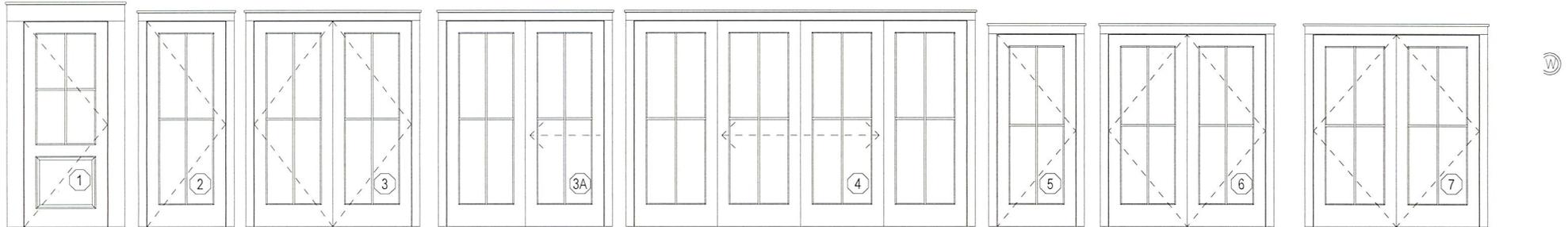
A.1.2
2004



Window Legend

1/4" = 1'-0"

WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
A	21	2'-7"	5'-2"	TBD	≥ 30
B	8	2'-6"	4'-11"	TBD	≥ 30
C	12	2'-5"	4'-4"	TBD	≥ 30
D	5	1'-11"	2'-7"	TBD	≥ 30
E	6	2'-6"	3'-0"	TBD	≥ 30



Door Legend

1/4" = 1'-0"

DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
1	1	3'-0"	7'-6"	TBD	≥ 30
2	1	2'-10"	7'-6"	TBD	≥ 30
3	3	5'-8"	7'-6"	TBD	≥ 30
3A	2	5'-8"	7'-6"	TBD	≥ 30
4	1	12'-0"	7'-6"	TBD	≥ 30
5	2	2'-10"	7'-0"	TBD	≥ 30
6	2	5'-8"	7'-0"	TBD	≥ 30
7	1	6'-0"	7'-0"	TBD	≥ 30

WINDOW & DOOR NOTES

1. Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
2. Windows w/ DP Rating of 30 or Greater Required
3. Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
4. Refer To Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
5. Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
6. General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
7. General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
8. Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
9. Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
10. The Unit Measurements Given In This Document Are For A Guide Only
11. Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



1 East Elevation

1/4" = 1'-0"



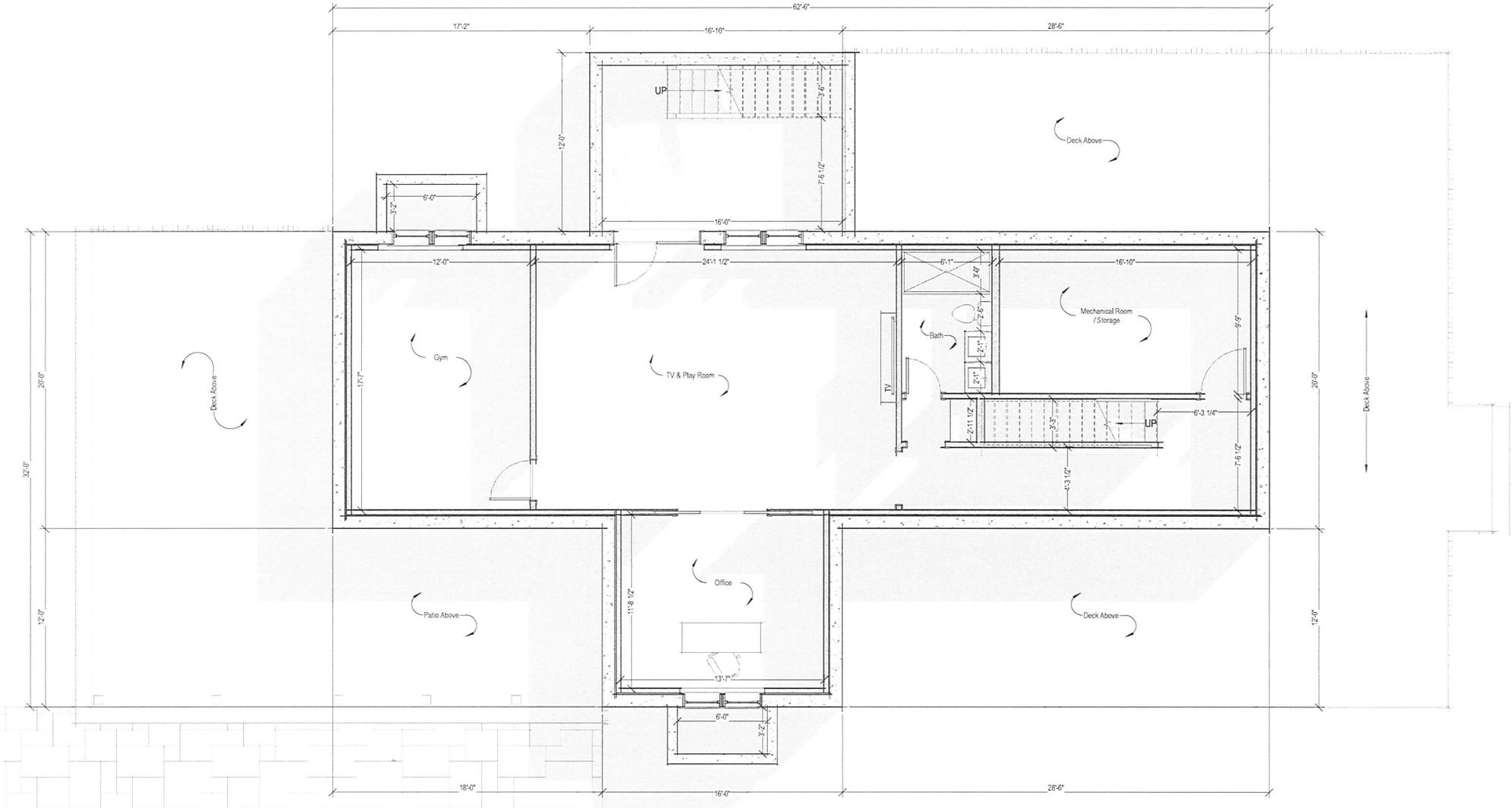
2 South Elevation
1/4" = 1'-0"



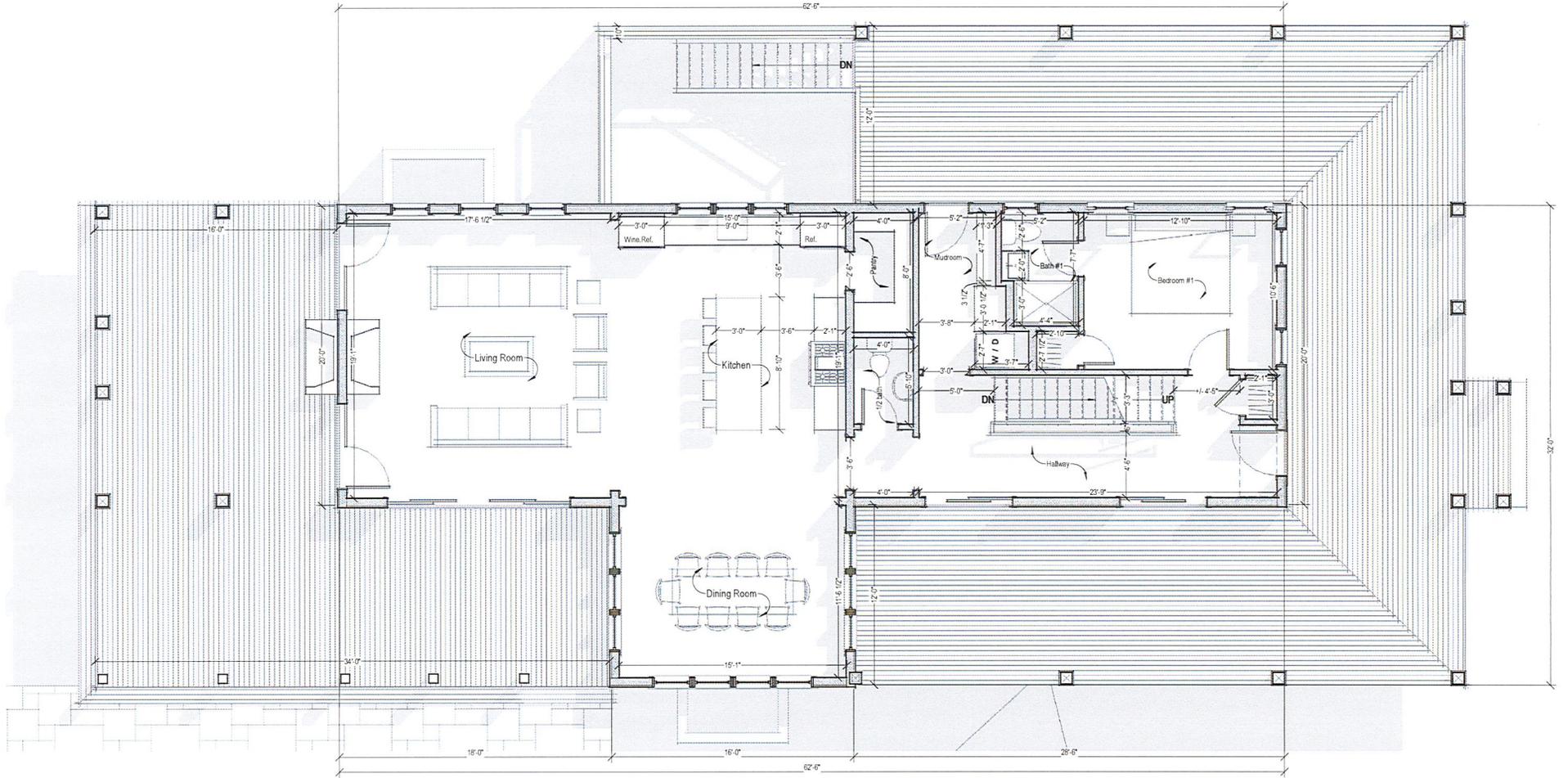
1 West Elevation
1/4" = 1'-0"



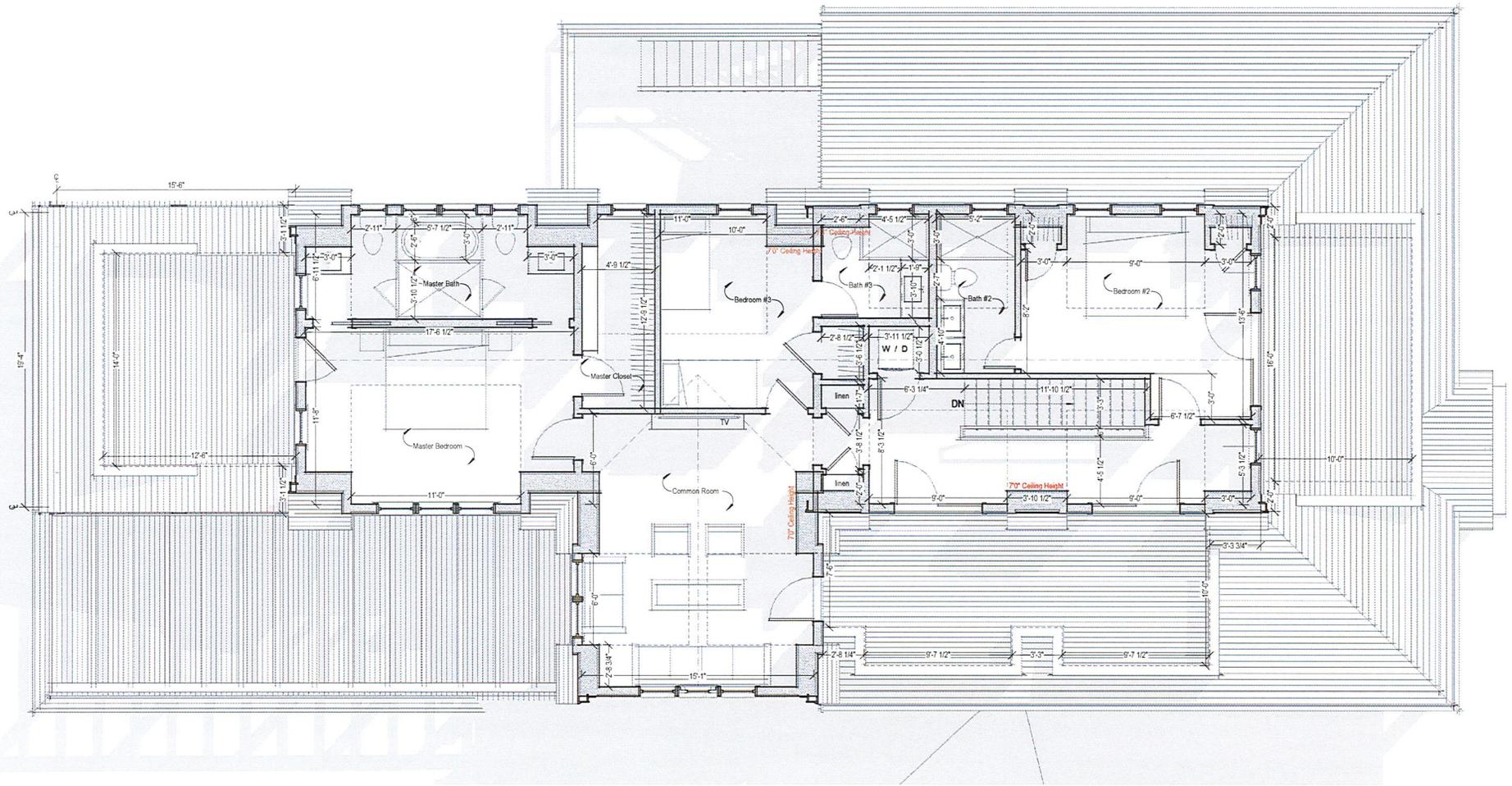
2 North Elevation
1/4" = 1'-0"



1 Basement Plan
 1/4" = 1'-0"



1 First Floor Plan
1/4" = 1'-0"



1 Second Floor Plan
 1/4" = 1'-0"

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 50 PARCEL N^o: 67.2
 Street & Number of Proposed Work: 25 MILLBROOK RD.
 Owner of record: MARTIN M'GOWAN
 Mailing Address: 88 SOMERSET RD.
NANTUCKET MA 02554
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: _____
 Mailing Address: SCONSET GARDENER
88 SOMERSET RD.
 Contact Phone #: 228-3422 E-mail: _____
sgidesign@scosnetgardener.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other: SITE EXIST HOUSE ON LOT, NEW FDN, ADDITIONS.
 Size of Structure or Addition: Length: 40 Sq. Footage 1st floor: 1794 (NEW) Decks/Patio: Size: 1427 1st floor 2nd floor
20x52 Width: 20 Sq. Footage 2nd floor: 938 (NEW) Size: 230 1st floor 2nd floor
 1st flr Sq. Footage 1311 EXIST.

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North 23-5 South 23-5 East 23-11 West 23-0

Additional Remarks

Historic Name: _____
 Original Date: _____
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A
REVISIONS* 1. East Elevation ADDITIONS
 2. South Elevation NEW WINDOWS/DOORS
 3. West Elevation EXT INSULATION/SHEATHING
 4. North Elevation _____
 *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) WATERBUCK Other _____
 Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size): COPPER
 Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia 1x6 Rake 1x8 w/1x2 Soffit (Overhang) 6-8" Corner boards 1x6 Frieze 1x6
 Window Casing 1x4 w/1x6 Door Frame 1x4 w/1x6 Columns/Posts: Round _____ Square 6x6
 Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
 Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
 Hardscape materials: Driveways GRAVEL Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NTW Clapboard (if applicable) _____ Roof DARK GRAY
 Trim NTW Sash NANTUCKET GRAY Doors NANTUCKET GRAY
 Deck NTW Foundation NTW Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 02/19/2020 Signature of owner of record Martin McGowan Signed under penalties of perjury



HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road

Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Fax: 508.228.7298

NOTICE OF HDC APPLICATION

ABUTTERS AND INTERESTED PARTIES

Please be informed that the Nantucket Historic District Commission will be considering the following proposal:

Address of Proposed Work: 25 MILBROOK RD

Tax Map Number: 56 Parcel Number: 67.2

Owner of Record: MARTIN MCGOWAN

Description of Proposal: SITE EXISTING HOUSE ON LOT W/
NEW FOUNDATION, PROPOSED GARAGE ADDITION (560 SF)
OTHER ADDITIONS TO HOUSE (1234 SF FIRST FLR)
(938 SF SECOND FLR)

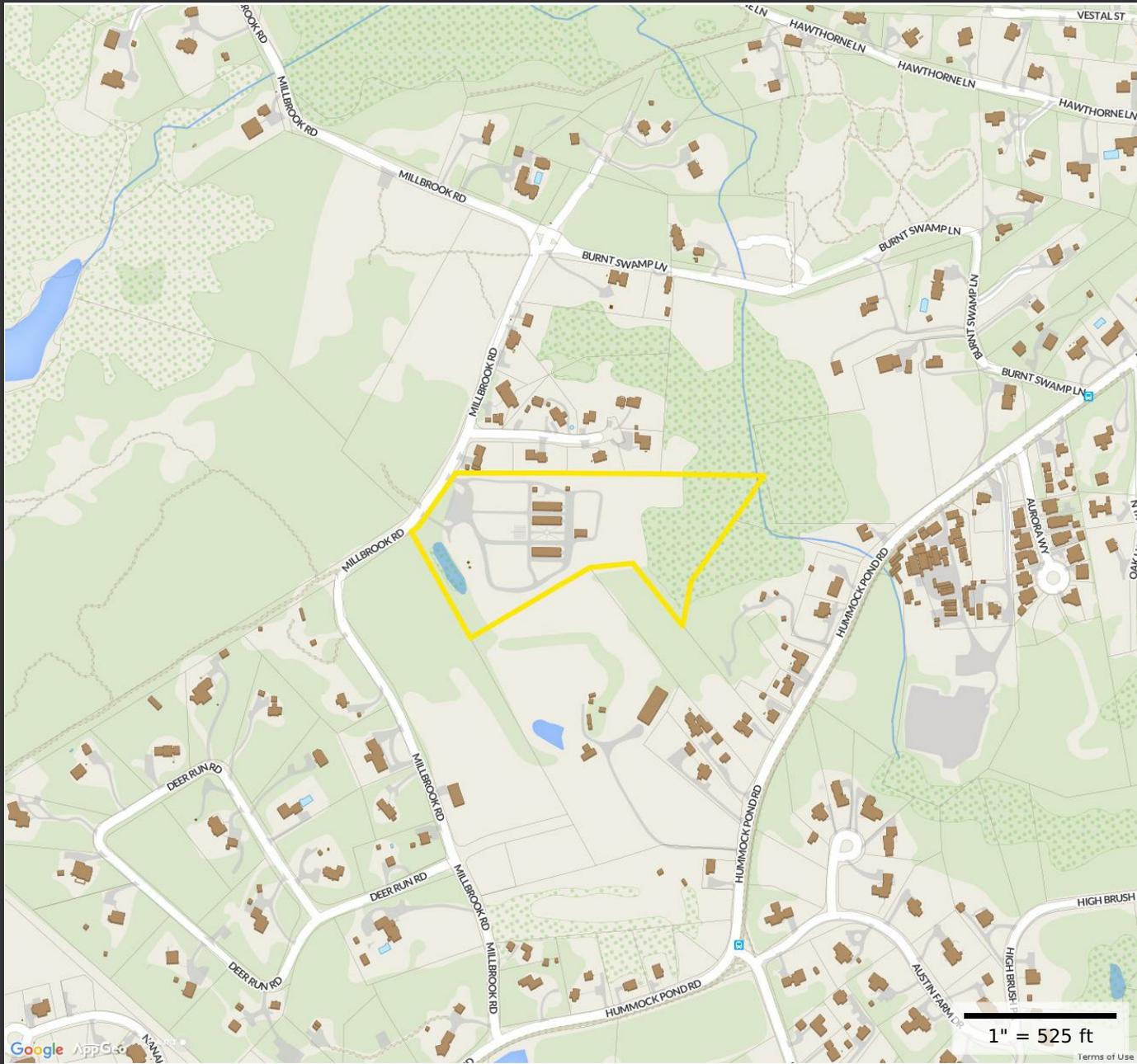
Anticipated HDC Submission Date: 02/19/2020

You have been identified either as an abutter or interested party to the above property and are being notified in accordance with the Town Bylaw. Please note that the above submission date is an estimate only; the actual meeting date will be determined once the HDC staff has established that a complete application has been submitted. Please contact the HDC office to verify the date. Please note that notification is only required at the time of initial submission of an application, not for each time an application goes before the Commission. Abutters are responsible for monitoring the status of applications.

If you wish to comment on the above proposal, you are encouraged to submit your comments in writing to the HDC office. If you wish to testify at a Commission meeting please be aware that your testimony may be limited by the Commission in accordance with Commission policies, which are included on the back of this form. Due to the large sizes of most applications, the HDC office may not be able to send faxed copies of the plans. Off-island abutters wishing more detailed information may enlist an on-island representative to view the plans in the HDC office.

If you have any questions, please contact the HDC office at 508.325.7587.

Locus 25 Millbrook Rd.



Property Information

Property ID 56 67.2
Location 25 MILLBROOK RD
Owner MCGOWAN MARTIN



SGI DESIGN

88 Somerset Road, Nantucket, MA 02554
 508-228-3422 (tel) 508-228-8432 (fax)
 sgd@sgidesign.com

LOCUS

McGowan Residence
 25 Millbrook Rd
 Nantucket, Ma 02554
 56
 67.2
 R20

SCALE: AS NOTED
 DATE: 2/18/2020

HDC-1

85X=



1 HDC WEST ELEVATION

NOT TO SCALE



2 FRONT ELEVATION- EXISTING

SGI DESIGN

88 Somerset Road, Nantucket, MA 02554
508-228-3422 (tel) 508-228-8432 (fax)
sgidesign@sconsetgardener.com

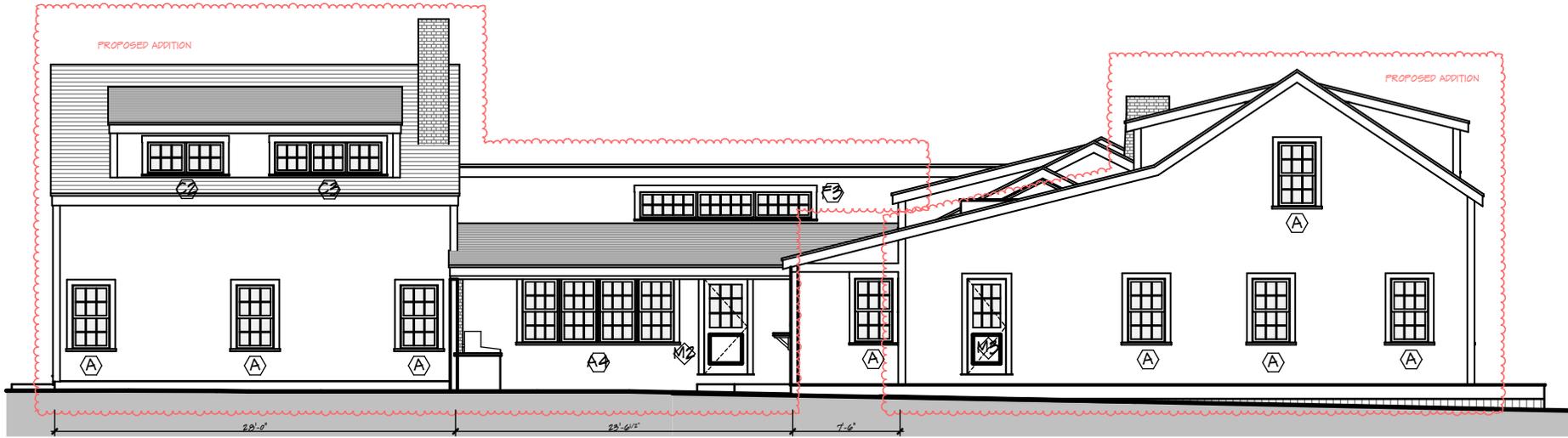
West Elevation

McGowan Residence
25 Millbrook Rd
Nantucket, Ma 02554
56
672
R20

SCALE: AS NOTED
DATE: 2/18/2020

HDC-A

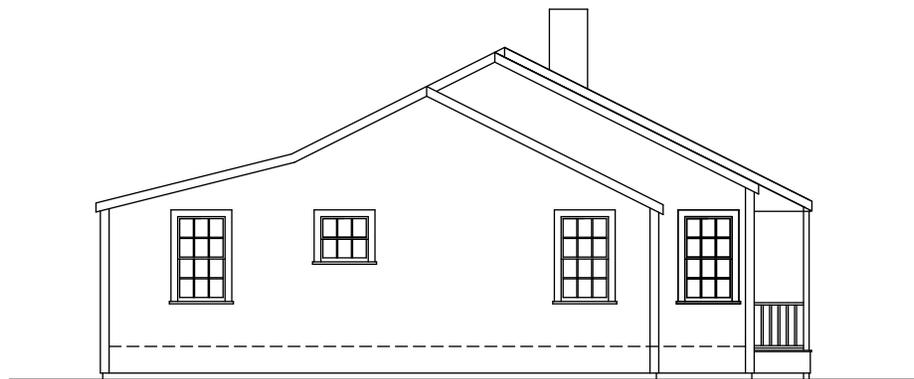
8.5X8



1

HDC SOUTH ELEVATION

NOT TO SCALE



2

SIDE ELEVATION- EXISTING



SGI DESIGN

88 Somerset Road, Nantucket, MA 02554
 508-228-3422 (tel) 508-228-8432 (fax)
 sgidesign@sconsetgardener.com

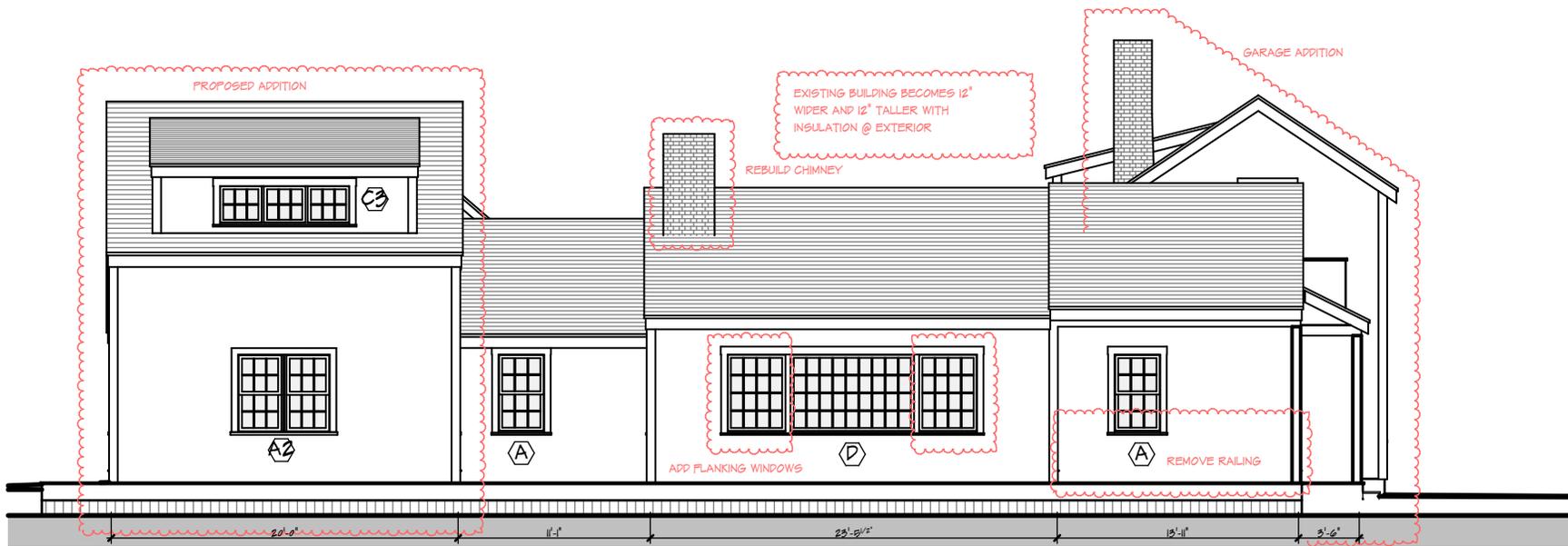
South Elevation

McGowan Residence
 25 Millbrook Rd
 Nantucket, Ma 02554
 56
 672
 R20

SCALE: AS NOTED
 DATE: 2/18/2020

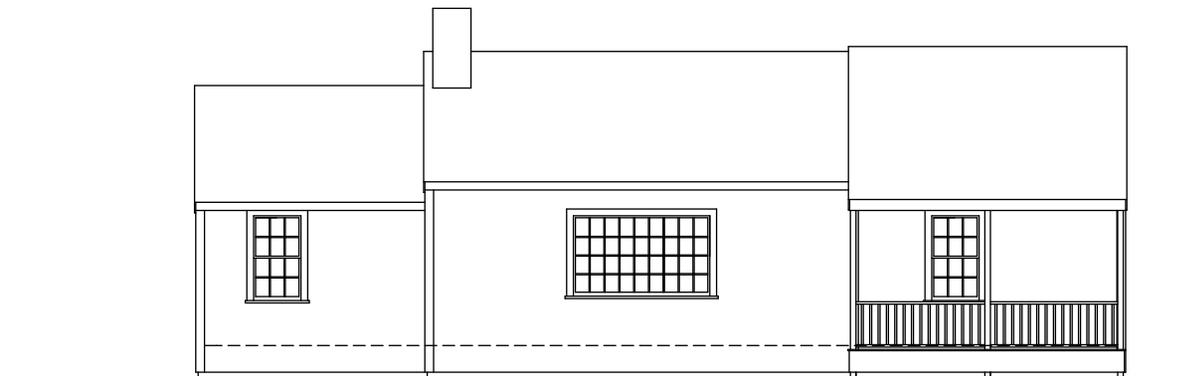
HDC-B

8.5X=



1 HDC EAST ELEVATION

NOT TO SCALE



2 REAR ELEVATION- EXISTING



SGI DESIGN

88 Somerset Road, Nantucket, MA 02554
 508-228-3422 (tel) 508-228-8432 (fax)
 sgidesign@sconsetgardener.com

East Elevation

McGowan Residence
 25 Millbrook Rd
 Nantucket, Ma 02554
 56
 672
 R20

SCALE: AS NOTED
 DATE: 2/18/2020

HDC-C

8.5X=



SGI DESIGN

88 Somerset Road, Nantucket, MA 02554
508-228-3422 (tel) 508-228-8432 (fax)
sgidesign@sconsetgardener.com

Looking East Elevation Entry

McGowan Residence
25 Millbrook Rd
Nantucket, Ma 02554
56
672
R20

SCALE: AS NOTED
DATE: 2/18/2020

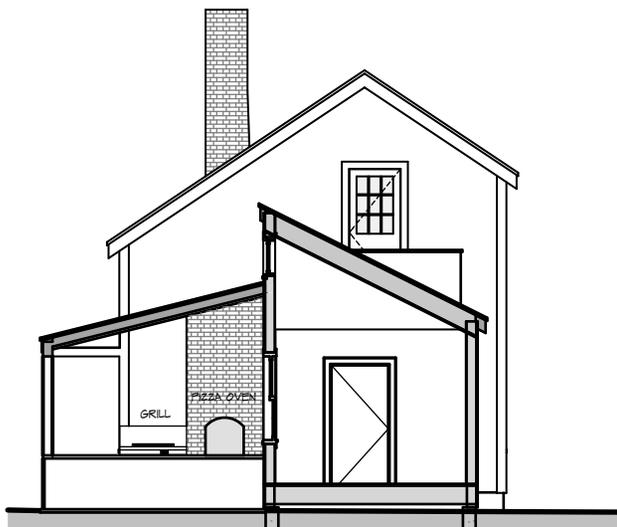
HDC-E

8.5X=



LOOKING EAST ELEVATION ENTRY

NOT TO SCALE



LOOKING WEST ELEVATION GRILL AREA

NOT TO SCALE



SGI DESIGN

88 Somerset Road, Nantucket, MA 02554
508-228-3422 (tel) 508-228-8432 (fax)
sgidesign@sconsetgardener.com

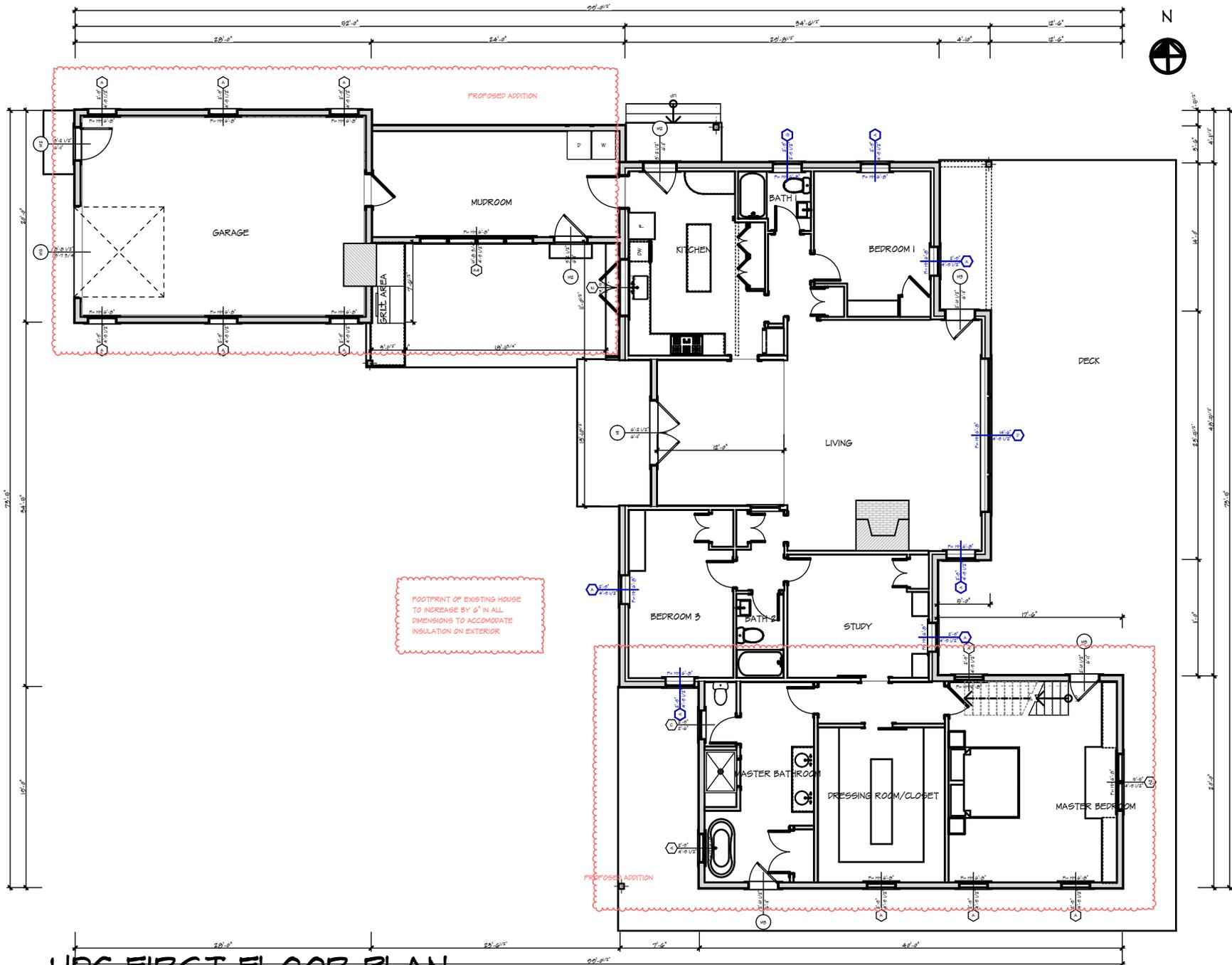
Looking West Elevation Grill Area

McGowan Residence
25 Millbrook Rd
Nantucket, Ma 02554
56
672
R20

SCALE: AS NOTED
DATE: 2/18/2020

HDC-F

85X=



1

HDC FIRST FLOOR PLAN

NOT TO SCALE



SGI DESIGN

88 Somerset Road, Nantucket, MA 02554
 508-228-3422 (tel) 508-228-8432 (fax)
 sgidesign@sconsetgardener.com

First Floor Plan

McGowan Residence
 25 Millbrook Rd
 Nantucket, Ma 02554
 56
 672
 R20

SCALE: AS NOTED
 DATE: 2/18/2020

HDC-G 85X=



SGI DESIGN

88 Somerset Road, Nantucket, MA 02554
508-228-3422 (tel) 508-228-8432 (fax)
sgidesign@sconsetgardener.com

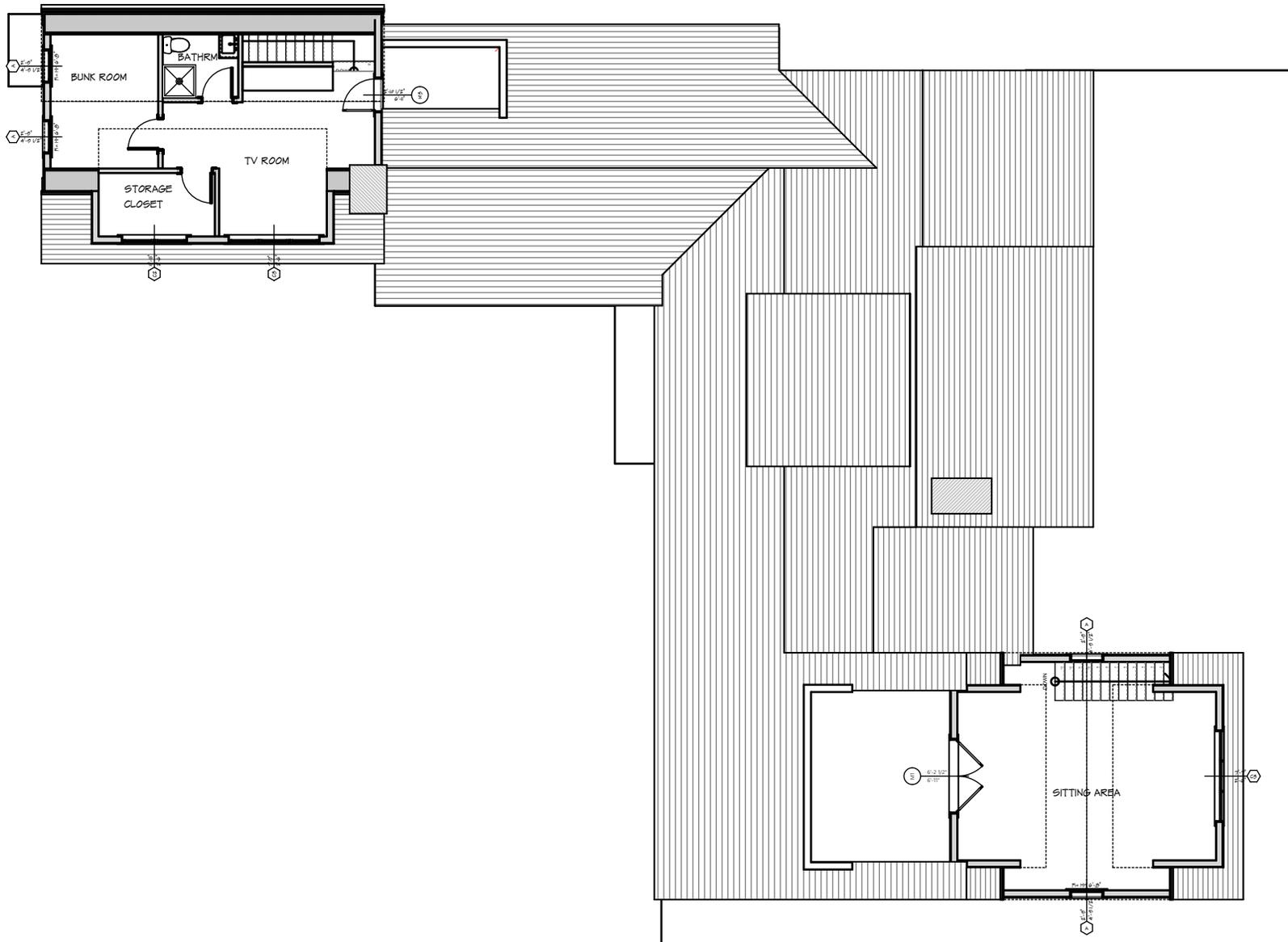
Second Floor Plan

McGowan Residence
25 Millbrook Rd
Nantucket, Ma 02554
56
672
R20

SCALE: AS NOTED
DATE: 2/18/2020

HDC-H

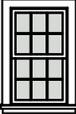
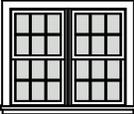
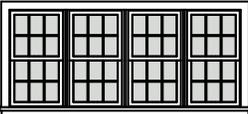
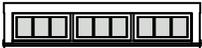
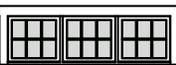
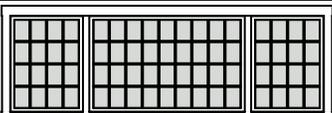
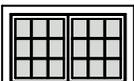
85X=

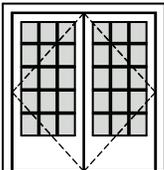
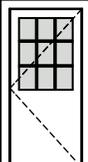
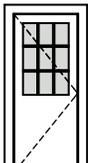
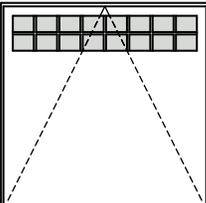


1

HDC SECOND FLOOR PLAN

NOT TO SCALE

WINDOWS ALL BROSCO OR EQUIVALENT			
SYMBOL	R.O.	ELEVATION	GLASS SIZE
A	2'-0" x 4'-0 1/2"		0 X 12
A2	5'-5" x 4'-0 1/2"		0 X 12
A4	10'-8 3/4" x 4'-0 1/2"		0 X 12
B3	8'-4" x 1'-8"		10 X 14
C	2'-0" x 2'-6"		0 X 12
C2	5'-5" x 2'-6"		0 X 12
C3	7'-7" x 2'-6"		0 X 12
D	14'-6" x 4'-0 1/2"		0 X 12
E	5'-5" x 3'-6"		0 X 12
F3	12'-1" x 2'-2"		0 X 10
G	2'-0" x 2'-0 1/2"		0 X 12

EXTERIOR DOOR SCHEDULE - CUSTOM WOOD		
ELEMENT ID	LEAF DIMENSIONS	ELEVATION
M1	6'-0" x 6'-8"	
M2	3'-0" x 6'-8"	
M3	2'-8" x 6'-8"	
M5	8'-6" x 8'-6"	



SGI DESIGN

88 Somerset Road, Nantucket, MA 02554
 508-228-3422 (tel) 508-228-8432 (fax)
 sgd@sgidesign.com

Window and Ext Door Schedule

McGowan Residence
 25 Millbrook Rd
 Nantucket, Ma 02554
 56
 672
 R20

SCALE: AS NOTED
 DATE: 2/18/2020

HDC-1

85X=



1

EXISTING KITCHEN

2

LOCATE HOUSE NORTH OF SHED



3

EXISTING BEDRM 3



SGI DESIGN

88 Somerset Road, Nantucket, MA 02554
 508-228-3422 (tel) 508-228-8432 (fax)
 sgidesign@sconsetgardener.com

Photos

McGowan Residence
 25 Millbrook Rd
 Nantucket, Ma 02554
 56
 672
 R20

SCALE: AS NOTED
 DATE: 2/18/2020

HDC-J

8.5X=



1 EXISTING LIVING RM



2 EXISTING KITCHEN WING



3 EXISTING STUDY



SGI DESIGN
 88 Somerset Road, Nantucket, MA 02554
 508-228-3422 (tel) 508-228-8432 (fax)
 sgidesign@sconsetgardener.com

Photos

McGowan Residence
 25 Millbrook Rd
 Nantucket, Ma 02554
 56
 672
 R20

SCALE: AS NOTED
 DATE: 2/18/2020

HDC-K 85X=

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 21 PARCEL N°: 109
 Street & Number of Proposed Work: 88 Quidnet Road
 Owner of record: Timothy + Elizabeth Quintisk
 Mailing Address: PO Box 2450
Duxbury, MA 02331
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Botticelli + Pohl
 Mailing Address: 11 Old South Road
Nantucket, MA 02554
 Contact Phone #: 228-5455 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
 Size of Structure or Addition: Length: 48'-3 1/2" Sq. Footage 1st floor: 769 (New) Decks/Patio: Size: 9'-2" x 15'-6" 1st floor
 Width: 50'-4" (totals) Sq. Footage 2nd floor: 585 (New) Size: 4'-4" x 11'-4" 1st floor
 Sq. Footage 3rd floor: _____ Size: 5'-8" x 5'-6" 1st floor
7'-8" x 10'-10"

Difference between existing grade and proposed finish grade: North +0.0' South +0.0' East -2.5' / +0.0' West +0.0'
 Height of ridge above final finish grade: North 20'-2" South 25'-11" East 25'-11" West 23'-11"

Additional Remarks

Historic Name: _____
 Original Date: Circa 1900
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A
 REVISIONS*
 1. East Elevation: Partial Demo 610sf. Move + Renovate 750sf. Revise fenestration
 2. South Elevation: New Foundation and South Wing
 3. West Elevation: Remove Existing Chimney and add new chimney
 4. North Elevation: Add Dormer. Renovate porch + Roof and screen porch
 *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6" Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) Waterstruck Other _____
 Roof Pitch: Main Mass 9 /12 Secondary Mass 4+5 /12 Dormer 4 /12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size): _____
 Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 6" Corner boards 5/4 x 6 Frieze _____
 Window Casing 5/4 x 4 Door Frame 5/4 x 4 Columns/Posts: Round _____ Square 7 1/4"
 Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer Marvin
 Doors* (type and material): TDL SDL Front Dutch wood/Glass Rear French wood/Glass Side 4 Lite/Panel wood/Glass
 Garage Door(s): Type _____ Material _____
 Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

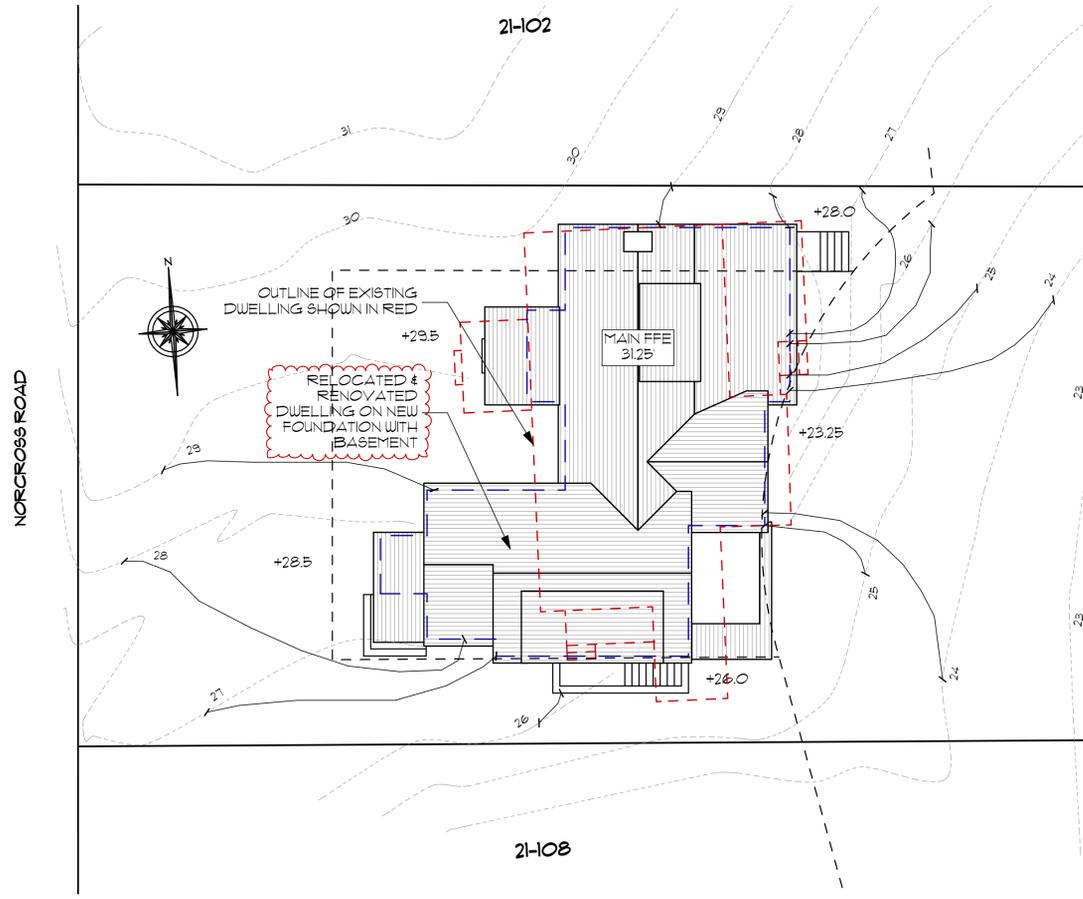
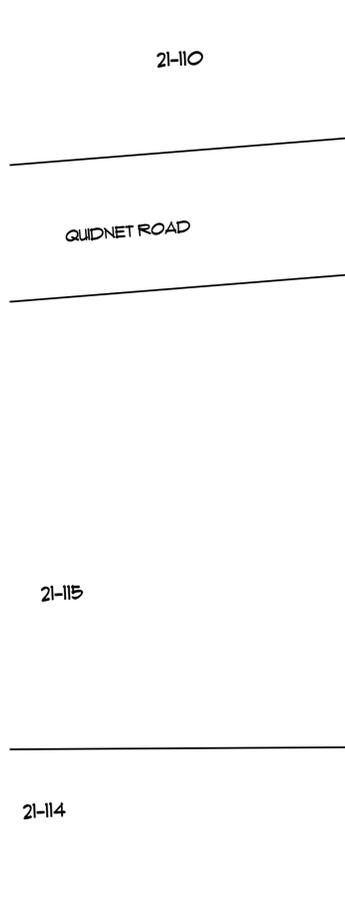
COLORS

Sidewall To Weather Clapboard (if applicable) _____ Roof To Weather
 Trim White Sash White Doors White
 Deck To Weather Foundation Natural Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 3/4/20 Signature of owner of record _____ Signed under penalties of perjury



2 PROPOSED SITE PLAN
Scale: 1" = 10'



1 Locus Map

BOTTICELLI & POHL

DATE	REVISIONS

11 OLD SOUTH ROAD, NANTUCKET, MA 02554 | 31 STATE STREET, BOSTON, MA 02109 | BOTTICELLIANDPOHL.COM
P. 508.228.5455 | P. 617.482.4543

Site Plan

Renovations at
88 Quidnet Road
Nantucket, MA 02554

MAP NO: 21 ZONING INFO: R-20
PARCEL NO: 70, 104, 109, 115 REVISED:

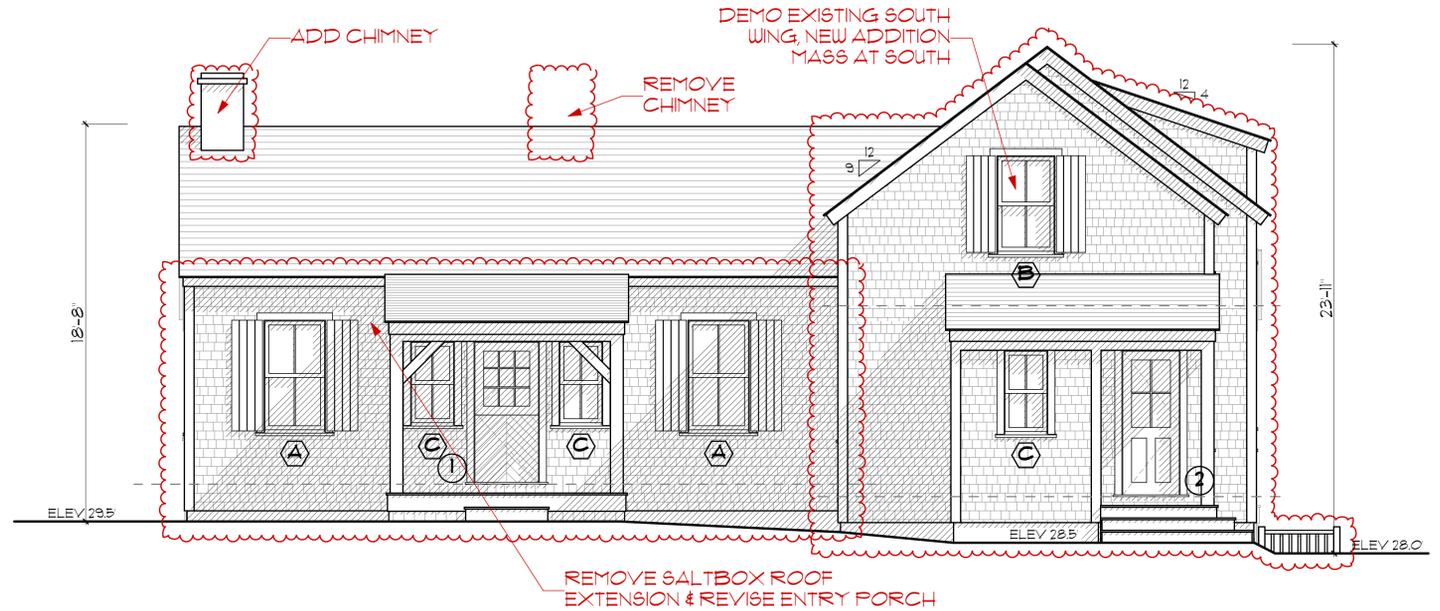
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No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.



3 HISTORIC WEST ELEVATION
Scale: 1/8" = 1'-0"



4 EXISTING WEST ELEVATION
Scale: 1/8" = 1'-0"



1 PROPOSED WEST ELEVATION
Scale: 1/4" = 1'-0"



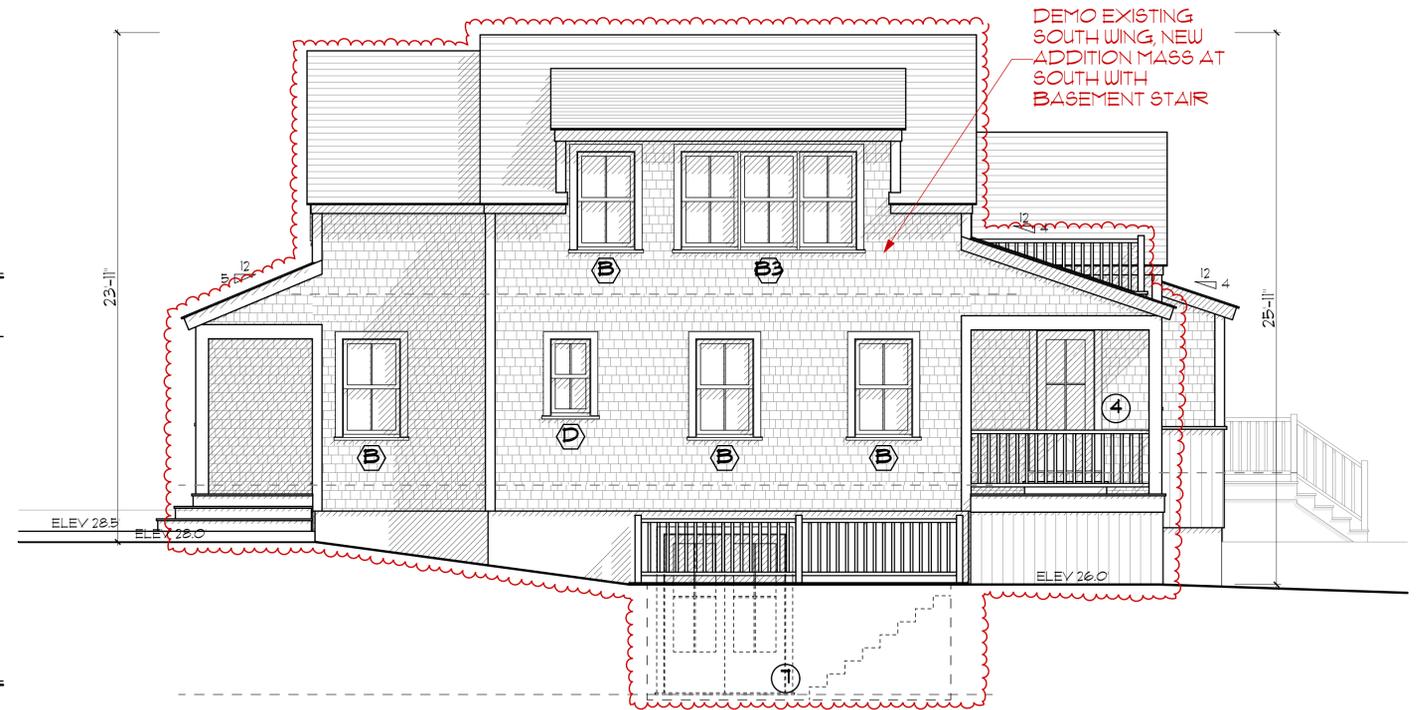
7 HISTORIC SOUTHWEST PHOTO



6 HISTORIC SOUTH ELEVATION
Scale: 1/8" = 1'-0"



5 EXISTING SOUTH ELEVATION
Scale: 1/8" = 1'-0"



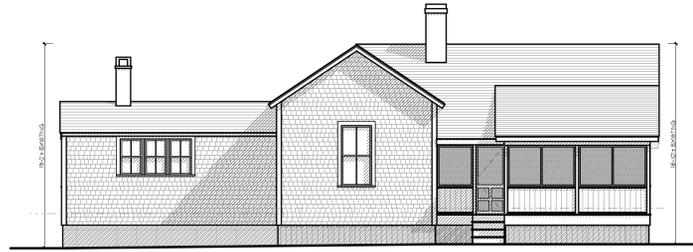
2 PROPOSED SOUTH ELEVATION
Scale: 1/4" = 1'-0"

Renovations at 88 Quinnet Road Nantucket, MA						
Window & Exterior Door Schedule						
No.	Qn.	Type	Manuf.	Frame Size	Rough Opening	Light
A		Double Hung	Marvin	2'-3 3/8" x 3'-8"		2 cover 2
B		Double Hung	Marvin	2'-9 3/8" x 4'-3"		2 cover 2
B3		Double Hung	Marvin	3'-2 3/8" x 4'-3"		2 cover 2
C		Double Hung	Marvin	2'-3 3/8" x 4'-1"		2 cover 2
D		Double Hung	Marvin	1'-4 3/8" x 3'-8"		2 cover 2
E		Three Leaf Slider	Marvin	7'-6" x 4'-6"	2'-8" x 4'-6" overlapping sashes	4
F		Five Leaf Slider	Marvin	12'-7" x 4'-6"	2'-8" x 4'-6" overlapping sashes	4
G		Fixed	Marvin	1'-0" x 2'-0"		4
H		Fixed	Marvin	3'-0" x 1'-0"		3

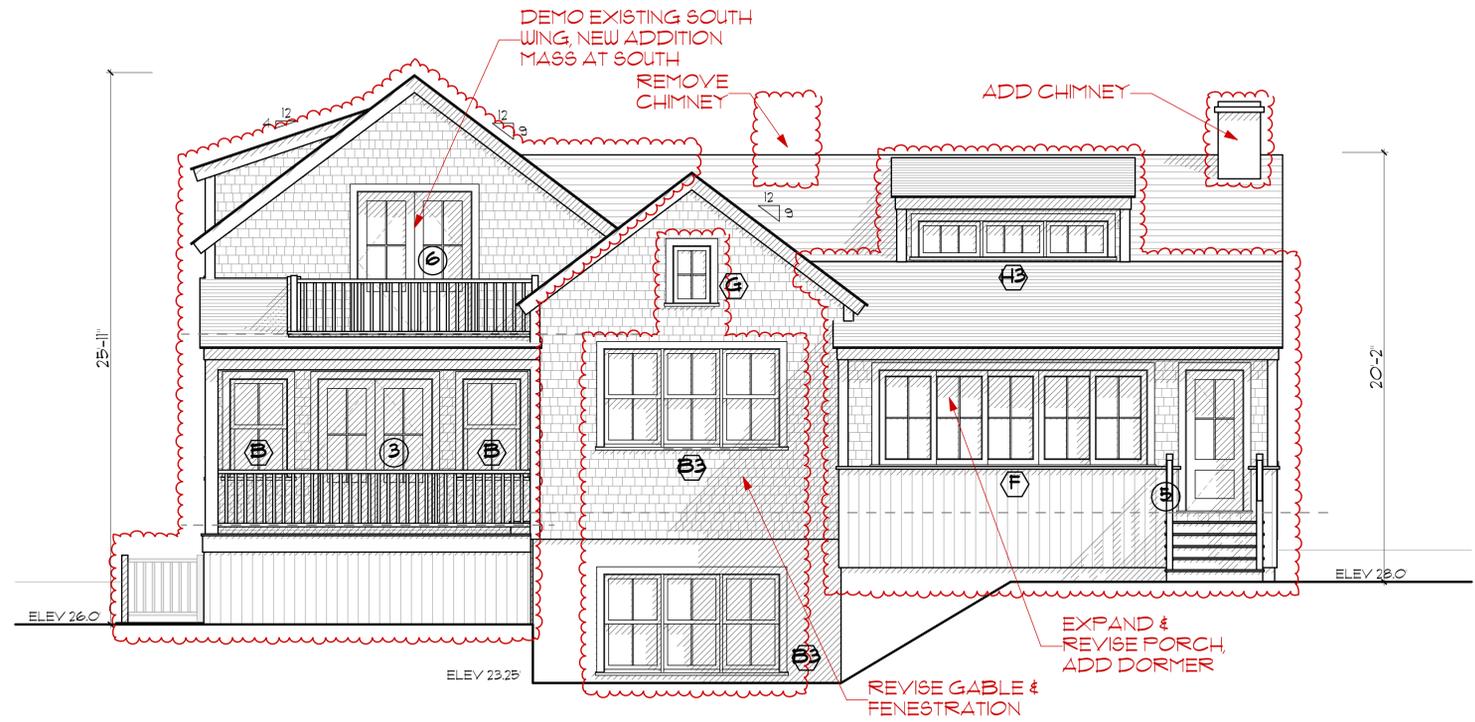
Door Schedule						
No.	Qn.	Type	Manuf.	Door Size	Rough Opening	Light
1		Entry Dutch Door	Custom	3'-0" x 6'-8"		8
2		Side Door	Custom	2'-8" x 6'-10"		4
3		Double French	Custom	8'-4" x 6'-10"		4
4		Single French	Custom	2'-8" x 6'-8"		4
5		Side Door	Custom	2'-8" x 6'-8"		4
6		Double French	Custom	8'-4" x 6'-8"		4
7		Double French	Custom	8'-8" x 7'-6"		4

Notes:
 1. All windows will be Marvin windows as per above schedule, single glazed T&G, with muntin configuration as shown on drawings.
 2. No glass 30 years required. Low E 30 Argon glass. U-value of .33.
 3. All doors will be Custom doors as per above schedule, single glazed T&G, with muntin configuration as shown on drawings.
 4. No glass 30 years required. Low E 30 Argon glass. U-value of .23 w/ storm door. 48" w/o storm door.
 5. All doors to come with compliance sticker as required by local building codes.
 6. No wood will provide knots drawings for all window and door units to architect for approval prior to commencing construction.
 7. Provide all windows including sills, transoms, and fixed windows with matching half screens with ProFiber BetterView screen or similar where applicable.
 8. Provide tempered glass in all locations required by code.

REVISIONS	DATE



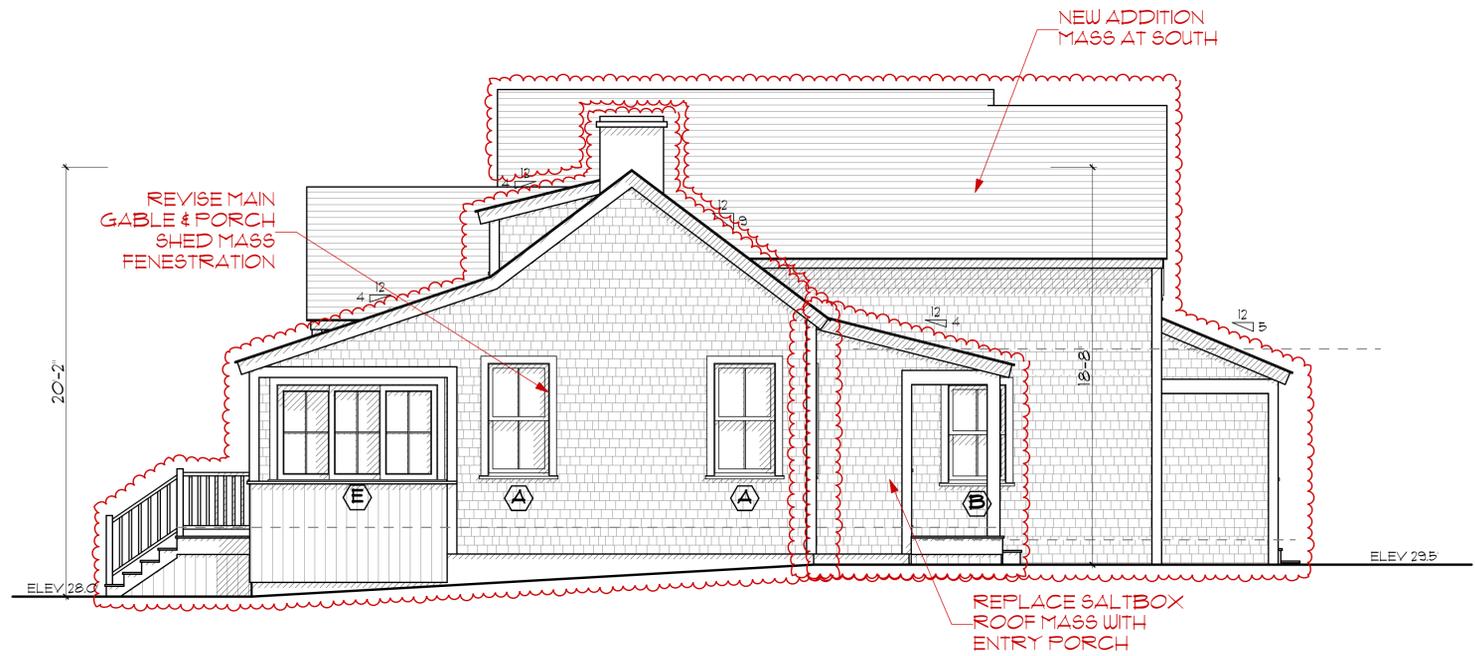
3 EXISTING EAST ELEVATION
Scale: 1/8" = 1'-0"



1 PROPOSED EAST ELEVATION
Scale: 1/4" = 1'-0"



5 HISTORIC NORTH ELEVATION
Scale: 1/8" = 1'-0"

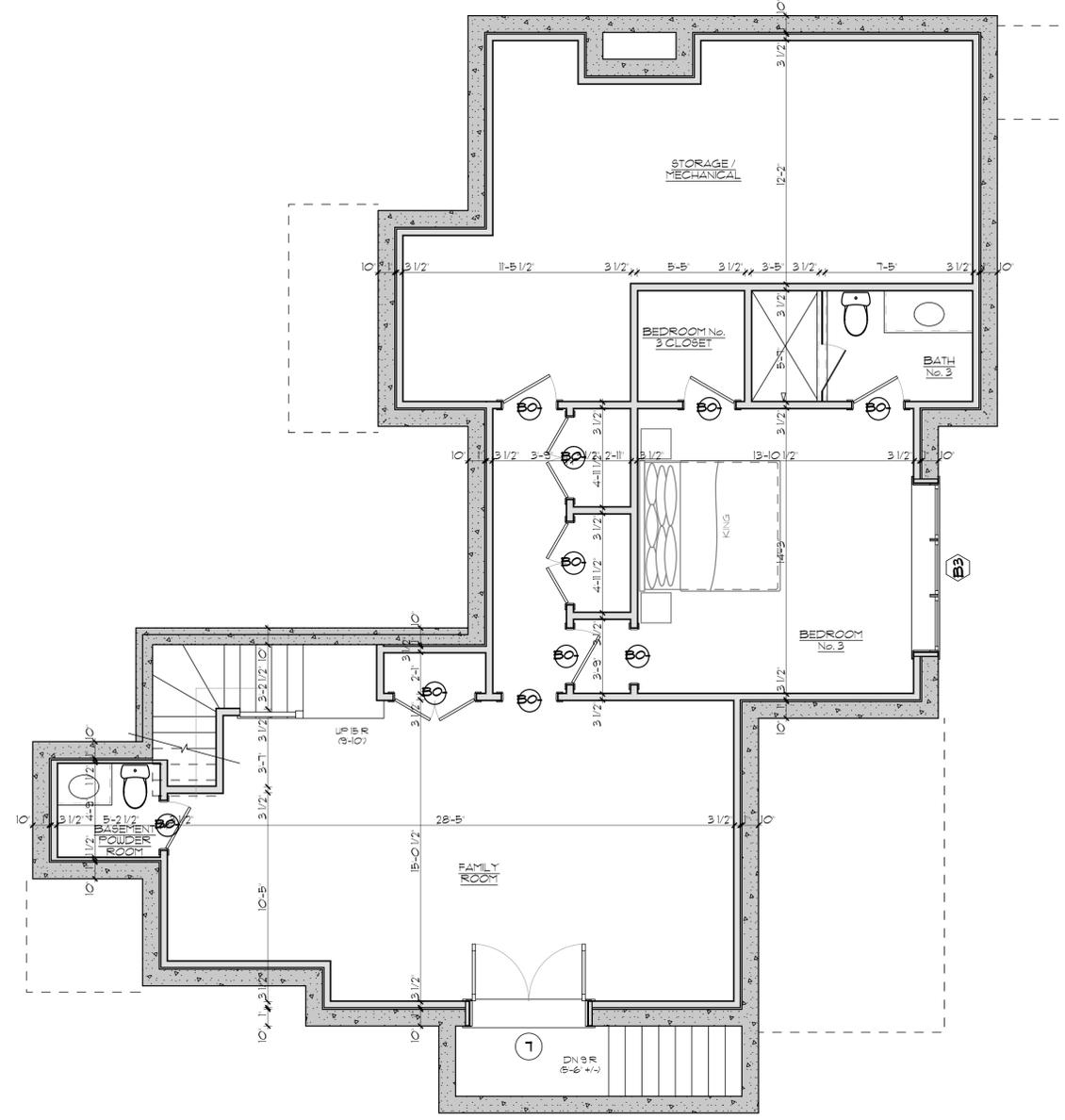


2 PROPOSED NORTH ELEVATION
Scale: 1/4" = 1'-0"



4 EXISTING NORTH ELEVATION
Scale: 1/8" = 1'-0"

DATE	REVISIONS



1 BASEMENT FLOOR PLAN
Scale: 1/4" = 1'-0"

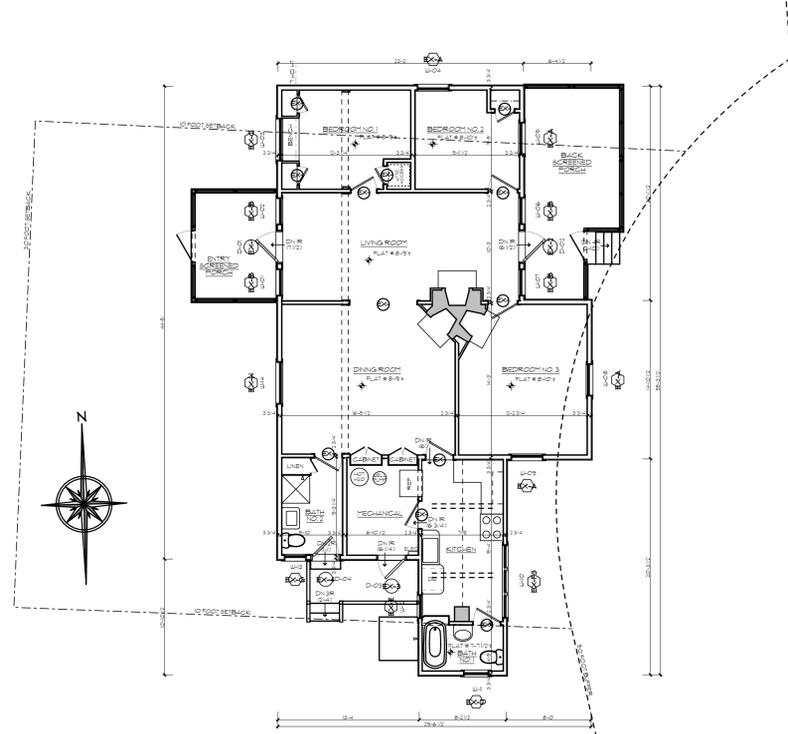
Renovations at
88 Quidnet Road
Nantucket, MA 02554
MAP NO: 21 ZONING INFO: R-20
PARCEL NO: 70, 104, 109, 115 REVISED:
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ID #
A-1.0

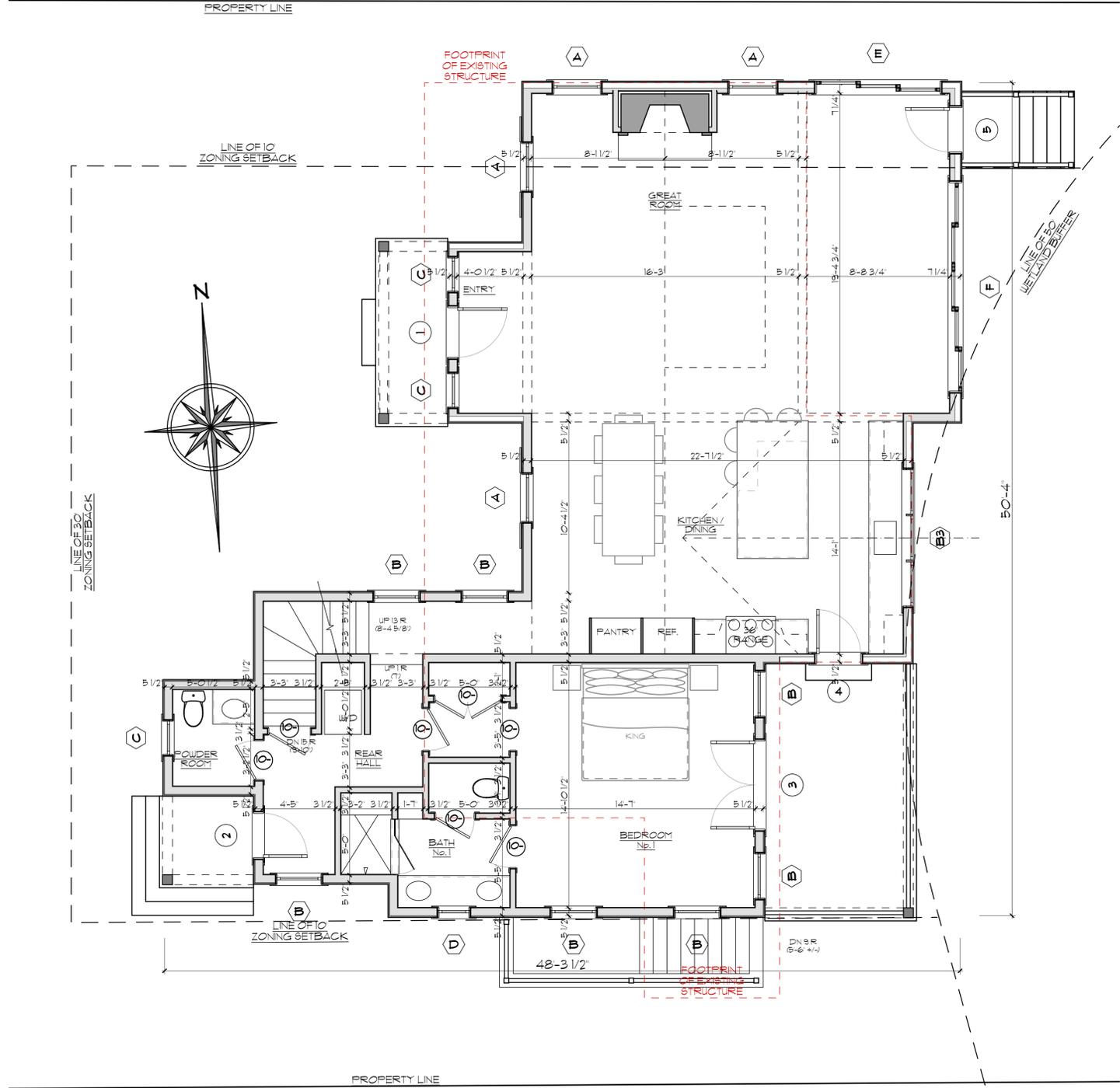
Basement Floor Plan

DATE	REVISIONS

BOTTICELLI & POHL



2 EXISTING FIRST FLOOR PLAN
Scale: 1/8" = 1'-0"



1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

ID #

A-1.1

Renovations at
88 Quidnet Road
Nantucket, MA 02554

MAP NO: 21 ZONING INFO: R-20
PARCEL NO: 70, 104, 109, 115 REVISED:

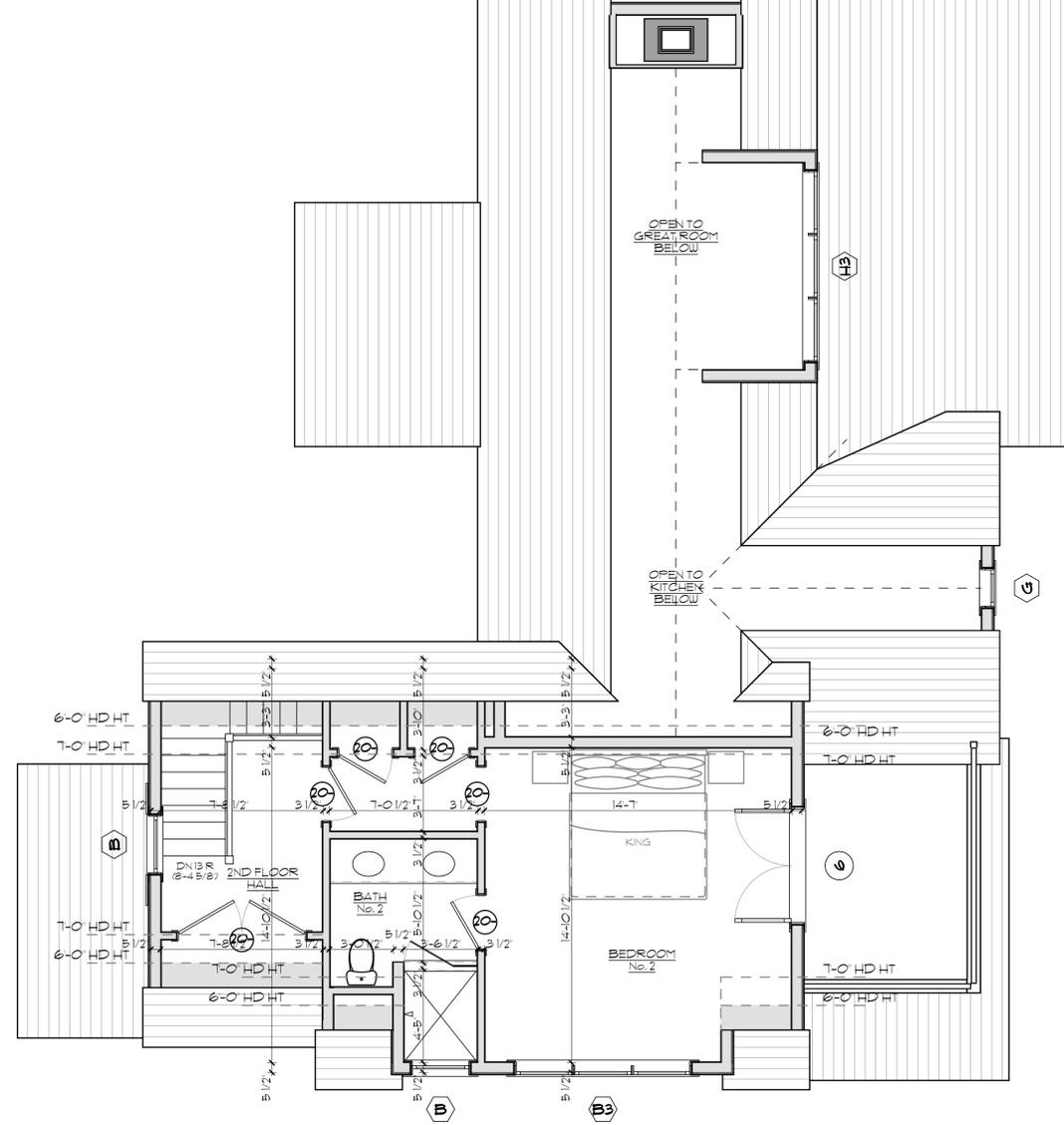
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First Floor Plan

DATE	REVISIONS

BOTTICELLI & POHL

11 OLD SOUTH ROAD, NANTUCKET, MA 02554 | 31 STATE STREET, BOSTON, MA 02109 | BOTTICELLIANDPOHL.COM
P. 508.228.5455 P. 617.482.4543



1 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

Renovations at
88 Quidnet Road
Nantucket, MA 02554

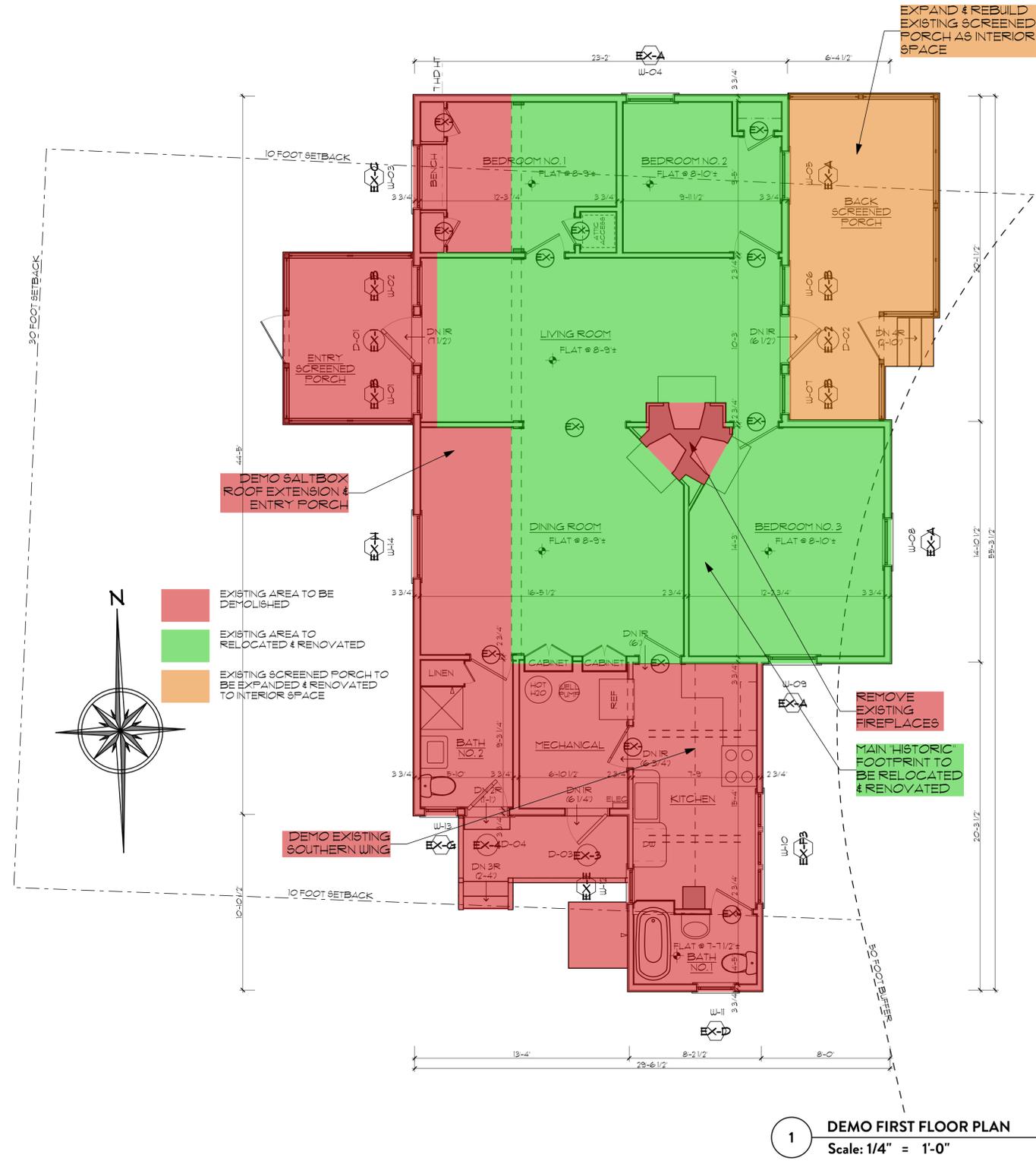
MAP NO: 21 ZONING INFO: R-20
PARCEL NO: 70, 104, 109, 115 REVISED:
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No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.

ID #
A-1.2

Second Floor Plan

DATE	REVISIONS

BOTTICELLI & POHL



1 DEMO FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

Renovations at
88 Quidnet Road
Nantucket, MA 02554
MAP NO: 21 ZONING INFO: R-20
PARCEL NO: 70, 104, 109, 115 REVISED:
All drawings and designs contained are the sole property of Botticelli & Pohl, P.C.
No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.

First Floor Demolition Plan

DATE	REVISIONS

BOTTICELLI & POHL

ID #
D-1.1

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 25 PARCEL N°: 39
 Street & Number of Proposed Work: 307 Douglas Rd
 Owner of record: Rosemary W. & Bernardette Meyer
 Mailing Address: 307 Douglas Rd
Nantucket MA 02554
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: LINK PERLUMINOUS & DESIGN
 Mailing Address: PO BOX 1001
NANTUCKET MA 02554
 Contact Phone #: (508) 221 8274 E-mail: LINK02554@GMAIL.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other NEW BARN
 Size of Structure or Addition: Length: 30' Sq. Footage 1st floor: 600 SF Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 20' Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North N/A South - East - West -
 Height of ridge above final finish grade: North 20' South 20' East 20' West 20'

Additional Remarks

Historic Name: _____
 Original Date: _____ (describe)
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ MONO SLAB Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass 8/12 Secondary Mass 1/2 Dormer 1/2 Other _____
 Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size): _____
 Siding: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other BOARDS AND BATTEN 1x10 BOARD
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake 1x10 Soffit (Overhang) _____ Corner boards 1x4 Frieze _____
 Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round _____ Square _____
 Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer ANDERSEN 400
 Doors* (type and material): TDL SDL Front _____ Rear DR 1 1/2 FT FRENCH Side DR 1 1/2 FT FRENCH
 Garage Door(s): Type _____ Material W/ BARN DOORS W/ BARN DOORS
 Hardscape materials: Driveways _____ Walkways _____ Walls + 9 1/2 2 PANEL

* Note: Complete door and window schedules are required.

COLORS

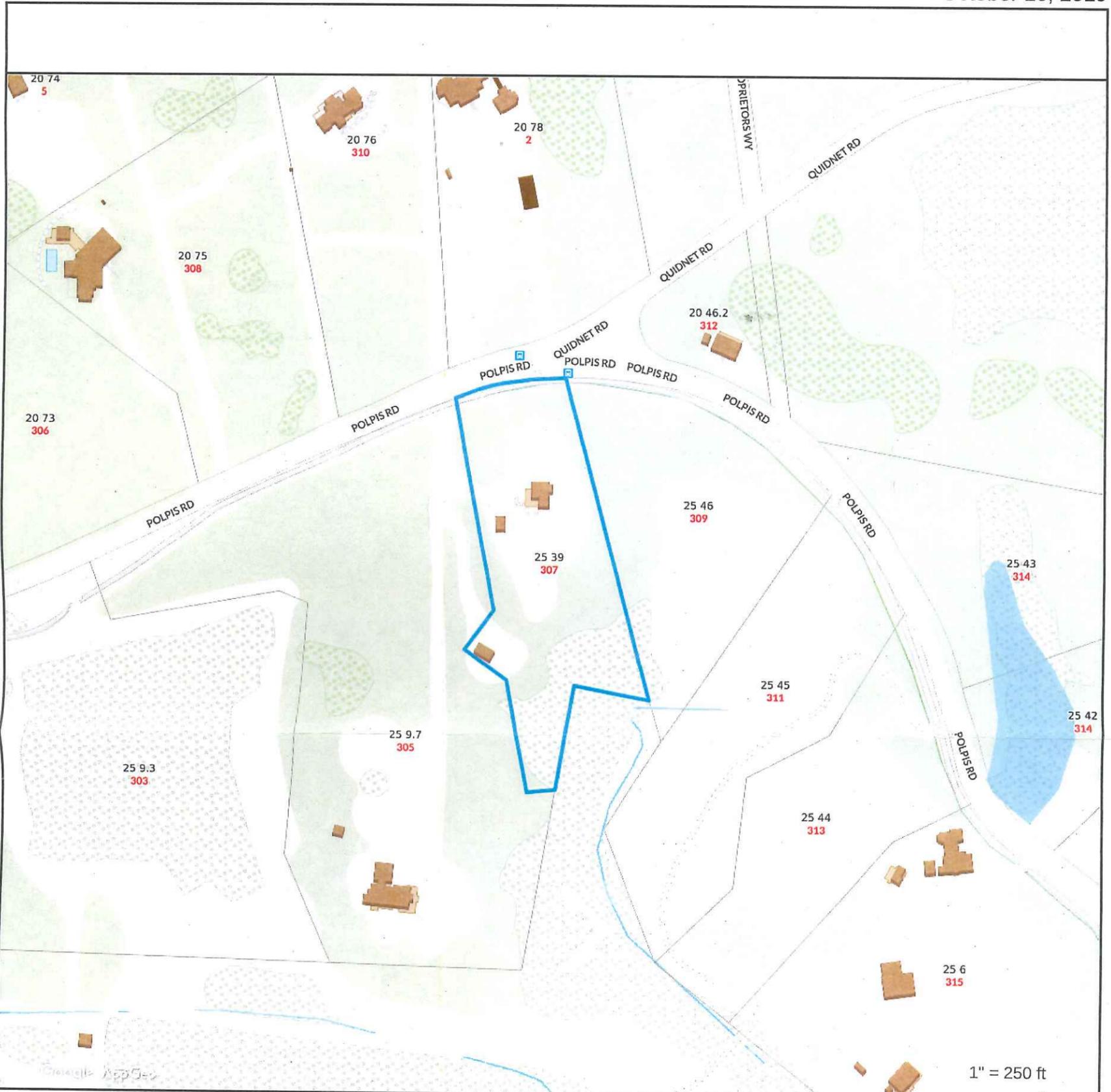
Sidewall NTW Clapboard (if applicable) _____ Roof NTW
 Trim NTW Sash NTW / BARN Doors BARN
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

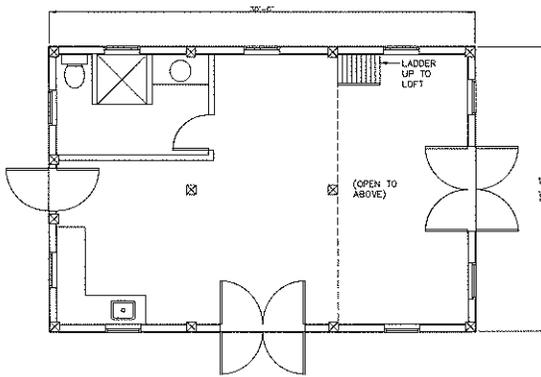
Date 3/4/2020 Signature of owner of record _____

Signed under penalties of perjury



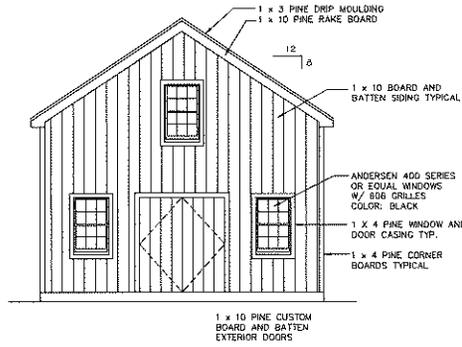
Property Information	
Property ID	25 39
Location	307 POLPIS RD
Owner	MEYER ROBERT W JR & BERNADETTE


**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**
Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.
Geometry updated 11/13/2018
Data updated 11/19/2018



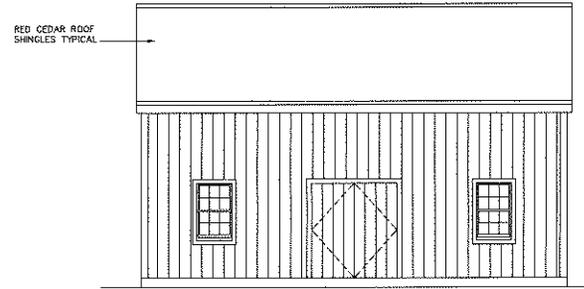
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



EAST ELEVATION

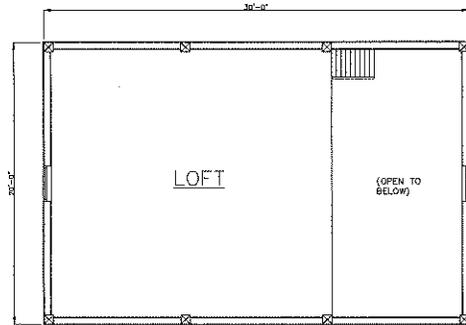
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION

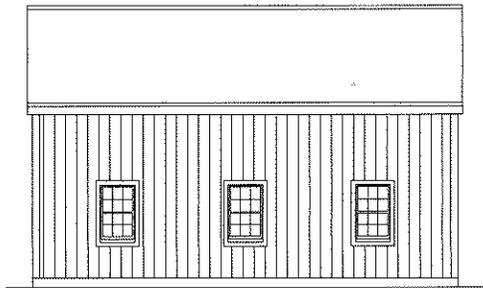
SCALE: 1/4" = 1'-0"

(SEE EAST ELEVATION FOR TYPICAL NOTES)



LOFT FLOOR PLAN

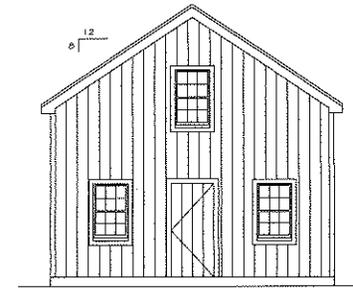
SCALE: 1/4" = 1'-0"



NORTH ELEVATION

SCALE: 1/4" = 1'-0"

(SEE EAST ELEVATION FOR TYPICAL NOTES)



WEST ELEVATION

SCALE: 1/4" = 1'-0"

(SEE EAST ELEVATION FOR TYPICAL NOTES)

JAMES D. SMITH,
ARCHITECT, AIA

507 BAY LANE, CENTERVILLE, MA 01027
PHONE: 508-387-8023 EMAIL: JAMES@JDSMITHARCHITECT.NET

NO.	REVISION	DATE
1	ISSUE FOR PERMIT	03/03/20

JDS LOCATION:
307 POLPIS RD.
NANTUCKET, MA
PROPOSED 20' x 30' BARN
PLANS AND ELEVATIONS

SHEET
A1
FILE #: JDS20013
DATE: 03/03/20
PROJ. MGR: JDS
C.M. N/A