

1. No Meeting Agenda

There is no agenda available for this meeting. Please view the minutes.

1.I. New And Old Business Packet For 6/1/20

Documents:

STAFF REVIEW - 38 DERRYMORE.PDF  
STAFF REPORT 6 GULL ISLAND.PDF  
STAFF COMMENTS - 17 BROADWAY JUNE.PDF

1.II. New And Old Business Packet For 6/1/20

Documents:

3 BARRETT FARM RD- ROOF CHANGE.PDF  
4 JOHN ADAMS LN- DECK-WIND-DOORS.PDF  
5 BACKUS LANE- TENNIS COURTS.PDF  
6 GULL ISLAND COA 67657 AND COA 72922.PDF  
6 GULL ISLAND LANE- REV 72922, 67657.PDF  
6 GULL ISLAND PICS FROM BUILDING INSPECTOR 5-18-20.PDF  
7 GREENLEAF- ADDITION.PDF  
8 KINGS WAY - POOL AND HARDSCAPE.PDF  
10 EASY ST- CURB CUT.PDF  
10 EASY ST- HARDSCAPE.PDF  
11 DAVIS LN - POOL.PDF  
11 DAVIS LN- CABANA.PDF  
11 DAVIS LN- NEW DWELLING.PDF  
11 INDUSTRY RD- ROOF TOP SOLAR.PDF  
11 MEADOW LN- NEW DWELLING.PDF  
13 WAYDALE RD-TEMPORARY SHED.PDF  
17 BROADWAY -REV 2020-03-0845.PDF  
20 SANKATY RD - GARAGE.PDF  
24 BARTLETT FARM RD- NEW DWELLING.PDF  
25 BUNKER RD- NORTH STORAGE BLDG.PDF  
25 BUNKER RD- SOUTH STORAGE BLDG.PDF  
28 EEL POINT RD APPROVED PLANS COA 72067-FOR 6-1-20.PDF  
28 EEL POINT RD- SPORTS COURT.PDF  
28 EEL POINT ROAD - ADDITIONAL INFORMATION BINDER FOR 6-1-20.PDF  
38 DERRYMORE RD- GH DEMO.PDF  
38 DERRYMORE RD- MH DEMO.PDF  
38 YORK ST- SHED.PDF  
42 CANNONBURY LN - STREETSCAPE FOR OLD BUS 6-1-20.PDF  
57 QUIDNET RD- ROOF TOP SOLAR.PDF  
162 HUMMOCK POND RD- SEASONAL RETAIL CONT.PDF  
220 EEL POINT RD- HARDSCAPE.PDF

Date: 6/1/2020 Address: 38 DERRYMORE

Scope of Work: ~~BB~~ DEMO HOUSE + GUEST HOUSE

Historic information/known history ( ) Non-Contributing  Contributing ( ) Individually significant

C. 1963 RANCH - SIGNIFICANCE FOR ARCHITECTURE TYPE - (MAIN HOUSE) \* SEE ATTACHED (ON NHL DATA) HDC SURVEY

STAFF COMMENTS

Name: HOLLY BACKUS, PP

- ( ) Incomplete application  Historical information needed ( ) No Concerns ( ) Recommend View
- ( ) Does not meet guidelines Visibility: Yes or No
- ( ) Not appropriate (As noted below)

\* GUEST HOUSE C. 2003 - NOT CONTRIBUTING

HSAB COMMENTS

- ( ) Incomplete application ( ) Historical information needed ( ) No Concerns ( ) Recommend View
- ( ) Does not meet guidelines Visibility: Yes or No
- ( ) Not appropriate (As noted below)

\_\_\_ ( ) Angus MacLeod ( ) Lucy Dillon ( ) Jascin Leonardo Finger ( ) Milton Rowland ( ) Brook Meerbergen  
 Alternate: None  
 Signatures (three members required for quorum)

# Massachusetts Cultural Resource Information System

## Scanned Record Cover Page

<b>Inventory No:</b>	NAN.1799
<b>Historic Name:</b>	
<b>Common Name:</b>	
<b>Address:</b>	38 Derrymore Rd
<b>City/Town:</b>	Nantucket
<b>Village/Neighborhood:</b>	Nantucket
<b>Local No:</b>	30-072, NC14-15
<b>Year Constructed:</b>	1963
<b>Architect(s):</b>	
<b>Architectural Style(s):</b>	No style; Ranch
<b>Use(s):</b>	Single Family Dwelling House
<b>Significance:</b>	Architecture
<b>Area(s):</b>	NAN.C: Nantucket Historic District NAN.D: Nantucket Historic District
<b>Designation(s):</b>	Nat'l Register District (11/13/1966); Nat'l Historic Landmark (11/13/1966); Local Historic District (06/04/1970)
<b>Building Materials(s):</b>	Roof: Asphalt Shingle Wall: Wood; Wood Shingle Foundation: Concrete Unspecified



The Massachusetts Historical Commission (MHC) has converted this paper record to digital format as part of ongoing projects to scan records of the Inventory of Historic Assets of the Commonwealth and National Register of Historic Places nominations for Massachusetts. Efforts are ongoing and not all inventory or National Register records related to this resource may be available in digital format at this time.

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Users of this digital material acknowledge that they have read and understood the MACRIS Information and Disclaimer (<http://mhc-macris.net/macrisdisclaimer.htm>)

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Commonwealth of Massachusetts  
Massachusetts Historical Commission  
220 Morrissey Boulevard, Boston, Massachusetts 02125  
[www.sec.state.ma.us/mhc](http://www.sec.state.ma.us/mhc)

This file was accessed on: Friday, May 29, 2020 at 5:46: PM

NAN. 1799

BUILDING/STRUCTURE INVENTORY FORM  
NANTUCKET ISLAND ARCHITECTURAL  
AND CULTURAL RESOURCES SURVEY  
NANTUCKET HISTORIC DISTRICT COMMISSION  
NANTUCKET, MASSACHUSETTS

SURVEY/  
FILM ROLL #: NC14-15  
MAP/PARCEL#: 30-072  
1799

Recorded by: CR

Date: 07/12/89

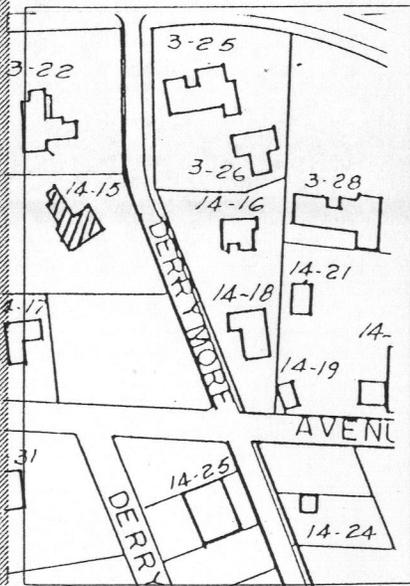
Organization: AGS

IDENTIFICATION

1. Street Name & No.: 38 DERRYMORE RD
2. Building Name: N/A
3. Ownership: Private
4. Present Owner: PERRY, PATRICIA
5. Ownership History:  
Unknown
6. Use: Original: Dwelling Present: Dwelling  
Seasonal/Year-Round: Unknown
7. Accessibility to Public: Visible from Public Road? Yes  
Interior: N/A

[CD]  
Always  
with map

8. MAP -- 3 X 2"



NAN.1799

1799

## GENERAL SETTING AND ORIENTATION OF BUILDING

10. Lot Size: 1/2-L
11. Approximate Frontage (ft.): 70
12. Setback from Street: 60 or less feet
13. Orientation to Street Address: Gabled, Ridge Parallel
14. Surroundings: Scattered Buildings, Residential
15. Related Outbuildings and Property: N/A
16. Other Notable Features:  
N/A

## DESCRIPTION

17. Foundation: Concrete
18. Structural System: Balloon Wood Frame
19. Exterior Wall Material, Front Facade: Shingles-Weathered
20. Exterior Wall Material, Side Elevations: Shingles-Weathered
21. Exterior Wall Material, Rear Elevation: Shingles-Weathered
22. Number of Stories: 1
23. Roof Shape: Gable
24. Roofing Material: Composition Shingle
25. Roof Features: N/A
26. Dormer Roof(s): N/A
27. Chimney Material: Brick-unpainted
28. Chimney Position: Off Center
29. Number of Chimneys: 1
30. Chimney Features: Corbelling
31. Front/Primary Door Location: Off Center
32. Front/Primary Door Frame Features: Flush Frame
33. Number of Bays: NA
34. Window Frame Type: Flush Frame
35. Window Sash Type(s) - Front Facade: 6/6
  
36. Porch: N/A
37. Signage: N/A
38. Details: Blinds, Trellis
39. Condition: Excellent
40. Integrity: N/A
41. Alterations:  
N/A

NAN. 1799

1799

SIGNIFICANCE

- 42. Role the Building Plays: National Register: Non-contributing
- 43. Role the Building Plays: Nantucket HD:
- 44. Date of Initial Construction: 1963  
    Source: Wannacomet Water Company  
        Architect: Unknown      Builder: Unknown
- 45. Building Type: Gabled Ell
- 46. Architectural Style: N/A
- 47. Historical and Architectural Importance: .  
    Unknown

48. Sources: Water Records

Date: 6/1/2020

Address 6 GULL ISLAND

Scope of Work: REVISIONS TO # 67657 + 72922

Historic information/known history

( ) Non-Contributing



Contributing

( ) Individually significant

PB. 189

"TYPICAL NANTUCKET" (1 GULL ISLAND IN LANCASTER'S BK) CIRCA 1800, 2 1/2 STORY, RIDGE CHIMNEY, 4 BAY FACADE, 12/12 + 9/9 WINDOWS, GREEK REVIVAL DOORWAY

STAFF COMMENTS

Name: HOLLY BACKUS, PP

- ( ) Incomplete application ( ) Historical information needed ( ) No Concerns ( ) Recommend View
- ( ) Does not meet guidelines Visibility:  Yes or No
- Not appropriate (As noted below)

- \* CHANGES TO EAST, SOUTH + WEST ELEVATIONS
- NORTH -> ADD ORIEL WINDOW IN PREVIOUS LOCATION OF 2ND STORY BUMP-OUT = OK / SEEING REAR ADDITION FRONT FRONT IS NOT APPROPRIATE
- WEST -> THE ADDITION NOT APPROPRIATE AS A GABLE-ENDED ADDITION - REDUCE SIZE - DOOR + BULKHEAD NOT APP.
- BRING BACK TRADITIONAL ELLS!

HSAB COMMENTS

- ( ) Incomplete application ( ) Historical information needed ( ) No Concerns ( ) Recommend View
- ( ) Does not meet guidelines Visibility: Yes or No
- ( ) Not appropriate (As noted below)

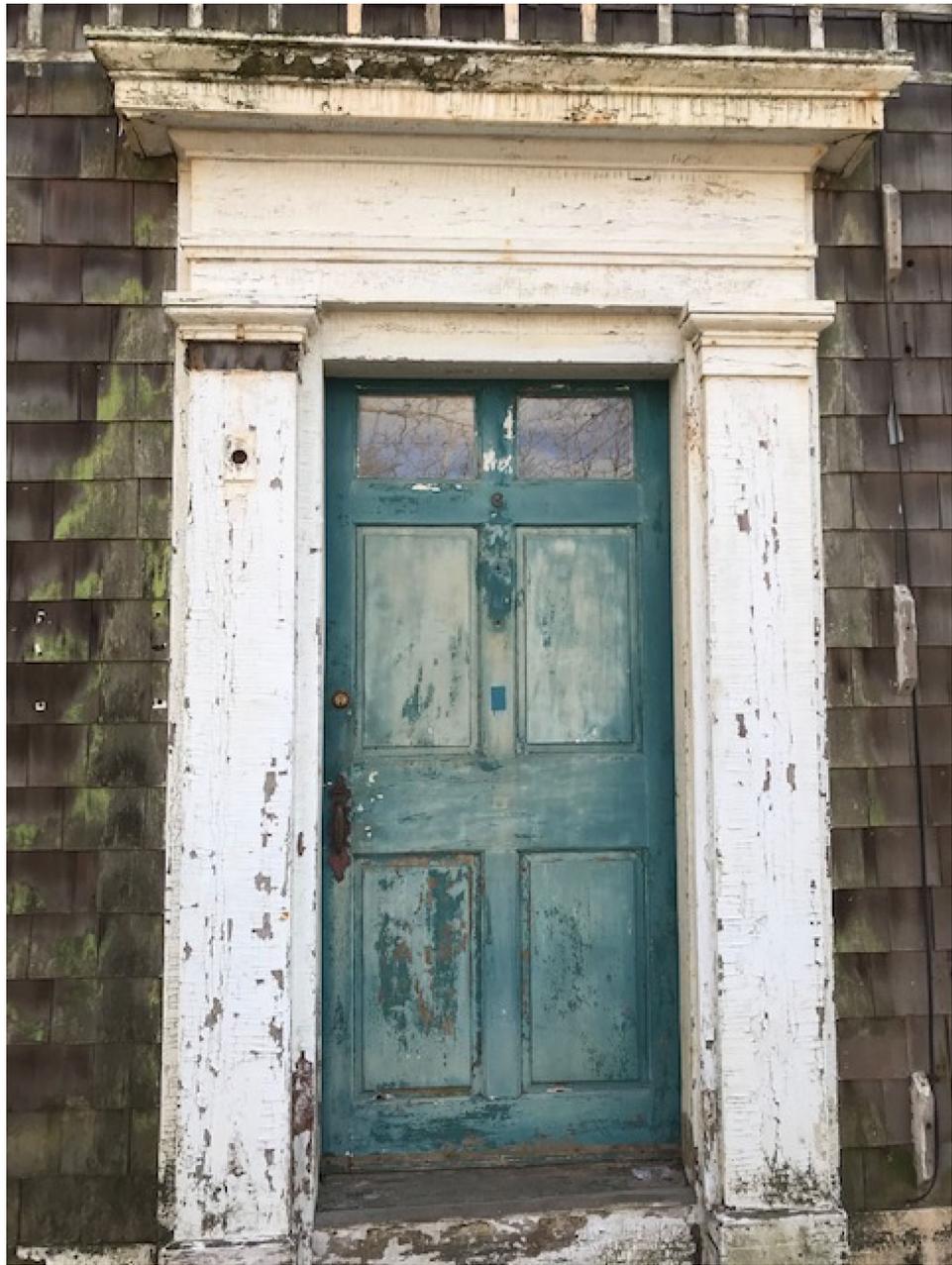
- SOUTH -> ADDITION SHOULD BE GABLE ENDED FACING
- APPRECIATE KEEPING SCULLERY - HOWEVER SHOULD BE SAME PITCH - BLENDS BETTER GABLE TO GABLE
- APPRECIATE KEEPING 16 LITE DOOR
- EAST -> GABLE ENDED ADDITION LOOSES THE UNIQUE CHARACTER ON THAT ELEVATION
- ORIEL WINDOW IS OK =>

( ) Angus MacLeod ( ) Lucy Dillon ( ) Jascin Leonardo Finger ( ) Milton Rowland ( ) Brook Meerbergen

Alternate: None

Signatures (three members required for quorum)









Date: ~~5/29/2020~~ Address 17 BROADWAY

Scope of Work: REVISIONS TO #03-0845

Historic information/known history  Non-Contributing  Contributing  Individually significant

C.1791 "NONANTUM" BALZILLA FOLGER + BENJAMIN FRANKLIN FOLGER (PER MHC + NHL DATA)

STAFF COMMENTS

Name: HOLLY BACKUS, PP

Incomplete application  Historical information needed  No Concerns  Recommend View

Does not meet guidelines Visibility: Yes or No

Not appropriate (As noted below)

- \* SOUTH — CHANGE FROM (3) 6/6 WINDOWS TO (2) 6/6 = OK
- ⇒ \* EAST — ADD 3<sup>RD</sup> FL DORMER = NO SAB (MARCH 9, 2020) SAID NOT APPROPRIATE (STAFF AGREES - EVEN WITH ELIMINATION OF DORMER + MAKING A SHED ROOF) IT IS STILL "DORMER ON DORMER."
- \* NORTH — VIEW OF PROPOSED DORMER (ON EAST) ELEV.

SAB COMMENTS

Incomplete application  Historical information needed  No Concerns  Recommend View

Does not meet guidelines Visibility: Yes or No

Not appropriate (As noted below)

Rob Benchley  Caroline Ellis  Angus Macleod  Mary Will Alternate: Clement Durkes   
Signatures (three members required for quorum)

Sconset Advisory Board Meeting Memorandum

HDC/SAB

Date: 3/9

Address 17 Broadway Sconset

Scope of Work: \_\_\_\_\_

Historic information/known history ( ) Non-Contributing ( ) Contributing ( ) Individually significant

STAFF COMMENTS

Name: \_\_\_\_\_

- ( ) Incomplete application ( ) Historical information needed ( ) No Concerns ( ) Recommend View
- ( ) Does not meet guidelines Visibility: Yes or No
- ( ) Not appropriate (As noted below)

SAB COMMENTS

- ( ) Incomplete application ( ) Historical information needed ( ) No Concerns ( ) Recommend View
- ( ) Does not meet guidelines Visibility: Yes or No
- ( ) Not appropriate (As noted below)

Quorum  
ND

East: ok with changing casements. ~~and~~ all third floor dormers are inappropriate (as dormer on top of dormer.) Proposed North dormer ok if meets guidelines. set back from side 3'. roof to be dropped 1' below ridge. Dormer large enough for 13 light sash.

South: no problems with proposal.

( ) Rob Benchley (x) Caroline Ellis (x) Angus Macleod ( ) Mary Will Alternate: Clement Durkes ( )

Signatures (three members required for quorum)

Caroline Ellis Angus Macleod

# Massachusetts Cultural Resource Information System

## Scanned Record Cover Page

**Inventory No:** NAN.2212  
**Historic Name:** Nonantum - Folger, Balzillai House  
**Common Name:** Folger, Benjamin Franklin House  
**Address:** 17 Broadway St  
  
**City/Town:** Nantucket  
**Village/Neighborhood:** Sankaty Head; Siasconset  
**Local No:** 7313-112, SC6-2  
**Year Constructed:** c 1791  
**Architect(s):**  
**Architectural Style(s):** No style  
**Use(s):** Single Family Dwelling House  
**Significance:** Architecture  
**Area(s):** NAN.C: Nantucket Historic District  
NAN.D: Nantucket Historic District  
**Designation(s):** Nat'l Register District (11/13/1966); Nat'l Historic  
Landmark (11/13/1966); Local Historic District  
(06/04/1970)  
**Building Materials(s):** Roof: Asphalt Shingle  
Wall: Wood; Wood Shingle



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Commonwealth of Massachusetts  
Massachusetts Historical Commission  
220 Morrissey Boulevard, Boston, Massachusetts 02125  
[www.sec.state.ma.us/mhc](http://www.sec.state.ma.us/mhc)

This file was accessed on: Friday, March 6, 2020 at 3:54: PM

BUILDING/STRUCTURE INVENTORY FORM  
NANTUCKET ISLAND ARCHITECTURAL  
AND CULTURAL RESOURCES SURVEY  
NANTUCKET HISTORIC DISTRICT COMMISSION  
NANTUCKET, MASSACHUSETTS

SURVEY/ SC6-2  
FILM ROLL #: 7313-112  
MAP/PARCEL#:

2112

Recorded by: AH

Date: 09/18/89

Organization: AGS

IDENTIFICATION

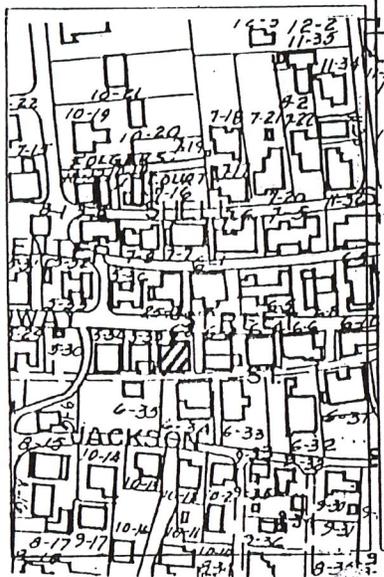
- 1. Street Name & No.: 17 BROADWAY
- 2. Building Name: NONANTUM
- 3. Ownership: Private
- 4. Present Owner: FARLEY, JAMES L & MARTHA B
- 5. Ownership History:

Built by Barzillai Folger who was the owner in 1814.  
Benjamin Franklin Folger, a hermit, owned the house  
in 1835. (UEC, HCF)

- 6. Use: Original: Dwelling Present: Dwelling  
Seasonal/Year-Round: Unknown

- 7. Accessibility to Public: Visible from Public Road? Yes  
Interior: N/A

8. MAP -- 3 X 2"



## GENERAL SETTING AND ORIENTATION OF BUILDING

10. Lot Size: N/A
11. Approximate Frontage (ft.): N/A
12. Setback from Street (ft.): 10 feet or less
13. Orientation to Street Address: Ridge Parallel
14. Surroundings: Densely Built, Residential, Old Historic District
15. Related Outbuildings and Property: Fence
16. Other Notable Features:  
N/A

## DESCRIPTION

17. Foundation: Piers
18. Structural System: Unknown
19. Exterior Wall Material, Front Facade: Shingles-Weathered
20. Exterior Wall Material, Side Elevations: Shingles-Weathered
21. Exterior Wall Material, Rear Elevation: Shingles-Weathered
22. Number of Stories: 2 1/2
23. Roof Shape: Gable
24. Roofing Material: Composition Shingle
25. Roof Features: Dormers/Front Facade, Skylight, Extended Eaves
26. Dormer Roof(s): Shed
27. Chimney Material: Brick-unpainted
28. Chimney Position: Off Center
29. Number of Chimneys: 2
30. Chimney Features: Corbelling
31. Front/Primary Door Location: Off Center
32. Front/Primary Door Frame Features: Flush Frame
33. Number of Bays: N/A
34. Window Frame Type: Flush
35. Window Sash Type(s) - Front Facade: 6/6, 12LF
36. Porch: Front
37. Signage: N/A
38. Details: Corner boards-plain
39. Condition: Good
40. Integrity: N/A
41. Alterations:  
N/A

SIGNIFICANCE

- 42. Role the Building Plays: National Register: Contributing
- 43. Date of Initial Construction: By 1791  
Source: H.C.Foreman 'Early Nantucket and Its Whaling Houses', PP,  
173,264,H.C.Foremen(editor) Underhill's 'The Old Houses on Sconset's Bank', Pa.  
Architect: Unknown Builder: Unknown
- 44. Building Type: Additive, Side Gabled
- 45. Architectural Style: N/A
- 46. Historical and Architectural Importance:  
Unknown

- 47. Sources: H.C.Foreman 'Early Nantucket and Its Whaling Houses',  
Pages,  
173,  
264,  
H.C. Foreman(editor) Underhill's 'The Old Houses on Sconset's Bank',  
Page,  
22

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 40 PARCEL N°: 80.1  
 Street & Number of Proposed Work: 3 Barrett Farm Rd  
 Owner of record: BOB & POSIE CONSTABLE  
 Mailing Address: 140 West 86th St Apt. 10B  
New York NY 10024  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Thomemill Design LLC  
 Mailing Address: 48 Dukes Rd  
Nantucket, Ma  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. 12944 \*  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_ \* HDC 2020 01 0437

Size of Structure or Addition: Length: 40 Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation } Roof change from Red Cedar to certainiteed "weathered wood"  
 Original Builder: \_\_\_\_\_ 3. West Elevation } NOTE: OWNER DID NOT WANT BLACK ROOF PER CERT # HDC 2020 01 0437  
 Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation }  
 \*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
 Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
 Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
 Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof GREY/BROWN (slight)  
 Trim NA Sash \_\_\_\_\_ Doors \_\_\_\_\_  
 Deck \_\_\_\_\_ Foundation A Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

J: 12744

DATE ISSUED: 7/2/11

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A. **strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 40 PARCEL N°: 80.1

Street & Number of Proposed Work: 3 Barrett Farm Road

Owner of record: Barrett Farm Corporation

Mailing Address: 140 West 86th St Apt 10-B  
New York, NY, 10024

Contact Phone #: 917 584 9337 E-mail: rausedbardventures.com

#### AGENT INFORMATION (if applicable)

Name: Thornhill design LLC

Mailing Address: 48 Dukes Road  
Nantucket, Ma

Contact Phone #: 228 9161 E-mail: Thornhilldesign@comcast.net

FOR OFFICE USE ONLY V15274

Date application received: 7/16/11 Fee Paid: \$563.70

Must be acted on by: 9/20/11

Extended to: \_\_\_\_\_

Approved: [Signature] Disapproved: \_\_\_\_\_

Chairman: [Signature]

Member: \_\_\_\_\_

Member: [Signature]

Member: [Signature]

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)
- Roof
- Other \_\_\_\_\_

Size of Structure or Addition: Length: 46' Sq. Footage 1st floor: 1639 Decks/Patio: Size: 657 SF.  1st floor  2nd floor

Width: 50' Sq. Footage 2nd floor: 1177 Size: \_\_\_\_\_  1st floor  2nd floor

Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 0 South 0 - 2'-0" East 0 West -2'-0" Dug into hill

Height of ridge above final finish grade: North 23' / 26'-8" South 22'-6" / 26'-8" East 26'-8" West 26'-8"

#### Additional Remarks

Historic Name: \_\_\_\_\_

Original Date: \_\_\_\_\_ (describe)

Original Builder: \_\_\_\_\_

Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**ORIGINAL ROOFING APPROVED - RED CEDAR.**

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed varies 2'-9"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 9/12 Secondary Mass 11/12 Dormer 4/12 Other POUR ROOF 4/12

Roofing material:  Asphalt:  3-Tab  Architectural

Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Red cedar

Fence: Height: \_\_\_\_\_

Type: \_\_\_\_\_

Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): WOOD

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x6 Rake 1x8 Soffit (Overhang) 6" Corner boards 6" Frieze 1x6

Window Casing 1x5 Door Frame 1x5 Columns/Posts: Round \_\_\_\_\_ Square 6"

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front 9 Light wood Rear 12 Light clad Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways shell/oe gravel Walkways flagstone Walls separate application

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall Natural Clapboard (if applicable) \_\_\_\_\_ Roof Natural

Trim white Sash white Doors white

Deck Natural Foundation Natural Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 40 PARCEL N°: 80.1  
Street & Number of Proposed Work: 3 BARRETT FARM RD  
Owner of record: ROBERT CONSTABLE  
Mailing Address: 140 W 86<sup>th</sup> STR APT 10-B  
NEW YORK, NY 10024  
Contact Phone #: 646-483-7787 E-mail: posieconstable@gmail.com

#### AGENT INFORMATION (if applicable)

Name: ACK SMART ENERGY  
Mailing Address: 61 OLD SOUTH RD #500  
NANTUCKET, MA 02554  
Contact Phone #: 508 257 1786 E-mail: solar@acksmart.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
  - Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
  - Pool (Zoning District \_\_\_\_\_)  Roof  Other INSTALL 23 ALL BLACK ROOF MOUNTED SOLAR PANELS
- Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
Original Builder: \_\_\_\_\_ 3. West Elevation  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 12 Secondary Mass 12 Dormer 12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 11/19/2019 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_

COPY OF APPROVAL PANEL

MINUTES SUGGEST BLACK ROOF APPROVED BUT IT WAS  
NATURAL RED CEDAR. OWNERS WANT "WEATHERWOOD" - See New HDC

11. **Constable, Robert 01-0437** 3 Barrett Farm Road Solar Roof Array 40-80.1 ACK Smart

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra

Alternates None

Recused None

Documentation Architectural elevation plans, site plan, photos, and manufacturer spec sheet.

Representing **Tobias Glidden**, ACK Smart – Presented project.

Tim Carruthers, ACK Smart

Public None

Concerns (4:58) **Oliver** – The only way you can see the panel is headed into Town; but it's appropriately black on black.

No concerns.

Motion **Motion to Approve as submitted. (Oliver)**

Vote Carried unanimously

Certificate #

**HDC2020-01-0437**

12. Hanabea Six, LLC **01-0438** 6 Hanabea Lane Solar Roof Array 69-255 ACK Smart

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra

Alternates None

Recused None

Documentation Architectural elevation plans, site plan, photos, and manufacturer spec sheet.

Representing **Tobias Glidden**, ACK Smart – Presented project.

Tim Carruthers, ACK Smart

Public None

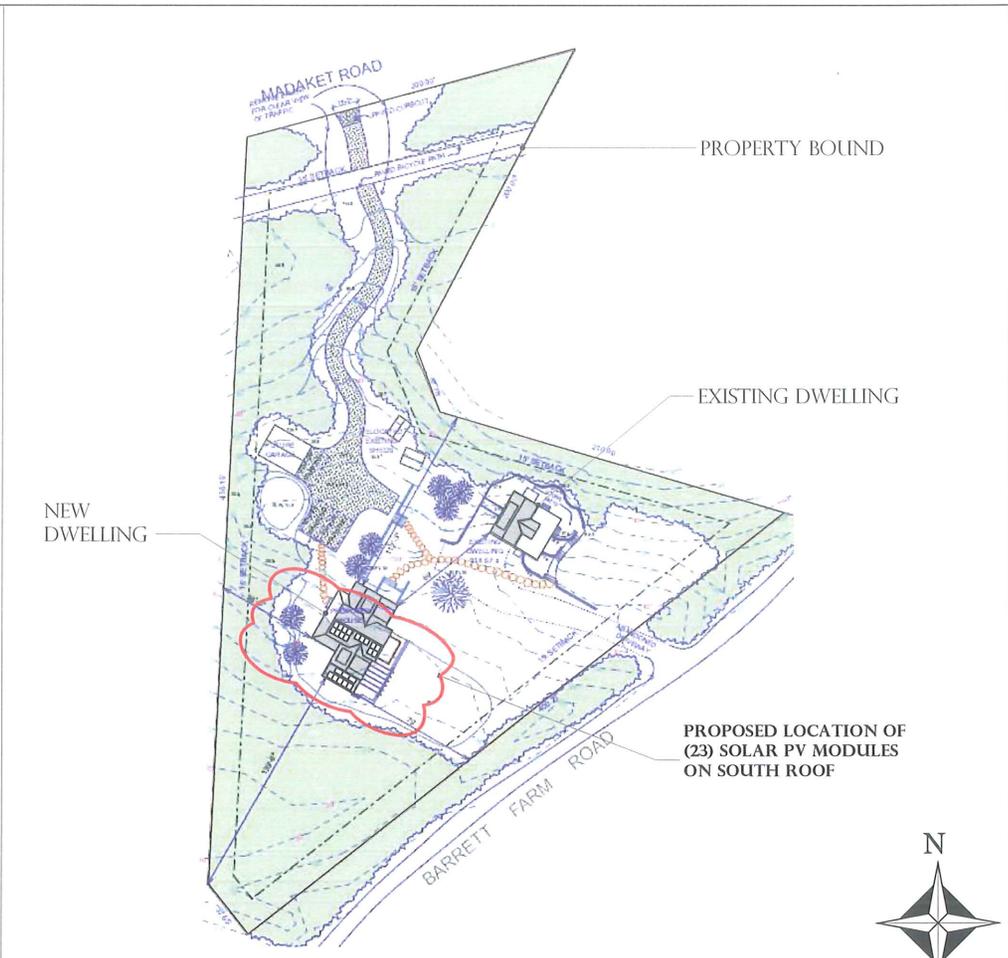
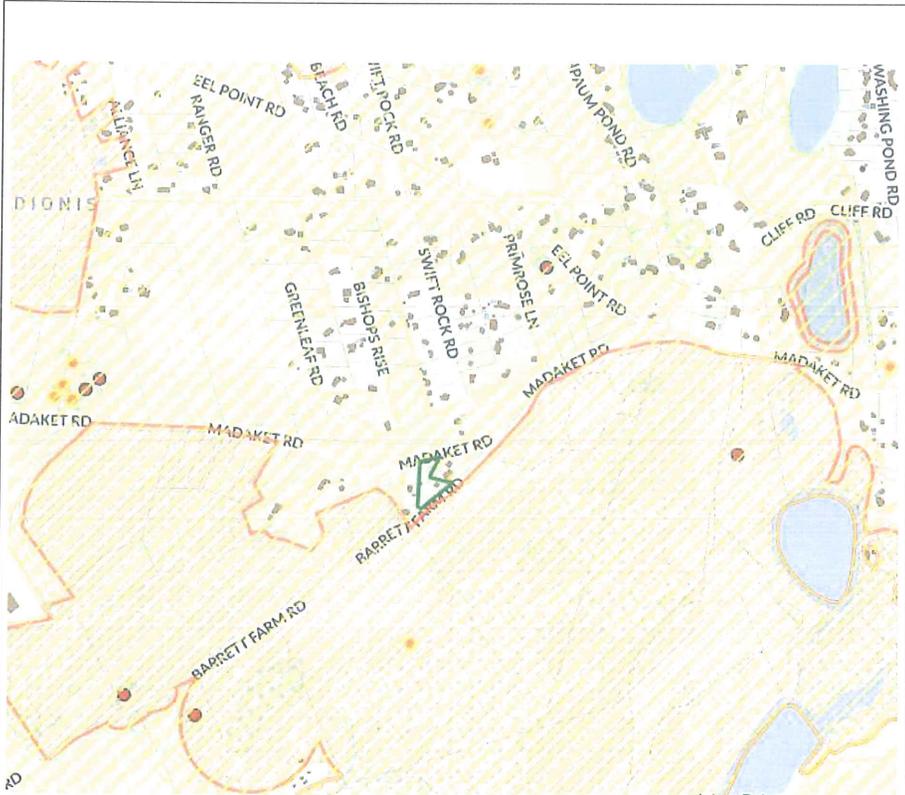
Concerns (5:02) No concerns.

Motion **Motion to Approve as submitted. (Oliver)**

Vote Carried unanimously

Certificate #

**HDC2020-01-0438**



LOCUS MAP  
SCALE: NOT TO SCALE

ZONING CLASS: LUG 2  
FRONT SETBACK: 35 FT  
SIDE/REAR SETBACK: 15 FT

SITE PLAN  
SCALE: 1" = 70' 0"



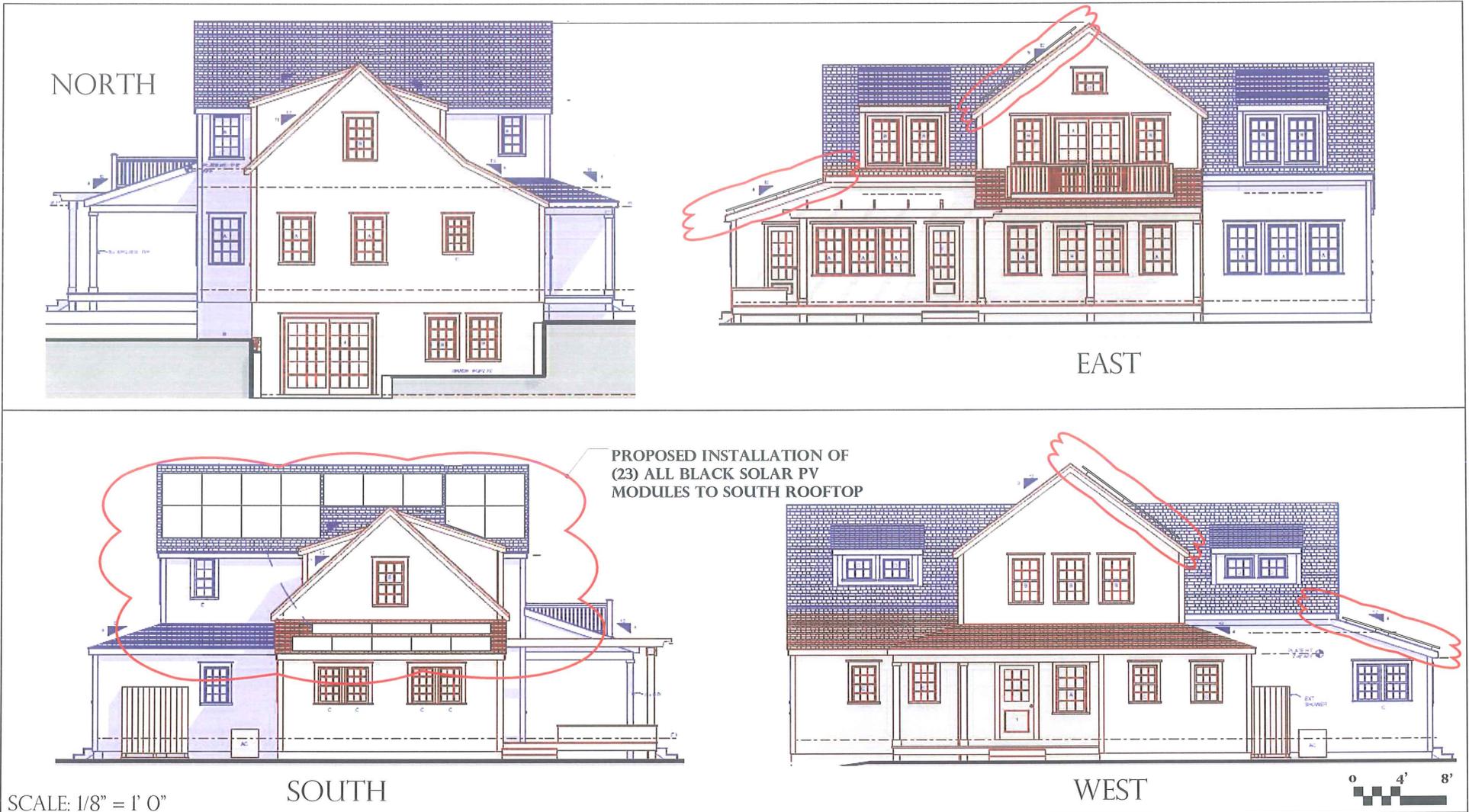
### GIS & SITE PLAN

ROOFTOP SOLAR ARRAY  
7.47 KW DC, 7.6 KW AC

OWNER:	CONSTABLE, ROBERT
SITE ADDRESS:	3 BARRETT FARM RD
CITY, STATE, ZIP:	NANTUCKET, MA 02554
MAP: 40	PARCEL: 80J

REVISIONS	
MM/DD/YY	REMARKS
1 18/2020	SUBMITTED FOR HDC & PERMITTING REVIEW.
2	
3	
4	
5	

PV 01



PROPOSED ELEVATIONS

ROOFTOP SOLAR ARRAY  
7.47 KW DC, 7.6 KW AC

OWNER:	CONSTABLE, ROBERT
SITE ADDRESS:	3 BARRETT FARM RD
CITY, STATE, ZIP:	NANTUCKET, MA 02554
MAP:	40
	PARCEL: 801

REVISIONS	
MM/DD/YY	REMARKS
1 1/8/2020	SUBMITTED FOR HDC & PERMITTING REVIEW.
2	
3	
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5	

02  
PV



**Blocked visibility of  
property from Barrett  
Farm Rd**



**PHOTOS**

ROOFTOP SOLAR ARRAY  
7.47 KW DC, 7.6 KW AC

OWNER:	CONSTABLE, ROBERT
SITE ADDRESS:	3 BARRETT FARM RD
CITY, STATE, ZIP:	NANTUCKET, MA 02554
MAP:	40
	PARCEL: 80.1

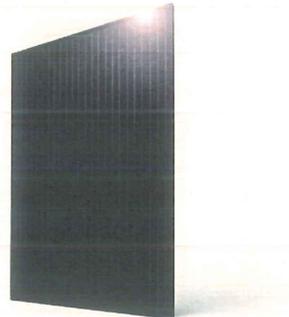
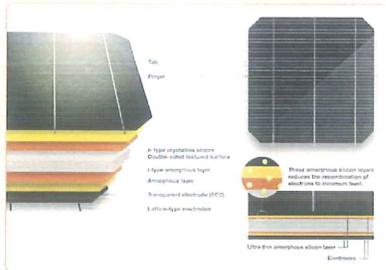
REVISIONS	
MM/DD/YY	REMARKS
1 18/2020	SUBMITTED FOR HDC & PERMITTING REVIEW.
2	
3	
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Panasonic

N325K / N320K

Panasonic's unique heterojunction technology uses ultra-thin amorphous silicon layers. These thin dual layers reduce losses, resulting in higher energy output than conventional panels.



Panasonic HIT® Black is the brand new all-black module which features high efficiency 19.4%, industry leading temperature coefficient of -0.258%/°C and a sleek design. Powerful and aesthetically designed to make your roof look great.



Our competitive advantages

**High Efficiency at High Temperatures** As temperature increases, HIT® continues to perform at high levels due to the industry leading temperature coefficient of -0.258%/°C. No other module even comes close to our temperature characteristics. That means more energy throughout the day.

**25 Year Product and Performance Warranty\*\*** Industry leading 25 year product workmanship and performance warranty is backed by a century old company- Panasonic. Power output is guaranteed to 90.76% after 25 years, far greater than other companies.

**Quality and Reliability** Panasonic's vertical integration, 21 years of experience manufacturing HIT® and 20 internal tests beyond those mandated by current standards provides extreme quality assurance.

**Higher Efficiency 19.4%** Enables higher power output and greater energy yields. HIT® provides maximum production for your limited roof space.

**Low Degradation** HIT "N-type" cells result in extremely Low Light Induced Degradation (LID) and zero Potential Induced Degradation (PID) which supports reliability and longevity. This technology reduces annual degradation to 0.26% compare to 0.70% in conventional panels, guaranteeing more power for the long haul.

**Enhanced Frame Design** A new 40mm frame increases durability and strength, being able to handle loads of up to 5400Pa. Also, the water drainage system gives rain water and snow melt a place to go, reducing water stains and soiling. Less dirt on the module means more sunlight getting through to generate power.

HIT® is a registered trademark of Panasonic Corp.



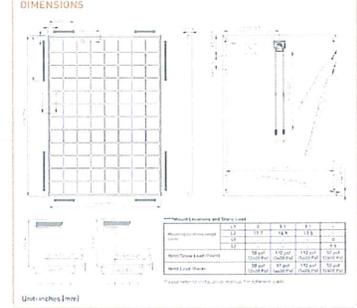
Panasonic

N325K / N320K

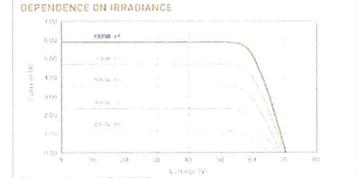
ELECTRICAL SPECIFICATIONS table with columns for Model, Model, and values for various electrical parameters like Rated Power, Maximum Power Voltage, etc.



MECHANICAL SPECIFICATIONS table with columns for Model, Model, and values for internal bypass diodes, module area, weight, dimensions, etc.



Operating Conditions & Safety Ratings table with columns for Model, Model, and values for operating temperature, wind safety impact velocity, etc.



NOTE: Standard Test Conditions: Air mass 1.5, irradiance = 1000W/m², cell temp: 25°C. Maximum power at delivery. For guarantee specifications, please check our guarantee document.

CAUTION: Please read the installation manual carefully before using the products. Use electrical and plumbing products must not be used with general household grade. For proper treatment, recovery and recycling of old products, please take them to applicable collection points in accordance with your national legislation.

Panasonic Eco Solutions of North America, Two Riverfront Plaza, 5th Floor, Newark, NJ 07102. All Rights Reserved © 2019 COPYRIGHT Panasonic Corporation. Specifications are subject to change without notice.



PV MODULE SPECIFICATIONS

ROOFTOP SOLAR ARRAY
7.47 KW DC, 7.6 KW AC

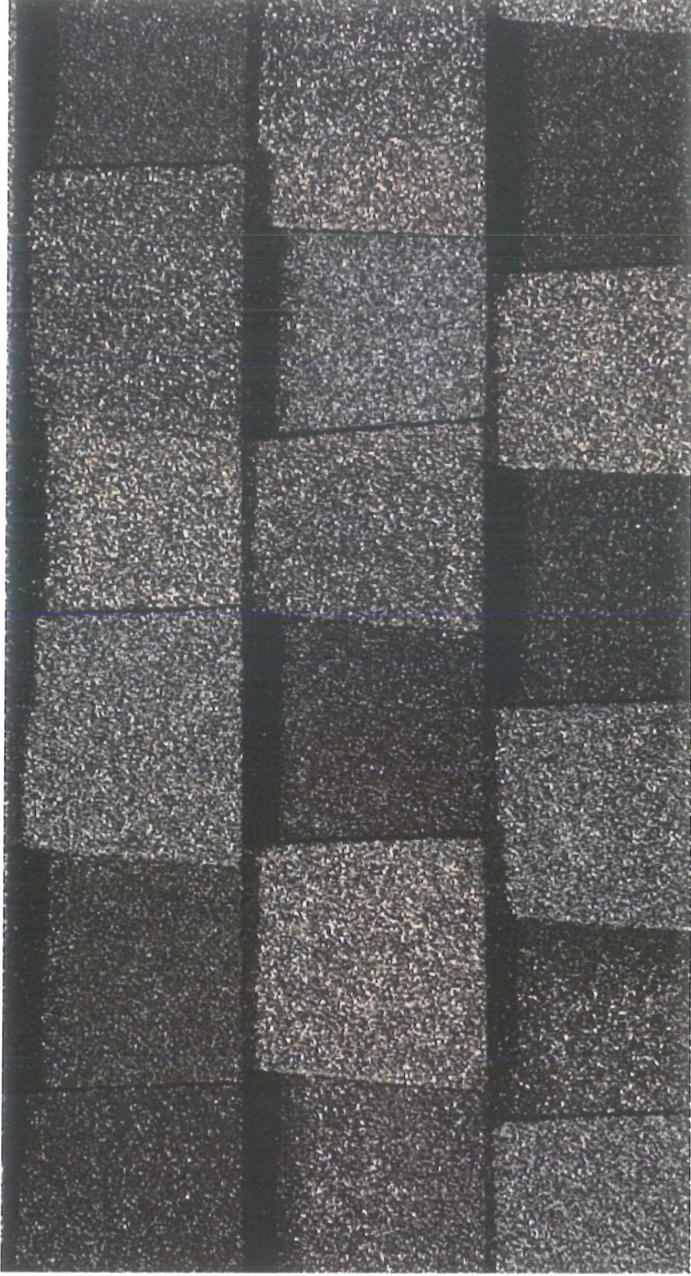
OWNER: CONSTABLE, ROBERT
SITE ADDRESS: 3 BARRETT FARM RD
CITY, STATE, ZIP: NANTUCKET, MA 02554
MAP: 40 PARCEL: 801

REVISIONS table with columns for MM/DD/YY, SUBMITTED FOR HDC & PERMITTING REVIEW, and REMARKS.

O4
PV

From: Luke Thornewill [thornewilldesign@comcast.net](mailto:thornewilldesign@comcast.net)  
Subject:  
Date: May 26, 2020 at 10:30 AM  
To: Luke Thornewill [thornewilldesign@comcast.net](mailto:thornewilldesign@comcast.net)

LT



## Thornewill Design LLC

48 Dukes Road

Nantucket Ma 02554

T 508 228 9161

F 508 228 3165

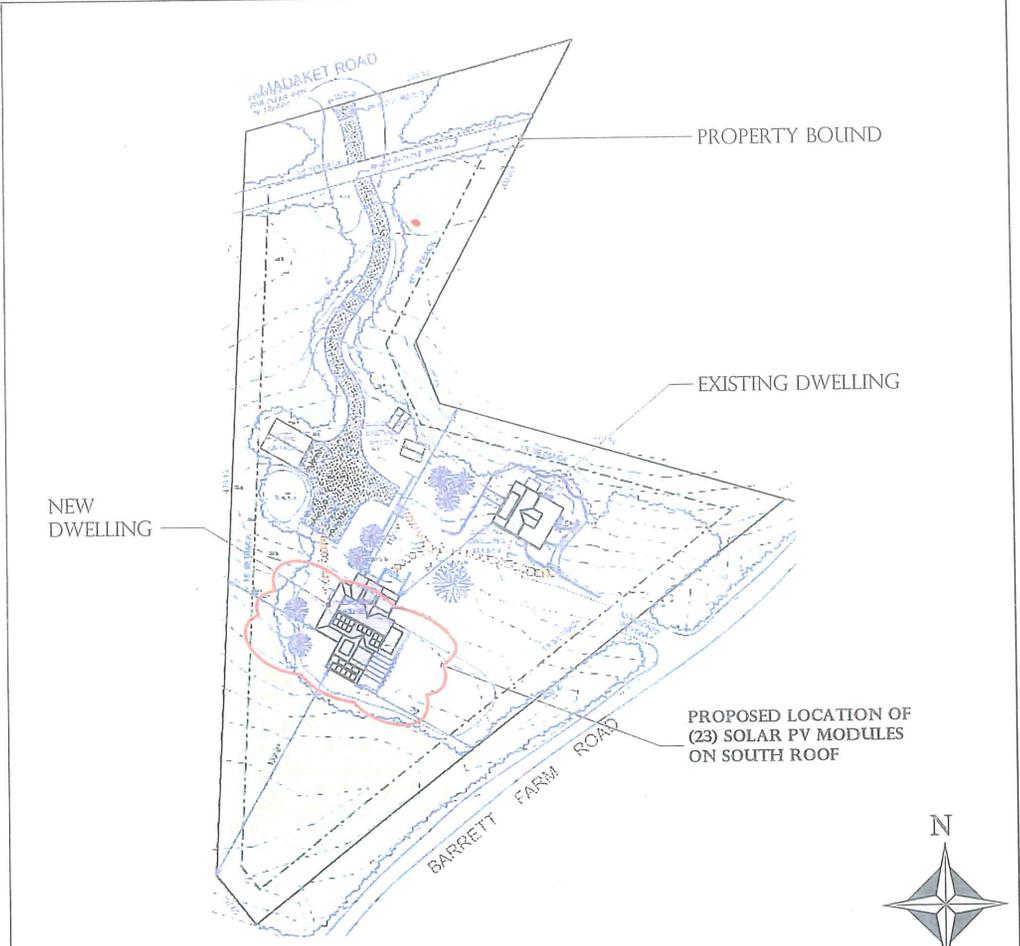
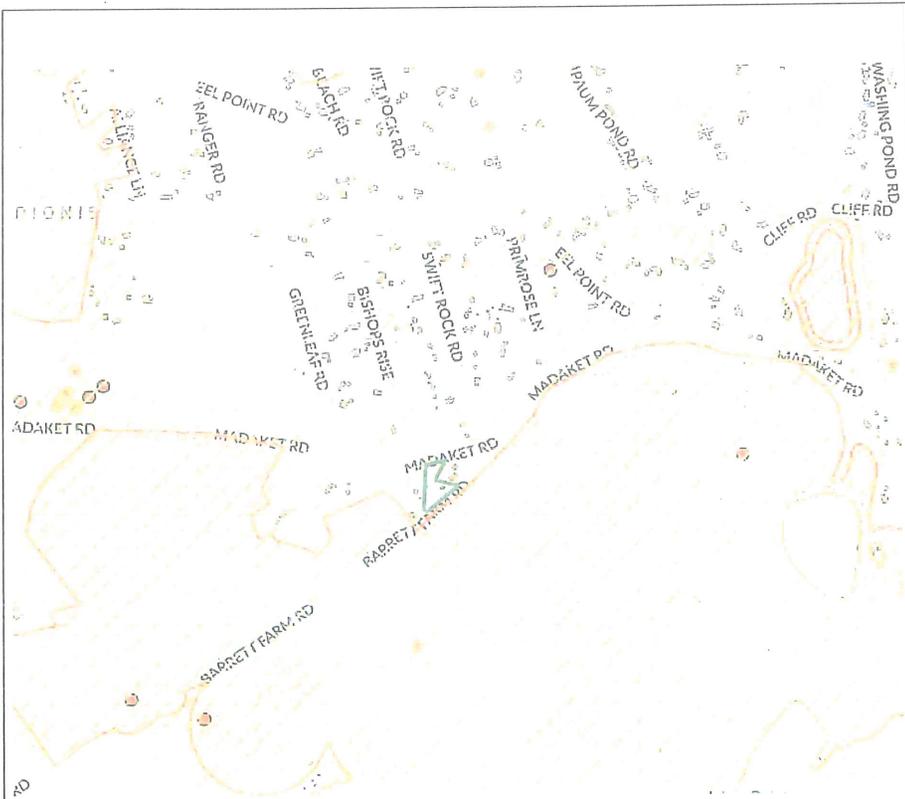
E [thornewilldesign@comcast.net](mailto:thornewilldesign@comcast.net)

<http://www.thornewilldesign.com>

*Proposed*

*Centan Teed*

*"Weatherwood"  
Acct. est. Asphalt.*



LOCUS MAP  
SCALE: NOT TO SCALE

ZONING CLASS: LUG 2  
FRONT SETBACK: 35 FT  
SIDE/REAR SETBACK: 15 FT

SITE PLAN  
SCALE: 1" = 70' 0"



**GIS & SITE PLAN**

ROOFTOP SOLAR ARRAY  
7.47 KW DC, 7.6 KW AC

OWNER:	CONSTABLE, ROBERT
SITE ADDRESS:	3 BARRETT FARM RD
CITY, STATE, ZIP:	NANTUCKET, MA 02554
MAP:	40
PARCEL:	801

REVISIONS	
MM/DD/YY	REMARKS
1 1/8/2020	SUBMITTED FOR HDC & PERMITTING REVIEW.
2	
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5	

PV 01

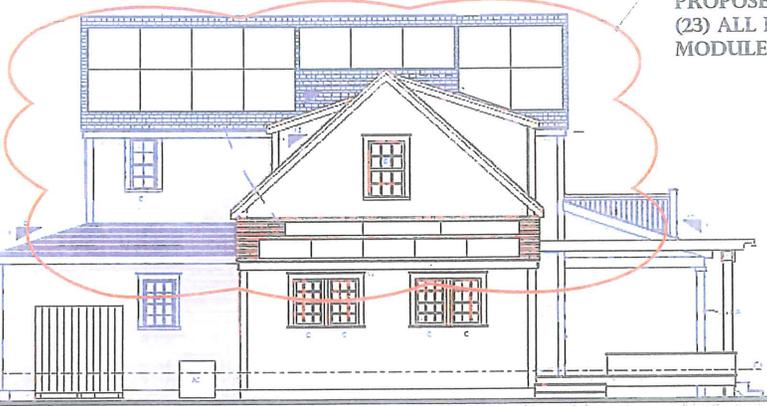
Roof change from Black & Nat Cedar to CertainTeed "Weatherwood" Arch. Asphalt. Sh

NORTH

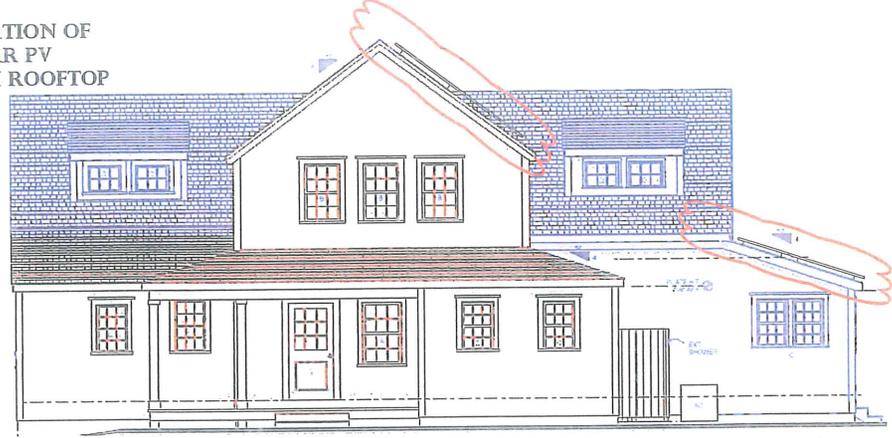


EAST

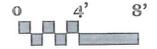
PROPOSED INSTALLATION OF (23) ALL BLACK SOLAR PV MODULES TO SOUTH ROOFTOP



SOUTH



WEST



SCALE: 1/8" = 1' 0"

 <p>(508) 257-1766 www.ACKSmart.com</p>	<p><b>PROPOSED ELEVATIONS</b></p> <p>ROOFTOP SOLAR ARRAY 7.47 KW DC, 7.6 KW AC</p>	OWNER:	CONSTABLE, ROBERT	REVISIONS					
		SITE ADDRESS:	3 BARRETT FARM RD	NO/NO/YY	REMARKS				
		CITY, STATE, ZIP:	NANTUCKET, MA 02554	1	08/2020				SUBMITTED FOR HDC & PERMITTING REVIEW.
		MAP: 40	PARCEL: 801	2					
				3					
		4							
		5							

PV 02



Blocked visibility of  
property from Barrett  
Farm Rd



**PHOTOS**

ROOFTOP SOLAR ARRAY  
7.47 KW DC, 7.6 KW AC

OWNER:	CONSTABLE, ROBERT
SITE ADDRESS:	3 BARRETT FARM RD
CITY, STATE, ZIP:	NANTUCKET, MA 02554
MAP: 40	PARCEL: 80.1

**REVISIONS**

MM/DD/YY	REMARKS
1 08/30/20	SUBMITTED FOR HDC & PERMITTING REVIEW.
2	
3	
4	
5	



CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 30 PARCEL N°: 628  
Street & Number of Proposed Work: 4 John Adams Lane  
Owner of record: Mark + Marilyn Wendling  
Mailing Address: 1121 Bodwood Drive  
Cincinnati, OH 45208  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Botticelli + Pohl  
Mailing Address: 11 Old South Road  
Nantucket, MA 02554  
Contact Phone #: 228-5455 E-mail: \_\_\_\_\_

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: 200sf  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

**REVISIONS\***

1. East Elevation Revise windows, Add Door, extend Porch
2. South Elevation Connect Dormers
3. West Elevation Revise Windows
4. North Elevation Revise windows + Doors, extend Porch

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

**Leaders (material and size):** \_\_\_\_\_

**Sidewall:**  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Other \_\_\_\_\_

**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards TME Frieze \_\_\_\_\_  
Window Casing TME Door Frame TME Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

**Windows\*:**  Double Hung  Casement  All Wood  Other Fixed  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer Anderson

**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear French Side French

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

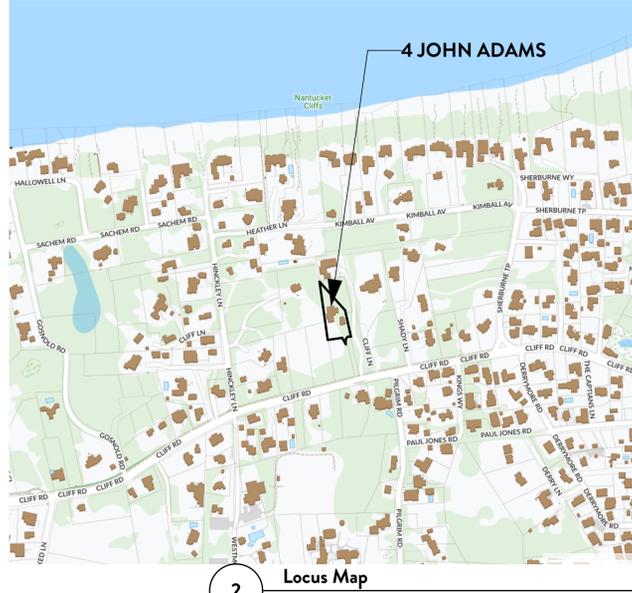
#### COLORS

Sidewall Natural Clapboard (if applicable) \_\_\_\_\_ Roof Natural  
Trim White Sash White Doors White  
Deck Natural Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

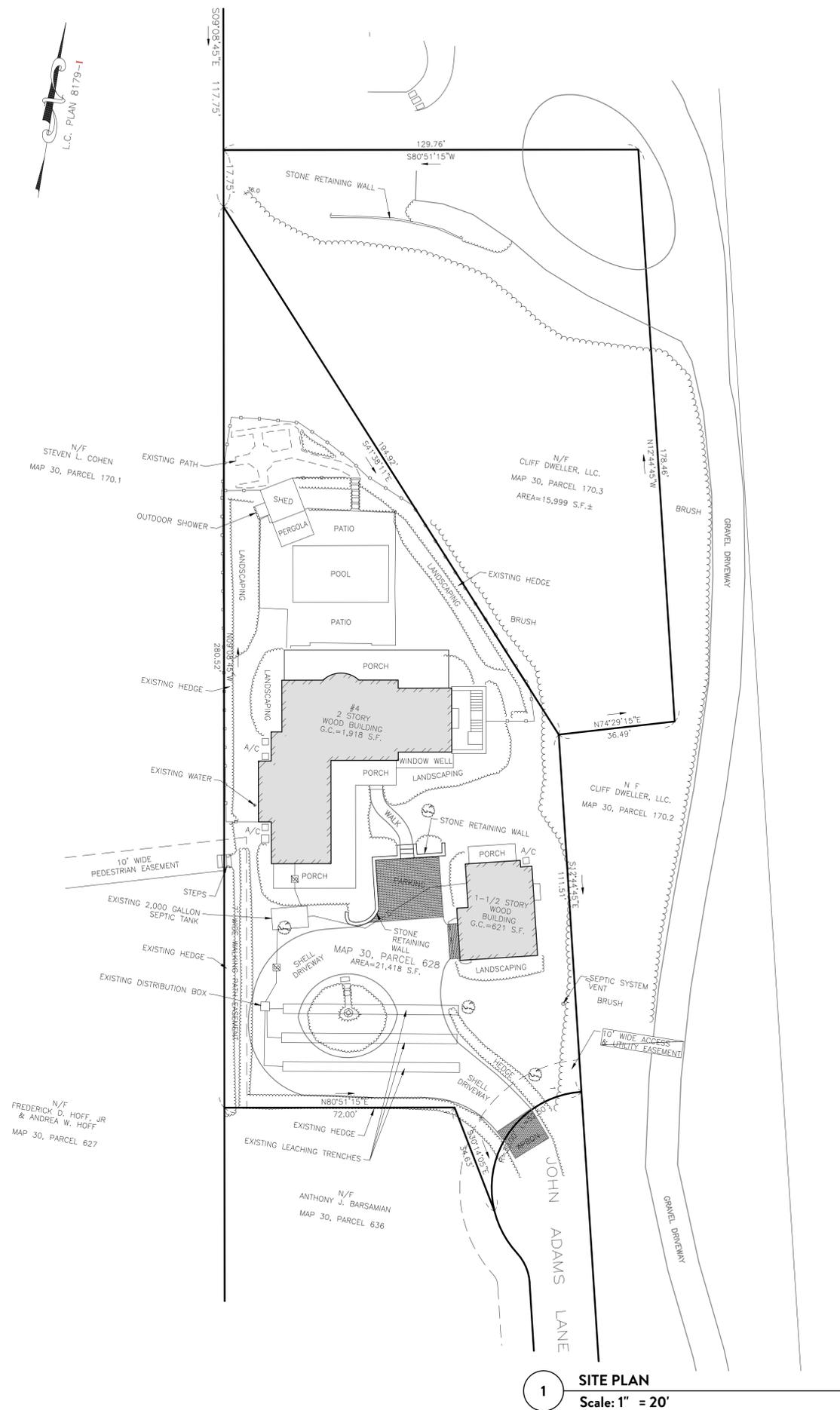
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/26/20 Signature of owner of record [Signature] Signed under penalties of perjury



2 Locus Map



1 SITE PLAN  
Scale: 1" = 20'

Renovations at  
4 John Adams Lane

Nantucket, MA 02554

MAP NO: 30 ZONING INFO: R20  
PARCEL NO: 628 PROJECT NO: 45 REVISED:

All drawings and designs contained are the sole property of Botticelli & Pohl, P.C.  
No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.

Site Plan

DATE	REVISIONS

BOTTICELLI & POHL



EXISTING SOUTH ELEVATION  
Scale: 1/8" = 1'-0"



1 PROPOSED SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



EXISTING WEST ELEVATION  
Scale: 1/8" = 1'-0"



2 PROPOSED WEST ELEVATION  
Scale: 1/4" = 1'-0"

Window Schedule							
No.	Qn.	Type	Manuf.	Unit Size	Rough Opening	Model	Comments
EX	-	Varies	Andersen	Varies	-	-	Existing unit to remain
RE	-	Varies	Andersen	Varies	-	-	Existing unit to be relocated
Δ		Double Hung	Andersen	2-3 5/8" x 5-4 7/8"	2-10 1/8" x 8-4 7/8"	WD4 2852	6 over 1
F		Fixed	Andersen	2-1 1/2" x 3-8 1/2"	2-8" x 3-3"	TBD	3
PΔ		(4) Fixed	Andersen	(4) 2-1 1/2" x 3-8 1/2"	TBD x 3-3"	TBD	3 EA

Door Schedule							
No.	Qn.	Type	Manuf.	Unit Size	Rough Opening	Model	Comments
6		Single French Door	TBD	2-8" x 6-8"	8-8 1/2" x 6-11 1/2"	TBD	10
		w/ Sidelights		2-8" x 6-8"	-		10 EA
7		Single French Door	TBD	2-8" x 6-8"	2-11 1/2" x 6-11 1/2"	TBD	10
8		Slide Door	TBD	2-6" x 6-8"	2-9 1/2" x 6-11 1/2"	TBD	4 over panels
9		Single French Door	TBD	2-8" x 7-10 1/2"	8-8 1/2" x 8-2"	TBD	12
		w/ Sidelights		2-8" x 7-10 1/2"	-		12 EA

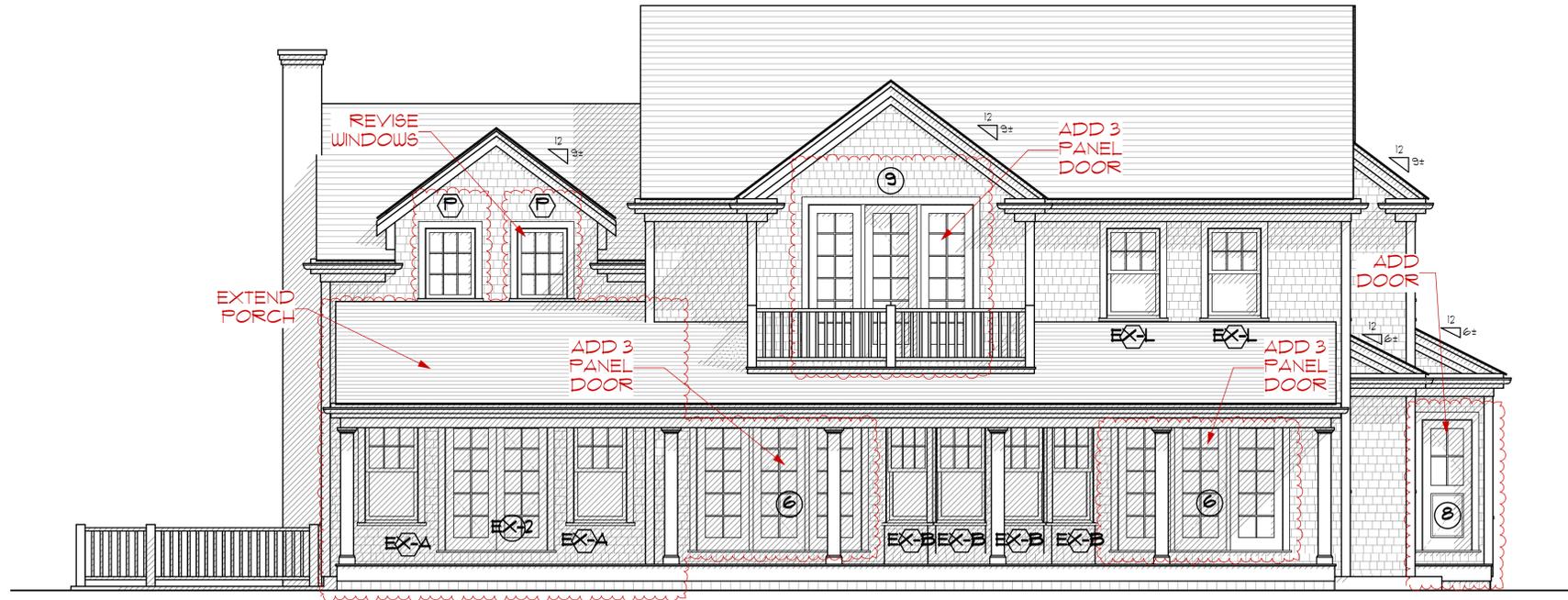
**Notes:**

- All windows will be Andersen 400 Series windows as per above schedule, double glazed, Low-E4 glass, 8DL with 3/4" nitrins per light pattern above. All glazing to come with compliance sticker as required by local building codes.
- Door manufacturer TBD, double glazed, Low-E4 glass, 8DL with 3/4" nitrins per light pattern above. All glazing to come with compliance sticker as required by local building codes.
- Mill shop will provide shop drawings for all window and door units to architect for approval prior to commencing construction.
- Provide all windows, including sidelights, transoms, and fixed windows, with mahogany half screens with Phifer BetterVue screen or similar where applicable.
- Provide tempered glass in all locations required by code.

REVISIONS	DATE



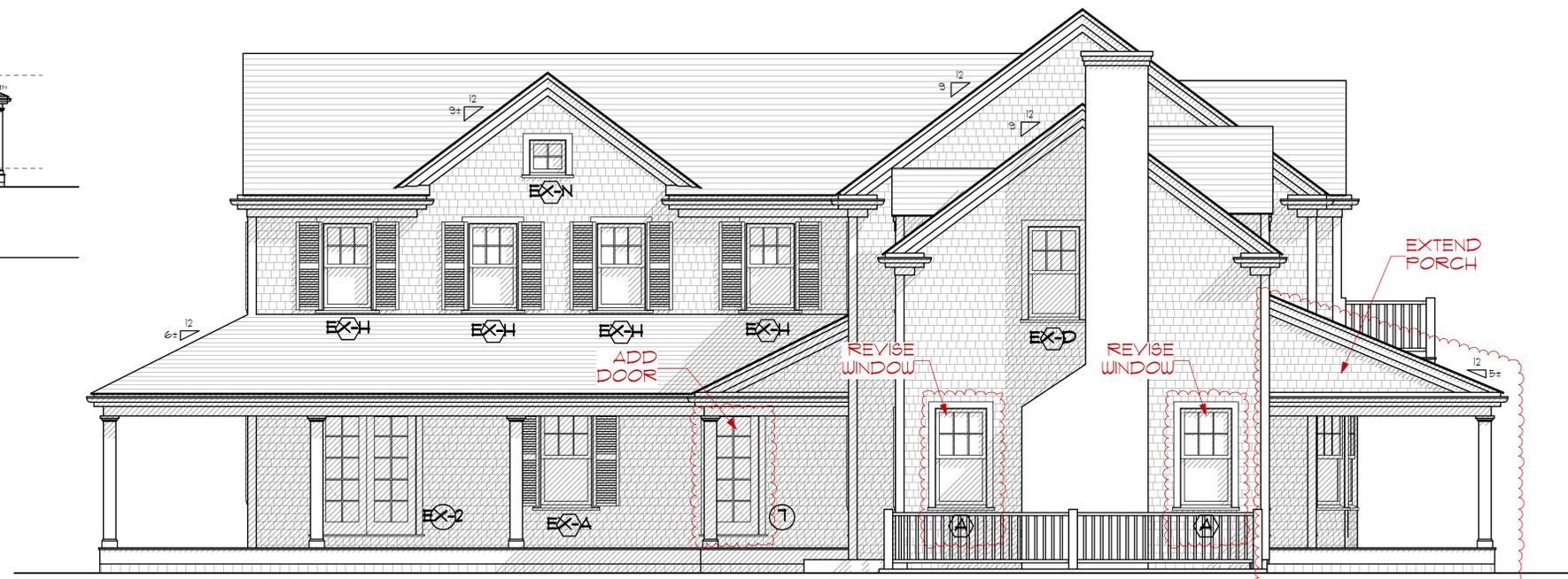
3 EXISTING NORTH ELEVATION  
Scale: 1/8" = 1'-0"



1 PROPOSED NORTH ELEVATION  
Scale: 1/4" = 1'-0"

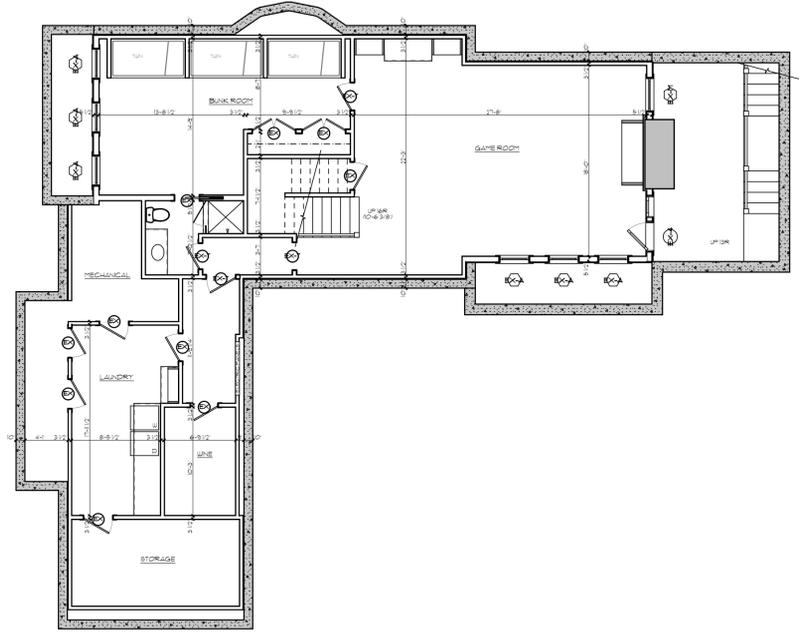


4 EXISTING EAST ELEVATION  
Scale: 1/8" = 1'-0"

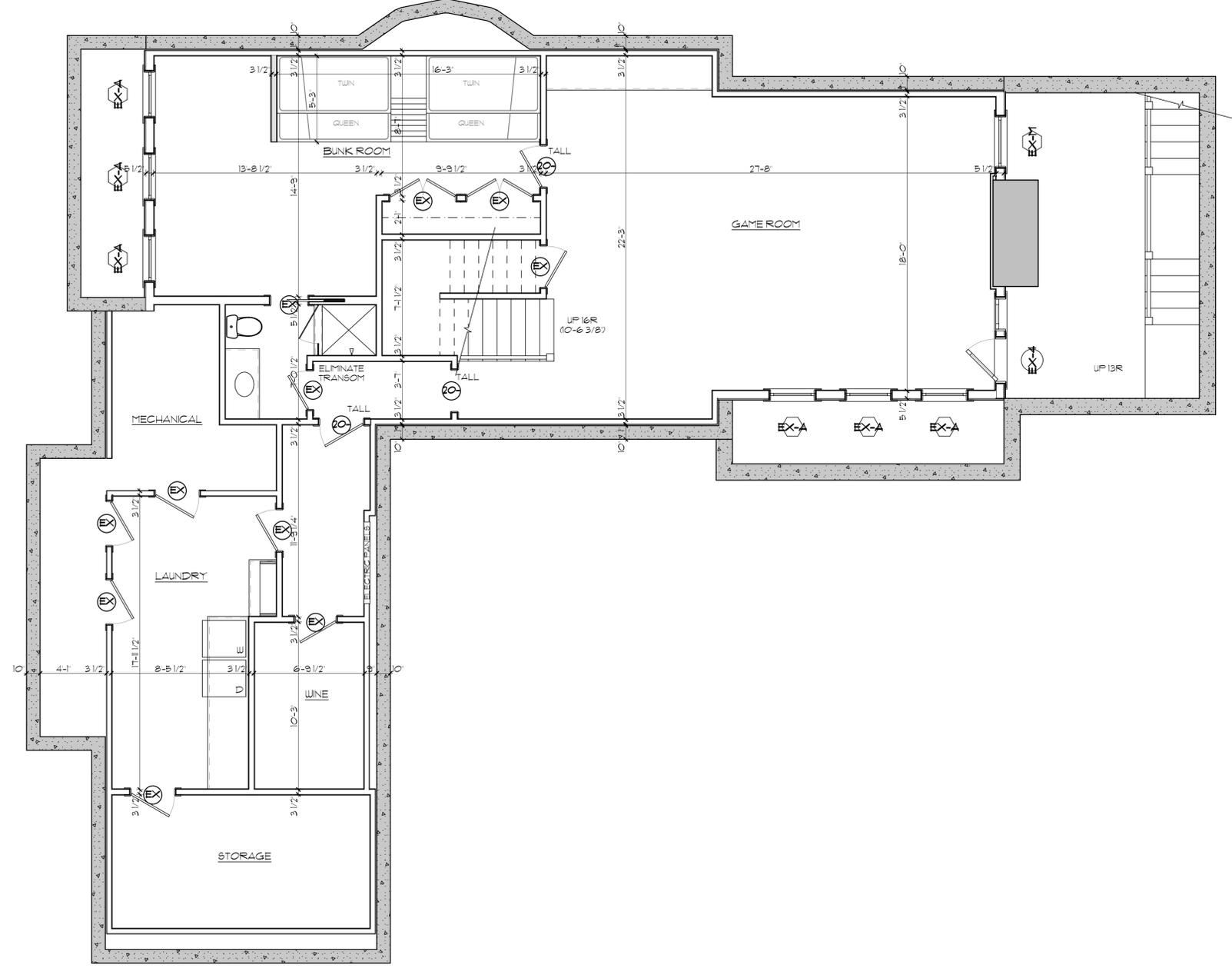


2 PROPOSED EAST ELEVATION  
Scale: 1/4" = 1'-0"

DATE	REVISIONS



2 EXISTING BASEMENT PLAN  
Scale: 1/8" = 1'-0"



1 PROPOSED BASEMENT FLOOR PLAN  
Scale: 1/4" = 1'-0"

Renovations at  
4 John Adams Lane

Nantucket, MA 02554

MAP NO: 30 ZONING INFO: R20  
PARCEL NO: 628 PROJECT NO: 45

REVISED: May 01, 2020  
No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.

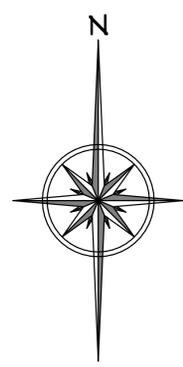
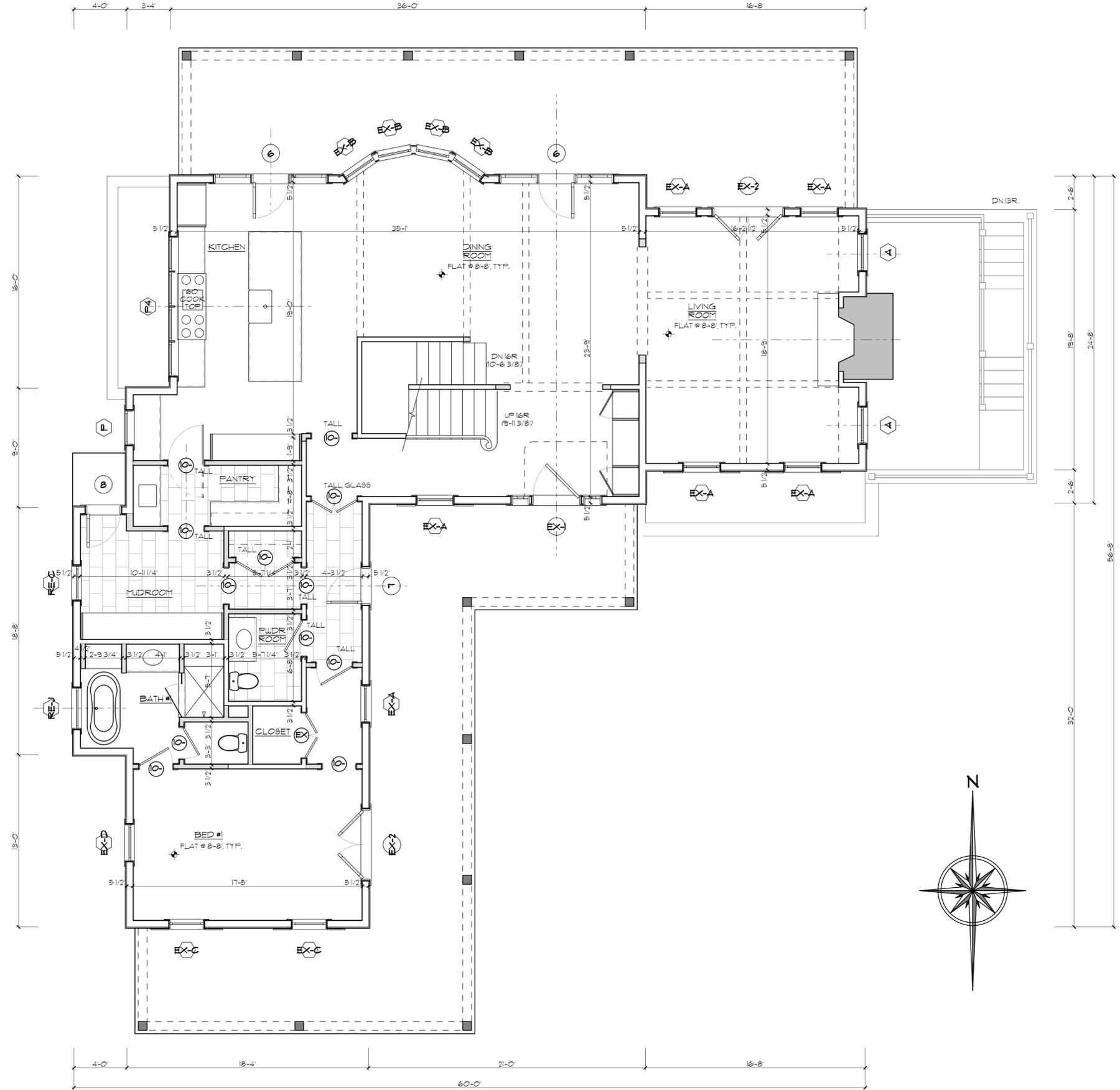
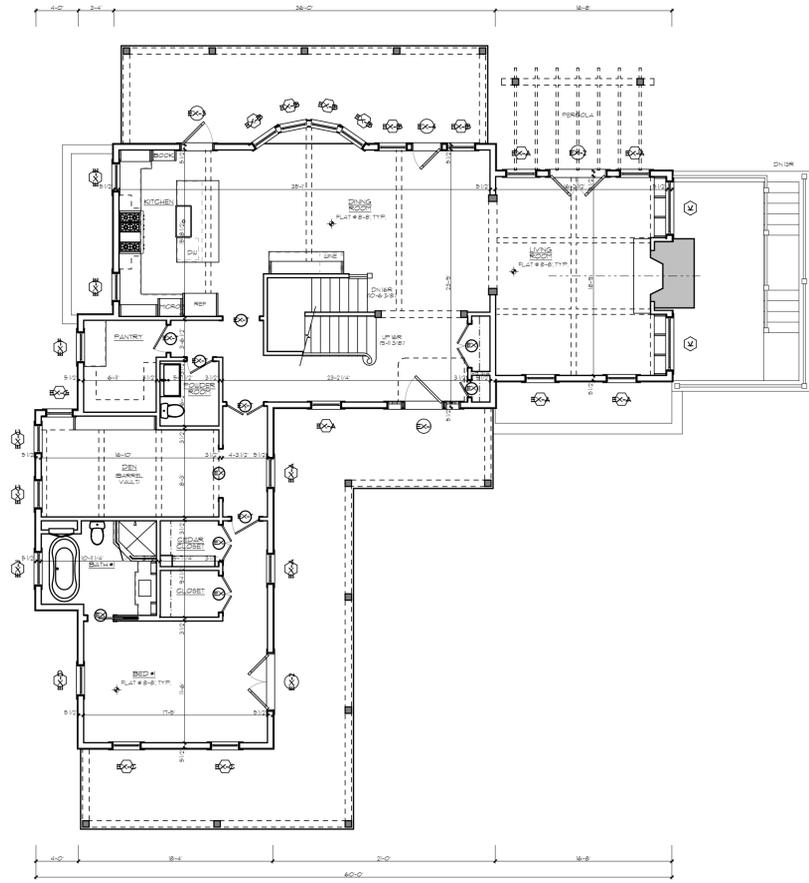
Basement Floor Plan

DATE	REVISIONS

BOTTICELLI & POHL

ID #

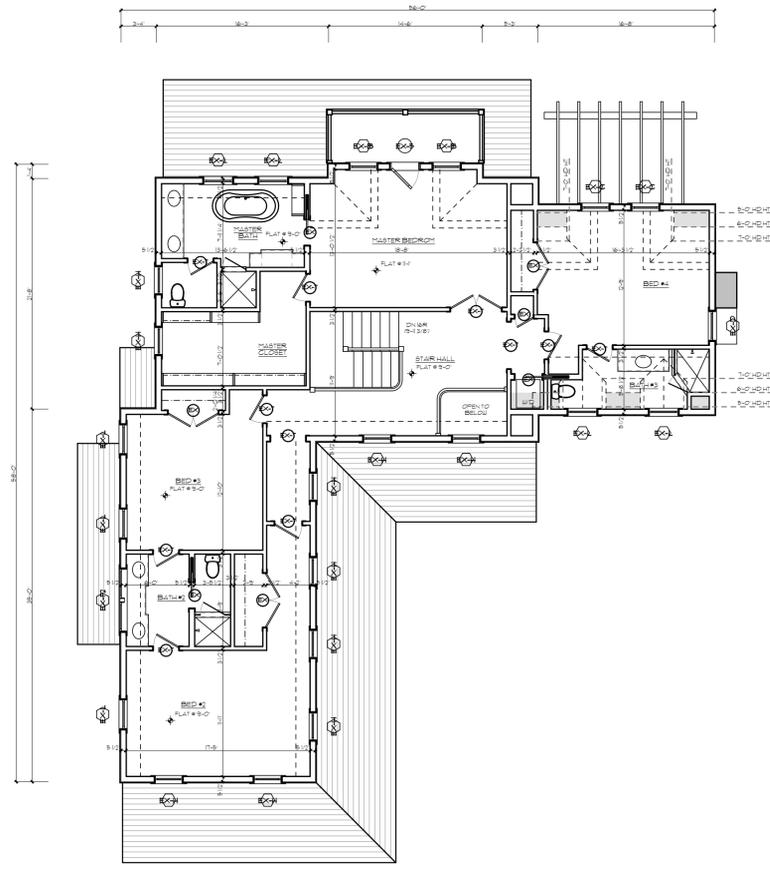
A-1.0



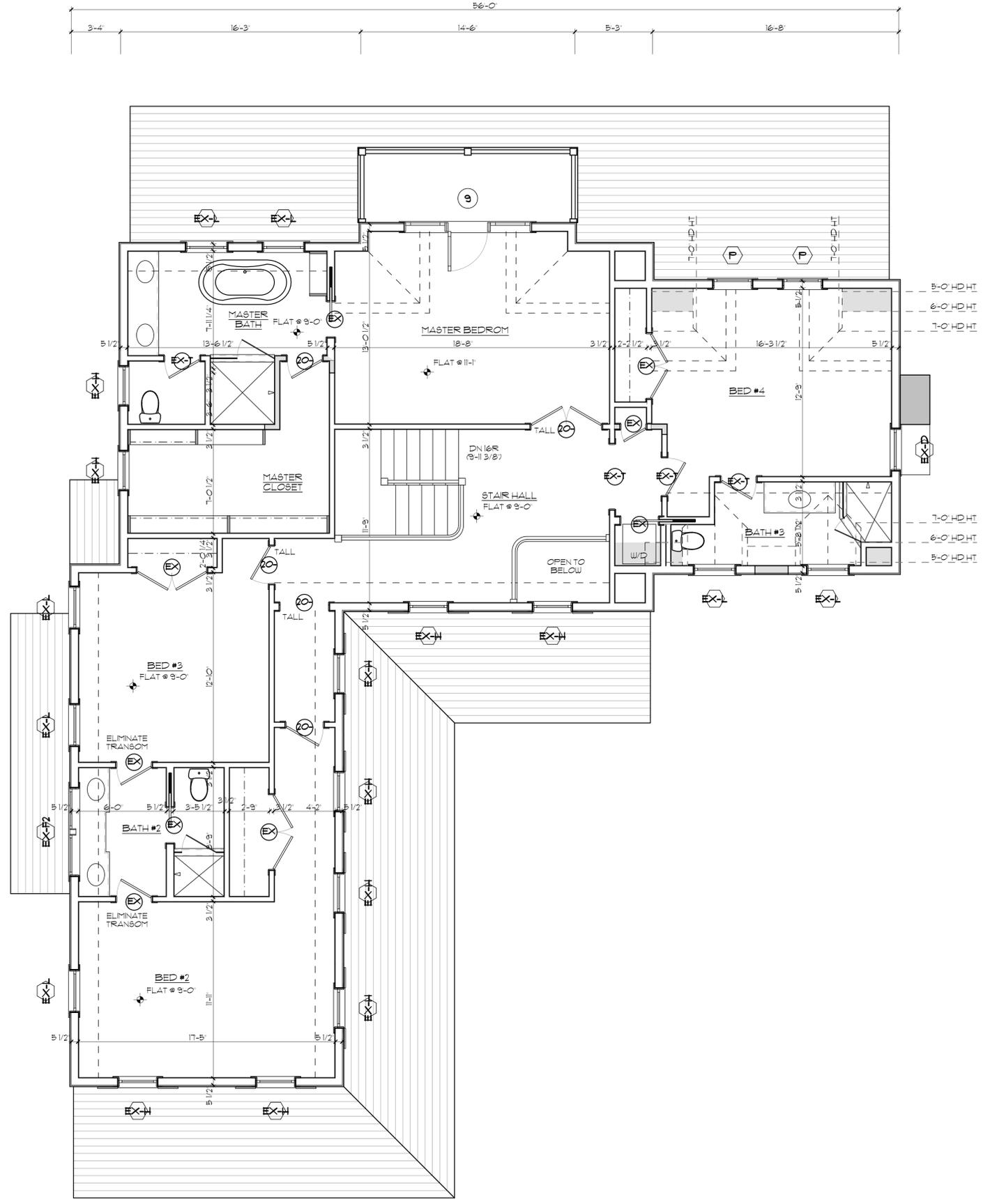
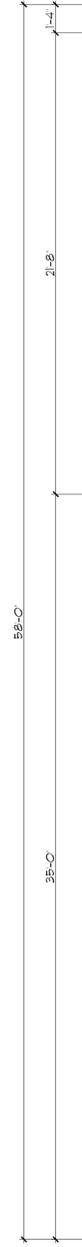
DATE	REVISIONS

First Floor Plan

Renovations at  
4 John Adams Lane  
Nantucket, MA 02554  
MAP NO: 30 ZONING INFO: R20 REVISION: May 01, 2020  
PARCEL NO: 628 PROJECT NO: 45  
All drawings and designs contained are the sole property of Botticelli & Pohl, P.C.  
No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.



**1** EXISTING SECOND FLOOR PLAN  
Scale: 1/8" = 1'-0"



**2** PROPOSED SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"

Renovations at  
4 John Adams Lane  
Nantucket, MA 02554  
MAP NO: 30 ZONING INFO: R20  
PARCEL NO: 628 PROJECT NO: 45  
REVISED: May 01, 2020

**Second Floor Plan**

DATE	REVISIONS

ID#  
**A-1.2**

**BOTTICELLI & POHL**

4 John Adams Lane-North



4 John Adams Lane-East



4 John Adams Lane-Partial East



4 John Adams Lane-Partial South



4 John Adams Lane-South/East



4 John Adams Lane-West





May 26, 2020

Mr. Raymond Pohl, Chair  
Nantucket Historic District Commission  
2 Fairgrounds Road  
Nantucket, MA 02554

**Request for Amended Certificate of Appropriateness  
Nantucket Public Schools – Backus Lane Site Improvements Project**

Dear Chairman Pohl and the Nantucket Historic District Commission,

On behalf of the Nantucket Public Schools, SMRT Architects & Engineers is pleased to submit all required documentation for a requested **Amended Certificate of Appropriateness** for the Backus Lane Site & Athletic Improvement Project, located on Backus Lane, Nantucket, MA.

The Backus Lane Site Improvements project was originally approved by the Nantucket HDC on 3/6/18 (#69785). The Schools are requesting an amendment to the Certificate of Appropriateness to replace the proposed 50-space parking lot with five (5) tennis courts, and a small retaining wall. No other modifications are proposed from the original submission/approval.

We look forward to working with the Historic District Commission on this important project for the Town of Nantucket Public Schools. Please contact me directly with any questions or comments.

Sincerely,

A handwritten signature in black ink, appearing to read "J. McMeeking", with a long, sweeping horizontal flourish extending to the right.

John McMeeking, RLA  
Landscape Architect

SMRT Architects and Engineers | 200 Brickstone Square, Ste. 303 | Andover, MA 01810  
p 207.321.3869 | c 720.287.9162 | email: [jmcmeeking@smrtinc.com](mailto:jmcmeeking@smrtinc.com)

CC: R. Webb; D. O'Neil; File

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 67 PARCEL N<sup>o</sup>: 278, 400, 401, 412, 401  
Street & Number of Proposed Work: BACKUS LANE  
Owner of record: TOWN OF NANTUCKET  
Mailing Address: DIANE O'NEIL - NANTUCKET PUBLIC SCHOOLS  
10 SUFFSIDE ROAD, NANTUCKET, MA  
Contact Phone #: 508-228-7285 E-mail: oneill@npsk.org

**AGENT INFORMATION (if applicable)**

Name: RICHARD WEBB & JOHN McMEERING  
Mailing Address: SMART ARCHITECTS & ENGINEERS  
200 BRICKSTONE SQ. STE. 203, NANTUCKET, MA, 01910  
Contact Phone #: 860-930-9495 E-mail: rwebb@smartinc.com

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other TENNIS COURTS, PARKING, FENCING, RETAINING WALL  
Size of Structure or Addition: Length: N/A Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: N/A  1st floor  2nd floor  
Width: N/A Sq. Footage 2nd floor: \_\_\_\_\_ Size: N/A  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 0' South VARIES East 0' West 0'  
Height of ridge above final finish grade: North N/A South N/A East N/A West N/A

**Additional Remarks**

Historic Name: \_\_\_\_\_ REVISIONS\*: 1. East Elevation  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
Original Builder: \_\_\_\_\_ 3. West Elevation  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed N/A  Block  Block Parged  Brick (type) N/A  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other N/A

Roof Pitch: Main Mass 1/12 Secondary Mass 1/12 Dormer 1/12 Other N/A

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) N/A

Fence: Height: 1'-0" (w/ TENNIS COURTS)  
Type: CHAIN LINK  
Length: VARIES

Skylights (flat only): Manufacturer N/A Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer N/A Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) N/A

Leaders (material and size): N/A

Sidewall:  White cedar shingles N/A  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other N/A

Trim: A. Wood  Pine  Redwood  Cedar  Other N/A

B. Treatment  Paint  Natural to weather  Other N/A

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other N/A

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front N/A Rear N/A Side N/A

Garage Door(s): Type N/A Material N/A

Hardscape materials: Driveways ASPHALT Walkways CONCRETE Walls MASONRY BLOCK

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall N/A Clapboard (if applicable) N/A Roof N/A  
Trim N/A Sash N/A Doors N/A  
Deck N/A Foundation N/A Fence BLACK Shutters N/A

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 3/26/2000 Signature of owner of record [Signature] Signed under penalties of perjury



# HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road  
Nantucket, Massachusetts 0255

Telephone: 508.325.7587  
Email: [hdcsubmissions@nantucket](mailto:hdcsubmissions@nantucket)

## COMMISSIONERS

Ray Pohl  
Chairman

Diane Coombs  
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

## ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

## STAFF

Cathy Flynn  
Land Use Specialist  
[cflynn@nantucket-ma.gov](mailto:cflynn@nantucket-ma.gov)

## Waiver of the HDC 10 Day Hearing Requirement

I Diane O'Neil

AS AGENT FOR Nantucket Public Schools

STREET ADDRESS 10 Surfside Road, Nantucket, MA 02554

MAP/PARCEL 67 / 121,394, 395, 396, 397, 398, 400, 401, 402, 481

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON

05/26/2020

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

**SECTION 8 of the HDC enabling legislation: ... The Commission shall meet within ten (10) days of the receipt of an application for a certificate of appropriateness or permit for removal...**

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

Diane O'Neil  
Signature

5/26/2020  
Date



THIS CHECKLIST IS TO BE SUBMITTED WITH ALL HDC APPLICATIONS

Rev Jan 2020

REQUIRED WITH ALL APPLICATIONS:

- 1. Completed Application Form: Description of ALL work must be indicated on application form.
2. Property Owner's Signature: Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
3. Application Fee: See back of application for fee schedule or call the office.
4. Locus Map (4 copies): Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) https://www.nantucket-ma.gov/151/GIS-Maps
5. Site Plan (4 Copies): must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and placement of HVAC units, electrical boxes, fuel tanks, etc..
6. 8-1/2" x 11" Copies of ALL Application Materials: Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12), collated and stapled.
7. Photographs: Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
8. Electronic submission: All documents submitted to the HDC office must be emailed to hdcsubmissions@nantucket-ma.gov.

REQUIRED WHERE APPLICABLE:

- 1. Supplemental Information for Historic Buildings: It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application.
2. Exterior Elevations and Floor Plans (4 copies): Must be Y.-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. All changes from approved or existing design must be clouded on drawings. All material MUST BE LEGIBLE, collated and stapled. Reduced sets should maintain a font size of 12.
3. As-Built Plans (1copy): of existing elevations
4. Hardscaping Plans (4 copies): To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE, collated and stapled.
5. Topographic Map: Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).
6. Door and Window Schedule (4 copies): Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
7. I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.
8. Abutter Notification Materials - Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and Sconset Historic Core where the requirement for new construction is 100 square feet.
9. Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc.

(initial to indicate read and understand)

JM



**HISTORIC DISTRICT COMMISSION**

2 Fairgrounds Road

Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Fax: 508.228.7298

**NOTICE OF HDC APPLICATION**

**ABUTTERS AND INTERESTED PARTIES**

Please be informed that the Nantucket Historic District Commission will be considering the following proposal:

Address of Proposed Work: Backus Lane, Nantucket, MA 02554

Tax Map Number: 67 Parcel Number: 121, 394, 395, 396, 397  
398, 400, 401, 402, 481

Owner of Record: Nantucket Public Schools; The Town of Nantucket

Description of Proposal: \_\_\_\_\_

Nantucket Public Schools (NPS) is requesting an amendment to the previously approved Certificate of Appropriateness (#69785; Issued on 3/6/18) for the Backus Lane Site & Athletic Improvements Project. NPS is proposing to replace the 50-space parking lot and bus drop-off with five (5) tennis courts.

Anticipated HDC Submission Date: May 11th for May 19th Meeting if possible

You have been identified either as an abutter or interested party to the above property and are being notified in accordance with the Town Bylaw. Please note that the above submission date is an estimate only; the actual meeting date will be determined once the HDC staff has established that a complete application has been submitted. Please contact the HDC office to verify the date. Please note that notification is only required at the time of initial submission of an application, not for each time an application goes before the Commission. Abutters are responsible for monitoring the status of applications.

If you wish to comment on the above proposal, you are encouraged to submit your comments in writing to the HDC office. If you wish to testify at a Commission meeting please be aware that your testimony may be limited by the Commission in accordance with Commission policies, which are included on the back of this form. Due to the large sizes of most applications, the HDC office may not be able to send faxed copies of the plans. Off-island abutters wishing more detailed information may enlist an on-island representative to view the plans in the HDC office.

If you have any questions, please contact the HDC office at 508.325.7587.

## **HDC POLICIES FOR AN ABUTTER AND/OR INTERESTED PARTY TESTIMONY**

Abutters are encouraged to limit their responses to issues that fall within the statutory mandate of the HDC – mainly the appearance of a proposal from the publicly traveled way and its impact on the existing historic environmental context. Issues such as land uses, noise, and impacts on private property are outside of the HDC’s purview and cannot be addressed by the Commission.

In order to maintain a balance between the wishes of abutters and interested parties to express their concerns and the need of the HDC to conduct its business in a timely fashion, the following policies have been established:

Abutters and interested parties wishing to testify before the Commission shall be limited to three minutes of testimony. Only one representative from each abutting property or interested party shall be permitted to testify.

For those cases in which a substantial number of abutters and/or interested parties wish to testify (as determined by the Chair), the Chair shall structure the review of an application as follows:

1. Introduction of the application;
2. Response by applicant;
3. Public comment in favor of proposal;
4. Public comment in opposition of proposal;
5. Closing of public comment-no further comment unless requested by Commission members through the Chair;
6. Commission comments and discussion with applicant;
7. Commission action.

The above meeting policies may be waived at the discretion of the Chair.

CERTIFIED ABUTTERS LIST REQUEST FORM

RECEIVED  
BOARD OF ASSESSORS

FEB 18 2020

TOWN OF  
NANTUCKET, MA

TOWN OF NANTUCKET  
HISTORIC DISTRICT COMMISSION

LIST OF PARTIES IN INTEREST IN THE MATTER OF THE PETITION OF:

PROPERTY OWNER..... **Town of Nantucket, MA**  
MAILING ADDRESS..... **16 Broad Street, Nantucket, MA 02554**  
PROPERTY LOCATION..... **Backus Lane, Nantucket, MA 02554**  
ASSESSORS MAP/PARCEL..... **Map 67 / Parcel 121 (394, 395, 396, 397, 398, 400, 401, 402, 481)**  
SUBMITTED BY: **John McMeeking**  
**SMRT Architects & Engineers**

SEE ATTACHED PAGES

I certify that the foregoing is a list of persons who are owners of land directly adjacent to the subject property or directly opposite the subject property on any public or private street or way, all as they appear on the most recent applicable tax list.

02-19-2020  
DATE

*Elizabeth M. Hinggan*  
ASSESSOR'S OFFICE  
TOWN OF NANTUCKET



ABUTTER MAILING LABELS

55/ / 628/ /  
NANTUCKET TOWN OF  
16 BROAD ST  
NANTUCKET , MA 02554

67/ / 15/ /  
W B B O INC  
PO BOX 2549  
NANTUCKET , MA 02584

67/ / 15/1 /  
DOBBERT MICHAEL & LUNGER  
ELIZABE  
42 CHAUNCY ST UNIT 6-C  
BOSTON , MA 02111

67/ / 119/ /  
ISLAND MANAGEMENT INC  
BOX 2549  
NANTUCKET , MA 02584

67/ / 120/3 /  
CRH 46 SURFSIDE LLC  
221 MADAKET RD  
NANTUCKET , MA 02554

67/ / 120/4 /  
DIAS MANUEL F TRUSTEE  
DIAS MANUEL F REV TRUST  
50 SURFSIDE RD  
NANTUCKET , MA 02554

67/ / 220/ /  
DIAS MANUEL F & ELAINE E TRST  
50 SURFSIDE RD  
NANTUCKET , MA 02554

67/ / 387/ /  
NANTUCKET ISLANDS LAND BANK  
22 BROAD ST  
NANTUCKET , MA 02554

67/ / 399/ /  
W B B O INC  
44 SURFSIDE ROAD  
NANTUCKET , MA 02554

67/ / 404/ /  
REED STORMY L  
PO BOX 2788  
NANTUCKET , MA 02584

67/ / 405/ /  
DEHEART MICHAEL M & KATHY J TR  
26 PINE GROVE RD  
NANTUCKET , MA 02554

67/ / 406/ /  
CROOKS DEBRA A & GARRETT E  
2 ALEXANDIA DRIVE  
NANTUCKET , MA 02554

67/ / 407/ /  
ICALL LLC  
PO BOX 388  
NANTUCKET , MA 02554

67/ / 408/ /  
MEHLERT PETER & ANN MARIE  
4925 41ST STREET NW  
WASHINGTON , DC 20016

67/ / 409/ /  
SAYLE KATHLEEN & CHARLES F III T  
SAYLE 8 ALEXANDIA TRUST  
PO BOX 1062  
NANTUCKET , MA 02554

67/ / 559/ /  
DIAS CAMERON J  
48 SURFSIDE RD  
NANTUCKET , MA 02554

67/ / 560/ /  
DIAS CAMERON J  
48 SURFSIDE RD  
NANTUCKET , MA 02554

67/ / 561/ /  
DIAS MANUEL F TRUSTEE  
DIAS MANUEL F REV TRUST  
50 SURFSIDE RD  
NANTUCKET , MA 02554

67/ / 681/ /  
NANTUCKET ISLANDS LAND BANK  
22 BROAD ST  
NANTUCKET , MA 02554

67/ / 773/ /  
SARACAM LLC  
8 EAGLES WING WAY  
NANTUCKET , MA 02554

7017 1450 0001 6005 1697

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**NANTUCKET, MA 02554**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148 14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	05/11/2020
Total Postage and Fees	\$6.95	

Sent To  
 Street **SARACAM LLC**  
**EAGLES WING WAY**  
 City, State **NANTUCKET, MA 02554**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1574

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**NANTUCKET, MA 02554**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148 14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	05/11/2020
Total Postage and Fees	\$6.95	

Sent To  
 Street **NANTUCKET ISLANDS LAND BANK**  
**22 BROAD ST**  
 City, State **NANTUCKET, MA 02554**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1567

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**NANTUCKET, MA 02554**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148 14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	05/11/2020
Total Postage and Fees	\$6.95	

Sent To  
 Street **DIAS MANUEL F & ELAINE E TRST**  
**50 SURFSIDE RD**  
 City, State **NANTUCKET, MA 02554**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1550

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**NANTUCKET, MA 02554**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148 14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	05/11/2020
Total Postage and Fees	\$6.95	

Sent To  
 Street **DIAS MANUEL F TRUSTEE**  
**DIAS MANUEL F REV TRUST**  
**50 SURFSIDE RD**  
 City, State **NANTUCKET, MA 02554**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1543

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**NANTUCKET, MA 02554**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148 14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	05/11/2020
Total Postage and Fees	\$6.95	

Sent To  
 Street **CRH 46 SURFSIDE LLC**  
**221 MADAKET RD**  
 City, State **NANTUCKET, MA 02554**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1536

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**NANTUCKET, MA 02584**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148 14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	05/11/2020
Total Postage and Fees	\$6.95	

Sent To  
 Street **ISLAND MANAGEMENT INC**  
**BOX 2549**  
 City, State **NANTUCKET, MA 02584**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1611

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**NANTUCKET, MA 02554**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148
		14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total Postage and Fees</b>	<b>\$6.95</b>	<b>05/11/2020</b>

Sent To  
 CROOKS DEBRA A & GARRETT E  
 2 ALEXANDIA DRIVE  
 NANTUCKET, MA 02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1628

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**NANTUCKET, MA 02554**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148
		14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total Postage and Fees</b>	<b>\$6.95</b>	<b>05/11/2020</b>

Sent To  
 ICALL LLC  
 PO BOX 388  
 NANTUCKET, MA 02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1635

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**WASHINGTON, DC 20016**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148
		14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total Postage and Fees</b>	<b>\$6.95</b>	<b>05/11/2020</b>

Sent To  
 MEHLERT PETER & ANN MARIE  
 4925 41ST STREET NW  
 WASHINGTON, DC 20016

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1642

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**NANTUCKET, MA 02554**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148
		14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total Postage and Fees</b>	<b>\$6.95</b>	<b>05/11/2020</b>

Sent To  
 SAYLE KATHLEEN & CHARLES F III T  
 SAYLE 8 ALEXANDIA TRUST  
 PO BOX 1062  
 NANTUCKET, MA 02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1659

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**NANTUCKET, MA 02554**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148
		14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total Postage and Fees</b>	<b>\$6.95</b>	<b>05/11/2020</b>

Sent To  
 DIAS CAMERON J  
 48 SURFSIDE RD  
 NANTUCKET, MA 02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1666

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**NANTUCKET, MA 02554**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148
		14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
<b>Total Postage and Fees</b>	<b>\$6.95</b>	<b>05/11/2020</b>

Sent To  
 DIAS CAMERON J  
 48 SURFSIDE RD  
 NANTUCKET, MA 02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1529

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**BOSTON, MA 02111**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148
\$		14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
\$		
<b>Total Postage and Fees</b>	<b>\$6.95</b>	<b>05/11/2020</b>

Postmark Here

Sent To: **DOBBERT MICHAEL & LUNGER**

Street: **ELIZABE**

City: **42 CHAUNCY ST UNIT 6-C  
BOSTON, MA 02111**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1512

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**NANTUCKET, MA 02584**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148
\$		14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
\$		
<b>Total Postage and Fees</b>	<b>\$6.95</b>	<b>05/11/2020</b>

Postmark Here

Sent To: **W B B O INC**

Street: **PO BOX 2549**

City: **NANTUCKET, MA 02584**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1505

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**NANTUCKET, MA 02554**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148
\$		14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
\$		
<b>Total Postage and Fees</b>	<b>\$6.95</b>	<b>05/11/2020</b>

Postmark Here

Sent To: **NANTUCKET TOWN OF**

Street: **16 BROAD ST**

City: **NANTUCKET, MA 02554**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1581

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**NANTUCKET, MA 02554**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148
\$		14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
\$		
<b>Total Postage and Fees</b>	<b>\$6.95</b>	<b>05/11/2020</b>

Postmark Here

Sent To: **W B B O INC**

Street: **44 SURFSIDE ROAD**

City: **NANTUCKET, MA 02554**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1598

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**NANTUCKET, MA 02584**

**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148
\$		14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
\$		
<b>Total Postage and Fees</b>	<b>\$6.95</b>	<b>05/11/2020</b>

Postmark Here

Sent To: **REED STORMY L**

Street: **PO BOX 2788**

City: **NANTUCKET, MA 02584**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1604

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**OFFICIAL USE**

Certified Mail Fee	\$3.55	0148
\$		14
Extra Services & Fees (check box, add fee as appropriate)	\$2.85	
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
\$		
<b>Total Postage and Fees</b>	<b>\$6.95</b>	<b>05/11/2020</b>

Postmark Here

Sent To: **DEHEART MICHAEL M & KATHY J TR**

Street: **26 PINE GROVE RD**

City: **NANTUCKET, MA 02554**

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7017 1450 0001 6005 1673

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Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0148  
14  
Postmark  
Here

Postage	\$0.55
Total Postage and Fees	\$6.95

05/11/2020

Sent To: DIAS MANUEL F TRUSTEE  
 Street: DIAS MANUEL F REV TRUST  
 50 SURFSIDE RD  
 City: NANTUCKET, MA 02554

7017 1450 0001 6005 1680

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NANTUCKET, MA 02554

OFFICIAL USE

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee as appropriate)	\$2.85
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

0148  
14  
Postmark  
Here

Postage	\$0.55
Total Postage and Fees	\$6.95

05/11/2020

Sent To: NANTUCKET ISLANDS LAND BANK  
 Street: 22 BROAD ST  
 City: NANTUCKET, MA 02554

CERTIFICATE NO: 169785

DATE ISSUED: 3/6/18

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 67 PARCEL N°: 101, 294, 395, 296, 297, 298, 400, 401, 402, 481
Street & Number of Proposed Work: BACKUS LANE
Owner of record: NANTUCKET LAND BANK
Mailing Address: DIANE O'NEIL, NANTUCKET PUBLIC SCHOOLS, 10 SURFSIDE ROAD, NANTUCKET, MA 02554
Contact Phone # 508-228-7420 E-mail: dneil@nps.k12.ma.us

AGENT INFORMATION (if applicable)

Name: SMART ARCHITECTS & ENGINEERS; RICHARD WEBB
Mailing Address: 200 BRICKSTONE SQUARE, STE. 303, ANDOVER, MASSACHUSETTS 01810
Contact Phone #: 860-930-9495 E-mail: rwebb@smartinc.com

FOR OFFICE USE ONLY
Date application received: 2/29/18 Fee Paid: \$
Must be acted on by: 4/27/18
Extended to:
Approved: [Signature] Disapproved:
Chairman: [Signature]
Member: [Signature]
Member: [Signature]
Member: [Signature]
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

Color Change, Pool, Fence, Gate, Hardscaping, Move Building, Demolition, Revisions to previous Cert. No., Other: PLAYGROUND, GAME COURT, ATHLETIC FIELD, FENCING, PARKING, LIGHTING.
Size of Structure or Addition: Length: N/A Sq. Footage 1st floor: Decks/Patio: Size: N/A 1st floor 2nd floor
Width: N/A Sq. Footage 2nd floor: Size: N/A 1st floor 2nd floor
Sq. Footage 3rd floor:
Difference between existing grade and proposed finish grade: North 0' South VARIES East 0' West 0'

Additional Remarks

- REVISIONS: 1. East Elevation, 2. South Elevation, 3. West Elevation, 4. North Elevation

Historic Name:
Original Date:
Original Builder:
Is there an HDC survey form for this building attached? Yes N/A

\*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed N/A Block Block Parged Brick (type) N/A Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) N/A Other N/A
Roof Pitch: Main Mass /12 Secondary Mass /12 Dormer /12 Other N/A
Roofing material: Asphalt 3-Tab Architectural Wood (Type: Red Cedar, White Cedar, Shakes, etc.) N/A

Fence: Height: VARIES, Type: SPLIT RAIL & CHAIN LINK, Length: VARIES

Skylights (flat only): Manufacturer N/A Rough Opening Size Location
Manufacturer N/A Rough Opening Size Location

Gutters: Wood Aluminum Copper Leaders (material) N/A

Leaders (material and size): N/A

Sidewall: White cedar shingles N/A Clapboard (exposure: N/A inches) Front Side
Other N/A

Trim: A. Wood Pine Redwood Cedar Other N/A
B. Treatment Paint Natural to weather Other N/A
C. Dimensions: Fascia N/A Rake N/A Soffit (Overhang) N/A Corner boards N/A Frieze N/A

Windows: Double Hung Casement All Wood Other N/A
True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer N/A

Doors\* (type and material): TDL SDL Front N/A Rear N/A Side N/A
Garage Door(s): Type N/A Material N/A

Hardscape materials: Driveways ASPHALT Walkways CONCRETE, ASPHALT Walls CONCRETE BLOCK

\* Note: Complete door and window schedules are required.

COLORS

Sidewall N/A Clapboard (if applicable) N/A Roof N/A
Trim N/A Sash N/A Doors N/A
Deck N/A Foundation N/A Fence BLACK Shutters N/A

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 02-27-18 Signature of owner of record [Signature] Signed under penalties of perjury

# **Nantucket Public Schools Backus Lane Site Improvements Project**

**Backus Lane, Nantucket, MA 02554**

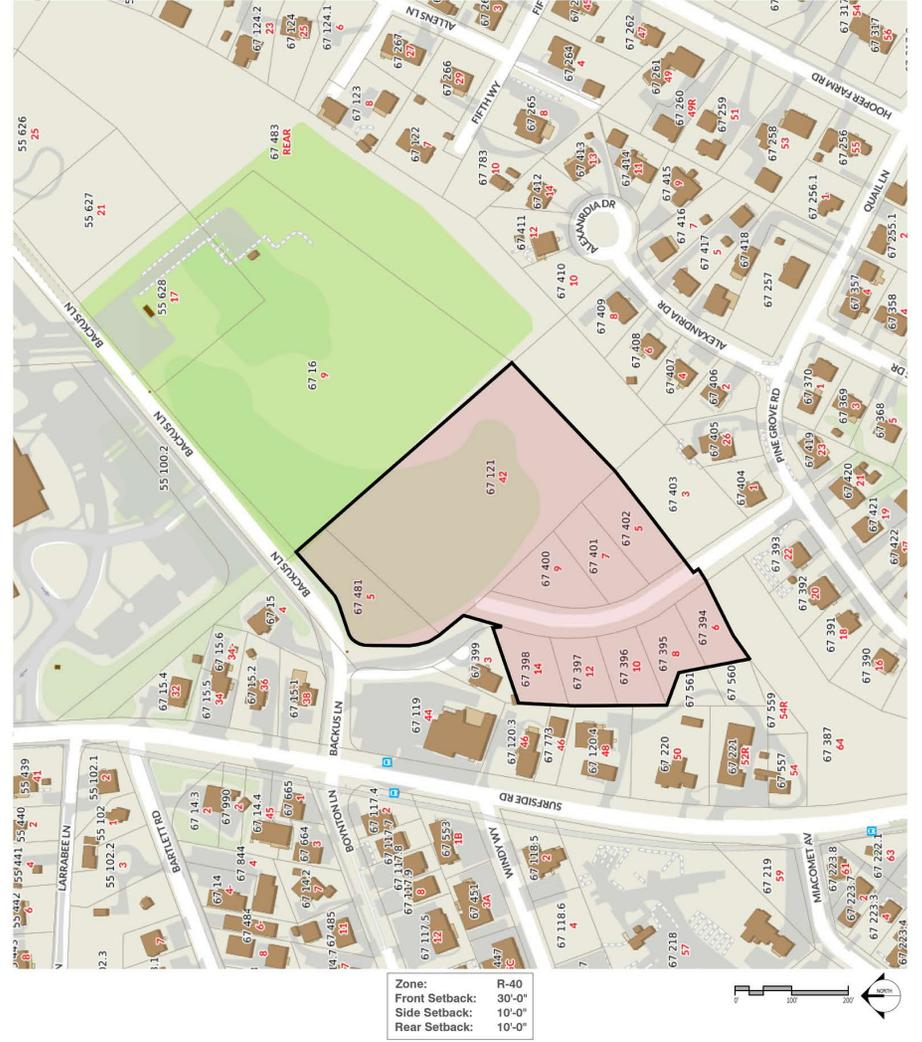


**Issued for Certificate of Appropriateness  
Nantucket Historic District Commission**

**May, 2020**



Aerial Context



Locus Map

# Site Locus Plan

Nantucket Public Schools  
 Backus Lane Site Improvements Project  
 May, 2020





View looking southeast towards playground



View looking south towards play structure



View looking south down Amelia Lane (site entrance)



View looking east down Backus Lane



View looking north towards Backus Lane



View looking southeast into site



View looking northeast into site



View looking south into site

## Site Photograph Plan

Nantucket Public Schools  
Backus Lane Site Improvements Project

May, 2020



SMRT PROJECT NO. 20XXXX



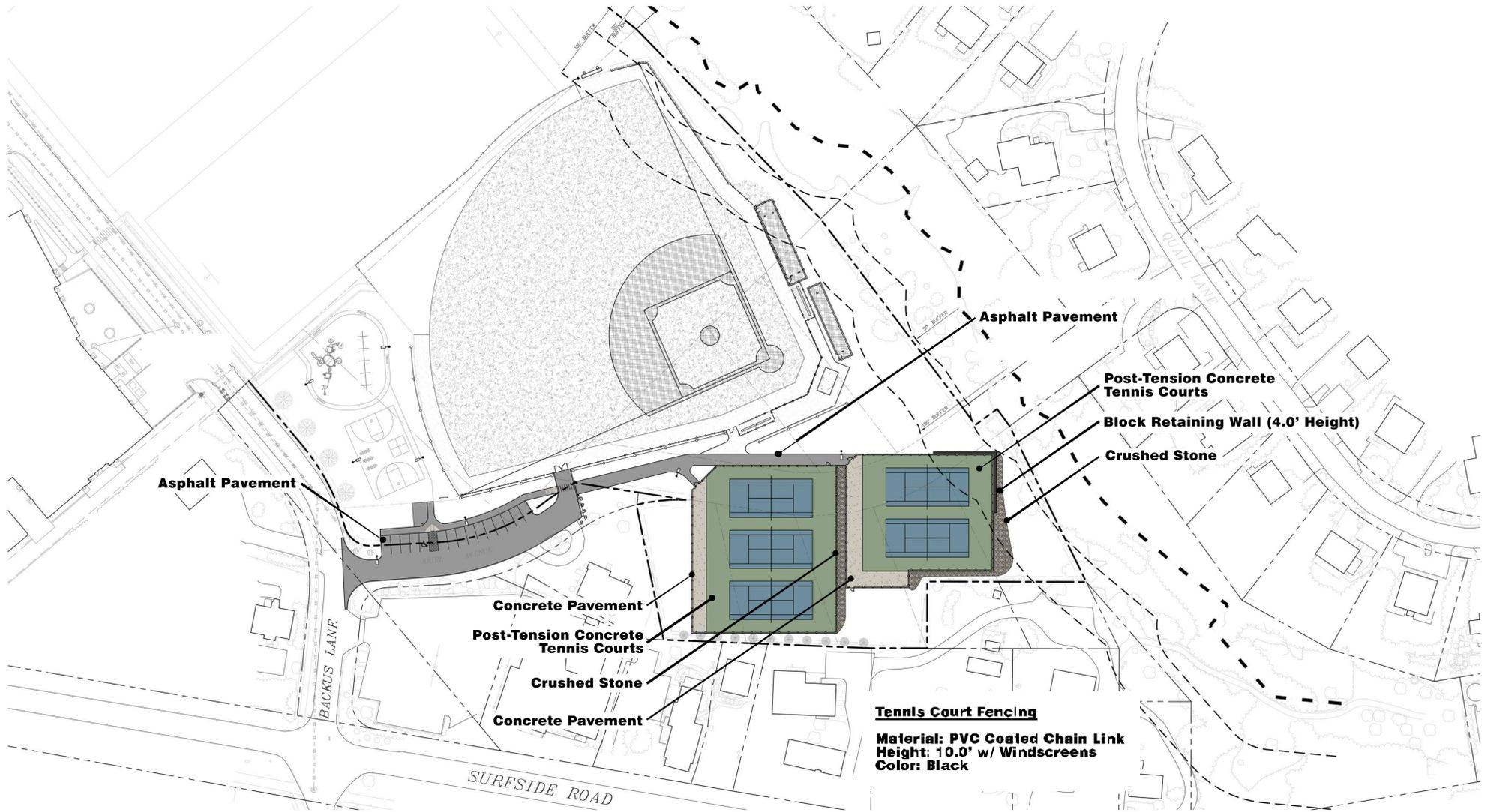


Proposed Modification Area

# HDC Approved Site Plan

Nantucket Public Schools  
Backus Lane Site Improvements Project  
March, 2018



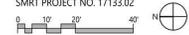


# Site Hardscape Plan

Nantucket Public Schools  
 Backus Lane Site Improvements Project  
 May, 2020



SMRT PROJECT NO. 17133.02





Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

FAX MAP N°: 42.4.3 PARCEL N°. 61
Street & Number of Proposed Work: 6 Gullstrand Lane
Owner of record: Six Gull Island R.T.
Mailing Address: 330 E 43rd Street #605 New York, NY 10017
Contact Phone #: 8-9161 E-mail:

AGENT INFORMATION (if applicable)

Name: Thaneville Design LLC
Mailing Address: 48 Dukes Rd Nantucket, Ma
Contact Phone #: 8-9161 E-mail:

FOR OFFICE USE ONLY #1240
Date application received: 12/20/16 Fee Paid: \$ 169.00
Must be acted on by: 3/16/17
Extended to: 6/15/17
Approved: [Signature] Disapproved:
Chairman: [Signature]
Member: [Signature]
Member: [Signature]
Member: [Signature]
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- [ ] New Dwelling [ ] Addition [ ] Garage [ ] Driveway/Apron [ ] Commercial [x] Historical Renovation [ ] Deck/Patio [ ] Steps [ ] Shed
[ ] Color Change [ ] Fence [ ] Gate [ ] Landscaping [ ] Move Building [ ] Demolition [ ] Revisions to previous Cert. No.
[ ] Pool (Zoning District) [ ] Roof [ ] Other

Size of Structure or Addition Length: Sq. Footage 1st floor: 771 (ex 592) Decks/Patio: Size: 28x20 [x] 1st floor [ ] 2nd floor
Width: Sq. Footage 2nd floor: 70 (ex 372) Size: 23x20 [x] 1st floor [ ] 2nd floor
Sq. Footage 3rd floor: (ex 511)

Difference between existing grade and proposed finish grade: North South East West
Height of ridge above final finish grade: North South East West

Additional Remarks
REVISIONS\* 1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation
\*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed: 6x12 [ ] Block [ ] Block Parged [ ] Brick (type) [ ] Poured Concrete [ ] Piers
Masonry Chimney: [ ] Block Parged [x] Brick (type) [ ] Other
Roof Pitch: Main Mass 8/12 Secondary Mass 8/12 Dormer /12 Other

Roofing material: [ ] Asphalt [ ] 3-Tab [ ] Architectural [x] Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Red cedar
Fence: Height:
Type:
Length:

Skylights (flat only): Manufacturer Rough Opening Size Location
Manufacturer Rough Opening Size Location
Gutters: [ ] Wood [ ] Aluminum [ ] Copper [ ] Leaders (material)

Leaders (material and size):
Sidewall: [x] White cedar shingles [ ] Clapboard (exposure: inches) Front [ ] Side [ ]
[ ] Other

Trim: A. Wood [ ] Pine [ ] Redwood [x] Cedar [ ] Other
B. Treatment [x] Paint [ ] Natural to weather [ ] Other
C. Dimensions: Fascia T.M.E. Rake T.M.E. Soffit (Overhang) T.M.E. Corner boards T.M.E. Frieze

Windows\*: [x] Double Hung [ ] Casement [ ] All Wood [ ] Other
[x] True Divided Lights (muntins), single pane [ ] SDL's (Simulated Divided Lights) Manufacturer

Doors\* (type and material): [ ] TDL [ ] SDL Front Rear Side
Garage Door(s): Type Material
Hardscape materials: Driveways Walkways Walls

\* Note: Complete door and window schedules are required.

COLORS

Sidewall Nat Clapboard (if applicable) Roof Nat
Trim White Sash White Doors BLUE T.M.E.
Deck Nat Foundation Nat Fence Shutters

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
Date 12/20/16 Signature of owner of record [Signature] Signed under penalties of perjury























Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 42.4.3 PARCEL N°. 61
Street & Number of Proposed Work: 6 Gull Island Lane
Owner of record: 6 Gull Island Realty Trust
Mailing Address: 330 E. 43rd St # 605 New York, NY 10017
Contact Phone #: E-mail:

AGENT INFORMATION (if applicable)

Name: Sarah Noelle McLane
Mailing Address: 67 1/2 Vestal Street Nantucket, MA 02554
Contact Phone #: 917-612-4235 E-mail: snmclane@gmail.com

FOR OFFICE USE ONLY
Date application received: 8/19/19 Fee Paid: \$50 -
Must be acted on by: 10/19/19
Extended to:
Approved: Disapproved:
Chairman: Dawn Combs
Member:
Member:
Member:
Notes - Comments - Restrictions - Conditions: Red brick used

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

Checkboxes for work types: New Dwelling, Addition, Garage, Driveway/Apron, Commercial, Historical Renovation, Deck/Patio, Steps, Shed, Color Change, Fence, Gate, Hardscaping, Move Building, Demolition, Revisions to previous Cert. No., Pool, Roof, Other.
Size of Structure or Addition: Length: 31 ft, Width: 15 ft, Sq. Footage 1st floor: 31 ft, 2nd floor: 15 ft, 3rd floor:
Difference between existing grade and proposed finish grade: North, South, East, West
Height of ridge above final finish grade: North, South, East, West

Additional Remarks

Historic Name:

Original Date: @ 1780's

Original Builder:

Is there an HDC survey form for this building attached? Yes N/A

REVISIONS\*

- 1. East Elevation 1940's. West removed, replaced w/ 15" (3RS) Bay window w/ windows to match existing above.
2. South Elevation - rear addition 1940s match existing window to be reused
3. West Elevation - Addition in kitchen - replace windows as shown on plan. 1800 - windows are 1940's
4. North Elevation replace 2 windows w 3 windows to match 1940's existing in room.
\*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed Existing, Block, Block Parged, Brick (type) Repair existing foundation, Poured Concrete, Piers
Masonry Chimney: Block Parged, Brick (type) Repair existing, Other
Roof Pitch: Main Mass /12, Secondary Mass /12, Dormer /12, Other
Roofing material: Asphalt, 3-Tab, Architectural, Wood (Type: Red Cedar, White Cedar, Shakes, etc.)
Fence: Height, Type, Length
Skylights (flat only): Manufacturer, Rough Opening, Size, Location
Gutters: Wood, Aluminum, Copper, Leaders (material) Wood, painted boxed
Leaders (material and size): Copper returns into wood boxes
Sidewall: White cedar shingles, Clapboard (exposure: inches), Front, Side, Other
Trim: A. Wood Pine, Redwood, Cedar, Other; B. Treatment Paint, Natural to weather, Other; C. Dimensions: Fascia T.M.E, Rake T.M.E, Soffit (Overhang) T.M.E, Corner boards T.M.E, Frieze
Windows: Double Hung, Casement, All Wood, Other
Doors\* (type and material): TDL, SDL, Front, Rear 15 lite glass, Side 9 lite wood, painted
Garage Door(s): Type, Material
Hardscape materials: Driveways Existing, Walkways, Walls

\* Note: Complete door and window schedules are required.

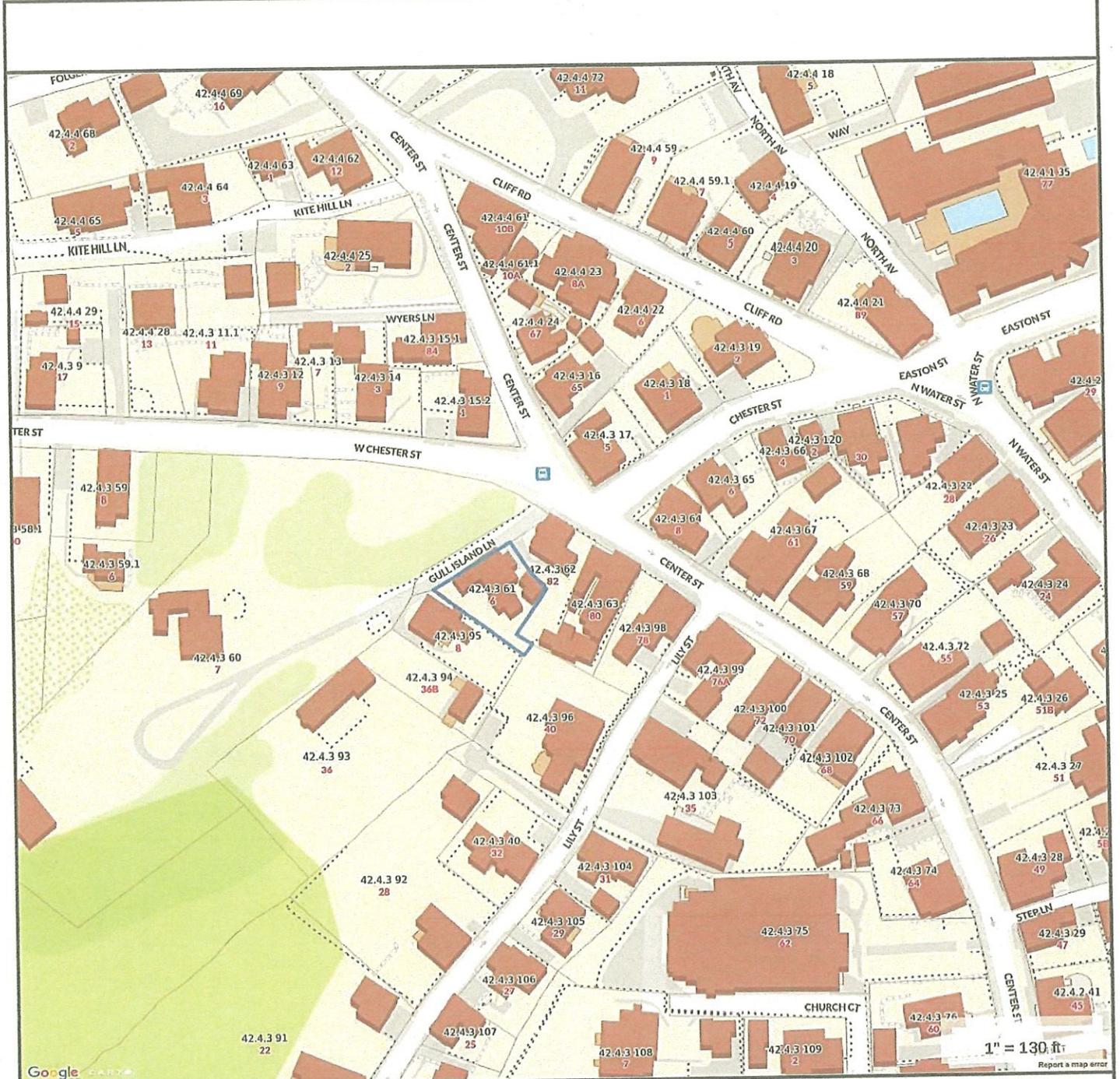
COLORS

Sidewall Natural, Clapboard (if applicable), Roof Black, Trim White, Sash white, Doors White, Deck N/A, Foundation Red Brick - used re-use existing, Fence, Shutters

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date: August 14 2019 Signature of owner of record: Sarah Noelle McLane Signed under penalties of perjury



Property Information

Property ID 42.4.3.61  
 Location 6 GULL ISLAND LN  
 Owner DUNPHY MAUREEN J TR ETAL



MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

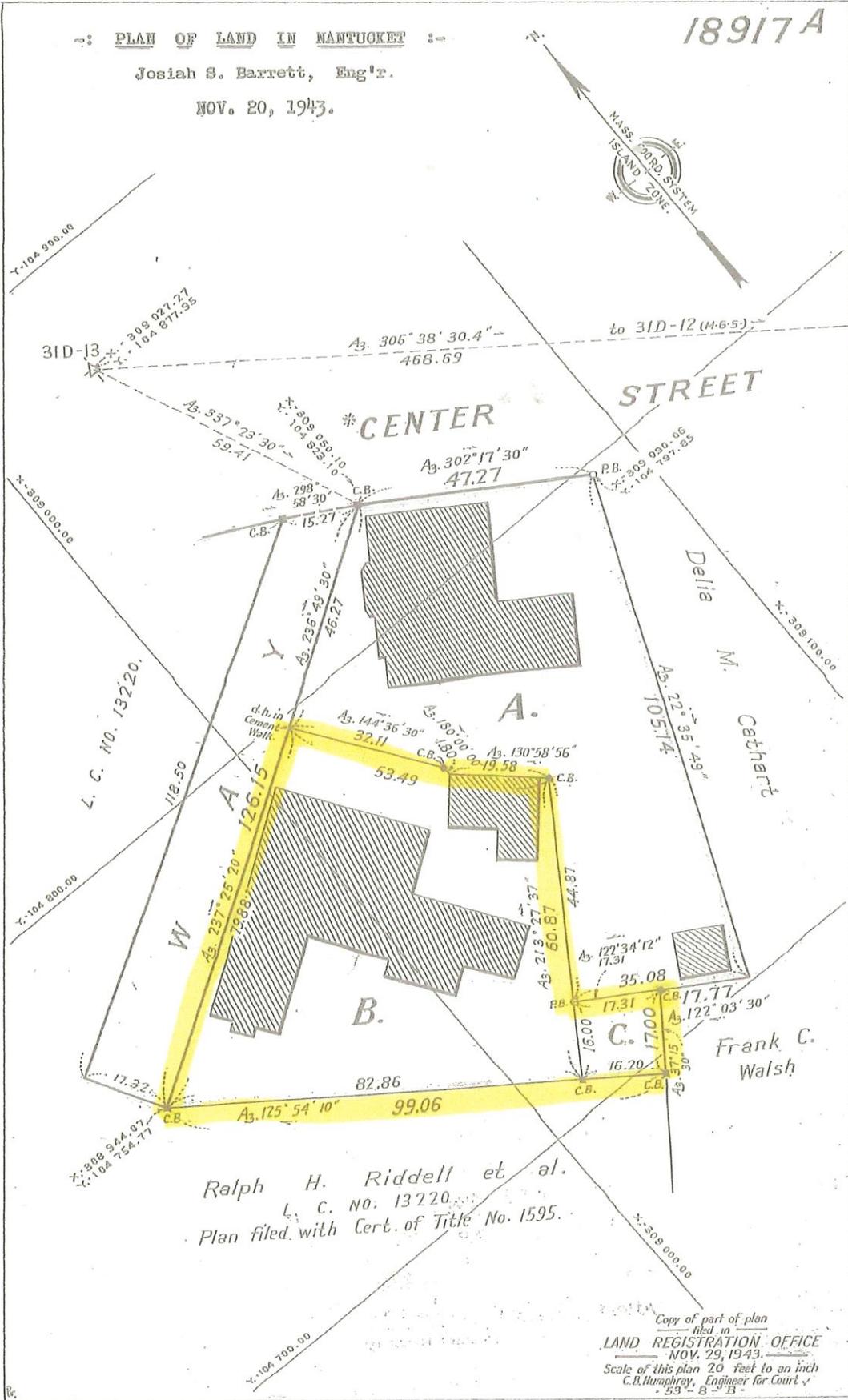
Parcels updated June 2018  
 Properties updated 07/09/2018

PLAN OF LAND IN MANTUCKET :-

Josiah S. Barrett, Eng'r.

NOV. 20, 1943.

18917 A



L. C. NO. 13220.

Ralph H. Riddell et al.  
L. C. No: 13220.  
Plan filed with Cert. of Title No. 1595.

Copy of part of plan  
filed in  
**LAND REGISTRATION OFFICE**  
NOV. 29, 1943.  
Scale of this plan 20 feet to an inch  
C.B. Humphrey, Engineer for Court

This plan, filed with Cert. of Title No. 1595

CURRENT ZONING CLASSIFICATION:  
Residential Old Historic (R-OH)

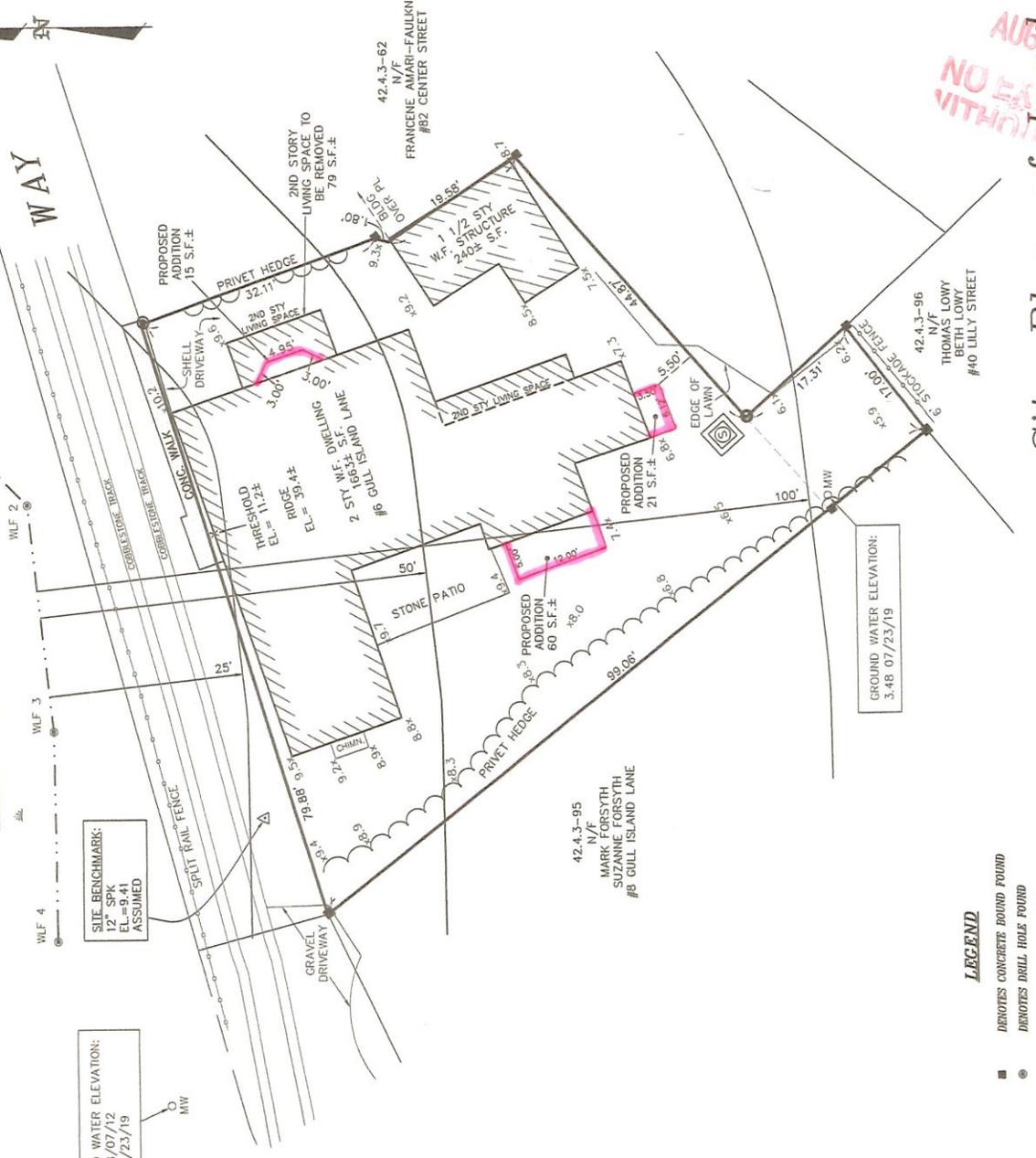
MINIMUM LOT SIZE: 5000 S.F.  
MINIMUM FRONT YARD SETBACK: 10 FT.  
SIDE/REAR SETBACKS: 5 FT.  
GROUND COVER %: 40%

EXISTING: 48174 S.F.  
SEE PLAN  
PROPOSED: 48174 S.F.  
SEE PLAN  
PROPOSED: 48174 S.F.  
SEE PLAN  
PROPOSED: 39.9%

WETLAND DELINEATION BY  
LEC ENVIRONMENTAL  
MEASURED 07/23/19

GROUND WATER ELEVATION:  
4.48 08/07/12  
5.11 07/23/19

SITE BENCHMARK:  
12" SPK  
EL.=9.41  
ASSUMED



- LEGEND**
- DENOTES CONCRETE BOUND FOUND
  - DENOTES DRILL HOLE FOUND
  - DENOTES IRON PIPE FOUND
  - ± DENOTES EXIST. GRADE SPOT ELEVATION
  - WLF 1 ● DENOTES EXIST. WETLAND FLAG FOUND
  - WLF 1 ● DENOTES EXIST. WETLAND DELINEATION
  - MWO ● DENOTES GROUNDWATER MONITORING WELL

**OWNER INFORMATION**  
ANJONIC REAL ESTATE 13 COMPANY LLP  
SIX GULL ISLAND LANE REALTY TRUST  
Cert. 25755  
L.C.C. 18917-A, PARCELS B & C  
ASSESSOR'S MAP 42.4.3, PARCEL 61  
#6 GULL ISLAND LANE

APPROVED

AUG 20 2019

NO EXEMPTION WITHOUT

# Site Plan of Land in Nantucket, MA

Prepared for  
**SARAH MCLANE**  
ASSESSOR'S MAP 42.4.3, PARCEL 61  
#6 GULL ISLAND LANE

Scale: 1" = 10'  
August 7, 2019  
**BLACKWELL & ASSOCIATES, Inc.**  
Professional Land Surveyors  
20 TEASDALE CIRCLE  
NANTUCKET, MASS. 02554  
(508) 228-9026















Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N<sup>o</sup>: 42.4.3 PARCEL N<sup>o</sup>: 61  
 Street & Number of Proposed Work: 6 Gull Island Lane  
 Owner of record: Hannah Gardner House LLC  
 Mailing Address: 11887 SE Shell Ave.  
Hobe Sound, FL 33455  
 Contact Phone # 917-612-4235 E-mail: sunelance@gmail.com

#### AGENT INFORMATION (if applicable)

Name: Sarah Axelle McLane  
 Mailing Address: 67 1/2 Vestal Street  
Nantucket, MA 02554  
 Contact Phone # 917-612-4235 E-mail: sunelance@gmail.com

FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Must be acted on by: \_\_\_\_\_

Extended to: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. 72922
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_ 67657

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: \_\_\_\_\_ Sq. Footage 2nd floor: REMOVE Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Ft. to 837 from previous App. Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North No change South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

Height of ridge above final finish grade: North Existing South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

Additional Remarks \_\_\_\_\_

Historic Name: \_\_\_\_\_

Original Date: 1780

Original Builder: \_\_\_\_\_

Is there an HDC survey form for this building attached?  Yes  N/A

Previously Provided

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed Existing  Block  Block Parged  Brick (type) Revised Existing  Poured Concrete Below grade  Piers

Masonry Chimney:  Block Parged  Brick (type) Revised Existing  Other \_\_\_\_\_

Roof Pitch: Main Mass 1/12 Secondary Mass 1/12 Dormer 1/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) painted white

Leaders (material and size): Copper return to wood box

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia T.M.E. Rake T.M.E. Soffit (Overhang) T.M.E. Corner boards T.M.E. Frieze \_\_\_\_\_

Window Casing T.M.E. Door Frame T.M.E. Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  JDL  SDL Front Existing Rear \_\_\_\_\_ Side 15 lite / 20 lite Double

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall Natural Clapboard (if applicable) N/A Roof Black

Trim White Sash White Decks White

Deck N/A Foundation Existing Red Brick Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date May 19, 2020 Signature of owner of record Sarah Axelle McLane Signed under penalties of perjury

# Historic District Commission

## OLD BUSINESS CHECKLIST



### Planning and Land Use Services

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	<u>Sign in submission at Front Desk</u>
✓	<u>HDC case number:</u> (ex HDC2020-xx-xxxx), if applicable #72922 05-0895
	<u>Copy of Minutes</u> (application item circled) Unable to find on HDC site - Meeting was 8/20/2020
✓	<u>Reduced (8 1/2 x 11) copy of application</u>
✓	<u>Locus Map:</u> 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
✓	Four (4) Large sets of plans <u>at 3/16" or 1/4" scale</u> (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
✓	<u>One set reduced plans:</u> 8 1/2 x 11
	<u>Electronic Submission:</u> Each of the foregoing documents (including this checklist) <b>MUST BE</b> scanned to a single PDF file and emailed to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .
✓	<u>Signed Affidavit:</u> see reverse side

Historic District Commission  
**OLD BUSINESS CHECKLIST**

\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.

**Affidavit Certifying Completeness of Old Business submission**

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for an Old Business submission have been met.

Signature:  Date: May 19, 2020



# HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road  
Nantucket, Massachusetts 02554

Telephone: 508.325.7587  
Email: [hdcsubmissions@nantucket-ma.gov](mailto:hdcsubmissions@nantucket-ma.gov)

## COMMISSIONERS

Ray Pohl  
Chairman

Diane Coombs  
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

## ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

## STAFF

Cathy Flynn  
Land Use Specialist  
[cflynn@nantucket-ma.gov](mailto:cflynn@nantucket-ma.gov)

## Waiver of the HDC 10 Day Hearing Requirement

I Sarah Noelle McLane - Owner  
AS AGENT FOR Hannah Gardner House LLC  
STREET ADDRESS 6 Gull Island Lane  
MAP/PARCEL 42.4.3 / 61

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON  
May 19, 2020

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE  
COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

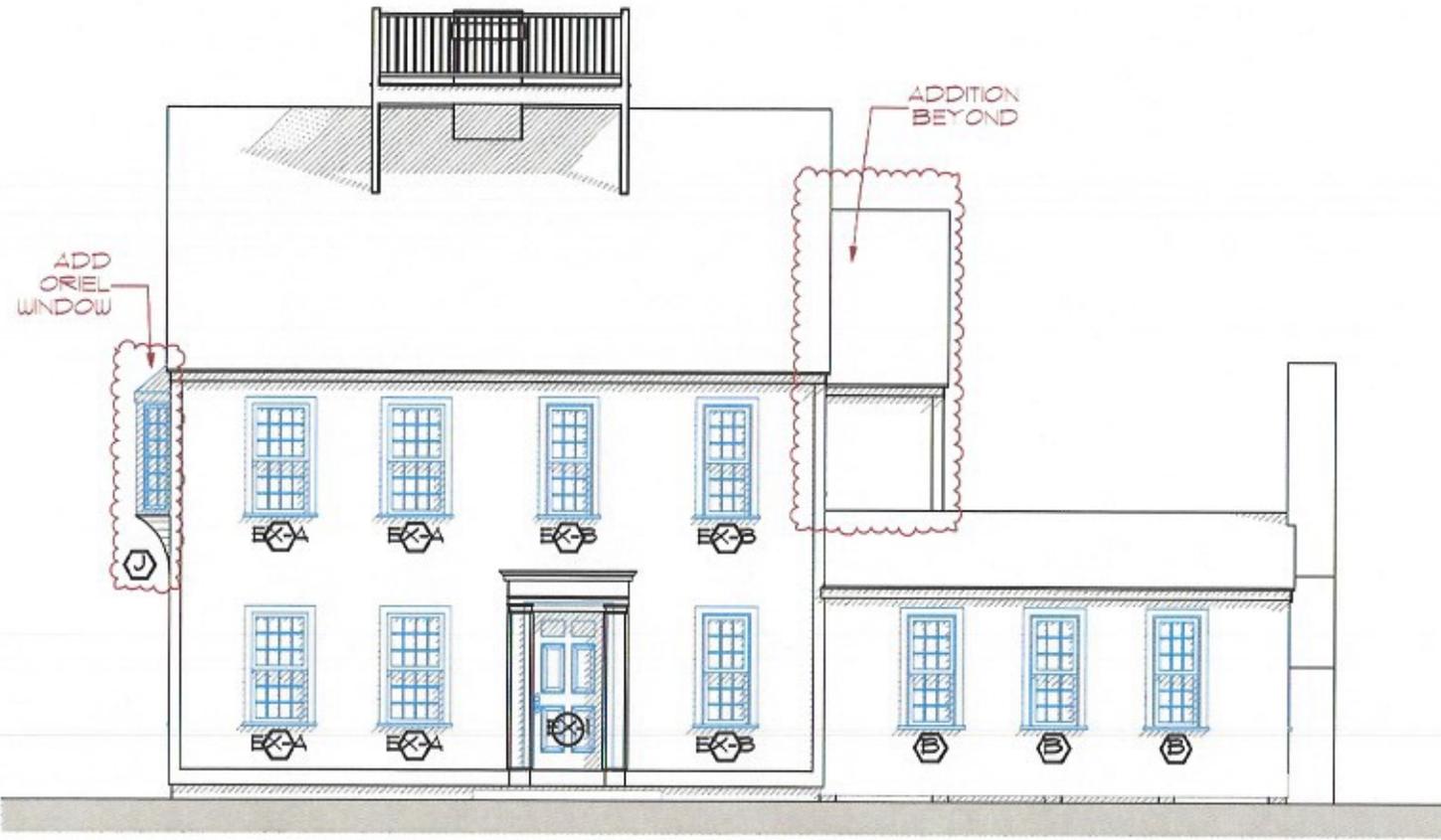
**SECTION 8 of the HDC enabling legislation: ... The Commission shall meet  
within ten (10) days of the receipt of an application for a certificate of  
appropriateness or permit for removal...**

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

Sarah Noelle McLane May 19, 2020  
Signature Date











ID #

**A-2.1e**

Residence at

**6 Gull Island Lane**

**Nantucket, MA 02554**

MAP NO: 42.4J ZONING INFO: R0H

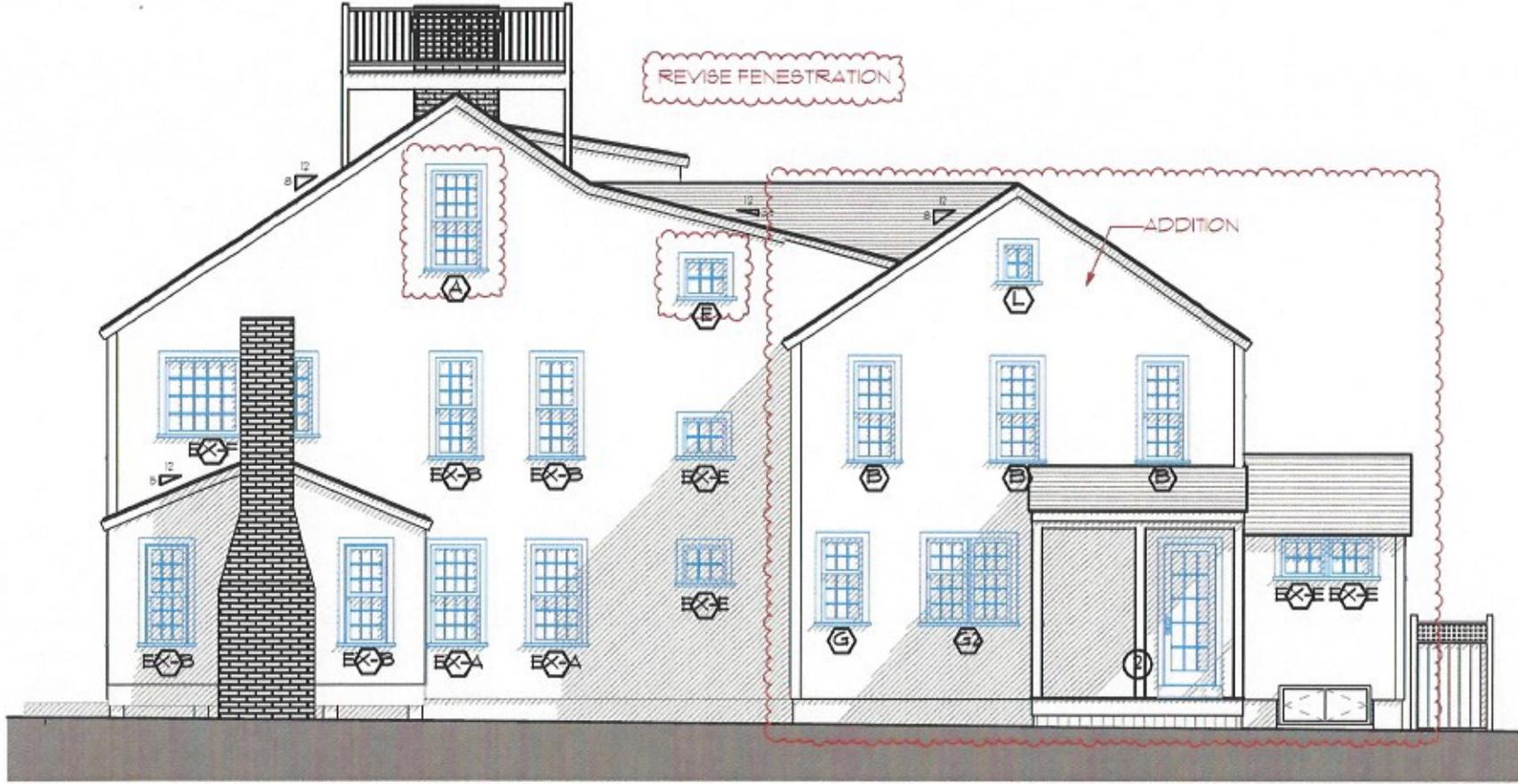
PARCEL NO: 01 PROJECT NO: 01

REVISED:

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No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.

**Existing North Elevation**

**BOTTICELLI & POHL**



ID #

A-2.2

Residence at

6 Gull Island Lane

Nantucket, MA 02554

MAP NO: 42.4.3 ZONING INFO: ROH

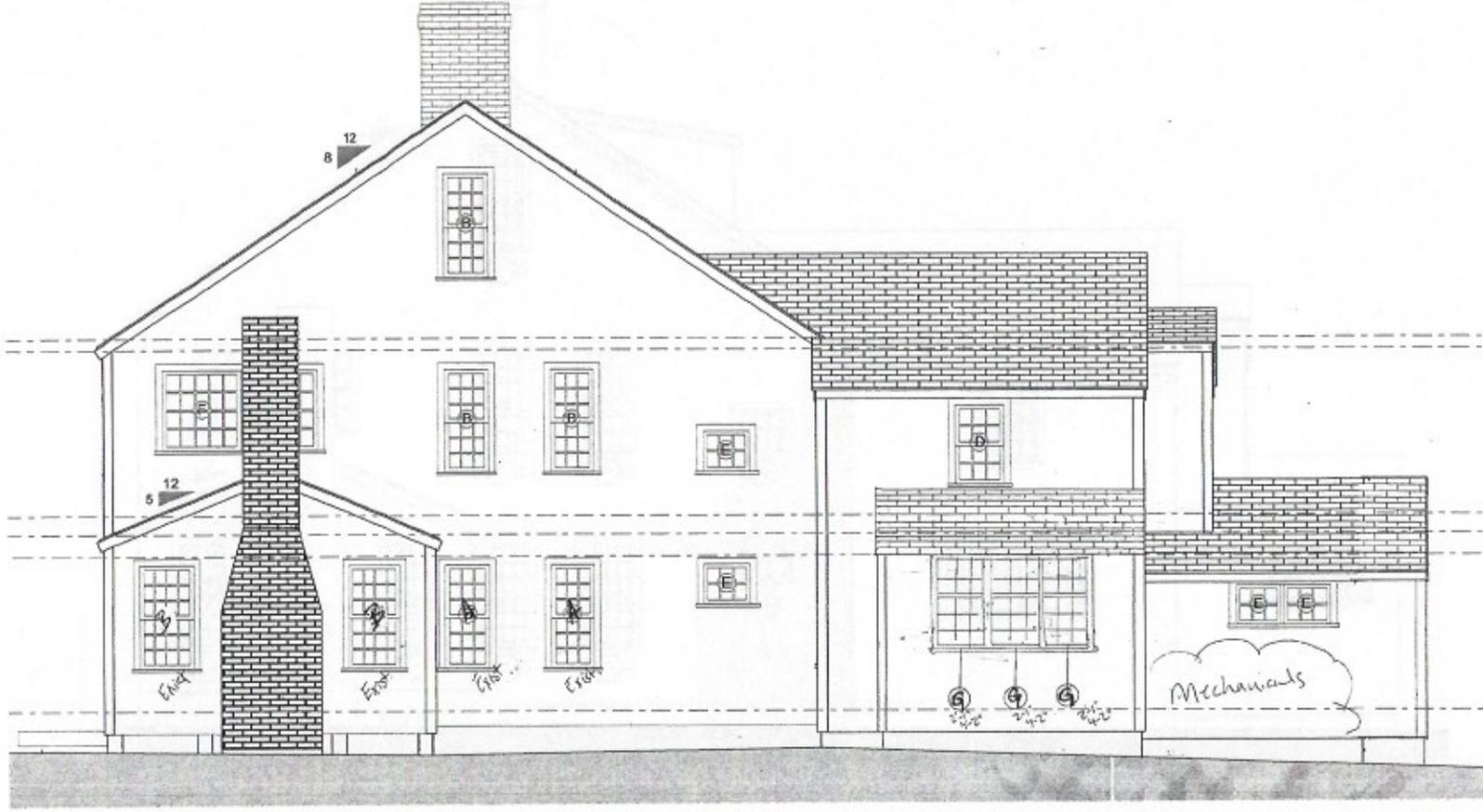
PARCEL NO: 61 PROJECT NO: 41 REVISED:

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West Elevation

BOTTICELLI & POHL

11 OLD SOUTH ROAD, NANTUCKET, MA 02554 | 31 STATE STREET, BOSTON, MA 02109 | BOTTICELLANDPOHL.COM  
P 508 228 5455 P 617 492 4543



Residence at

6 Gull Island Lane  
Nantucket, MA 02554

MAP NO. 02.43 ZONING INFO. R02H  
PARCEL NO. 01 PROJECT NO. 41 REVISED:

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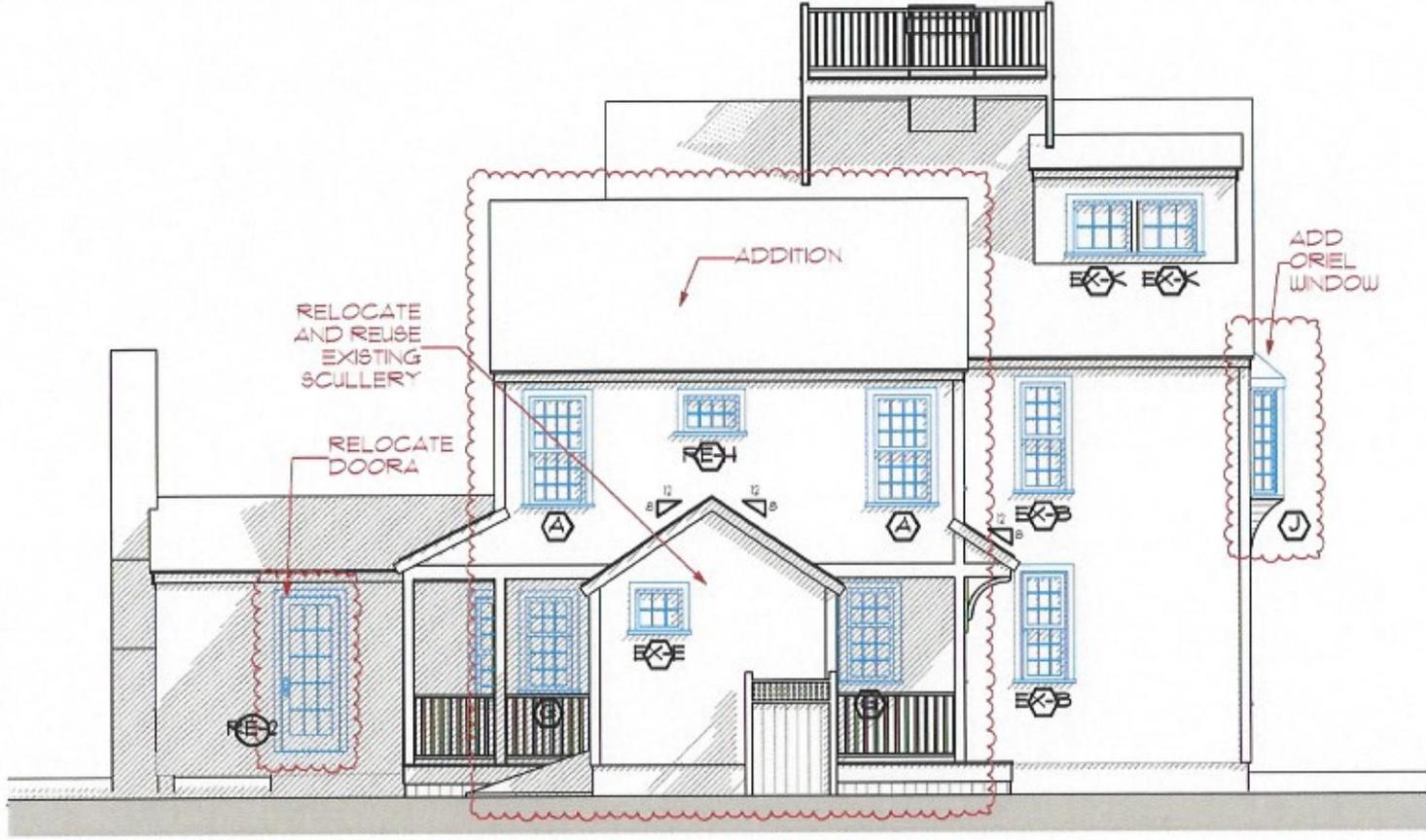
Previously Approved West  
Elevation

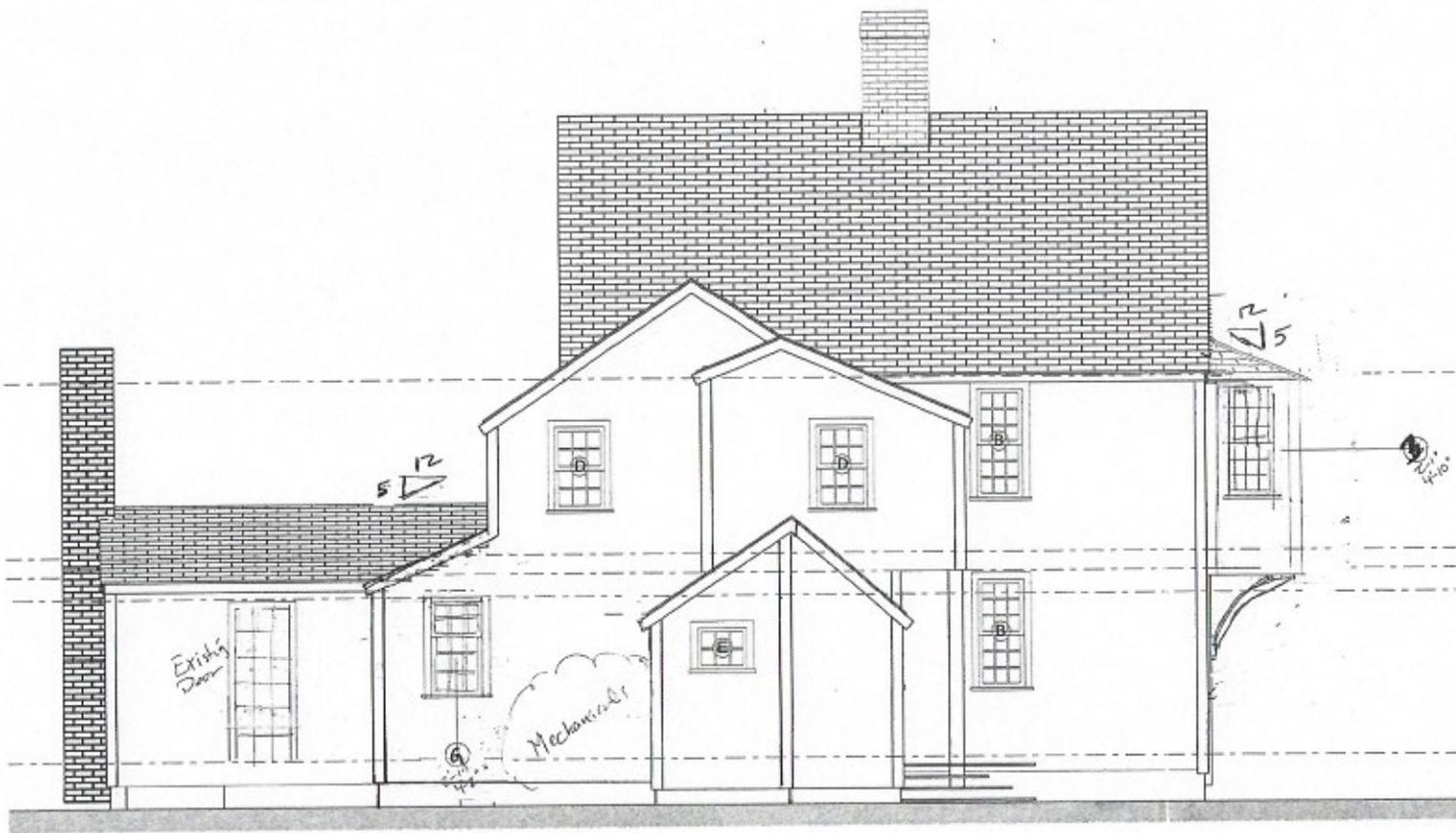
BOTTICELLI & POHL

11 OLD SOUTH ROAD, NANTUCKET, MA 02554 | 315 STATE STREET, BOSTON, MA 02099 | BOTTICELLIANDPOHL.COM  
P 508.228.5455 | F 617.462.4543

ID #

A -2.2p





Residence at

6 Gull Island Lane  
Nantucket, MA 02554

MAP NO: 42.43 ZONING INFO: ROH  
PARCEL NO: 61 PROJECT NO: 41

REVISIONS:  
All drawings of design submitted for the sole property of Botticelli & Pohl, P.C.  
No publication or use of these drawings is permitted without the approval of Botticelli & Pohl, P.C.

Previously Approved South  
Elevation

BOTTICELLI & POHL

110 OLD SOUTH ROAD, NANTUCKET, MA 02554 | 31 STATE STREET, BOSTON, MA 02109 | BOTTICELLIANDPOHL.COM  
P: 508.228.1405 | F: 617.482.4542

ID #

A-2.3p



Residence at

6 Gull Island Lane  
Nantucket, MA 02554

MAP NO: 42.43 ZONING INFO: ROH  
PARCEL NO: 61 PROJECT NO: 41 REVISED:

All drawings and design documents are the sole property of Botticelli & Pohl, P.C.  
No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.

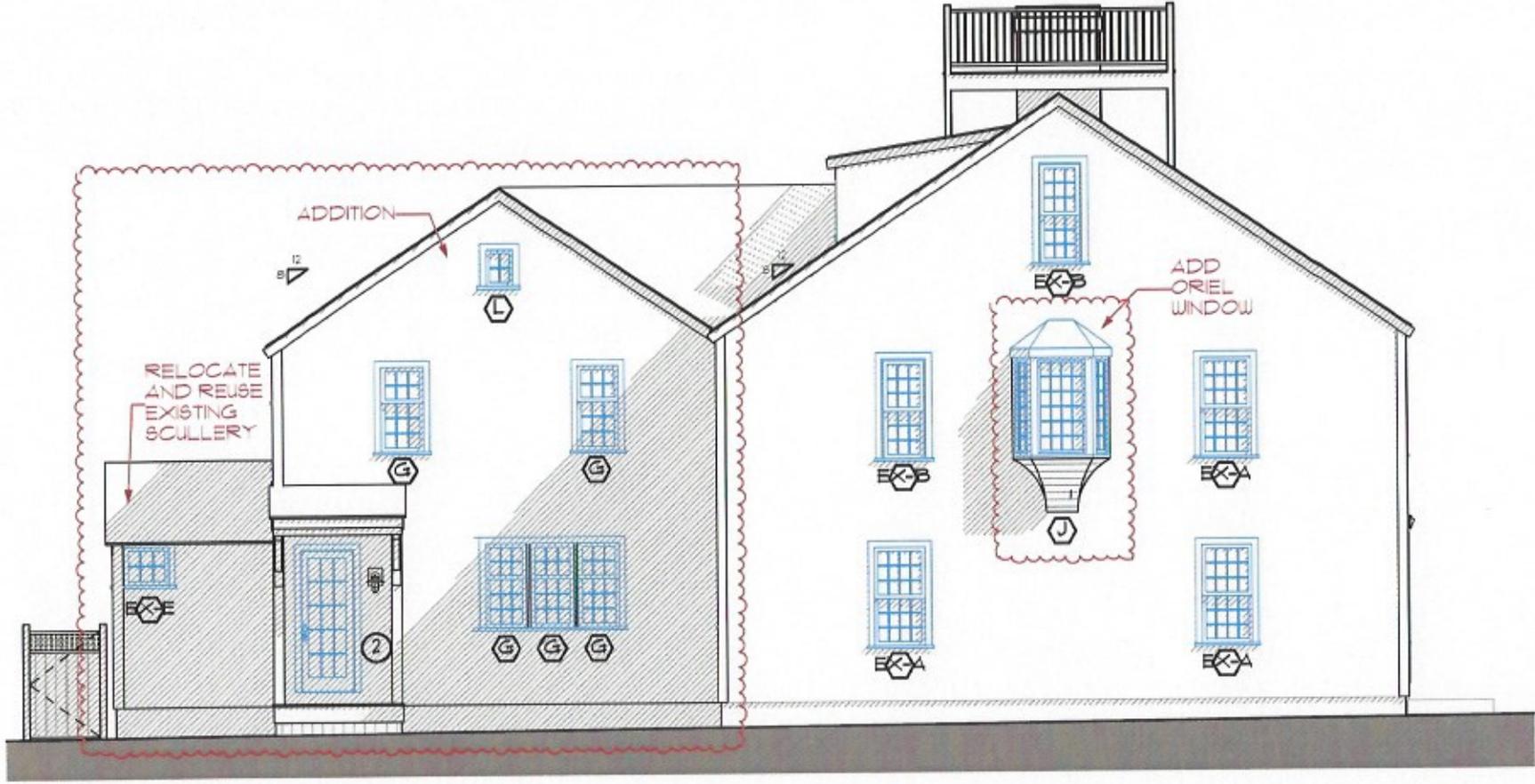
Existing South Elevation

BOTTICELLI & POHL

11 OLD SOUTH ROAD, NANTUCKET, MA 02554 | 31 STATE STREET, BOSTON, MA 02109 | BOTTICELLPONDPOHL.COM  
P 508 228 1455 P 617 482 0543

ID #:

A-2.3e



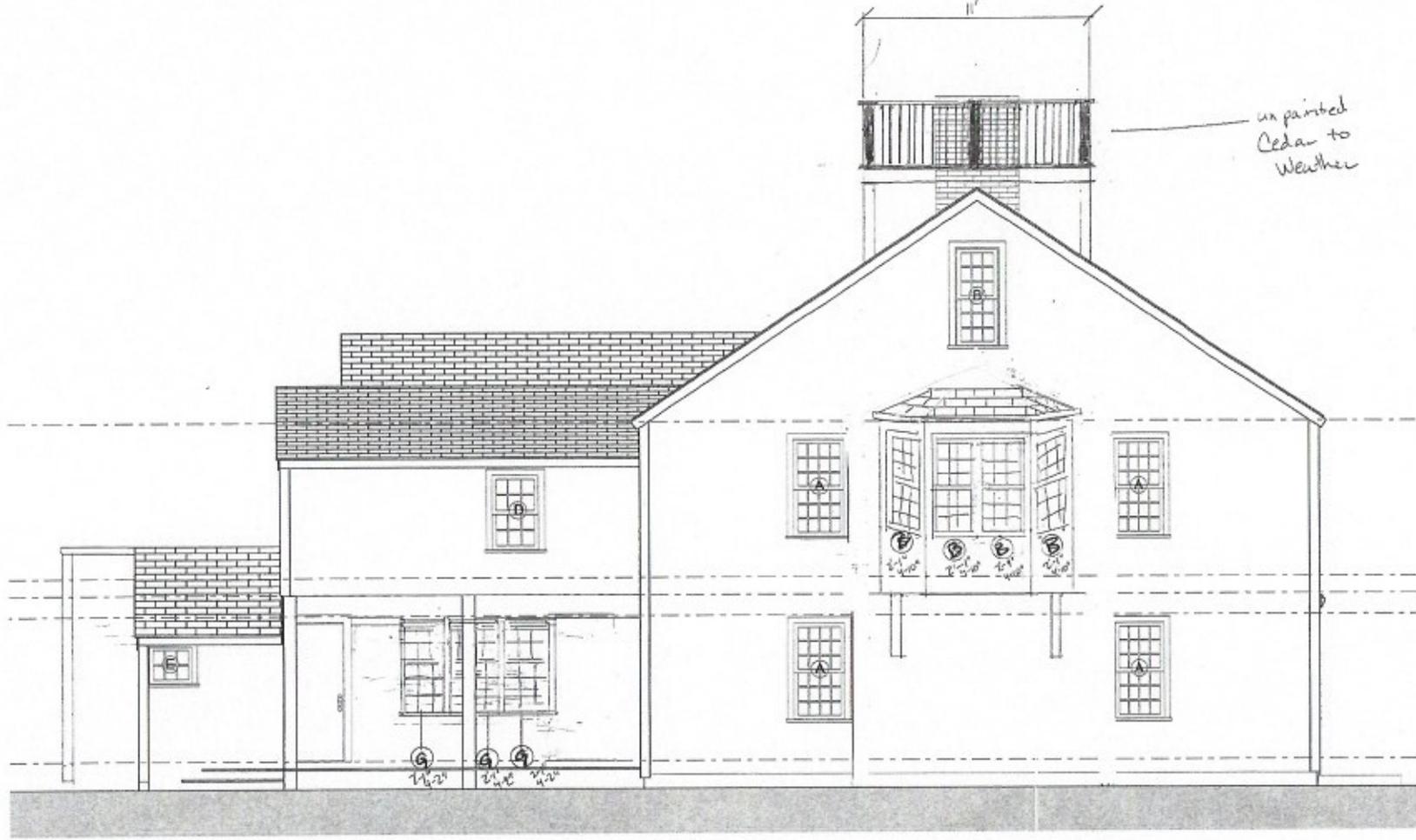
East Elevation

BOTTICELLI & POHL

Residence at  
 6 Gull Island Lane  
 Nantucket, MA 02554  
 MAP NO. 42-2.3 ZONING INFO. RDH  
 PARCEL NO. 61 PROJECT NO. 41

REVISED:  
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ID#  
 A-2.4



BOTTICELLI & POHL

Previously Approved East  
Elevation

Residence at  
6 Gull Island Lane  
Nantucket, MA 02554  
MAP NO. 42-4.3 ZONING INFO: R-0H  
PARCEL NO. 01 PROJECT NO. 41 REVISED:  
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ID #

A-2.4p



Residence at

6 Gull Island Lane

Nantucket, MA 02554

MAP NO. 43.43 ZONING INFO. R0H

PARCEL NO. 61 PROJECT NO. 41

REVISED:

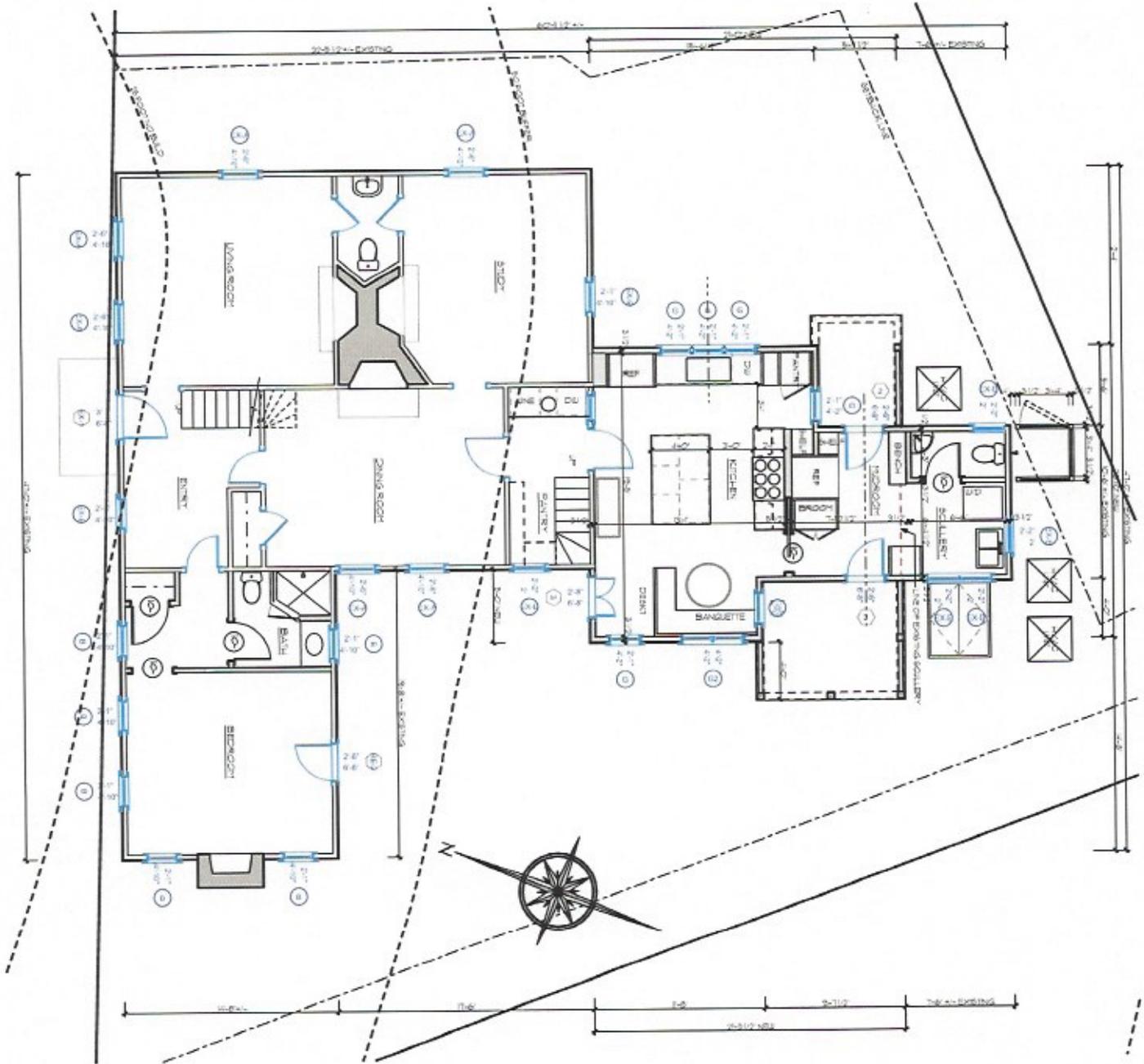
All drawings and designs contained on this site property of Botticelli & Pohl, P.C.  
No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.

ID #

A-2.4e

Existing East Elevation

BOTTICELLI & POHL



A-1.1

ID#

Residence at  
6 Gull Island Lane  
Nantucket, MA 02554

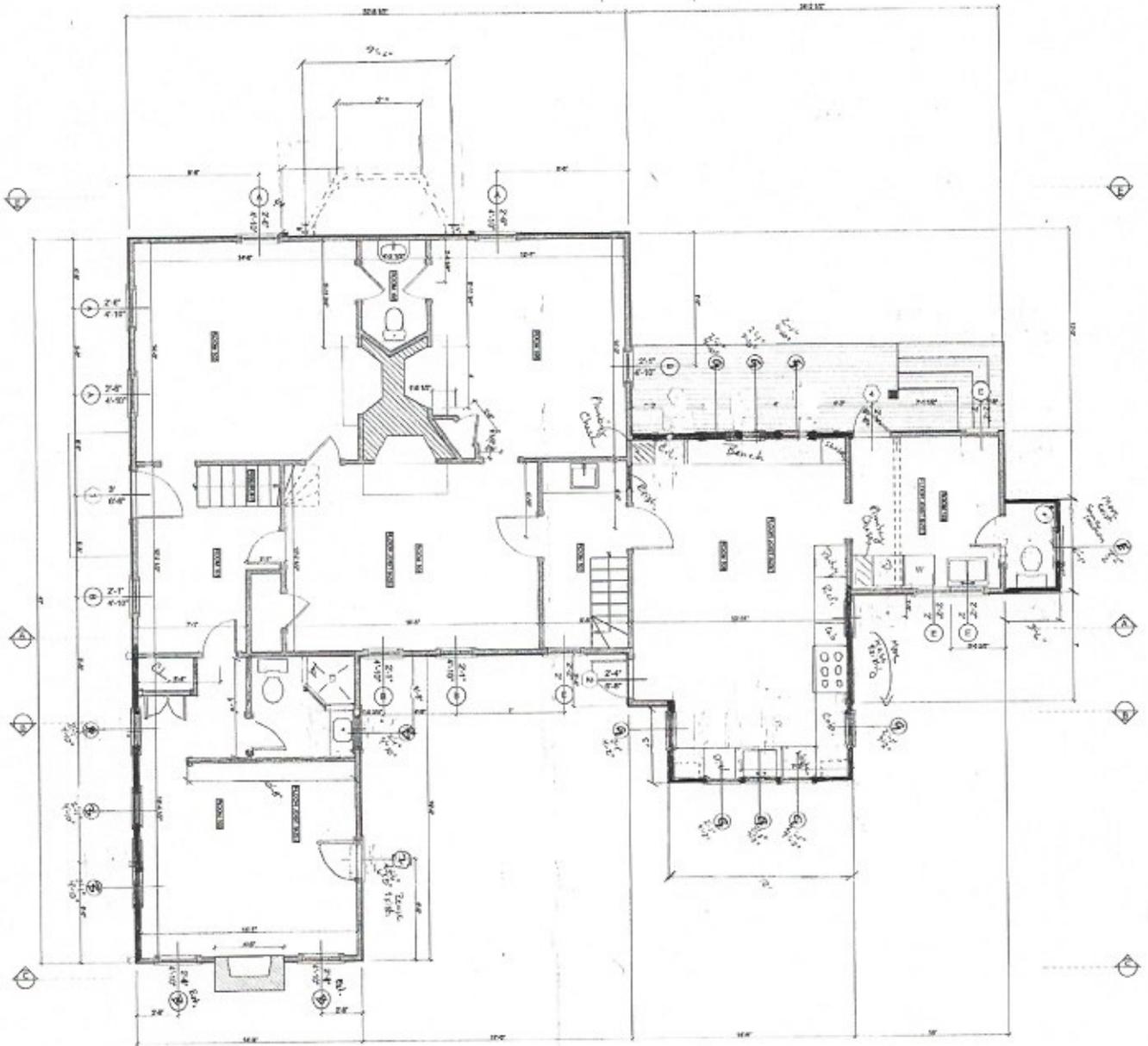
MAP NO: 42.4.3 ZONING INFO: RCH  
PARCEL NO: 61 PROJECT NO: 41 REVISED

All drawings and designs contained on the site property of Botticelli & Pohl, P.C.  
No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.

Proposed First Floor Plan

BOTTICELLI & POHL

11 OLD SOUTH ROAD, NANTUCKET, MA 02554 31 STATE STREET, BOSTON, MA 02109 BOTTICELLIANDPOHL.COM  
P 508 229 5455 P 617 462 4543



A-1.1p

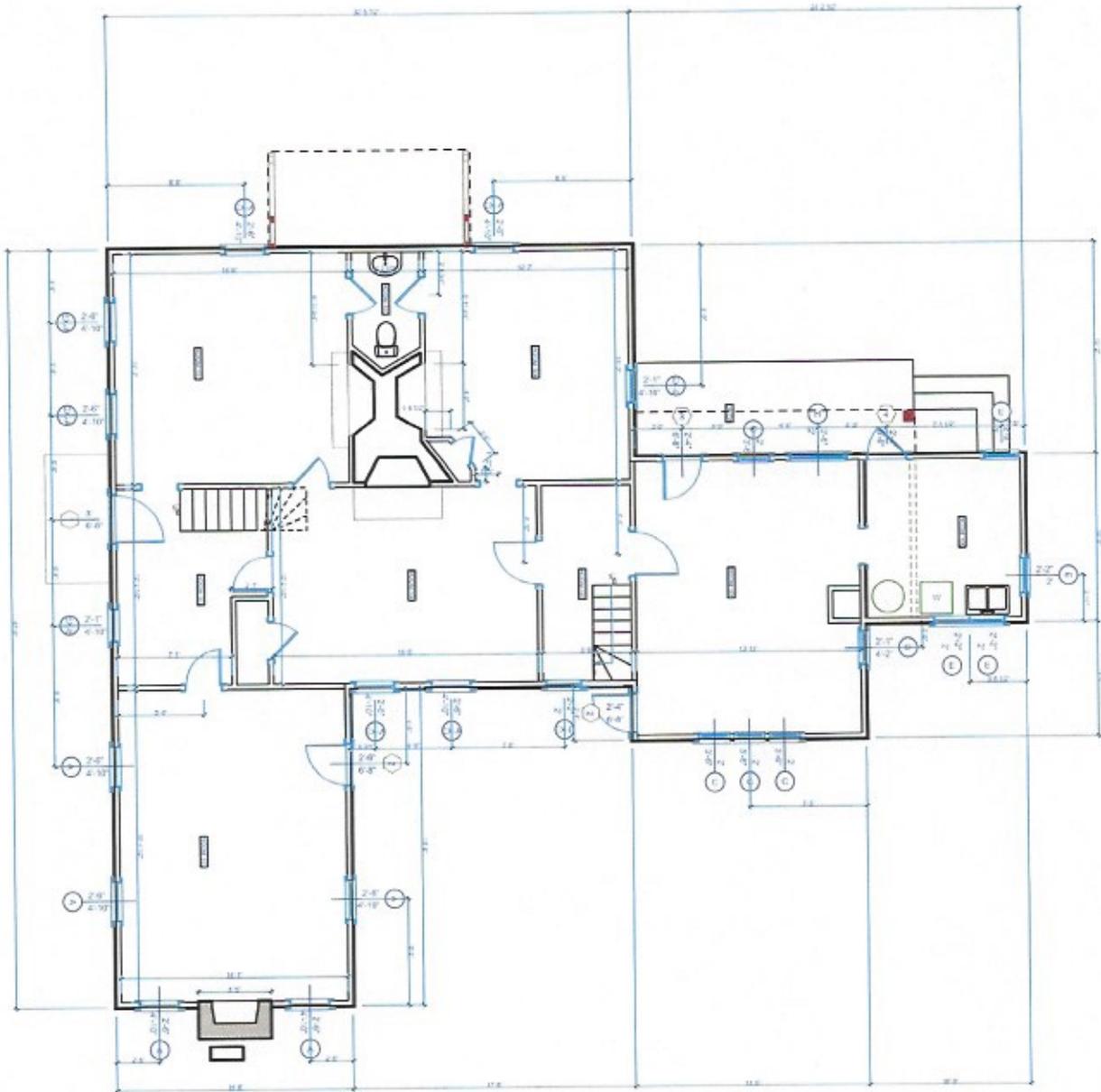
Residence at  
6 Gull Island Lane  
Nantucket, MA 02554

MAP NO. 42-4.3 ZONING INFO: ROH  
PARCEL NO: 61 PROJECT NO: 41 REVISED:

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Previously Approved First Floor  
Plan

BOTTICELLI & POHL



A-1.1e

ID #

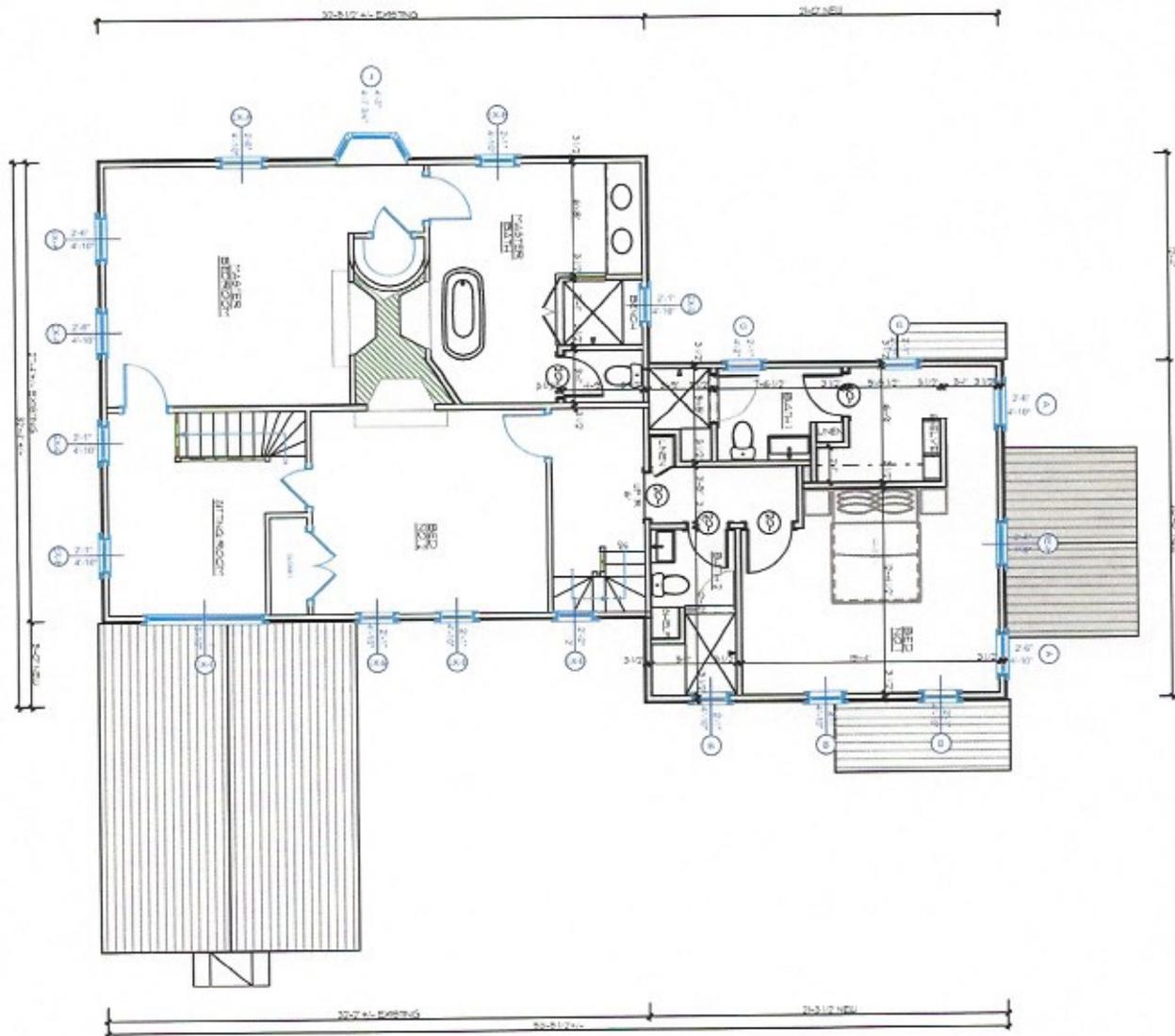
Residence at  
6 Gull Island Lane  
Nantucket, MA 02554

MAP NO: 42.4.3 ZONING INFO: ROH  
PARCEL NO: 62 PROJECT NO: 41 REVISED:

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Existing First Floor Plan

BOTTICELLI & POHL



A-1.2

ID#

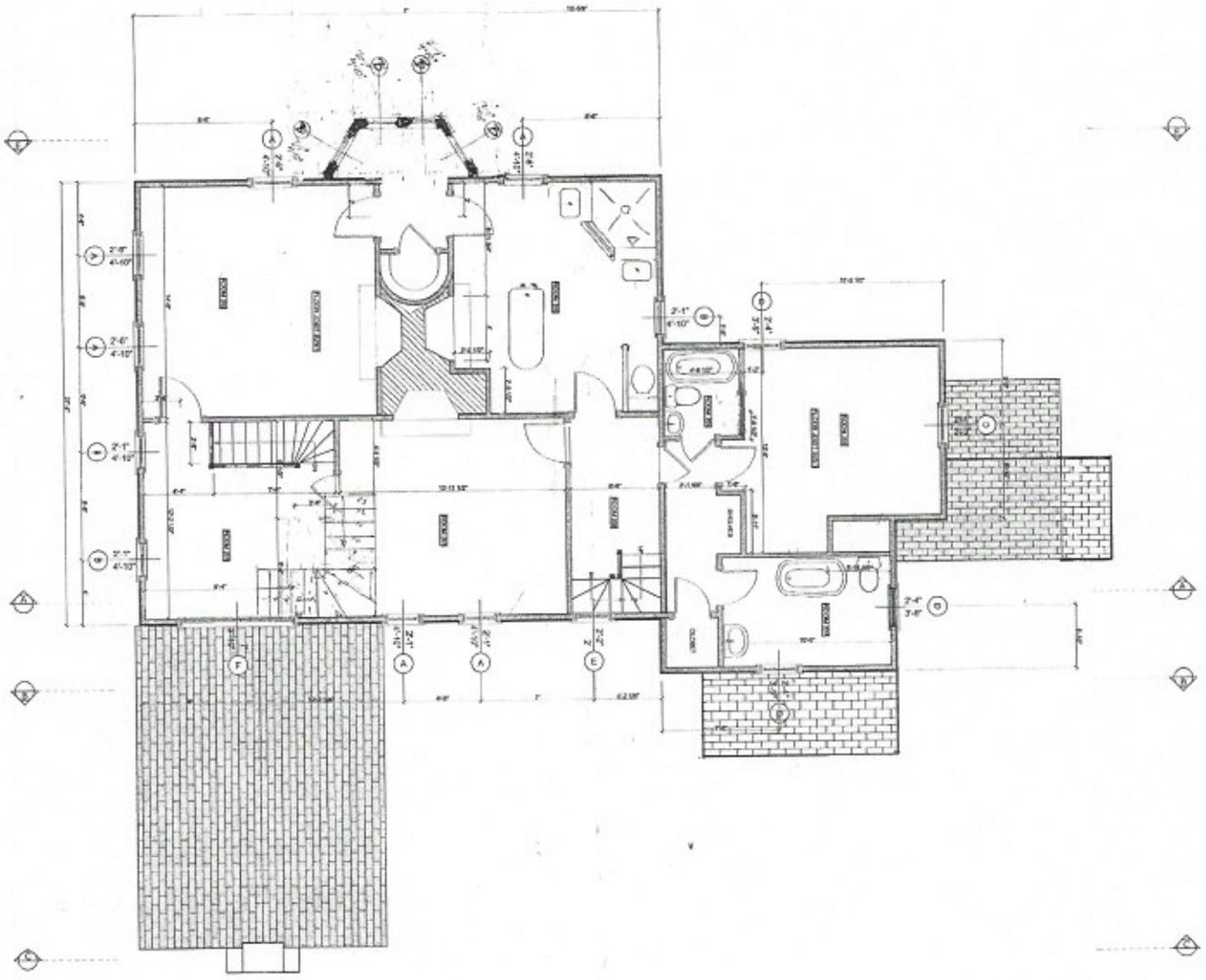
Residence at  
6 Gull Island Lane  
Nantucket, MA 02554

MAP NO. 42.4.3 ZONING INFO: ROH  
PARCEL NO. 61 PROJECT NO: 41 REVISED:

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Proposed Second Floor Plan

BOTTICELLI & POHL

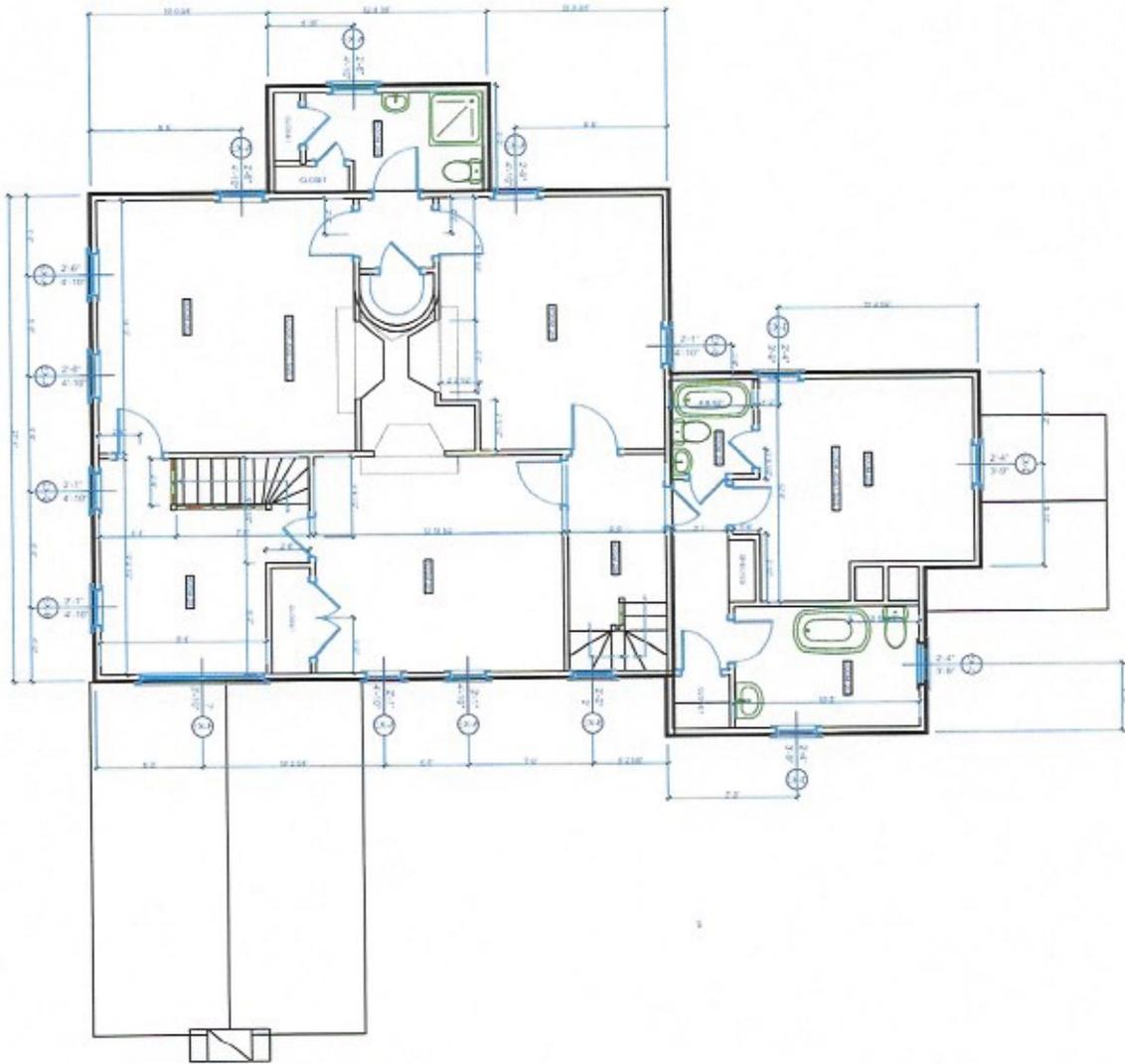


A-1.2p

ID #  
**Residence at**  
**6 Gull Island Lane**  
**Nantucket, MA 02554**  
 MAP NO. 42.4.3 ZONING INFO. ROH  
 PARCEL NO. 61 PROJECT NO. 41 REVISED:  
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**Previously Approved Second**  
**Floor Plan**

**BOTTICELLI & POHL**



A-1.2e

ID #

Residence at  
6 Gull Island Lane  
Nantucket, MA 02554

MAP NO: 42.4.3 ZONING INFO: ROH  
PARCEL NO: 61 PROJECT NO: 41 REVISED:

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Existing Second Floor Plan

BOTTICELLI & POHL

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P 508 228 3455 P 617 492 4543



Renovations at  
6 Gull Island Lane  
Nantucket, MA  
Window & Exterior Door Schedule

Rev. 2020-04-21

Window Schedule

No.	Qn	Type	Manuf.	Sash Size	Rough Opening	Lights	Comments
EX-A		Double Hung	EXISTING TO REMAIN	2-6' x 4-10' +/-	-	12 over 12	Verify in field
EX-B		Double Hung	EXISTING TO REMAIN	2-1' x 4-10' +/-	-	9 over 9	Verify in field
EX-C		Double Hung	NOT USED	2-0' x 3-6' +/-	-	6 over 6	Verify in field
EX-D		Double Hung	NOT USED	2-4' x 3-9' +/-	-	6 over 6	Verify in field
EX-E		Fixed	EXISTING TO REMAIN	2-2' x 2-0' +/-	-	6	Verify in field
EX-F		Double Casement	EXISTING TO REMAIN	7-0' x 3-10' +/-	-	20 EA	Verify in field
EX-G		Double Hung	NOT USED	2-1' x 4-2' +/-	-	6 over 9	Verify in field
EX-K		Fixed	EXISTING TO REMAIN	2-6' x 2-5'	-	6	Verify in field
A		Double Hung	Boston Sash	2-6' x 4-10'	TBD	12 over 12	Match existing 'A' windows
B		Double Hung	Boston Sash	2-1' x 4-10'	TBD	9 over 9	Match existing 'B' windows
E		Fixed	Boston Sash	2-2' x 2-0'	TBD	6	Match existing 'E' windows
G		Double Hung	Boston Sash	2-1' x 4-2'			Match existing 'G' windows
RE-H		Fixed	EXISTING TO RELOCATE	2-6' x 1-9' +/-	TBD	8	Relocate existing window
J		Oriel Picture w/ Oriel Sidelights	Custom	2-4' x 4-5' +/-	TBD	24	See East elevation
L		Fixed	Boston Sash	1-5' x 1-1'	TBD	4	Match 'A' window light size

Door Schedule

No.	Qn	Type	Manuf.	Door Size	Rough Opening	Lights	Comments
EX-1		Entry Door	EXISTING TO REMAIN	3-0' x 6-8' +/-	-	2	over 4 panels
RE-2		Single French Door	EXISTING TO RELOCATE	2-6' x 6-8' +/-	TBD	15	Relocate existing door
2		Single French Door	Custom	2-6' x 6-8'	TBD	15	Match existing single french door
3		Double French Door	PROVIDED BY CLIENT	2-8' x 6-8' +/-	TBD	10 EA?	Reuse artious doors provided by client

Notes:

- All new windows will be Boston Sash windows as per above schedule, single glazed, TDL with muntin configuration as shown on drawings.  
Min. dp 30 rating required. Low E 272 Argon glass. U-value of .33.  
All glazing to come with compliance sticker as required by local building codes.
- All new doors will be Custom doors as per above schedule, single glazed, TDL with muntin configuration as shown on drawings.  
Min. dp 30 rating required. Low E Argon glass. U-value = .23 w/ storm door, .45 w/o storm door.  
All glazing to come with compliance sticker as required by local building codes.
- Mill shop will provide shop drawings for all window and door units to architect for approval prior to commencing construction.
- Provide all windows, including sidelights, transoms, and fixed windows, with managary half screens with Phifer BetterVue screen or similar where applicable.
- Provide tempered glass in all locations required by code.



KOR

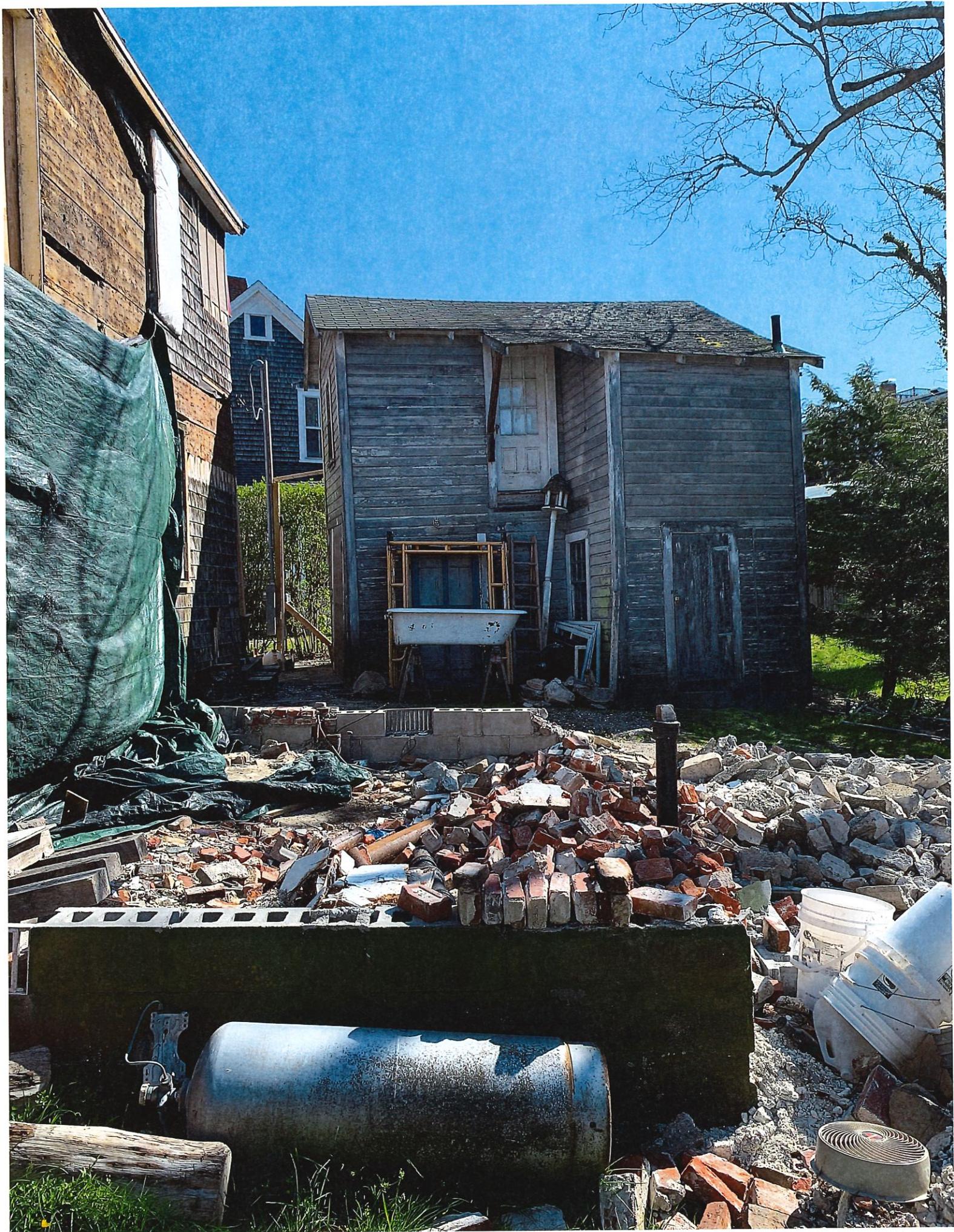
EAST



SOUTH







NORTH





**REQUIRED WITH ALL APPLICATIONS:**

- CH 1. **Completed Application Form:** Description of ALL work must be indicated on application form.
- CH 2. **Property Owner's Signature:** Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
- CH 3. **Application Fee:** See back of application for fee schedule or call the office.
- CH 4. **Locus Map (4 copies):** Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) <https://www.nantucket-ma.gov/151/GIS-Maps>
- CH 5. **Site Plan (4 Copies):** must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and *placement of HVAC units, electrical boxes, fuel tanks, etc.*
- CH 6. **8-1/2" x 11" Copies of ALL Application Materials:** Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12), collated and stapled.
- CH 7. **Photographs:** Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
- CH 8. **Electronic submission:** All documents submitted to the HDC office must be emailed to [hdcsubmissions@nantucket-ma.gov](mailto:hdcsubmissions@nantucket-ma.gov).

**REQUIRED WHERE APPLICABLE:**

- N/A 1. **Supplemental Information for Historic Buildings:** It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application.
- CH 2. **Exterior Elevations and Floor Plans (4 copies):** Must be Y.-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. *All changes from approved or existing design must be clouded on drawings.* All material MUST BE LEGIBLE, collated and stapled. Reduced sets should maintain a font size of 12.
- CH 3. **As-Built Plans (1copy):** of existing elevations
- N/A 4. **Hardscaping Plans (4 copies):** To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE, collated and stapled.
- N/A 5. **Topographic Map:** Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).
- CH 6. **Door and Window Schedule (4 copies):** Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
7. **I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.**
- CH 8. **Abutter Notification Materials** – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet.
- N/A 9. **Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc.**

(initial to indicate read and understand)

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 39 PARCEL N°: 31  
 Street & Number of Proposed Work: 7 GREENLEAF RD  
 Owner of record: LEONARD B. MILLER, KARIN BYRNE MILLER  
 Mailing Address: 27 DEVON RD. CHESTNUT HILL, MA  
02467  
 Contact Phone #: 617-823-5535 E-mail: KARINBMILLER@GMAIL.COM

#### AGENT INFORMATION (if applicable)

Name: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_  
 Size of Structure or Addition: Length: +/- 50' Sq. Footage 1st floor: 769 >1526 Decks/Patio: Size: (30' x 11') 48' x 8'  1st floor  2nd floor  
 Width: +/- 43' Sq. footage 2nd floor: 757 Size: 17' x 10'  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_ Size: 8' x 12'  2nd floor  
 Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0  
 Height of ridge above final finish grade: North 28'-9" South 24'-3" East 27'-3" West 28'-9"

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
 Original Builder: \_\_\_\_\_ 3. West Elevation  
 Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed +/- 10"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) MORIN - COLLEGE BLEND  Other \_\_\_\_\_  
 Roof Pitch: Main Mass 12"/12" Secondary Mass 4"/12" Dormer 4"/12" Other 6"/12" DORMER @ MASTER BED  
 Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) WHITE CEDAR  
 Skylights (flat only): Manufacturer N/A Rough Opening N/A Size N/A Location N/A  
 Manufacturer N/A Rough Opening N/A Size N/A Location N/A  
 Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
 Leaders (material and size): COPPER  
 Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
 Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia 7 1/2" x 3/4" Rake 3" x 3/4" Soffit (Overhang) N/A Corner boards 4 3/4" x 4 3/4" Frieze N/A  
 Window Casing 4 1/2" x 3/4" Door Frame 4 1/2" x 3/4" Columns/Posts: Round N/A Square 7 1/2" x 7 1/2"  
 Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer MARVIN  
 Doors\* (type and material):  TDL  SDL Front MARVIN, MAHOGANY Rear MARVIN, PAINTED Side MARVIN, PAINTED  
 Garage Door(s): Type N/A Material N/A  
 Hardscape materials: Driveways N/A Walkways N/A Walls N/A

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall NATURAL WHITE CEDAR SHINGLES Clapboard (if applicable) N/A Roof NATURAL WHITE CEDAR SHINGLES  
 Trim HAMILTON BLUE - PMS 5415 Sash HAMILTON BLUE - PMS 5415 Doors MAHOGANY / WHITE PAINTED  
 Deck MAHOGANY Foundation CONCRETE Fence N/A Shutters N/A

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/11/2020 Signature of owner of record LEONARD MILLER (Signed under penalties of perjury)





7 GREENLEAF RD. NANTUCKET, MA 02554



7 GREENLEAF RD. NANTUCKET, MA 02554



7 GREENLEAF RD. NANTUCKET, MA 02554





7 GREENLEAF RD. NANTUCKET, MA 02554







7 GREENLEAF RD. NANTUCKET, MA 02554





VIEW 1 FROM GREENLEAF RD



VIEW 2 FROM DOUGLAS WAY



**VIEW 3 FROM WORTH ROAD**



EEL POINT ROAD  
 MAP 39 PARCEL 8  
 N/F TOWN OF NANTUCKET  
 DEED BK. 176 PG. 164  
 L.C.PLAN NO. 15209-A SHEET 3 (LOT 22B)



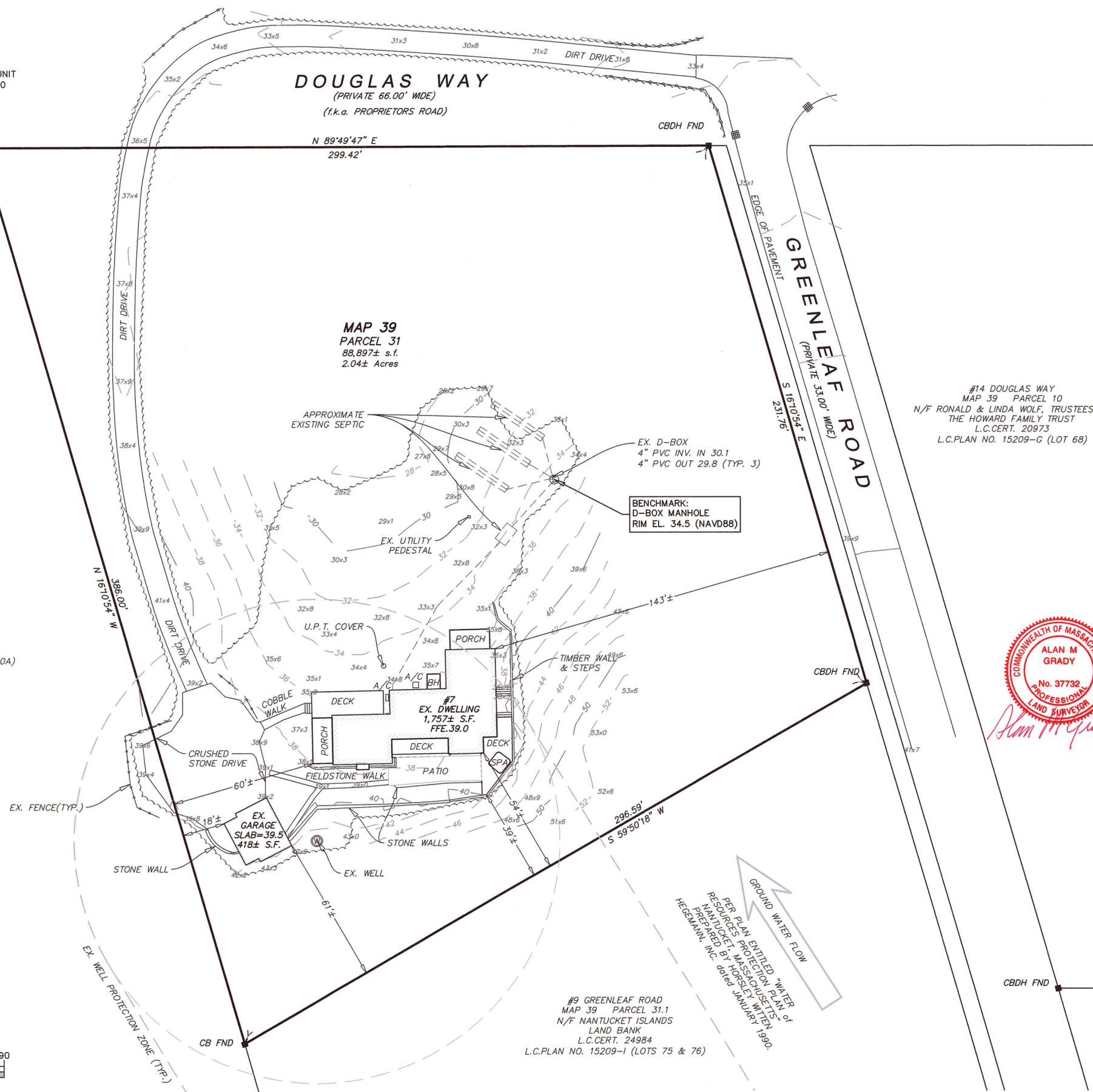
MASS COORDINATE SYSTEM  
 MAINLAND ZONE MERIDIAN  
 DETERMINED USING A  
 TOPCON HIPER SR GPS RTK UNIT  
 COLLECTION DATE 04/29/2020

**DOUGLAS WAY**  
 (PRIVATE 66.00' WIDE)  
 (i.k.a. PROPRIETORS ROAD)

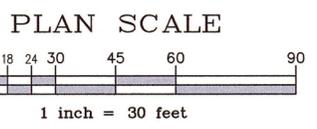
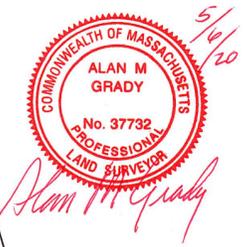
**MAP 39  
 PARCEL 31**  
 88,897± s.f.  
 2.04± Acres

#14 DOUGLAS WAY  
 MAP 39 PARCEL 10  
 N/F RONALD & LINDA WOLF, TRUSTEES OF  
 THE HOWARD FAMILY TRUST  
 L.C.CERT. 20973  
 L.C.PLAN NO. 15209-G (LOT 68)

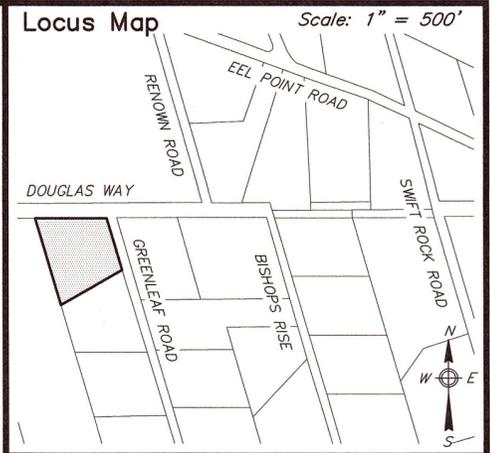
#6 WORTH ROAD  
 MAP 39 PARCEL 44  
 N/F NANTUCKET ISLANDS  
 LAND BANK  
 L.C.CERT. 12362  
 L.C.PLAN NO. 15209-A (LOT 10A)



BENCHMARK:  
 D-BOX MANHOLE  
 RIM EL. 34.5 (NAVD88)



#9 GREENLEAF ROAD  
 MAP 39 PARCEL 31.1  
 N/F NANTUCKET ISLANDS  
 LAND BANK  
 L.C.CERT. 24984  
 L.C.PLAN NO. 15209-I (LOTS 75 & 76)



- Notes**
- LOCUS: #7 GREENLEAF ROAD  
 MAP 39 PARCEL 31
  - OWNER: KARIN BYRNE MILLER &  
 LEONARD B. MILLER  
 27 DEVON ROAD  
 CHESTNUT HILL, MA. 02467
  - DEED REF: L.C. CERT. #17090
  - PLAN REF: L.C. PLAN 15209-I (LOT 74)
  - LOCUS DOES NOT FALL WITHIN A SPECIAL  
 FLOOD HAZARD ZONE AS SHOWN ON  
 FEMA FLOOD INSURANCE RATE MAP No.  
 25019C-0067-G dated 06/09/2014.
  - LOCUS DOES FALL WITHIN THE NATURAL  
 HERITAGE AND ENDANGERED SPECIES  
 PROGRAM (NHESP) AREAS OF ESTIMATED  
 HABITATS OF RARE WILDLIFE and  
 PRIORITY HABITATS OF RARE SPECIES.

ZONE: LUG-2

	REQUIRED	EXISTING
LOT AREA:	80,000 s.f.	88,897± s.f.
FRONTAGE:	150'	531.18'
FRONT YARD:	35'	143'±
SIDE YARD:	15'	39'±
REAR YARD:	15'	18'±
GROUND COVER:	4% (MAX) (3,555 s.f.)	2.4%± (2,175 s.f.)

Prepared By:

**BRACKEN ENGINEERING, INC.**  
 49 HERRING POND ROAD BUZZARDS BAY, MA 02532  
 19 OLD SOUTH ROAD NANTUCKET, MA 02554  
 (tel) 508.833.0070 (tel) 508.325.0044  
 (fax) 508.833.2282 www.brackeneng.com

**EXISTING CONDITIONS PLAN  
 IN NANTUCKET, MASSACHUSETTS**  
 Prepared For:  
**CHRISTOPHER HALL ARCHITECTS, INC.**  
 #7 GREENLEAF ROAD  
 MAP 39 PARCEL 31

No.	Date	Revision Description	By
-	-	-	-
-	-	-	-
-	-	-	-

Date: MAY 6, 2020 Drawn: DAF/BEI Checked: DFB/AMG Sheet: 1 of 1



CHRISTOPHER HALL ARCHITECTS, INC.



1 WALNUT ST.  
BOSTON, MA 02108  
TEL: 617.263.0175

11983 N. TAMIAMI TRL.  
NAPLES, FL 34110  
TEL: 239.302.3589

29 MEETINGHOUSE LN.  
L. COMPTON, RI 02837

CHALLARCHITECT.COM

MILLER RESIDENCE

7 GREENLEAF RD  
NANTUCKET, MA  
02554

ISSUED FOR:  
HDC REVIEW

DATE ISSUED:  
MAY 19, 2020

DRAWING REVISED:

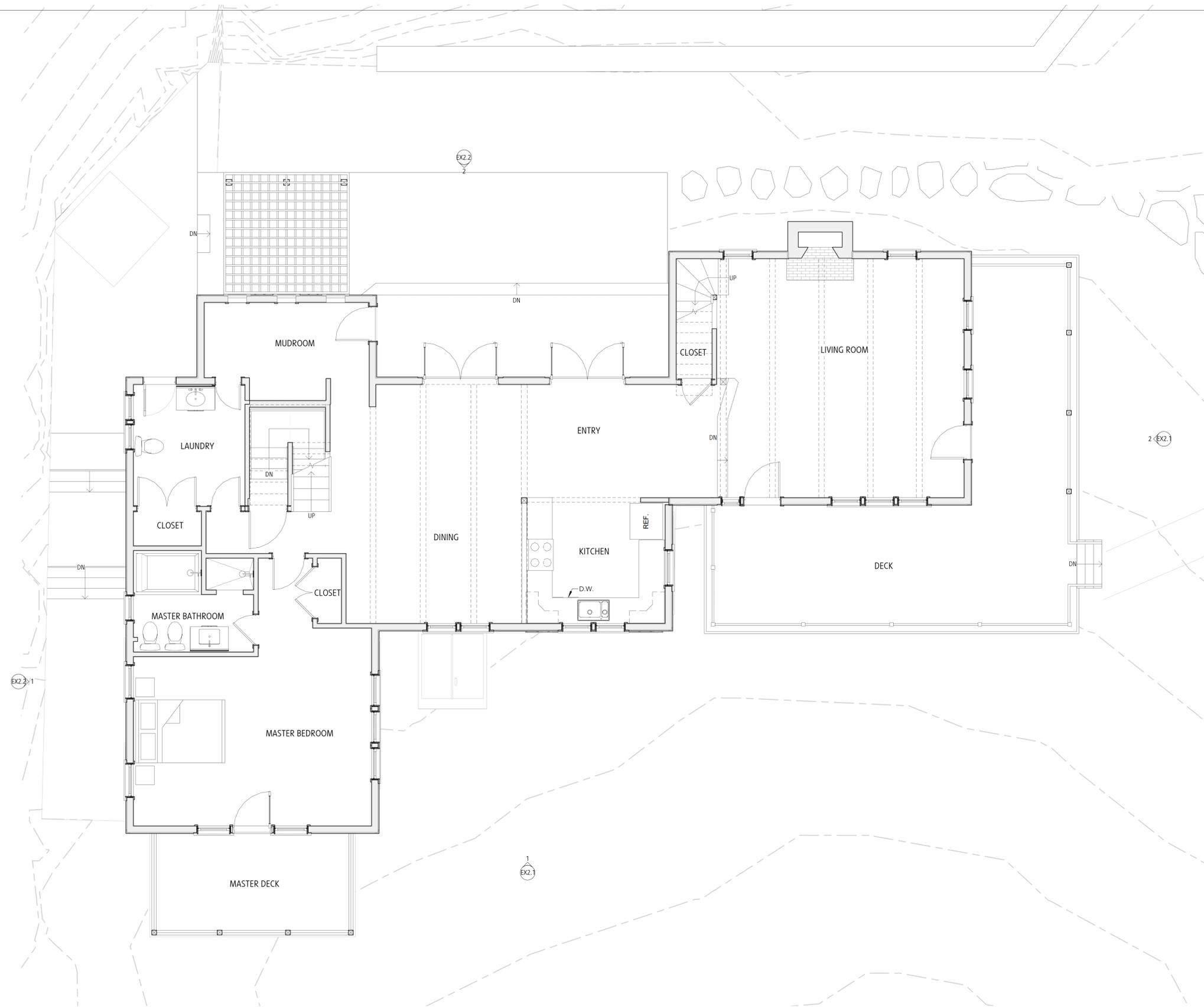
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NOTES:

24x36 SHEETS -  
SCALE AS INDICATED

EXISTING  
FIRST FLOOR  
PLAN

EX1.1



1 EXISTING FIRST FLOOR PLAN  
EX1.1 SCALE 1/4" = 1'-0"















ISSUED FOR:  
HDC REVIEW

DATE ISSUED:  
MAY 19, 2020

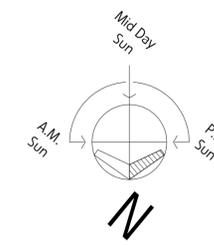
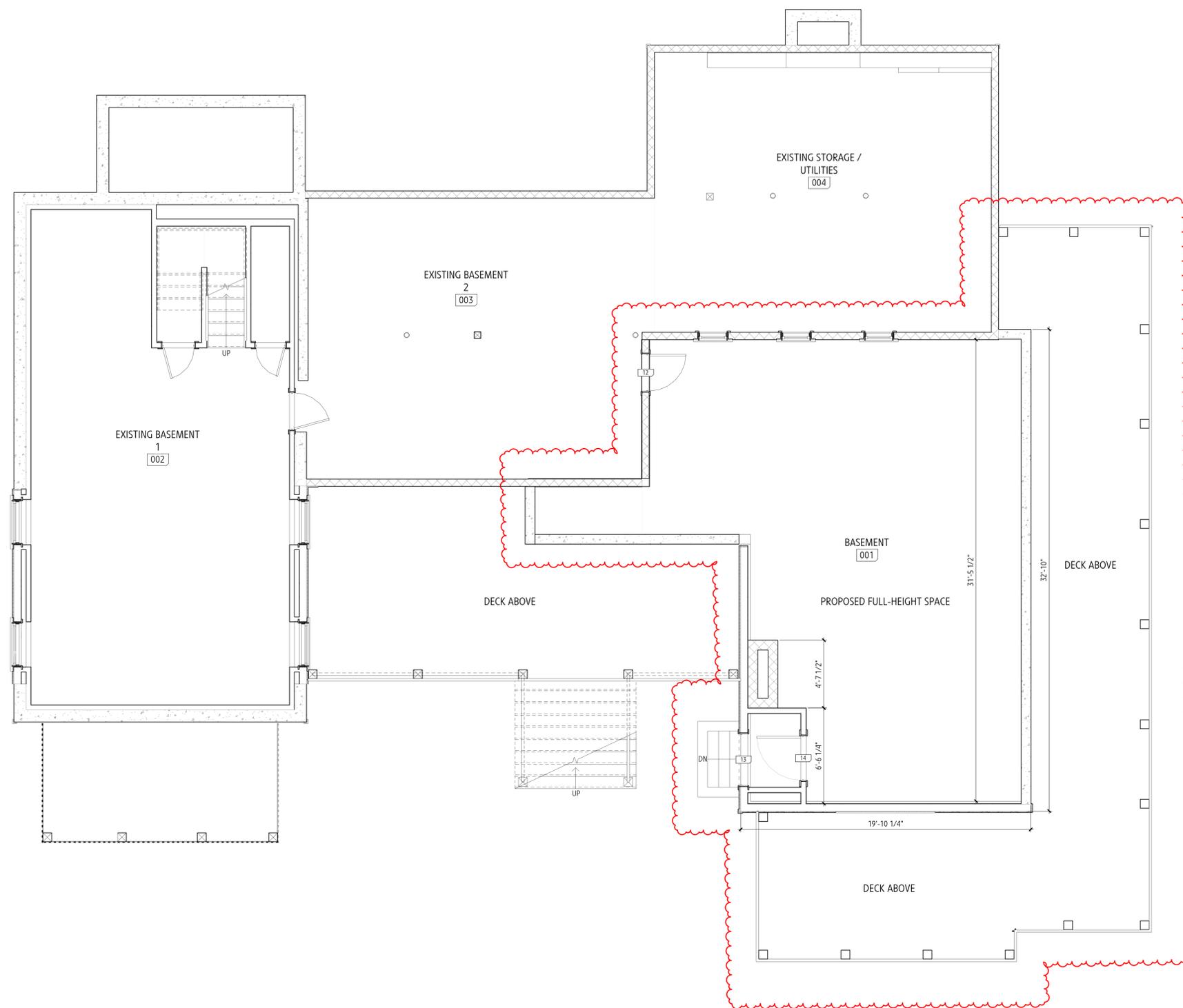
DRAWING REVISED:

- 2 CHANGES - HDC
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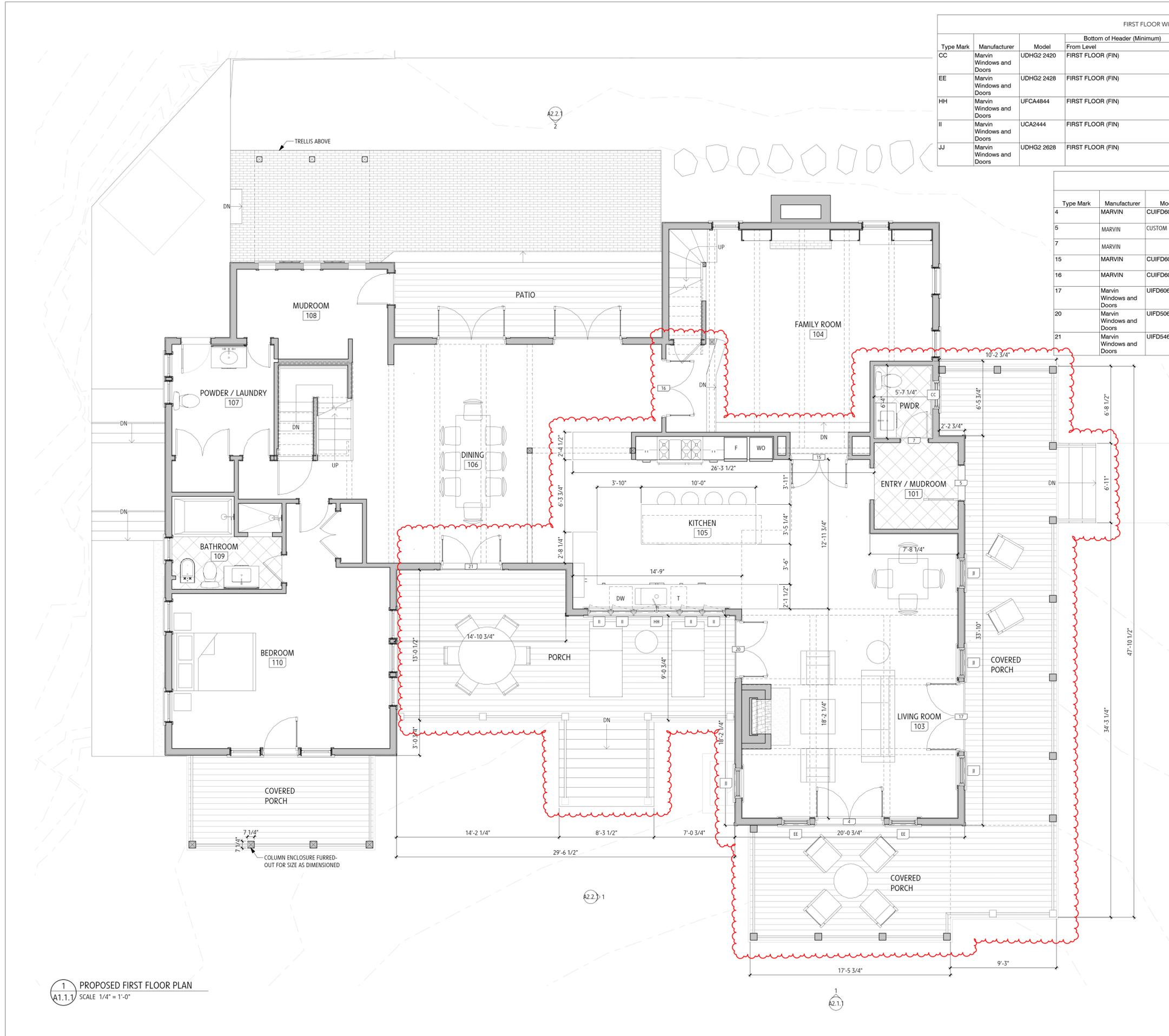
NOTES:

24x36 SHEETS -  
SCALE AS INDICATED

BASEMENT DOOR SCHEDULE HDC							
Type Mark	Manufacturer	Model	Bottom of Header (Minimum)		Rough Width	Rough Height	Phase Created
			From Level				
12			BASEMENT (SLAB)		2' - 8"	6' - 9 1/8"	New Construction
13			BASEMENT (SLAB)		3' - 8"	7' - 1 1/2"	New Construction
14			BASEMENT (SLAB)		3' - 2"	6' - 10 1/2"	New Construction



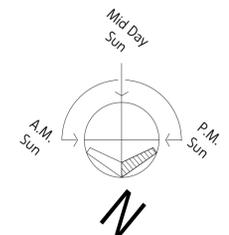
1 PROPOSED BASEMENT PLAN  
A1.0.1 SCALE 1/4" = 1'-0"



FIRST FLOOR WINDOW SCHEDULE HDC									
Type Mark	Manufacturer	Model	Bottom of Header (Minimum)		Rough Width	Rough Height	Phase Created	Count	Head Height
			From Level	From Level					
CC	Marvin Windows and Doors	UDHG2 2420	FIRST FLOOR (FIN)		2' - 6 1/4"	4' - 0"	New Construction	1	6' - 3 1/2"
EE	Marvin Windows and Doors	UDHG2 2428	FIRST FLOOR (FIN)		2' - 6 1/4"	5' - 4"	New Construction	2	6' - 10"
HH	Marvin Windows and Doors	UFCA4844	FIRST FLOOR (FIN)		4' - 1"	3' - 7 5/8"	New Construction	1	6' - 11 1/8"
II	Marvin Windows and Doors	UCA2444	FIRST FLOOR (FIN)		2' - 1"	3' - 7 5/8"	New Construction	4	6' - 11 1/8"
JJ	Marvin Windows and Doors	UDHG2 2628	FIRST FLOOR (FIN)		2' - 8 1/4"	5' - 4"	New Construction	4	6' - 10"

FIRST FLOOR DOOR SCHEDULE HDC							
Type Mark	Manufacturer	Model	Bottom of Header (Minimum)		Rough Width	Rough Height	Phase Created
			From Level	From Level			
4	MARVIN	CUIFD6080	FIRST FLOOR (FIN)		6' - 1 5/8"	6' - 10 1/2"	New Construction
5	MARVIN	CUSTOM	FIRST FLOOR (FIN)		3' - 2"	6' - 10 1/2"	New Construction
7	MARVIN		FIRST FLOOR (FIN)		2' - 6"	6' - 9 1/8"	New Construction
15	MARVIN	CUIFD6080	FIRST FLOOR (FIN)		5' - 1 5/8"	6' - 10 1/2"	New Construction
16	MARVIN	CUIFD6080	FIRST FLOOR (FIN)		5' - 1 5/8"	6' - 10 1/2"	New Construction
17	Marvin Windows and Doors	UIFD6068	FIRST FLOOR (FIN)		6' - 1 5/8"	6' - 10 1/2"	New Construction
20	Marvin Windows and Doors	UIFD5068	FIRST FLOOR (FIN)		5' - 1 5/8"	6' - 10 1/2"	New Construction
21	Marvin Windows and Doors	UIFD5468	FIRST FLOOR (FIN)		5' - 5 5/8"	6' - 10 1/2"	New Construction

1 PROPOSED FIRST FLOOR PLAN  
A1.1.1 SCALE 1/4" = 1'-0"



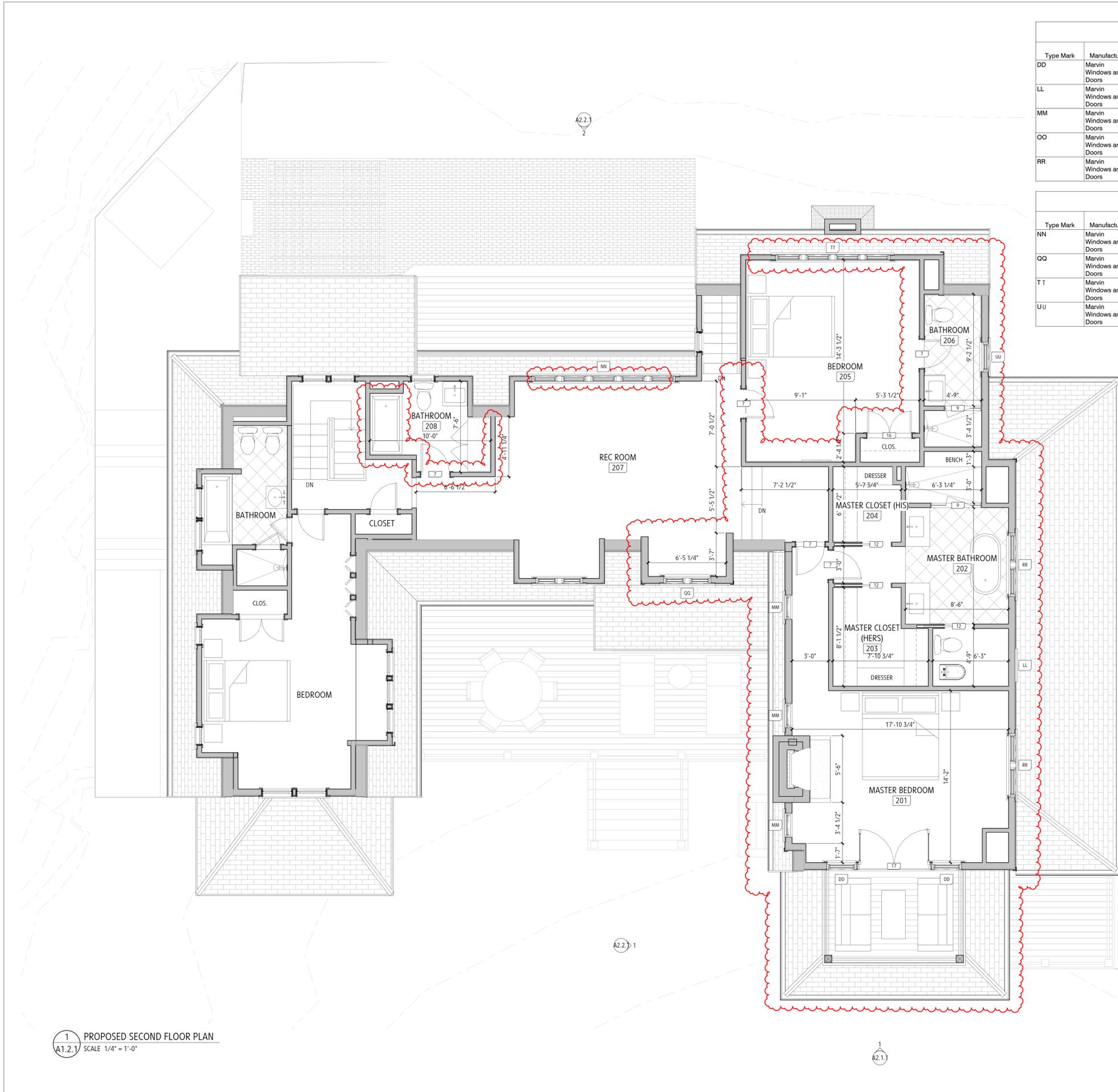
**CHRISTOPHER HALL ARCHITECTS, INC.**  
  
 1 WALNUT ST.  
 BOSTON, MA 02108  
 TEL: 617.263.0175  
 11983 N. TAMiami TrL.  
 NAPLES, FL 34110  
 TEL: 239.302.3589  
 29 MEETINGHOUSE LN.  
 L. COMPTON, RI 02837  
 CHALLARCHITECT.COM

**MILLER RESIDENCE**  
  
 7 GREENLEAF RD  
 NANTUCKET, MA 02554

ISSUED FOR:  
 HDC REVIEW  
 DATE ISSUED:  
 MAY 19, 2020  
 DRAWING REVISED:  
 2 CHANGES - HDC

NOTES:  
 24x36 SHEETS -  
 SCALE AS INDICATED

FIRST FLOOR PLAN - HDC  
**A1.1.1**



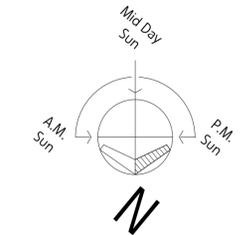
SECOND FLOOR ADDITION WINDOW SCHEDULE HDC								
Type Mark	Manufacturer	Model	Bottom of Header (Minimum)		Rough Width	Rough Height	Phase Created	Count
			From Level	Existing Second Floor (FIN)				
DD	Marvin Windows and Doors	UDHG2 2426	SECOND FLOOR (FIN)	EXISTING SECOND FLOOR (FIN)	2' - 6 1/4"	5' - 0"	New Construction	2
LL	Marvin Windows and Doors	UCA2428	SECOND FLOOR (FIN)	EXISTING SECOND FLOOR (FIN)	2' - 1"	2' - 3 5/8"	New Construction	1
MM	Marvin Windows and Doors	UAWN2420	SECOND FLOOR (FIN)	EXISTING SECOND FLOOR (FIN)	2' - 1"	1' - 7 5/8"	New Construction	3
OO	Marvin Windows and Doors	UAWN2028	SECOND FLOOR (FIN)	EXISTING SECOND FLOOR (FIN)	1' - 9"	2' - 3 5/8"	New Construction	1
RR	Marvin Windows and Doors	UDHG2 2430	SECOND FLOOR (FIN)	EXISTING SECOND FLOOR (FIN)	5' - 3 1/2"	5' - 8"	New Construction	2

SECOND FLOOR WINDOW SCHEDULE HDC								
Type Mark	Manufacturer	Model	Bottom of Header (Minimum)		Rough Width	Rough Height	Phase Created	Count
			From Level	Existing Second Floor (FIN)				
NN	Marvin Windows and Doors	UDHG2 2016	EXISTING SECOND FLOOR (FIN)	EXISTING SECOND FLOOR (FIN)	11' - 11 1/4"	3' - 4"	New Construction	1
QQ	Marvin Windows and Doors	UDHG2 1614	EXISTING SECOND FLOOR (FIN)	EXISTING SECOND FLOOR (FIN)	3' - 11 1/2"	3' - 0"	New Construction	1
TT	Marvin Windows and Doors	UDHG2 2016	EXISTING SECOND FLOOR (FIN)	EXISTING SECOND FLOOR (FIN)	9' - 6"	3' - 4"	New Construction	1
UU	Marvin Windows and Doors	UDHG2 2422	EXISTING SECOND FLOOR (FIN)	EXISTING SECOND FLOOR (FIN)	2' - 6 1/4"	4' - 4"	New Construction	1

EXISTING SECOND FLOOR DOOR SCHEDULE HDC							
Type Mark	Manufacturer	Model	Bottom of Header (Minimum)		Rough Width	Rough Height	Phase Created
			From Level	Existing Second Floor (FIN)			
7	MARVIN		EXISTING SECOND FLOOR (FIN)	EXISTING SECOND FLOOR (FIN)	2' - 6"	6' - 9 1/8"	New Construction
9	CUSTOM	BATHROOM GLASS	EXISTING SECOND FLOOR (FIN)	EXISTING SECOND FLOOR (FIN)			New Construction
12	MARVIN		EXISTING SECOND FLOOR (FIN)	EXISTING SECOND FLOOR (FIN)	4' - 9"	6' - 10 1/2"	New Construction
16	MARVIN		EXISTING SECOND FLOOR (FIN)	EXISTING SECOND FLOOR (FIN)	3' - 10"	6' - 10 1/2"	New Construction

SECOND FLOOR DOOR SCHEDULE HDC							
Type Mark	Manufacturer	Model	Bottom of Header (Minimum)		Rough Width	Rough Height	Phase Created
			From Level	Second Floor (FIN)			
12	MARVIN		SECOND FLOOR (FIN)	SECOND FLOOR (FIN)	4' - 9"	6' - 10 1/2"	New Construction
17	Marvin Windows and Doors	UIFD6068	SECOND FLOOR (FIN)	SECOND FLOOR (FIN)	6' - 1 5/8"	6' - 10 1/2"	New Construction

1 PROPOSED SECOND FLOOR PLAN  
A1.2.1 SCALE 1/4" = 1'-0"



**CHRISTOPHER HALL ARCHITECTS, INC.**  
  
 1 WALNUT ST.  
 BOSTON, MA 02108  
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 NAPLES, FL 34110  
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 29 MEETINGHOUSE LN.  
 L. COMPTON, RI 02837  
 CHALLARCHITECT.COM

**MILLER RESIDENCE**  
  
 7 GREENLEAF RD  
 NANTUCKET, MA 02554

ISSUED FOR:  
 HDC REVIEW  
 DATE ISSUED:  
 MAY 19, 2020  
 DRAWING REVISD:  
 2 CHANGES - HDC

NOTES:  
 24x36 SHEETS -  
 SCALE AS INDICATED

SECOND FLOOR PLAN -  
 HDC  
**A1.2.1**





CHRISTOPHER HALL ARCHITECTS, INC.



1 WALNUT ST.  
BOSTON, MA 02108  
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02554

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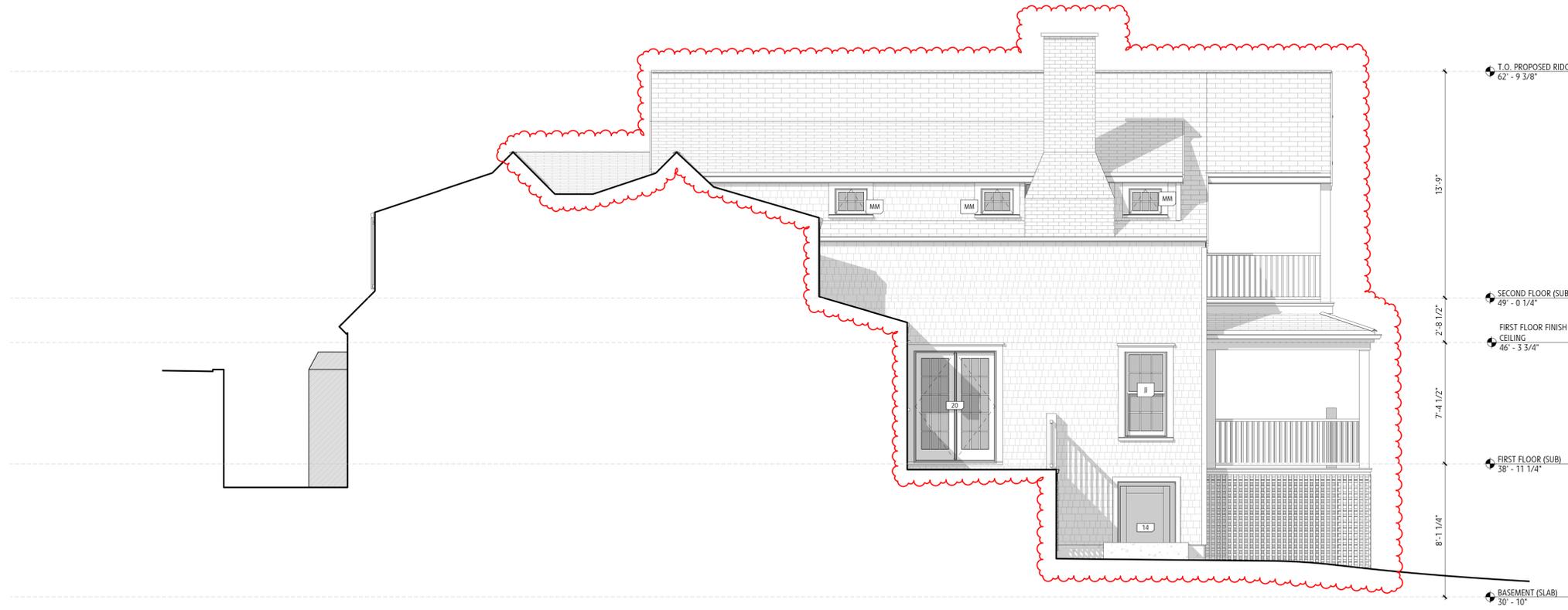
- 2 CHANGES - HDC
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NOTES:

24x36 SHEETS -  
SCALE AS INDICATED

EXTERIOR  
ELEVATIONS -  
HDC

A2.2.1



1 PROPOSED EAST ELEVATION  
A2.2.1 SCALE 1/4" = 1'-0"



2 PROPOSED SOUTH ELEVATION  
A2.2.1 SCALE 1/4" = 1'-0"



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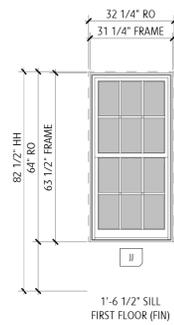
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NOTES:

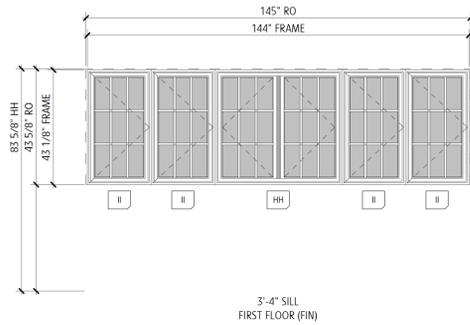
24x36 SHEETS -  
SCALE AS INDICATED

DOOR AND WINDOW SCHEDULES

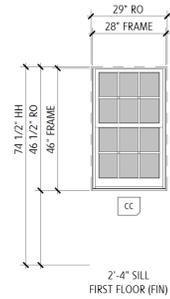
A5.1



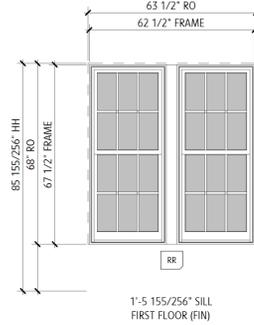
1 WINDOW JJ  
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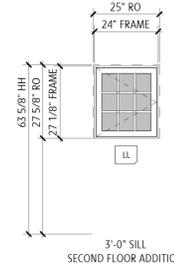
5 WINDOWS II & HH  
A5.1 SCALE 3/8" = 1'-0"



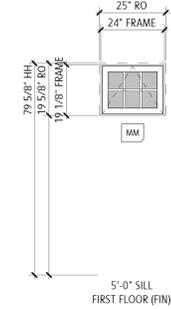
2 WINDOW CC  
A5.1 SCALE 3/8" = 1'-0"



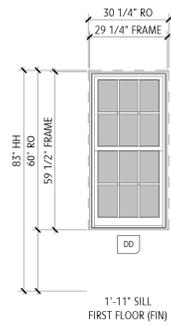
4 WINDOW RR  
A5.1 SCALE 3/8" = 1'-0"



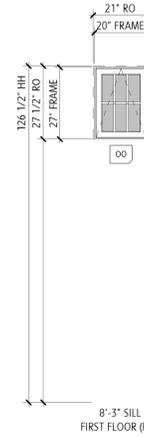
3 WINDOW LL  
A5.1 SCALE 3/8" = 1'-0"



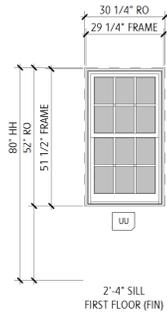
7 WINDOW MM  
A5.1 SCALE 3/8" = 1'-0"



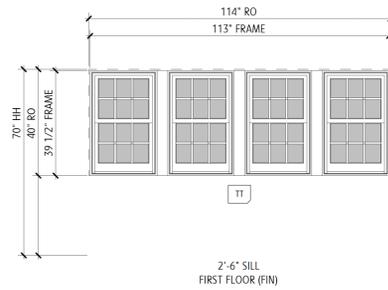
6 WINDOW DD  
A5.1 SCALE 3/8" = 1'-0"



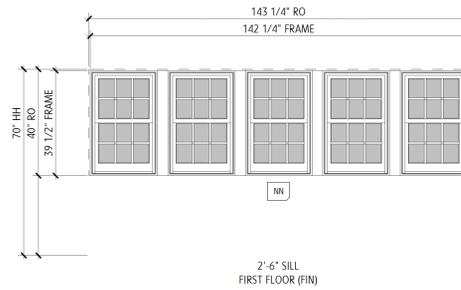
9 WINDOW OO  
A5.1 SCALE 3/8" = 1'-0"



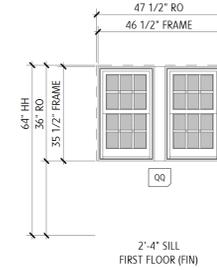
12 WINDOW UU  
A5.1 SCALE 3/8" = 1'-0"



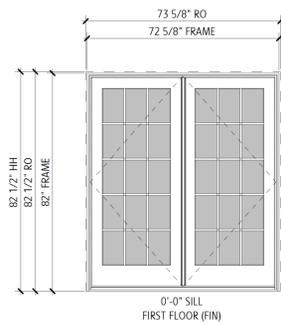
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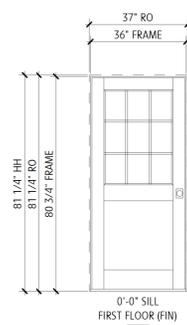
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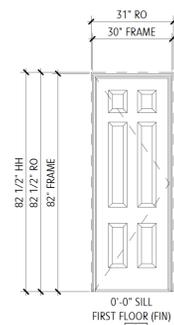
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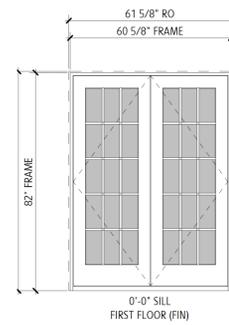
19 DOOR 4  
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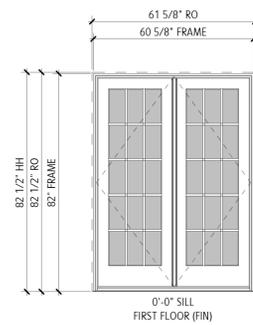
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A5.1 SCALE 3/8" = 1'-0"



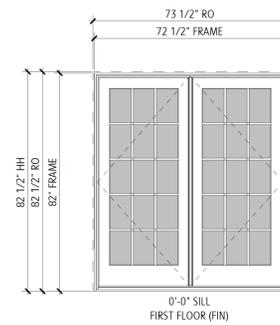
20 DOOR 7  
A5.1 SCALE 3/8" = 1'-0"



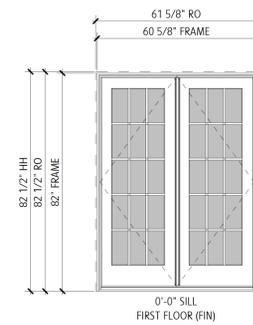
17 DOOR 15  
A5.1 SCALE 3/8" = 1'-0"



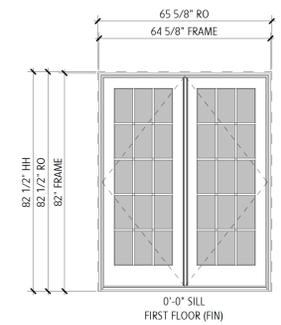
18 DOOR 16  
A5.1 SCALE 3/8" = 1'-0"



14 DOOR 17  
A5.1 SCALE 3/8" = 1'-0"



16 DOOR 20  
A5.1 SCALE 3/8" = 1'-0"



13 DOOR 21  
A5.1 SCALE 3/8" = 1'-0"



TOWN OF NANTUCKET  
HISTORIC DISTRICT COMMISSION

LIST OF PARTIES IN INTEREST IN THE MATTER OF THE PETITION OF:

PROPERTY OWNER..... Karin Byrne Miller & Leonard B. Miller  
MAILING ADDRESS..... 27 Devon Rd Chestnut Hill, MA 02467  
PROPERTY LOCATION..... 7 Greenleaf Rd Nantucket, MA 02554  
ASSESSORS MAP/PARCEL..... 39 / 31  
SUBMITTED BY:..... Christopher Hall Architects, Inc.

SEE ATTACHED PAGES

I certify that the foregoing is a list of persons who are owners of land directly adjacent to the subject property or directly opposite the subject property on any public or private street or way, all as they appear on the most recent applicable tax list.

5-13-2020

DATE

Digitally signed by Rob Ranney  
DN: cn=Rob Ranney, o=Town of Nantucket,  
ou=Assessor's Office, email=rranney@nantucket-  
ma.gov, c=US  
Date: 2020.05.13 08:00:45 -04'00'

ASSESSOR'S OFFICE  
TOWN OF NANTUCKET



## HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road

Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Fax: 508.228.7298

### NOTICE OF HDC APPLICATION

#### ABUTTERS AND INTERESTED PARTIES

Please be informed that the Nantucket Historic District Commission will be considering the following proposal:

Address of Proposed Work: 7 Greenleaf Rd, Nantucket, MA 02554

Tax Map Number: 39 Parcel Number: 31

Owner of Record: Leonard B. Miller, Karin Byrne Miller

Description of Proposal: Owners would like to construct a two-story 1,526 square foot addition with a porch and deck to an existing two-story 3,300 square foot residence built in 1979. Addition is to include a new kitchen, family room and master bedroom suite.

Anticipated HDC Submission Date: May 19th, 2020

You have been identified either as an abutter or interested party to the above property and are being notified in accordance with the Town Bylaw. Please note that the above submission date is an estimate only; the actual meeting date will be determined once the HDC staff has established that a complete application has been submitted. Please contact the HDC office to verify the date. Please note that notification is only required at the time of initial submission of an application, not for each time an application goes before the Commission. Abutters are responsible for monitoring the status of applications.

If you wish to comment on the above proposal, you are encouraged to submit your comments in writing to the HDC office. If you wish to testify at a Commission meeting please be aware that your testimony may be limited by the Commission in accordance with Commission policies, which are included on the back of this form. Due to the large sizes of most applications, the HDC office may not be able to send faxed copies of the plans. Off-island abutters wishing more detailed information may enlist an on-island representative to view the plans in the HDC office.

If you have any questions, please contact the HDC office at 508.325.7587.

## **HDC POLICIES FOR AN ABUTTER AND/OR INTERESTED PARTY TESTIMONY**

Abutters are encouraged to limit their responses to issues that fall within the statutory mandate of the HDC – mainly the appearance of a proposal from the publicly traveled way and its impact on the existing historic environmental context. Issues such as land uses, noise, and impacts on private property are outside of the HDC's purview and cannot be addressed by the Commission.

In order to maintain a balance between the wishes of abutters and interested parties to express their concerns and the need of the HDC to conduct its business in a timely fashion, the following policies have been established:

Abutters and interested parties wishing to testify before the Commission shall be limited to three minutes of testimony. Only one representative from each abutting property or interested party shall be permitted to testify.

For those cases in which a substantial number of abutters and/or interested parties wish to testify (as determined by the Chair), the Chair shall structure the review of an application as follows:

1. Introduction of the application;
2. Response by applicant;
3. Public comment in favor of proposal;
4. Public comment in opposition of proposal;
5. Closing of public comment-no further comment unless requested by Commission members through the Chair;
6. Commission comments and discussion with applicant;
7. Commission action.

The above meeting policies may be waived at the discretion of the Chair.



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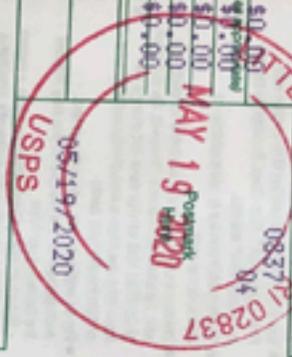
- Extra Services & Fees (check box, add fee \$) **\$0.00**
- Return Receipt (hardcopy) \$0.00
- Return Receipt (electronic) \$0.00
- Certified Mail Restricted Delivery \$0.00
- Adult Signature Required \$0.00
- Adult Signature Restricted Delivery \$0.00

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PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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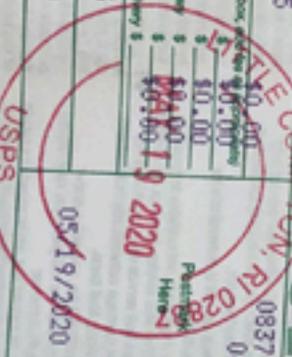
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- Adult Signature Required \$0.00
- Adult Signature Restricted Delivery \$0.00

Postage \$0.55  
 Total Postage and Fees \$4.10

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PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee \$3.55

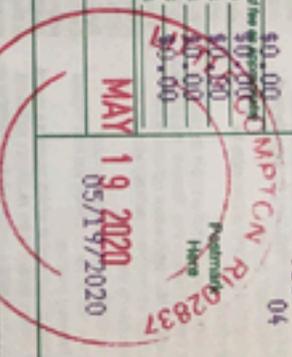
- Extra Services & Fees (check box, add fee \$) **\$0.00**
- Return Receipt (hardcopy) \$0.00
- Return Receipt (electronic) \$0.00
- Certified Mail Restricted Delivery \$0.00
- Adult Signature Required \$0.00
- Adult Signature Restricted Delivery \$0.00

Postage \$0.55  
 Total Postage and Fees \$4.10

Sent To \_\_\_\_\_  
 Street and Apt. No., or PO Box No. \_\_\_\_\_  
 City, State, ZIP+4® \_\_\_\_\_

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 2280 0001 6957 6496



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**OFFICIAL USE**

Certified Mail Fee \$3.55

- Extra Services & Fees (check box, add fee \$) **\$0.00**
- Return Receipt (hardcopy) \$0.00
- Return Receipt (electronic) \$0.00
- Certified Mail Restricted Delivery \$0.00
- Adult Signature Required \$0.00
- Adult Signature Restricted Delivery \$0.00

Postage \$0.55  
 Total Postage and Fees \$4.10

Sent To \_\_\_\_\_  
 Street and Apt. No., or PO Box No. \_\_\_\_\_  
 City, State, ZIP+4® \_\_\_\_\_

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7019 2280 0001 6957 6489



NANTUCKET TOWN OF  
16 BROAD ST  
NANTUCKET, MA 02554

WOLF RONALD D & LINDA S TR  
2550 N LAKEVIEW AV #S1401  
CHICAGO, IL 60614

NANTUCKET ISLANDS LAND BANK  
22 BROAD ST  
NANTUCKET, MA 02554

TOLSDORF RICHARD E & MEREDITH K  
P O BOX 531  
BOCA GRANDE, FL 33921

OLD B-12

view

Proposed HDC Minutes for May 26, 2020

5. Frank Ryan 05--0975 8 Kings Way Pool 41-277 Ahern, LLC

Voting Pohl, Coombs, McLaughlin, Camp, Welch  
 Alternates None  
 Recused Oliver – stepped out  
 Documentation Landscape design plans, site plan, and photos.  
 Representing Miroslava Ahern, Ahern Design, LLC  
 Public None  
 Concerns (7:34) Ahern – Presented project.  
 Camp – She'd like to view this; she's not sure where it is and if the pool will be visible.  
 Coombs – Agrees a view would be helpful.  
 Welch – He'd support a view. If the green granite is visible, it's a little too formal.  
 McLaughlin – The horizontal-rail fence is atypical for this area.  
 Pohl – Thinks the retaining wall will be visible from John Paul Road.

Motion Motion to View. (Camp)  
 Roll-call Vote Carried 5-0//McLaughlin-aye; Welch-aye; Camp-aye; Coombs-aye; Certificate #  
 Pohl-aye

6. Frank Ryan 05-0975 8 Kings Way Screened in Porch, spa, steps 41-277 Joe Olson

Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
 Alternates Welch  
 Recused None  
 Documentation Architectural elevation plans, site plan, and photos.  
 Representing Joe Olson  
 Public None  
 Concerns (7:47) Olson – Presented project; existing privet screens the whole area.  
 No concerns due to screening.

Motion Motion to Approve. (Camp)  
 Roll-call Vote Carried 5-0//Camp-aye; Oliver-aye; Coombs-aye; McLaughlin-aye; Certificate # HDC2020-05-0975  
 Pohl-aye

7. Mark Dowley 05-0976 31 North Pasture Lane Solar on pergola 49-78 ACK Smart

Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
 Alternates Welch  
 Recused None  
 Documentation Architectural elevation plans, site plan, photos, and manufacturer's spec sheet.  
 Representing Tobias Glidden, ACK Smart  
 Public None  
 Concerns (7:47) Glidden – Presented project; similarly done as to the Scallop Shed.  
 Camp – She supports this; the pergola is on the interior side of the property with a very shallow pitch.  
 Coombs – No concerns.  
 Oliver – No concerns.  
 McLaughlin – Feels this will be visible from Town-owned property to the south.  
 Pohl – He supports this.

Motion Motion to Approve. (Camp)  
 Roll-call Vote Carried 5-0//Coombs-aye; Oliver-aye; Camp-aye; McLaughlin-aye; Certificate # HDC2020-05-0976  
 Pohl-aye

8. Eric Rosenfeld 05-0974 57 Quidnet Road Roof top solar 21-89 ACK Smart

Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
 Alternates Welch  
 Recused None  
 Documentation Architectural elevation plans, site plan, photos, and manufacturer's spec sheet.  
 Representing Tobias Glidden, ACK Smart  
 Public None  
 Concerns (8:03) Glidden – Presented project; black on wood; the road east of the structure is a driveway, not a public way.  
 Oliver – This wasn't on the view list; she would like to view this. Suggested doing a pergola "thing" on the east elevation.  
 Camp – Wants to view this as well.  
 McLaughlin – Maybe we should view this.  
 Coombs – Wants to view as well.

Motion Motion to View. (Camp)  
 Roll-call Vote Carried 5-0//Camp-aye; Oliver-aye; McLaughlin-aye; Coombs-aye; Certificate #  
 Pohl-aye

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 411 PARCEL N°: 277  
Street & Number of Proposed Work: BLINOS WAY  
Owner of record: FRANK & MEUSSA RYAN  
Mailing Address: BLINOS WAY  
NANTUCKET, MA  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: AHREN LLC  
Mailing Address: 6 WINDY WAY  
NANTUCKET, MA  
Contact Phone #: 508-333-5130 E-mail: ahren@ahren.com

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District RI)  Roof  Other DECK @ GRADE  
Size of Structure or Addition: Length: 10' Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: 800 SF  1st floor  2nd floor  
Width: 9' Sq. Footage 2nd floor: \_\_\_\_\_ Size: 230 SF  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

**REVISIONS:**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_ (describe)  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

- 1. East Elevation
  - 2. South Elevation
  - 3. West Elevation
  - 4. North Elevation
- \*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: 4'-2"  
Type: WOOD WITH  
Length: ± 26 LF

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls YF GREEN GRANITE

\* Note: Complete door and window schedules are required. PATIO: GEORGIAN GRANITE PIPERS: GEORGIAN GRANITE

**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck @ GRADE: WOOD WITH Foundation \_\_\_\_\_ Fence CEDEAR WITH Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 05-15-20 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_



# Old Business

Proposed HDC Minutes for February 25, 2020

25. NBGC 02-0694                      67 Sparks Avenue                      Hardscaping                      55-139.4                      Edgewater

Voting                      Coombs, McLaughlin, Camp, Oliver  
 Alternates                      None  
 Recused                      Watterson  
 Documentation                      Landscape design plans, site plan, and photos.  
 Representing                      Matt MacEachern, Emeritus Development  
 Public                      None  
 Concerns (6:23)                      **MacEachern** – This lot for Boys & Girls Club staff housing; presented project.  
    **Oliver** – Privet along Sparks Avenue will formalize the area where we’re used to split rail and grass; privet should be in the back and side of the individual homes for privacy  
    **Camp** – Appreciates the privet because she doesn’t want to see the parked cars; 5-foot privet isn’t too bad. Likes the privacy it would provide and makes it a little more residential. Would like something less hard than geometric bluestone.  
    **McLaughlin** – The plan should be larger with all the information.  
    **Coombs** – The whole thing should be less formal across from the cemetery and school playing field. This would be the only place along the road so defined; that part of Sparks should not be so defined.

Motion                      **Motion to Hold for revisions. (Oliver)**  
 Vote                      Carried 4-0                      Certificate #

26. University of Florida 02-0703                      11 Center Street                      HVAC units                      42.3.1-203                      Marsha Fader

Voting                      Coombs, McLaughlin, Camp, Oliver, Watterson  
 Alternates                      None  
 Recused                      None  
 Documentation                      Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.  
 Representing                      Marsha Fader  
 Public                      None  
 Concerns (6:32)                      **Coombs** – Read HSAB comments: screen units cedar natural to weather. Read Holly Backus comments: visible and should blend in.  
    **Fader** – This is a condominium unit with other unscreened commercial HVAC units; presented project.  
    **Watterson** – This would benefit from an enclosure similar to the natural-to-weather cedar enclosure on Still Dock. The mini-split should look like a rain leader painted to match the cornerboard.  
    **Camp** – This is a beautiful building in the back and looks like a garbage pit back there. The condo association should take responsibility for cleaning up the back. We should send notices to other members of the condo association. The mini-split on the left should be boxed in to look like a cornerboard.  
    **Oliver** – The back is a mess and all the more reason this be screened, PIN is asking us to let them put A/C units in the back of their historic building in the OHD because there are unscreened units there. We need to deal with this building as a whole.  
    **McLaughlin** – HDC should send a letter to the other condo owners requiring them to screen their units with 4-foot capped picket fences. The wall duct should be painted white.  
    **Coombs** – Asked who’s responsible for the whole building. Action needs to take place at the back of the building to clean it up

Motion                      **Motion to Approve through staff with the duct work to be clad in natural-to-weather wood to match shingles and the unit to be screened by a natural-to-weather picket fence. (Camp)**  
 Vote                      Carried unanimously                      Certificate #                      **HDC2020-02-0703**

27. Lothian, Deborah 02-0746                      10 Easy Street                      Porous paver parking spots                      42.3.1-78                      Nantucket Surveyors

Voting                      Coombs, McLaughlin, Camp, Oliver, Watterson  
 Alternates                      None  
 Recused                      None  
 Documentation                      Landscape design plans, site plan, photos, correspondence, and advisory comments.  
 Representing                      Paul Santos, Nantucket Surveyors  
 Public                      None  
 Concerns (6:51)                      **Coombs** – Read HSAB comments: must use existing historical curb; picket return no concerns; no concerns about grass parking; fence is listed as stockade; parking no larger than for parcels 139.1 & 138. Read Holly Backus comments: material should be clear; apron appears to be existing; curb looks old; need more detail. Agrees the curbing should be old with soft edges; don’t want new-cut granite curb.  
    **Santos** – Presented project.  
    **McLaughlin** – Discrepancy in existing fence and fence in proposal; there is no stockade fence.  
    **Camp** – Needs more information on size and material; there’s not enough info to make good decision. Doesn’t want too much hardscaping. We need more details enlarged; we’ll probably want a buffer.  
    **Watterson** – Need a plan view showing exactly what is there and what the material will be.  
    **Oliver** – The existing walkway needs to be shown on the plan. Asked if any existing plants will be eliminated.

Motion                      **Motion to Hold for more information. (Camp)**  
 Vote                      Carried unanimously                      Certificate #

Break 7:07 p.m. to 7:10 p.m.

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.  
**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 42-3.1 PARCEL N°: 78  
Street & Number of Proposed Work: 10 Easy Street  
Owner of record: Deborah Xilken Lofthian and William R. J. Lofthian  
Mailing Address: PO Box 877, Nantucket, MA 02554  
Contact Phone #: 508-228-0976 E-mail: office@xilkenlofthian.com

#### AGENT INFORMATION (if applicable)

Name: Raul J. Santos, PLS - Nantucket Surveyors  
Mailing Address: PO Box 3627, Nantucket, MA 02584  
Contact Phone #: 508-228-0240 E-mail: psantos@nantucksurveyors.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\*: 1. East Elevation 9'x20' proposed parking spot  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation 7'x17' proposed parking spot  
Original Builder: \_\_\_\_\_ 3. West Elevation  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass \_\_\_\_\_ /12 Secondary Mass \_\_\_\_\_ /12 Dormer \_\_\_\_\_ /12 Other \_\_\_\_\_  
Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways Recas pavers Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

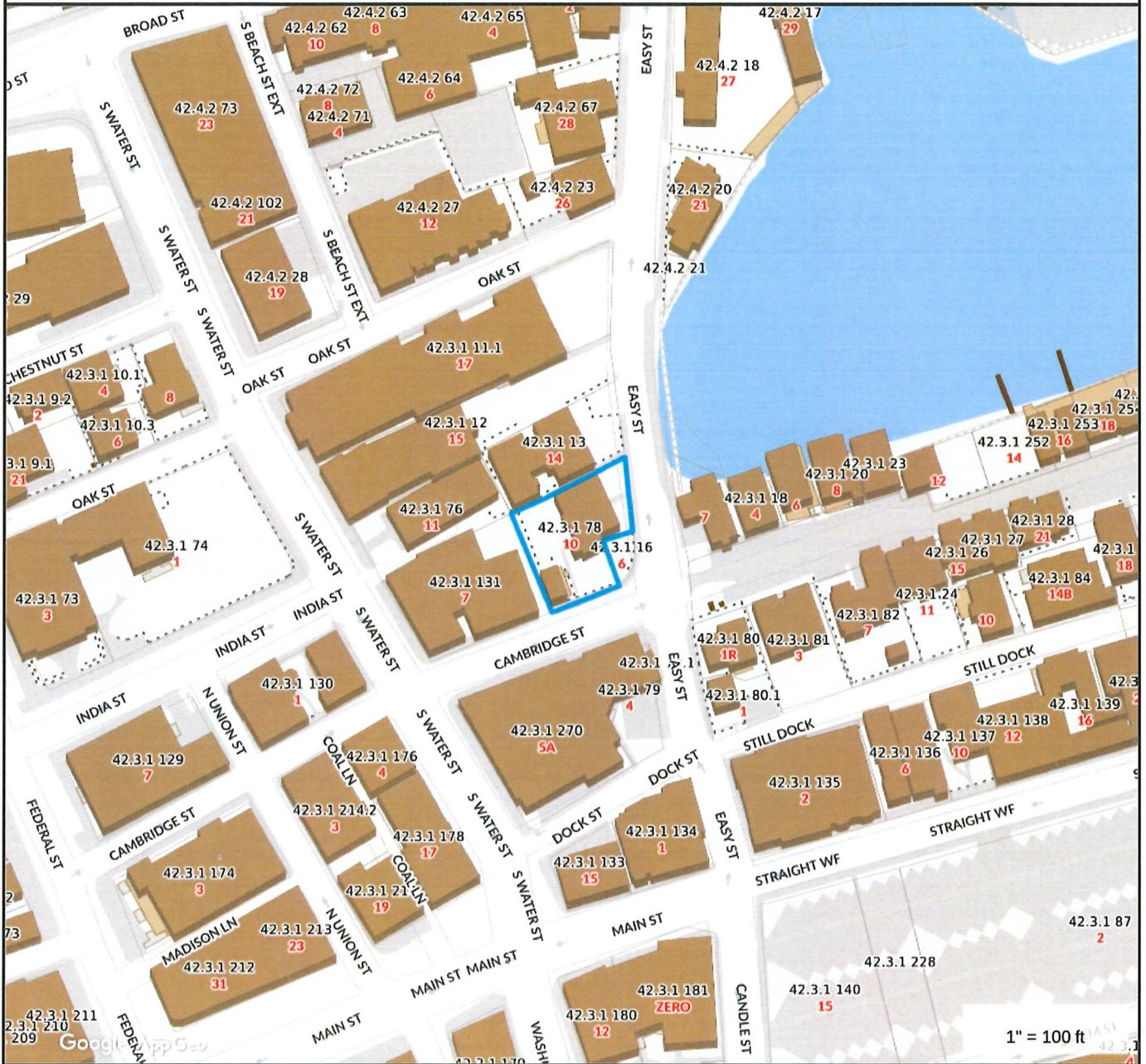
Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/14/2020 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury

### 10 East Street



**Property Information**

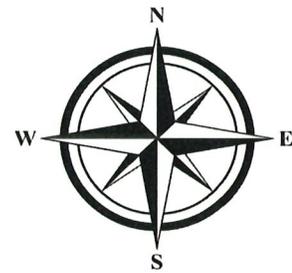
**Property ID** 42.3.1 78  
**Location** 10 EASY ST  
**Owner** LOTHIAN DEBORAH K & WILLIAM TRS



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018  
 Data updated 11/19/2018





**10 Easy Street, Nantucket, MA**  
**Applicant: Deborah Killen Lothian and William R.J. Lothian**



View of existing conditions in location of proposed curb cut and parking spots



View of Easy Street looking north with proposed curb cut and parking spots to the west



► Permeable Pavers ► EZ-Roll Grass Pavers

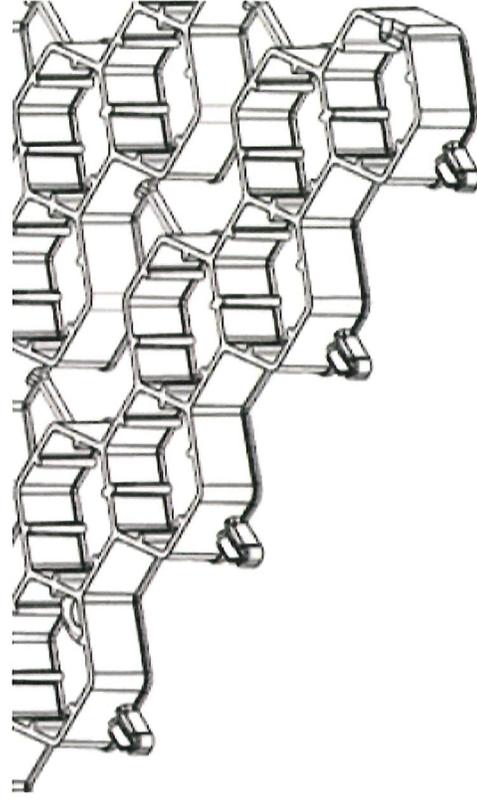
# EZ-Roll Grass Pavers

NDS EZ Roll is a turf reinforcement, load transferring paving system, available in easy-to-install pre-assembled rolls.

[View Products](#)

## Greatest Compressive Strength

NDS EZ Roll Grass Paver has been tested for compressive strength at 53,683 lbs. bare product, meaning that EZ Roll Grass Pavers does not rely on the fill material for load carrying. It's 25% stronger than the competition.

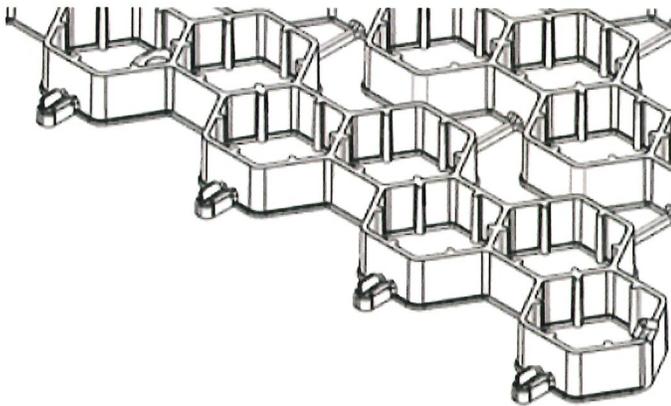




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NDS EZ Roll is a turf reinforcement, load transferring paving system, available in easy-to-install pre-assembled rolls.

[View Products](#)



### Greatest Compressive Strength

NDS EZ Roll Grass Paver has been tested for compressive strength at 53,683 lbs. bare product, meaning that EZ Roll Grass Pavers does not rely on the fill material for load carrying. It's 25% stronger than the competition.



### Fast Installation & Reduced Maintenance

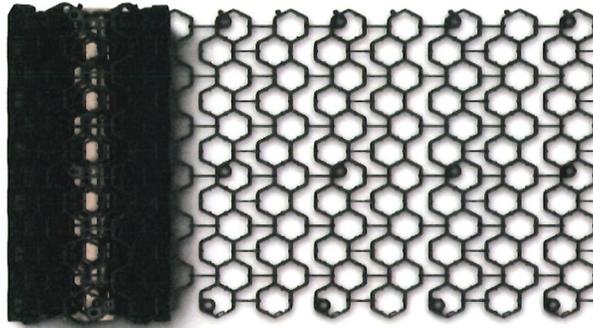
EZ Roll Grass Paver comes in pre-assembled rolls that are easy to roll out and include a quick connect locking system reducing installation time.

EZ Roll Grass Pavers are less expensive to maintain over time than traditional hardscaping and reduces demands put on landscape drainage systems.



Strong and Durable

**Compressive Strength  
(Empty Cells). 53,683 lbs.**



**Compressive Strength  
(Native Soil filled Pavers): 400,000 lbs.**



Easy-to-Install



Environmentally Friendly

## A Smart, Sustainable Solution

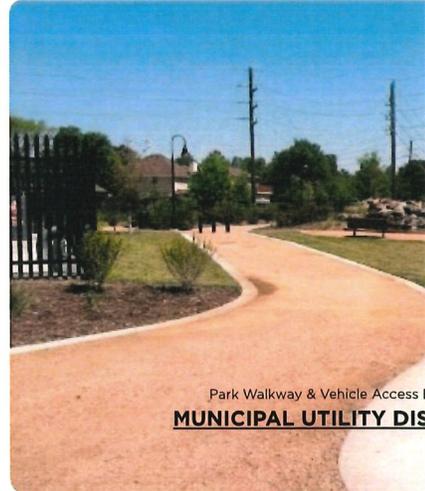
EZ Roll Grass Paving Systems are an alternative to traditional paving methods. EZ Roll Grass pervious paver solutions create a strong surface that can support heavy vehicles while allowing water to permeate the surface minimizing runoff.

**EZ Roll Grass Pavers are ideal for:**

- Golf Cart Paths
- Residential Driveways
- Parking Lots
- Roadway Shoulders
- Emergency vehicle or service access roads
- Erosion control on slopes and in swales



## Featured Projects



### EZ Roll™ Grass Pavers

EZ Roll Grass Pavers feature hexagonal cells that protect the root zone and prevent soil compaction, allowing healthy grass to thrive in areas that would traditionally have impervious hardscaping installed.



#### EZ Roll™ Grass Paver

Available in:

- 3.96 ft. x 24 ft. rolls/ 97 square feet total
- 3.96 ft. x 152 ft. rolls/601.6 square feet total

[View Product](#)

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

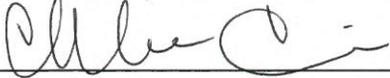
Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	<u>HDC case number:</u> (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 ½ x 11) copy of application</u>
	<u>Locus Map:</u> 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans:</u> 8 ½ x 11
	<u>Electronic Submission:</u> ALL documents <b>MUST BE</b> scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

**\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

### **Affidavit Certifying Completeness of Application**

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature:  Date: 5/27/20

**IV. OLD BUSINESS**

	<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1.	Sarah Alger Trust 02-0698	11 Squam Road	New dwelling	21-8	Rhett Dupont
Voting	Camp (acting chair), Oliver, Watterson				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, and correspondence.				
Representing	Bob Paladino				
Public	None				
Concerns (4:40)	<p><b>Paladino</b> – Reviewed changes made per previous concerns. A move/demo application for this property was approved with certification of the age; asked what he needs to submit for that. Doesn't want a formal door on a cottage; made it a Dutch door.</p> <p><b>Camp</b> – Would prefer the dormers move out to the side more to be symmetrical over the 1<sup>st</sup>-floor windows.</p> <p><b>Oliver</b> – It's not visible so has no concerns.</p> <p><b>Watterson</b> – Agrees with Ms. Oliver)</p>				
Motion	<b>Motion to Approve as submitted. (Oliver)</b>				
Roll-call Vote	Carried 3-0// Watterson-aye; Oliver-aye; Camp-aye			Certificate #	<b>HDC2020-02-0698</b>
2.	Jeanne Life	26 North Water Street	Hardscape	42.4.3-23	T. Hanlon Landscaping
Voting	Pohl, Camp, Watterson				
Alternates	None				
Recused	None				
Documentation	Landscape design plans, site plan, photos, and advisory comments.				
Representing	None				
Public	None				
Concerns (4:50)	<p><b>Pohl</b> – He pre-reviewed this application; it needed additional information, which was provided.</p> <p><b>Camp</b> – On the street side, suggested doubling up the private, which is a little thin. The moon gate is existing.</p> <p><b>Watterson</b> – He has no concerns.</p>				
Motion	<b>Motion to Approve with additional privet along the road. (Camp)</b>				
Roll-call Vote	Carried 3-0// Camp-aye; Watterson-aye; Pohl-aye			Certificate #	<b>73372</b>
3.	Deborah Lothian 02-0746	10 Easy Street	Hardscape	42.3.1-78	Nantucket Surveyors
Voting	Camp (acting chair), Oliver, Watterson				
Alternates	None				
Recused	None				
Documentation	Landscape design plans, site plan, photos, and advisory comments.				
Representing	Paul Santos, Nantucket Surveyors				
Public	Jessie Dutra (not sitting, not voting member)				
Concerns (4:54)	<p><b>Santos</b> – Reviewed changes made per previous concerns; parking area will be grass pavers and only the walkway to be brick. He'll run the fence toward the building and add plants; doesn't think a gate will work here due to lack of room for it to swing. This was reviewed by the Conservation Commission; this is all filled tidelands and in the flood zone so the material needs to be pervious.</p> <p><b>Oliver</b> – On the abutting property there was a lot of concern about the amount of paving and holding them to more plantings; doesn't want this site to be overly paved. Suggested a gate that matches the fence. Doesn't like Mr. Dutra's suggestion.</p> <p><b>Watterson</b> – Suggested 2-inch antique bluestone edging around the parking area to define it as other than a garden.</p> <p><b>Camp</b> – Where the curb turns, suggested planting a bush inside the fence to soften it. likes the idea of an old-fashioned curbcut with cobble and grass. Asked Mr. Dutra for options.</p> <p><b>Dutra</b> – There are a lot of options; agrees some kind of definition of parking would be more appropriate in Town. Suggested paving in cobble or brick and top that with seeded topsoil; the grass will grow in between the stones. A grass strip in the middle would give it more a grassy look that blends with the lawn.</p> <p>Discussion about the paver material for the driveway.</p>				
Motion	<b>Motion to Hold for revisions. (Watterson)</b>				
Roll-call Vote	Carried 3-0// Watterson-aye; Oliver-aye; Camp-aye			Certificate #	

25. NBGC 02-0694	67 Sparks Avenue	Hardscaping	55-139.4	Edgewater
Voting	Coombs, McLaughlin, Camp, Oliver			
Alternates	None			
Recused	Watterson			
Documentation	Landscape design plans, site plan, and photos.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (6:23)	<p><b>MacEachern</b> – This lot for Boys &amp; Girls Club staff housing; presented project.</p> <p><b>Oliver</b> – Privet along Sparks Avenue will formalize the area where we’re used to split rail and grass; privet should be in the back and side of the individual homes for privacy</p> <p><b>Camp</b> – Appreciates the privet because she doesn’t want to see the parked cars; 5-foot privet isn’t too bad. Likes the privacy it would provide and makes it a little more residential. Would like something less hard than geometric bluestone.</p> <p><b>McLaughlin</b> – The plan should be larger with all the information.</p> <p><b>Coombs</b> – The whole thing should be less formal across from the cemetery and school playing field. This would be the only place along the road so defined; that part of Sparks should not be so defined.</p>			
Motion	<b>Motion to Hold for revisions. (Oliver)</b>			
Vote	Carried 4-0	Certificate #		
26. University of Florida 02-0703	11 Center Street	HVAC units	42.3.1-203	Marsha Fader
Voting	Coombs, McLaughlin, Camp, Oliver, Watterson			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.			
Representing	Marsha Fader			
Public	None			
Concerns (6:32)	<p><b>Coombs</b> – Read HSAB comments: screen units cedar natural to weather. Read Holly Backus comments: visible and should blend in.</p> <p><b>Fader</b> – This is a condominium unit with other unscreened commercial HVAC units; presented project.</p> <p><b>Watterson</b> – This would benefit from an enclosure similar to the natural-to-weather cedar enclosure on Still Dock. The mini-split should look like a rain leader painted to match the cornerboard.</p> <p><b>Camp</b> – This is a beautiful building in the back and looks like a garbage pit back there. The condo association should take responsibility for cleaning up the back. We should send notices to other members of the condo association. The mini-split on the left should be boxed in to look like a cornerboard.</p> <p><b>Oliver</b> – The back is a mess and all the more reason this be screened, PIN is asking us to let them put A/C units in the back of their historic building in the OHD because there are unscreened units there. We need to deal with this building as a whole.</p> <p><b>McLaughlin</b> – HDC should send a letter to the other condo owners requiring them to screen their units with 4-foot capped picket fences. The wall duct should be painted white.</p> <p><b>Coombs</b> – Asked who’s responsible for the whole building. Action needs to take place at the back of the building to clean it up</p>			
Motion	<b>Motion to Approve through staff with the duct work to be clad in natural-to-weather wood to match shingles and the unit to be screened by a natural-to-weather picket fence. (Camp)</b>			
Vote	Carried unanimously	Certificate #	HDC2020-02-0703	
27. Lothian, Deborah 02-0746	10 Easy Street	Porous paver parking spots	42.3.1-78	Nantucket Surveyors
Voting	Coombs, McLaughlin, Camp, Oliver, Watterson			
Alternates	None			
Recused	None			
Documentation	Landscape design plans, site plan, photos, correspondence, and advisory comments.			
Representing	Paul Santos, Nantucket Surveyors			
Public	None			
Concerns (6:51)	<p><b>Coombs</b> – Read HSAB comments: must use existing historical curb; picket return no concerns; no concerns about grass parking; fence is listed as stockade; parking no larger than for parcels 139.1 &amp; 138. Read Holly Backus comments: material should be clear; apron appears to be existing; curb looks old; need more detail. Agrees the curbing should be old with soft edges; don’t want new-cut granite curb.</p> <p><b>Santos</b> – Presented project.</p> <p><b>McLaughlin</b> – Discrepancy in existing fence and fence in proposal; there is no stockade fence.</p> <p><b>Camp</b> – Needs more information on size and material; there’s not enough info to make good decision. Doesn’t want too much hardscaping. We need more details enlarged; we’ll probably want a buffer.</p> <p><b>Watterson</b> – Need a plan view showing exactly what is there and what the material will be.</p> <p><b>Oliver</b> – The existing walkway needs to be shown on the plan. Asked if any existing plants will be eliminated.</p>			
Motion	<b>Motion to Hold for more information. (Camp)</b>			
Vote	Carried unanimously	Certificate #		

Break 7:07 p.m. to 7:10 p.m.

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 42.3.1 PARCEL N°: 78

Street & Number of Proposed Work: 10 Easy Street

Owner of record: Deborah Kellen Lofthian and William R. J. Lofthian

Mailing Address: PO Box 877, Nantucket, MA 02554

Contact Phone #: 508-228-0976 E-mail: office@kellensrealstate.com

**AGENT INFORMATION (if applicable)**

Name: Paul J. Santos, PLS - Nantucket Surveyors

Mailing Address: PO Box 3627, Nantucket, MA 02584

Contact Phone #: 508-228-0240 E-mail: psantos@nantucketsurveyors.com

FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Must be acted on by: \_\_\_\_\_

Extended to: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)
- Roof
- Other \_\_\_\_\_

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_

Original Date: \_\_\_\_\_

Original Builder: \_\_\_\_\_

Is there an HDC survey form for this building attached?  Yes  N/A

**REVISIONS:**

1. East Elevation 9' x 20' proposed parking spot
2. South Elevation 7' x 17' proposed parking spot
3. West Elevation
4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

**Leaders (material and size):**

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways Grass pavers Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_

Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_

Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

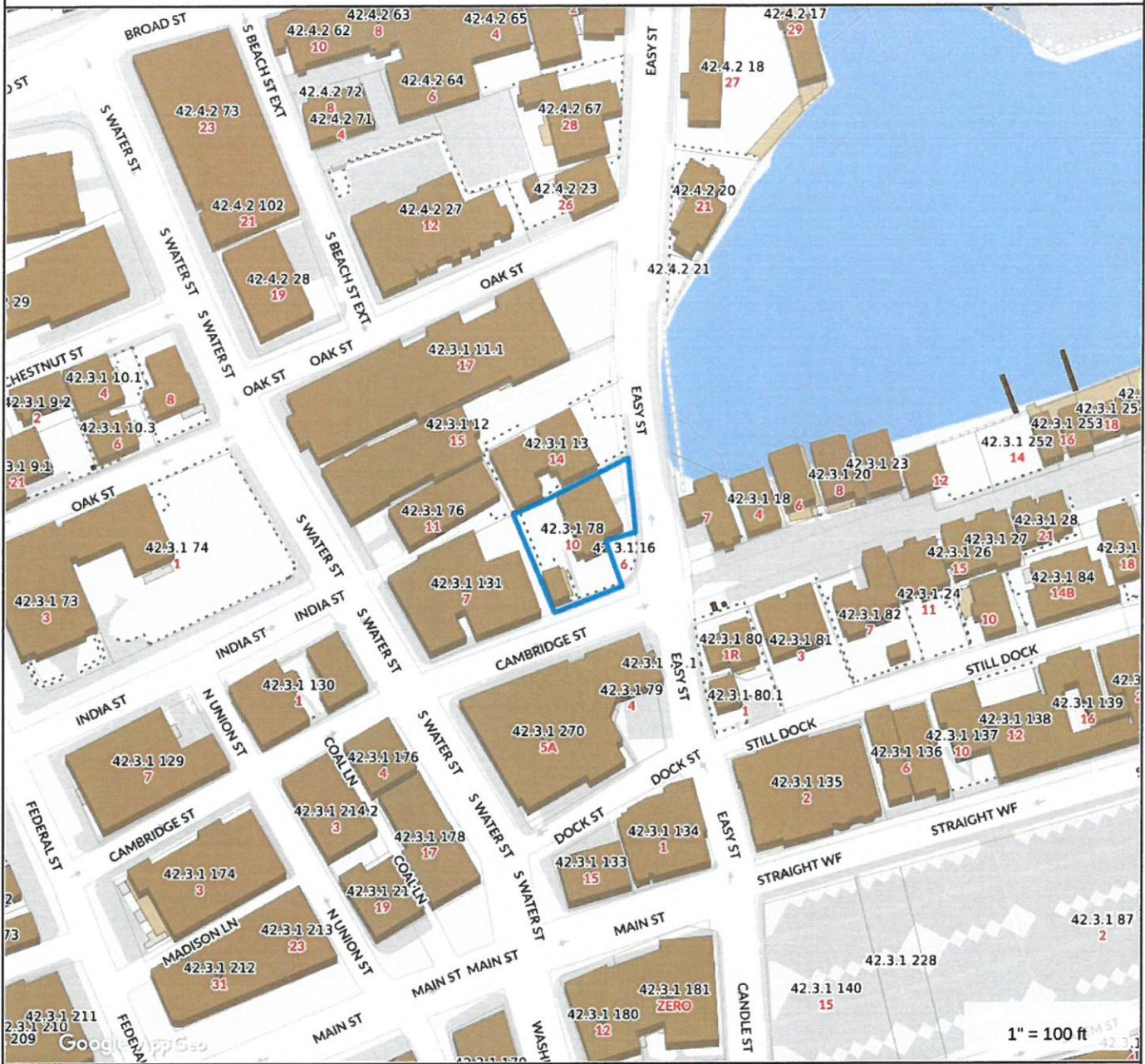
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/19/2020

Signature of owner of record \_\_\_\_\_

Signed under penalties of perjury \_\_\_\_\_

# 10 East Street



Property Information	
<b>Property ID</b>	42.3.1 78
<b>Location</b>	10 EASY ST
<b>Owner</b>	LOTHIAN DEBORAH K & WILLIAM TRS

  
**MAP FOR REFERENCE ONLY**  
**NOT A LEGAL DOCUMENT**  
 Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.  
 Geometry updated 11/13/2018  
 Data updated 11/19/2018





TYPE II FENCE RETURN DETAIL



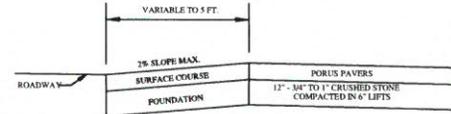
ORIGINAL OPTION 1



OPTION 2

GRASS PAVERS DETAIL

BENCHMARK  
NAIL IN BULKHEAD  
ELEV. 6.31  
DATUM NAVD 88



- NOTES:
- SECTION A-A
1. THE DIMENSIONS SHOWN AT ROADWAY EDGE ARE FIXED DISTANCES.
  2. RAMP CROSS SECTION TO BE SAME AS ADJACENT SIDEWALK i.e. DEPTH OF SURFACE AND FOUNDATION.
  3. REUSE EXISTING BRICKS TO REBUILD SIDEWALK AFTER CURB CUT
  4. SIDEWALKS THAT CROSS DRIVEWAYS SHALL BE RAMPED TO MEET THE GRADE OF DRIVEWAY
  - \* THESE DIMENSIONS ARE SUBJECT TO CHANGE IN THE FIELD IF EXISTING APPURTENANCES OR CONDITIONS WILL MAKE THE RAMP LOCATIONS IMPRACTICAL OR UNSAFE.

MERIDIAN: L.C. PLAN NO. 8787-A

N/F  
14 EASY STREET LLC  
42.3.1-13

N/F  
NIR RETAIL LLC  
42.3.1/76

LOTS B&C  
L.C.PL.#8787-A  
LOT D-1  
L.C.PL.#8787-B  
AREA=4,590±S.F.

N/F  
FC MAC CORPORATION, ET AL  
EM MAC CORPORATION, ET AL  
CAMBRIDGE TWO MC, ET AL  
JG MAC CORPORATION, ET AL  
42.3.1-131

- LEGEND**
- 4- EXISTING CONTOUR
  - 4- PROPOSED CONTOUR
  - x4.06 EXISTING SPOT GRADE
  - x4.06 PROPOSED SPOT GRADE
  - SYL SOLID YELLOW LINE
  - BC BOTTOM OF CURB
  - TC BOTTOM OF CURB
  - WM WATER METER
  - CSO CURB SHUT OFF
  - ICV IRRIGATION CONTROL VALVE

CURRENT ZONING: CDT  
MINIMUM LOT SIZE: 3,750 S.F.  
MINIMUM FRONTAGE: 35'  
FRONTIARY SETBACK: NONE  
SIDE AND REAR SETBACK: NONE/S'  
ALLOWABLE G.C.R.: 75%

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE PREMISES SHOWN ON THIS PLAN IS LOCATED WITHIN ZONE "AE" (EL. 9) AS DELINEATED ON "FIRM" MAP NO. 25019C0008; EFFECTIVE DATE: JUNE 9, 2014 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

FOR PROPERTY LINE DETERMINATION THIS PLOT PLAN RELIES ON CURRENT DEEDS AND PLANS OF RECORD, VERIFIED BY FIELD MEASUREMENTS AS SHOWN HEREON. THIS PLAN IS NOT REPRESENTED TO BE A TITLE EXAMINATION OR A RECORDABLE SURVEY.

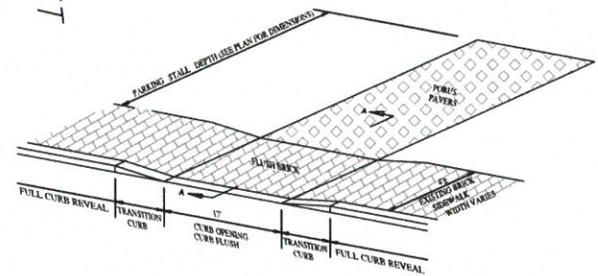
N.B. 435/20

CAMBRIDGE STREET  
(A/K/A OLD NORTH WHARF)  
(PUBLIC-1799 ROAD)



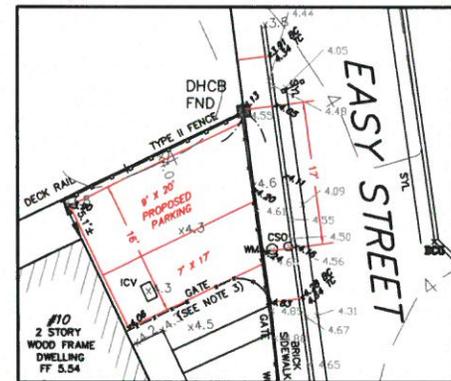
EASY STREET  
(PUBLIC-35.00' WIDE)  
(TAKING DR. Bk. 151, PLAN NO. 105)  
CAMBRIDGE STREET  
(A/K/A OLD NORTH WHARF)  
(PUBLIC-1799 ROAD)

NANTUCKET HARBOR



CURB CUT/SIDEWALK DETAIL  
N.T.S.

- GENERAL NOTES:**
- 1) WATER METER AND CURB SHUT OFF VALVE SHALL BE ADJUSTED VERTICALLY DURING THE TIME OF CURB CUT OPENING AND SIDEWALK CONSTRUCTION.
  - 2) REUSE EXISTING CURBING AS APPLICABLE
  - 3) PROVIDE TYPE II FENCE RETURN AS DEPICTED
- PERMIT NOTES:**
- 1) SEE ORDER OF CONDITIONS SE48-2627, L.C. DOC #143956
  - 2) SEE ORDER OF CONDITIONS SE48-3284, L.C. DOC #164754



CURB CUT/SIDEWALK GRADING DETAIL  
N.T.S.

SITE PLAN TO ACCOMPANY A NOTICE OF INTENT #10 EASY STREET IN NANTUCKET, MASSACHUSETTS  
SCALE: 1"=10'  
DATE: 1/31/2020  
REVISED 2/7/2020 DPW PERMIT DETAIL  
REVISED 3/10/2020 HDC/HSAB COMMENTS ADDRESSED  
REVISED 5/27/2020 CH. 91/HDC UPDATES  
DEED REFERENCE: L.C.C. NO. 19754  
PLAN REFERENCE: L.C. PLAN NO. 8787-A  
ASSESSOR'S REFERENCE: MAP: 42.3.1 PARCEL: 78

PREPARED FOR:  
DEBORAH KILLEN LOTHIAN & WILLIAM R.J. LOTHIAN, TRUSTEES OF TEN EASY STREET NOMINEE TRUST

NANTUCKET SURVEYORS LLC  
5 WINDY WAY  
NANTUCKET, MA. 02554

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 1/2 x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 1/2 x 11
	<u>Electronic Submission</u> : ALL documents <b>MUST BE</b> scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

**\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

### **Affidavit Certifying Completeness of Application**

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

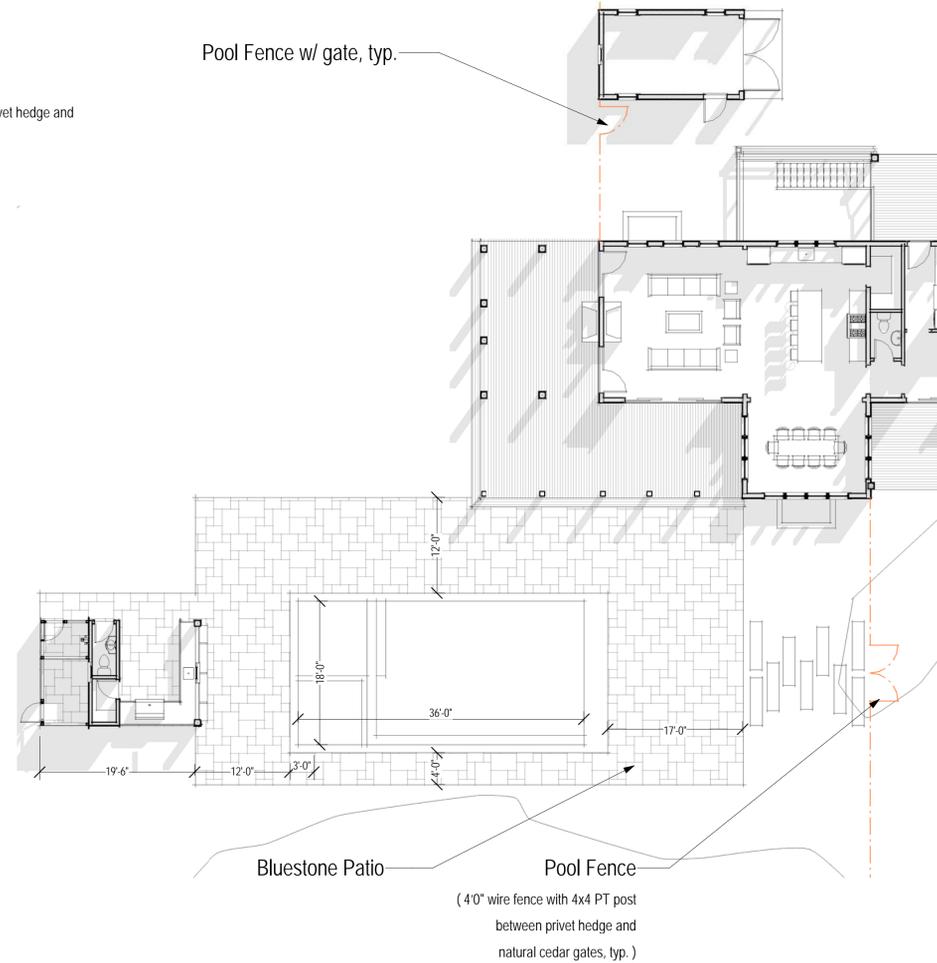
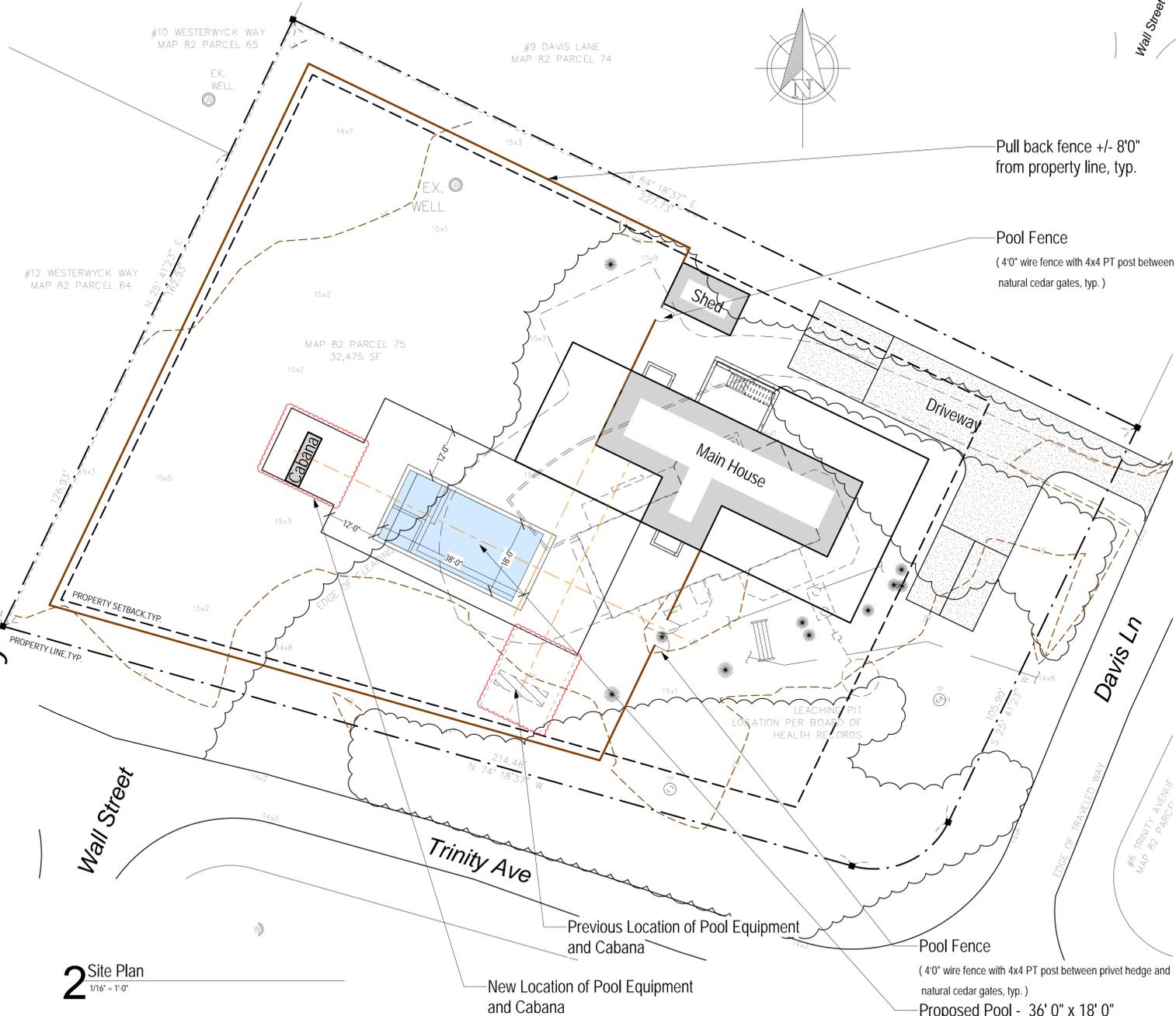
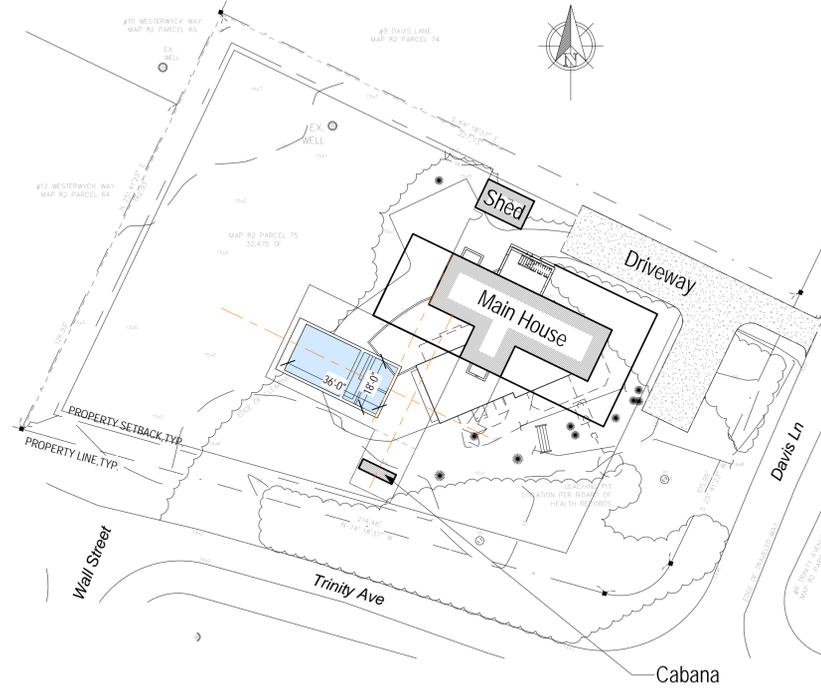
Signature: Anton Dimov Date: \_\_\_\_\_

# New Pool

11 Davis Ln  
Nantucket, MA 02554

05.21.20

HDC Submission Only



2004

New Pool

11 Davis Ln  
Nantucket, MA 02554



Site Plan

### Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
Allowable G.C.:	-----
Existing G.C.:	-----
Proposed G.C.:	n/a
Total Proposed G.C.:	-----

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX  
G.1.2 Site Plan

Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.  
DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

G.1.2  
2004

6. 11 Davis Ln, LLC 03-0798 11 Davis Lane Pool 82-75 Emeritus

Voting Welch (acting Chair), McLaughlin, Oliver  
 Alternates None  
 Recused None  
 Documentation Landscape design plans, site plan, correspondence, and photos.  
 Representing Matt MacEachern, Emeritus Development  
 Mark Norris, owner  
 Public Matthew Erisman, 2 Wall Street  
 Concerns (6:42) **Pohl** – Read letters of concern from Matt Erisman and Betsy Erisman at 4 Wall Street: pool, cabana, wet bar, and shed; location of pool and ancillary structures in proximity to Trinity Avenue; visibility from a public way.  
**Welch** – Our purview is what’s visible from a publicly traveled way and sense of place. Asked commissioners to focus on those relevant matters.  
**MacEachern** – Reviewed changes made per previous concerns; pools and ancillary structures are allowed by right.  
**Norris** – We would like to have a pool like two of our neighbors on Westerwyck and Trinity.  
**Erisman** – 12 Westerwyck received 20 letters in opposition when they applied for the pool. The lot is not oversized relative to the neighborhood. There is no high vegetation in the neighborhood, and the owner clear-cut to within 10 feet of the road. The cabana looks small but is actually very large with an outdoor shower and pool equipment right on Trinity Avenue; the other side has a bar and bathrooms. There is no reason the pool and cabana have to be pushed up against Trinity Avenue. In the past, the HDC has stood up in opposition to pools and cabanas on the road.  
**Welch** – We had asked for a landscape plan with screening for the pool to determine if it is appropriate; he doesn’t see that in the packet.  
**MacEachern** – He will check on that but doesn’t think the commissioners have it.  
**Oliver** – She doesn’t believe pools belong in Cisco. We went through a huge process with the pool next door and it was very clear the pool had to be screened and not with privet. The screening needs to be a natural vegetation; the final approved screening plan is effective. There is space to move this away from the road. The cabana needs to move; it’s a large open structure with pillars and a roof. It should be minimal, and the shed combined with the cabana. Cisco has this character and keeping the character of the area is part of HDC’s charge; the area will become more formal.  
**McLaughlin** – Since 1980, the popularity of trophy houses and pools have increased; agrees with Mr. M. Erisman’s comments about the historic character of the area.  
**Coombs** – Pools don’t fit into the semi-wild area of Cisco, and due to the salty winds, it is difficult for anything other than native plants to grow there.  
**Welch** – He agrees that sense of place is important; along those line, the privet hedge around the perimeter is out of context. A landscape plan is required to make a determination. This would benefit by pulling the pool and cabana north and west. The pool itself appears a little large.

Motion **Motion to Hold for revisions and a landscape plan. (McLaughlin)**  
 Roll-call Vote Carried 3-0//Oliver-aye; McLaughlin-aye; Welch-aye Certificate #

7. 11 Davis Ln, LLC 03-0803 11 Davis Lane Cabana 82-75 Emeritus

Voting Welch (acting Chair), McLaughlin, Oliver  
 Alternates None  
 Recused None  
 Documentation Architectural elevation plans, site plan, correspondence, and photos.  
 Representing Matt MacEachern, Emeritus Development  
 Mark Norris, owner  
 Public Matthew Erisman, 2 Wall Street  
 Concerns (7:11) **MacEachern** – Reviewed changes made per previous concerns; location of these structures is related to their proximity to the living area of the house; landscaping will screen all, but the enclosed portion of the cabana, from visibility.  
**Oliver** – This is unnecessary and inappropriate; the big roof draws attention to it.  
**McLaughlin** – North and south elevations, confirmed the 4-light gable windows will be fixed.  
**Welch** – Appreciates the changes. The structure is too tall, and the door looks to be 7’6”, which follows up the vocabulary of the main structure. Loose some height. The structures wouldn’t be objectionable if it were smaller. We really need to have, in each drawing, a 6-foot tall by 1-foot wide rectangular scale gauge, so we have a better sense of scale.  
**Oliver** – In her view this requires major revisions and resiting the pool and cabana.

Motion **Motion to Hold for revisions and a scale gauge on the drawings. (McLaughlin)**  
 Roll-call Vote Carried 3-0//Oliver-aye; McLaughlin-aye; Welch-aye Certificate #

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 82 PARCEL N°: 75  
 Street & Number of Proposed Work: 11 DAVIS LN  
 Owner of record: 11 DAVIS LLC  
 Mailing Address: 11 DAVIS LN  
Nantucket, MA, 02554  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: EMERENTUS  
 Mailing Address: 8 Williams Ln,  
Nantucket, MA, 02554  
 Contact Phone #: 508 325 4995 E-mail: nat@emerentus-developments.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

POOL

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District: UG-2)  Roof  Other: New Pool 36' x 18' & fence  
 Size of Structure or Addition: Length: 36'0" Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 18'0" Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_ (describe)  
 Original Builder: \_\_\_\_\_  
 Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

Fence: Height: 4'0"  
 Type: wire fence w/ 4x4 posts  
 Length: ± 52'

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
 Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
 Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence NANTAC Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 03/04/20

Signature of owner of record \_\_\_\_\_

Signed under penalty of perjury \_\_\_\_\_

# *New Pool*

11 Davis Ln

Nantucket, MA 02554

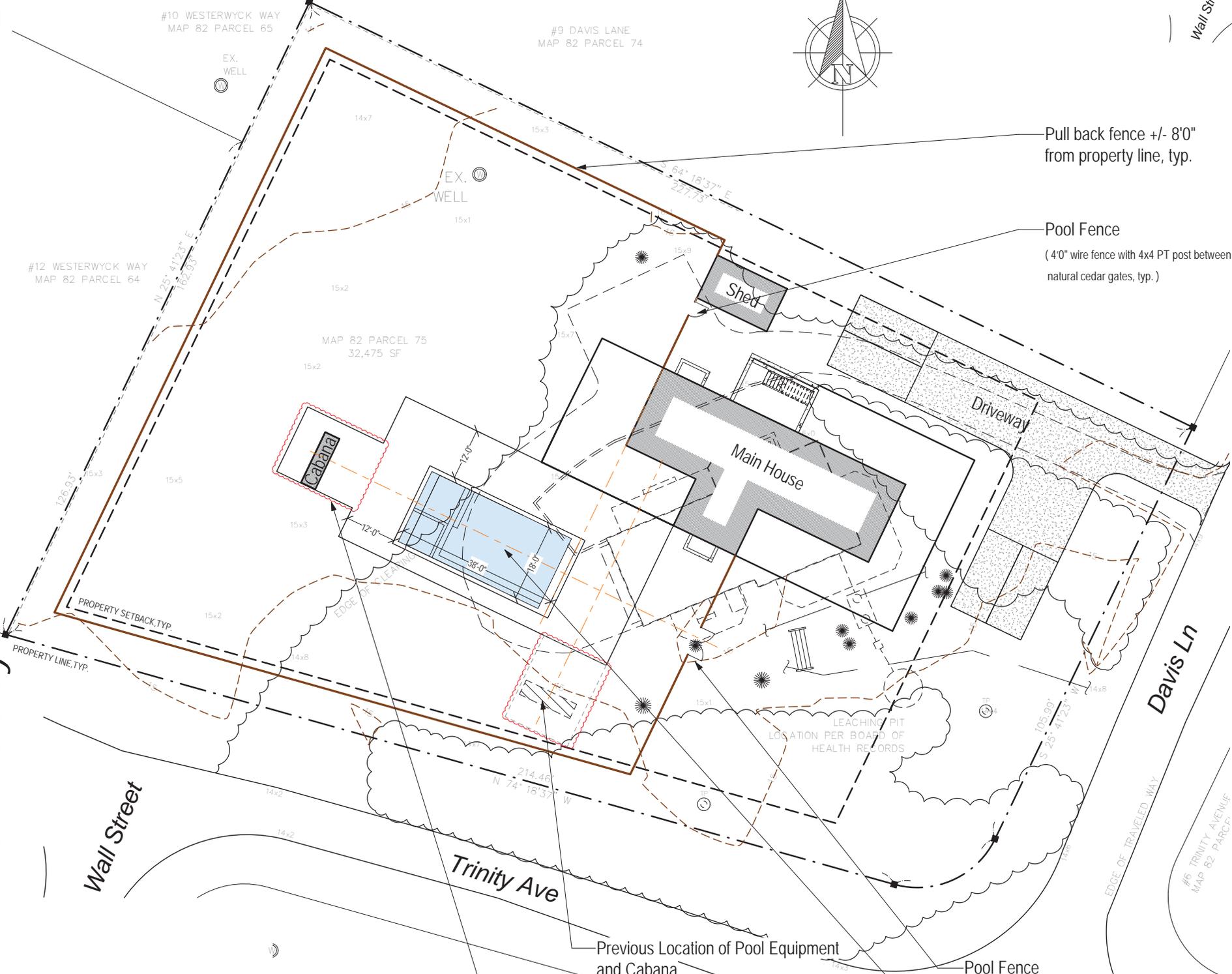
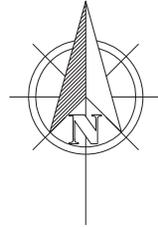


#10 WESTERWYCK WAY  
MAP 82 PARCEL 65

#9 DAVIS LANE  
MAP 82 PARCEL 74

#12 WESTERWYCK WAY  
MAP 82 PARCEL 64

MAP 82 PARCEL 75  
32,475 SF



Pull back fence +/- 8'0"  
from property line, typ.

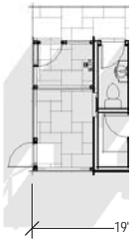
Pool Fence  
(4'0" wire fence with 4x4 PT post between privet hedge and  
natural cedar gates, typ.)

Pool Fence  
(4'0" wire fence with 4x4 PT post between privet hedge and  
natural cedar gates, typ.)

Proposed Pool - 36'0" x 18'0"

Previous Location of Pool Equipment  
and Cabana

New Location of Pool Equipment  
and Cabana



**2** Site Plan  
1/16" = 1'-0"

Wall Street

Trinity Ave

Davis Ln

#6 TRINITY AVENUE  
MAP 82 PARCEL 7

PROPERTY LINE, TYP.

PROPERTY SETBACK, TYP.

EDGE OF LEACHING PIT

EDGE OF TRAVELED WAY

LEACHING PIT  
LOCATION PER BOARD OF  
HEALTH RECORDS

Shed

Main House

Cabana

Driveway

EX. WELL

EX. WELL

EX. WELL

EX. WELL

EX. WELL

EX. WELL

14x7

15x3

15x1

15x2

15x2

15x3

15x3

15x2

14x8

15x3

14x2

14x2

15x9

15x7

15x7

12'0"

12'0"

36'0"

18'0"

14x8

15x1

214.46'

14x2

14x2

14x2

14x2

14x2

14x2

S 64° 18'37" E  
227.73'

N 23° 41'23" E  
162.87'0"

126.93'

15x3

15x3

15x3

15x3

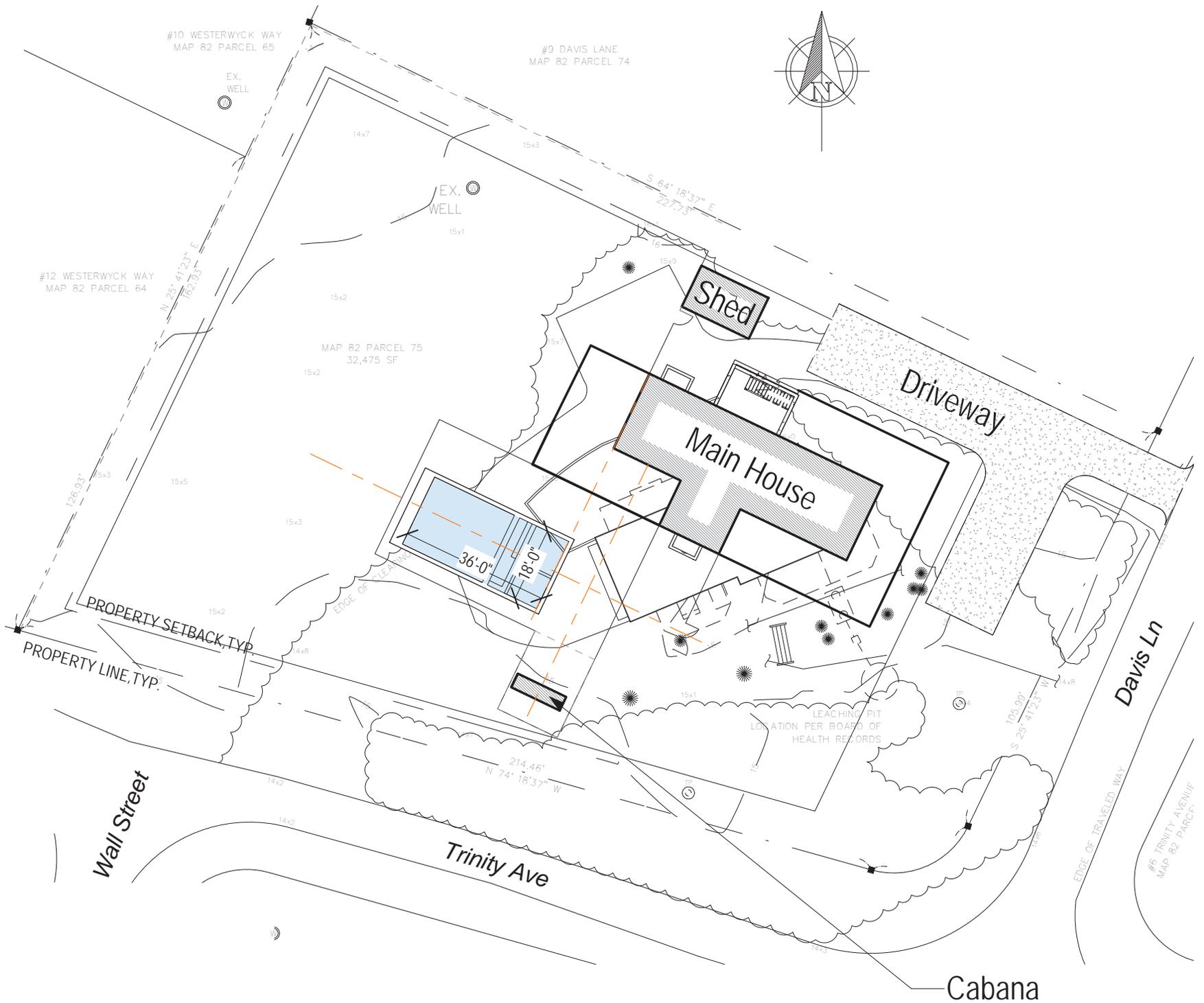
15x3

15x3

15x3

N 74° 18'3" W  
214.46'

S 25° 41'23" W  
105.99'



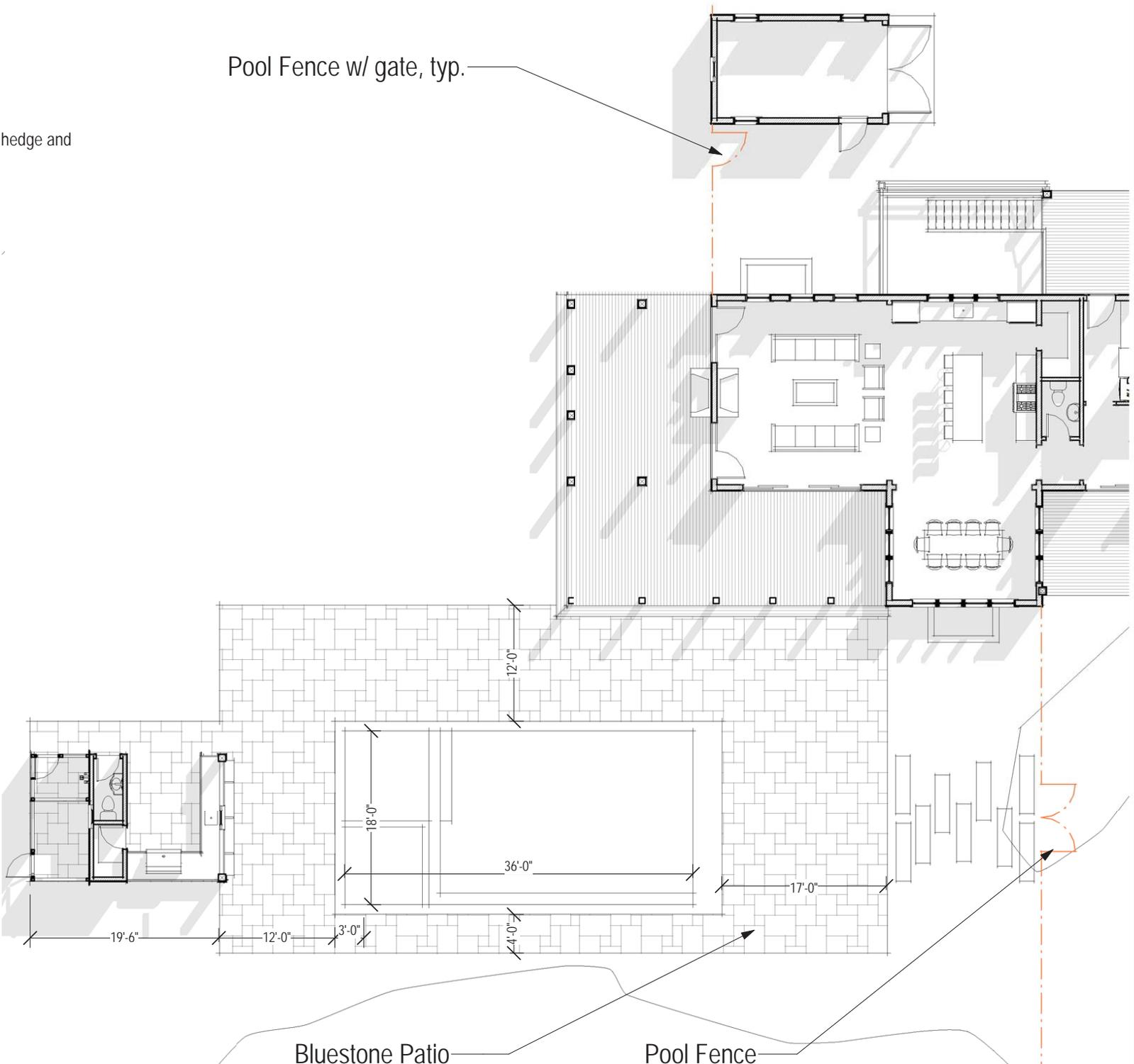
ce +/- 8'0"  
line, typ.

# 4 Previously Submitted Site Plan

1" = 30'-0"

hedge and

Pool Fence w/ gate, typ.



Bluestone Patio

Pool Fence

( 4'0" wire fence with 4x4 PT post  
between privet hedge and  
natural cedar gates, typ. )

### 3 First Floor Plan

3/32" = 1'-0"

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 1/2 x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 1/2 x 11
	<u>Electronic Submission</u> : ALL documents <b>MUST BE</b> scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

**\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

### **Affidavit Certifying Completeness of Application**

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: Anton Dimov Date: \_\_\_\_\_

6. 11 Davis Ln, LLC 03-0798      11 Davis Lane      Pool      82-75      Emeritus

Voting      Welch (acting Chair), McLaughlin, Oliver  
 Alternates      None  
 Recused      None  
 Documentation      Landscape design plans, site plan, correspondence, and photos.  
 Representing      Matt MacEachern, Emeritus Development  
                                  Mark Norris, owner  
 Public      Matthew Erisman, 2 Wall Street  
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                                  **McLaughlin** – Since 1980, the popularity of trophy houses and pools have increased; agrees with Mr. M. Erisman’s comments about the historic character of the area.  
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Motion      **Motion to Hold for revisions and a landscape plan. (McLaughlin)**

Roll-call Vote      Carried 3-0//Oliver-aye; McLaughlin-aye; Welch-aye      Certificate #  
 7. 11 Davis Ln, LLC 03-0803      11 Davis Lane      Cabana      82-75      Emeritus

Voting      Welch (acting Chair), McLaughlin, Oliver  
 Alternates      None  
 Recused      None  
 Documentation      Architectural elevation plans, site plan, correspondence, and photos.  
 Representing      Matt MacEachern, Emeritus Development  
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 Concerns (7:11)      **MacEachern** – Reviewed changes made per previous concerns; location of these structures is related to their proximity to the living area of the house; landscaping will screen all, but the enclosed portion of the cabana, from visibility.  
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                                  **Oliver** – In her view this requires major revisions and resiting the pool and cabana.

Motion      **Motion to Hold for revisions and a scale gauge on the drawings. (McLaughlin)**  
 Roll-call Vote      Carried 3-0//Oliver-aye; McLaughlin-aye; Welch-aye      Certificate #

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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**PROPERTY DESCRIPTION**

TAX MAP N°: 82 PARCEL N°: 75  
Street & Number of Proposed Work: 11 DAVIS LN  
Owner of record: 11 DAVIS LLC  
Mailing Address: 11 DAVIS LN  
NANTUCKET, MA, 02554  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: EMERITUS  
Mailing Address: 8 WILLIAMS LN  
NANTUCKET, MA, 02554  
Contact Phone #: 508 325 4995 E-mail: MATT@EMERITUS  
DEVELOPMENT.COM

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other POOL HOUSE / CABANA  
Size of Structure or Addition: Length: 13'0" Sq. Footage 1st floor: 48 SF Decks/Patio: Size: #250 SF  1st floor  2nd floor  
Width: 3'8" Sq. footage 2nd floor: N/A Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: N/A

Difference between existing grade and proposed finish grade: North +6" South +6" East +6" West +6"  
Height of ridge above final finish grade: North +16'11" South +16'11" East +16'11" West +16'11"

**Additional Remarks**

**REVISIONS\***

- 1. East Elevation
- 2. South Elevation
- 3. West Elevation
- 4. North Elevation

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_ (describe)  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed ±8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) N/A  Other \_\_\_\_\_  
Roof Pitch: Main Mass 12/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer N/A Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): COPPER

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) ±10" Corner boards N/A Frieze 1x4  
Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round \_\_\_\_\_ Square Tapered 5 1/4" x 11 1/4"

Windows\*:  Double Hung  Casement  All Wood  Other FIXED  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL  Panel Front 1 panel Rear \_\_\_\_\_ Side 1 panel  
Garage Door(s): Type N/A Material \_\_\_\_\_

Hardscape materials: Driveways N/A Walkways N/A Walls N/A

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall NATURAL Clapboard (if applicable) N/A Roof NATURAL  
Trim WHITE Sash WHITE Doors WHITE  
Deck NATURAL Foundation NATURAL Fence N/A Shutters N/A

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

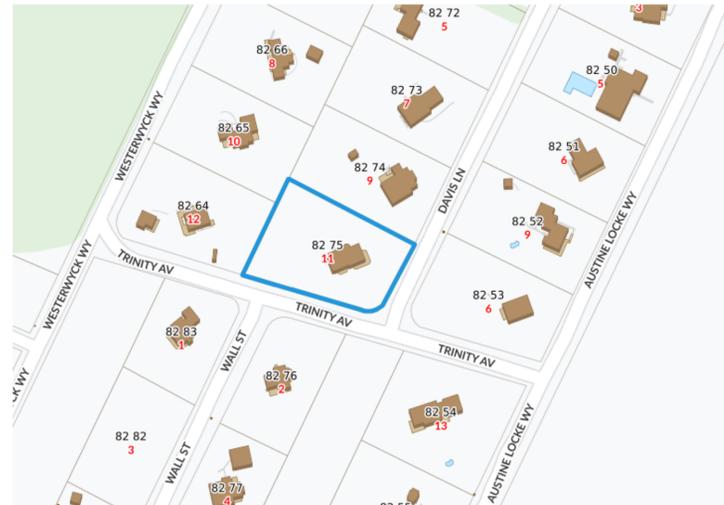
Date 03/04/20 Signature of owner of record \_\_\_\_\_

Signed under penalty of perjury \_\_\_\_\_

# Cabana

11 Davis Ln  
Nantucket, MA 02554

05.21.20



1 Locus Map  
Not to Scale



Fixed  
4 Lite SGL

### Window Legend

1/4" = 1'-0"



### Door Legend

1/4" = 1'-0"

### WINDOW & DOOR NOTES

1. Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
2. Windows w/ DP Rating of 30 or Greater Required
3. Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
4. Refer To Plan For Tempered Glass Locations; Contrator To Verify Tempered Windows Are Provided Where Required
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East



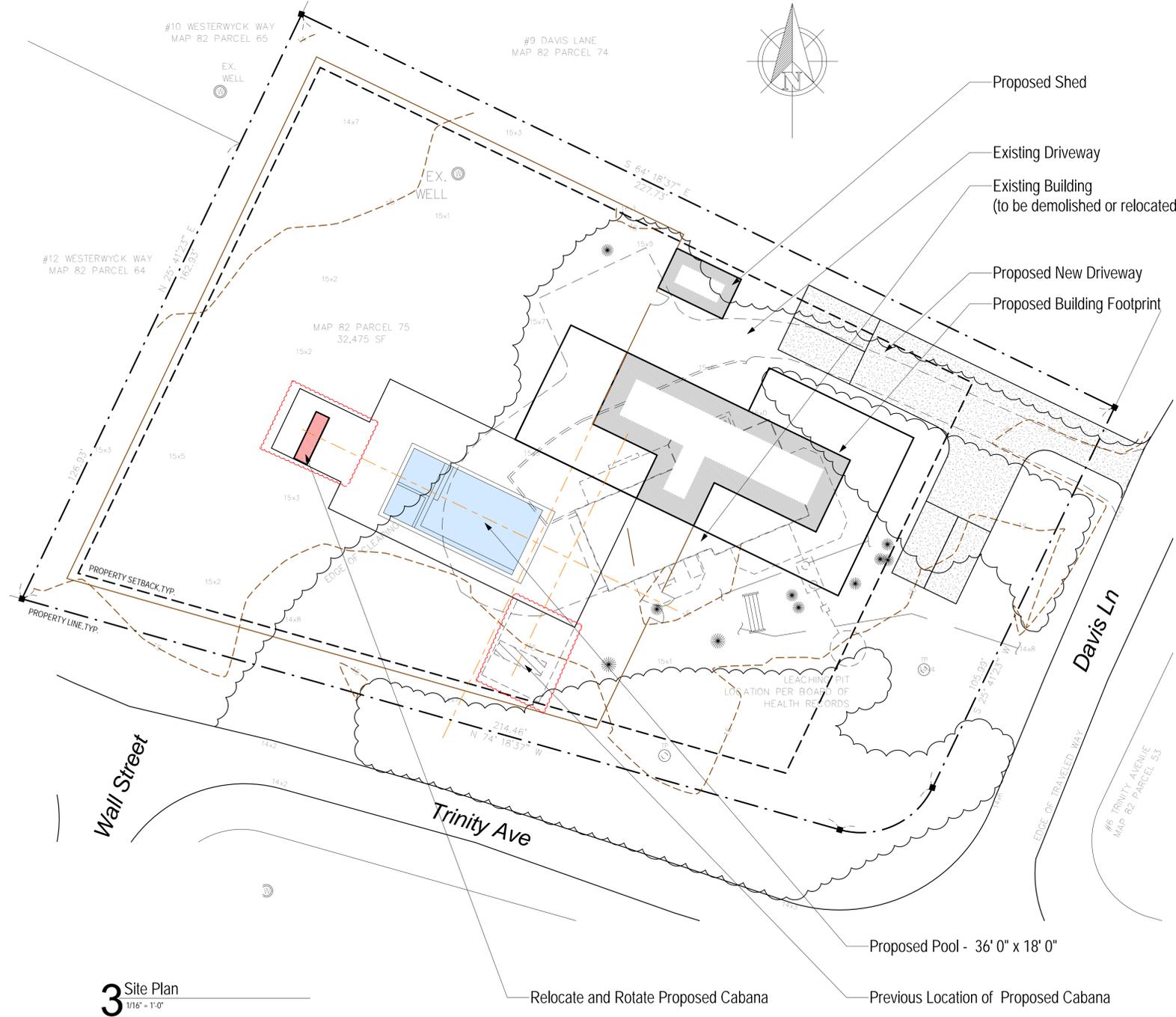
South



West



North



3 Site Plan  
1/16" = 1'-0"

2004

Cabana

11 Davis Ln  
Nantucket, MA 02554



### Cover Sheet

### Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
Allowable G.C.:	1,500 sq. ft. (per 139-33E(1b))
Existing G.C.:	1,351 sq. ft. (to be demolished)
Proposed G.C.:	48 sq. ft.
Total Proposed G.C.:	1,490 sq. ft.

Information for this site plan was taken from the Nantucket C.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

### SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 Floor Plan & Elevations

### Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.

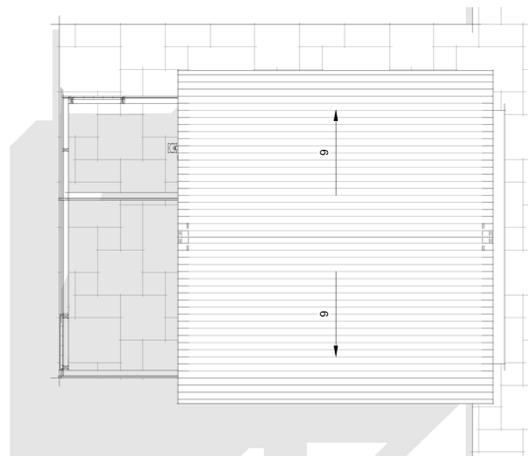
DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

**G.1.1**  
**2004**

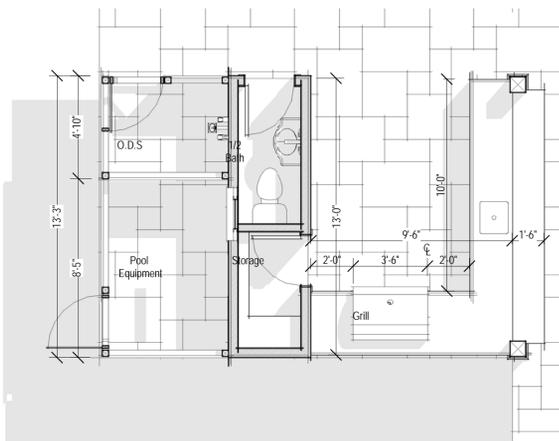
HDC Submission Only

05.21.20

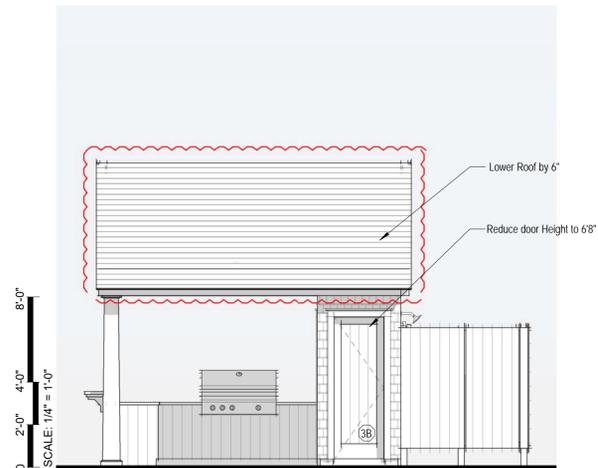
HDC Submission Only



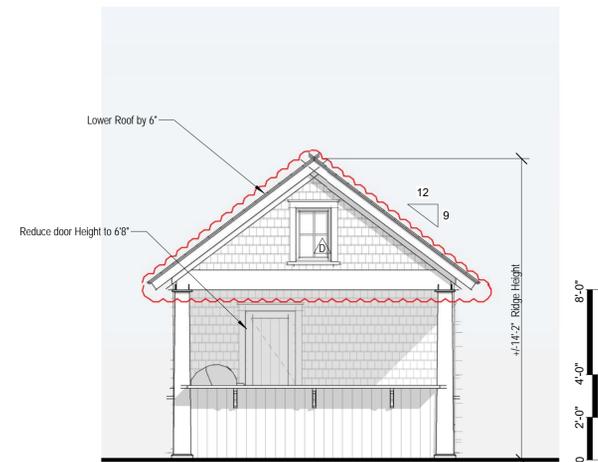
0 Roof Plan  
1/4" = 1'-0"



1 First Floor Plan  
1/4" = 1'-0"



2 North Elevation  
1/4" = 1'-0"



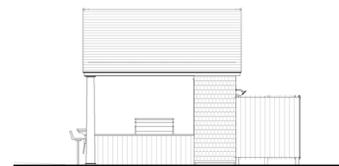
3 East Elevation  
1/4" = 1'-0"



Previously Proposed North Elevation  
1/8" = 1'-0"



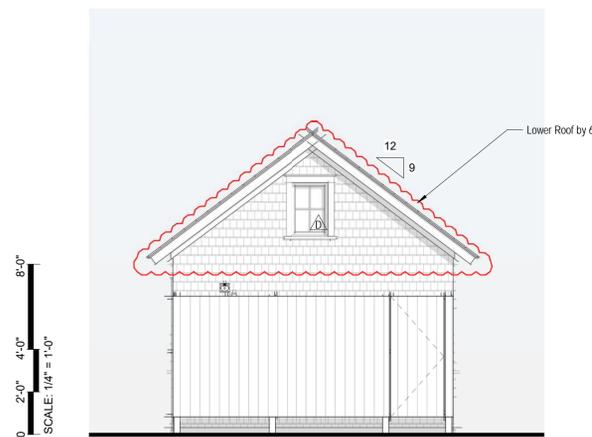
Previously Proposed East Elevation  
1/8" = 1'-0"



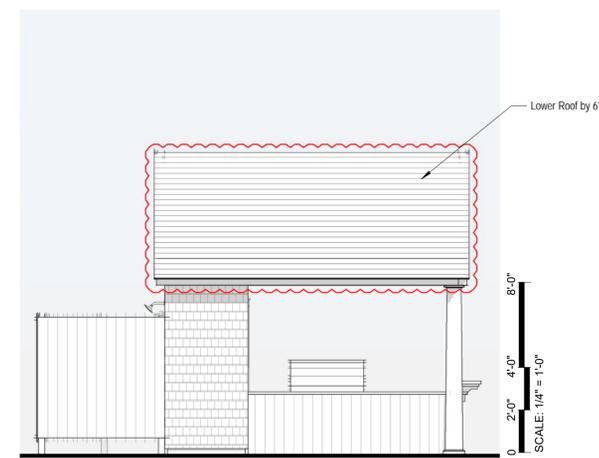
Previously Proposed West Elevation  
1/8" = 1'-0"



Previously Proposed South Elevation  
1/8" = 1'-0"



4 West Elevation  
1/4" = 1'-0"



5 South Elevation  
1/4" = 1'-0"

2004

Cabana

11 Davis Ln  
Nantucket, MA 02554



Floor Plan & Elevations

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
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SHEET INDEX

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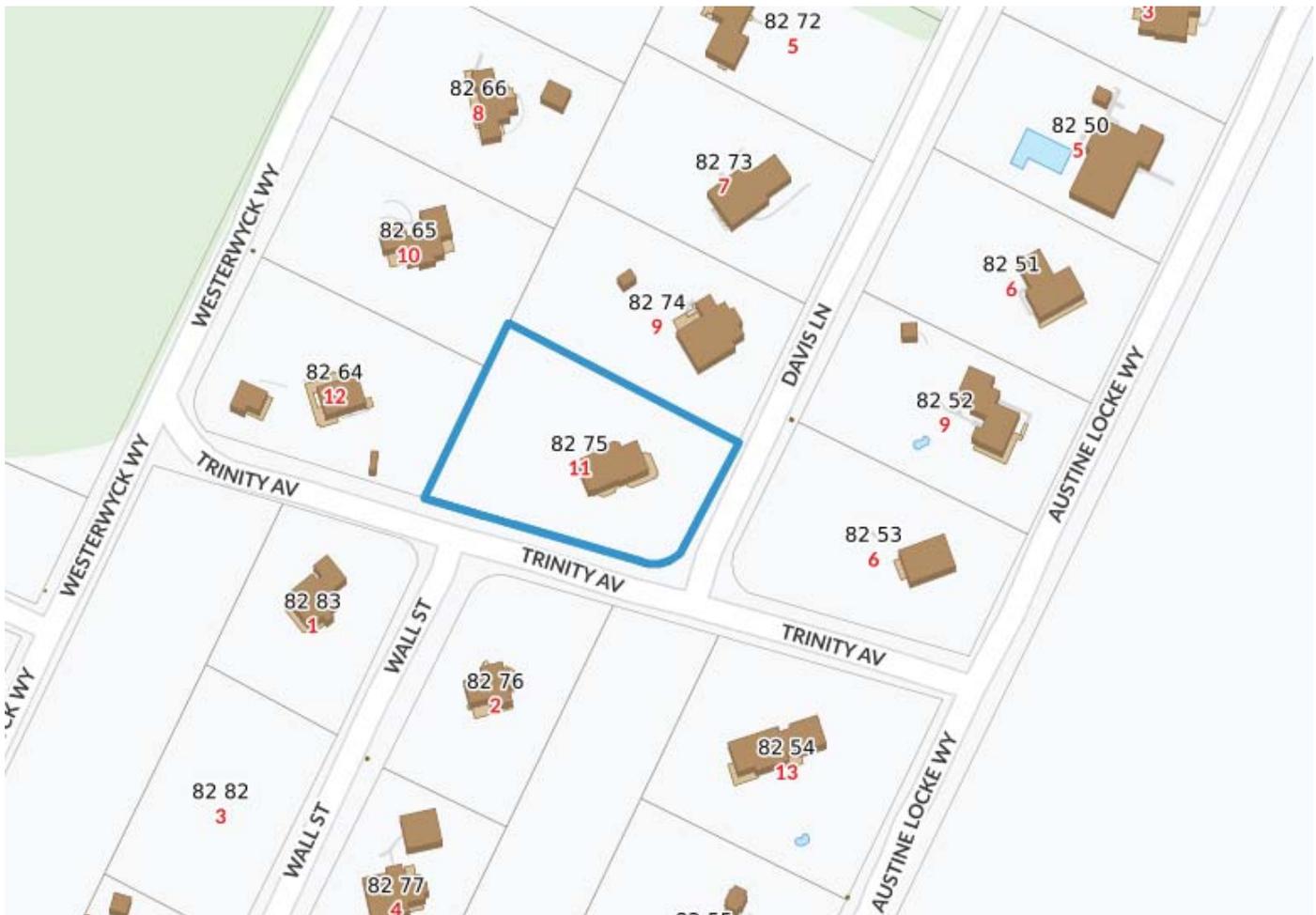
A.1.1  
2004

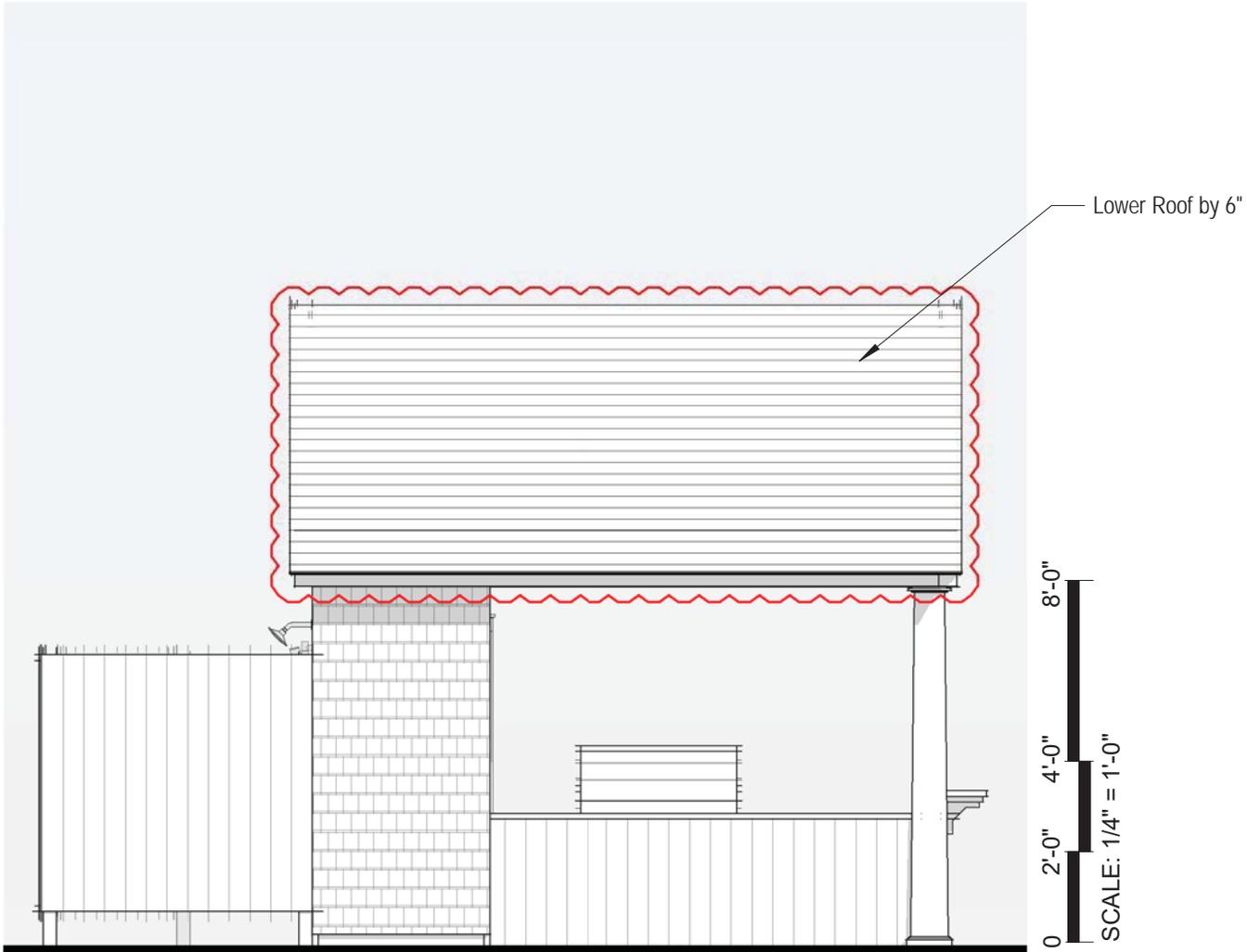
# Cabana

11 Davis Ln

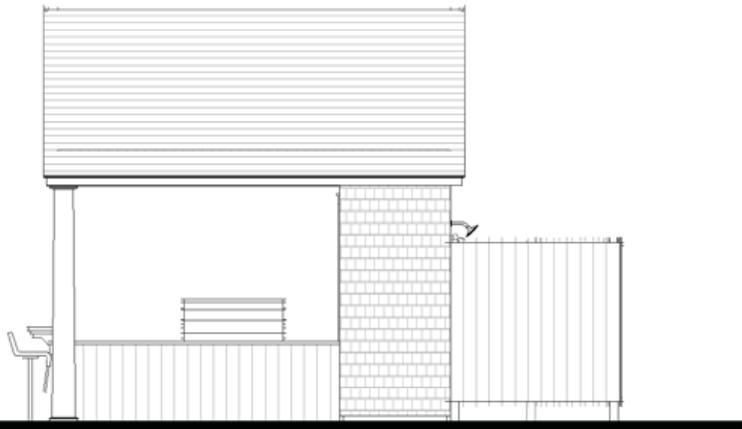
Nantucket, MA 02554

05.21.20



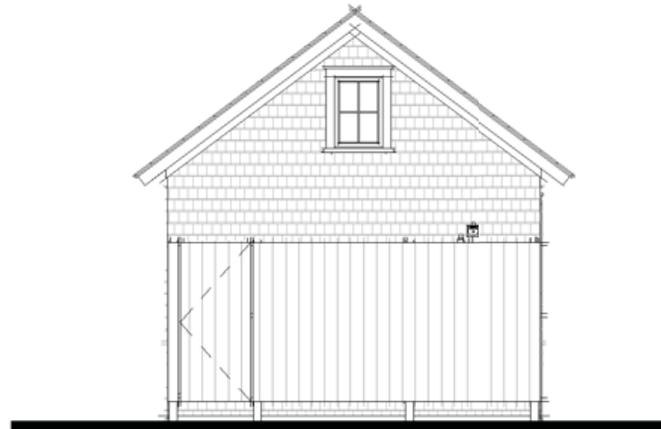


**5** South Elevation  
1/4" = 1'-0"



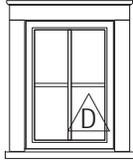
Previously Proposed West Elevation

1/8" = 1'-0"

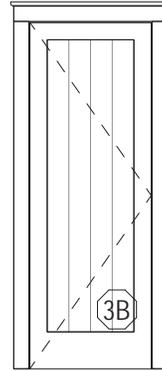


Previously Proposed South Elevation

1/8" = 1'-0"



Fixed  
4 Lite SDL



## Window Legend

---

1/4" = 1'-0"

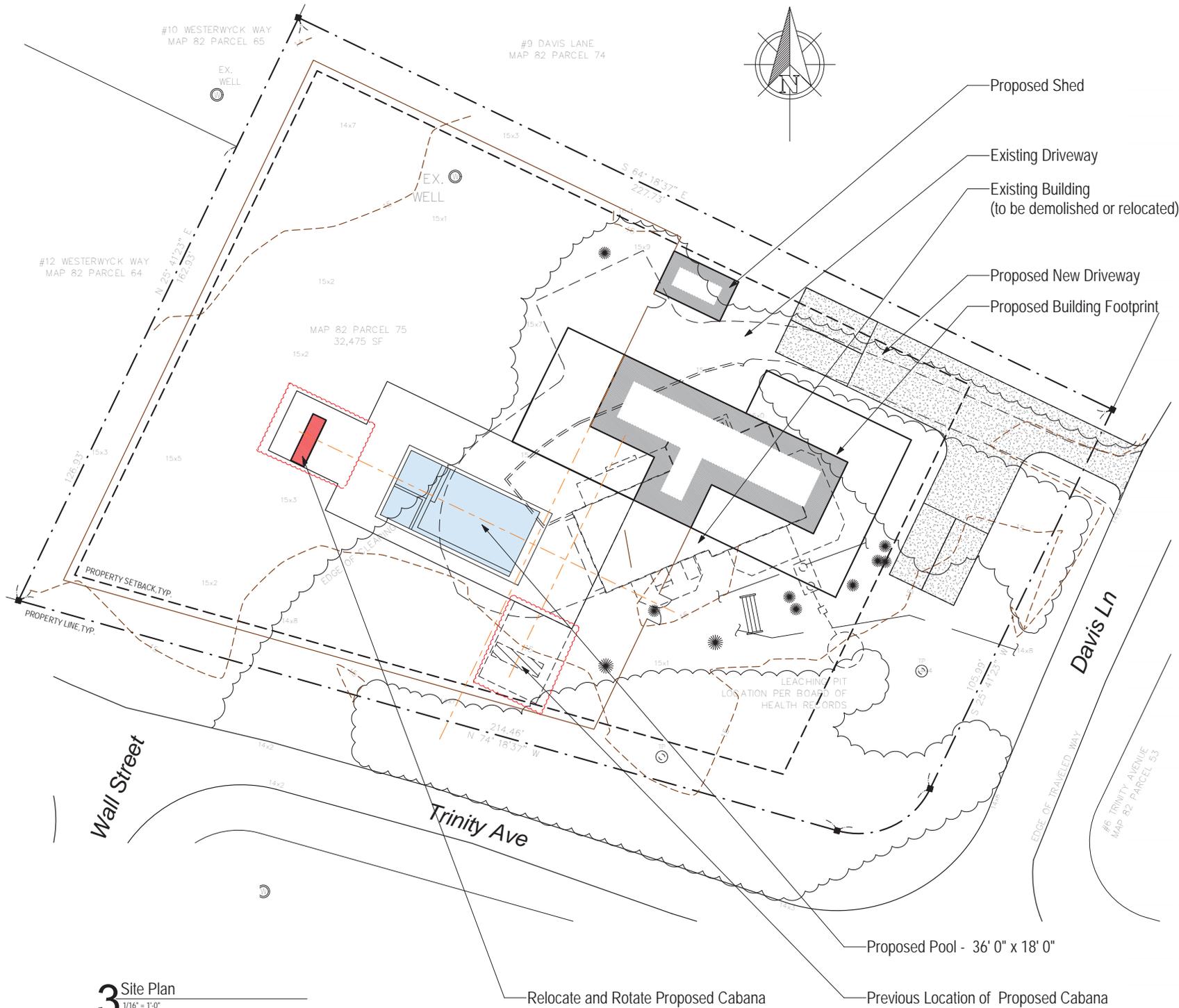
## Door Legend

---

1/4" = 1'-0"

### WINDOW & DOOR NOTES

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11. Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



**3** Site Plan  
1/16" = 1'-0"

Relocate and Rotate Proposed Cabana

Previous Location of Proposed Cabana

Proposed Shed

Existing Driveway

Existing Building  
(to be demolished or relocated)

Proposed New Driveway

Proposed Building Footprint

Proposed Pool - 36' 0" x 18' 0"

Davis Ln

Wall Street

Trinity Ave

LEACHING PIT  
LOCATION PER BOARD OF  
HEALTH RECORDS

PROPERTY SETBACK, TYP.

PROPERTY LINE, TYP.

EDGE OF TRAVELED WAY

EDGE OF CLEARING

N 29° 41' 23" E  
162.83'

S 64° 18' 37" E  
227.73'

214.46'  
N 74° 18' 37" W

105.98'  
S 25° 41' 23" W

128.23'

15x3

15x3

15x2

14x8

14x2

14x2

14x2

14x2

14x2

14x2

14x7

15x1

15x2

15x2

15x3

15x3

15x2

14x8

14x2

14x2

14x2

14x2

14x2

14x2

14x2

15x3

15x1

15x2

15x2

15x3

15x3

15x2

14x8

14x2

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14x2

15x3

15x1

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15x2

15x3

15x3

15x2

14x8

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14x2

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14x2

14x2

14x2

15x3

15x1

15x2

15x2

15x3

15x3

15x2

14x8

14x2

14x2

14x2

14x2

14x2

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15x2

15x3

15x3

15x2

14x8

14x2

14x2

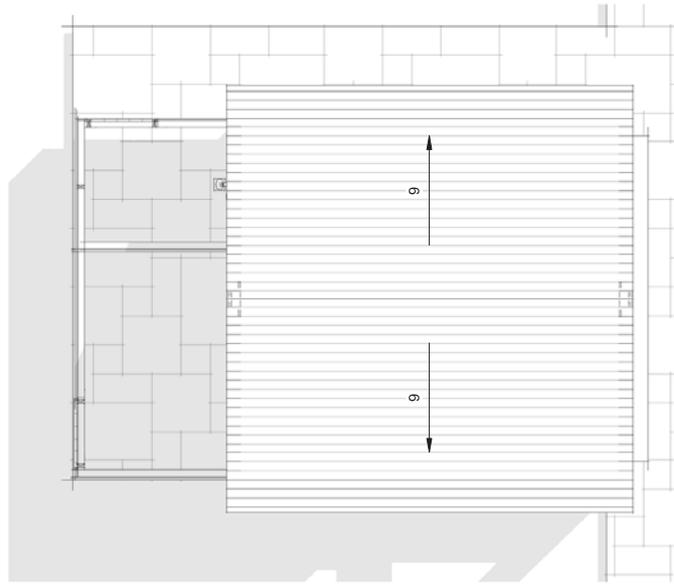
14x2

14x2

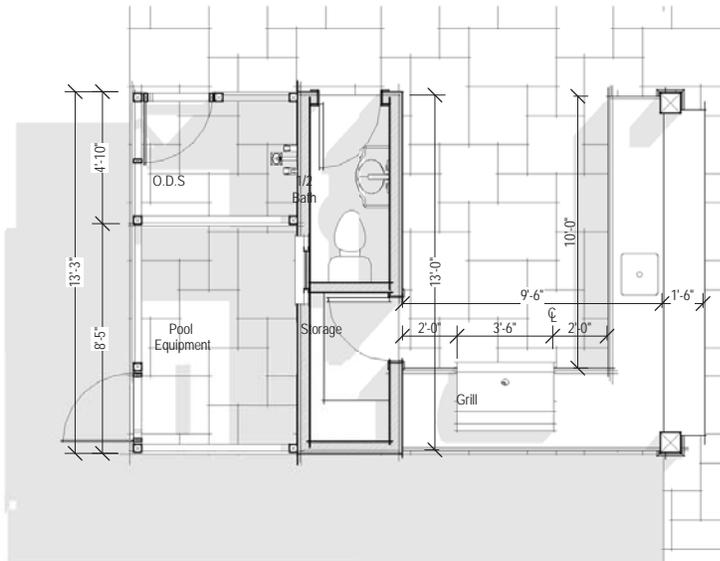
14x2

14x2

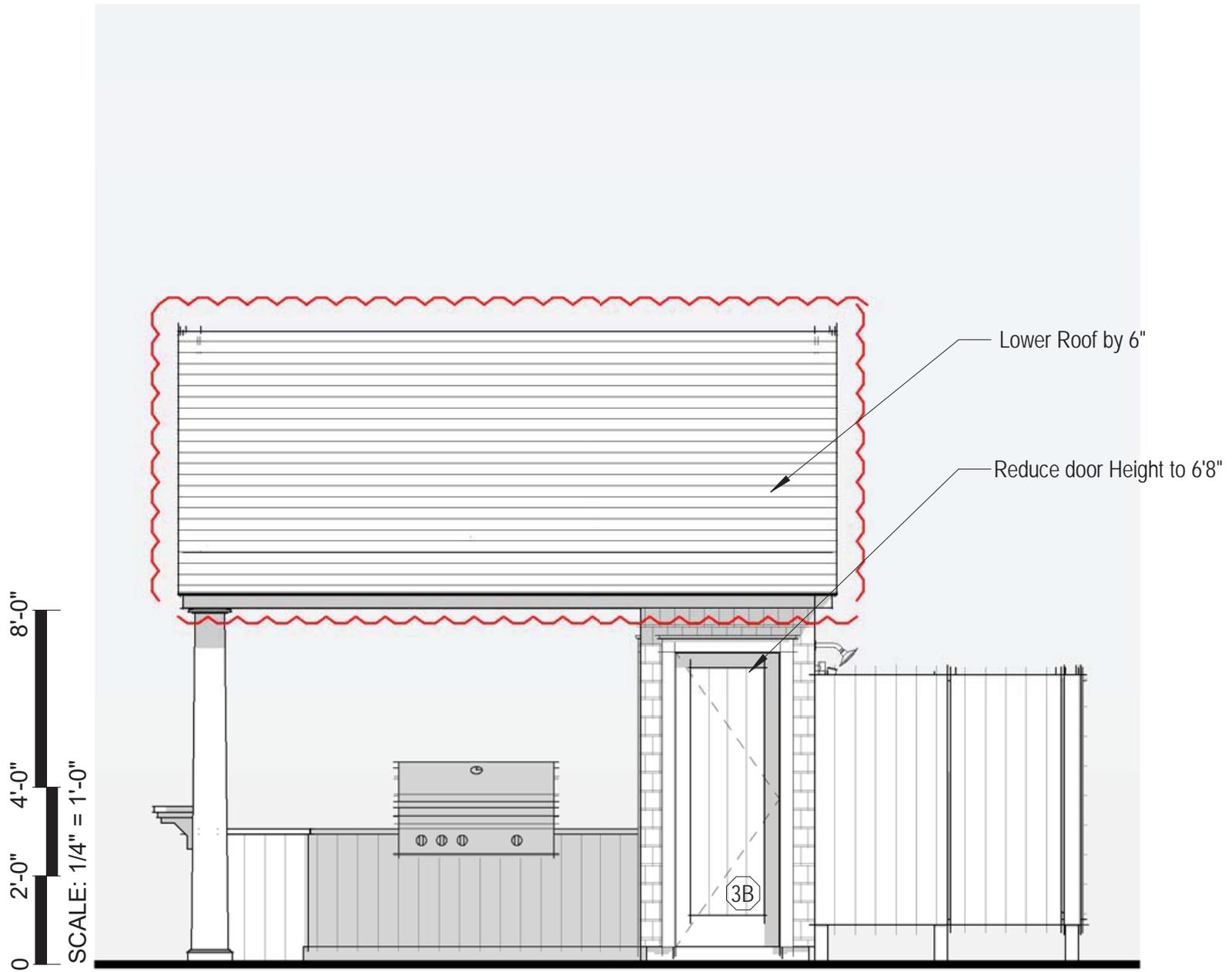
14x2



**0** Roof Plan  
 1/4" = 1'-0"

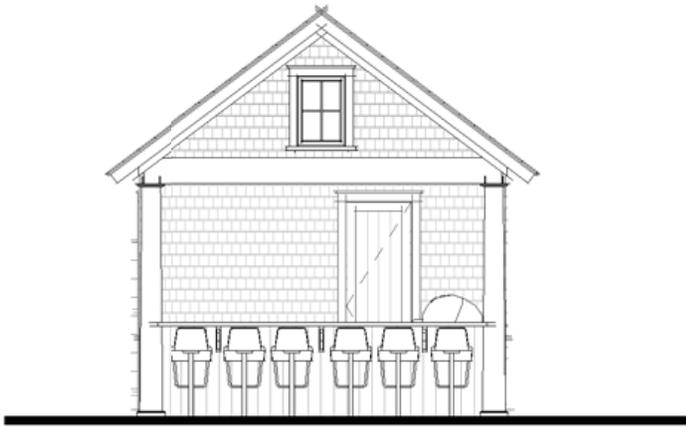


**1** First Floor Plan  
 1/4" = 1'-0"



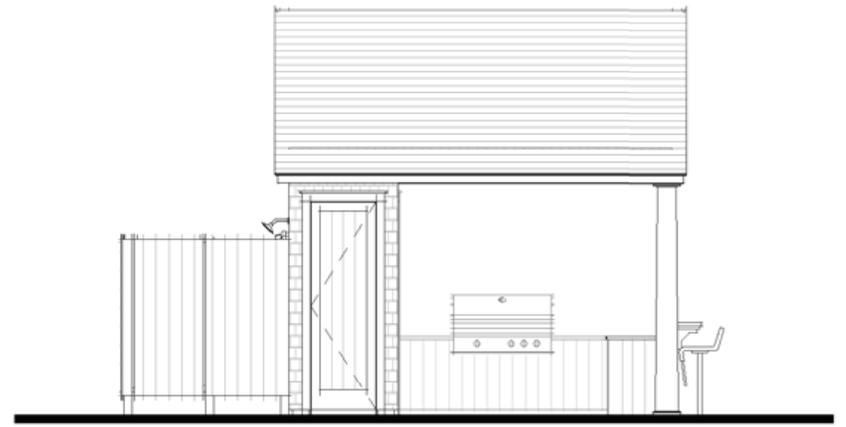
# 2 North Elevation

1/4" = 1'-0"



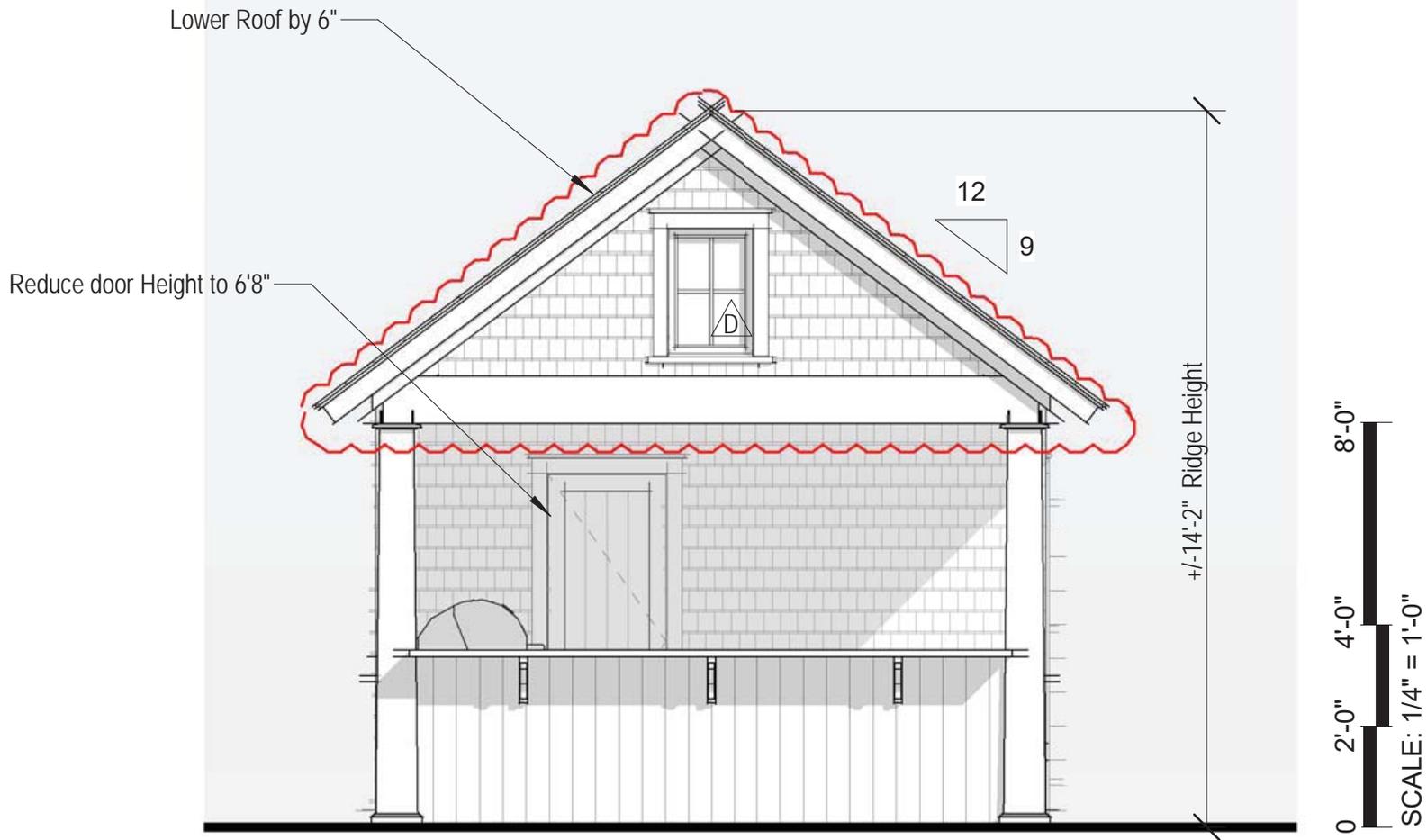
Previously Proposed North Elevation

1/8" = 1'-0"



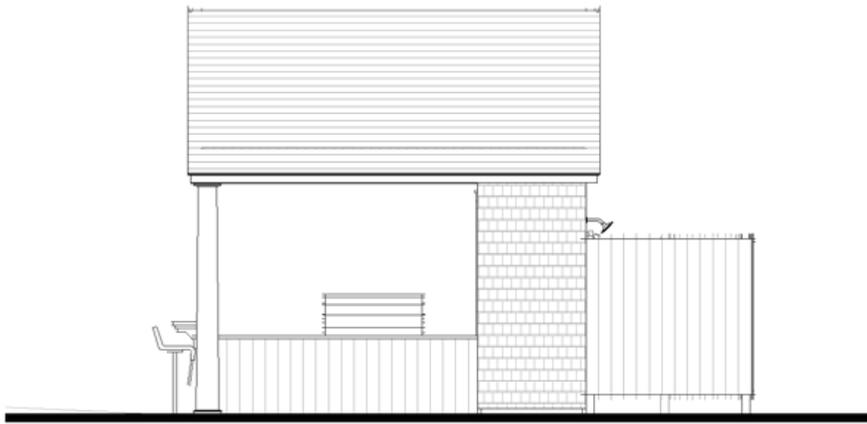
Previously Proposed East Elevation

1/8" = 1'-0"



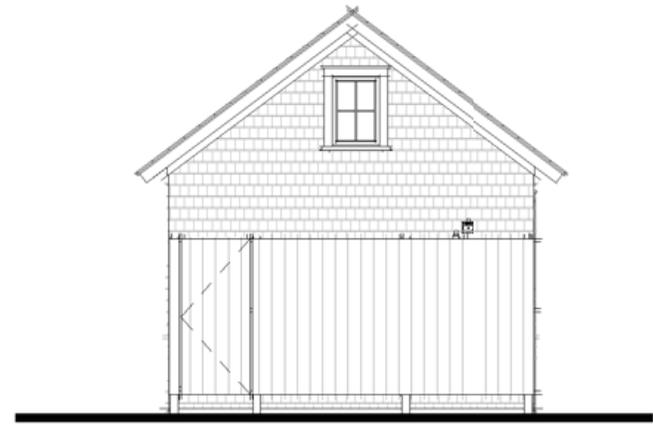
# 3 East Elevation

1/4" = 1'-0"



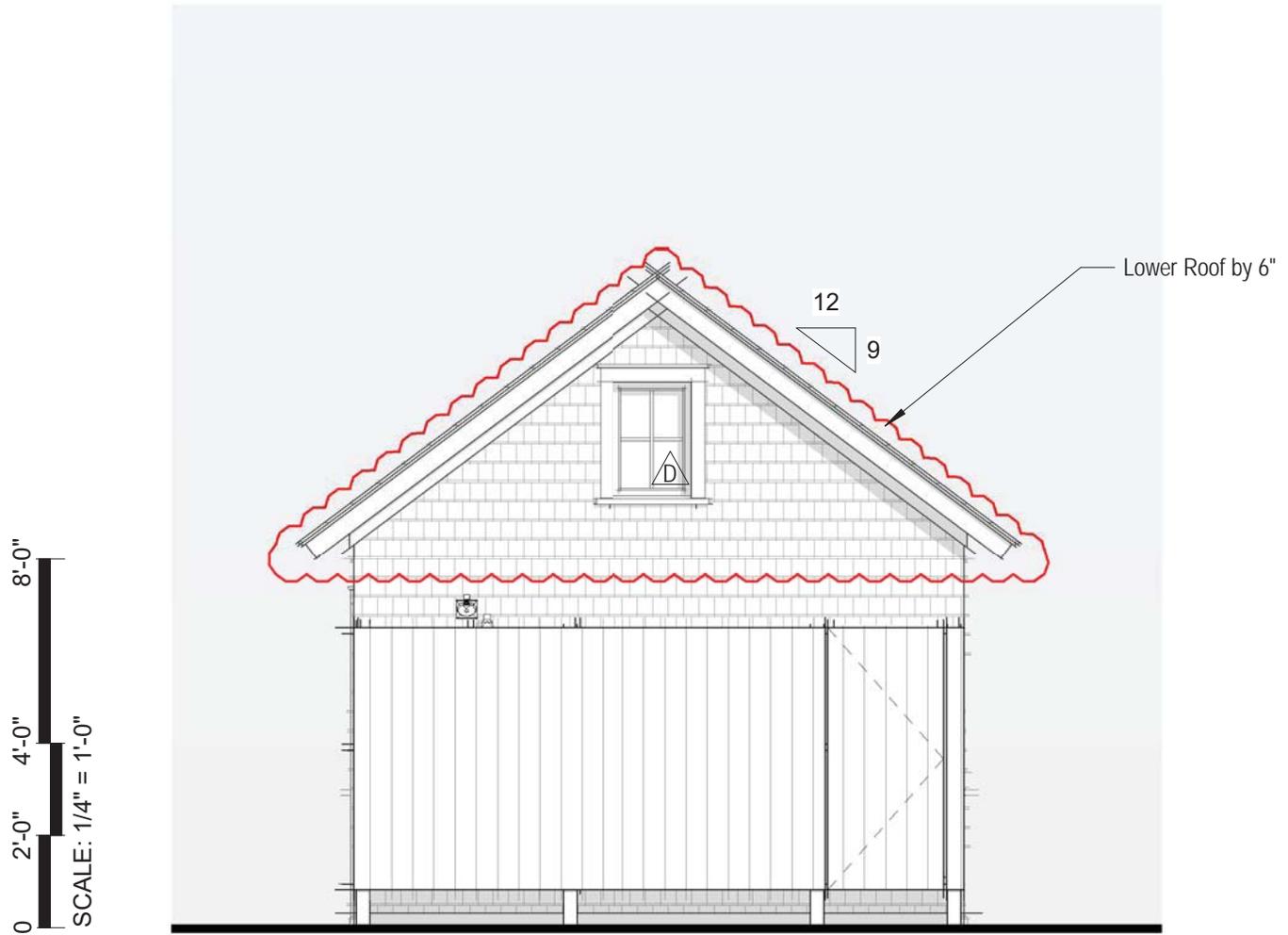
Previously Proposed West Elevation

1/8" = 1'-0"



Previously Proposed South Elevation

1/8" = 1'-0"



**4** West Elevation

1/4" = 1'-0"

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 1/2 x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 1/2 x 11
	<u>Electronic Submission</u> : ALL documents <b>MUST BE</b> scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

**\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

### **Affidavit Certifying Completeness of Application**

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: Anton Dimov Date: \_\_\_\_\_

4. Jonathan Klatt 03-0821 7A Hussey Farm Road Retaining wall – pargetted 56-94.3 Linda Williams  
 Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
 Alternates Welch, Watterson  
 Recused None  
 Documentation Landscape design plans, site plan, and photos.  
 Representing Linda Williams  
 Public None  
 Concerns (6:01) **Williams** – Presented project. Suggested carrying the picket fence across the front of the property and eliminating the fence along the left side of the driveway.

**Pohl** – It’s hard to tell but the parking area looks very flat; it should have more positive pitch toward the road.  
**Oliver** – She understands the situation; suggested planting vines along the wall to mitigate it. The fence is out of place with no relation to the rest of the lot. Would have preferred a more rural fence style.  
**Coombs** – She’d like to see something growing rather than the wall. Wants information on water flow on Hussey Farm Road.  
**McLaughlin** – Wants to see the dimensions for the walls. This wall is already built. Wants this held for complete information.  
**Camp** – Asked about the material for the driveway – gravel. There is no texture and it’s monotone. Suggested sacrificing 1.5 feet at the rear of the drive to allow space to plant privet; that would minimize the cement look.  
**Watterson** – He believes the grade could be manipulated at the lower portion of the drive to eliminate the need for railing.  
**Welch** – The Department of Public Works (DPW) doesn’t get involved in driveway material.  
**Pohl** – That requires a lot of fencing because the driveway grade is so low. If it were raised with a different material, it would have looked better. The gravel and concrete apron don’t look good. We need a site plan with dimensions of the parking spaces and the wall. Concerns include: concrete apron, the wall, and the fence on top of the wall.

Motion **Motion to Hold for revisions and additional information. (McLaughlin)**  
 Roll-call Vote Carried 5-0//Camp-aye; Oliver-aye; McLaughlin-aye; Coombs-aye; Certificate #  
 Pohl-aye

5. 11 Davis Ln, LLC 03-0802 11 Davis Lane New dwelling 82-75 Emeritus

Voting Welch (acting Chair), McLaughlin, Oliver  
 Alternates None  
 Recused None  
 Documentation Architectural elevation plans, site plan, and photos.  
 Representing Matt MacEachern, Emeritus Development  
 Public None  
 Concerns (6:22) **Welch** – Asked if Mr. MacEachern wants to proceed with a 3-person board. Reviewed the March 10<sup>th</sup> minutes.

**MacEachern** – We will proceed. Reviewed changes made per previous concerns.  
**Oliver** – A lot of her concerns weren’t addressed: a main concern was the enormous size of the porches related to the linear form of the house; over-abundance of ganged windows, primarily on the south; north elevation, the long unbroken wall, because the porches aren’t sufficient breaks; and the dormers should have less shingle space.  
**McLaughlin** – There dimensions on the elevations are illegible. North elevation, the four-light windows should be fixed.  
**Welch** – He agrees with what’s been said: the width and lengths of the decks. The depths of the porches are dramatically larger than the depth of the house. Looking at the north elevation, the side porch is flush with the front wall; where the roof makes a jog, the wall should break to assist in creating hierarchy of masses; there needs to be more sense of a primary and secondary mass.

Motion **Motion to Hold for revisions. (Oliver)**  
 Roll-call Vote Carried 3-0//McLaughlin-aye; Oliver-aye; Welch-aye Certificate #

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 82 PARCEL N°: 75  
Street & Number of Proposed Work: 11 DAVIS LN  
Owner of record: 11 DAVIS LLC  
Mailing Address: 11 DAVIS LN,  
NANTUCKET, MA, 02554  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: EMERITUS  
Mailing Address: 8 WILLIAM LN,  
NANTUCKET, MA, 02554  
Contact Phone #: 508 325 4995 E-mail: MATT@EMERITUS  
DEVELOPMENT.COM

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

MAIN HOUSE

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 02'6" Sq. Footage 1st floor: 1,442 S.F. Decks/Patio: Size: 1,953 S.F.  1st floor  2nd floor  
Width: 32'0" Sq. Footage 2nd floor: 1,442 S.F. Size: 669 S.F.  1st floor  2nd floor  
Sq. Footage 3rd floor: N/A

Difference between existing grade and proposed finish grade: North +6" South +6" East +6" West +6"  
Height of ridge above final finish grade: North +28'11" South +28'11" East +28'11" West +28'11"

Additional Remarks

**REVISIONS\***

1. East Elevation  
2. South Elevation  
3. West Elevation  
4. North Elevation  
Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_ (describe)  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed +8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) N/A  Other N/A

Roof Pitch: Main Mass 12/12 Secondary Mass 12/12 Dormer 8/9/12 Other COVERED PORCH ROOF 4/12

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer N/A Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): COPPER

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) +1'0" Corner boards N/A Frieze 1x4  
Window Casing 3/4x4 Door Frame 3/4x4 Columns/Posts: Round \_\_\_\_\_ Square Tapered 3 1/4" to 1 1/4"

Windows\*:  Double Hung  Casement  All Wood  Other FIXED  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front 1 panel 4 Lite Rear 4 Lite Side 4 Lite

Garage Door(s): Type N/A Material \_\_\_\_\_

Hardscape materials: Driveways N/A Walkways N/A Walls N/A

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall NATURAL Clapboard (if applicable) N/A Roof NATURAL  
Trim WHITE Sash WHITE Doors WHITE  
Deck NATURAL Foundation NATURAL Fence N/A Shutters N/A

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 03/04/20

Signature of owner of record \_\_\_\_\_

Signed under penalties of perjury

# Main House

11 Davis Ln  
Nantucket, MA 02554



East



South

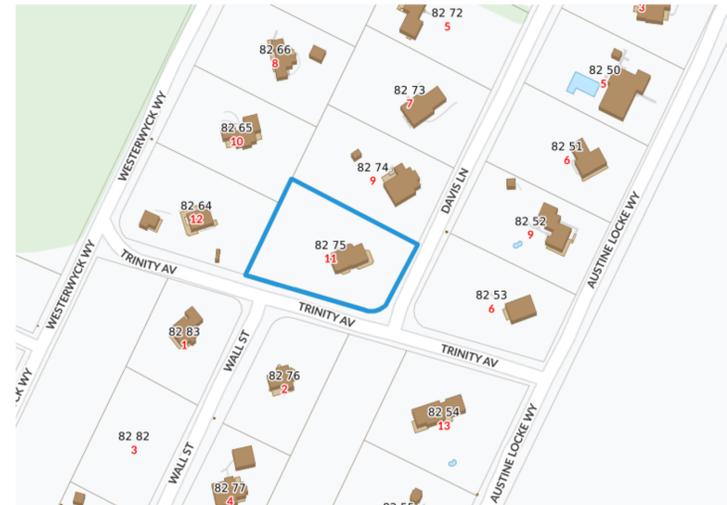


West

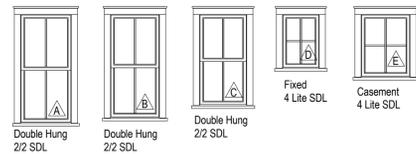


North

05.21.20

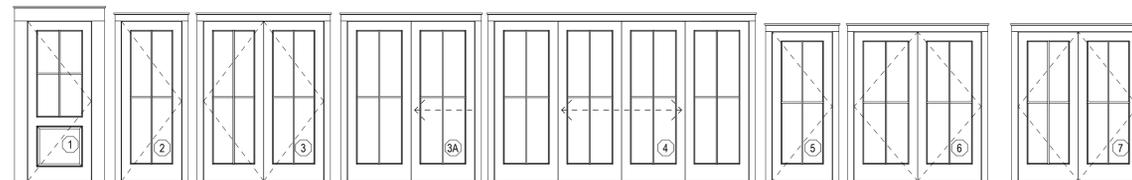


1 Locus Map  
Not to Scale



Window Legend  
1/4" = 1'-0"

WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
A	21	2'-7"	5'-2"	TBD	≥ 30
B	8	2'-6"	4'-11"	TBD	≥ 30
C	12	2'-5"	4'-4"	TBD	≥ 30
D	3	1'-11"	2'-7"	TBD	≥ 30
E	6	2'-6"	3'-0"	TBD	≥ 30

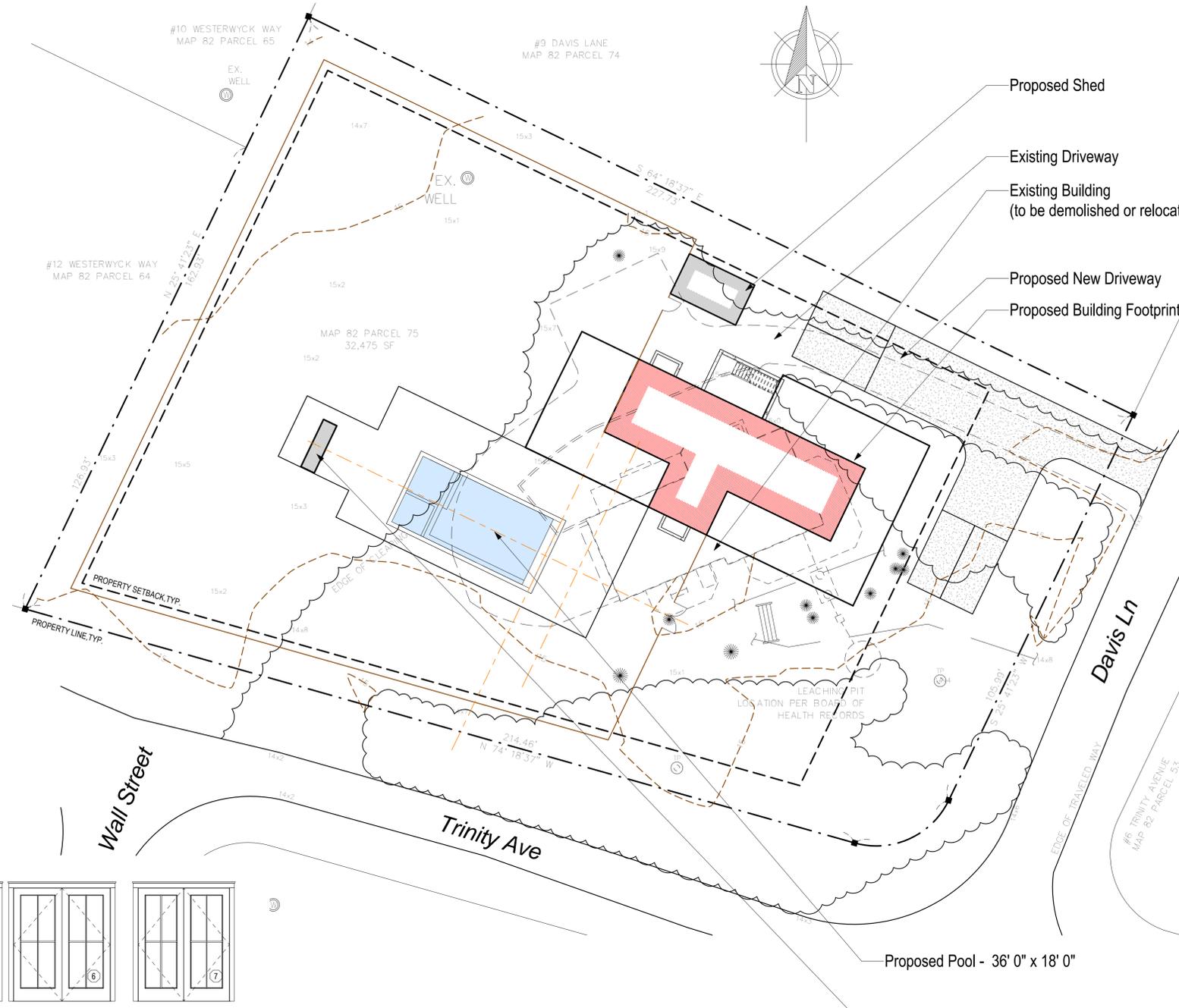


Door Legend  
1/4" = 1'-0"

DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
1	1	3'-0"	7'-6"	TBD	≥ 30
2	1	2'-10"	7'-6"	TBD	≥ 30
3	3	5'-8"	7'-6"	TBD	≥ 30
3A	2	6'-0"	7'-6"	TBD	≥ 30
4	1	12'-0"	7'-6"	TBD	≥ 30
5	2	2'-10"	7'-0"	TBD	≥ 30
6	2	6'-0"	7'-0"	TBD	≥ 30
7	1	5'-8"	7'-0"	TBD	≥ 30

**WINDOW & DOOR NOTES**

- Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
- Windows w/ DP Rating of 30 or Greater Required
- Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
- Refer To Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
- Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
- General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
- General Contractor to Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
- Contractor Shall Provide Architects w/ Window & Door Quote For Quantity & Type Verification Prior To Order
- Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
- The Unit Measurements Given In This Document Are For A Guide Only
- Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



3 Site Plan  
1/16" = 1'-0"

HDC Submission Only

2004

Main House

11 Davis Ln  
Nantucket, MA 02554



Cover Sheet

**Site Information**

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
Allowable G.C.:	1,500 sq. ft. (per 139-33E(1b))
Existing G.C.:	1,351 sq. ft. (to be demolished)
Proposed G.C.:	1,442 sq. ft.
Total Proposed G.C.:	1,490 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

**SHEET INDEX**

- G.1.1 Cover Sheet
- A.1.0 Basement Plan
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

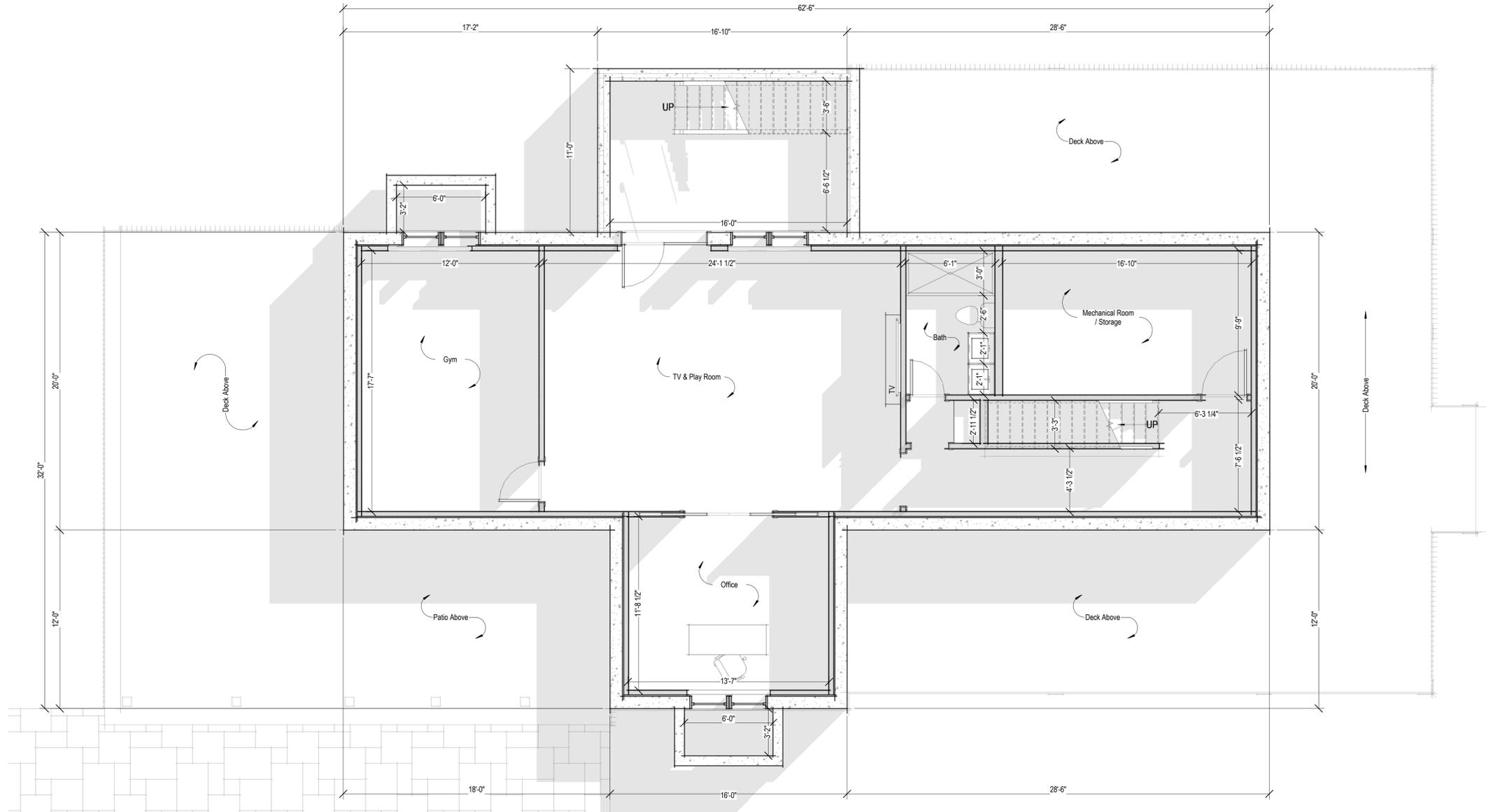
Revisions

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DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING, WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

**G.1.1**  
**2004**

05.21.20

HDC Submission Only



1 Basement Plan  
1/4" = 1'-0"

2004

Main House

11 Davis Ln  
Nantucket, MA 02554



Basement Plan

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
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Existing G.C.:	1,351 sq. ft. (to be demolished)
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- A.1.0 Basement Plan
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

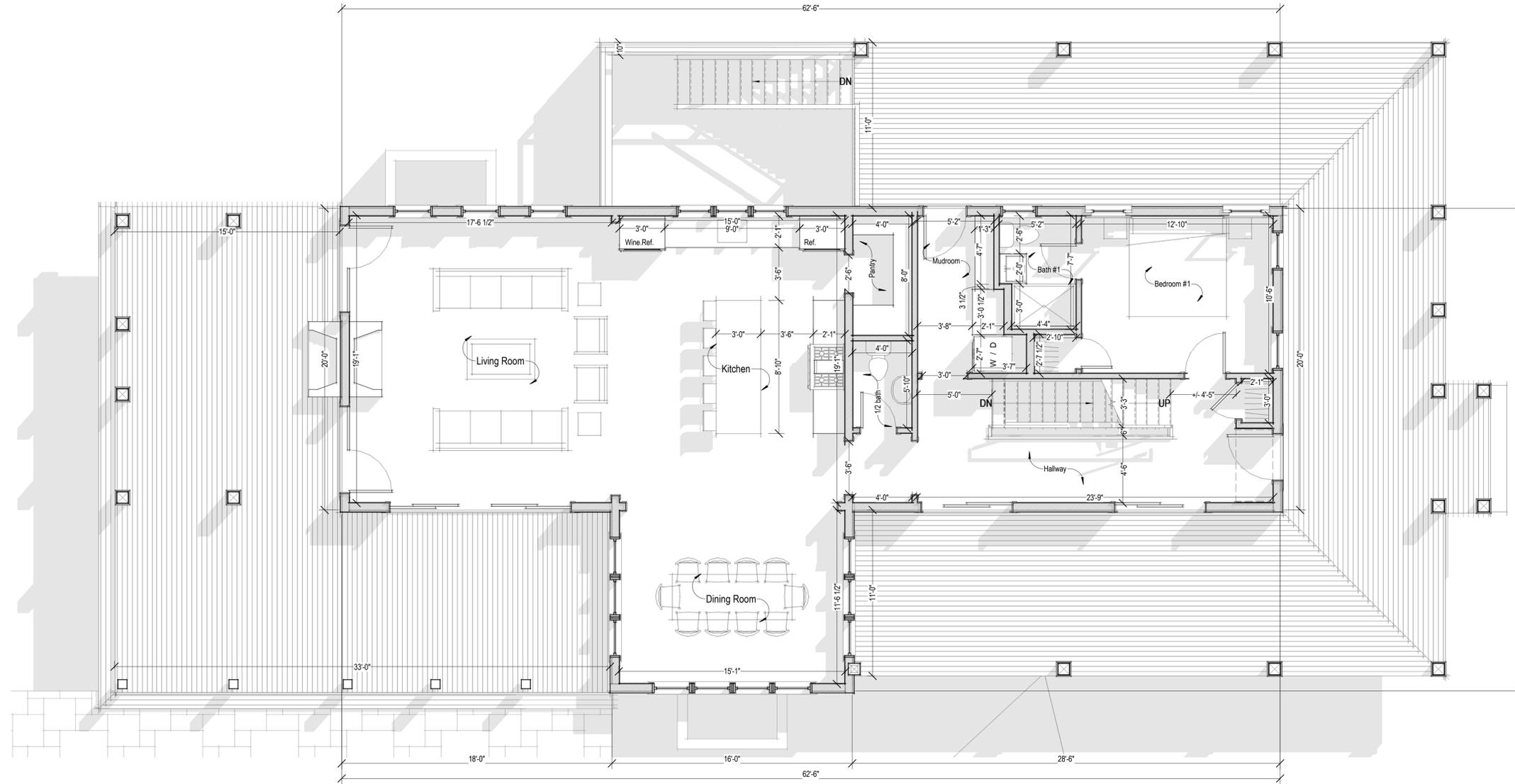
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A.1.0  
2004

05.21.20

HDC Submission Only



1 First Floor Plan  
1/4" = 1'-0"

2004

Main House

11 Davis Ln  
Nantucket, MA 02554



First Floor Plan

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
Allowable G.C.:	1,500 sq. ft. (per 139-33E(1b))
Existing G.C.:	1,351 sq. ft. (to be demolished)
Proposed G.C.:	1,442 sq. ft.
Total Proposed G.C.:	1,490 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

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- G.1.1 Cover Sheet
- A.1.0 Basement Plan
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

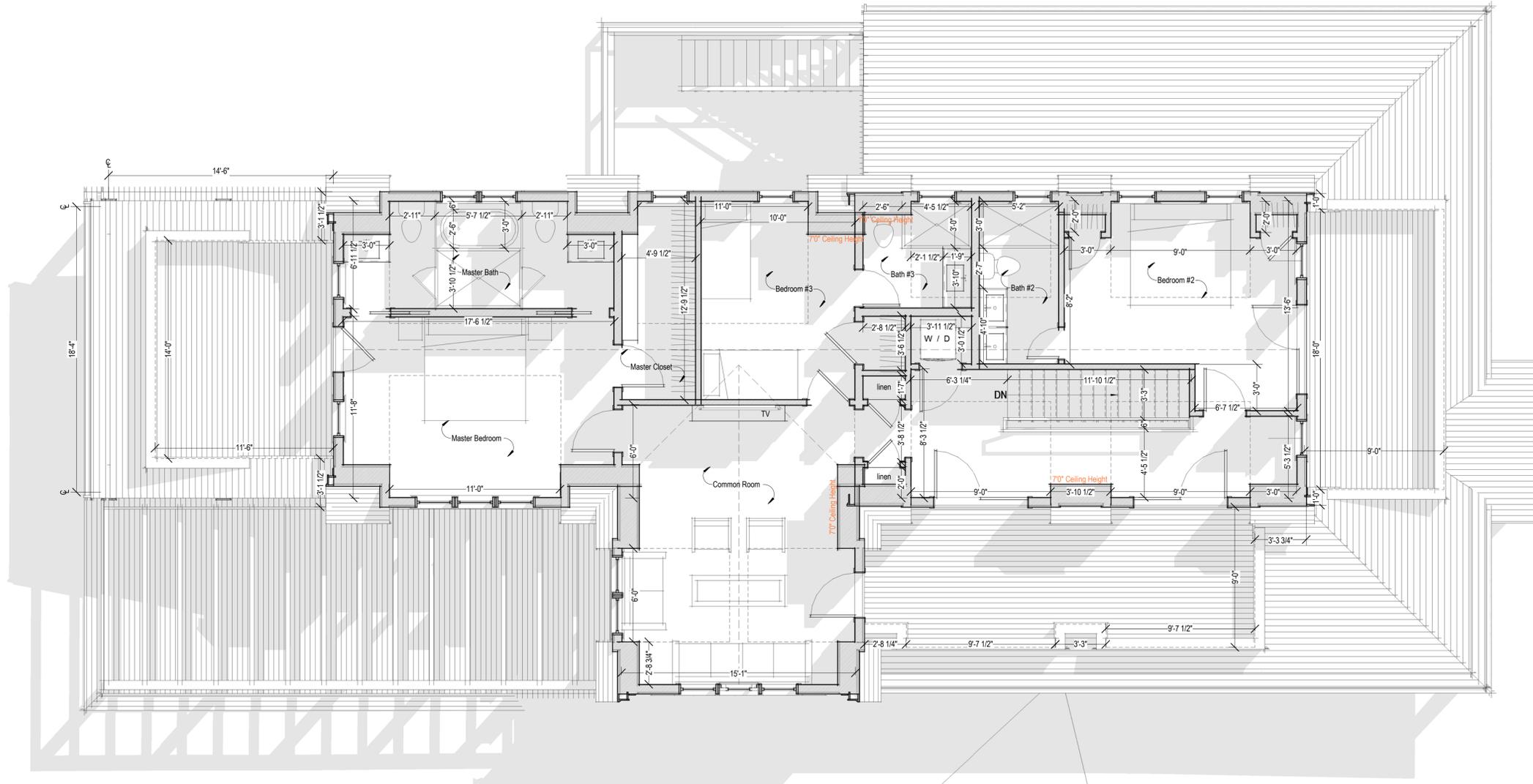
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A.1.1  
2004

05.21.20

HDC Submission Only



**1** Second Floor Plan  
1/4" = 1'-0"

2004

Main House

11 Davis Ln  
Nantucket, MA 02554



Second Floor Plan

Site Information

Map & Parcel: 82 / 75  
 Current Zoning: LUG - 2  
 Minimum Frontage: 150 ft.  
 Front Setback: 35 ft.  
 Side/Rear Setback: 10 ft. / 10 ft. (per 139-33E(2a))

Lot Size: +/- 32,475 sq. ft.  
 Min. Lot Size: 80,000 sq. ft.  
 Allowable G.C.: 1,500 sq. ft. (per 139-33E(1b))  
 Existing G.C.: 1,351 sq. ft. (to be demolished)  
 Proposed G.C.: 1,442 sq. ft.  
 Total Proposed G.C.: 1,490 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

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- A.2.2 Exterior Elevations

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**A.1.2**  
**2004**

05.21.20

HDC Submission Only



**1 East Elevation**  
1/4" = 1'-0"



**Previously Proposed East Elevation**  
1/8" = 1'-0"



**2 South Elevation**  
1/4" = 1'-0"



**Previously Proposed South Elevation**  
1/8" = 1'-0"

2004

Main House

11 Davis Ln  
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
Allowable G.C.:	1,500 sq. ft. (per 139-33E(1b))
Existing G.C.:	1,351 sq. ft. (to be demolished)
Proposed G.C.:	1,442 sq. ft.
Total Proposed G.C.:	1,490 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

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- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

Revisions

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**A.2.1**  
**2004**

05.21.20

HDC Submission Only



**1** West Elevation / No Change  
1/4" = 1'-0"



Previously Proposed West Elevation  
1/8" = 1'-0"



**2** North Elevation  
1/4" = 1'-0"



Previously Proposed North Elevation  
1/8" = 1'-0"

2004

Main House

11 Davis Ln  
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
Allowable G.C.:	1,500 sq. ft. (per 139-33E(1b))
Existing G.C.:	1,351 sq. ft. (to be demolished)
Proposed G.C.:	1,442 sq. ft.
Total Proposed G.C.:	1,490 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

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- A.1.2 Second Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

Revisions

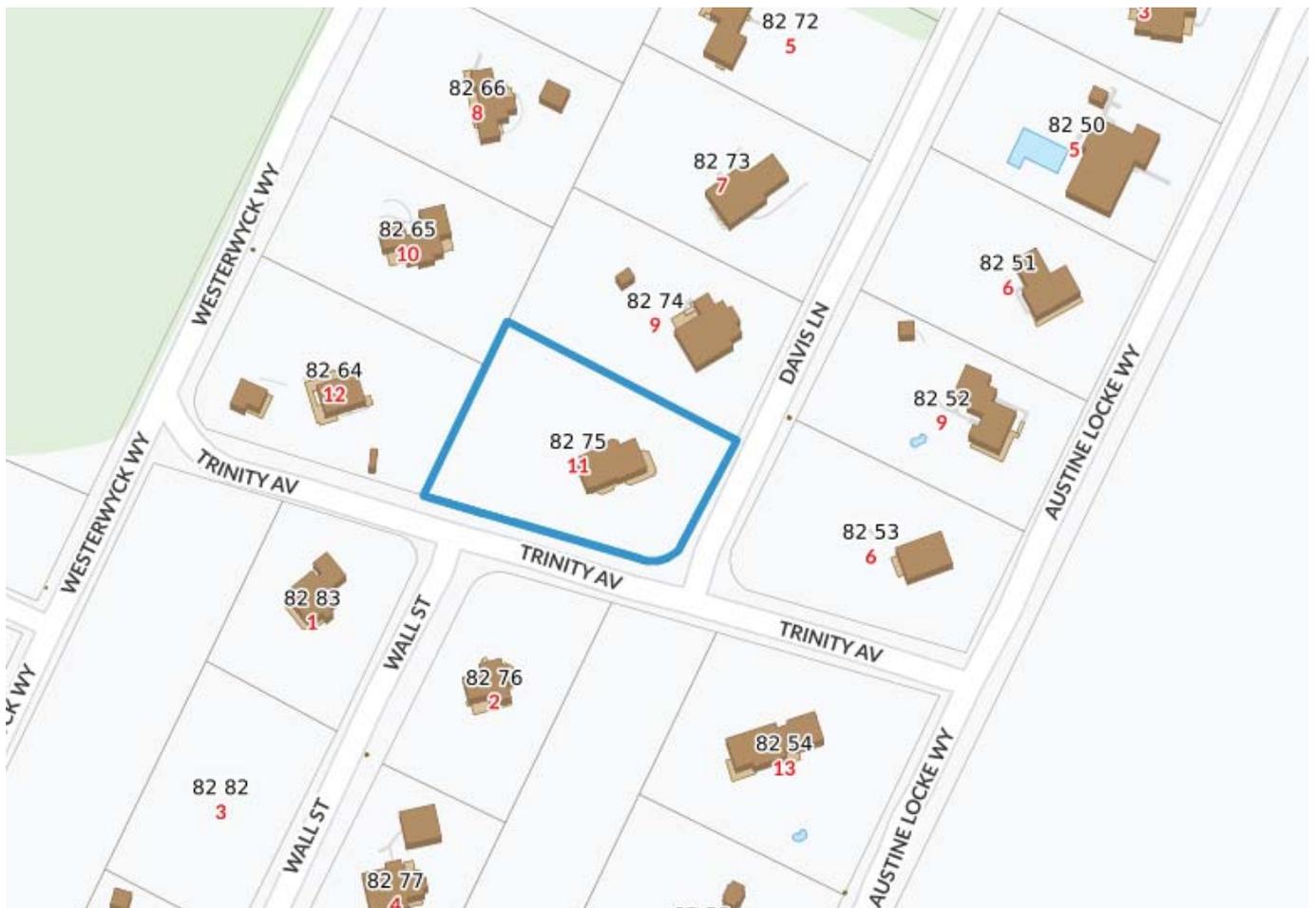
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**A.2.2**  
**2004**

# Main House

11 Davis Ln

Nantucket, MA 02554



05.21.20



Previously Proposed South Elevation

1/8" = 1'-0"



**1** West Elevation / No Change  
 1/4" = 1'-0"



## Previously Proposed West Elevation

---

1/8" = 1'-0"



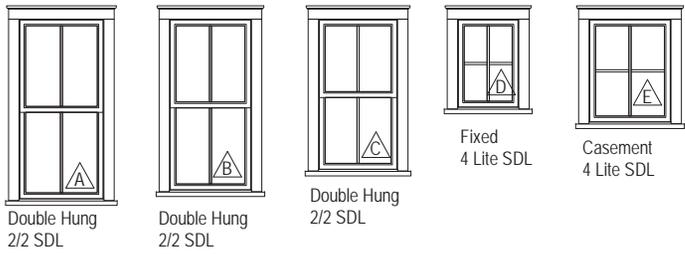
2 North Elevation  
1/4" = 1'-0"





Previously Proposed North Elevation

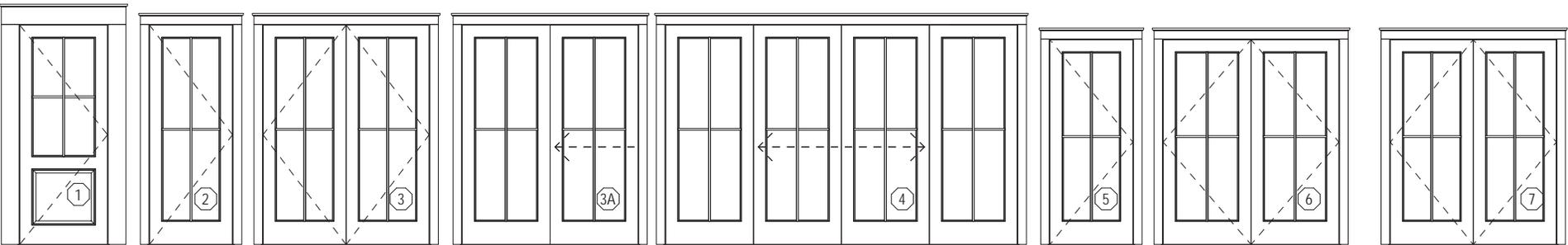
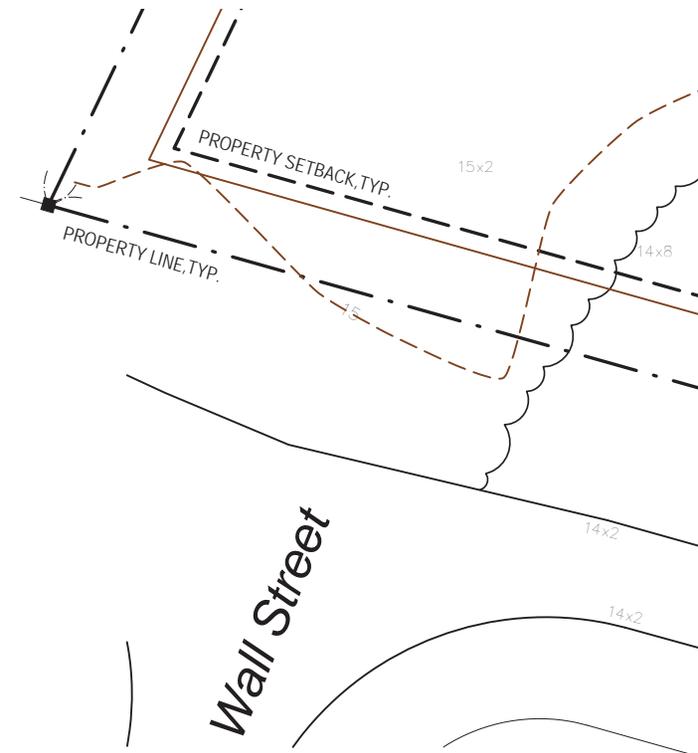
1/8" = 1'-0"



## Window Legend

1/4" = 1'-0"

WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
A	21	2'-7"	5'-2"	TBD	≥ 30
B	8	2'-6"	4'-11"	TBD	≥ 30
C	12	2'-5"	4'-4"	TBD	≥ 30
D	3	1'-11"	2'-7"	TBD	≥ 30
E	6	2'-6"	3'-0"	TBD	≥ 30



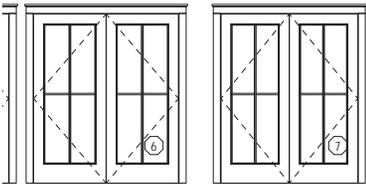
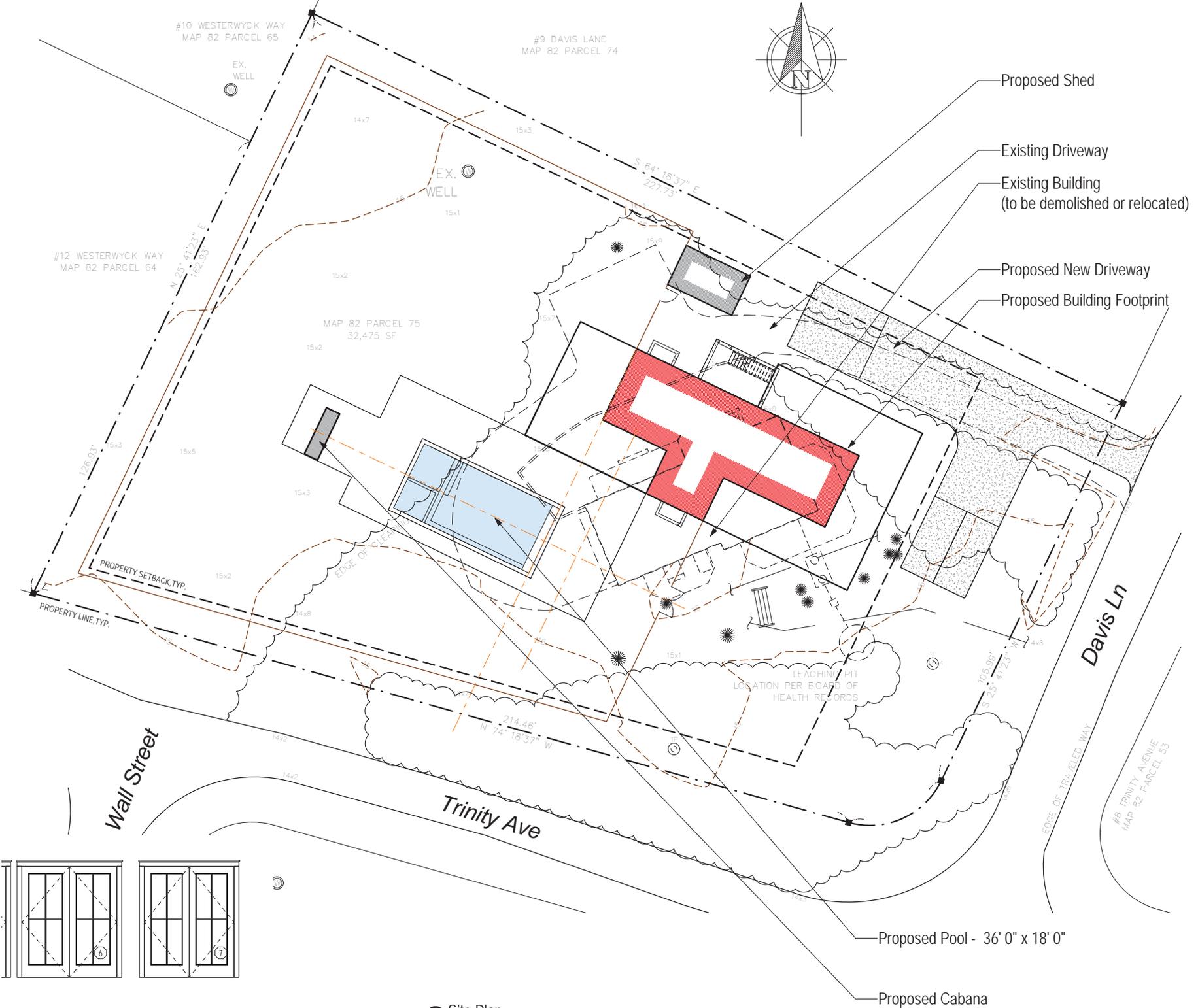
## Door Legend

1/4" = 1'-0"

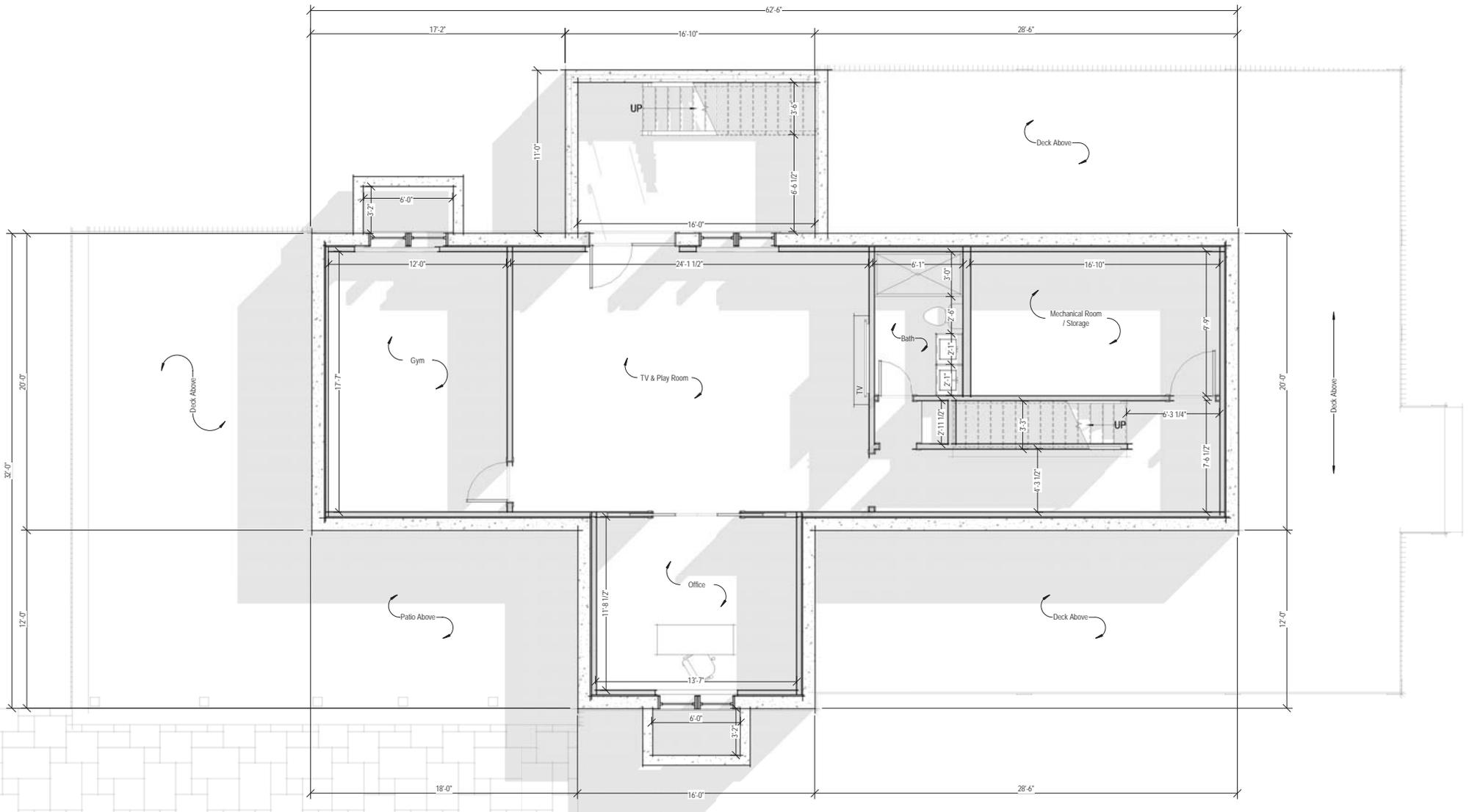
DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
1	1	3'-0"	7'-6"	TBD	≥ 30
2	1	2'-10"	7'-6"	TBD	≥ 30
3	3	5'-8"	7'-6"	TBD	≥ 30
3A	2	6'-0"	7'-6"	TBD	≥ 30
4	1	12'-0"	7'-6"	TBD	≥ 30
5	2	2'-10"	7'-0"	TBD	≥ 30
6	2	6'-0"	7'-0"	TBD	≥ 30
7	1	5'-8"	7'-0"	TBD	≥ 30

### WINDOW & DOOR NOTES

- Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
- Windows w/ DP Rating of 30 or Greater Required
- Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
- Refer To Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
- Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
- General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
- General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
- Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
- Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
- The Unit Measurements Given In this Document Are For A Guide Only
- Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing

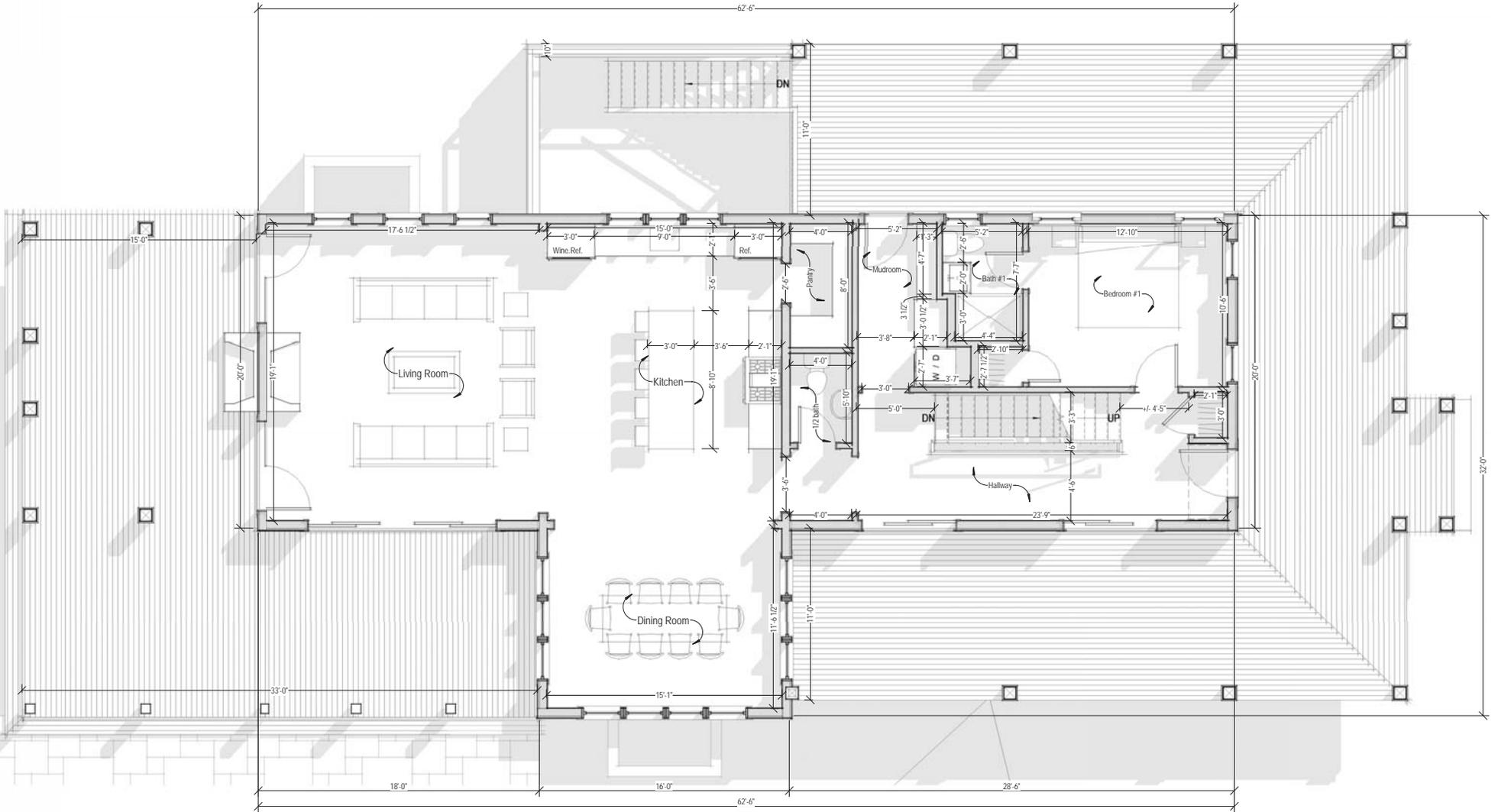


**3** Site Plan  
1/16" = 1'-0"

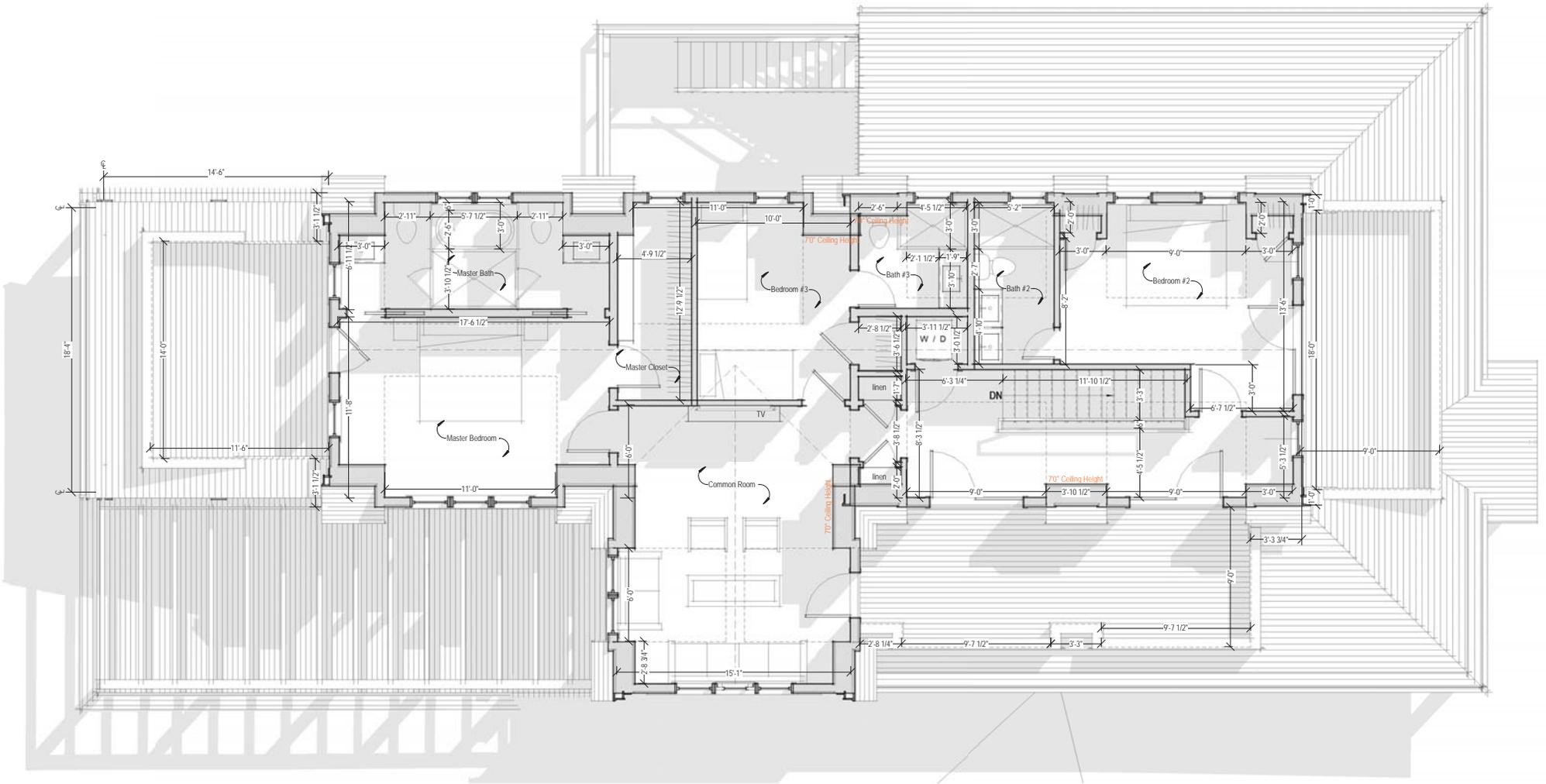


**1** Basement Plan

1/4" = 1'-0"



1 First Floor Plan  
 1/4" = 1'-0"



**1** Second Floor Plan  
 1/4" = 1'-0"



**1** East Elevation  
 1/4" = 1'-0"

8'-0"  
 4'-0"  
 2'-0"  
 0"  
 SCALE: 1/4" = 1'-0"

+/- 28'-11" Ridge Height

Pull back first and second floor decks by 12"



## Previously Proposed East Elevation

---

1/8" = 1'-0"

0 4'-0" 8'-0"  
SCALE: 1/4" = 1'-0"



**2** South Elevation  
1/4" = 1'-0"



CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.  
**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 69 PARCEL N°: 295  
Street & Number of Proposed Work: 11 INDUSTRY RD  
Owner of record: ISLAND GAS LIMITED PARTNERSHIP  
Mailing Address: 20 ARROWHEAD DR  
NANTUCKET MA 02554  
Contact Phone # 508 916 1576 E-mail: dfriedrick@harborfund.com

#### AGENT INFORMATION (if applicable)

Name: ACK SMARIT  
Mailing Address: 61 OLD SOUTH RD #500  
NANTUCKET MA 02554  
Contact Phone #: 781 323 6128 E-mail: solar@acksmarit.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other INSTALL 88 ALL BLACK SOLAR PV MODULES TO SOUTH ROOF  
Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_  
Original Builder: \_\_\_\_\_

- REVISIONS: 1. East Elevation  
(describe) 2. South Elevation  
3. West Elevation  
4. North Elevation

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 1/12 Secondary Mass 1/12 Dormer 1/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural

Wood (Type: Red Cedar, White Cedar, Shakes, etc.) METAL

Fence: Height: \_\_\_\_\_

Type: \_\_\_\_\_

Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

#### Leaders (material and size):

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

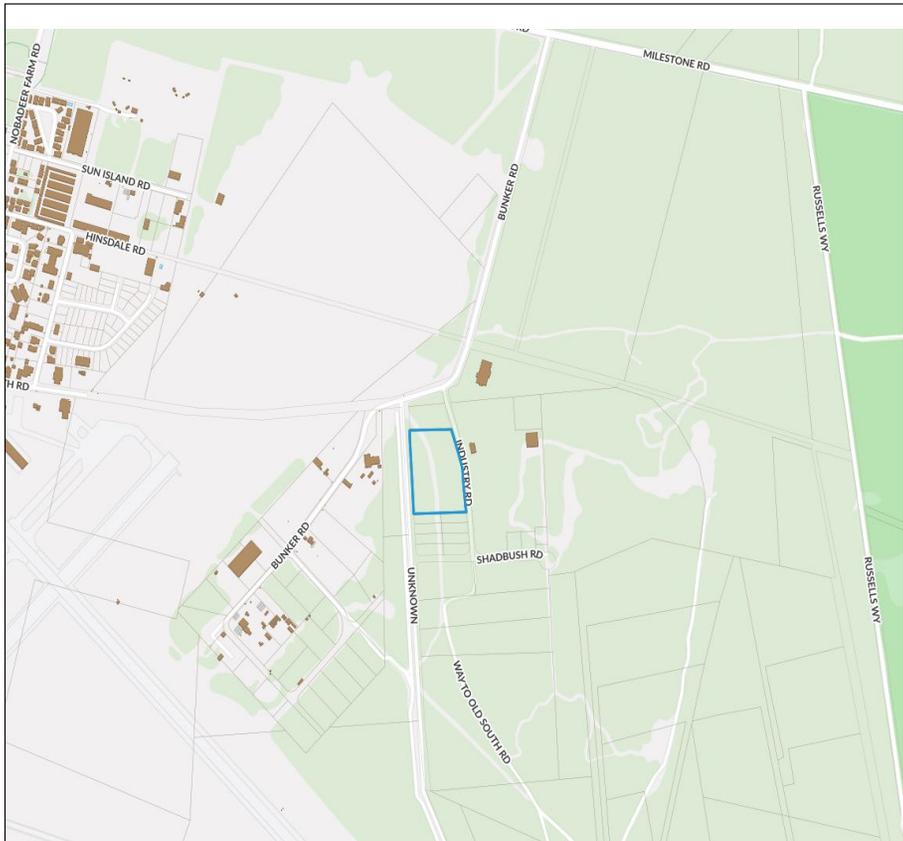
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/22/2020

Signature of owner of record \_\_\_\_\_

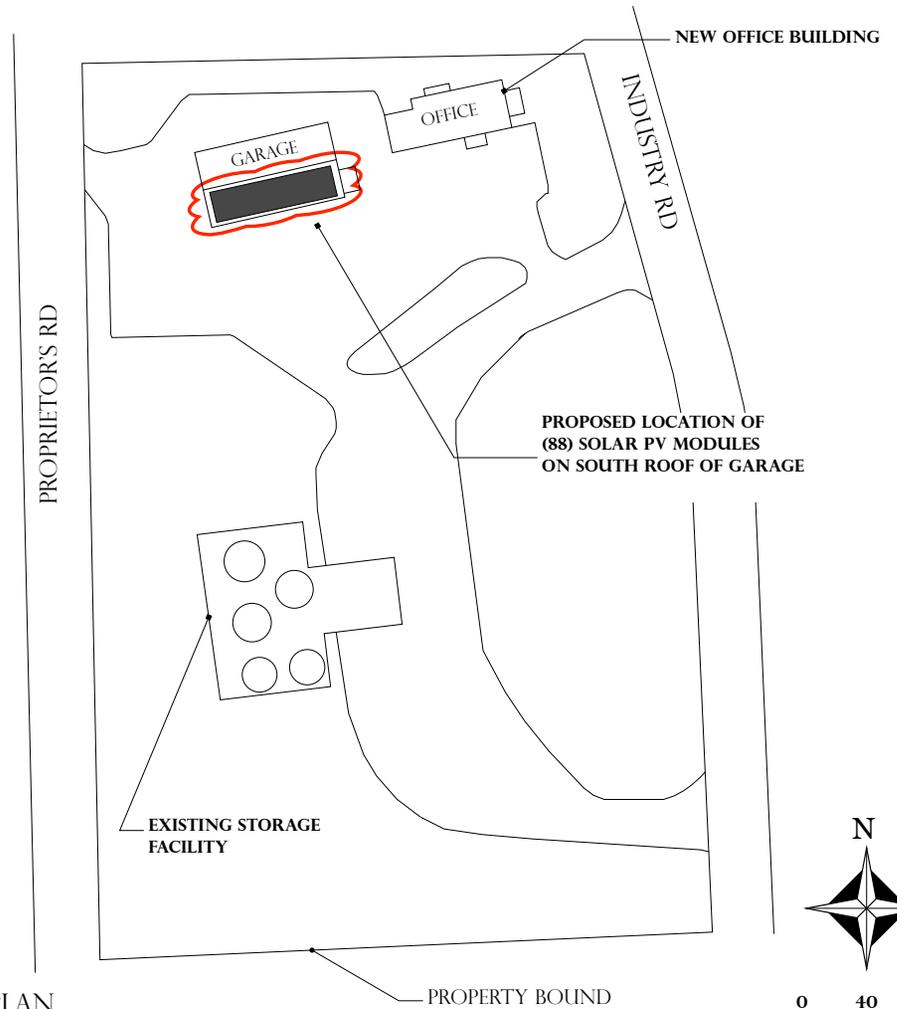
Signed under penalties of perjury



LOCUS MAP  
SCALE: NOT TO SCALE

ZONING CLASS: CI  
FRONT SETBACK: 20 FT  
SIDE/REAR SETBACK: 20 FT

SITE PLAN  
SCALE: 1" = 80' 0"



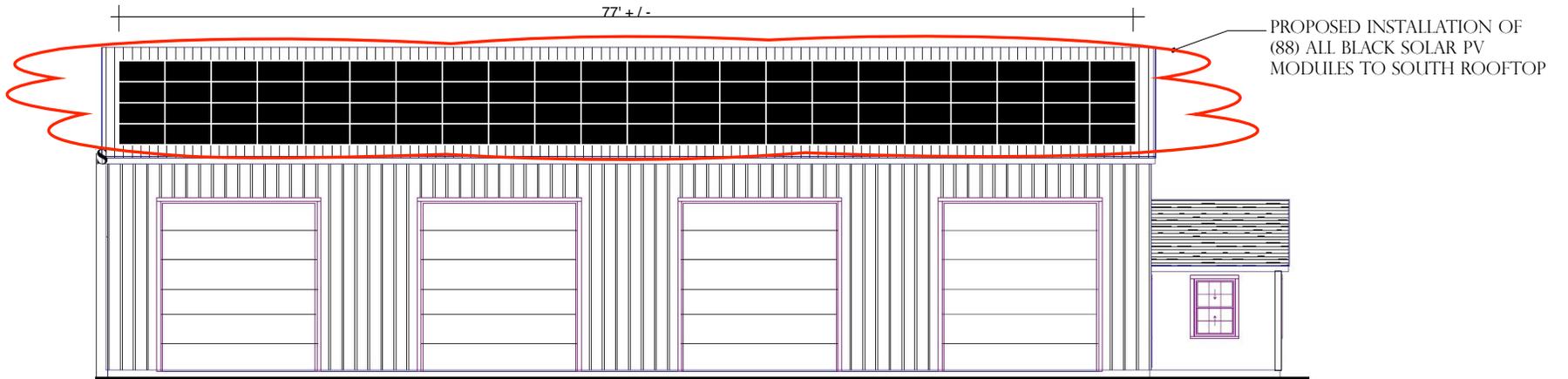
## GIS & SITE PLAN

ROOFTOP SOLAR ARRAY  
28.6 KW DC, 228 KW AC

OWNER:	ISLAND GAS LIMITED PARTNERSHIP
SITE ADDRESS:	11 INDUSTRY RD
CITY, STATE, ZIP:	NANTUCKET, MA 02554
MAP: 69	PARCEL: 295

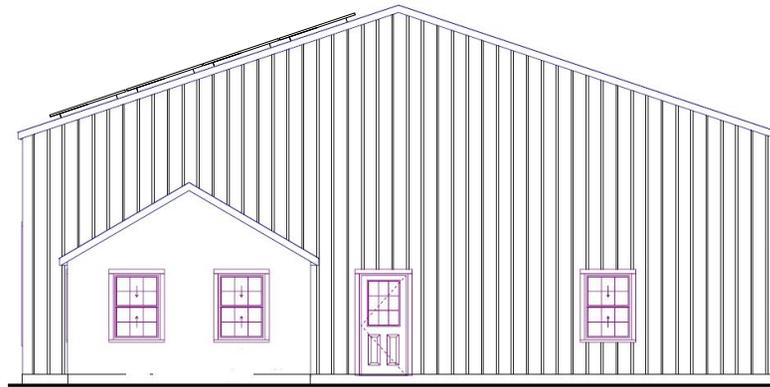
REVISIONS	
MM/DD/YY	REMARKS
1 2/6/2020	DRAFT FOR CLIENT REVIEW
2 5/19/2020	HDC & ENGINEERING REVIEW
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PV



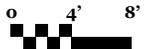
SCALE: 1/8" = 1' 0"

FRONT VIEW (SOUTH)



SCALE: 1/8" = 1' 0"

SIDE VIEW (EAST)



PROPOSED ELEVATIONS

ROOFTOP SOLAR ARRAY  
28.6 KW DC, 228 KW AC

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REVISIONS		REMARKS
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2	5/19/2020	HDC & ENGINEERING REVIEW
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PV 02

LOCATION FOR NEW GARAGE



NEW OFFICE BUILDING



PHOTOS

ROOFTOP SOLAR ARRAY  
28.6 KW DC, 228 KW AC

OWNER:	ISLAND GAS LIMITED PARTNERSHIP
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REVISIONS	
MM/DD/YY	REMARKS
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**GIS & SITE PLAN**  
 ROOFTOP SOLAR ARRAY  
 28.6 KW DC, 22.8 KW AC

OWNER: ISLAND GAS LIMITED PARTNERSHIP  
 SITE ADDRESS: 11 INDUSTRY RD  
 CITY, STATE, ZIP: NANTUCKET, MA 02554  
 MAP: 69

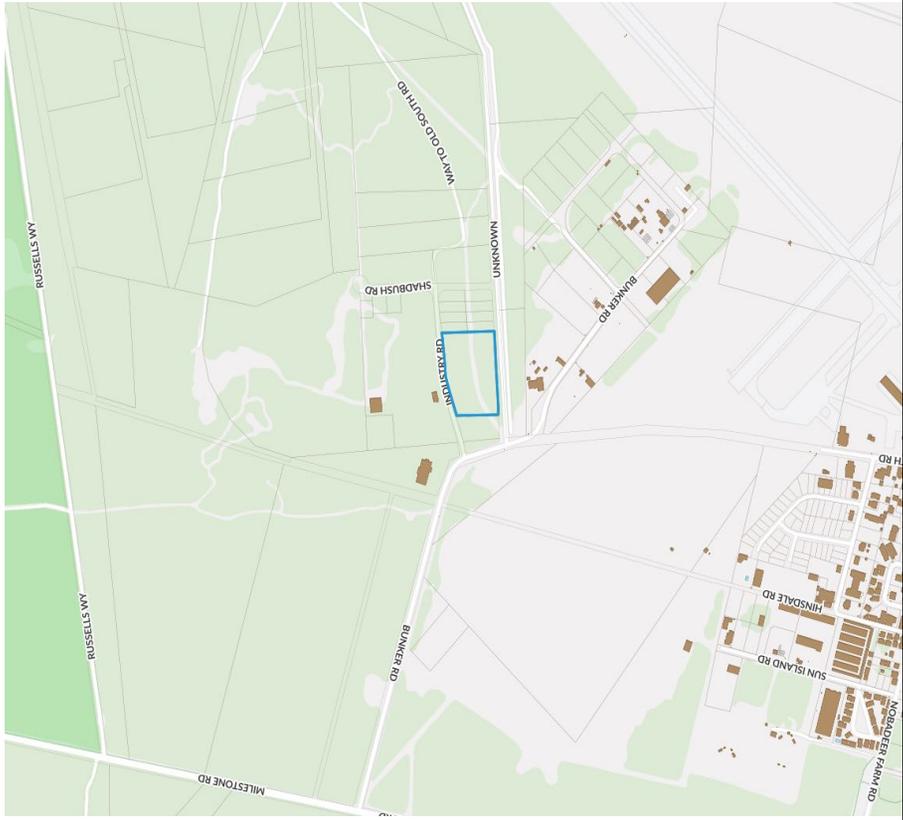
REVISIONS

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	DATE
	REVISIONS
	REMARKS

PV 01

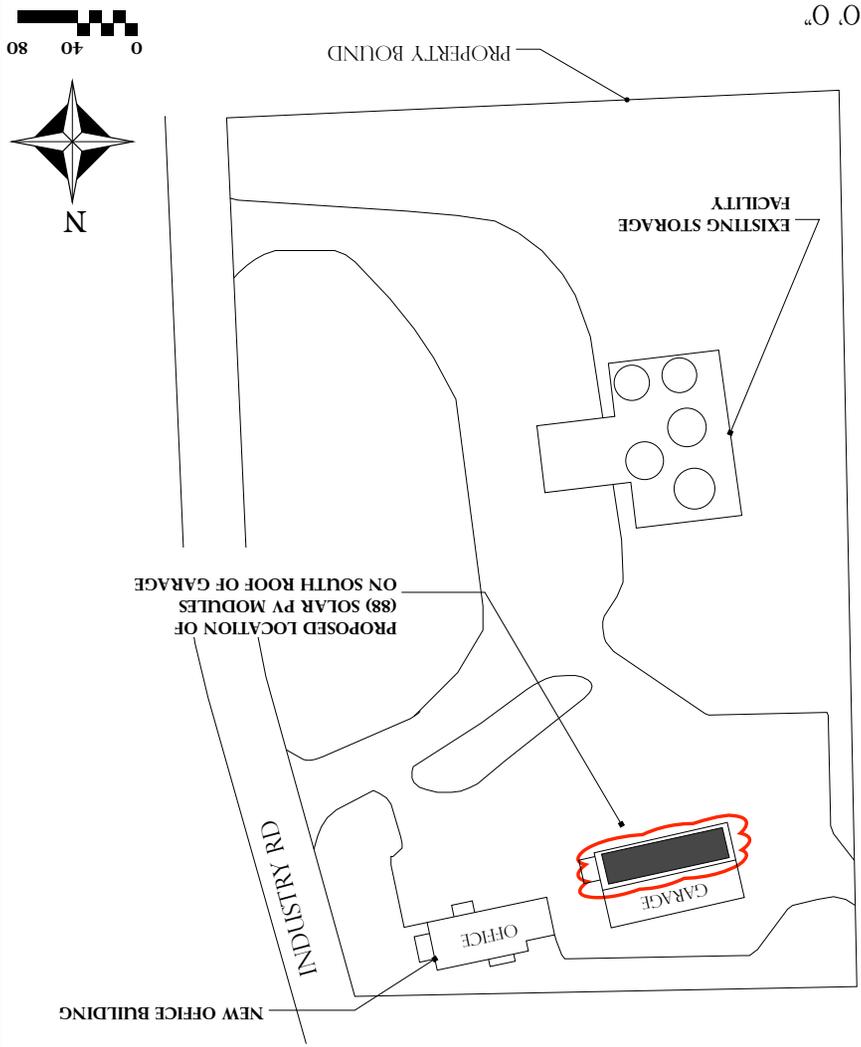
FOCUS MAP TO SCALE  
 SCALE: NOT TO SCALE

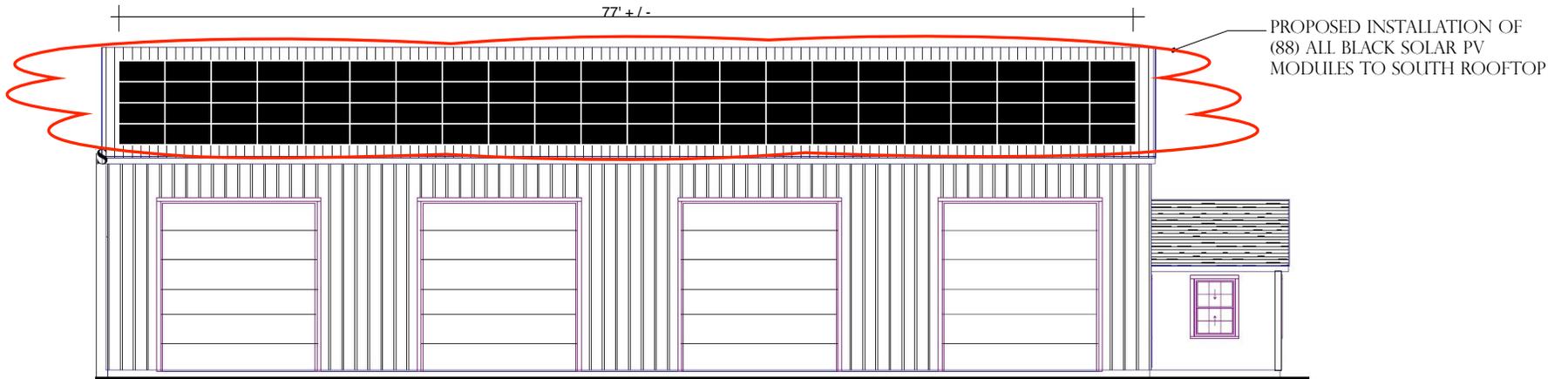
ZONING CLASS: C1  
 FRONT SETBACK: 20 FT  
 SIDE/REAR SETBACK: 20 FT



SITE PLAN  
 SCALE: 1" = 80.0'

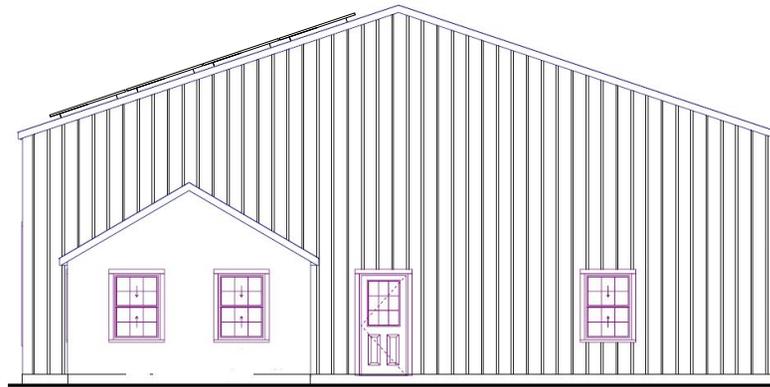
PROPRIETORS RD





SCALE: 1/8" = 1' 0"

FRONT VIEW (SOUTH)



SCALE: 1/8" = 1' 0"

SIDE VIEW (EAST)



PROPOSED ELEVATIONS

ROOFTOP SOLAR ARRAY  
28.6 KW DC, 22.8 KW AC

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PV 02

LOCATION FOR NEW GARAGE

NEW OFFICE BUILDING



PHOTOS

ROOFTOP SOLAR ARRAY  
28.6 KW DC, 228 KW AC

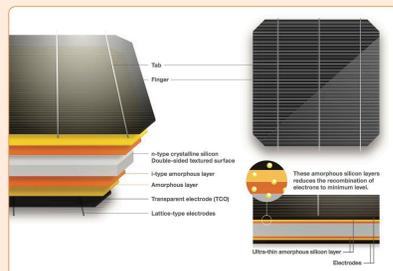
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### N325K / N320K

Panasonic's unique heterojunction technology uses ultra-thin amorphous silicon layers. These thin dual layers reduce losses, resulting in higher energy output than conventional panels.



Panasonic HIT® Black is the brand new all-black module which features high efficiency 19.4%, industry leading temperature coefficient of -0.258%/°C and a sleek design. Powerful and aesthetically designed to make your roof look great.



### N325K / N320K

#### ELECTRICAL SPECIFICATIONS

Model	VBHN325KA03	VBHN320KA03
Rated Power (Pmax)	325W	320W
Maximum Power Voltage (Vmp)	59.2V	58.7V
Maximum Power Current (Imp)	5.50A	5.46A
Open Circuit Voltage (Voc)	70.9V	70.5V
Short Circuit Current (Isc)	5.94A	5.89A
Temperature Coefficient (Pmax)	-0.258%/°C	-0.258%/°C
Temperature Coefficient (Voc)	-0.17%/°C	-0.16%/°C
Temperature Coefficient (Isc)	3.27mA/°C	3.21mA/°C
NOCT	44.0°C	44.0°C
CEC PTC Rating (Tentative)	302.4	297.6
Cell Efficiency	21.8%	21.5%
Module Efficiency	19.4%	19.1%
Watts per Ft²	18.03W	17.8W
Maximum System Voltage	600V	600V
Series Fuse Rating	15A	15A
Warranted Tolerance (+/-)	+10%/ -0%	+10%/ -0%

#### MECHANICAL SPECIFICATIONS

Model	VBHN325KA03, VBHN320KA03
Internal Bypass Diodes	4 Bypass Diodes
Module Area	18.02 Ft² (1.67m²)
Weight	41.89 Lbs (19kg)
Dimensions LxWxH	62.6 x 41.5 x 1.6 (1594x1053x40mm)
Cable Length +Male/-Female	40.2/40.2 in. (1020/1020 mm)
Cable Size / Type	No. 12 AWG / PV Cable
Connector Type*	Multi-Contact* Type IV (MC4)**
Static Wind / Snow Load	112 PSF (5400Pa)***
Pallet Dimensions LxWxH	65.3x42.7x48.5 in. (USA) 63.7x42.2x48.4 in. (Malaysia)
Quantity per Pallet / Pallet Weight	24 pcs/1549 Lbs. (674 kg)
Quantity per 40' Container	672 pcs.
Quantity per 20' Container	288 pcs.

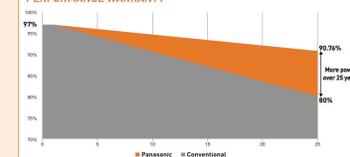
#### Operating Conditions & Safety Ratings

Model	VBHN325KA03, VBHN320KA03
Operating Temperature	-40°F to 185°F (-40°C to 85°C)
Hail Safety Impact Velocity	1" hailstone (25mm) at 52 mph (23m/s)
Safety & Rating Certifications	UL 1703, cUL, Certified by UL LLC, CEC, FSEC, ISO9001
UL 1703 Fire Classification	Type 2
Limited Warranty	25** Yrs Workmanship and Power Output (Linear)***
Manufacturing Locations	USA and Malaysia

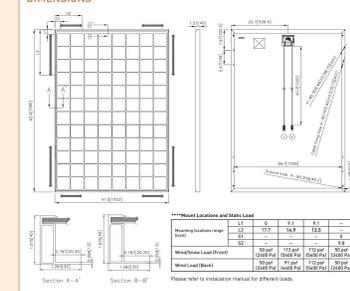
NOTE: Standard Test Conditions: Air mass 1.5, irradiance = 1000W/m², cell temp. 25°C  
 \*\*Maximum power at delivery. For guarantee conditions, please check our guarantee document.  
 \*\*\*Installation needs to be registered through our website: [www.panasonic.com/ahb/registrations](http://www.panasonic.com/ahb/registrations) within 60 days in order to receive twenty-five (25) year Product workmanship. Otherwise, Product Workmanship will be only fifteen (15) years.  
 \*\*\*\*1st year: 97%, after 2nd year: 0.28% annual degradation to year 25.  
 \*STC: Cell temp. 25°C, AM1.5, 1000W/m²  
 \*\*Safety locking only (PV-SSM) is not supplied with the module.  
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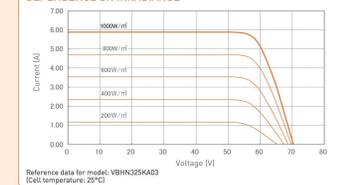
#### PERFORMANCE WARRANTY



#### DIMENSIONS



#### DEPENDENCE ON IRRADIANCE



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 ⚠ CAUTION! Please read the installation manual carefully before using the products. Used electrical and electronic products must not be mixed with general household waste. For proper treatment, recovery and recycling of old products, please take them to applicable collection points in accordance with your national legislation.

#### Our competitive advantages



**High Efficiency at High Temperatures**  
As temperature increases, HIT® continues to perform at high levels due to the industry leading temperature coefficient of -0.258%/°C. No other module even comes close to our temperature characteristics. That means more energy throughout the day.



**25 Year Product and Performance Warranty\*\***  
Industry leading 25 year product workmanship and performance warranty is backed by a century old company- Panasonic. Power output is guaranteed to 90.76% after 25 years, far greater than other companies.



**Quality and Reliability**  
Panasonic's vertical integration, 21 years of experience manufacturing HIT® and 20 internal tests beyond those mandated by current standards provides extreme quality assurance.



**Higher Efficiency 19.4%**  
Enables higher power output and greater energy yields. HIT® provides maximum production for your limited roof space.



**Low Degradation**  
HIT "N-type" cells result in extremely Low Light Induced Degradation (LID) and zero Potential Induced Degradation (PID) which supports reliability and longevity. This technology reduces annual degradation to 0.26% compare to 0.70% in conventional panels, guaranteeing more power for the long haul.



**Enhanced Frame Design**  
A new 40mm frame increases durability and strength, being able to handle loads of up to 5400Pa. Also, the water drainage system gives rain water and snow melt a place to go, reducing water stains and soiling. Less dirt on the module means more sunlight getting through to generate power.

HIT® is a registered trademark of Panasonic Group



Panasonic Eco Solutions of North America  
Two Riverfront Plaza, 9th Floor, Newark, NJ 07102  
panasonichit@us.panasonic.com  
na.panasonic.com/us/solarpanels

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092017  
RS1747405\_3\_14\_19



## PV MODULE SPECIFICATIONS

ROOFTOP SOLAR ARRAY  
28.6 KW DC, 22.8 KW AC

OWNER:	ISLAND GAS LIMITED PARTNERSHIP
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MAP: 69	PARCEL: 295

#### REVISIONS

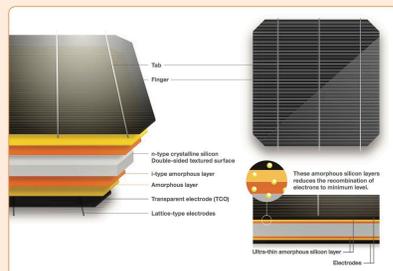
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2 5/19/2020	HDC & ENGINEERING REVIEW	
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PV 04



### N325K / N320K

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Connector Type*	Multi-Contact* Type IV (MC4)**
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Quantity per 20' Container	288 pcs.

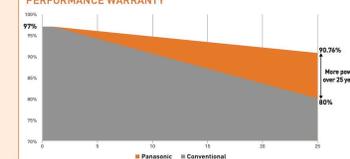
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Limited Warranty	25** Yrs Workmanship and Power Output (Linear)***
Manufacturing Locations	USA and Malaysia

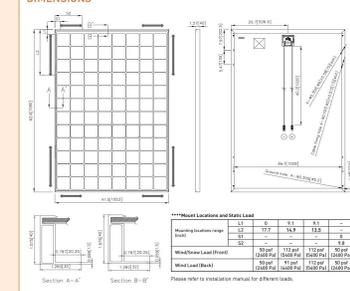
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 \*\*Maximum power at delivery. For guarantee conditions, please check our guarantee document.  
 \*\*\*Installation needs to be registered through our website: [www.panasonic.com/ahb/registrations](http://www.panasonic.com/ahb/registrations) within 60 days in order to receive twenty-five (25) year Product workmanship. Otherwise, Product Workmanship will be only fifteen (15) years.  
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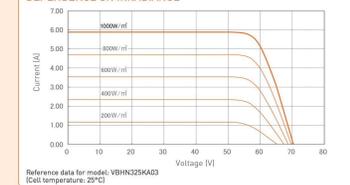
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#### DIMENSIONS



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 Two Riverfront Plaza, 5th Floor, Newark, NJ 07102  
 panasonichit@us.panasonic.com  
 na.panasonic.com/us/solarpanels

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 Specifications are subject to change without notice  
 092017  
 RS1747405\_3\_14\_19



## PV MODULE SPECIFICATIONS

ROOFTOP SOLAR ARRAY  
 28.6 KW DC, 22.8 KW AC

OWNER:	ISLAND GAS LIMITED PARTNERSHIP
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PV 04

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

X	HDC case number: (ex HDC2020-xx-xxxx), if applicable 02-0722
X	<u>Copy of Minutes</u> (application item circled)
X	<u>Reduced (8 1/2 x 11) copy of application</u>
X	<u>Locus Map</u> : 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) <ul style="list-style-type: none"> <li>a. Site Plan</li> <li>b. North Elevation</li> <li>c. South Elevation</li> <li>d. East Elevation</li> <li>e. West Elevation</li> <li>f. Window/Door Schedule</li> </ul>
X	<u>One set reduced plans</u> : 8 1/2 x 11
X	<u>Electronic Submission</u> : ALL documents <b>MUST BE</b> scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

**\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

### **Affidavit Certifying Completeness of Application**

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: \_\_\_\_\_ Date: 05.27.20

36. Rattner, David **02-0730** 55 Hummock Pond Road New auxiliary structure 56-4 Emeritus  
 Voting Coombs, McLaughlin, Camp, Oliver  
 Alternates None  
 Recused None  
 Documentation Architectural elevation plans, site plan, and photos.  
 Representing Matt MacEachern, Emeritus Development  
 Public None  
 Concerns (8:04) **MacEachern** – Presented project.  
 No concerns.  
 Motion **Motion to Approve. (Oliver)**  
 Vote Carried unanimously Certificate # **HDC2020-02-0730**

37. 11 Meadow, LLC **02-0722** 11 Meadow Lane New dwelling 41-448 Emeritus  
 Voting Coombs, McLaughlin, Oliver  
 Alternates None  
 Recused Camp  
 Documentation Architectural elevation plans, site plan, and photos.  
 Representing Matt MacEachern, Emeritus Development  
 Public None  
 Concerns (8:05) **MacEachern** – Presented project.  
**Oliver** – Would like to know what the house at 11B looks like. Houses are getting huge out here; this is 29 feet tall. Want's to view.  
 Motion **Motion to View. (Oliver)**  
 Vote Carried 3-0 Certificate #

38. Brant Point R.E. **02-0714** 12 Brant Point Road New guest house 29-149 Emeritus  
 Voting Coombs, McLaughlin, Oliver  
 Alternates None  
 Recused None  
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.  
 Representing Matt MacEachern, Emeritus Development  
 Public None  
 Concerns (8:09) **Coombs** – Read HSAB comments: not contributing, no concerns, eave line compete with house; 2<sup>nd</sup>-floor deck large and visible; dormers too large; and building very vertical.  
**MacEachern** – Presented project.  
**Oliver** – The 2<sup>nd</sup>-floor deck is huge; it could end at the main structure. You can't really see this.  
**McLaughlin** – No comments.  
 Motion **Motion to Approve. (Oliver)**  
 Vote Carried unanimously Certificate # **HDC2020-02-0714**

39. Larrabee, Rich **02-0711** 7 Millbrook Road New dwelling 56-474 Val Oliver  
 Voting Coombs, McLaughlin  
 Alternates None  
 Recused Oliver  
 Documentation None  
 Representing None  
 Public None  
 Concerns (8:14) Not opened at this time.  
 Motion **Held for Tuesday March 3 due to lack of quorum.**  
 Vote N/A Certificate #

40. West, John **02-0748** 1 Cambridge Street Hardscaping/color chg 42.3.1-130.2 Shelter 7  
 41. Chesley, Richard **02-0732** 32 West Chester Street New dwelling 42.4.3-31 BPC  
 42. 123 Madaket Rd N.T. **02-0724** 123 Madaket Road Addition 40-60 Mark Cutone Architect  
 Voting Coombs, McLaughlin, Oliver  
 Alternates None  
 Recused None  
 Documentation None  
 Representing None  
 Public None  
 Concerns (8:14) Not opened at this time.  
 Motion **Hold for representation by unanimous consent.**  
 Vote N/A Certificate #

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N<sup>o</sup>: 41 PARCEL N<sup>o</sup>: 448  
 Street & Number of Proposed Work: 11 MEADOW LN  
 Owner of record: 11 MEADOW LLC  
 Mailing Address: 11 MEADOW LN  
NANTUCKET MA  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: EMERITUS  
 Mailing Address: 8 WILLIAMS LN  
NANTUCKET MA  
 Contact Phone #: 3254995 E-mail: \_\_\_\_\_

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other: NEW DWELLING  
 Size of Structure or Addition: Length: 66 Sq. Footage 1st floor: 2,036 Decks/Patio: Size: 690  1st floor  2nd floor  
 Width: 38 Sq. footage 2nd floor: 1,502 Size: 70  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North 29'1" South 29'1" East 29'1" West 29'1"

#### Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_  
 Original Builder: \_\_\_\_\_  
 Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass 10 /12 Secondary Mass 12 /12 Dormer 5 /12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia 5 1/2" Rake 5 1/2" Soffit (Overhang) 5" Corner boards \_\_\_\_\_ Frieze 3"  
 Window Casing 3 1/2" Door Frame 3 1/2" Columns/Posts: Round \_\_\_\_\_ Square   
**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall NATURAL Clapboard (if applicable) \_\_\_\_\_ Roof NATURAL  
 Trim WHITE Sash WHITE Doors WHITE  
 Deck NATURAL Foundation NATURAL Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 02.19.20 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_

# 11 Meadow LLC Residence

11 Meadow Ln  
Nantucket, MA 02554



**1809**  
11 Meadow LLC  
Residence  
11 Meadow Ln  
Nantucket, MA 02554



Cover Sheet

Site Information

Map & Parcel:	41 / 448
Current Zoning:	R-20
Minimum Frontage:	75 ft
Front Setback:	30 ft
Side/Rear Setback:	10 ft
Lot Size:	20,000 SF
Min. Lot Size:	20,000 SF
Allowable G.C.:	2,500 SF
Existing G.C.:	N/A
Proposed G.C.:	2,036 SF
Total Proposed G.C.:	2,036 SF

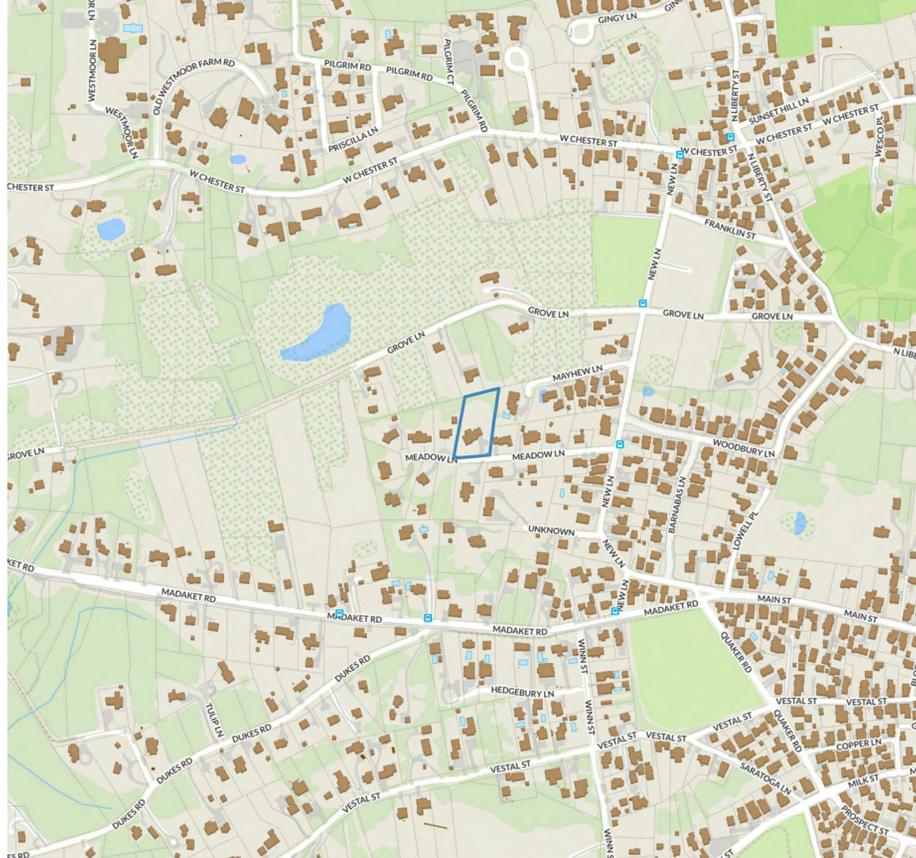
Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.101 Cover Sheet
- A.101 Floor Plans
- A.201 Exterior Elevations
- A.202 Exterior Elevations

05.27.20

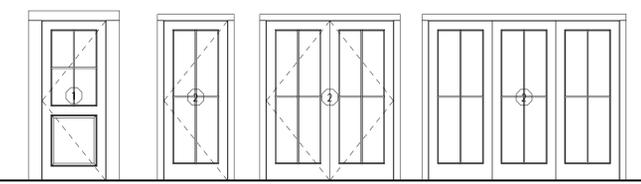
HDC Submission



Locus Map  
1" = 40'-0"



Window Legend  
1/4" = 1'-0"



Door Legend  
1/4" = 1'-0"



Site Plan  
1" = 20'-0"

Revisions

Revision 1	Date 1
------------	--------

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD. DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

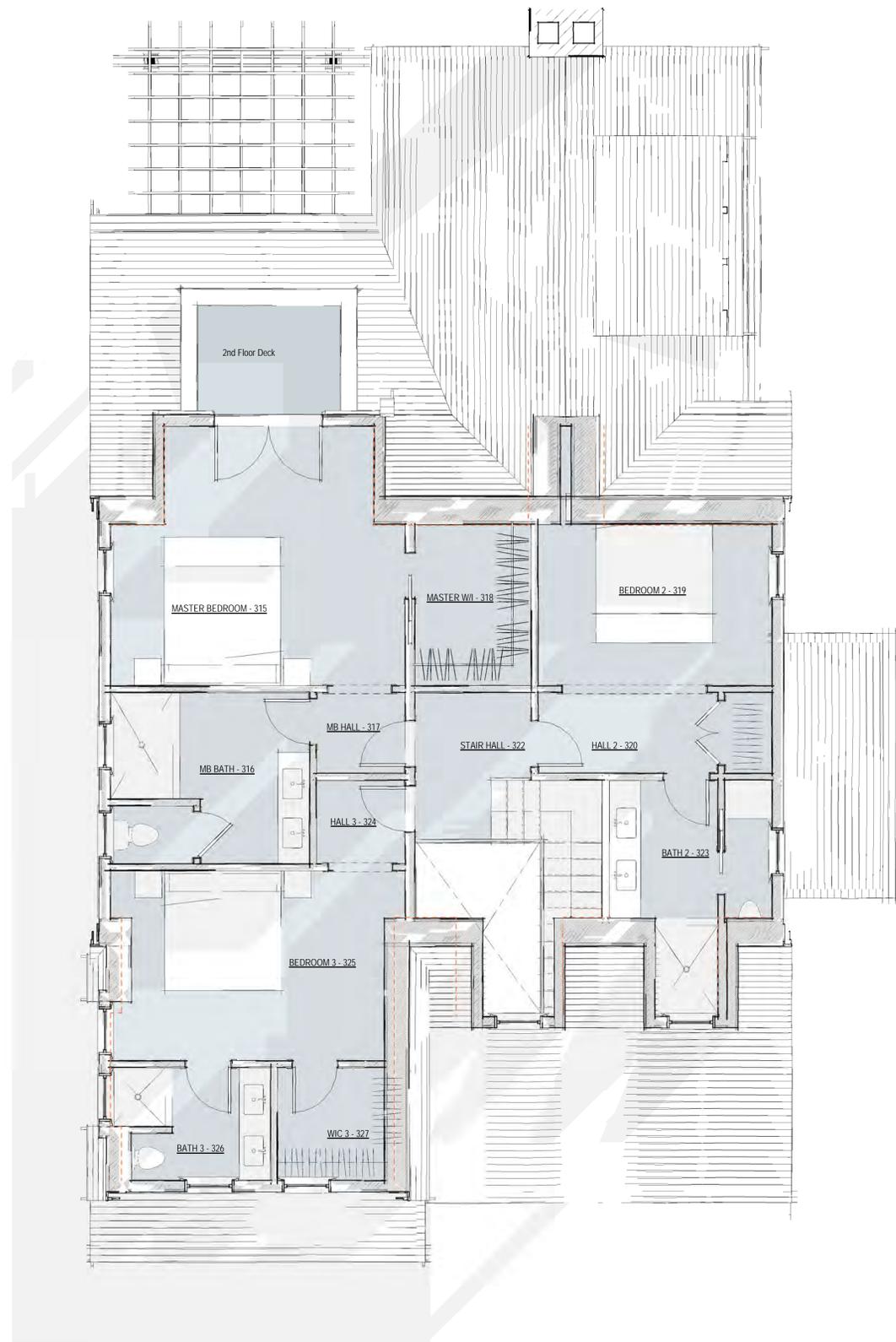
**G.101**  
**1809**

05.27.20

HDC Submission



1 First Floor Plan  
1/4" = 1'-0"



2 Second Floor Plan  
1/4" = 1'-0"

1809  
11 Meadow LLC  
Residence  
11 Meadow Ln  
Nantucket, MA 02554



Floor Plans

Site Information

Map & Parcel:	41 / 448
Current Zoning:	R-20
Minimum Frontage:	75 ft
Front Setback:	30 ft
Side/Rear Setback:	10 ft
Lot Size:	20,000 SF
Min. Lot Size:	20,000 SF
Allowable G.C.:	2,500 SF
Existing G.C.:	N/A
Proposed G.C.:	2,036 SF
Total Proposed G.C.:	2,036 SF

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Revisions

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A.101  
1809

05.27.20

HDC Submission



1 South Elevation  
1/4" = 1'-0"



2 West Elevation  
1/4" = 1'-0"

**1809**  
 11 Meadow LLC  
 Residence  
 11 Meadow Ln  
 Nantucket, MA 02554



8 Williams Lane Nantucket, MA  
 02554  
 P. 508.325.4995  
 F. 508.325.4980  
 www.emeritusdevelopment.com

Exterior Elevations

Site Information

Map & Parcel:	41 / 448
Current Zoning:	R-20
Minimum Frontage:	75 ft
Front Setback:	30 ft
Side/Rear Setback:	10 ft
Lot Size:	20,000 SF
Min. Lot Size:	20,000 SF
Allowable G.C.:	2,500 SF
Existing G.C.:	N/A
Proposed G.C.:	2,036 SF
Total Proposed G.C.:	2,036 SF

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- A.202 Exterior Elevations

Revisions

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**A.201**  
**1809**

05.27.20

HDC Submission



1 North Elevation  
1/4" = 1'-0"



2 East Elevation  
1/4" = 1'-0"

1809

11 Meadow LLC  
Residence

11 Meadow Ln  
Nantucket, MA 02554



8 Williams Lane Nantucket, MA  
02554  
P. 508.325.4995  
F. 508.325.4980  
www.emeritusdevelopment.com

Exterior Elevations

Site Information

Map & Parcel:	41 / 448
Current Zoning:	R-20
Minimum Frontage:	75 ft
Front Setback:	30 ft
Side/Rear Setback:	10 ft
Lot Size:	20,000 SF
Min. Lot Size:	20,000 SF
Allowable G.C.:	2,500 SF
Existing G.C.:	N/A
Proposed G.C.:	2,036 SF
Total Proposed G.C.:	2,036 SF

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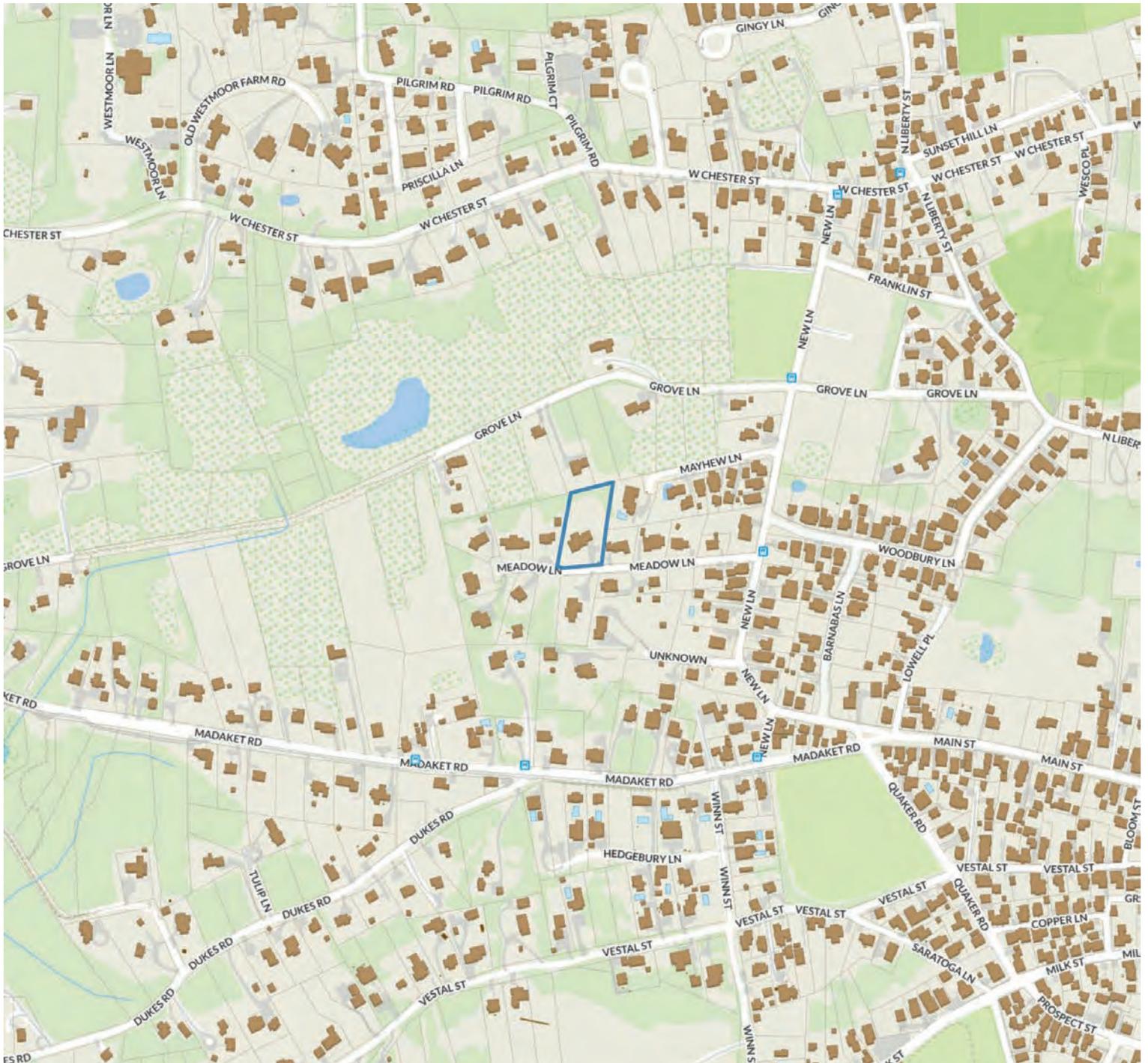
Revisions

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A.202  
1809

# 11 Meadow LLC Residence

11 Meadow Ln  
Nantucket, MA 02554

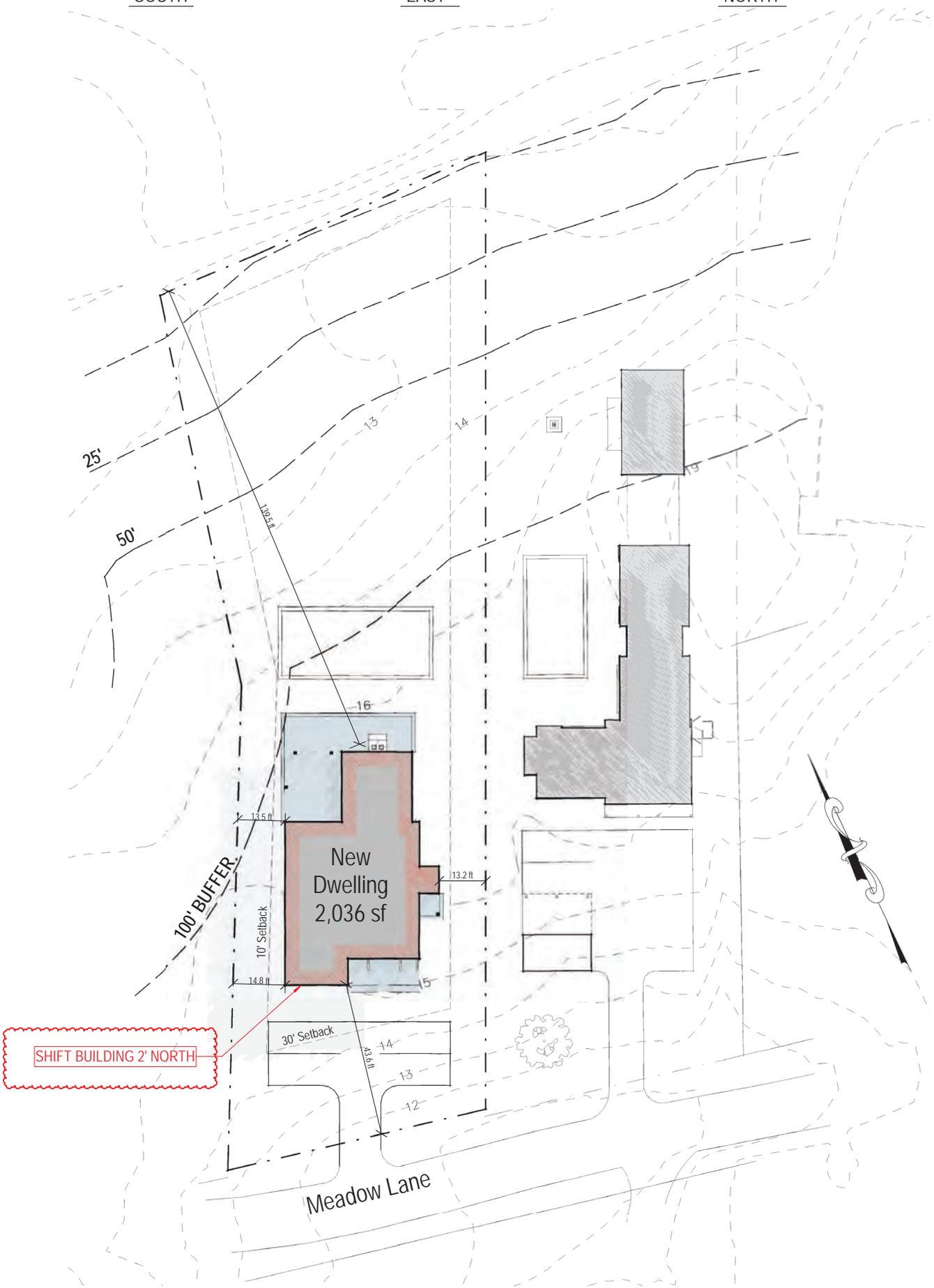


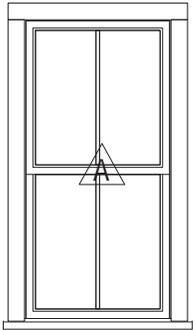
SOUTH

EAST

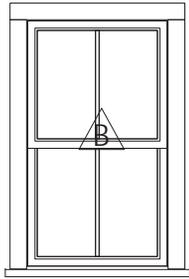
NORTH

WEST

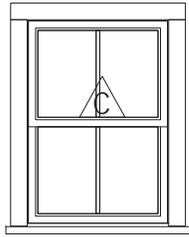




Double Hung  
6/6 SDL



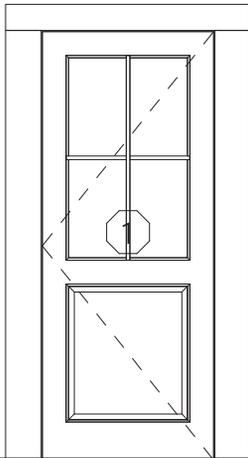
Double Hung  
6/6 SDL



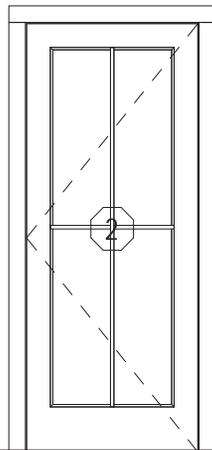
Double Hung  
6/6 SDL

## Window Legend

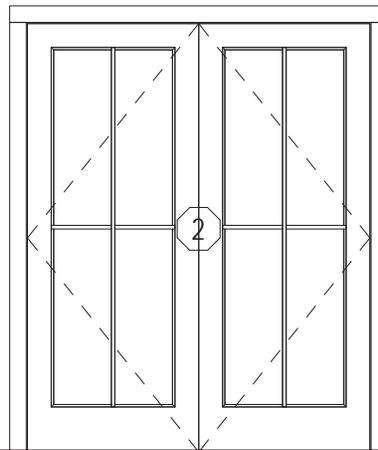
1/4" = 1'-0"



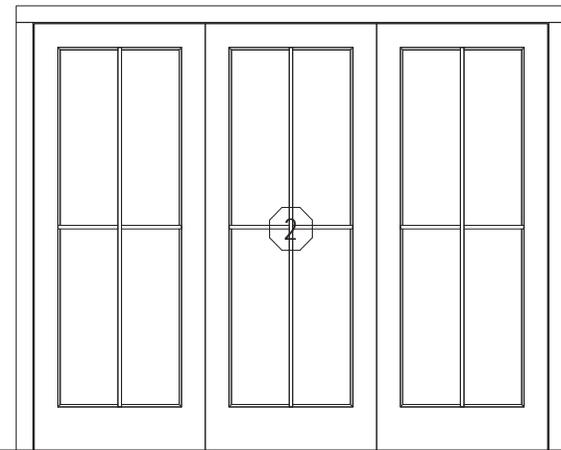
1 Panel + 2 Lite SDL



Single French Door  
4 Lite SDL



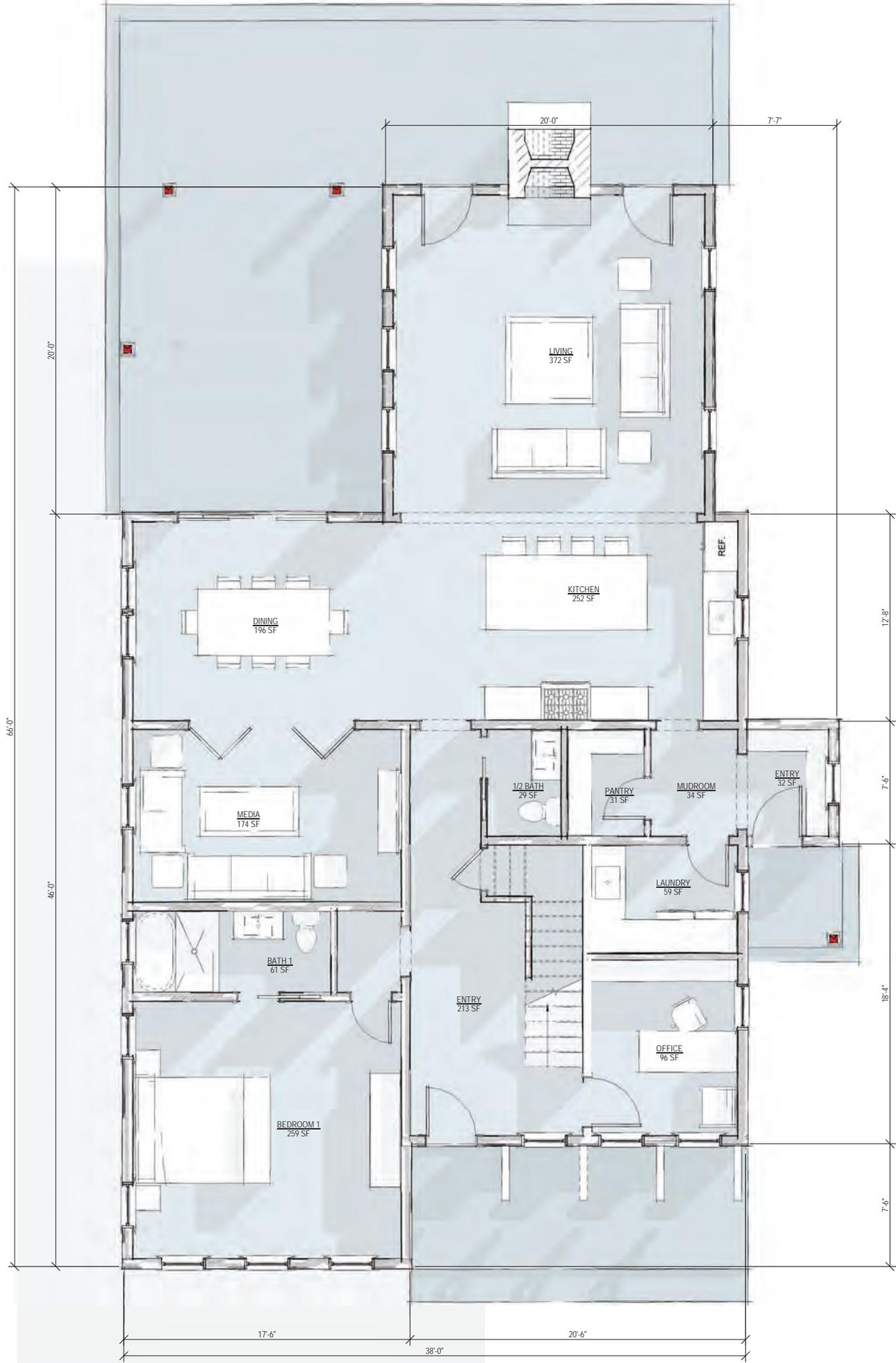
Double French Door  
(2) 15 Lite SDL



Triple French Door  
(2) 15 Lite SDL

## Door Legend

1/4" = 1'-0"



**1** First Floor Plan  
 1/4" = 1'-0"



**2** Second Floor Plan  
 1/4" = 1'-0"



**1** South Elevation  
1/4" = 1'-0"



**2** West Elevation  
1/4" = 1'-0"



**1** North Elevation  
1/4" = 1'-0"



**2** East Elevation  
1/4" = 1'-0"

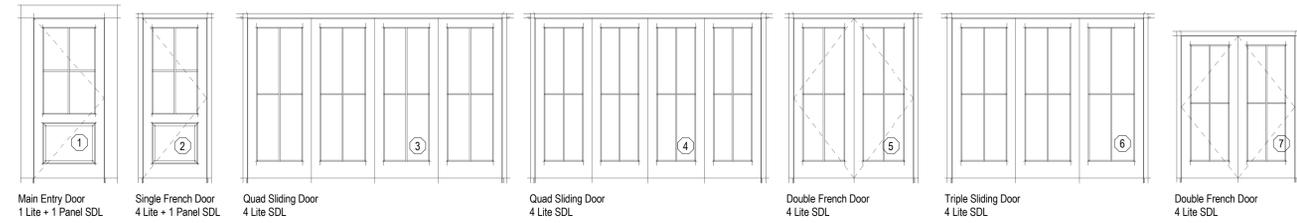
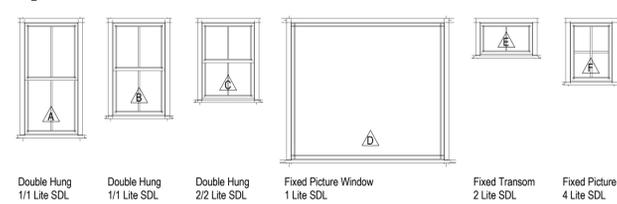
10.15.18

# 11 Meadow Lane LLC

11 Meadow Lane  
Nantucket, MA 02554



## 1 Locus Map



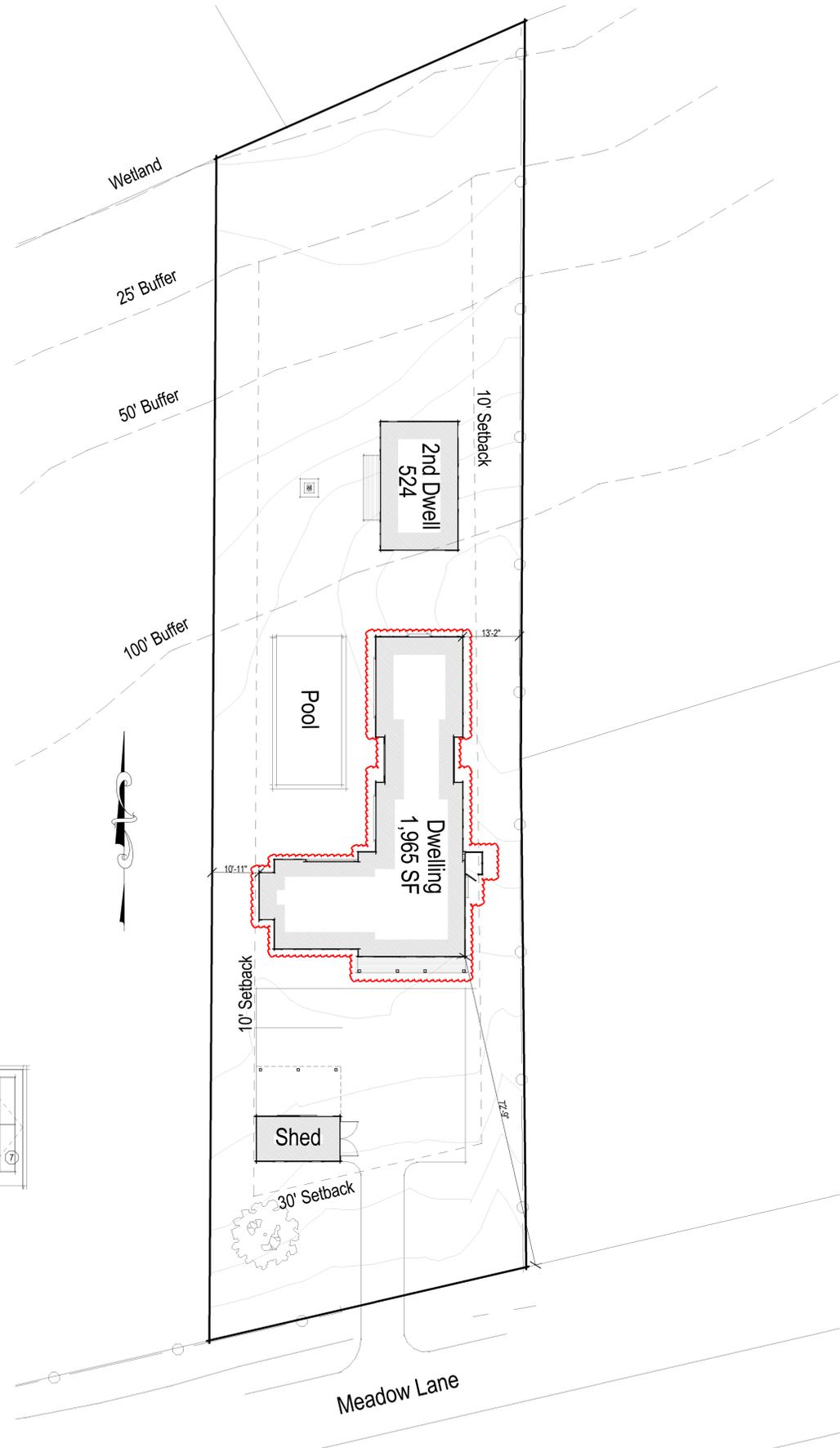
WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
A	11	2'-9"	5'-4"	T.B.D.			≥ 30
B	6	2'-8"	4'-5"	**			**
C	20	2'-8"	3'-8"	**			**
D	1	7'-5 1/4"	6'-6"	**			**
E	16	Varies	4'-7"	**			**
F	2	2'-2"	2'-10"	**			**

DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
1	1	3'-4"	7'-6"	T.B.D.			≥ 30
3	1	12'-0"	7'-6"	**			**
4	1	10'-8"	7'-6"	**			**
5	2	5'-8"	7'-6"	**			**
6	1	9'-0"	7'-6"	**			**
7	1	5'-4"	6'-8"	**			**

### WINDOW & DOOR NOTES

- Windows w/ DP Rating of 30 or Greater Required
- Refer To Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
- Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
- General Contractor To Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
- General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
- Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
- Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
- The Unit Measurements Given In This Document Are For A Guide Only
- Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing

HDC Approval Through Staff



## 3 Site Plan

1/16" = 1'-0"

**1803**  
11 Meadow Lane LLC

11 Meadow Lane  
Nantucket, MA 02554



## Cover Sheet

### Site Information

Map & Parcel:	41 / 448
Current Zoning:	R-20
Minimum Frontage:	75'
Front Setback:	30'
Side/Rear Setback:	10'
Lot Size:	20,008 SF +/-
Min. Lot Size:	20,000 SF
Allowable G.C.:	12.5% or 2,501 SF +/-
Existing G.C.:	---
Proposed G.C.:	1,965 SF
Total Proposed G.C.:	2,500 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

### SHEET INDEX

- G.1.1 Cover Sheet
- A.1.0 Basement Plan
- A.1.1 1st Floor Plan
- A.1.2 Second Floor Plan & Roof Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- F.1.1 Foundation Plan
- S.1.1 First Floor Framing Plan
- S.1.2 Second Floor Framing Plan
- S.1.3 Roof Framing Plan
- S.2.1 Framing Sections

FOR REVIEW ONLY,  
NOT FOR CONSTRUCTION

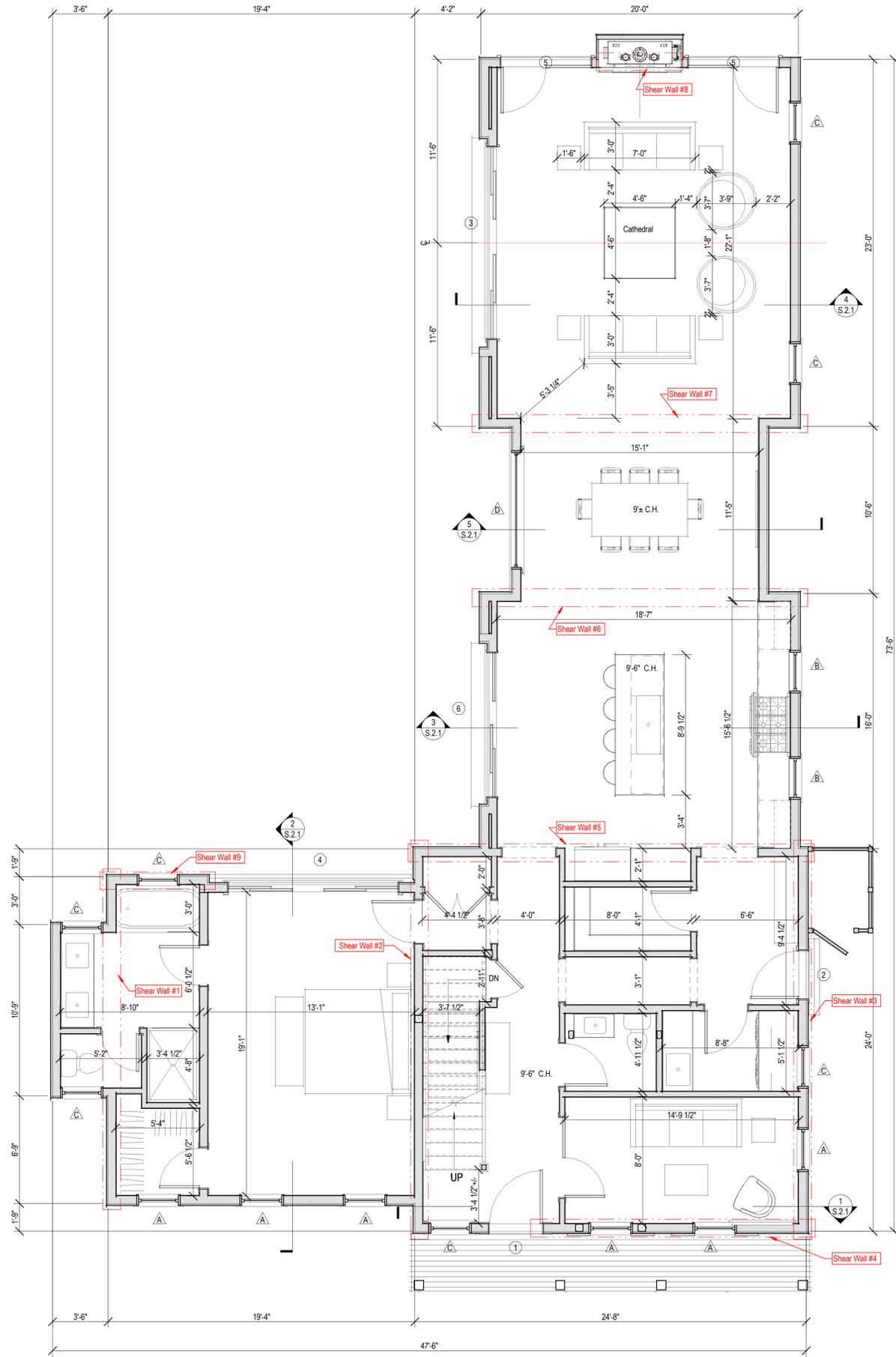
### Revisions

Revision 1 Date 1

**G.1.1**  
**1803**

10.15.18

HDC Approval Through Staff



1 1st Floor Plan  
1/4" = 1'-0"

Table of Shear Walls

Shear Wall #	Total Shear (lbs)	Line Shear (plf)	Sheathing required (15/32" OSB)	Seathing nailing along edges (6" o/c in field) (common wire nails)	End Studs required	Fastening of double base plate to foundation wall	Fastening of double top plate to rim joist, joists, rafters and blocking	Holddown required (each end)
1	5,878	664	OSB sheathing on one side	10d@2" o/c	3@2x6 SPF	5/8"x20" anchor bolts @16" o/c	6@0.148"x3" nails/ft	Simpson HDU5
2	14,004	469	OSB sheathing on one side	10d@4" o/c	2@2x6 SPF	5/8"x20" anchor bolts @16" o/c	6@0.148"x3" nails/ft	Simpson HDU5
3	8,669	730	OSB sheathing on one side	10d@3" o/c	3@2x6 SPF	5/8"x20" anchor bolts @16" o/c	6@0.148"x3" nails/ft	Simpson HDU5
4	7,143	469	OSB sheathing on one side	10d@4" o/c	2@2x6 SPF	5/8"x20" anchor bolts @16" o/c	6@0.148"x3" nails/ft	Simpson HDU5
5	10,999	1,730	OSB sheathing on both sides	10d@2" o/c	6x6 PSL post	5/8"x20" anchor bolts @10" o/c	8@1/4"x3 1/2" structural screws/ft	Simpson HDU11
6	5,587	1,706	OSB sheathing on both sides	10d@2" o/c	6x6 PSL post	5/8"x20" anchor bolts @10" o/c	8@1/4"x3 1/2" structural screws/ft	Simpson HDU14
7	4,741	1,423	OSB sheathing on one side	10d@3" o/c	6x6 PSL post	5/8"x20" anchor bolts @10" o/c	8@1/4"x3 1/2" structural screws/ft	Simpson HDU5
8	4,741	448	OSB sheathing on one side	10d@6" o/c	2@2x6 SPF	5/8"x20" anchor bolts @16" o/c	6@0.148"x3" nails/ft	Simpson HDU5
9	5,234	1,571	OSB sheathing on both sides	10d@3" o/c	2@2x6 SPF	5/8"x20" anchor bolts @10" o/c	8@1/4"x3 1/2" structural screws/ft	Simpson HDU5

Note:  
 Double top and bottom wall plates required for all shear walls. Stagger butt cuts by 36".  
 Horizontal lumber blocking required behind all sheathing edges.  
 Double rim joist where shear walls below run parallel to joists.  
 10d common wire nails: 0.148" dia x 3"  
 Only use full 4'x8' sheets of OSB, except as required at perimeter.

1803  
11 Meadow Lane LLC

11 Meadow Lane  
Nantucket, MA 02554



1st Floor Plan

Site Information

Map & Parcel: 41 / 448  
 Current Zoning: R-20  
 Minimum Frontage: 75'  
 Front Setback: 30'  
 Side/Rear Setback: 10'  
 Lot Size: 20,008 SF +/-  
 Min. Lot Size: 20,000 SF  
 Allowable G.C.: 12.5% or 2,501 SF +/-  
 Existing G.C.:  
 Proposed G.C.: 1,965 SF  
 Total Proposed G.C.: 2,500 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

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- S.1.3 Roof Framing Plan
- S.2.1 Framing Sections

Revisions

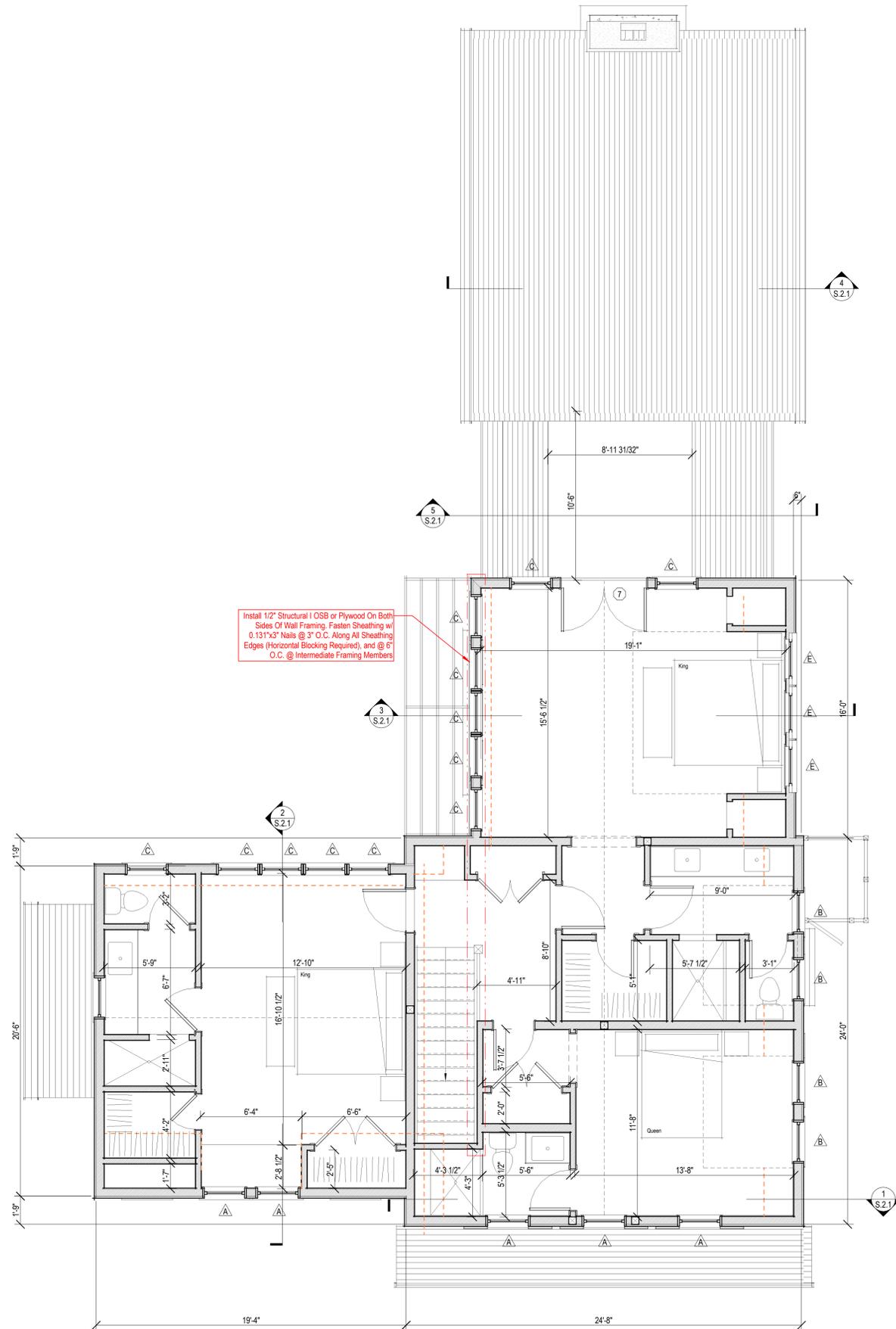
THESE REVISIONS ARE THE PROPERTY OF EMERITUS DEVELOPMENT AND SHALL BE FORNISHED UPON REQUEST.

A.1.1  
1803

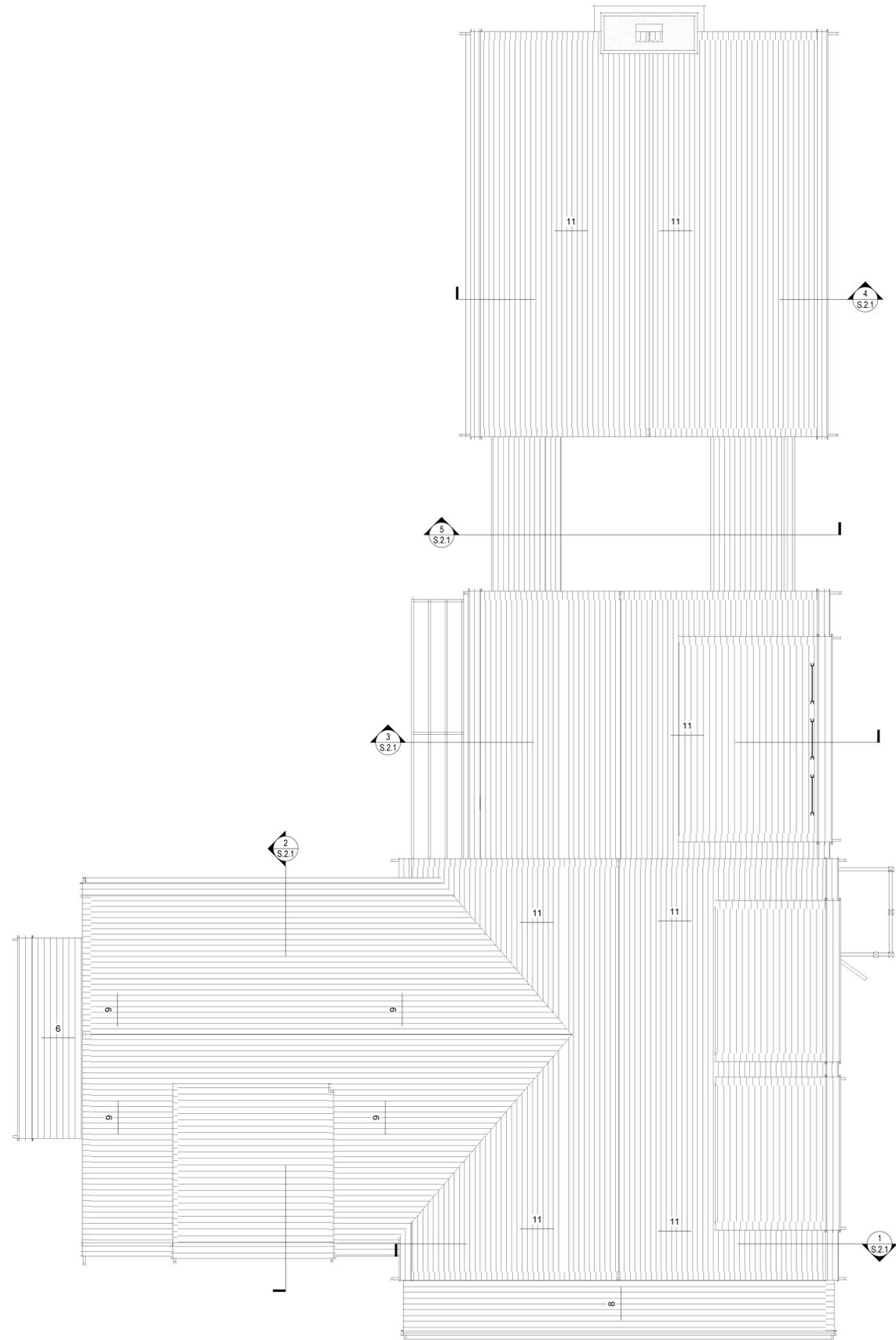
FOR REVIEW ONLY,  
NOT FOR CONSTRUCTION

10.15.18

HDC Approval Through Staff



1 2nd Floor Plan  
1/4" = 1'-0"



2 Roof Plan  
1/4" = 1'-0"

1803  
11 Meadow Lane LLC

11 Meadow Lane  
Nantucket, MA 02554



Second Floor Plan & Roof Plan

Site Information

Map & Parcel:	41 / 448
Current Zoning:	R-20
Minimum Frontage:	75'
Front Setback:	30'
Side/Rear Setback:	10'
Lot Size:	20,008 SF +/-
Min. Lot Size:	20,000 SF
Allowable G.C.:	12.5% or 2,501 SF +/-
Existing G.C.:	---
Proposed G.C.:	1,965 SF
Total Proposed G.C.:	2,500 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.0 Basement Plan
- A.1.1 1st Floor Plan
- A.1.2 Second Floor Plan & Roof Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- F.1.1 Foundation Plan
- S.1.1 First Floor Framing Plan
- S.1.2 Second Floor Framing Plan
- S.1.3 Roof Framing Plan
- S.2.1 Framing Sections

FOR REVIEW ONLY,  
NOT FOR CONSTRUCTION

Revisions

THESE DRAWINGS AND REVISIONS ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT AND SHALL BE KEPT IN THE OFFICE OR IN HAND WITHOUT WRITTEN PERMISSION FROM EMERITUS DEVELOPMENT, LLC. THESE DRAWINGS HAVE BEEN WORKED DOWN AND SHALL BE VOID OF ALL FORCE AND EFFECT PERMIT, FURTHER CONTRACT, OR ANY OTHER INSTRUMENT FOR THESE REVISIONS.

A.1.2  
1803

10.15.18

HDC Approval Through Staff



1 Proposed South Elevation  
1/4" = 1'-0"



Previously Approved South Elevation  
1/8" = 1'-0"



Previously Approved West Elevation  
1/8" = 1'-0"



2 Proposed West Elevation  
1/4" = 1'-0"

1803

11 Meadow Lane LLC

11 Meadow Lane  
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	41 / 448
Current Zoning:	R-20
Minimum Frontage:	75'
Front Setback:	30'
Side/Rear Setback:	10'
Lot Size:	20,008 SF +/-
Min. Lot Size:	20,000 SF
Allowable G.C.:	12.5% or 2,501 SF +/-
Existing G.C.:	—
Proposed G.C.:	1,965 SF
Total Proposed G.C.:	2,500 SF

Information for this site plan was taken from the Nantucket C.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.0 Basement Plan
- A.1.1 1st Floor Plan
- A.1.2 Second Floor Plan & Roof Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- F.1.1 Foundation Plan
- S.1.1 First Floor Framing Plan
- S.1.2 Second Floor Framing Plan
- S.1.3 Roof Framing Plan
- S.2.1 Framing Sections

FOR REVIEW ONLY,  
NOT FOR CONSTRUCTION

Revisions

Revision 1 Date 1

THESE DRAWINGS AND REVISIONS ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT AND SHALL BE KEPT IN CONFIDENCE AND NOT REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. THESE DRAWINGS HAVE BEEN WORKED UP BY THE ARCHITECT AND SHALL BE FORWARDED UPON RECEIPT.

**A.2.1**  
**1803**

10.15.18

HDC Approval Through Staff



1 Proposed North Elevation  
1/4" = 1'-0"



Previously Approved North Elevation  
1/8" = 1'-0"



Previously Approved East Elevation  
1/8" = 1'-0"



2 Proposed East Elevation  
1/4" = 1'-0"

1803  
11 Meadow Lane LLC

11 Meadow Lane  
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	41 / 448
Current Zoning:	R-20
Minimum Frontage:	75'
Front Setback:	30'
Side/Rear Setback:	10'
Lot Size:	20,008 SF +/-
Min. Lot Size:	20,000 SF
Allowable G.C.:	12.5% or 2,501 SF +/-
Existing G.C.:	—
Proposed G.C.:	1,965 SF
Total Proposed G.C.:	2,500 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.0 Basement Plan
- A.1.1 1st Floor Plan
- A.1.2 Second Floor Plan & Roof Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- F.1.1 Foundation Plan
- S.1.1 First Floor Framing Plan
- S.1.2 Second Floor Framing Plan
- S.1.3 Roof Framing Plan
- S.2.1 Framing Sections

FOR REVIEW ONLY,  
NOT FOR CONSTRUCTION

Revisions

Revision 1 Date 1

THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT AND SHALL BE KEPT IN THE OFFICE OF EMERITUS DEVELOPMENT ON NANTUCKET, MASSACHUSETTS. THESE DRAWINGS HAVE BEEN WORKED OVER BY THE ARCHITECT AND SHALL BE FORWARDED UPON REQUEST.

A.2.2  
1803

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 07 PARCEL N°: 32  
 Street & Number of Proposed Work: 13 WAYDALE ROAD  
 Owner of record: SPAWN WELCH  
 Mailing Address: PO BOX 3777  
NANTUCKET, MA 02584  
 Contact Phone #: 508.228.1001 E-mail: ON FILE

#### AGENT INFORMATION (if applicable)

Name: WELCH & ASSOCIATES INC., LLC  
 Mailing Address: \_\_\_\_\_  
 Contact Phone #: 508.228.7777 E-mail: ON FILE

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. TEMPORARY 70 DAYS (RENEWABLE)
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 15'± Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 10'± Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
width: 8'-6"-9' Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
 Original Builder: \_\_\_\_\_ 3. West Elevation  
 Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6-10" PIERS (SPAWN)  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

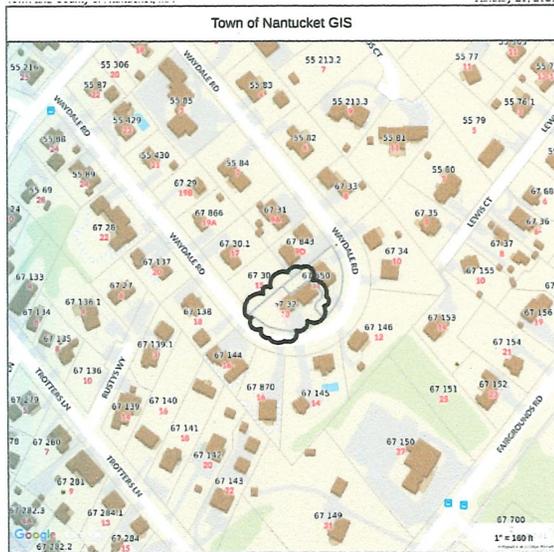
Sidewall N/A Clapboard (if applicable) N/A Roof N/A  
 Trim N/A Sash N/A Doors N/A  
 Deck N/A Foundation PT WOOD Fence N/A Shutters N/A

\* Attach manufacturer's color samples if color is not from HDC approval list.

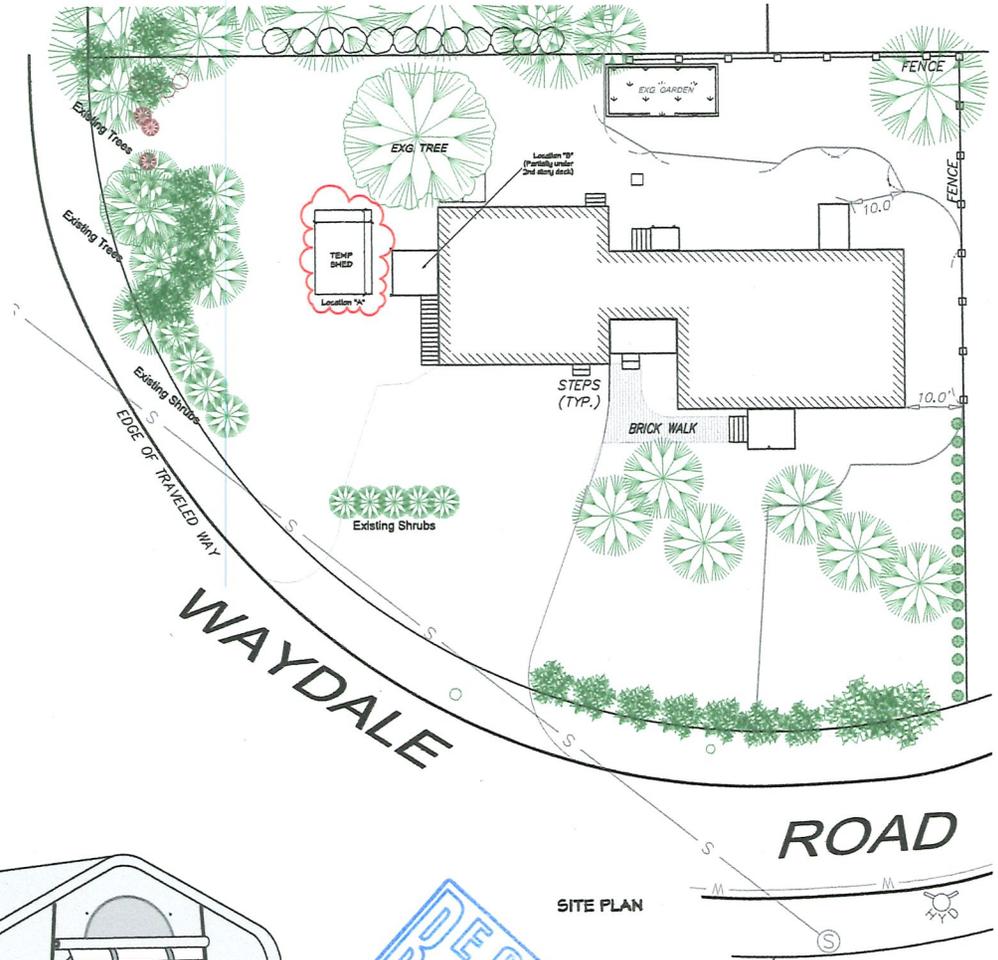
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.



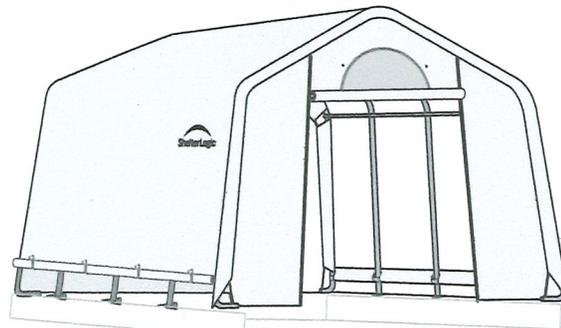
AERIAL VIEW



LOCUS



SITE PLAN



PERSPECTIVE ELEVATION (NTS)

Height: 8'6" to 8'9"  
 Width: 10'  
 Length: 15'

RECEIVED  
 BY: MAY 22 2020



Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket In Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 73.1.3 PARCEL N°: 112  
Street & Number of Proposed Work: 17 BRADWAY  
Owner of record: PRICKLY PINE 90 PARKER STREET LLP  
Mailing Address: 1 CONSTITUTION CENTER  
BOSTON, MA 02129  
Contact Phone #: (214) 915-9010 E-mail: crumpf.e.tsi@usa.com

**AGENT INFORMATION (if applicable)**

Name: VAL OMASE DESIGN INC  
Mailing Address: PO Box 3057  
NANTUCKET, MA 01984  
Contact Phone #: (508) 326-4319 E-mail: val@valomase.com

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ 50  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. 03-0845
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: N/A Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: N/A  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North N/A South N/A East N/A West N/A

**Additional Remarks**

Historic Name: \_\_\_\_\_ REVISIONS\*: 1. East Elevation (1) RECONSIDER PORCH - ATTIC LEVEL  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation (2) ELIMINATE 2ND FLOOR PORCH - ATTIC MASS  
Original Builder: \_\_\_\_\_ 3. West Elevation (3) RECONSIDER 2ND FLOOR WINDOWS - EVIDENCE OF  
OPENSPIRIT HISTORICALLY  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation (4) REDUCE WINDOWS ON SOUTH 1ST FLOOR TO TWO  
\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

**Leaders (material and size):**

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall NTW Clapboard (if applicable) \_\_\_\_\_ Roof 3 TAB GRAY (TO MATCH)  
Trim TRIM WHITE TO MATCH Sash WHITE (TRU'DIVIDED) Doors BLUE GRAY (N/A)  
Deck NTW Foundation N/A Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/25/20 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



11 BROADWAY- OPEN PORCHES

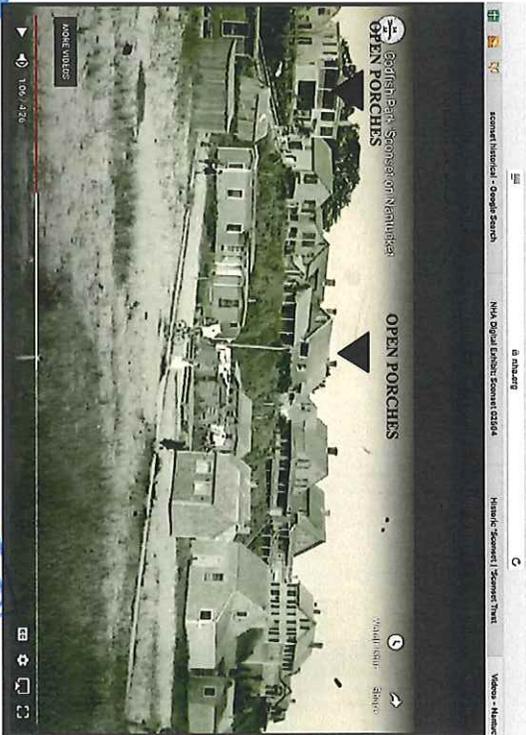


17 BROADWAY

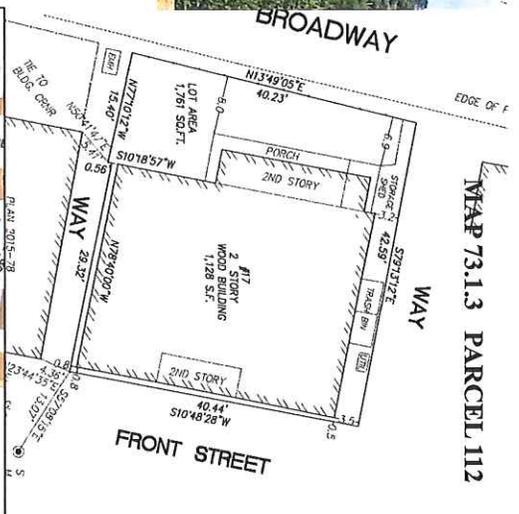
The image in the NHA video Codfish Park / Sconset on Nantucket  
<https://nha.org/research/nantucket-history/my-nantucket-neighborhood/sconset/videos/>



NARROW SPACE BETWEEN BUILDINGS  
 FOR VISIBILITY PURPOSES

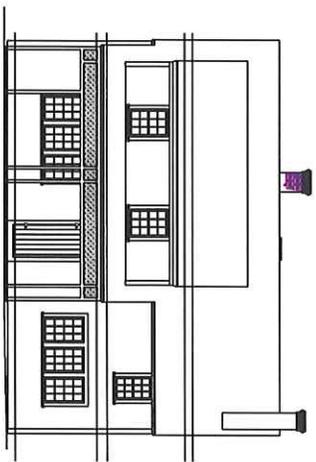


RECEIVED  
 MAY 26 2020  
 BY



17 BROADWAY- SIASCONSET  
 REV TO HDC2020-03-0845  
 ALTERATIONS TO EXISTING  
 5-15-20

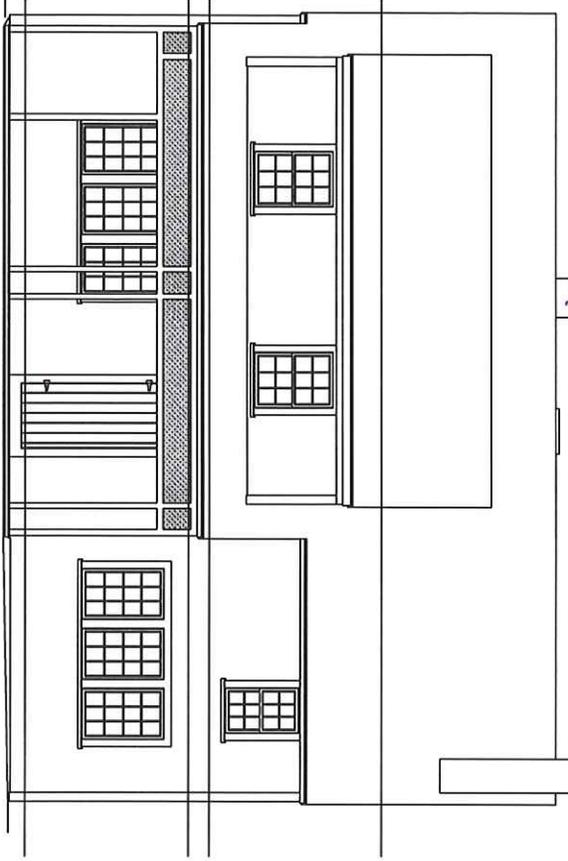
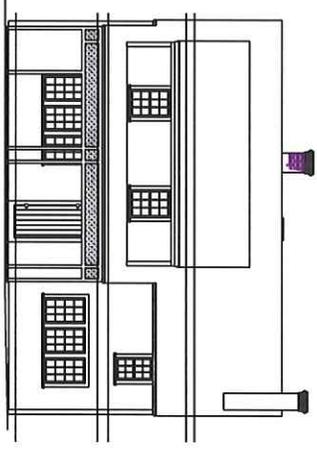
RECEIVED  
MAY 26 2020  
By \_\_\_\_\_



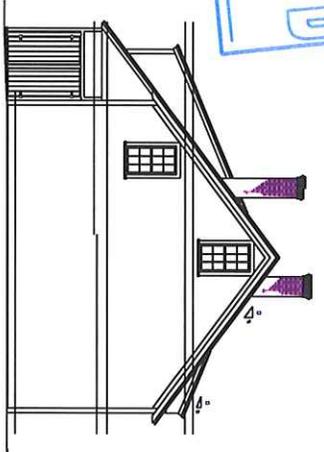
EXISTING WEST ELEVATION



HDC APPROVED WEST ELEVATION



PROPOSED WEST ELEVATION (NO CHANGES)

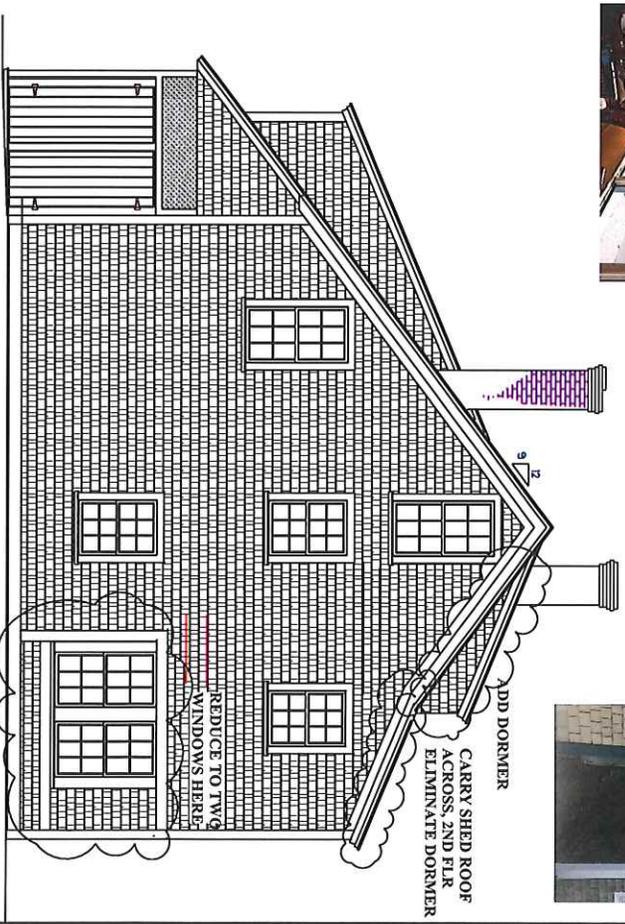
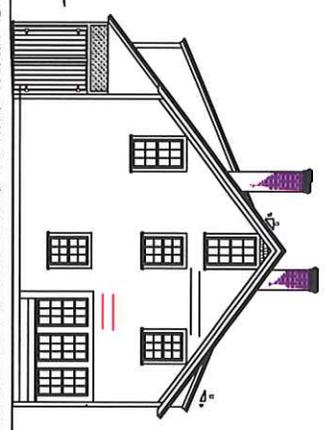


EXISTING SOUTH ELEVATION



PROPOSED WINDOWS

HDC APPROVED SOUTH ELEVATION

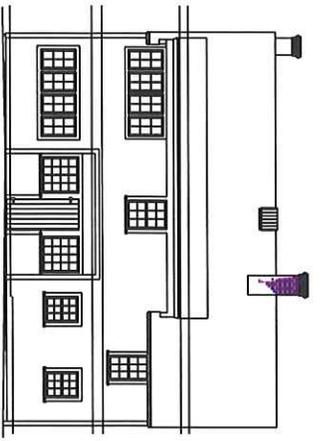


PROPOSED SOUTH ELEVATION

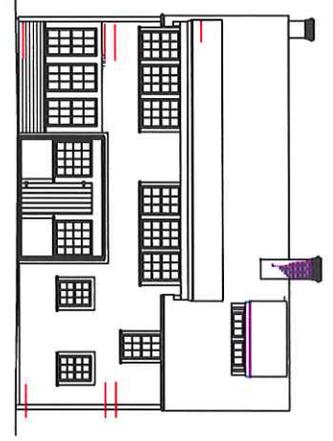
17 BROADWAY - SIASCONESET  
ALTERATIONS TO EXISTING  
5-15-20

AREA OF PROPOSED  
WINDOWS ON SECOND FLR  
TO MATCH APPROVED  
ON FIRST  
TO RETURN BACK TO  
OPEN PORCH STYLE





EXISTING EAST ELEVATION



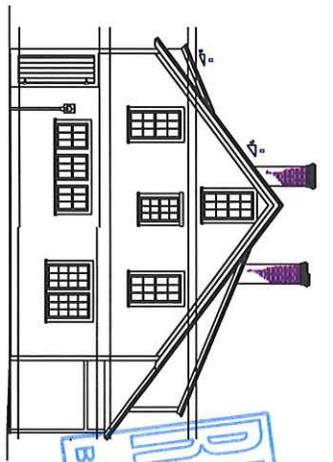
HDC APPROVED EAST ELEVATION



EXISTING OUTSWING WINDOWS



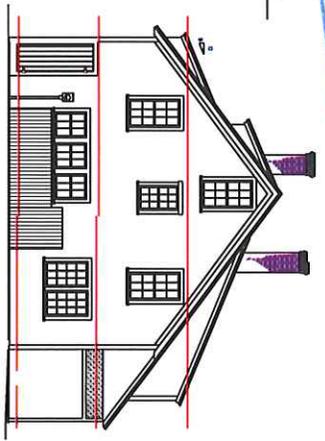
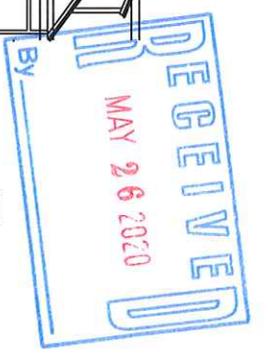
OPEN PORCH (2ND FLR)  
HISTORIC PHOTO



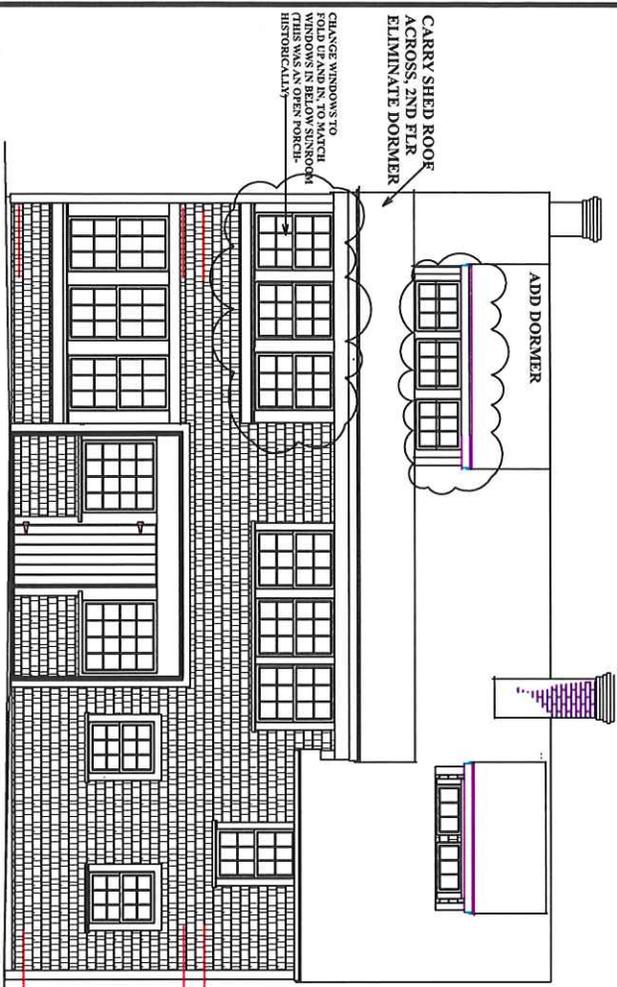
EXISTING NORTH ELEVATION



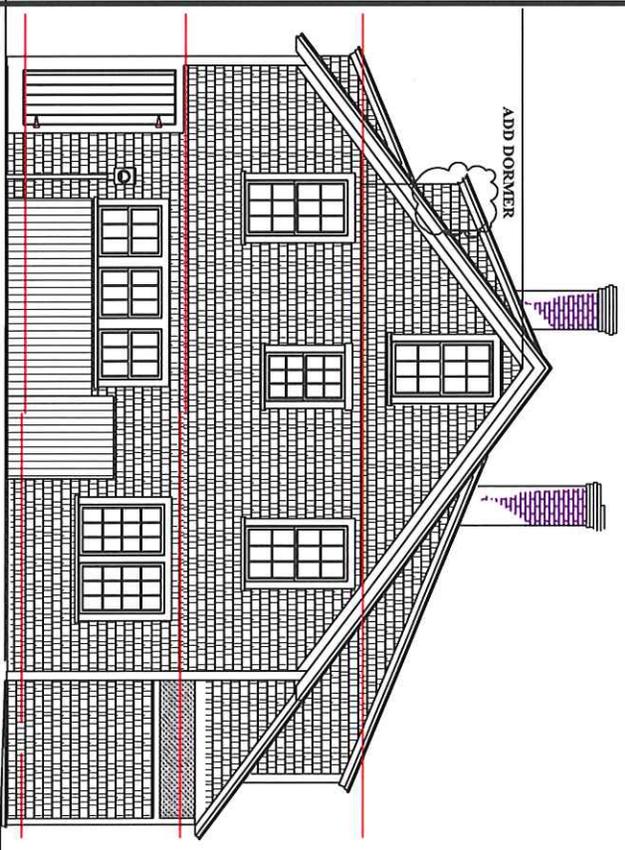
PROPOSED WINDOWS



HDC APPROVED NORTH ELEVATION

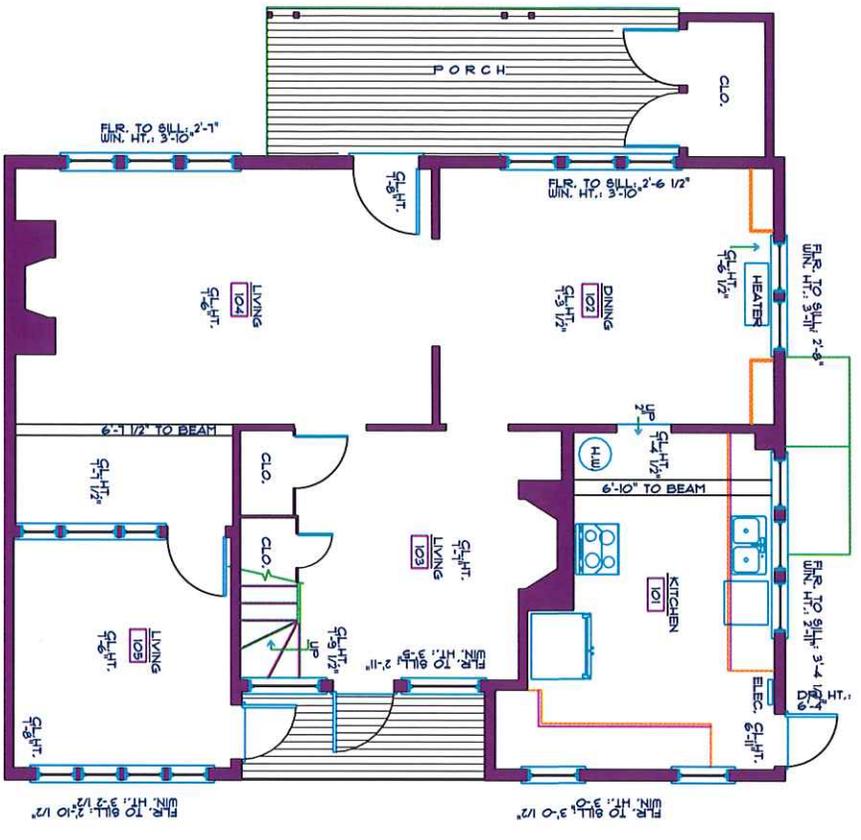


REVISED PROPOSED EAST ELEVATION



PROPOSED NORTH ELEVATION

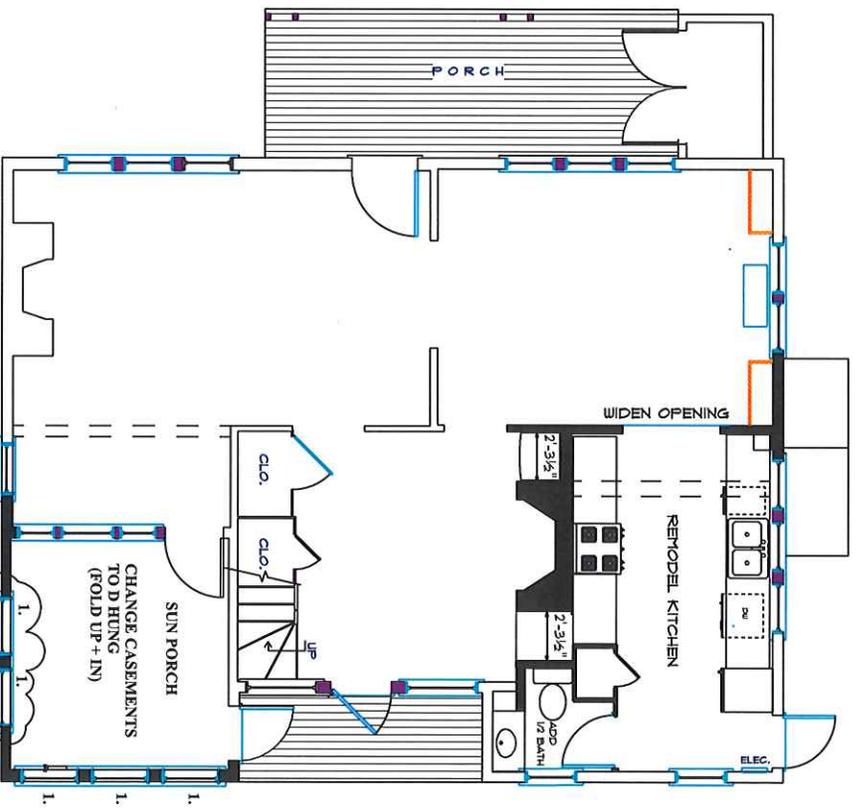
17 BROADWAY - SIASCONSET  
ALTERATIONS TO EXISTING  
5-15-20



EXISTING FIRST FLOOR PLAN



WINDOW LOCATION ON EXIST HOUSE



PROPOSED FIRST FLOOR PLAN

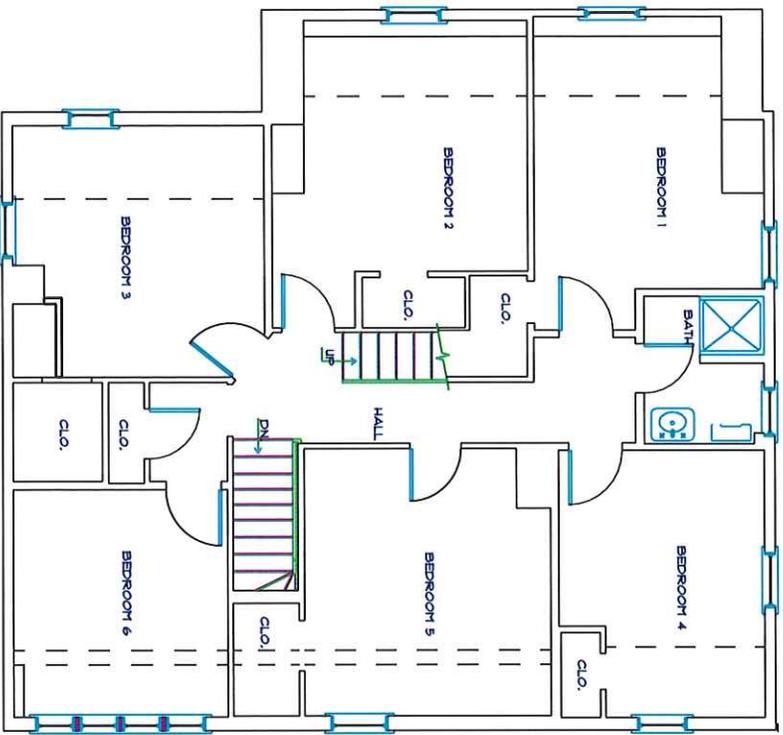


EXAMPLE OF #1

TRU DIVIDED LIGHT (WOOD) SINGLE GLAZE  
 1. D HUNG TDL SINGLE GLASS  
 (FOLD UP AND IN) : 31" X 56"

17 BROADWAY- SIASCONSET  
 ALTERATIONS TO EXISTING  
 5-15-20 HDC #3

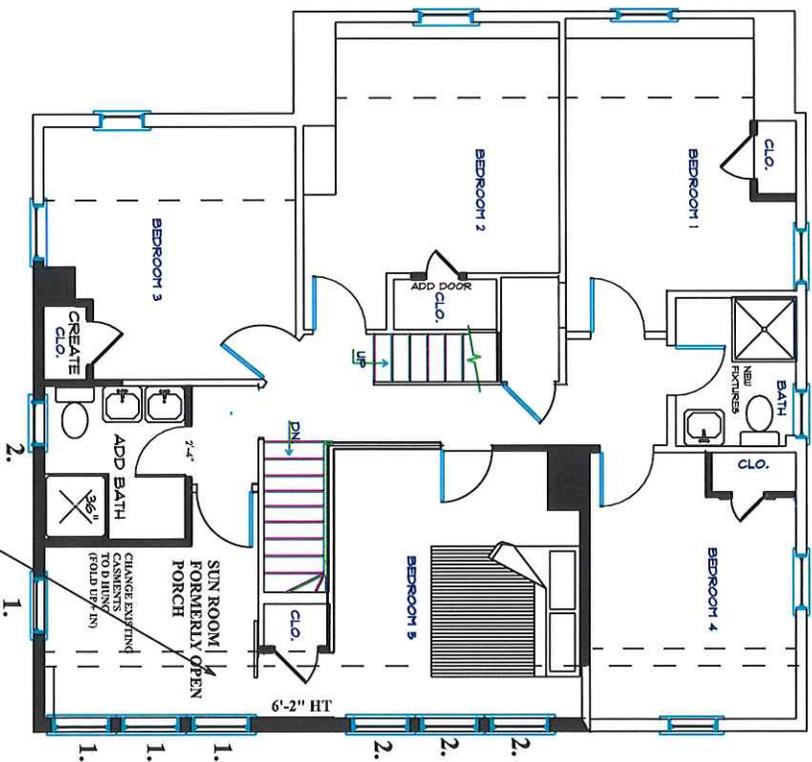
EXISTING SECOND FLOOR PLAN



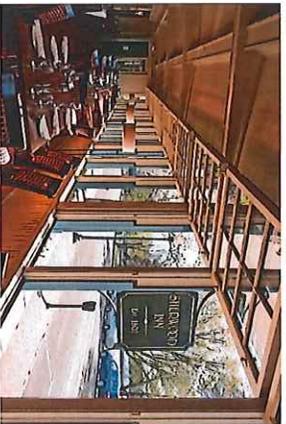
EXISTING OUTSWING WINDOWS



PROPOSED SECOND FLOOR PLAN

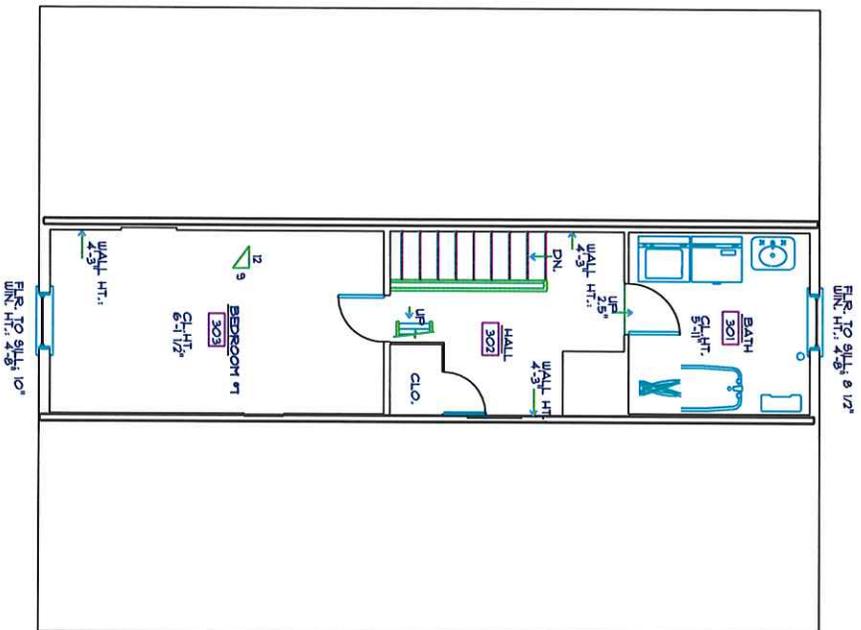


PROPOSED WINDOWS

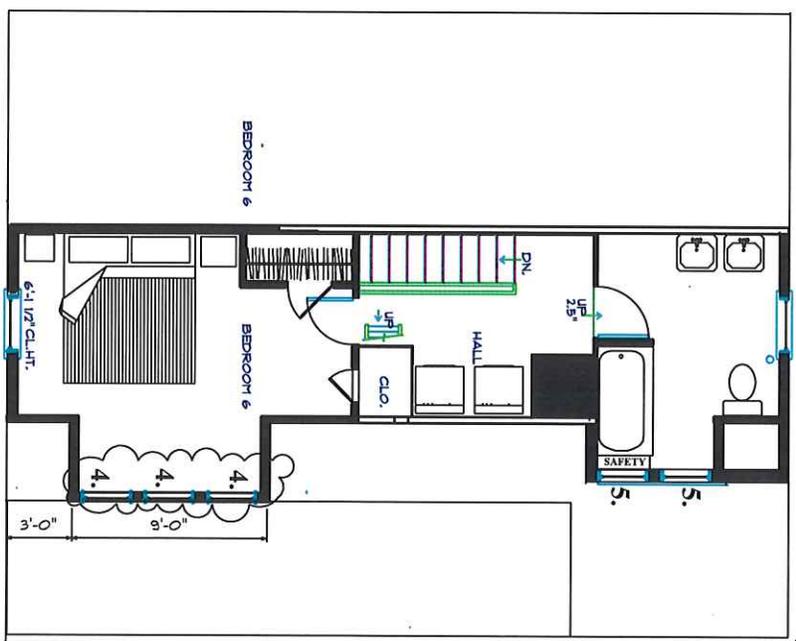
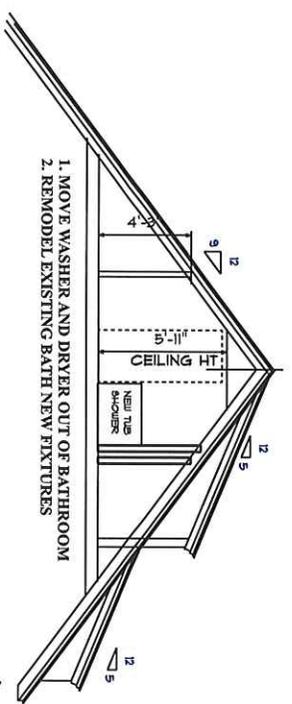


- TRU DIVIDED LIGHT (WOOD) SINGLE GLAZE
- 1. D HING TDL SINGLE GLASS (FOLD UP AND IN) : 31" X 44"
  - 2. D HUNG SIZE: 31" X 44"

17 BROADWAY- SIASCONSET  
ALTERATIONS TO EXISTING  
5-15-20



EXISTING THIRD FLOOR PLAN



PROPOSED THIRD FLOOR PLAN

- TRU DIVIDED LIGHT (WOOD) SINGLE GLAZE
- 4. D HUNG 28" X 24" 3/3
- 5. FIXED 28" X 12" 3 LIGHT

17 BROADWAY - SIASCONSET  
 ALTERATIONS TO EXISTING  
 5-15-20

9. Faro Strada, LLC	05-0946	20 Sankaty Head Road	Move-demo garage	48-31	Botticelli & Pohl
Voting	Coombs (acting chair), Oliver, Welch, Watterson				
Alternates	Camp stepped out				
Recused	Pohl				
Documentation	Architectural elevation plans, site plan, photos, and historic documentation.				
Representing	Lisa Botticelli, Botticelli & Pohl				
Public	None				
Concerns (8:53)	<p><b>Botticelli</b> – Presented project, circa 1980s/1990s.</p> <p><b>Oliver</b> – Okay.</p> <p><b>Watterson</b> – He questions whether or not this could be moved. No concerns.</p> <p><b>Welch</b> – No concern; there is no architectural loss.</p> <p><b>Coombs</b> – No concerns.</p>				
Motion	<b>Motion to Approve as a move or demolition. (Oliver)</b>				
Roll-call Vote	Carried 4-0//Watterson-aye; Oliver-aye; Welch-aye; Coombs-aye			Certificate #	<b>HDC2020-05-0946</b>
10. Faro Strada, LLC	05-0947	20 Sankaty Head Road	Addition/partial demo	48-31	Botticelli & Pohl
Voting	Coombs (acting chair), Oliver, Welch, Watterson				
Alternates	Camp stepped out				
Recused	Pohl				
Documentation	Landscape design plans, site plan, and photos.				
Representing	Lisa Botticelli, Botticelli & Pohl				
Public	None				
Concerns (8:58)	<p><b>Botticelli</b> – Presented project.</p> <p><b>Watterson</b> – Appreciates a lot of the redesign, particularly keeping the eaves low. Confirmed the ridge height will be a foot higher the existing.</p> <p><b>Oliver</b> – Agrees. Her only concern is the north elevation is visible and is highly fenestrated compared to the existing.</p> <p><b>Welch</b> – He agrees with Mr. Watterson and Ms. Oliver. He’s concerned about what will be visible and the gambrel masses. This looks more attractive. Wants to see the photos of the area and the house.</p> <p><b>Coombs</b> – Every north elevation window is mullied.</p>				
Motion	<b>Motion to Approve as submitted. (Oliver)</b>				
Roll-call Vote	Carried 4-0//Watterson-aye; Oliver-aye; Welch-aye; Coombs-aye			Certificate #	<b>HDC2020-05-0947</b>
11. Faro Strada, LLC	05-0945	20 Sankaty Head Road	Garage	48-31	Botticelli & Pohl
Voting	Coombs (acting chair), Oliver, Welch, Watterson				
Alternates	Camp stepped out				
Recused	Pohl				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Lisa Botticelli, Botticelli & Pohl				
Public	None				
Concerns (9:09)	<p><b>Botticelli</b> – Presented project; this sits on a lower section of the property and the whole 1<sup>st</sup> floor won’t be visible.</p> <p><b>Oliver</b> – It’s better looking than the existing. She’d like to see if the height can be brought down; it might appear to be taller than the house.</p> <p><b>Welch</b> – The ridge height is 26’6”, which is tall for a garage; it looks to be taller than the main house. He would like to see the height reduced; it appears that this will be taller than the main house.</p> <p>Discussion about the height of the garage in relation to the existing garage and the altered main dwelling.</p> <p><b>Coombs</b> – It should be no more than 24’.</p> <p><b>Welch</b> – It would be beneficial to show, on the image of the existing, a representation of the proposed ridge line and a dash line showing the lower eave.</p>				
Motion	<b>Motion to Hold for revisions. (Oliver)</b>				
Roll-call Vote	Carried 4-0//Watterson-aye; Oliver-aye; Welch-aye; Coombs-aye			Certificate #	
12. Richard Griffin	05-0956	69 Cliff Road	Roof walk alteration	30-190	Gryphon Arch.
Voting	Pohl, Coombs, Camp, Oliver, Watterson				
Alternates	Welch				
Recused	None				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Ethan Griffin, Gryphon Architecture				
Public	None				
Concerns (9:19)	<p><b>Griffin</b> – Presented project; skirt is proposed white, but it could be natural to weather.</p> <p><b>Coombs</b> – Don’t think a skirt is appropriate on this house.</p> <p><b>Oliver</b> – She has no concerns; no color preference.</p> <p><b>Camp</b> – No concerns either white or natural to weather.</p> <p><b>Watterson</b> – Also no concerns painted or natural.</p>				
Motion	<b>Motion to Approve with the balusters, posts, to be white but skirt vertical board natural to weather. (Oliver)</b>				
Roll-call Vote	Carried 4-1//Watterson-aye; Coombs-aye; Camp-aye; Oliver-aye; Pohl-aye			Certificate #	<b>HDC2020-05-0956</b>

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 48 PARCEL N°: 31  
 Street & Number of Proposed Work: 20 Sankaty Head Road  
 Owner of record: Faro Strada LLC  
 Mailing Address: 316 Mansfield Avenue  
Darien, CT 06820  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Botticelli + Pohl  
 Mailing Address: 11 Old South Road  
Nantucket, MA 02554  
 Contact Phone #: 228-5455 E-mail: \_\_\_\_\_

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_  
 Size of Structure or Addition: Length: 30'-0" Sq. Footage 1st floor: 697.5 Decks/Patio: Size: 9'-0" x 30'-4 1/2"  1st floor  2nd floor  
 Width: 23'-3" Sq. footage 2nd floor: 642.25 Size: 8'-6" x 22'-0"  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_  
 Difference between existing grade and proposed finish grade: North N/C South N/C East N/C West N/C  
 Height of ridge above final finish grade: North 26'-6" South 26'-6" East 26'-6" West 26'-6"

#### Additional Remarks

Historic Name: \_\_\_\_\_

Original Date: \_\_\_\_\_

Original Builder: \_\_\_\_\_

Is there an HDC survey form for this building attached?  Yes  N/A

#### REVISIONS\*

1. East Elevation

2. South Elevation

3. West Elevation

4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8 1/2" x 1/2"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
 Roof Pitch: Main Mass 7 /12 Secondary Mass \_\_\_\_\_ /12 Dormer 7 /12 Other Gambrel 12/5  
 Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)  
 Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
 Leaders (material and size): \_\_\_\_\_  
 Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
 Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia \_\_\_\_\_ Rake 1 X 8 Soffit (Overhang) 1'-1 Gambrel Corner boards 5/4 x 6 Frieze \_\_\_\_\_  
 Window Casing 5/4 x 4 Door Frame 5/4 x 4 Columns/Posts: Round \_\_\_\_\_ Square 8 x 8  
 Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer Marvin  
 Doors\* (type and material):  TDL  SDL Front 9 lite/panels Rear French, 8 lite w/ sidelights  
 Garage Door(s): Type Overhead Material 16 lite/panel, wood  
 Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

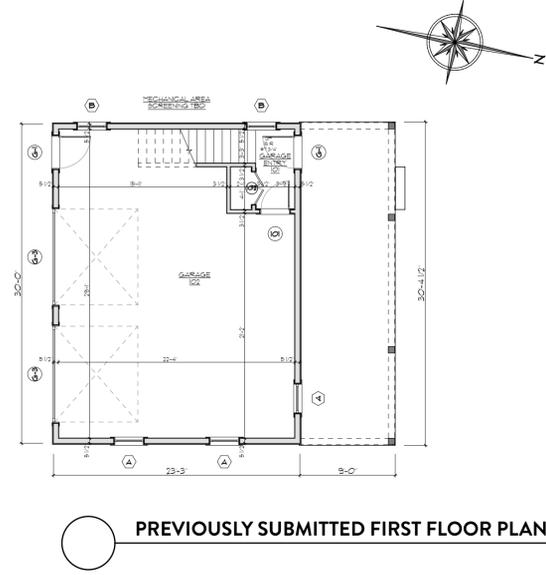
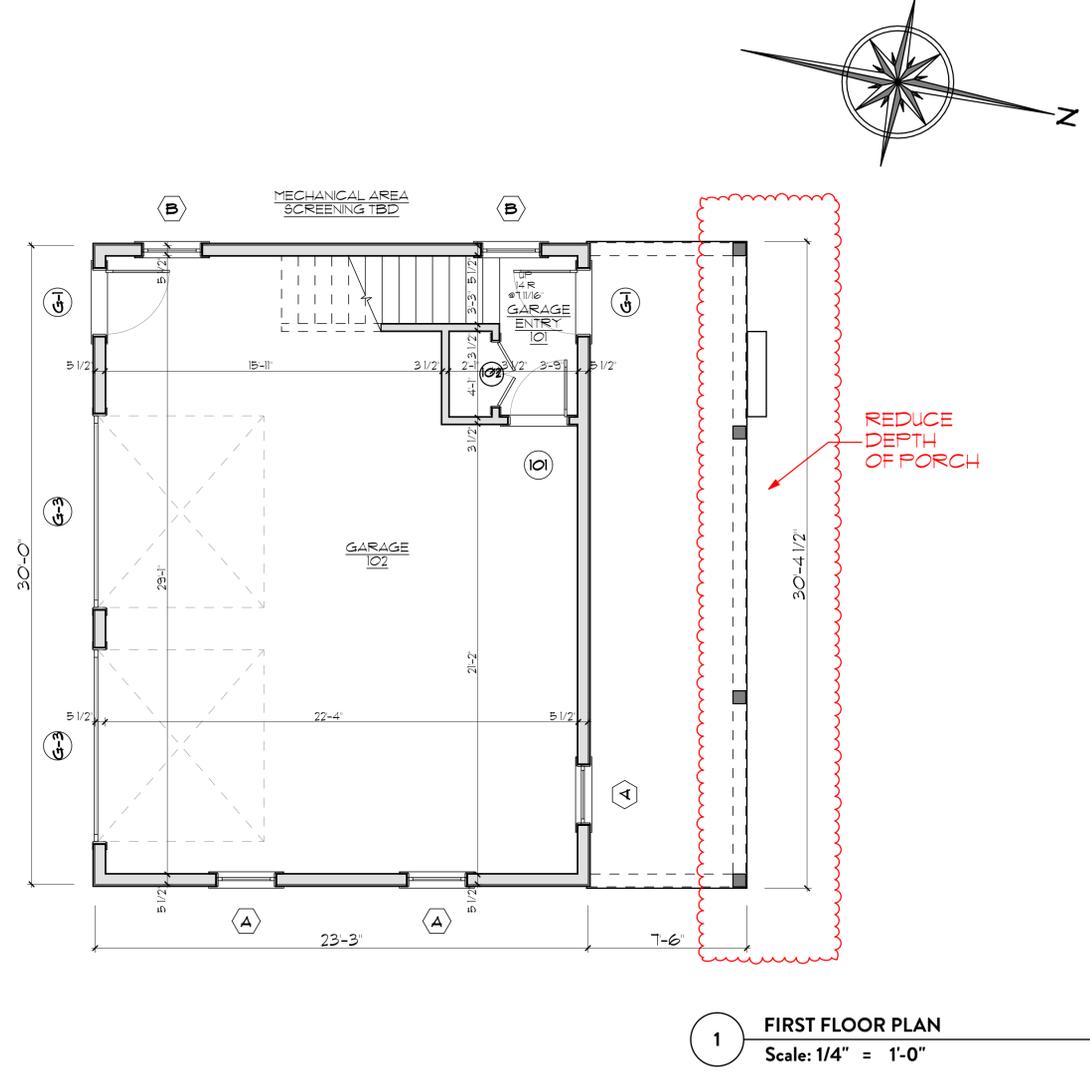
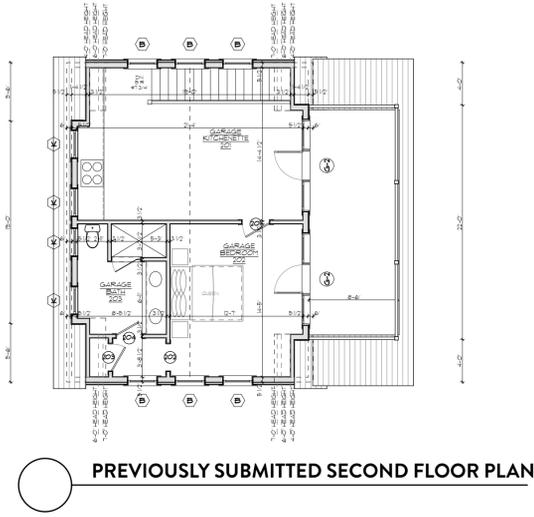
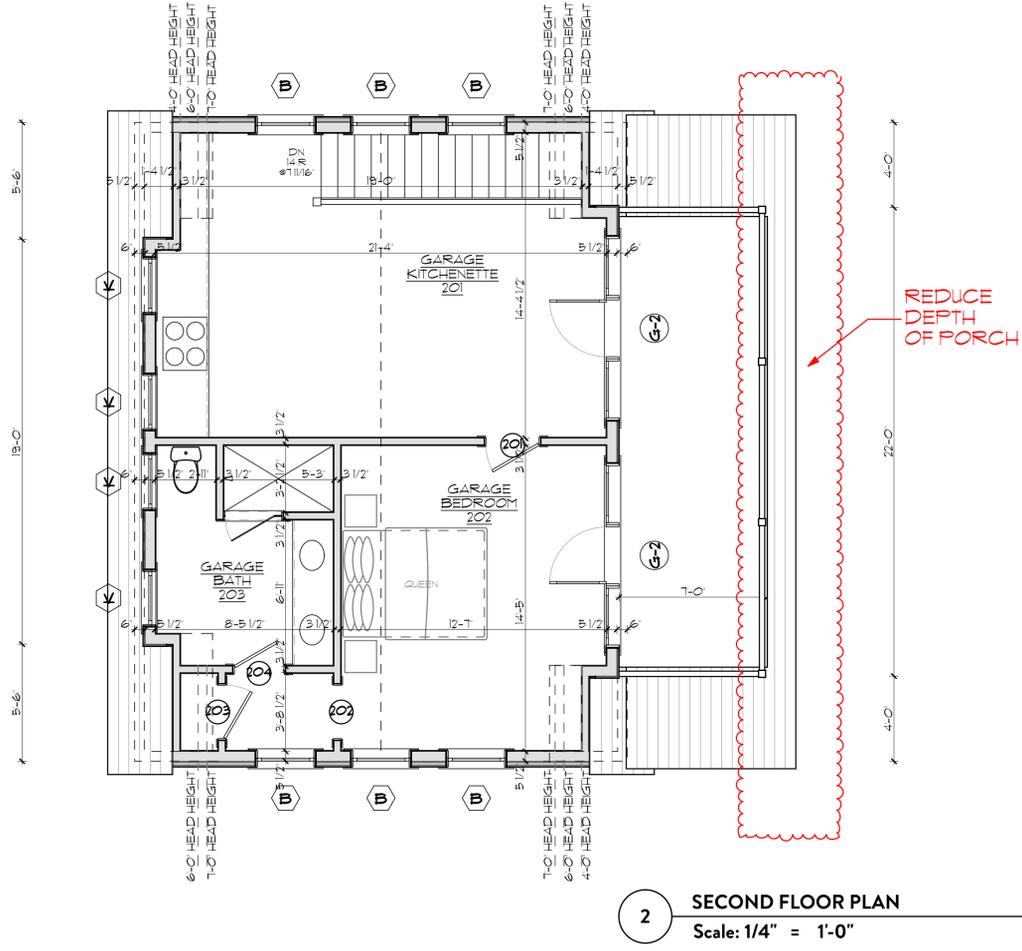
#### COLORS

Sidewall Natural Clapboard (if applicable) \_\_\_\_\_ Roof Natural  
 Trim White Sash White Doors White  
 Deck Natural Foundation Natural Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/12/20 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



Residence at  
20 Sankaty Head Road  
Nantucket, MA 02554

MAP NO: 48 ZONING INFO: LUG3  
PARCEL NO: 31 PROJECT NO: 09 REVISED: May 27, 2020  
All drawings and designs contained are the sole property of Botticelli & Pohl, P.C.  
No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.

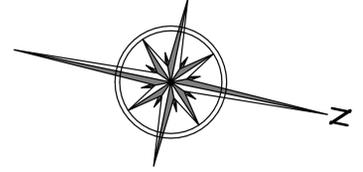
**Garage Floor Plans**

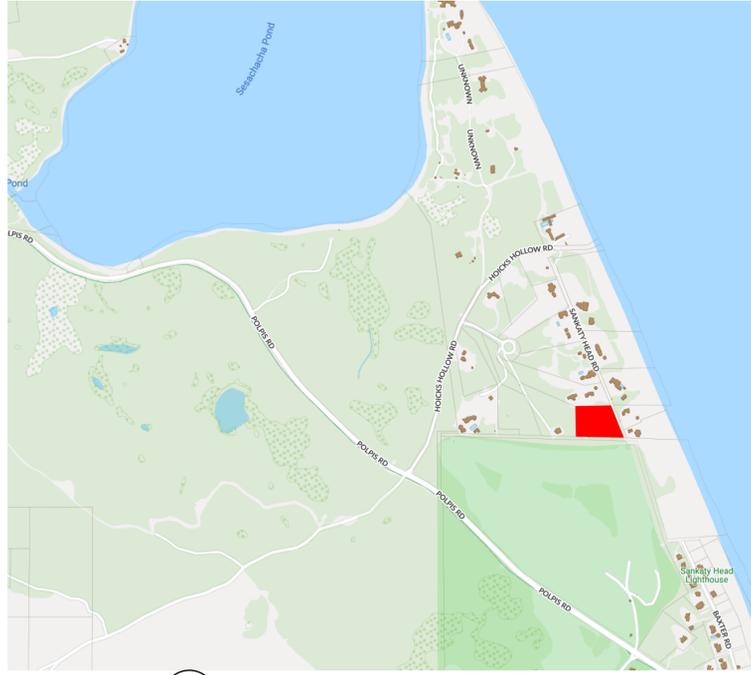
DATE	REVISIONS

**BOTTICELLI & POHL**

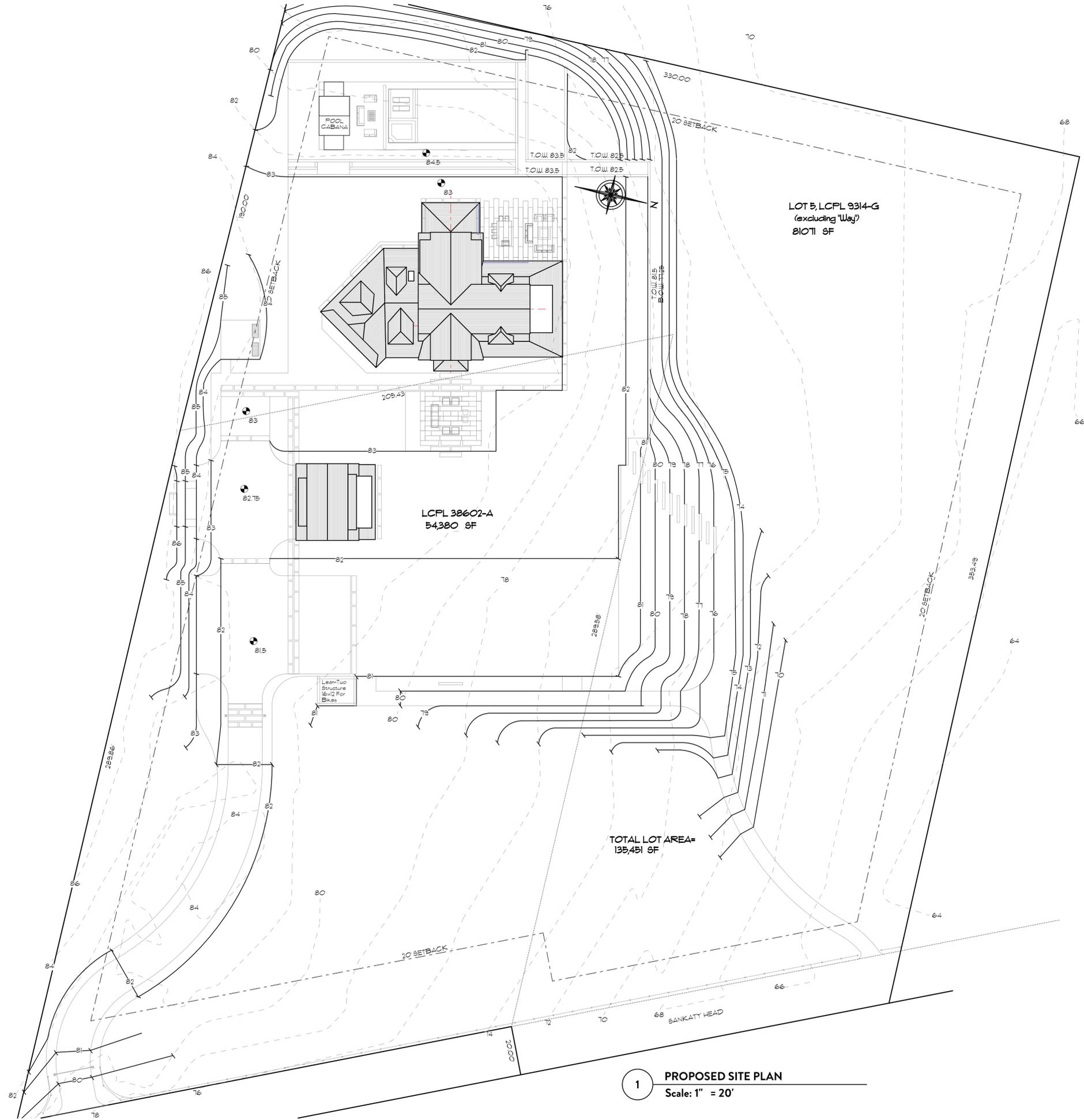
11 OLD SOUTH ROAD, NANTUCKET, MA 02554 | 31 STATE STREET, BOSTON, MA 02109 | BOTTICELLIANDPOHL.COM  
P. 508.228.5455 | P. 617.482.4543

ID #  
**G-1.1**





2 Locus Map



1 PROPOSED SITE PLAN  
Scale: 1" = 20'

BOTTICELLI & POHL

DATE	REVISIONS

Site Plan

Residence at  
20 Sankaty Head Road  
Nantucket, MA 02554

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PARCEL NO.: 31 PROJECT NO.: 09  
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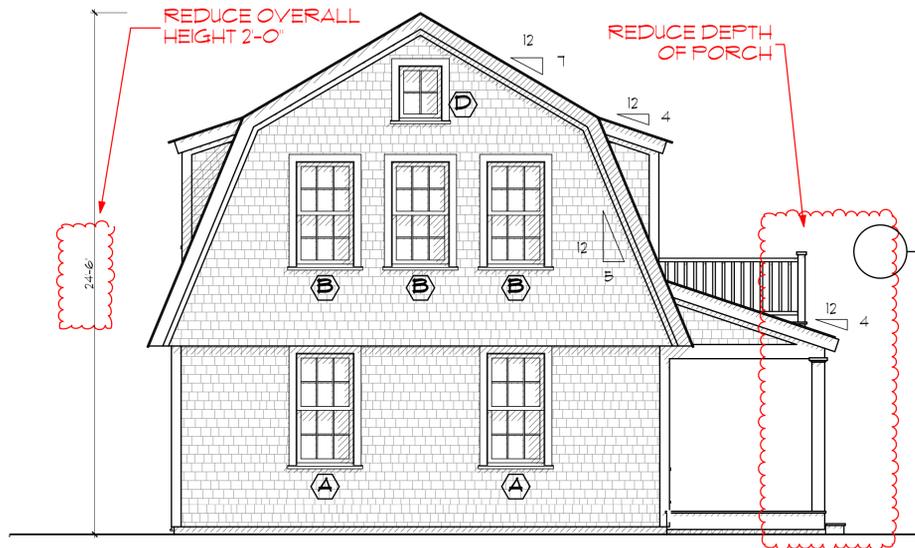
ID#  
L-1.1



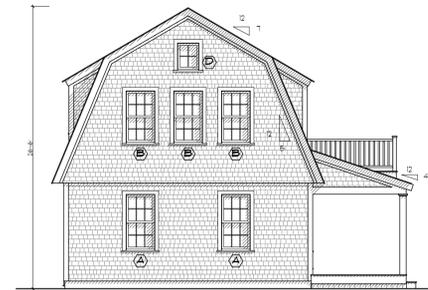
PREVIOUSLY SUBMITTED NORTH ELEVATION



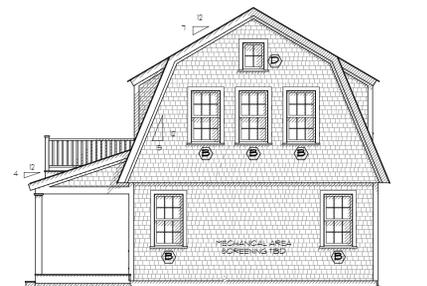
2 GARAGE NORTH ELEVATION  
Scale: 1/4" = 1'-0"



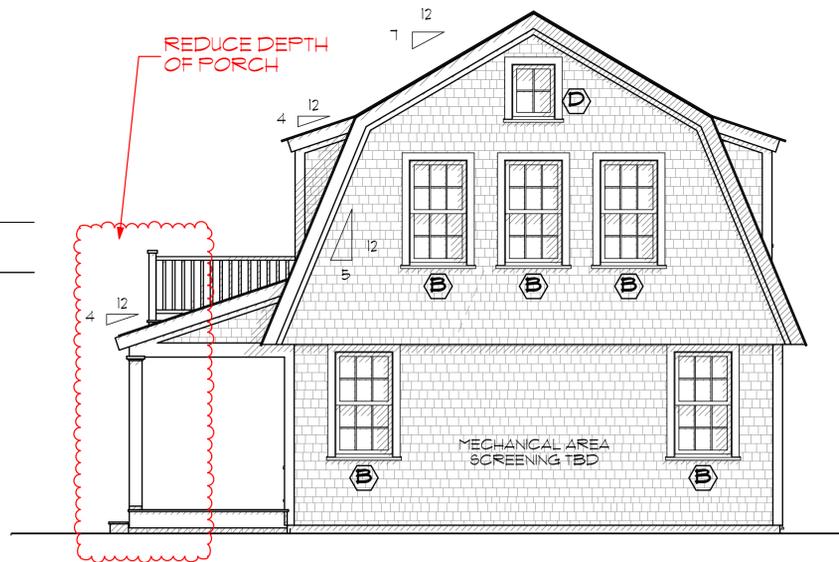
1 GARAGE EAST ELEVATION  
Scale: 1/4" = 1'-0"



PREVIOUSLY SUBMITTED EAST ELEVATION



PREVIOUSLY SUBMITTED WEST ELEVATION



4 GARAGE WEST ELEVATION  
Scale: 1/4" = 1'-0"



3 GARAGE SOUTH ELEVATION  
Scale: 1/4" = 1'-0"



PREVIOUSLY SUBMITTED SOUTH ELEVATION

Garage							HDC Submission	
20 Sankaty Head Road							Rev. 4/30/20	
Nantucket, MA								
Window & Exterior Door Schedule								
Window Schedule								
No.	Qn.	Type	Manuf.	Model #	Frame Size	Rough Opening	Lights	Comments
A	3	Double Hung	Marvin	WJDN 2838	2'-8 3/8" x 5'-5"	2'-0 3/8" x 5'-5 1/2"	6 over 6	
B	8	Double Hung	Marvin	WJDN 2836	2'-8 3/8" x 5'-1"	2'-0 3/8" x 5'-1 1/2"	6 over 6	
D	2	Fixed	Marvin	WJWJN 2492	2'-0" x 2'-8 1/16"	2'-1" x 2'-8 9/16"	4	
K	4	Double Hung	Marvin	WJDN 2622	2'-1 3/8" x 4'-1"	2'-8 3/8" x 4'-1 1/2"	6 over 6	
Door Schedule								
No.	Qn.	Type	Manuf.	Model #	Door Size	Rough Opening	Lights	Comments
G-1	2	Entry	Custom	-	3'-0" x 7'-0"		8	over panels
G-2	2	Double French	Custom	-	2'-8" x 7'-0"		8	over panels
G-3	2 ea.	with Sidelights	Custom	-	2'-8" x 7'-0"		8	over panels
G-3	2	Garage Doors	Custom	-	9'-0" x 8'-0"		16	each over panels
Notes:								
1. All windows to be Marvin as per above schedule, double glazed, SGL, with muntin configuration as shown on drawings. Min. dp 30 rating required with Low E 272 Argon glass U-value of .33. All glazing to come with compliance sticker as required by local building codes.								
2. All doors will be Custom, as per above schedule, SGL, with muntin configuration as shown on drawings. Min. dp 30 rating required with Low E 272 Argon glass U-value of .23 with storm door, 45 w/o storm door. All glazing to come with compliance sticker as required by local building codes.								
3. Contractor to provide tempered glass in all locations required by code and in all window locations adjacent to shower tubs and stairs.								
4. Mill shop will provide shop drawings for all window and door units to architect for approval prior to commencing construction.								
5. Contractor will verify all rough opening sizes and quantities on site during rough framing before placing door order.								

DATE	REVISIONS

# TLJ Properties Residence

24 Bartlett Rd  
Nantucket, MA 02554



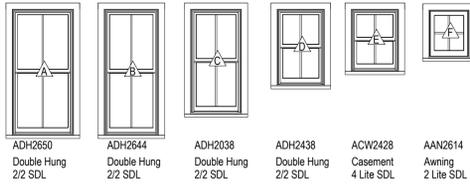
**2002**  
TLJ Properties  
Residence  
24 Bartlett Rd  
Nantucket, MA 02554



05.21.20



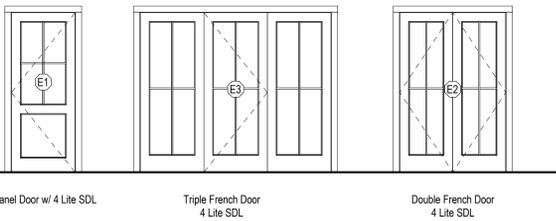
Locus Map



Window Legend

1/4" = 1'-0"

WINDOW	QTY	UNIT WIDTH	UNIT HEIGHT	Rough Height	Rough Width	MANUFACTURER	Ext. Color
A	5	2'-11 1/4"	5'-11 1/4"	6'-0"	3'-0"	Andersen Corporation	
B	17	2'-7 1/4"	5'-11 1/4"	6'-0"	2'-8"	Andersen Corporation	
C	9	2'-5 1/4"	4'-11 1/4"	5'-0"	2'-6"	Andersen Corporation	
D	9	2'-3 1/4"	3'-7 1/4"	3'-8"	2'-4"	Andersen Corporation	
E	2	2'-3 1/4"	2'-11 1/4"	3'-0"	2'-4"	Andersen Corporation	
F	4	1'-11 1/4"	2'-3 1/4"	2'-4"	2'-0"	Andersen Corporation	

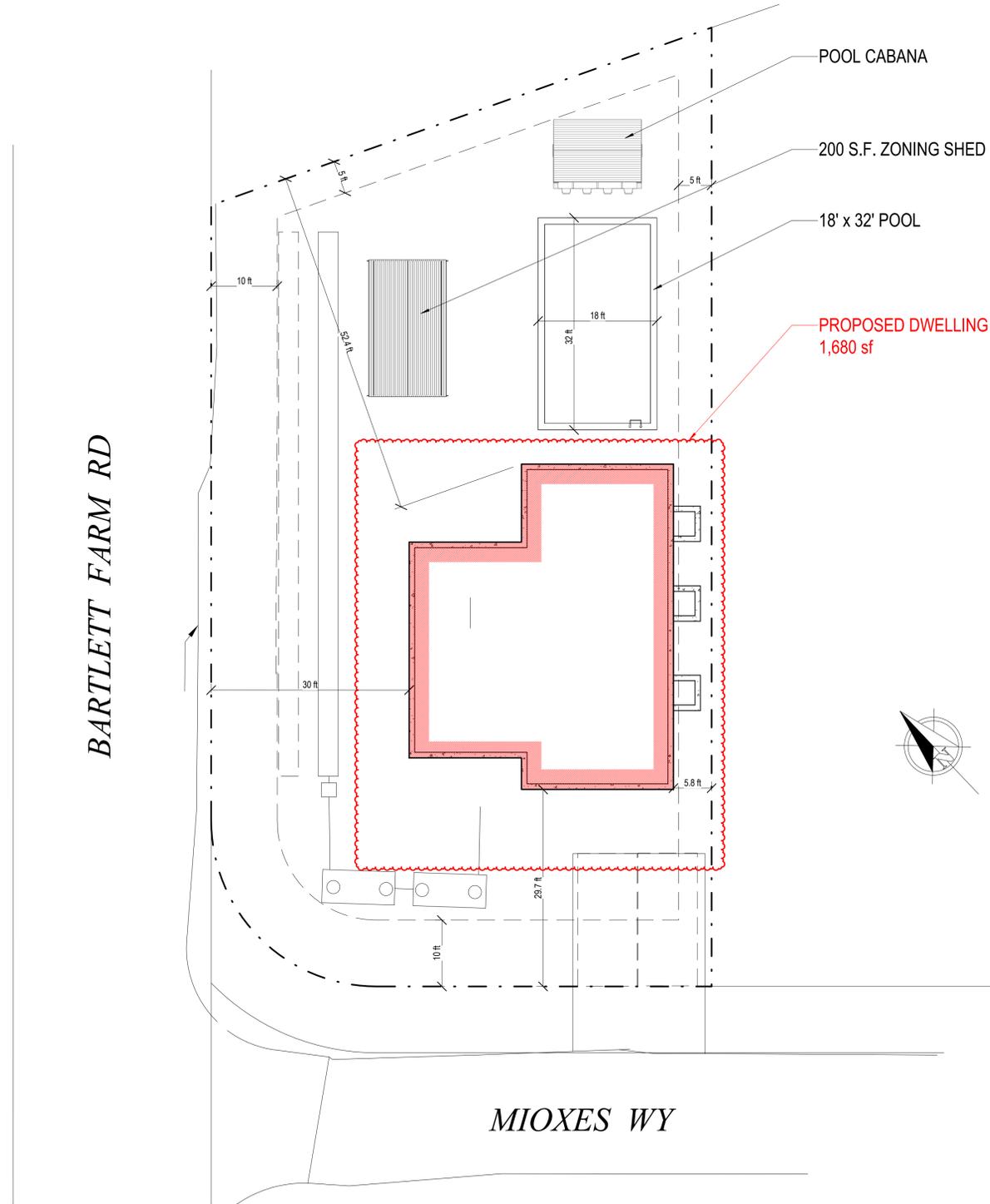


Door Legend

1/4" = 1'-0"

DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	Comments	DP RATING
E1	2	3'-0"	7'-6"	TBD		≥ 30
E2	2	5'-0"	7'-6"	Andersen		≥ 30
E3	1	9'-0"	7'-6"	Andersen		≥ 30
E4	1	8'-0"	7'-6"	TBD		≥ 30

HDC SUBMISSION



Site Plan HDC  
3/32" = 1'-0"

**COVER SHEET**

**Site Information**

Map & Parcel:	65 / 86
Current Zoning:	RC-2
Minimum Frontage:	40 ft
Front Setback:	10 ft
Side/Rear Setback:	5 ft
Lot Size:	9,790 sq. ft.
Min. Lot Size:	5,000 sq. ft.
Allowable G.C.:	50% or 4,895 sq. ft.
Existing G.C.:	n/a
Proposed G.C.:	1,680 sq. ft.
Total Proposed G.C.:	1,680 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

**SHEET INDEX**

- G.101 COVER SHEET
- A.101 FLOOR PLANS
- A.201 EXTERIOR ELEVATIONS
- A.202 EXTERIOR ELEVATIONS

**Revisions**

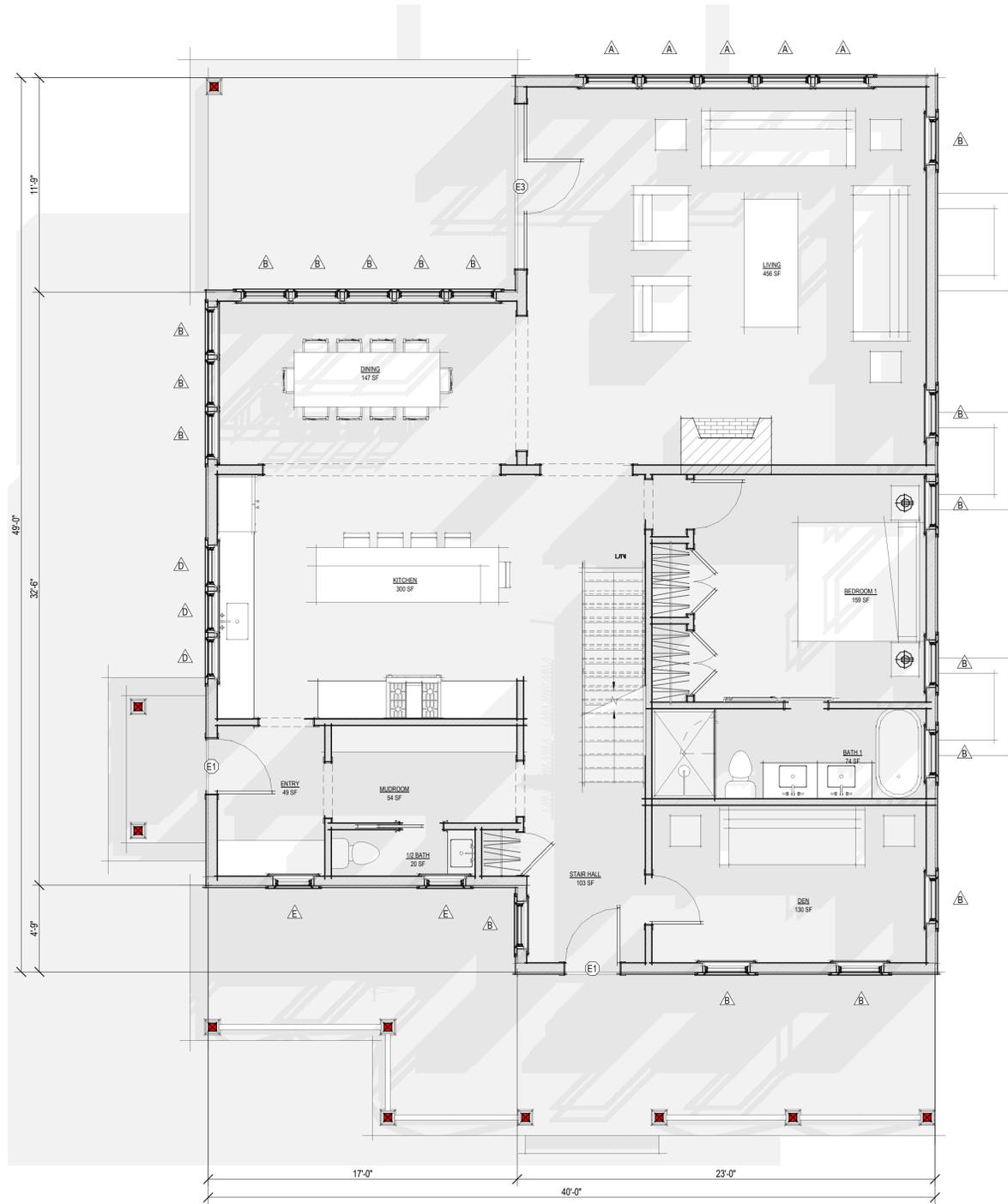
Revision 1 Date 1

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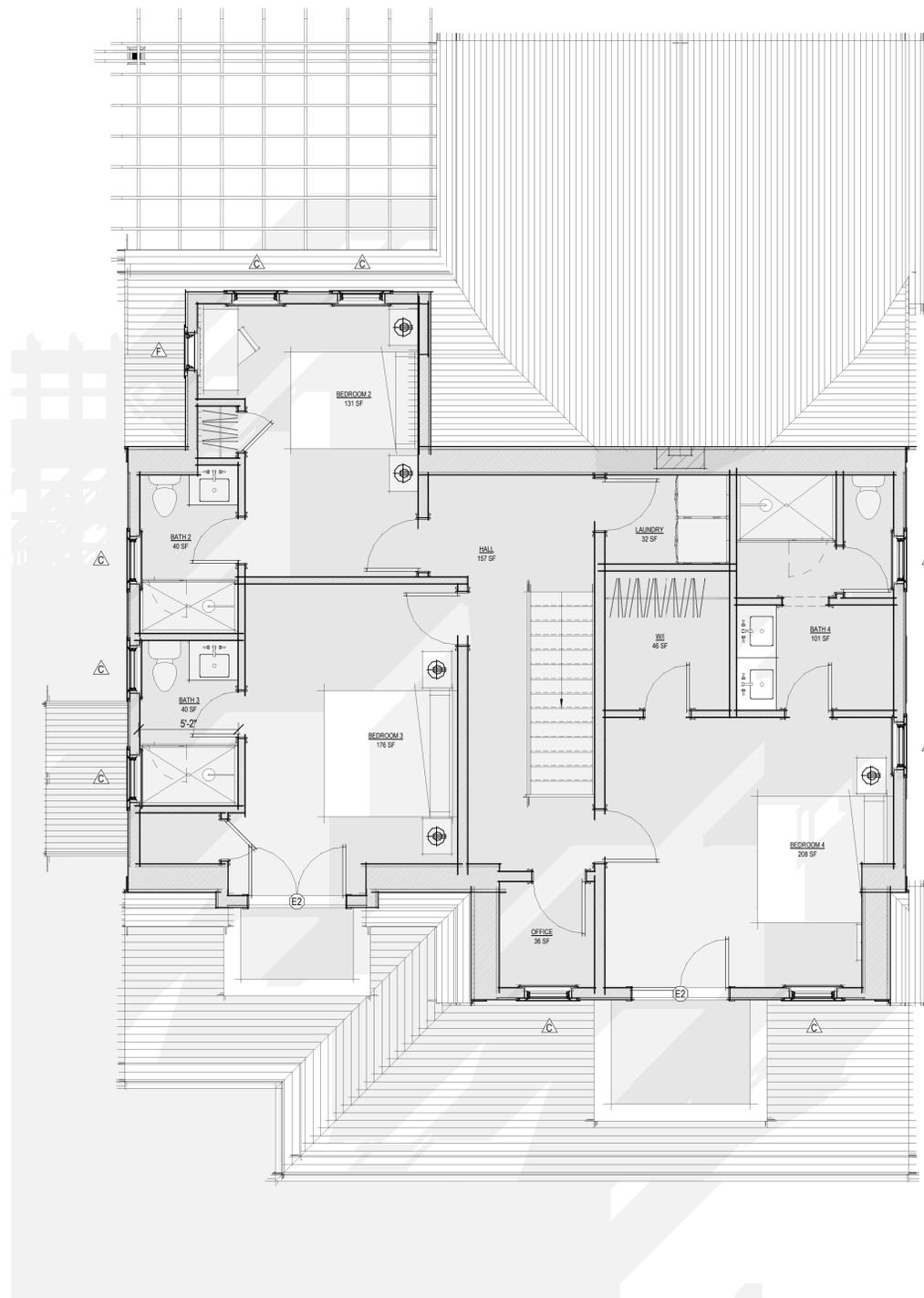
**G.101**  
**2002**

05.21.20

HDC SUBMISSION



1 MH Floor Plans  
1/4" = 1'-0"



2 Second Floor  
1/4" = 1'-0"

2002

TLJ Properties  
Residence  
24 Bartlett Rd  
Nantucket, MA 02554



FLOOR PLANS

Site Information

Map & Parcel:	65 / 86
Current Zoning:	RC-2
Minimum Frontage:	40 ft
Front Setback:	10 ft
Side/Rear Setback:	5 ft
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SHEET INDEX

- G.101 COVER SHEET
- A.101 FLOOR PLANS
- A.201 EXTERIOR ELEVATIONS
- A.202 EXTERIOR ELEVATIONS

Revisions

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A.101  
2002

05.21.20

HDC SUBMISSION



1 South Elevation  
1/4" = 1'-0"



2 East Elevation  
1/4" = 1'-0"

2002

TLJ Properties  
Residence  
24 Bartlett Rd  
Nantucket, MA 02554



EXTERIOR ELEVATIONS

Site Information

Map & Parcel:	65 / 86
Current Zoning:	RC-2
Minimum Frontage:	40 ft
Front Setback:	10 ft
Side/Rear Setback:	5 ft
Lot Size:	9,790 sq. ft.
Min. Lot Size:	5,000 sq. ft.
Allowable G.C.:	50% or 4,895 sq. ft.
Existing G.C.:	n/a
Proposed G.C.:	1,680 sq. ft.
Total Proposed G.C.:	1,680 sq. ft.

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- G.101 COVER SHEET
- A.101 FLOOR PLANS
- A.201 EXTERIOR ELEVATIONS
- A.202 EXTERIOR ELEVATIONS

Revisions

THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT. NO PART OF THESE DRAWINGS OR SPECIFICATIONS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EMERITUS DEVELOPMENT, LLC. THESE DRAWINGS HAVE BEEN WORKED OVER AND REVISED PER THE PERMITTING CONTRACT. ALL REVISIONS SHALL BE FORWARDED UPON REQUEST.

A.201  
2002

05.21.20



1 North Elevation  
1/4" = 1'-0"



2 West Elevation  
1/4" = 1'-0"

HDC SUBMISSION

2002

TLJ Properties  
Residence  
24 Bartlett Rd  
Nantucket, MA 02554



8 Williams Lane Nantucket, MA  
02554  
P. 508.325.6995  
F. 508.325.6990  
www.emeritusthedevelopment.com

EXTERIOR ELEVATIONS

Site Information

Map & Parcel:	65 / 86
Current Zoning:	RC-2
Minimum Frontage:	40 ft
Front Setback:	10 ft
Side/Rear Setback:	5 ft
Lot Size:	9,790 sq. ft.
Min. Lot Size:	5,000 sq. ft.
Allowable G.C.:	50% or 4,895 sq. ft.
Existing G.C.:	n/a
Proposed G.C.:	1,680 sq. ft.
Total Proposed G.C.:	1,680 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.101 COVER SHEET
- A.101 FLOOR PLANS
- A.201 EXTERIOR ELEVATIONS
- A.202 EXTERIOR ELEVATIONS

Revisions

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A.202  
2002

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N<sup>o</sup>: 65 PARCEL N<sup>o</sup>: 86  
 Street & Number of Proposed Work: 24 Bartlett Farm Rd  
 Owner of record: TLJ Properties  
 Mailing Address: 24 Bartlett Rd  
Nantucket, MA 02554  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Emeritus  
 Mailing Address: 8 Williams Ln  
Nantucket, MA 02554  
 Contact Phone #: 325-4995 E-mail: \_\_\_\_\_

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 49 ft. Sq. Footage 1st floor: 1,680 Decks/Patio: Size: 650  1st floor  2nd floor  
 Width: 40 ft. Sq. footage 2nd floor: 1,112 Size: 112  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 6" +/- South 6" +/- East 6" +/- West 6" +/-  
 Height of ridge above final finish grade: North 29'-5" South 29'-5" East 29'-5" West 29'-5"

#### Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_ (describe)  
 Original Builder: \_\_\_\_\_  
 Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

**Roof Pitch:** Main Mass 11 /12 Secondary Mass 11 /12 Dormer 4 /12 Other \_\_\_\_\_

**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Red Cedar

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

**Leaders (material and size):** \_\_\_\_\_

**Sidewall:**  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 5 1/2" Rake 5 1/2" Soffit (Overhang) 10" Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing 3 1/2" Door Frame 3 1/2" Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall Natural Clapboard (if applicable) n/a Roof Natural  
 Trim White Sash White Doors White / Front - Natural  
 Deck Natural Foundation Natural Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5.21.20 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



**REQUIRED WITH ALL APPLICATIONS:**

- \_\_\_\_\_ 1. **Completed Application Form:** Description of **ALL** work must be indicated on application form.
- \_\_\_\_\_ 2. **Property Owner's Signature:** Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
- \_\_\_\_\_ 3. **Application Fee:** See back of application for fee schedule or call the office.
- \_\_\_\_\_ 4. **Locus Map (4 copies):** Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) <http://www.mapgeo.com/NantucketMA/>.
- \_\_\_\_\_ 5. **Site Plan (4 Copies):** must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and **placement of HVAC units, electrical boxes, fuel tanks, etc.**
- \_\_\_\_\_ 6. **8-1/2" x 11" Copies of ALL Application Materials:** Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material **MUST BE LEGIBLE (font size no smaller than 12)**, collated and stapled.  
**Photographs:** Required of **ALL** applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
- \_\_\_\_\_ 7. **Electronic submission:** All documents submitted to the HDC office must also be converted to Adobe Acrobat format <http://www.adobe.com/pdf/>; this is free software that may have come pre-loaded on your computer. Electronic copies can also be created using the scanner located in the Department of Inspectional Services.

**REQUIRED WHERE APPLICABLE:**

- \_\_\_\_\_ 1. **Supplemental Information for Historic Buildings:** It is the applicant's responsibility to research the historical status of any and **ALL** buildings. Additional information may be obtained from the Nantucket Historical Association Library. **If not historic, denote on application.**
- \_\_\_\_\_ 2. **Exterior Elevations and Floor Plans (4 copies):** Must be 1/4-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. **All changes from approved or existing design must be clouded on drawings.** All material **MUST BE LEGIBLE**, collated and stapled. Reduced sets should maintain a font size of 12.
- \_\_\_\_\_ 3. **As-Built Plans (1 copy):** of existing elevations
- \_\_\_\_\_ 4. **Hardscaping Plans (4 copies): To legible scale.** This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material **MUST BE LEGIBLE**, collated and stapled.
- \_\_\_\_\_ 5. **Topographic Map:** Must show existing and proposed grade for any change of more than **one** foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).
- \_\_\_\_\_ 6. **Door and Window Schedule (4 copies):** Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
- \_\_\_\_\_ 7. **I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.**  
(initial to indicate read and understand)
- \_\_\_\_\_ 8. **Abutter Notification Materials** – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more **except** in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet.
- \_\_\_\_\_ 9. **Approvals** from Planning Board, Zoning Board of Appeals, Conservation Commission etc.

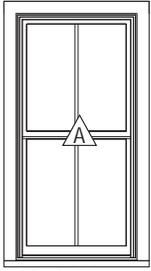
# *TLJ Properties Residence*

24 Bartlett Rd  
Nantucket, MA 02554

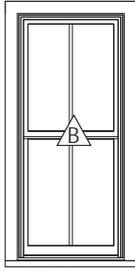


Locus Map

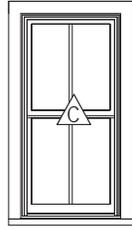
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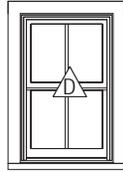
ADH2650  
Double Hung  
2/2 SDL



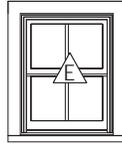
ADH2644  
Double Hung  
2/2 SDL



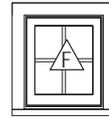
ADH2038  
Double Hung  
2/2 SDL



ADH2438  
Double Hung  
2/2 SDL



ACW2428  
Casement  
4 Lite SDL



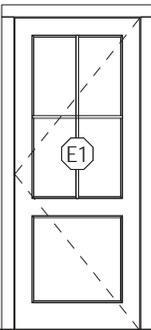
AAN2614  
Awning  
2 Lite SDL

## Window Legend

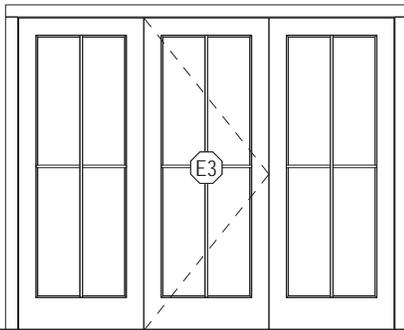
1/4" = 1'-0"

### WINDOW SCHEDULE

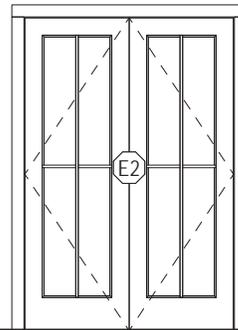
WINDOW	QTY	UNIT WIDTH	UNIT HEIGHT	Rough Height	Rough Width	MANUFACTURER	Ext. Color
A	5	2'-11 1/4"	5'-11 1/4"	6'-0"	3'-0"	Andersen Corporation	
B	17	2'-7 1/4"	5'-11 1/4"	6'-0"	2'-8"	Andersen Corporation	
C	9	2'-5 1/4"	4'-11 1/4"	5'-0"	2'-6"	Andersen Corporation	
D	9	2'-3 1/4"	3'-7 1/4"	3'-8"	2'-4"	Andersen Corporation	
E	2	2'-3 1/4"	2'-11 1/4"	3'-0"	2'-4"	Andersen Corporation	
F	4	1'-11 1/4"	2'-3 1/4"	2'-4"	2'-0"	Andersen Corporation	



1 Panel Door w/ 4 Lite SDL



Triple French Door  
4 Lite SDL



Double French Door  
4 Lite SDL

## Door Legend

1/4" = 1'-0"

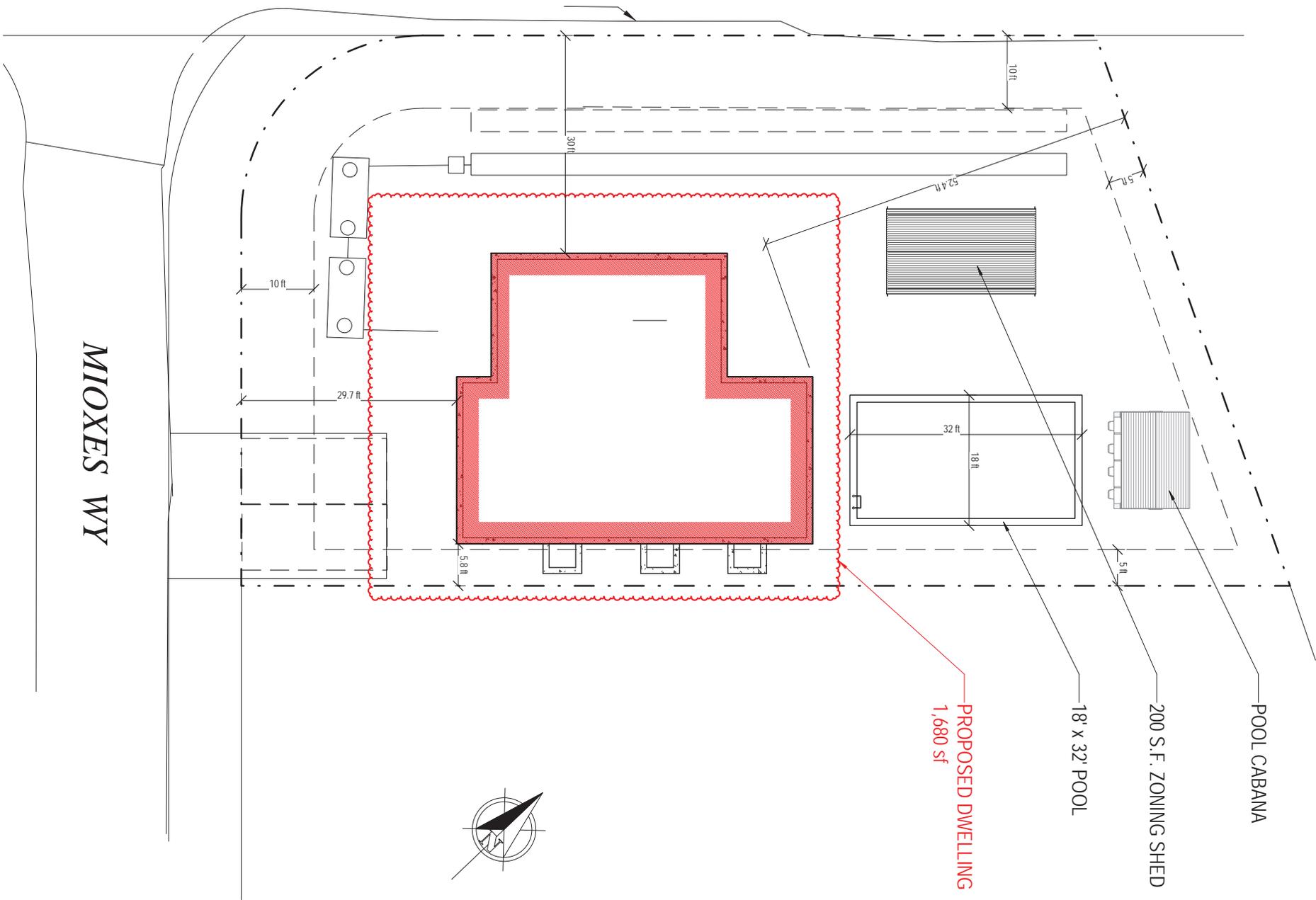
### EXTERIOR DOOR SCHEDULE

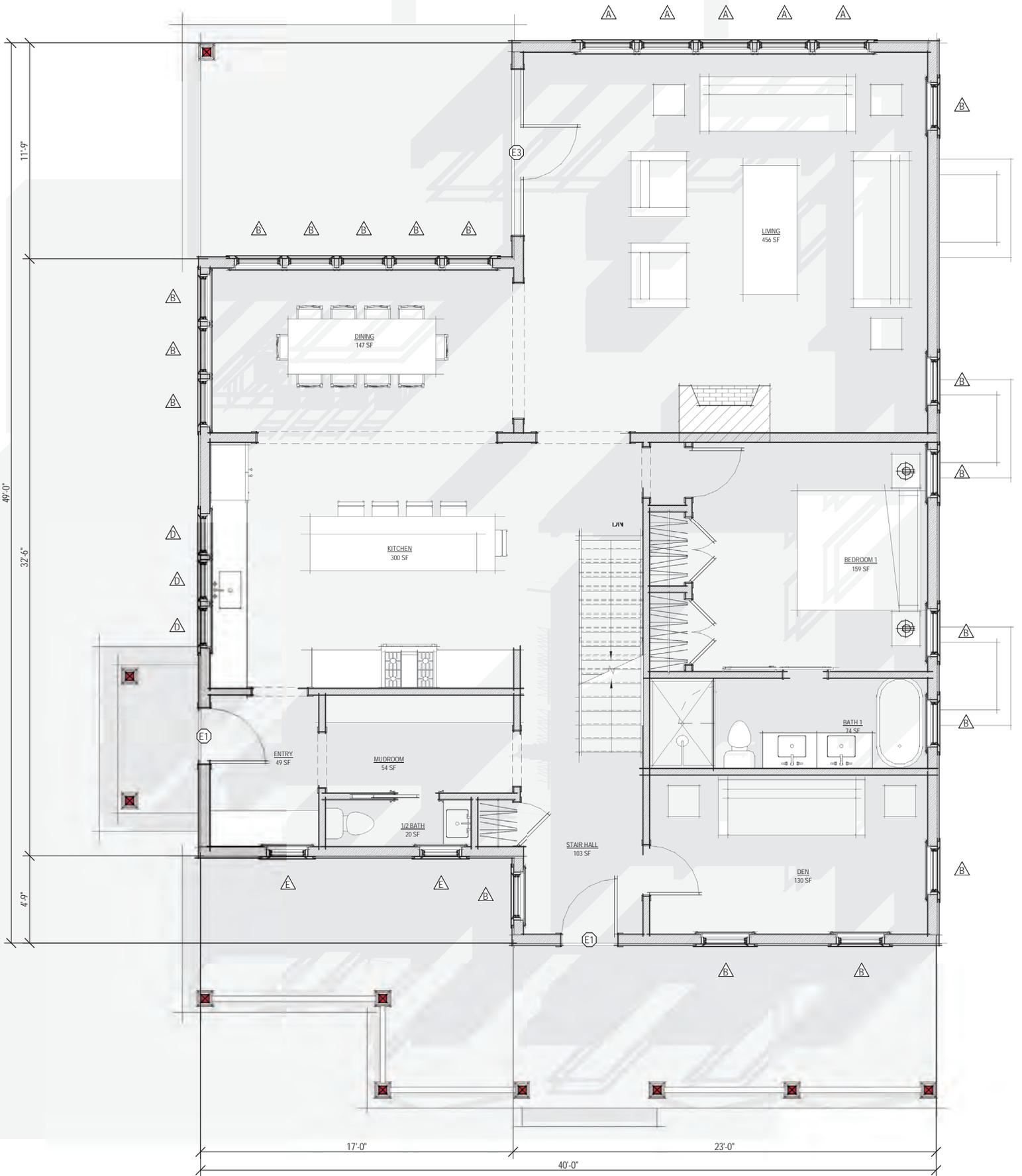
DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	Comments	DP RATING
E1	2	3'-0"	7'-6"	TBD		≥ 30
E2	2	5'-0"	7'-6"	Andersen		≥ 30
E3	1	9'-0"	7'-6"	Andersen		≥ 30
E4	1	8'-0"	7'-6"	TBD		≥ 30

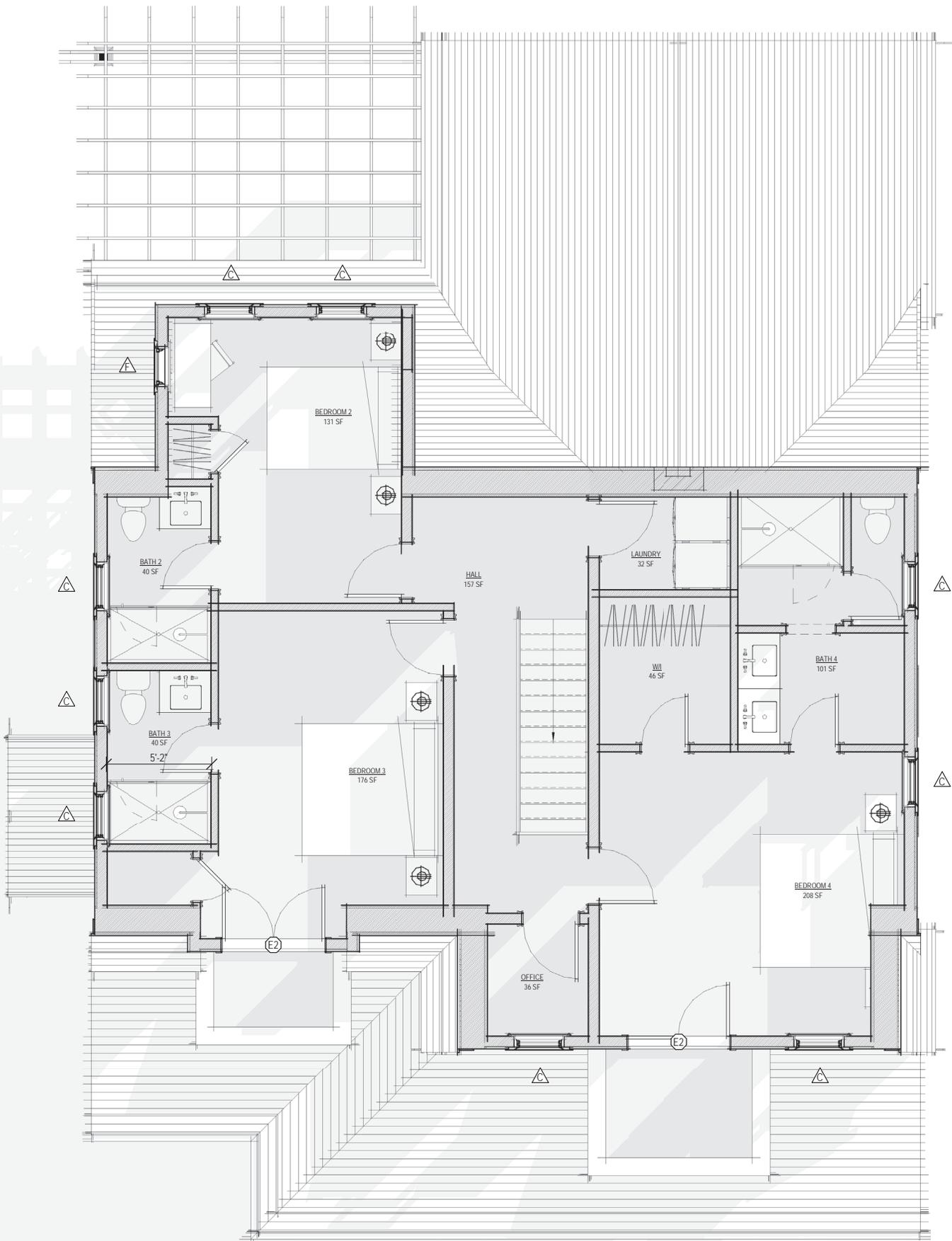
# BARTLETT FARM RD

MIOXES WY

Site Plan HDC  
3/3/22 - 1'-0"









**1** South Elevation  
1/4" = 1'-0"



**2** East Elevation  
1/4" = 1'-0"



**1** North Elevation  
1/4" = 1'-0"



2 West Elevation  
1/4" = 1'-0"

7019 1120 0001 7292 8901

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\$	\$0.00	03
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
\$		
Total Postage and Fees	\$1.10	
\$		

Sent To  
Bartlett Farm Housing LLC  
33 Bartlett Farm Rd.  
Street and Apt. No., or PO Box No.  
Nantucket, MA  
City, State, ZIP+4®  
02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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\$	\$0.00	03
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<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
\$		
Total Postage and Fees	\$4.10	
\$		

Sent To  
Taco 1 LLC  
98 Chestnut  
Street and Apt. No., or PO Box No.  
Boston, MA  
City, State, ZIP+4®  
02108

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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\$	\$0.00	03
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
\$		
Total Postage and Fees	\$4.10	
\$		

Sent To  
Bartlett Farm LLC  
33 Bartlett Farm Rd  
Street and Apt. No., or PO Box No.  
Nantucket, MA  
City, State, ZIP+4®  
02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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FORT MYERS, FL 33908

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\$	\$0.00	03
Extra Services & Fees (check box, add fee as appropriate)		
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<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
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<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
\$		
Total Postage and Fees	\$4.10	
\$		

Sent To  
Bartlett Philip & Dorothy W  
16160 Mount Abbey Wy #102  
Street and Apt. No., or PO Box No.  
Ft Meyers, FL  
City, State, ZIP+4®  
33908

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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NANTUCKET, MA 02554

Certified Mail Fee	\$3.55	0056
\$	\$0.00	03
Extra Services & Fees (check box, add fee as appropriate)		
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	
\$		
Total Postage and Fees	\$4.10	
\$		

Sent To  
Bartlett Farm Housing LLC  
33 Bartlett Farm Rd  
Street and Apt. No., or PO Box No.  
Nantucket, MA  
City, State, ZIP+4®  
02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions



## HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road

Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Fax: 508.228.7298

### NOTICE OF HDC APPLICATION

#### ABUTTERS AND INTERESTED PARTIES

Please be informed that the Nantucket Historic District Commission will be considering the following proposal:

Address of Proposed Work: 24 Bartlett Rd

Tax Map Number: 65 Parcel Number: 86

Owner of Record: Bartlett Farm Housing LLC

Description of Proposal: New Dwelling - 1,680 s.f. ground cover.

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Anticipated HDC Submission Date: 05.21.20

You have been identified either as an abutter or interested party to the above property and are being notified in accordance with the Town Bylaw. Please note that the above submission date is an estimate only; the actual meeting date will be determined once the HDC staff has established that a complete application has been submitted. Please contact the HDC office to verify the date. Please note that notification is only required at the time of initial submission of an application, not for each time an application goes before the Commission. Abutters are responsible for monitoring the status of applications.

If you wish to comment on the above proposal, you are encouraged to submit your comments in writing to the HDC office. If you wish to testify at a Commission meeting please be aware that your testimony may be limited by the Commission in accordance with Commission policies, which are included on the back of this form. Due to the large sizes of most applications, the HDC office may not be able to send faxed copies of the plans. Off-island abutters wishing more detailed information may enlist an on-island representative to view the plans in the HDC office.

If you have any questions, please contact the HDC office at 508.325.7587.

## **HDC POLICIES FOR AN ABUTTER AND/OR INTERESTED PARTY TESTIMONY**

Abutters are encouraged to limit their responses to issues that fall within the statutory mandate of the HDC – mainly the appearance of a proposal from the publicly traveled way and its impact on the existing historic environmental context. Issues such as land uses, noise, and impacts on private property are outside of the HDC's purview and cannot be addressed by the Commission.

In order to maintain a balance between the wishes of abutters and interested parties to express their concerns and the need of the HDC to conduct its business in a timely fashion, the following policies have been established:

Abutters and interested parties wishing to testify before the Commission shall be limited to three minutes of testimony. Only one representative from each abutting property or interested party shall be permitted to testify.

For those cases in which a substantial number of abutters and/or interested parties wish to testify (as determined by the Chair), the Chair shall structure the review of an application as follows:

1. Introduction of the application;
2. Response by applicant;
3. Public comment in favor of proposal;
4. Public comment in opposition of proposal;
5. Closing of public comment-no further comment unless requested by Commission members through the Chair;
6. Commission comments and discussion with applicant;
7. Commission action.

The above meeting policies may be waived at the discretion of the Chair.

TOWN OF NANTUCKET  
HISTORIC DISTRICT COMMISSION

LIST OF PARTIES IN INTEREST IN THE MATTER OF THE PETITION OF:

PROPERTY OWNER..... Bartlett Farm Housing LLC  
MAILING ADDRESS..... 33 Bartlett Farm Road, Nantucket, MA 02554  
PROPERTY LOCATION..... 24 Bartlett Farm Raod  
ASSESSORS MAP/PARCEL..... 65 / 86  
SUBMITTED BY:..... Emeritus

SEE ATTACHED PAGES

I certify that the foregoing is a list of persons who are owners of land directly adjacent to the subject property or directly opposite the subject property on any public or private street or way, all as they appear on the most recent applicable tax list.

May 6, 2020

DATE



ASSESSOR'S OFFICE  
TOWN OF NANTUCKET

MBLU	Lot	Lot_Cut	Owner_Full_Name	CoOwner_1	Address_Line_1	City	State	Zip	Location		
65	16	1	BARTLETT FARM LLC		33 BARTLETT FARM RD	NANTUCKET	MA	02554	19 BARTLETT FARM RD		
65	76	1	TACO 1 LLC		98 CHESTNUT	BOSTON	MA	02108	22 BARTLETT FARM RD		
65	86		BARTLETT FARM HOUSING LLC		33 BARTLETT FARM RD	NANTUCKET	MA	02554	24 BARTLETT FARM RD		
65	87		BARTLETT FARM HOUSING LLC		33 BARTLETT FARM RD	NANTUCKET	MA	02554	4 MIOXES WY		
65	91		BARTLETT PHILIP D & DOROTHY W		16160 MOUNT ABBEY WY #102	FT MEYERS	FL	33908	26 BARTLETT FARM RD		



# HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road  
Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Email: [hdcsubmissions@nantucket-ma.gov](mailto:hdcsubmissions@nantucket-ma.gov)

## COMMISSIONERS

Ray Pohl  
Chairman

Diane Coombs  
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

## ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

## STAFF

Cathy Flynn  
Land Use Specialist  
[cflynn@nantucket-ma.gov](mailto:cflynn@nantucket-ma.gov)

## Waiver of the HDC 10 Day Hearing Requirement

I STEVE ROETHKE

AS AGENT FOR TON MEMORIAL AIRPORT

STREET ADDRESS 25 BUNKER ROAD

MAP/PARCEL 7B / 2.1

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON

MAY 21, 2020

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

**SECTION 8 of the HDC enabling legislation: ... The Commission shall meet within ten (10) days of the receipt of an application for a certificate of appropriateness or permit for removal...**

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

Signature

Date

5/20/20

NANTUCKET ENERGY  
BLDG. N



**REQUIRED WITH ALL APPLICATIONS:**

- 1. **Completed Application Form:** Description of **ALL** work must be indicated on application form. ✓
- 2. **Property Owner's Signature:** Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided. ✓
- 3. **Application Fee:** See back of application for fee schedule or call the office. ✓
- 4. **Locus Map (4 copies):** Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) ✓
- 5. **Site Plan (4 Copies):** must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and **placement of HVAC units, electrical boxes, fuel tanks, etc.** The site plan is available through the Registry of Deeds or the municipal GIS website at <http://www.mapgeo.com/NantucketMA/>. ✓
- 6. **8-1/2" x 11" Copies of ALL Application Materials:** Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material **MUST BE LEGIBLE (font size no smaller than 12)**, collated and stapled. ✓
- 7. **Photographs:** Required of **ALL** applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address. ✓
- 8. **Electronic submission:** All documents submitted to the HDC office must also be converted to Adobe Acrobat format <http://www.adobe.com/pdf/>; this is free software that may have come pre-loaded on your computer. Electronic copies can also be created using the scanner located in the Department of Inspectional Services. ✓

**REQUIRED WHERE APPLICABLE:**

- 1. **Supplemental Information for Historic Buildings:** It is the applicant's responsibility to research the historical status of any and **ALL** buildings. Additional information may be obtained from the Nantucket Historical Association Library. If **not historic, denote on application.** /
- 2. **Exterior Elevations and Floor Plans (4 copies):** Must be 1/4-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. **All changes from approved or existing design must be clouded on drawings.** All material **MUST BE LEGIBLE**, collated and stapled. Reduced sets should maintain a font size of 12. ✓
- 3. **As-Built Plans (1 copy):** of existing elevations /
- 4. **Hardscaping Plans (4 copies): To legible scale.** This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material **MUST BE LEGIBLE**, collated and stapled. /
- 5. **Topographic Map:** Must show existing and proposed grade for any change of more than **one** foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan). /
- 6. **Door and Window Schedule (4 copies):** Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number. N/A
- 7. **I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.** N/A  
(initial to indicate read and understand)
- 8. **Abutter Notification Materials** – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more **except** in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet. /
- 9. **Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc.** /

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 78 PARCEL N°: 2.1  
Street & Number of Proposed Work: 25 BUNKER RD. LEASE T  
Owner of record: TOWN OF NANTUCKET MEMORIAL AIRPORT  
Mailing Address: 14 AIRPORT RD.  
NANTUCKET, MA 02554  
Contact Phone #: 508-325-7531 E-mail: nkurberg@nantucketairport.com

**AGENT INFORMATION (if applicable)**

Name: S.M. ROETHKE DESIGN  
Mailing Address: 19 OLD SOUTH RD.  
NANTUCKET, MA 02554  
Contact Phone #: 508-825-7588 E-mail: steve@smroethke.com

FOR OFFICE USE ONLY  
Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other STORAGE STRUCTURE (NORTH)  
Size of Structure or Addition: Length: 40' Sq. Footage 1st floor: 1600 SF Decks/Patio: Size: —  1st floor  2nd floor  
Width: 40' Sq. footage 2nd floor: \_\_\_\_\_ Size: —  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_  
Difference between existing grade and proposed finish grade: North +8" South +8" East +8" West +8"  
Height of ridge above final finish grade: North 15' South 15' East 8' West 8'

Additional Remarks

Historic Name: \_\_\_\_\_  
Original Date: N/A. (describe) \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A  
**REVISIONS\*** 1. East Elevation  
2. South Elevation  
3. West Elevation  
4. North Elevation  
MANUFACTURED ROOF ON (2) STEEL STORAGE CONTAINERS.  
\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

**Foundation:** Height Exposed N/A.  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) N/A.  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass N/A /12 Secondary Mass — /12 Dormer — /12 Other RADIUS  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) METAL  
**Skylights (flat only):** Manufacturer N/A. Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) N/A.  
**Leaders (material and size):** N/A.  
**Sidewall:**  White cedar shingles N/A.  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other N/A.  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other N/A.  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type OVERHEAD METAL. Material \_\_\_\_\_  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required. N/A.

**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof GREY  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors GREY  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.  
Date 5/20/20 Signature of owner of record \_\_\_\_\_ AGENT Signed under penalties of perjury



S. M. ROETHKE  
design, inc.

Mr. John Hedden  
HDC Administrator  
Historic District Commission  
Nantucket, MA

Re: 25 Bunker Road, Lease T

Dear Mr. Hedden,

I hereby authorize Steven M. Roethke of S. M. Roethke Design, Inc. to provide signature and representation as the "Agent" on the HDC application to your office for proposed work by Nantucket Energy, LLC (the Lease Holder/Tenant) at the property owned by the Town Nantucket/Nantucket Memorial Airport at the location referenced above.

Thank you,

Noah J. Karberg, C.M., ACE  
Assistant Airport Manager  
Nantucket Memorial Airport  
14 Airport Rd.  
Nantucket, MA 02554  
O: 508-325-7531  
F: 508-325-5306

architecture | planning | development

---

19 old south road.nantucket.massachusetts.02554 | t:508.825.7588 | f:508.825.7589

[www.smroethkedesign.com](http://www.smroethkedesign.com)

Town of Nantucket  
NANTUCKET MEMORIAL AIRPORT  
14 Airport Road  
Nantucket Island, Massachusetts 02554



Phone: (508) 325-5300

Fax: (508) 325-5306

Tenant Construction/Alteration Application

Bunk-020  
Application Number

3/20/2019  
Date

**APPLICANT HEREBY AGREES TO THE FOLLOWING TERMS AND CONDITIONS:**

The Applicant shall not commence any of the work covered hereunder before receipt from ACK of a copy of this application duly signed in Part Two hereof. Upon receipt thereof the Applicant agrees to perform said work in accordance with the following "Information to be furnished by the Applicant" and to comply with and be bound by all requirements and conditions set forth below under remarks, if any, in Part Two hereof. In connection with the performance of work covered hereunder, the Applicant and its contractors shall be bound by terms and conditions of Agreement No. \_\_\_\_\_ dated 12/9/2013 between Applicant and Nantucket Memorial Airport Commission as therein pertains to comprehensive liability insurance and compliance with Airport rules and regulations, governmental requirements, rules and regulations of fire insurance organizations, non-discrimination and any written procedures or instructions of the Airport Manager. The Applicant's contractor shall procure and maintain appropriate Workmen's Compensation Insurance. The Applicant shall indemnify and hold harmless Nantucket Memorial Airport, their Commissioners, officers, agents and employees in accordance with said Agreement. All work shall be subject to the approval of the Airport Manager prior to occupancy or use and Applicant shall redo or replace at its own expense any work not approved by him. Title to all improvements hereunder shall vest in the Nantucket Memorial Airport unless otherwise noted in a lease agreement. Minimum insurance limits unless specified to be greater: Bodily injury \$100,000 each person, \$300,000 each occurrence; Property Damage \$100,000 each accident, \$100,000 aggregate.

NOTE: All Terminal Projects must comply with the attached Finish Standards developed by Earth Tech/AECOM. No alterations to the airport perimeter fence are permitted without written approval. Construction of any permanent structure on or near the airport will require completion of the FAA Form- 7460 process.

**PART ONE:**

INFORMATION TO BE FURNISHED BY APPLICANT

Applicant Information

Name: NANTUCKET ENERGY, LLC. C/O PHILIP MARKS III

Address: 8B AMELTA DRIVE

NANTUCKET, MA 02554

Phone: 508-228-6240 (C) Email: phil@nantucketenergy.com  
508-221-1010 (C)

Permission is hereby requested to perform the following described work on the space described in the plans and specifications.

The Work is to be Performed by:

Applicant: X Other: \_\_\_\_\_ If Other, Insert Name: \_\_\_\_\_

Location (Building # or Area) of Space to be Altered: 25 BUNKER ROAD, LEASE T

Description of Work and Reason: CONSTRUCT NEW STEEL FRAME MANUFACTURED STORAGE & MAINTENANCE FACILITY WITH OFFICES FOR OPERATIONS OF PROPANE COMPANY, NANTUCKET ENERGY, LLC.

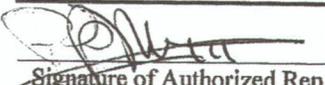
Estimated Cost of Work: \$ 600,000 Estimated Time to Complete (Days): 210 (7 MOS)  
 Start Date: 7- 7/1/2019 Completion Date: 7- 2/1/2020

Plans: Prints of each drawing must be submitted with copies of application. Include floor plan and all utilities. Show area affected by proposed work (size 11" X 17" or larger).

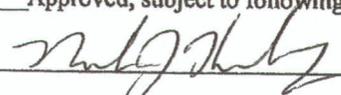
<u>NANTUCKET ENERGY, LLC</u> <u>OFFICE &amp; STORAGE BUILDING</u>	<u>N/A</u>	<u>2/12/2019</u>
Title of Drawing	Drawing Number	Dated
<u>NANTUCKET ENERGY, LLC</u> <u>C/O PHILIP MARKS, III</u>	<u>STEPHEN GOAN, PE, SE</u> <u>SJG ENGINEERING, LLC.</u>	<u>603-232-6142</u>
<u>8B AMELIA DRIVE</u>	<u>6 GOLDEN GATE DRIVE</u>	Telephone Number
<u>NANTUCKET, MA 02554</u>	<u>HOOKSET, NH 03106</u>	<u>SE #46226</u>
Name & Address of Contracted (If not known, submit later)	Name & Address of Engineer/Architect	License Number

Send Correspondence to (Name & Address of Employee In Charge of Work): PHILIP MARKS III  
8B AMELIA DRIVE  
NANTUCKET, MA 02554  
 Telephone Number: 508-221-1010  
 Name & Address: SEE ABOVE

**ENGINEER OR ARCHITECT CERTIFICATION**  
 I have supervised the preparation of plans and specifications for the entire work represented herein and hereby certify that they conform to the requirements of the respective enactments, ordinances, resolutions and regulations of the Town or County in regard to construction and Applicants maintenance of buildings and structures and in regard to health and fire protection.

	<u>Leasee</u>	<u>2/12/19</u>	<u>*SEE LETTER FROM STEPHEN GOAN, PE.</u>
Signature of Authorized Rep	Title	Date	Signature of Licensed Prof. Engineer/Architect
			<u>DATE</u>

**PART TWO:**

Prepared by ACK and returned to Applicant.  
 The above Application is: Disapproved  Approved, subject to following: per email  


Continued on Rider "A" attachment

Please advise Airport Manager in writing when this work has been completed and is ready for inspection.

Inspected by	Title	Date
--------------	-------	------



**LOCUS MAP**



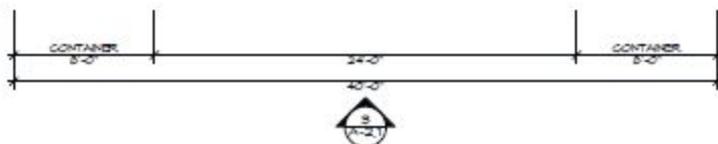
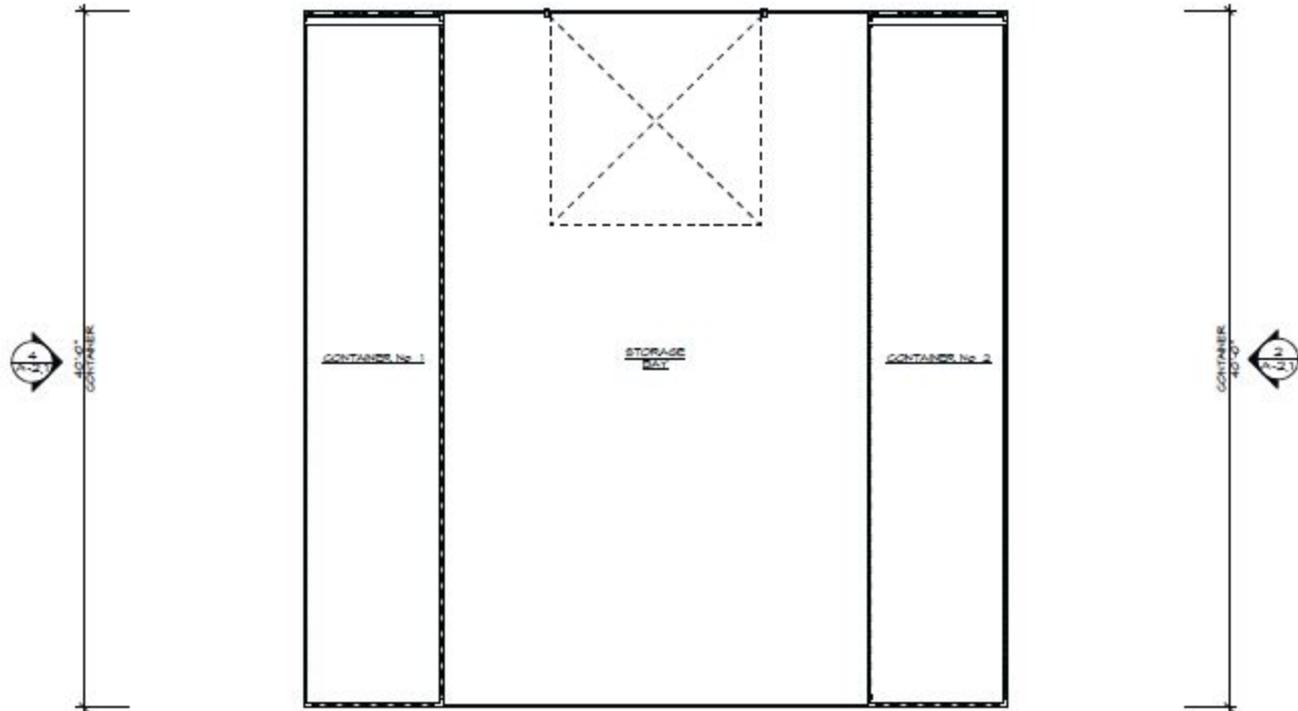
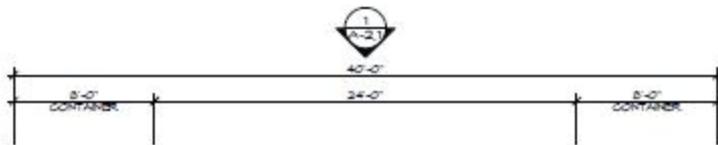


 **PERSPECTIVE VIEW**

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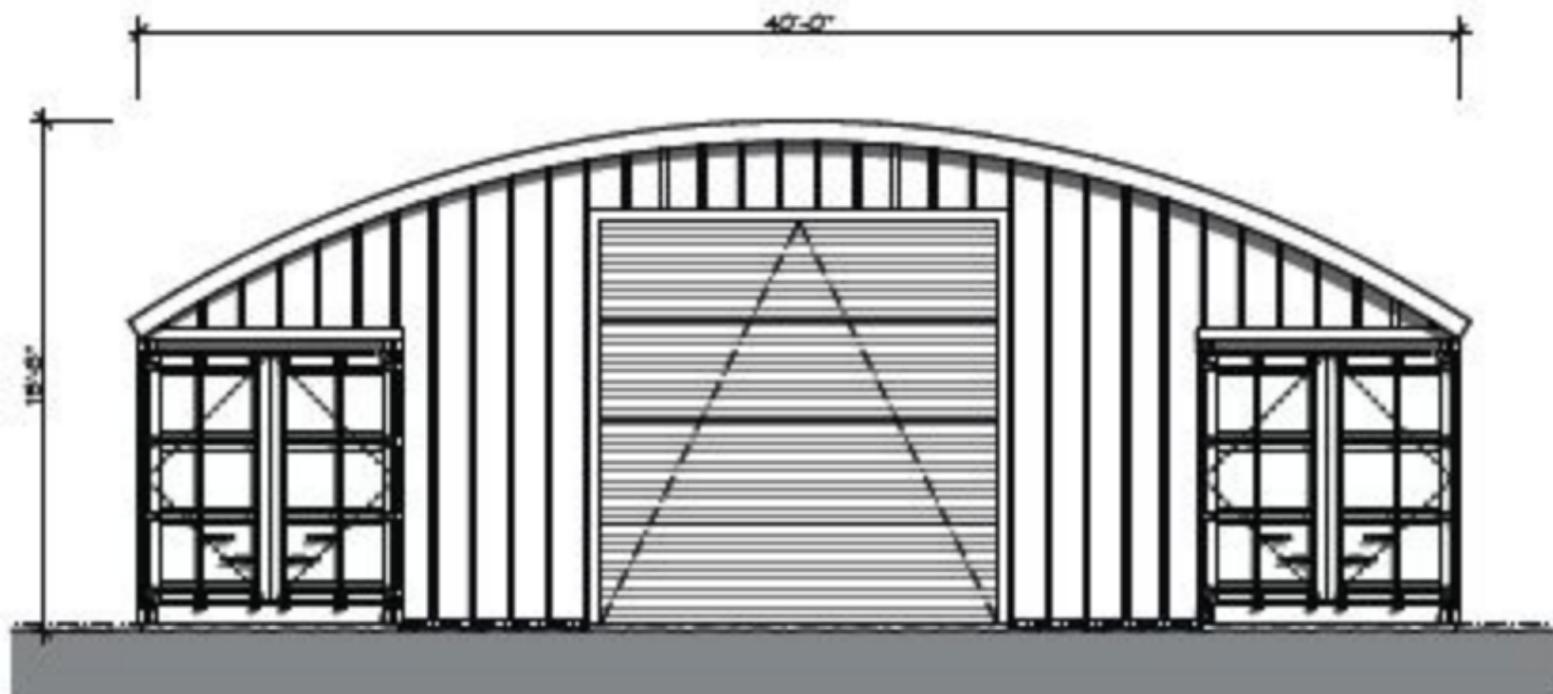


**PHOTO EXAMPLE FROM MANUFACTURER**



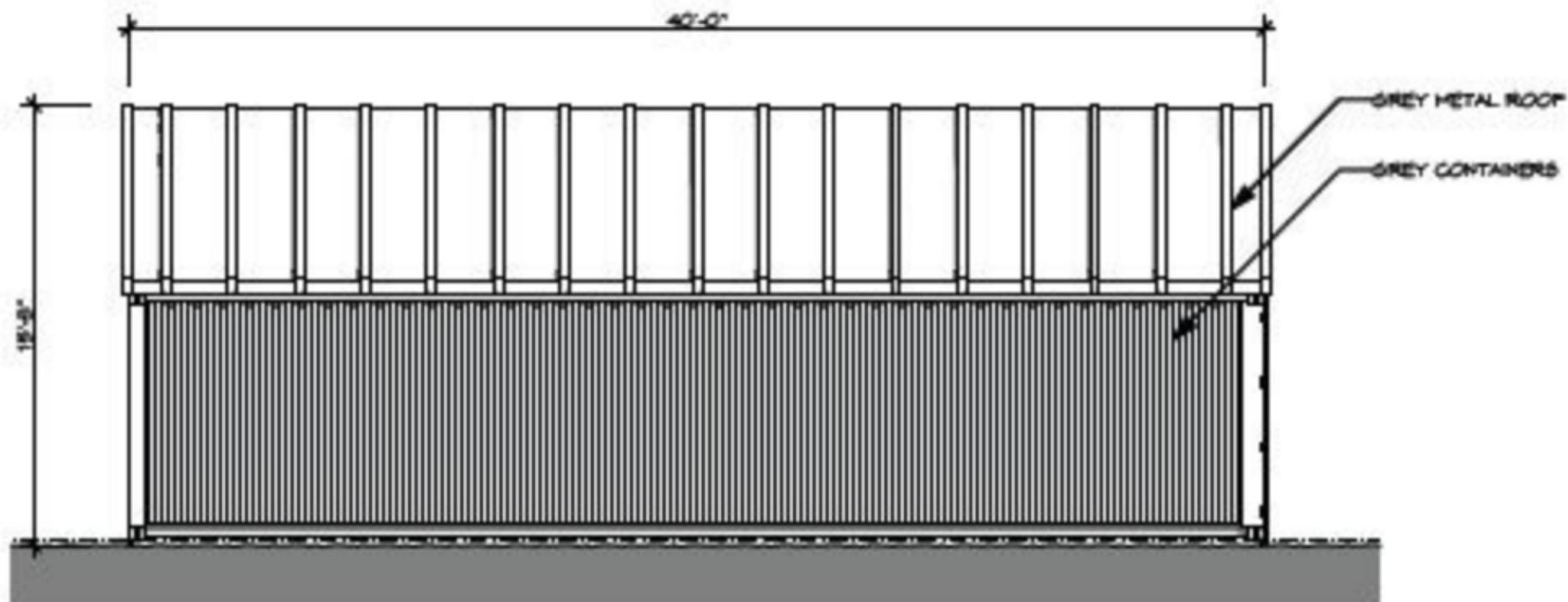
**PROPOSED FLOOR PLAN - 1600 sq ft**

Scale: 1/8" = 1'-0"



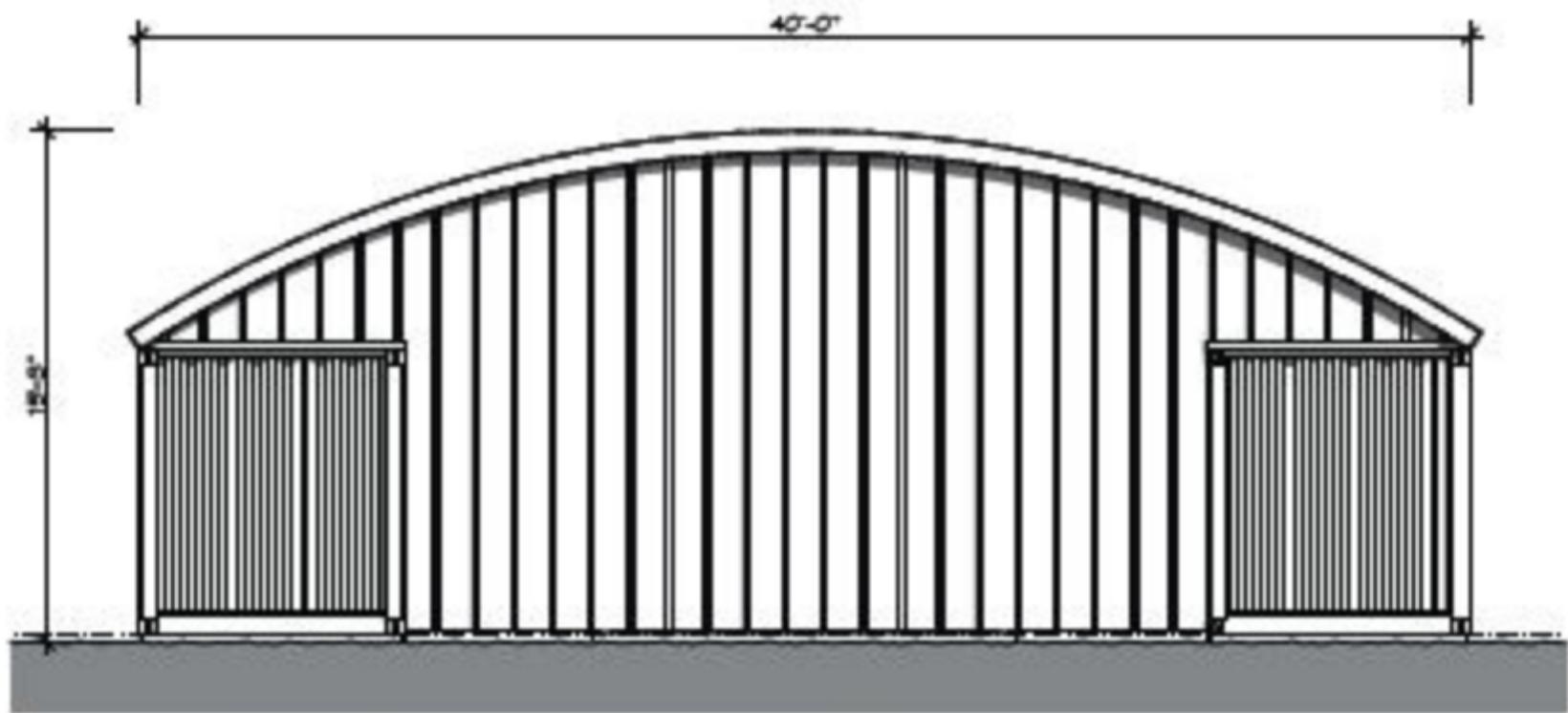
**PROPOSED NORTH ELEVATION**

Scale: 1/4" = 1'-0"



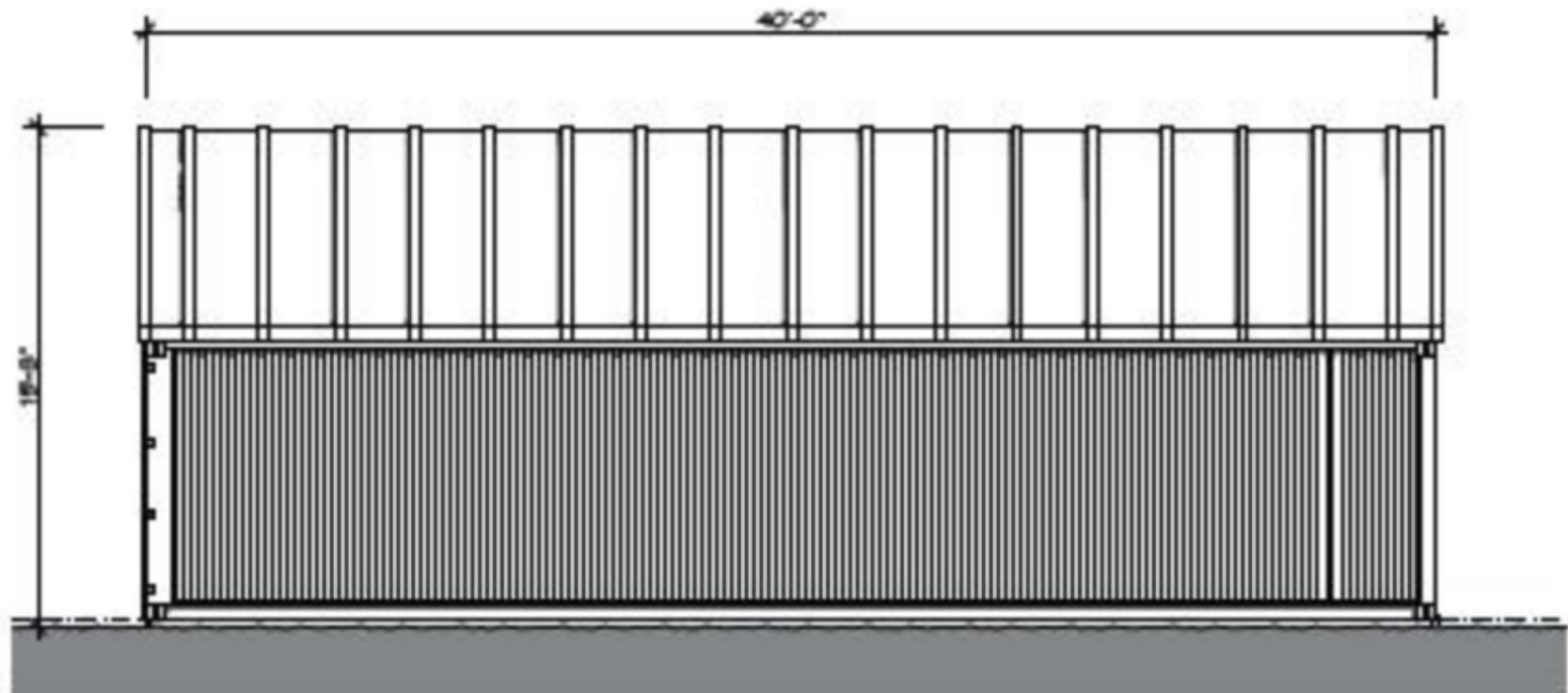
**PROPOSED EAST ELEVATION**

Scale 1/8" = 1'-0"



**PROPOSED SOUTH ELEVATION**

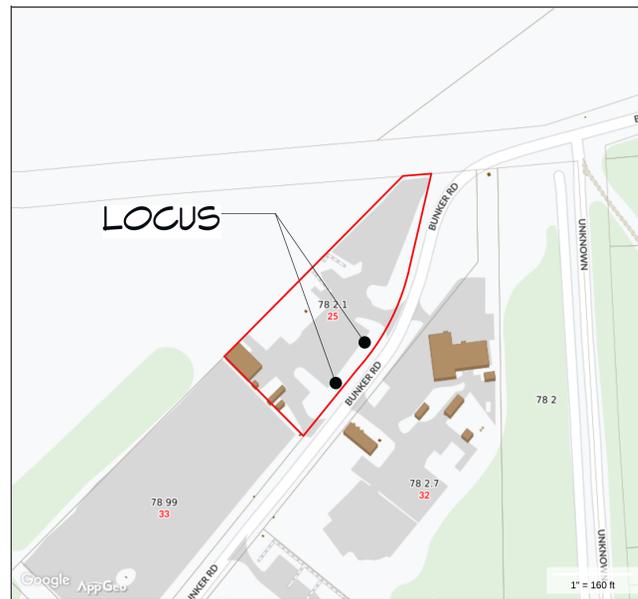
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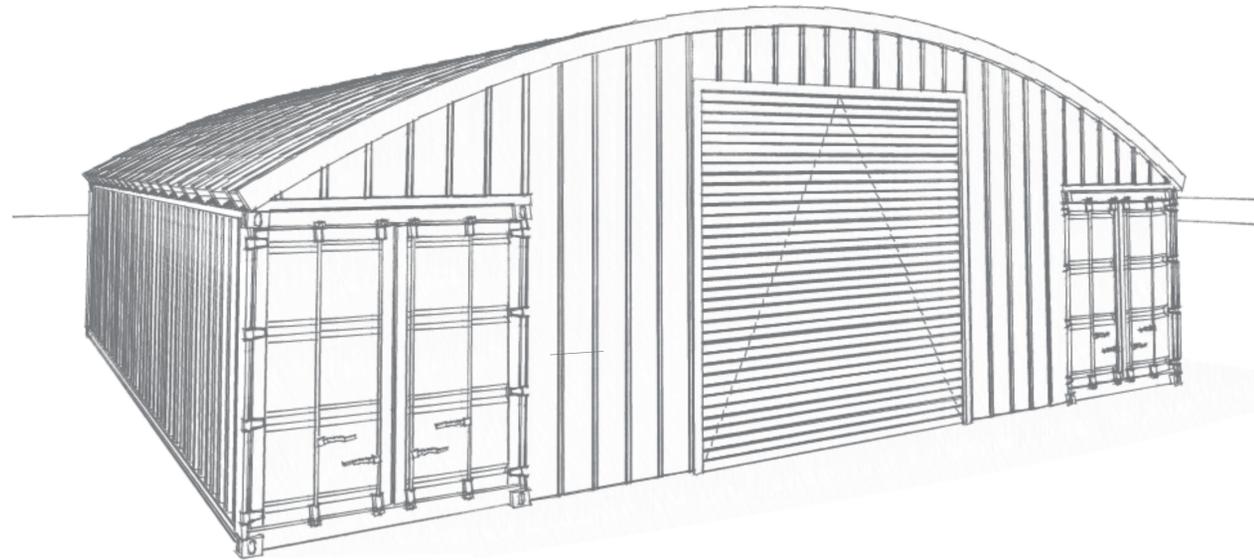
**PROPOSED WEST ELEVATION**

Scale 1/8" = 1'-0"

Design Development  
**Nantucket Energy**  
 25 Bunker Road, Nantucket, Ma.



**L** LOCUS MAP



**1** PERSPECTIVE VIEW



**2** PHOTO EXAMPLE FROM MANUFACTURER



S. M. ROETHKE  
 design, inc.

S.M.ROETHKE DESIGN  
 nantucket, ma. 02554  
 t: 508.825.7588 | f:  
 508.825.7589  
 www.smroethkedesign.com

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**Cover Sheet**

**Nantucket Energy**  
 25 Bunker Road  
 Nantucket, MA 02554

REVISIONS:


STAMP:

Design  
 Development  
 5/6/20

**A-0.1**





S. M. ROETHKE  
design, inc.

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**First Floor Plan**

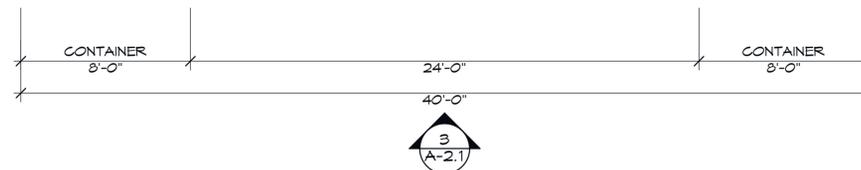
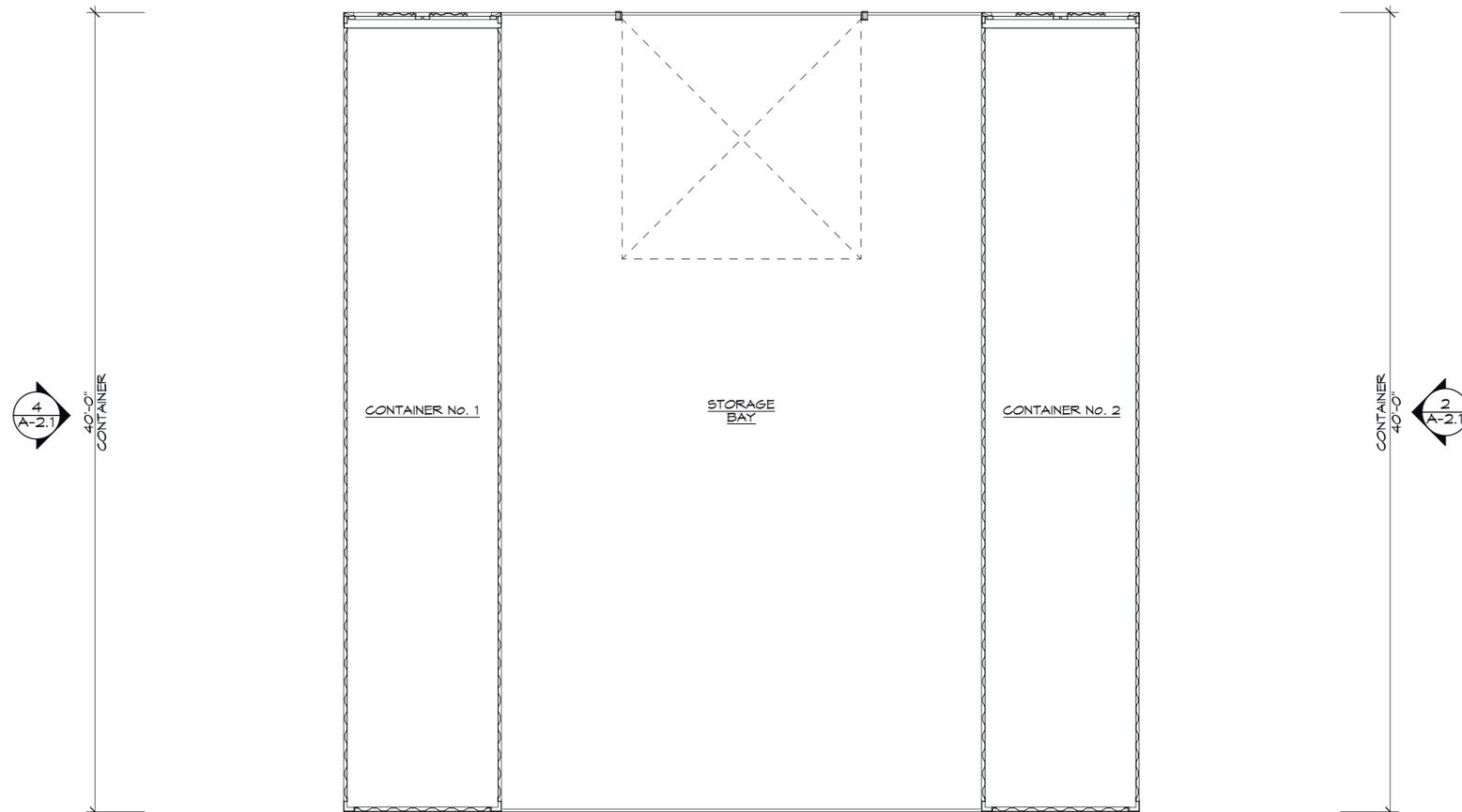
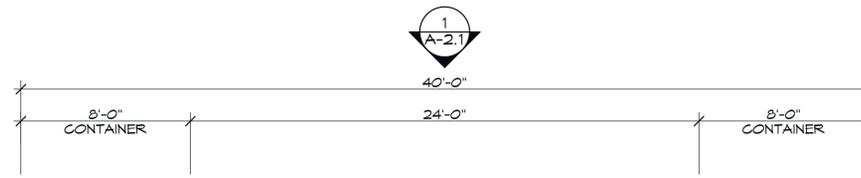
Nantucket Energy  
25 Bunker Road  
Nantucket, MA 02554

**REVISIONS:**


**STAMP:**

**Design  
Development  
5/6/20**

**A-1.1**



**1 PROPOSED FLOOR PLAN - 1600 sq ft**  
Scale: 1/4" = 1'-0"



Title Block



S. M. ROETHKE  
design, inc.

S.M.ROETHKE DESIGN  
nantucket, ma. 02554  
t: 508.825.7588 | f:  
508.825.7589  
www.smroethkedesign.com

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**Proposed Exterior Elevations**

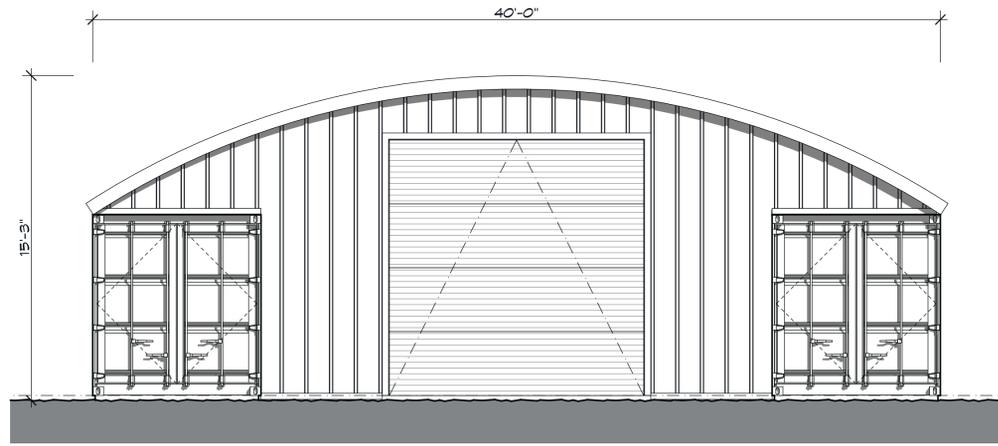
Nantucket Energy  
25 Bunker Road  
Nantucket, MA 02554

**REVISIONS:**


**STAMP:**

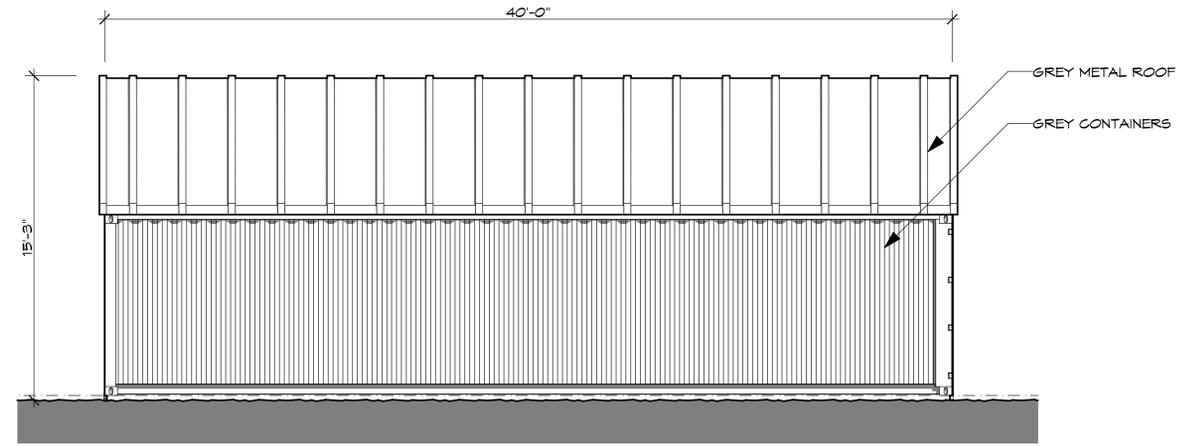
**Design  
Development  
5/6/20**

**A-2.1**



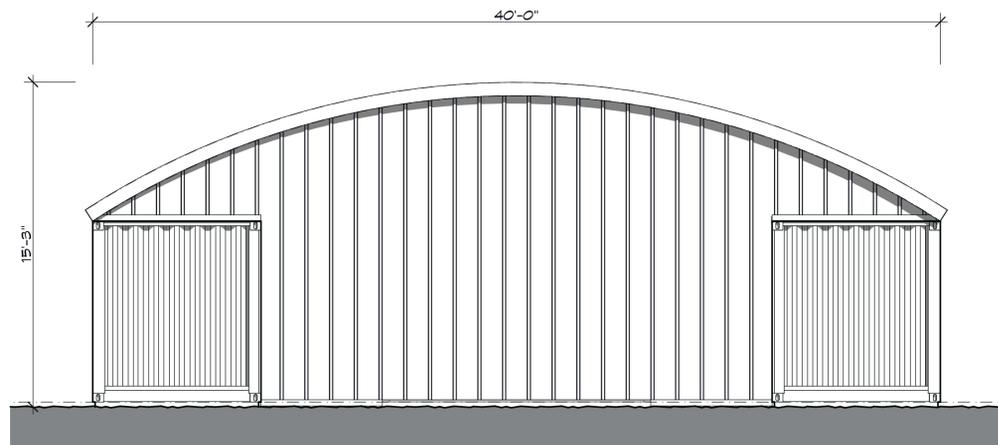
**1 PROPOSED NORTH ELEVATION**

Scale: 1/4" = 1'-0"



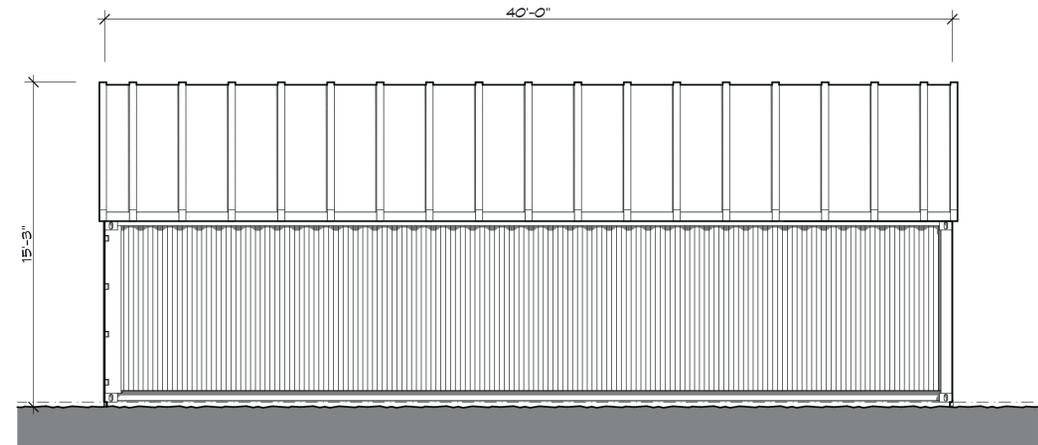
**2 PROPOSED EAST ELEVATION**

Scale: 1/4" = 1'-0"



**3 PROPOSED SOUTH ELEVATION**

Scale: 1/4" = 1'-0"



**4 PROPOSED WEST ELEVATION**

Scale: 1/4" = 1'-0"

Vertical text on the left margin: S.M. ROETHKE DESIGN, INC. 5/6/20



Google Maps



Imagery ©2019 Google, Map data ©2019 Google 50 ft





# HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road  
Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Email: [hdcsubmissions@nantucket-ma.gov](mailto:hdcsubmissions@nantucket-ma.gov)

## COMMISSIONERS

Ray Pohl  
Chairman

Diane Coombs  
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

## ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

## STAFF

Cathy Flynn  
Land Use Specialist  
[cflynn@nantucket-ma.gov](mailto:cflynn@nantucket-ma.gov)

## Waiver of the HDC 10 Day Hearing Requirement

I STEVE ROETHKE

AS AGENT FOR TON MEMORIAL AIRPORT

STREET ADDRESS 25 BUNKER ROAD

MAP/PARCEL 7B / 2.1

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON

MAY 21, 2020

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

**SECTION 8 of the HDC enabling legislation: ... The Commission shall meet within ten (10) days of the receipt of an application for a certificate of appropriateness or permit for removal...**

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

Signature

Date

5/20/20

NANT. ENERGY  
BLDG. S.



**REQUIRED WITH ALL APPLICATIONS:**

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1. **Completed Application Form:** Description of **ALL** work must be indicated on application form.
2. **Property Owner's Signature:** Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
3. **Application Fee:** See back of application for fee schedule or call the office.
4. **Locus Map (4 copies):** Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site)
5. **Site Plan (4 Copies):** must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and **placement of HVAC units, electrical boxes, fuel tanks, etc.** The site plan is available through the Registry of Deeds or the municipal GIS website at <http://www.mapgeo.com/NantucketMA/>.
6. **8-1/2" x 11" Copies of ALL Application Materials:** Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material **MUST BE LEGIBLE (font size no smaller than 12)**, collated and stapled.
7. **Photographs:** Required of **ALL** applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
8. **Electronic submission:** All documents submitted to the HDC office must also be converted to Adobe Acrobat format <http://www.adobe.com/pdf/>; this is free software that may have come pre-loaded on your computer. Electronic copies can also be created using the scanner located in the Department of Inspectional Services.

**REQUIRED WHERE APPLICABLE:**

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1. **Supplemental Information for Historic Buildings:** It is the applicant's responsibility to research the historical status of any and **ALL** buildings. Additional information may be obtained from the Nantucket Historical Association Library. **If not historic, denote on application.**
2. **Exterior Elevations and Floor Plans (4 copies):** Must be 1/4-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. **All changes from approved or existing design must be clouded on drawings.** All material **MUST BE LEGIBLE**, collated and stapled. Reduced sets should maintain a font size of 12.
3. **As-Built Plans (1 copy):** of existing elevations
4. **Hardscaping Plans (4 copies):** **To legible scale.** This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material **MUST BE LEGIBLE**, collated and stapled.
5. **Topographic Map:** Must show existing and proposed grade for any change of more than **one** foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).
6. **Door and Window Schedule (4 copies):** Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
7. **I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.**
8. **Abutter Notification Materials** – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more **except** in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet.
9. **Approvals** from Planning Board, Zoning Board of Appeals, Conservation Commission etc.

N/A  
N/A  
(initial to indicate read and understand)

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 7B PARCEL N<sup>o</sup>: 2.1

Street & Number of Proposed Work: 25 BUNKER RD. LEASET

Owner of record: TOWN OF NANTUCKET MEMORIAL AIRPORT

Mailing Address: 14 AIRPORT RD.

NANTUCKET, MA 02554

Contact Phone #: 508-325-7531 E-mail: nkerberg@nantucketairport.com

**AGENT INFORMATION (if applicable)**

Name: S.M. ROETHKE DESIGN

Mailing Address: 19 OLD SOUTH RD.

NANTUCKET, MA 02554

Contact Phone #: 508-825-7578 E-mail: smroethke@smroethke.com

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Must be acted on by: \_\_\_\_\_

Extended to: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed

Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_

Pool (Zoning District \_\_\_\_\_)  Roof  Other STORAGE STRUCTURE (SOUTH)

Size of Structure or Addition: Length: 40' Sq. Footage 1st floor: 1600 SF Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor

Width: 40' Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor

Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 4'-8" South 4'-8" East 4'-8" West 4'-8"

Height of ridge above final finish grade: North 15' South 15' East 8' West 8'

**Additional Remarks**

Historic Name: \_\_\_\_\_

Original Date: N/A.

Original Builder: \_\_\_\_\_

Is there an HDC survey form for this building attached?  Yes  N/A

**REVISIONS\***

1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation

MANUFACTURED ROOF ON (2) STEEL STORAGE CONTAINERS.

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

**Foundation:** Height Exposed N/A.  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

**Masonry Chimney:**  Block Parged  Brick (type) N/A.  Other \_\_\_\_\_

**Roof Pitch:** Main Mass N/A /12 Secondary Mass \_\_\_\_\_ /12 Dormer \_\_\_\_\_ /12 Other \_\_\_\_\_

**Roofing material:**  Asphalt:  3-Tab  Architectural

Wood (Type: Red Cedar, White Cedar, Shakes, etc.) METAL

Fence: Height: \_\_\_\_\_

Type: \_\_\_\_\_

Length: \_\_\_\_\_

**Skylights (flat only):** Manufacturer N/A. Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

**Gutters:**  Wood  Aluminum  Copper  Leaders (material) N/A.

**Leaders (material and size):** N/A.

**Sidewall:**  White cedar shingles N/A.  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Other \_\_\_\_\_

**Trim:** A. Wood  Pine  Redwood  Cedar  Other N/A.

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

**Windows\*:**  Double Hung  Casement  All Wood  Other N/A.

True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type OVERHEAD METAL Material \_\_\_\_\_

**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required. N/A.

**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof GREY

Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors GREY

Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/20/20 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



S. M. ROETHKE  
design, inc.

Mr. John Hedden  
HDC Administrator  
Historic District Commission  
Nantucket, MA

Re: 25 Bunker Road, Lease T

Dear Mr. Hedden,

I hereby authorize Steven M. Roethke of S. M. Roethke Design, Inc. to provide signature and representation as the "Agent" on the HDC application to your office for proposed work by Nantucket Energy, LLC (the Lease Holder/Tenant) at the property owned by the Town Nantucket/Nantucket Memorial Airport at the location referenced above.

Thank you,

Noah J. Karberg, C.M., ACE  
Assistant Airport Manager  
Nantucket Memorial Airport  
14 Airport Rd.  
Nantucket, MA 02554  
O: 508-325-7531  
F: 508-325-5306

architecture | planning | development

19 old south road.nantucket.massachusetts.02554 | t:508.825.7588 | f:508.825.7589

[www.smroethkedesign.com](http://www.smroethkedesign.com)

Town of Nantucket  
NANTUCKET MEMORIAL AIRPORT  
14 Airport Road  
Nantucket Island, Massachusetts 02554



Phone: (508) 325-5300

Fax: (508) 325-5306

Tenant Construction/Alteration Application

Bunk-020  
Application Number

3/20/2019  
Date

**APPLICANT HEREBY AGREES TO THE FOLLOWING TERMS AND CONDITIONS:**

The Applicant shall not commence any of the work covered hereunder before receipt from ACK of a copy of this application duly signed in Part Two hereof. Upon receipt thereof the Applicant agrees to perform said work in accordance with the following "Information to be furnished by the Applicant" and to comply with and be bound by all requirements and conditions set forth below under remarks, if any, in Part Two hereof. In connection with the performance of work covered hereunder, the Applicant and its contractors shall be bound by terms and conditions of Agreement No. \_\_\_\_\_ dated 12/9/2013 between Applicant and Nantucket Memorial Airport Commission as therein pertains to comprehensive liability insurance and compliance with Airport rules and regulations, governmental requirements, rules and regulations of fire insurance organizations, non-discrimination and any written procedures or instructions of the Airport Manager. The Applicant's contractor shall procure and maintain appropriate Workmen's Compensation Insurance. The Applicant shall indemnify and hold harmless Nantucket Memorial Airport, their Commissioners, officers, agents and employees in accordance with said Agreement. All work shall be subject to the approval of the Airport Manager prior to occupancy or use and Applicant shall redo or replace at its own expense any work not approved by him. Title to all improvements hereunder shall vest in the Nantucket Memorial Airport unless otherwise noted in a lease agreement. Minimum insurance limits unless specified to be greater: Bodily injury \$100,000 each person, \$300,000 each occurrence; Property Damage \$100,000 each accident, \$100,000 aggregate.

NOTE: All Terminal Projects must comply with the attached Finish Standards developed by Earth Tech/AECOM. No alterations to the airport perimeter fence are permitted without written approval. Construction of any permanent structure on or near the airport will require completion of the FAA Form- 7460 process.

**PART ONE:**

INFORMATION TO BE FURNISHED BY APPLICANT

Applicant Information

Name: NANTUCKET ENERGY, LLC. C/O PHILIP MARKS III

Address: 8B AMELTA DRIVE

NANTUCKET, MA 02554

Phone: 508-228-6240 (C) Email: phil@nantucketenergy.com  
508-221-1010 (C)

Permission is hereby requested to perform the following described work on the space described in the plans and specifications.

The Work is to be Performed by:

Applicant: X Other: \_\_\_\_\_ If Other, Insert Name: \_\_\_\_\_

Location (Building # or Area) of Space to be Altered: 25 BUNKER ROAD, LEASE T

Description of Work and Reason: CONSTRUCT NEW STEEL FRAME MANUFACTURED STORAGE & MAINTENANCE FACILITY WITH OFFICES FOR OPERATIONS OF PROPANE COMPANY, NANTUCKET ENERGY, LLC.

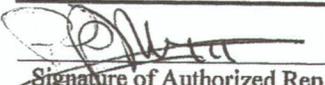
Estimated Cost of Work: \$ 600,000 Estimated Time to Complete (Days): 210 (7 MOS)  
 Start Date: 7/1/2019 Completion Date: 2/1/2020

Plans: Prints of each drawing must be submitted with copies of application. Include floor plan and all utilities. Show area affected by proposed work (size 11" X 17" or larger).

<u>NANTUCKET ENERGY, LLC</u> <u>OFFICE &amp; STORAGE BUILDING</u>	<u>N/A</u>	<u>2/12/2019</u>
Title of Drawing	Drawing Number	Dated
<u>NANTUCKET ENERGY, LLC</u> <u>C/O PHILIP MARKS, III</u>	<u>STEPHEN GOAN, PE, SE</u> <u>SJG ENGINEERING, LLC.</u>	<u>603-232-6142</u>
<u>8B AMELIA DRIVE</u>	<u>6 GOLDEN GATE DRIVE</u>	Telephone Number
<u>NANTUCKET, MA 02554</u>	<u>HOOKSET, NH 03106</u>	<u>SE #46226</u>
Name & Address of Contracted (If not known, submit later)	Name & Address of Engineer/Architect	License Number

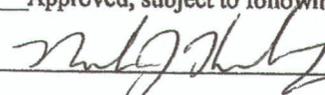
Send Correspondence to (Name & Address of Employee In Charge of Work): PHILIP MARKS III  
8B AMELIA DRIVE  
NANTUCKET, MA 02554  
 Telephone Number: 508-221-1010  
 Name & Address: SEE ABOVE

**ENGINEER OR ARCHITECT CERTIFICATION**  
 I have supervised the preparation of plans and specifications for the entire work represented herein and hereby certify that they conform to the requirements of the respective enactments, ordinances, resolutions and regulations of the Town or County in regard to construction and Applicants maintenance of buildings and structures and in regard to health and fire protection.

	<u>Leasee</u>	<u>2/12/19</u>	<u>*SEE LETTER FROM STEPHEN GOAN, PE.</u>
Signature of Authorized Rep	Title	Date	Signature of Licensed Prof. Engineer/Architect

ATTACHED

**PART TWO:**

Prepared by ACK and returned to Applicant.  
 The above Application is: \_\_\_\_\_ Disapproved  Approved, subject to following: per email  


Continued on Rider "A" attachment

Please advise Airport Manager in writing when this work has been completed and is ready for inspection.

Inspected by _____	Title _____	Date _____
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**LOCUS MAP**



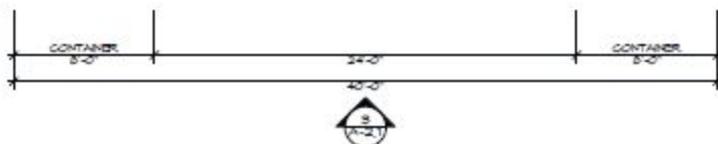
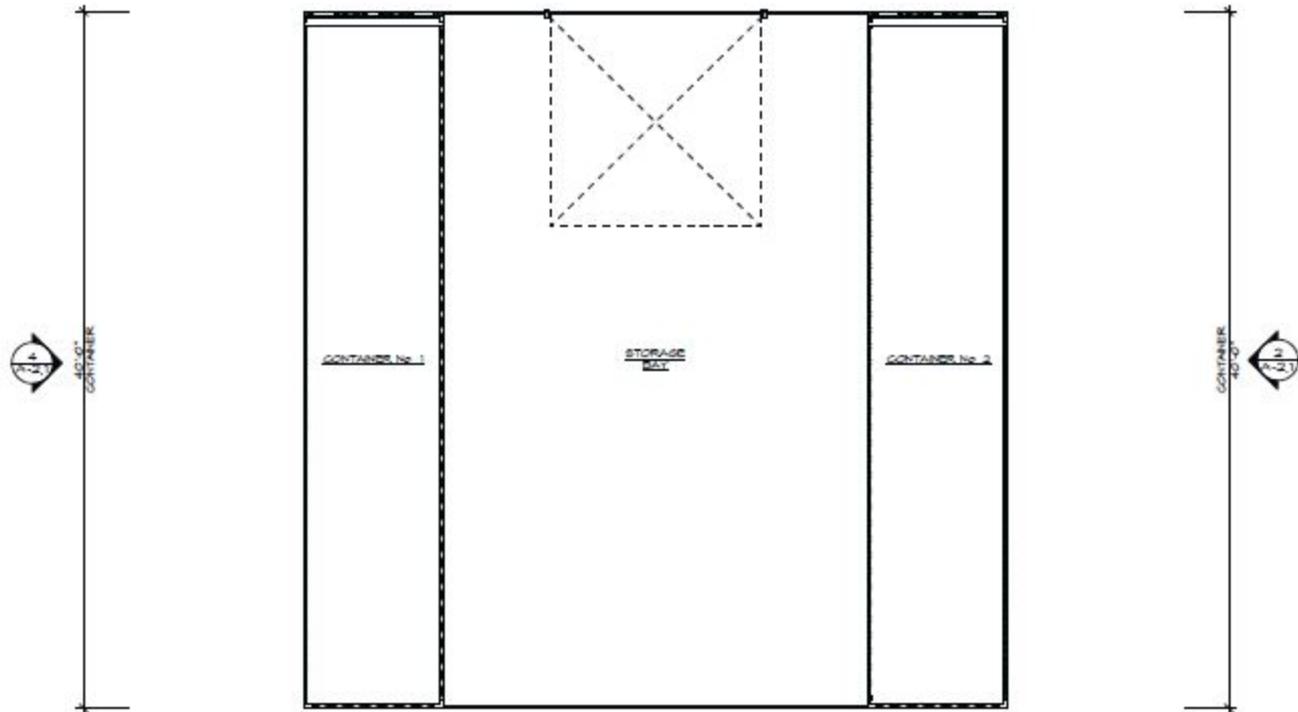
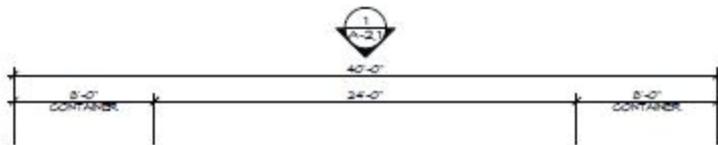


 **PERSPECTIVE VIEW**

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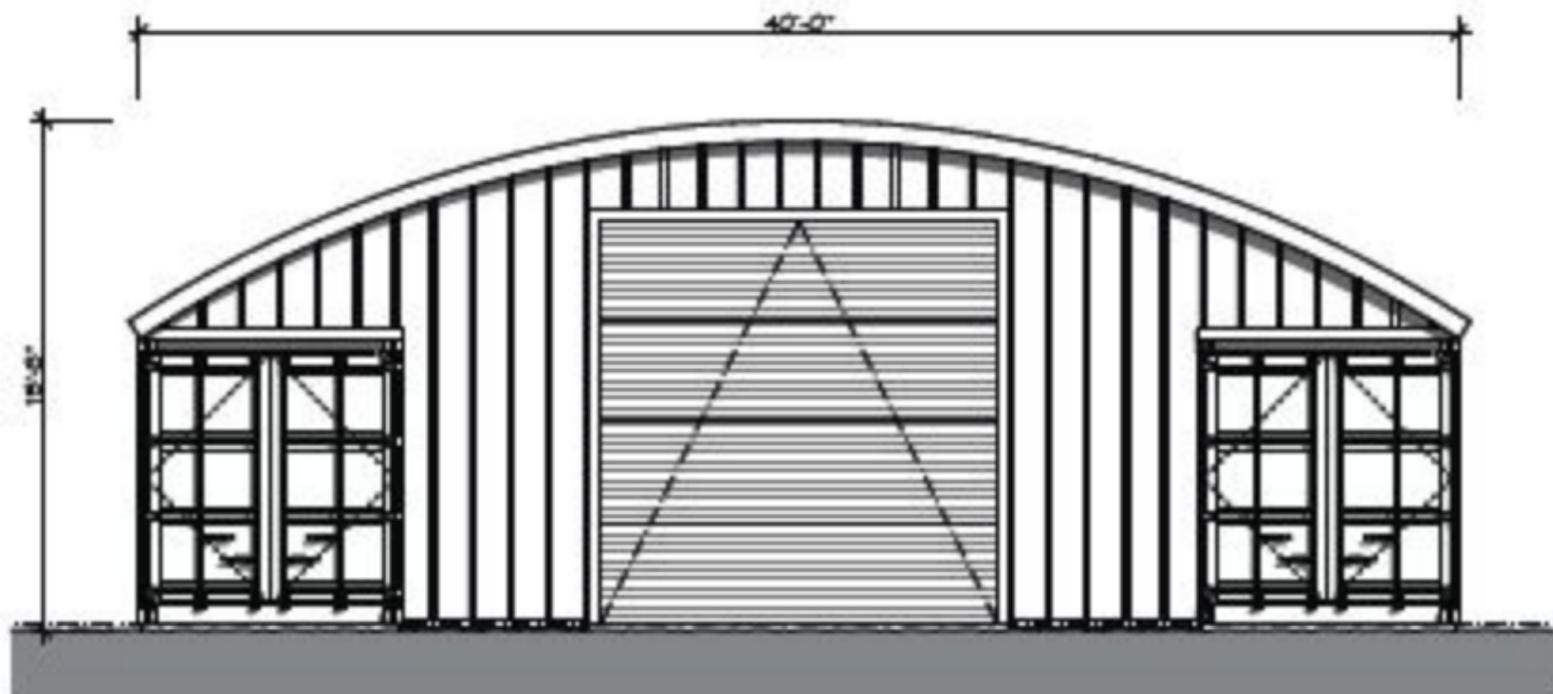


**PHOTO EXAMPLE FROM MANUFACTURER**



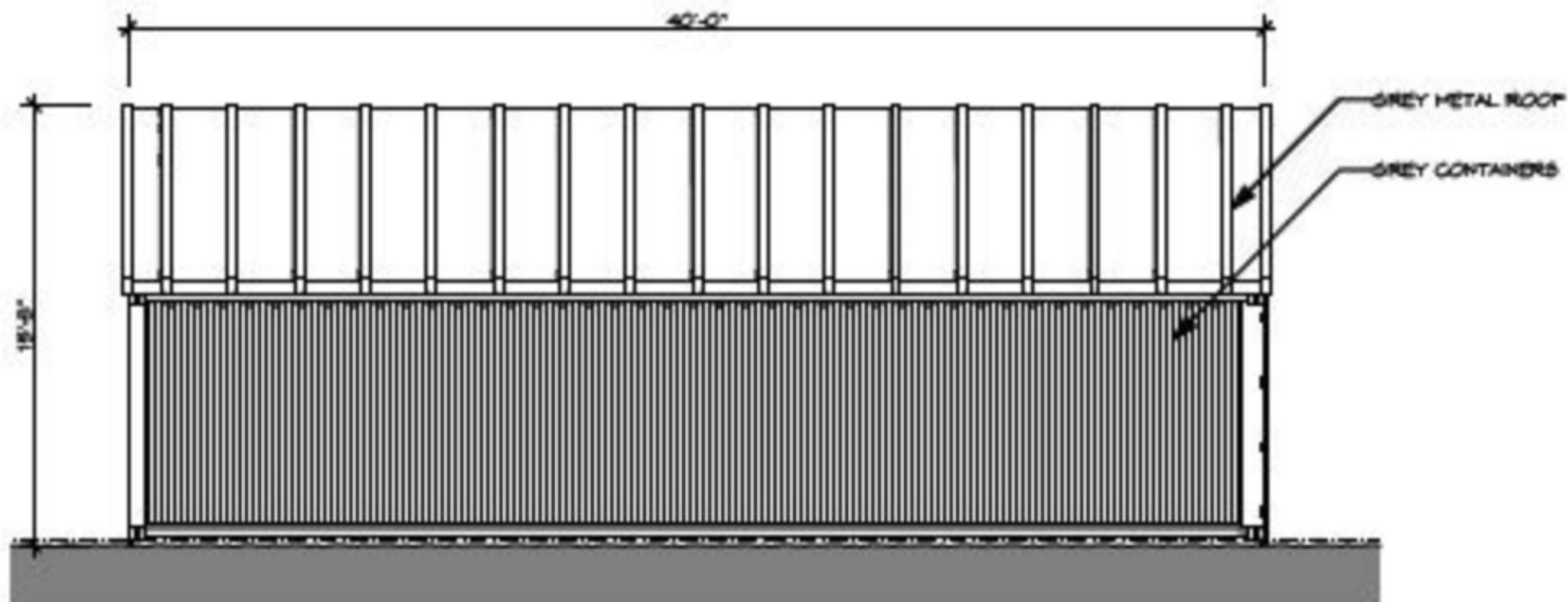
**PROPOSED FLOOR PLAN - 1600 sq ft**

Scale: 1/8" = 1'-0"



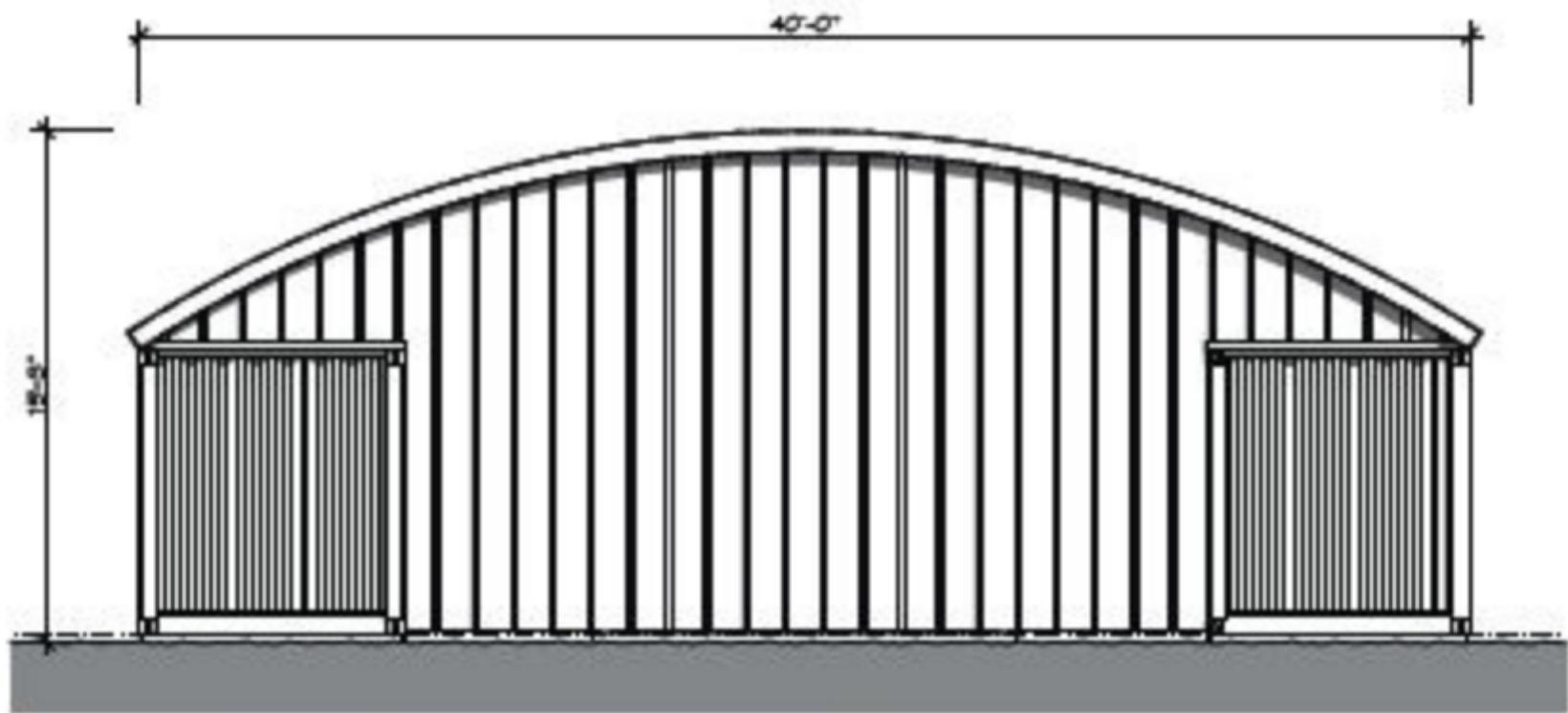
**PROPOSED NORTH ELEVATION**

Scale: 1/4" = 1'-0"



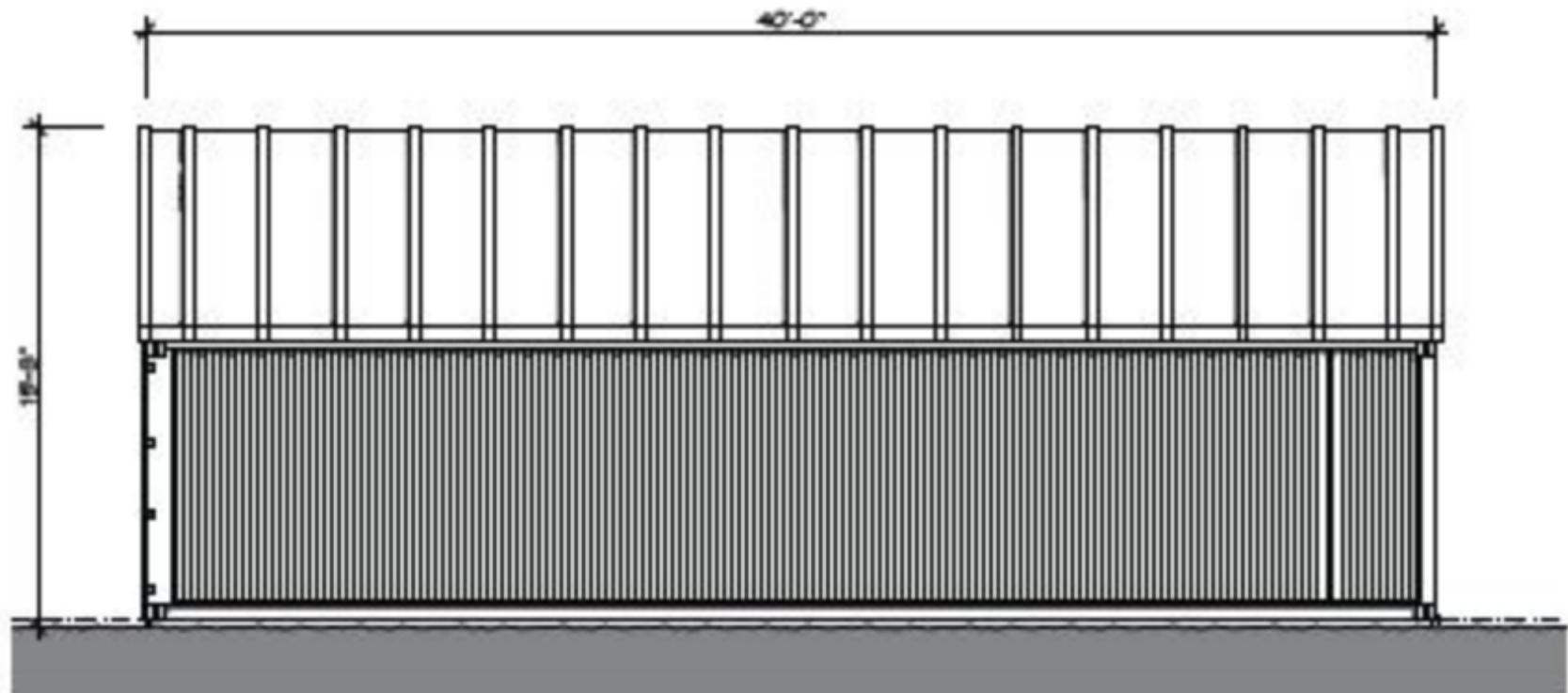
**PROPOSED EAST ELEVATION**

Scale 1/8" = 1'-0"



**PROPOSED SOUTH ELEVATION**

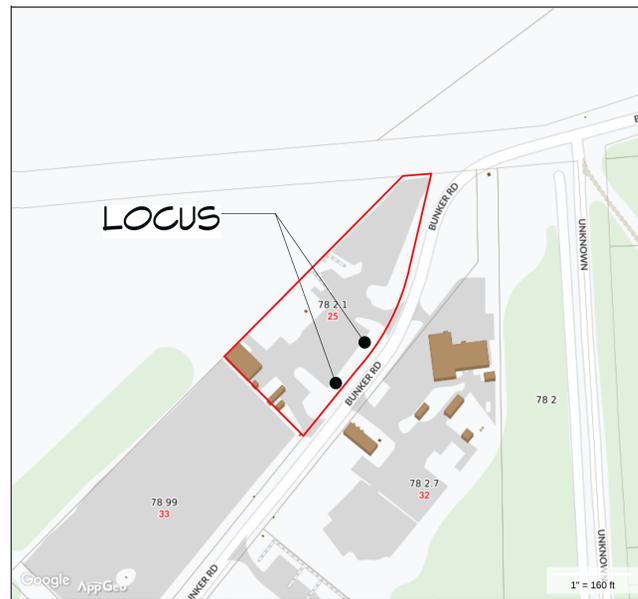
Scale: 1/4" = 1'-0"



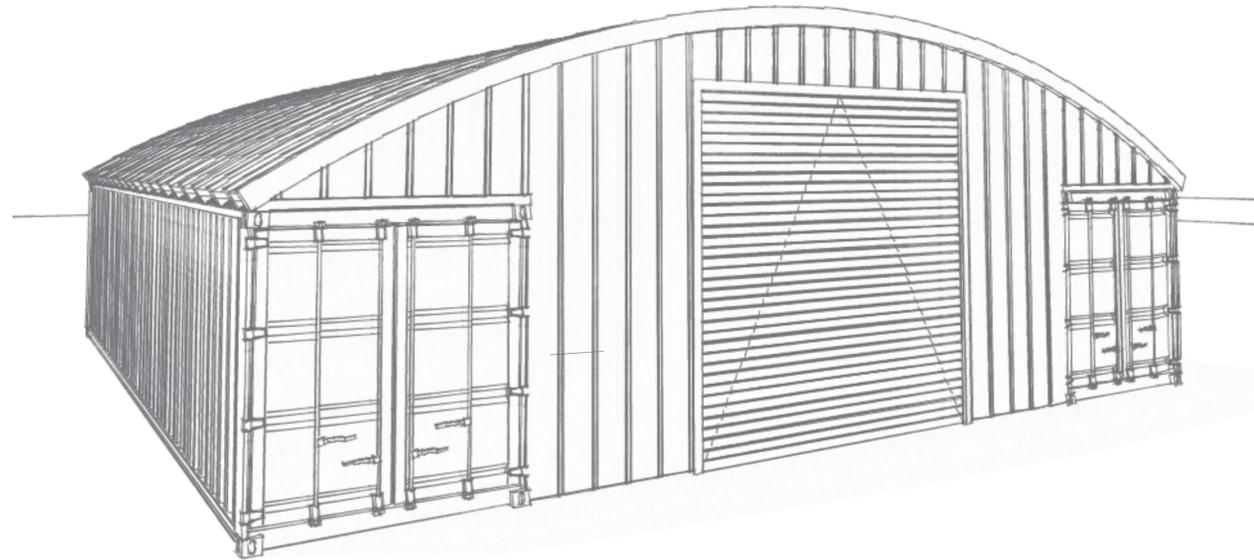
**PROPOSED WEST ELEVATION**

Scale 1/8" = 1'-0"

Design Development  
**Nantucket Energy**  
 25 Bunker Road, Nantucket, Ma.



**L** LOCUS MAP



**1** PERSPECTIVE VIEW



**2** PHOTO EXAMPLE FROM MANUFACTURER



S. M. ROETHKE  
 design, inc.

S.M.ROETHKE DESIGN  
 nantucket, ma. 02554  
 t: 508.825.7588 | f:  
 508.825.7589  
 www.smroethkedesign.com

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**Cover Sheet**

**Nantucket Energy**  
 25 Bunker Road  
 Nantucket, MA 02554

REVISIONS:


STAMP:

**Design  
 Development  
 5/6/20**

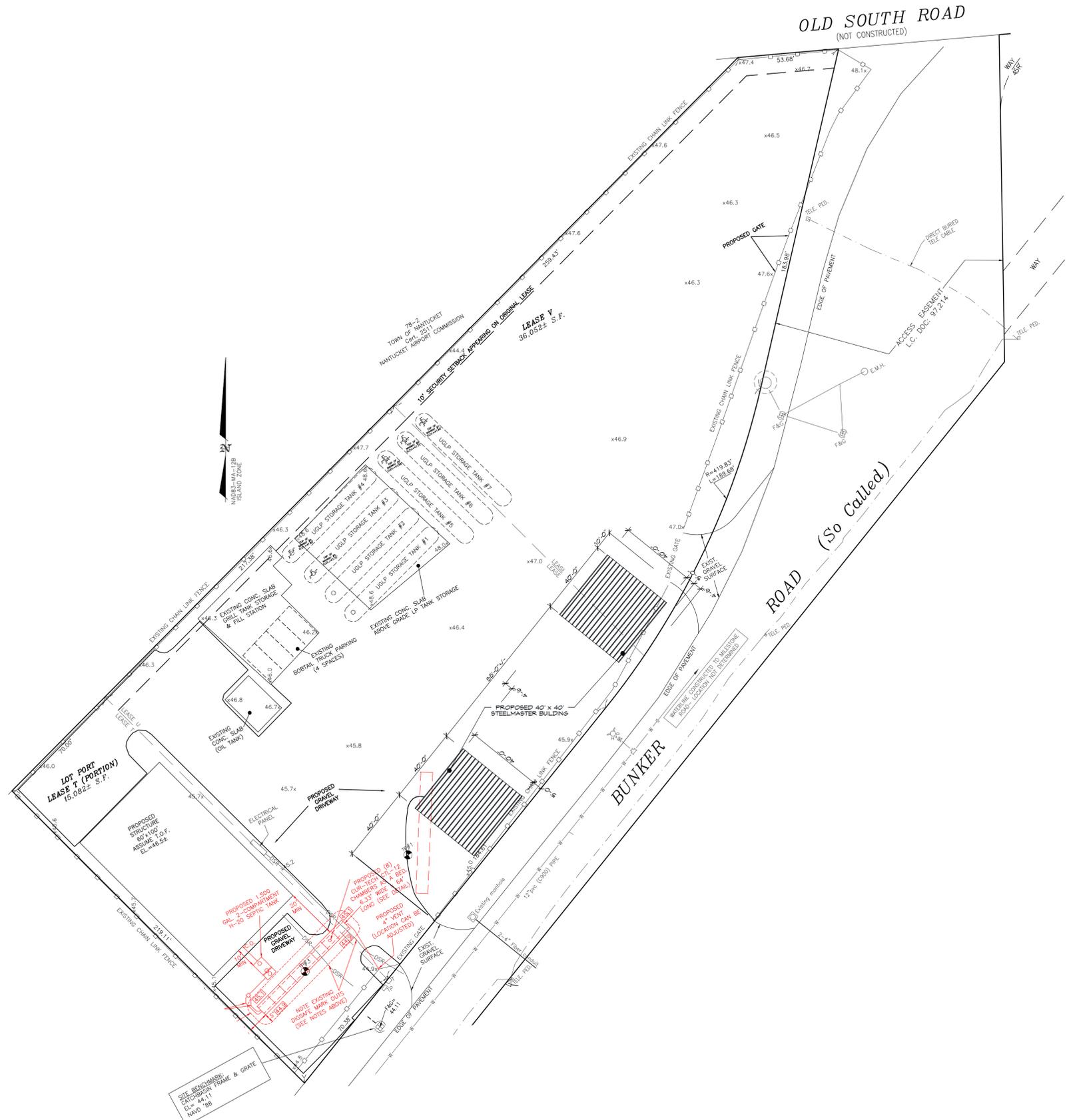
**A-0.1**



S. M. ROETHKE  
design, inc.

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**S SITE PLAN**  
Scale: 1" = 30'

**Site Plan**

Nantucket Energy  
25 Bunker Road  
Nantucket, MA 02554

**REVISIONS:**

NO.	DESCRIPTION

**STAMP:**

**Design  
Development  
5/6/20**

**A-0.2**



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design, inc.

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**First Floor Plan**

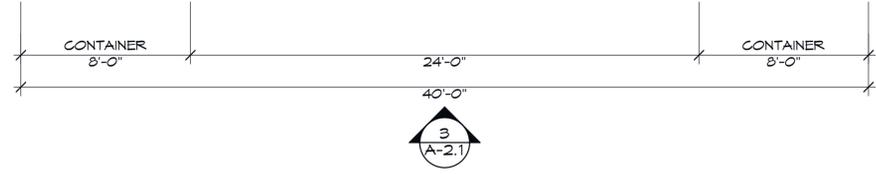
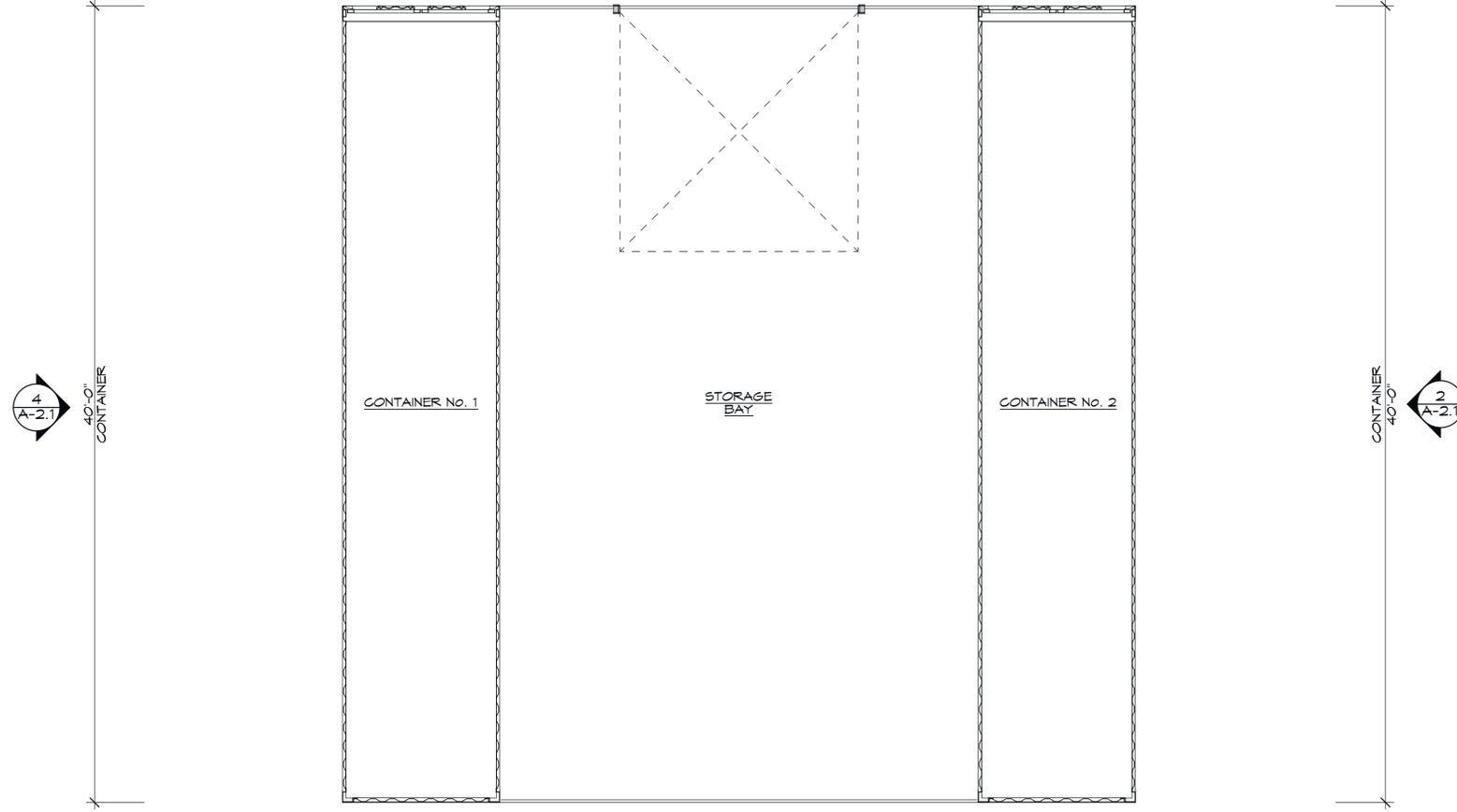
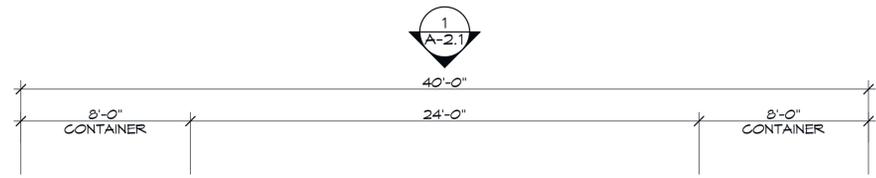
Nantucket Energy  
25 Bunker Road  
Nantucket, MA 02554

**REVISIONS:**


**STAMP:**

**Design  
Development  
5/6/20**

**A-1.1**

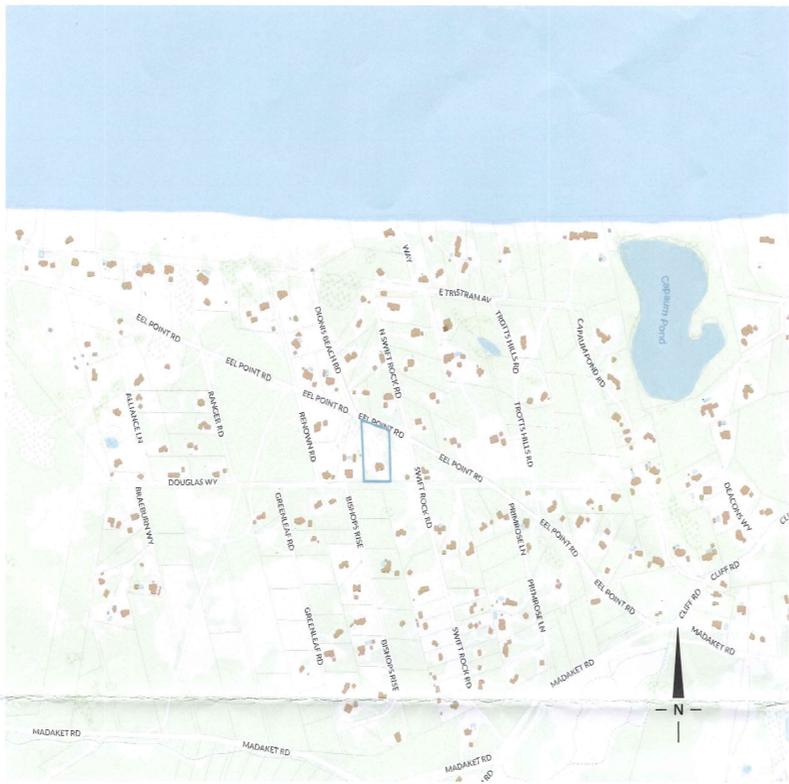


**1 PROPOSED FLOOR PLAN - 1600 sq ft**  
Scale: 1/4" = 1'-0"



DATE: 05/06/2020 10:58:11 AM BY: S.M. ROETHKE





GIS MAP #40/44



AERIAL MAP #40/44



PROPOSED POOL/  
HARDSCAPE  
SEE L.HDC - 1



VERMONT GREEN GRANITE WALL



REGULAR BLUESTONE PATIO



BOARDWALK AT GRADE

**AHERN LLC**  
LANDSCAPE DESIGN STUDIO  
PO Box 2213, Nantucket MA 02584  
T (508) 333-5138 F (508) 325-4616  
design@ahernllc.com

**PROJECT**

28 EEL POINT ROAD  
NANTUCKET MA 02554

**OWNER**

MICHELE AND DARREN BLACK

**ARCHITECT**

EMERITUS Development Ltd.  
8 Williams Lane, Nantucket MA 02554  
T (508) 325-4995 F (508) 325-8960

**SURVEYOR**

DAN MULLOY  
dmulloy@aherndesign.com  
T (508) 503-5500

**BUILDER**

MILL POND BUILDERS COMPANY  
PO BOX 814, Nantucket MA 02554  
T (508) 356-5479

**LANDSCAPE PLAN  
REV. TO CERTIFICATE  
#71606**

**DRAWING INFO**

DATE MARCH 4, 2019  
SCALE 1" = 30' - 0"

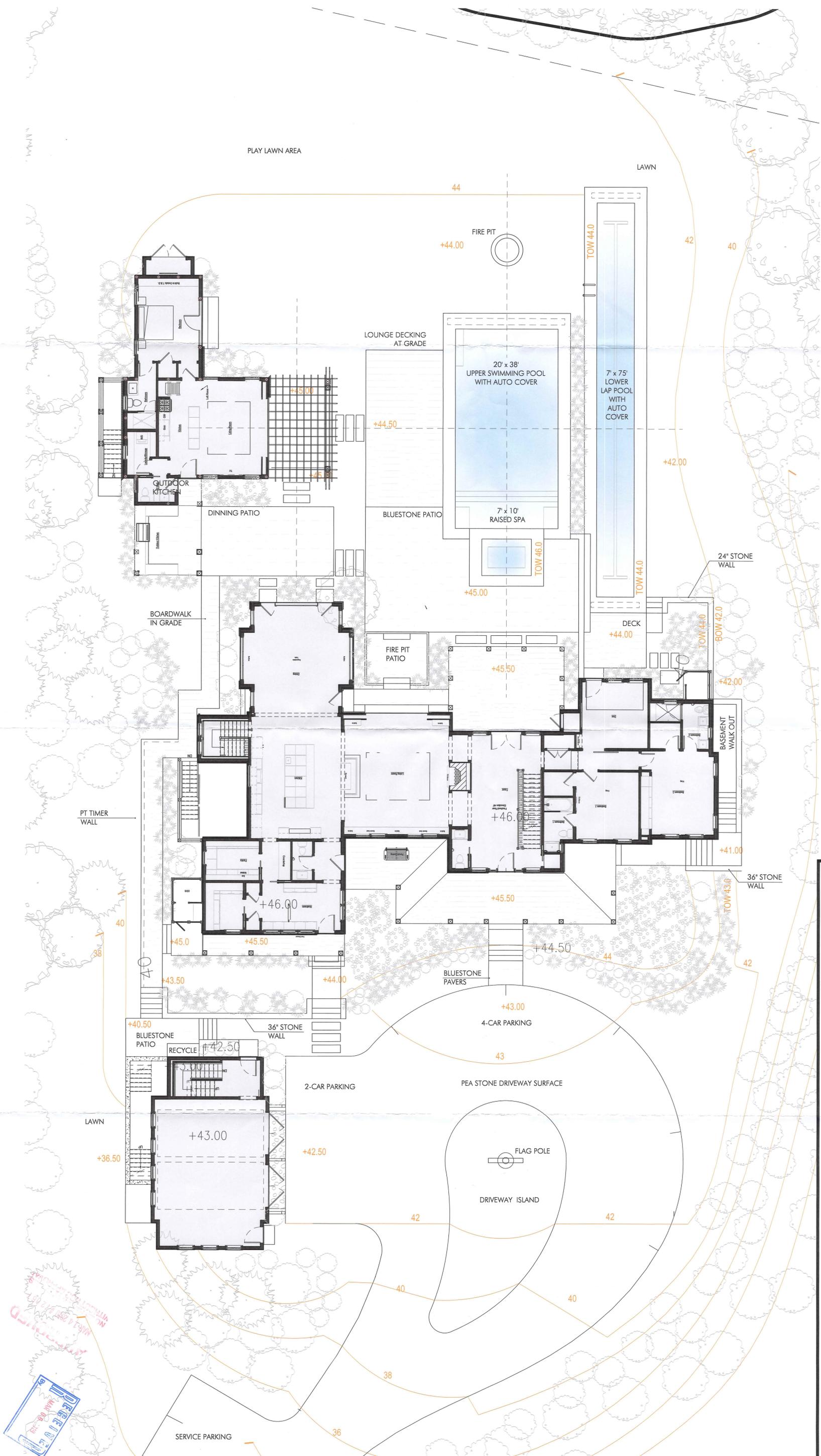
**L.HDC - 0**



SITE PLAN

Scale: 1" = 30'-0"

APPROVED  
MAR 14 2019 8:22 AM  
NO OTHERS TO BE ADDED  
WITHOUT THE SIGNATURE OF THE SURVEYOR



**AHERN LLC**  
 LANDSCAPE DESIGN STUDIO  
 PO Box 2213, Nantucket MA 02584  
 T (508) 333-5138 F (508) 325-4616  
 design@ahernllc.com

**PROJECT**

28 EEL POINT ROAD  
 NANTUCKET MA 02554

**OWNER**

MICHELLE AND DARREN BLACK

**ARCHITECT**

EMERITUS Development Ltd.  
 8 Williams Lane, Nantucket MA 02554  
 T (508) 325-4995 F (508) 325-8960

**SURVEYOR**

DAN MULLOY  
 dmulloy@aherndesign.com  
 T (508) 353-3550

**BUILDER**

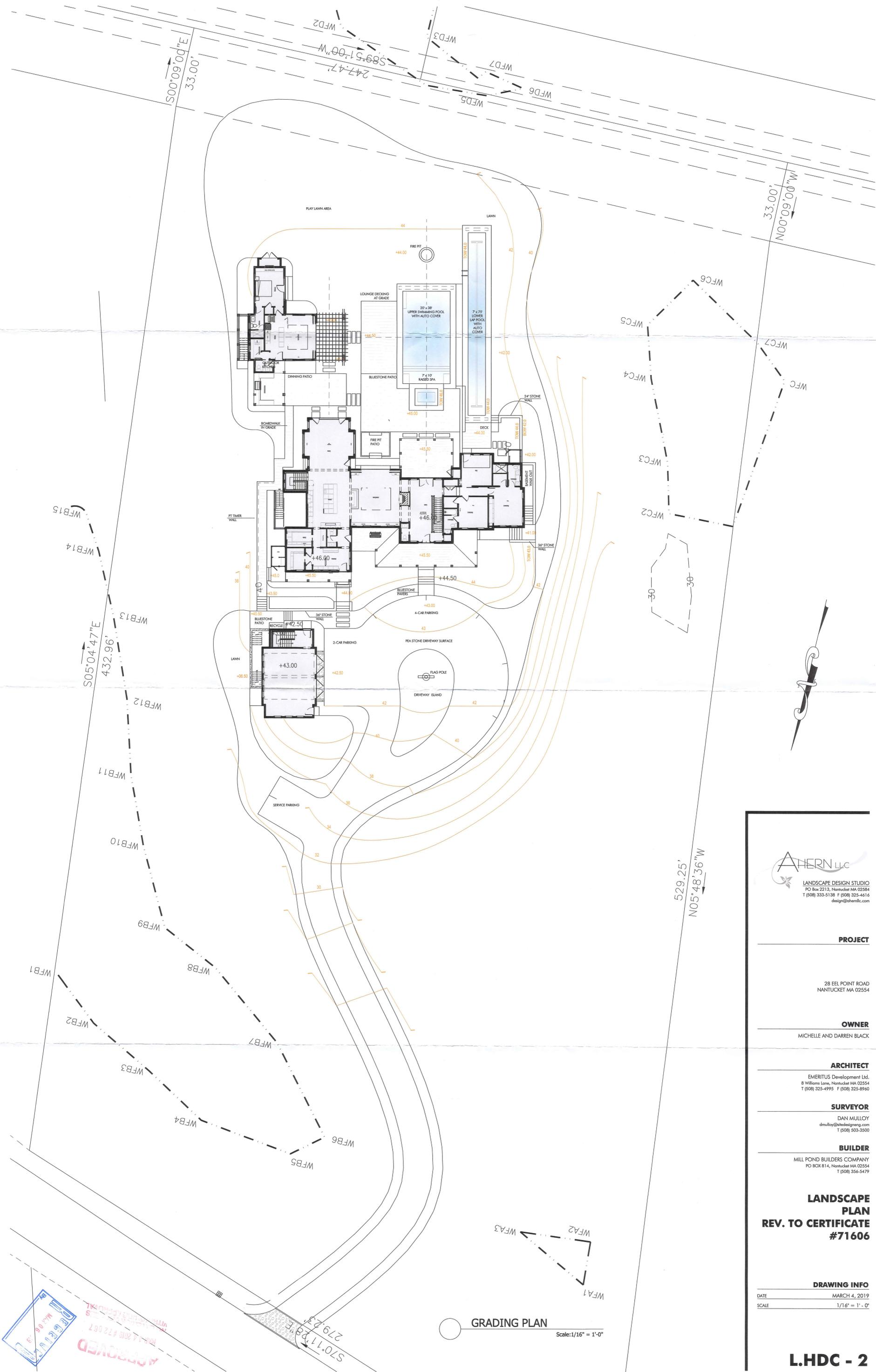
MILL POND BUILDERS COMPANY  
 PO BOX 814, Nantucket MA 02554  
 T (508) 356-5479

**LANDSCAPE PLAN  
 REV. TO CERTIFICATE  
 #71606**

**DRAWING INFO**

DATE MARCH 4, 2019  
 SCALE 1/8" = 1' - 0"





**APPROVED**  
 APR 14 2019 4:22:06 PM  
 MILL POND BUILDERS COMPANY  
 8 WILLIAMS LANE, NANTUCKET MA 02554  
 T (508) 325-4995 F (508) 325-8960  
 279.23' 279.23' 279.23'  
 370.11' 370.11' 370.11'  
 370.11' 370.11' 370.11'

**GRADING PLAN**  
 Scale: 1/16" = 1' - 0"



**LANDSCAPE DESIGN STUDIO**  
 PO Box 2213, Nantucket MA 02584  
 T (508) 333-5138 F (508) 325-4616  
 design@ahernllc.com

---

**PROJECT**

28 EEL POINT ROAD  
NANTUCKET MA 02554

---

**OWNER**

MICHELLE AND DARREN BLACK

---

**ARCHITECT**

EMERITUS Development Ltd.  
8 Williams Lane, Nantucket MA 02554  
T (508) 325-4995 F (508) 325-8960

---

**SURVEYOR**

DAN MULLOY  
dmulloy@aherndesigning.com  
T (508) 503-3500

---

**BUILDER**

MILL POND BUILDERS COMPANY  
PO BOX 814, Nantucket MA 02554  
T (508) 356-5479

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**LANDSCAPE PLAN**  
**REV. TO CERTIFICATE**  
**#71606**

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**DRAWING INFO**

DATE: MARCH 4, 2019  
SCALE: 1/16" = 1' - 0"

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 40 PARCEL N°: 44  
Street & Number of Proposed Work: 28 EEL POINT RD  
Owner of record: MICHAEL BLACK  
Mailing Address: 28 EEL POINT RD  
NANTUCKET, MA  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: AHERN LLC  
Mailing Address: 60 WINDY WAY  
NANTUCKET, MA  
Contact Phone #: 508-333-5338 E-mail: DESIGN@AHERNLLC.COM

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
  - Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
  - Pool (Zoning District \_\_\_\_\_)  Roof  Other MULTI GAME SPORTS COURT (GREEN)
- Size of Structure or Addition: Length: 28' Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 50' Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_

Original Date: \_\_\_\_\_

Original Builder: \_\_\_\_\_

Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: 8'  
Type: WIRE MESH  
Length: 148 LF

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls PT TIMBER

\* Note: Complete door and window schedules are required. PIERS IN GRADE: GOSTERD STONE SPORTS COURT: GREEN

**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 05-07-20 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_



# HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road  
Nantucket, Massachusetts 02554

Telephone: 508.325.7587  
Email: [hdcsubmissions@nantucket-ma.gov](mailto:hdcsubmissions@nantucket-ma.gov)

## COMMISSIONERS

Ray Pohl  
Chairman

Diane Coombs  
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

## ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

## STAFF

Cathy Flynn  
Land Use Specialist  
[cflynn@nantucket-ma.gov](mailto:cflynn@nantucket-ma.gov)

## Waiver of the HDC 10 Day Hearing Requirement

I AHEPN LLC

AS AGENT FOR MICHELE BLACH

STREET ADDRESS 28 EXU POINT

MAP/PARCEL 40/44

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON

MAY 8 2020

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

**SECTION 8 of the HDC enabling legislation: ... The Commission shall meet within ten (10) days of the receipt of an application for a certificate of appropriateness or permit for removal...**

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

Signature

Date

05.09.20



Planning and Land Use Services  
2 Fairgrounds Road, Nantucket, Massachusetts 02554  
Telephone: 508.325.7587, Fax: 508.228.7298  
**CHECKLIST FOR HDC APPLICATIONS**

**REQUIRED WITH ALL APPLICATIONS:**

1. **Completed Application Form:** Description of **ALL** work must be indicated on application form.
2. **Property Owner's Signature:** Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
3. **Application Fee:** See back of application for fee schedule or call the office.
4. **Locus Map (4 copies):** Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) <http://www.mapgeo.com/NantucketMA/>.
5. **Site Plan (4 Copies):** must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and **placement of HVAC units, electrical boxes, fuel tanks, etc.**
6. **8-1/2" x 11" Copies of ALL Application Materials:** Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material **MUST BE LEGIBLE** (font size no smaller than 12), collated and stapled.
7. **Photographs:** Required of **ALL** applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
8. **Electronic submission:** All documents submitted to the HDC office must also be converted to Adobe Acrobat format <http://www.adobe.com/pdf/>; this is free software that may have come pre-loaded on your computer. Electronic copies can also be created using the scanner located in the Department of Inspectional Services.

**REQUIRED WHERE APPLICABLE:**

1. **Supplemental Information for Historic Buildings:** It is the applicant's responsibility to research the historical status of any and **ALL** buildings. Additional information may be obtained from the Nantucket Historical Association Library. If **not historic, denote on application.**
2. **Exterior Elevations and Floor Plans (4 copies):** Must be 1/4-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. **All changes from approved or existing design must be clouded on drawings.** All material **MUST BE LEGIBLE**, collated and stapled. Reduced sets should maintain a font size of 12.
3. **As-Built Plans (1 copy):** of existing elevations
4. **Hardscaping Plans (4 copies):** To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material **MUST BE LEGIBLE**, collated and stapled.
5. **Topographic Map:** Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).
6. **Door and Window Schedule (4 copies):** Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
7. **I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.**
8. **Abutter Notification Materials** – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more **except** in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet.
9. **Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc.**

(initial to indicate read and understand)





~~Hidden~~ **OLD DVS**  
**add. info**

3.	33 Coffin St, LLC	33 Coffin Street	Decks/add balcony	73.4.1-26.1	CWA
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver, Welch				
Alternates	None				
Recused	Camp – Stepped out				
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.				
Representing	Chip Webster, Chip Webster Associates				
Public	None				
Concerns (6:56)	<p><b>Webster</b> – Presented project; no change to the existing footprint.</p> <p><b>Backus</b> – Circa 1994; concerned with the amount of fenestration on the west elevation.</p> <p><b>Welch</b> – Asked if there is a sheet showing what is being removed and what is staying. The proposed site plan has some landscaping, but it is difficult to discern what is existing mass and proposed additive mass. He'd like to see the floor-plan to facilitate imagining this in 3D. He's a little concerned about the south elevation porch depth relative to the chimney and house; same on the north. Concerned about the balance of fenestration regarding visibility. South elevation, asked if the part of the gable above the three 2<sup>nd</sup>-floor windows will be proud of the rest of the gable; would like a perspective shot of this elevation. There needs to be more discussion about the relation of windows to doors; they seem disjointed and proportions are incongruent.</p> <p><b>Oliver</b> – Likes a lot of the changes. She wants to see the cantilevered gable peak. The porches are very deep indicating a shallow-pitched roof. The north 2<sup>nd</sup>-floor additions will make the ridge line over 50 feet; should try to keep the ends as they are now to provide additive massing. All the 2<sup>nd</sup>-floor windows are casement or awnings; should work to get more double-hung windows and make them less horizontal.</p> <p><b>McLaughlin</b> – You can't read anything on the plans; the print should be larger. North elevation, there should be one skylight per roof plain.</p> <p><b>Coombs</b> – North elevation, agrees about the skylights; there are six sets of French doors and thinks that is not in keeping with that street corner; 2<sup>nd</sup>-floor gable has 4 ganged windows, which should be broken up. East elevation corner is very visible. Not sure about the 2-over-2 windows.</p> <p><b>Pohl</b> – Agrees with what's been said. The porches are very deep and face Burnell with a very shallow roof pitch. Right now, the lot is wooded, and they seem to want more developed landscaping.</p>				
Motion	<b>Motion to Hold for revisions. (Coombs)</b>				
Roll-call Vote	Carried 5-0//Oliver-aye; McLaughlin-aye; Welch-aye; Coombs-aye;			Certificate #	
	Pohl-aye				

4.	Michelle Black 05-0953	28 Eel Point Road	Sports Court	40-49	Ahern LLC
Voting	Pohl, Coombs, McLaughlin, Oliver, Welch				
Alternates	None				
Recused	Camp – still out				
Documentation	Landscape design plans, site plan, and photos.				
Representing	Miroslava Ahern, Ahern Design, LLC				
Public	None				
Concerns (7:17)	<p><b>Ahern</b> – Presented project.</p> <p><b>Welch</b> – Asked if the grade change was previously approved or if that is part of this application – grading for the court is part of this application. The biggest imperative related to grading is it should be fully legible on the plans. His understanding, when we viewed this for the structure, was that there would be substantial natural landscape in front of the house to screen it; he's not seeing any of that on this plan. He'd like to see a site plan with more landscaping information.</p> <p><b>Coombs</b> – There are some apparently superfluous lines on the plan – 50-foot wetlands buffer. No concerns as long as the vegetation is as thick as proposed. Asked about the topographical elevations – court 32, house 43 and road 26.</p> <p><b>McLaughlin</b> – Nothing to add.</p> <p><b>Oliver</b> – She struggles with on-the-hill things.</p> <p><b>Pohl</b> – It's cut into the side of the hill, working with grade, and heavily planted. He has no concerns.</p>				
Motion	<b>Motion to Hold for additional information on landscape/hardscape materials in front of the home and approved site plan for the house application. (Welch)</b>				
Roll-call Vote	Carried 5-0//Welch-aye; Coombs-aye; Oliver-aye; McLaughlin-aye;			Certificate #	
	Pohl-aye				



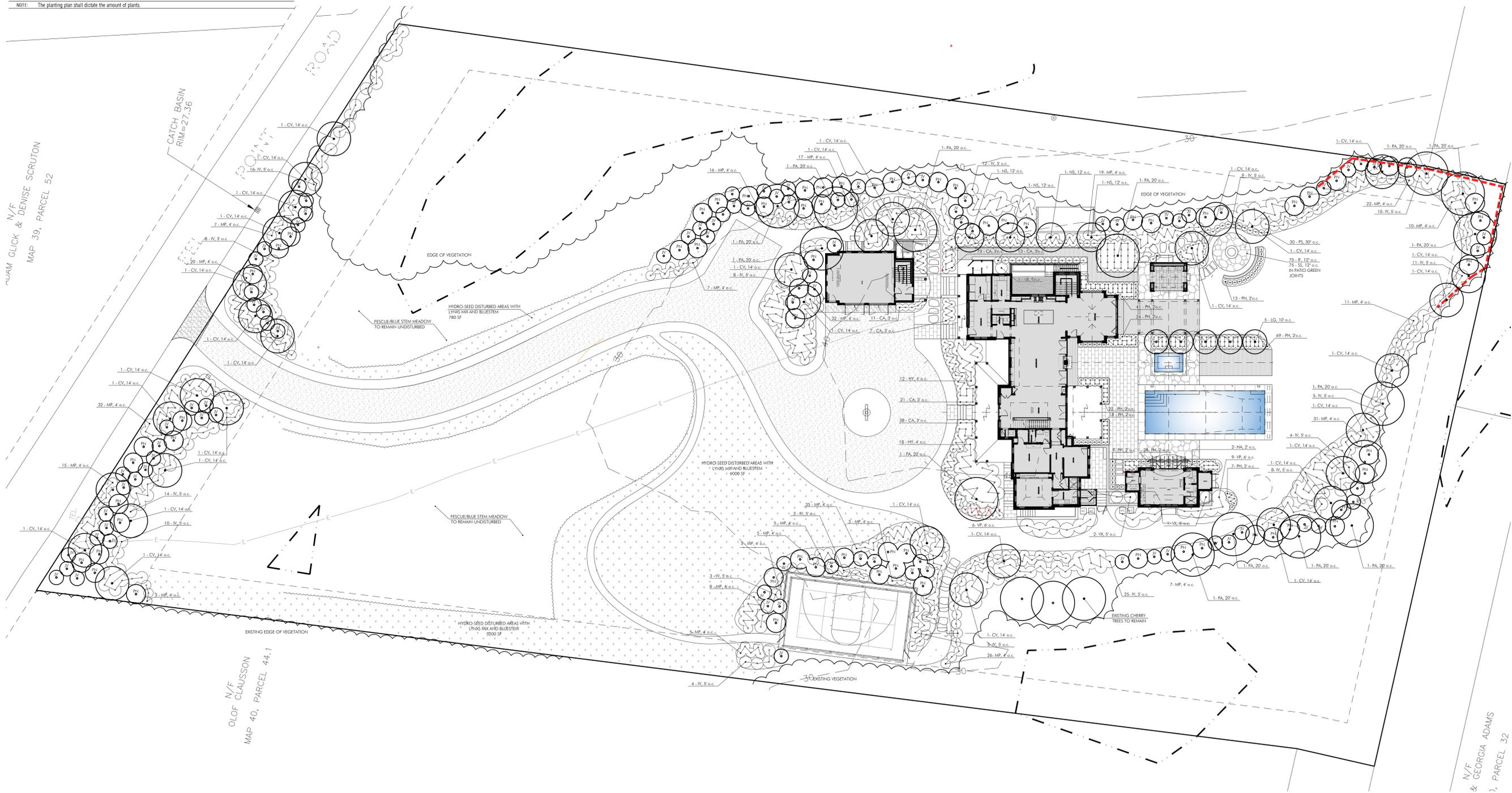
PLANTING SCHEDULE

Symbol	Abbrev.	Botanical Name	Common Name	Size	Spac.
CA	153	Clethra alnifolia 'Hummingbird'	Hummingbird Clethra	5 g	3' o.c.
CV	32	Crataegus virens 'Winter King'	Winter King Hawthorn	3/8.5' b&b	14' o.c.
HA	2	Hydrangea ana. pat.	Climbing Hydrangea	3 g	5'x
HY	30	Hydrangea macro 'Blue Wave'	Blue Wave Lacecap Hydrangea	10 g	4' o.c.
IV	166	Ilex verticillata 'SparkleBerry'	Winterberry	3/4' b&b	5' o.c.
IF	75	Isotria medeolae	Blue Star Creeper	4' pot	12' o.c.
JV	89	Juniperus virginiana	Eastern Red Cedar	6/7' b&b	7' o.c.
JG	5	Lagerstronia 'Natchez'	Natchez Crape Myrtle	6/7' b&b	10' o.c.
MP	355	Myrica pensylvanica	Bayberry	7 g	4' o.c.
NS	4	Nyssa sylvatica	Tupelo	3/3.5' b&b	30' o.c.
PS	30	Panicum vir. 'Shenandoah'	Switchgrass	1 g	30' o.c.
PH	221	Pennisetum alo. 'Hamelr'	Hamelr Grass	1 g	2' o.c.
PN	65	Pinus thunbergii	Black Pine	7/8' b&b	8' o.c.
PA	14	Platanus x acerifolia 'Bloodgood'	London Plane Tree	3/3.5' b&b	20' o.c.
SS	75	Sagina subulata	Irish Moss	4' pot	12' o.c.
VP	15	Viburnum plicatum tom. 'Walanabai'	Summer Snowflake Viburnum	3/4' b&b	6' o.c.
VX	4	Viburnum cuneatum	Viburnum	10 g	5' o.c.

NOTE: The planting plan shall dictate the amount of plants.



LONDON PLANE TREE WINTER KING HAWTHORN PINE EASTERN RED CEDAR TUPELO CRAPE MYRTLE WINTER BERRY BAYBERRY SWITCH GRASS HAMELN GRASS  
VIBURNUM CLETHRA LACE CAP HYDRANGEA CLIMBING HYDRANGEA VITEX IRISH MOSS BLUE STAR CREEPER





REQUIRED WITH ALL APPLICATIONS:

✓  
\_\_\_\_\_

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✓  
\_\_\_\_\_

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✓  
\_\_\_\_\_

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✓  
\_\_\_\_\_

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\_\_\_\_\_

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✓  
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\_\_\_\_\_

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✓  
\_\_\_\_\_

✓  
\_\_\_\_\_

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\_\_\_\_\_

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\_\_\_\_\_

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\_\_\_\_\_

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(initial to indicate read and understand)  
\_\_\_\_\_  
\_\_\_\_\_

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**CERTIFICATE OF APPROPRIATENESS**

for structural work.

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This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 720 PARCEL N°: 172  
Street & Number of Proposed Work: 216 Oceanview Rd  
Owner of record: Regent Nantucket Trust  
Mailing Address: 995 Hgt Meadow St  
Southport CT 06486  
Contact Phone #: 8602285513 E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: HANLEY CONSTRUCTION  
Mailing Address: P.O. Box 2204  
Nantucket MA 02584  
Contact Phone #: 8602285513 E-mail: hhanley@hanleydevelopment.com

FOR OFFICE USE ONLY  
Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: 2916 Decks/Patio: Size: 108  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. footage 2nd floor: 1083 Size: 120  1st floor  2nd floor  
Sq. footage 3rd floor: 380 playground 114 1st floor

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: 2003  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
- 1. East Elevation
  - 2. South Elevation
  - 3. West Elevation
  - 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

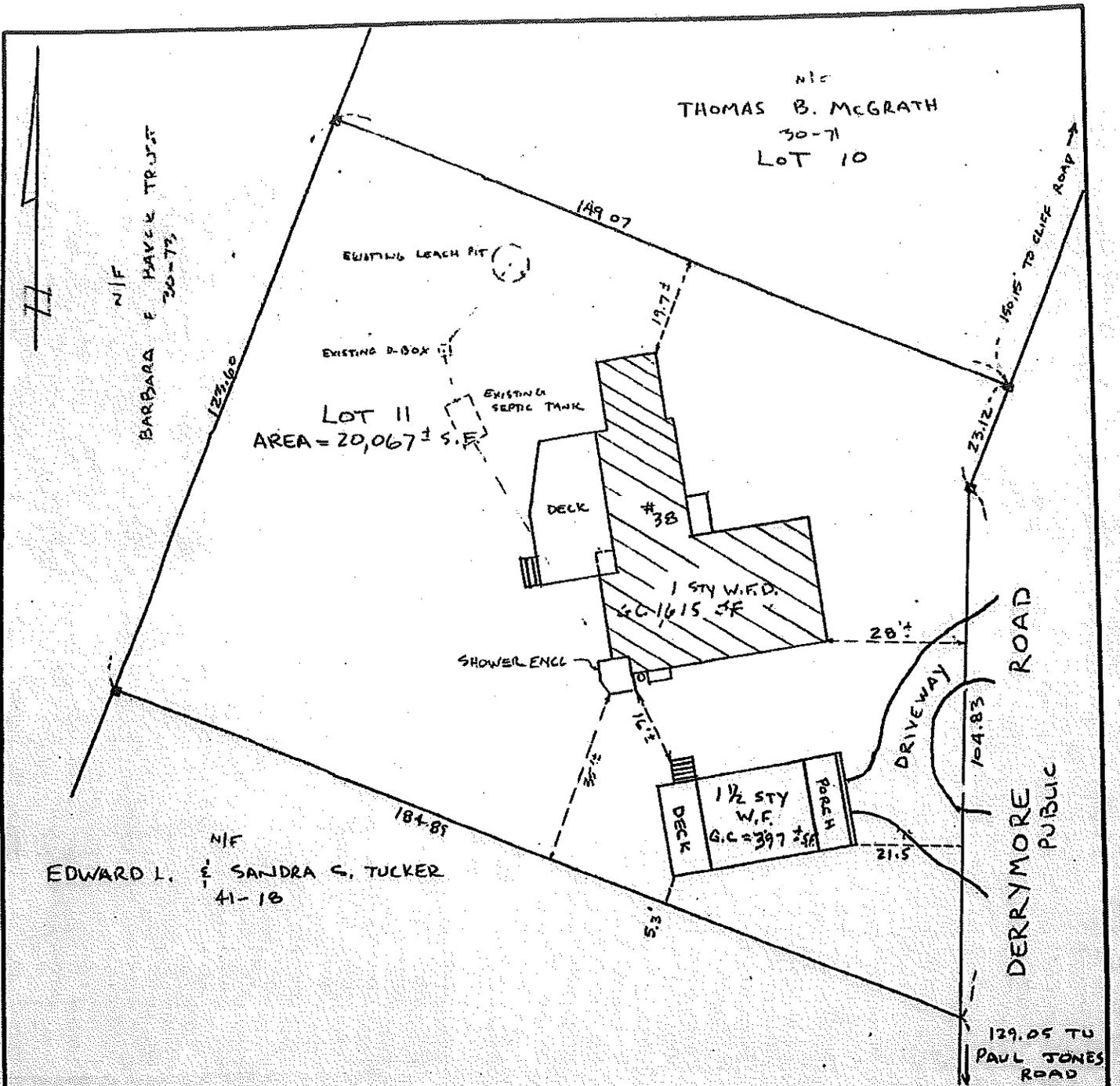
Date 9/12/19 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018  
Data updated 11/19/2018



CURRENT ZONING MAP: R-1  
 MINIMUM LOT SIZE: 5000 S.F.  
 MINIMUM FRONTAGE: 50 FT.  
 FRONTYARD SETBACK: 10 FT.  
 SIDE AND REAR SETBACK: 5 FT.  
 ALLOWABLE G.C.R.: 30%  
 EXISTING G.C.R.: 10.0%

PROPERTY LINES SHOWN ARE TAKEN FROM RECORDED DEED AND PLAN REFERED TO HEREON. BUILDINGS, MONUMENTS, ETC. ARE PLOTTED FROM FIELD MEASUREMENTS.

I HEREBY CERTIFY TO THE BEST OF MY KNOWLEDGE THAT THE PREMISES SHOWN ON THIS PLAN ARE LOCATED WITHIN THE C<sub>1</sub> ZONE AS DELINEATED ON THE "FIRM" MAP OF COMMUNITY NO. 260230; MASS. EFFECTIVE: 6-3-86 BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, REVISED 11/6/96

N.B. 212-50,249-144 & 146

AS-BUILT PLOT PLAN  
 IN  
 NANTUCKET, MASSACHUSETTS  
 SCALE: 1"=30' DATE: 10-6-03.  
 PREPARED FOR:  
 DEBORAH E. REYELT, TRUSTEE

NANTUCKET SURVEYORS INC.  
 5 WINDY WAY  
 NANTUCKET, MA. 02554

DEED REFERENCE: C-117-3  
 PLAN REFERENCE: LC PL 13199-4  
 ASSESSOR'S MAP: 30 PCL.72

*Deborah E. Reyelt 12/5/03*

N-6271



GUEST - NORTH ELEVATION



GUEST - SOUTH ELEVATION



GUEST ~~VIEW~~ - WEST ELEVATION



Guest - EAST ELEVATION

TOWN OF NANTUCKET  
HISTORIC DISTRICT COMMISSION

LIST OF PARTIES IN INTEREST IN THE MATTER OF THE PETITION OF:

PROPERTY OWNER.....Reyelt Nominee Trust.....

MAILING ADDRESS.....995 Hot Meadow St., Simsbury, CT 06070.....

PROPERTY LOCATION.....38 Derrymore Rd.....

ASSESSORS MAP/PARCEL.....30-72.....

SUBMITTED BY:.....Sophie Metz Design - Contact Rachel Renner.....  
508-332-9680

Let us know how to best pay - or we can keep a tab  
and promise to come in when the office opens! Thank you!

SEE ATTACHED PAGES

I certify that the foregoing is a list of persons who are owners of land directly adjacent to the subject property or directly opposite the subject property on any public or private street or way, all as they appear on the most recent applicable tax list.

May 6, 2020

DATE



ASSESSOR'S OFFICE  
TOWN OF NANTUCKET



# HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road

Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Fax: 508.228.7298

## NOTICE OF HDC APPLICATION

### ABUTTERS AND INTERESTED PARTIES

Please be informed that the Nantucket Historic District Commission will be considering the following proposal:

Address of Proposed Work: 38. Delaplace Rd.

Tax Map Number: 30 Parcel Number: 77

Owner of Record: Rayett Nominee Trust

Description of Proposal: demo / move

existing main house, guest house

Anticipated HDC Submission Date: 5/19/20

You have been identified either as an abutter or interested party to the above property and are being notified in accordance with the Town Bylaw. Please note that the above submission date is an estimate only; the actual meeting date will be determined once the HDC staff has established that a complete application has been submitted. Please contact the HDC office to verify the date. Please note that notification is only required at the time of initial submission of an application, not for each time an application goes before the Commission. Abutters are responsible for monitoring the status of applications.

If you wish to comment on the above proposal, you are encouraged to submit your comments in writing to the HDC office. If you wish to testify at a Commission meeting please be aware that your testimony may be limited by the Commission in accordance with Commission policies, which are included on the back of this form. Due to the large sizes of most applications, the HDC office may not be able to send faxed copies of the plans. Off-island abutters wishing more detailed information may enlist an on-island representative to view the plans in the HDC office.

If you have any questions, please contact the HDC office at 508.325.7587.

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City, State, ZIP+4® Los Angeles CA 90024

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# Planning and Land Use Services

2 Fairgrounds Road, Nantucket, Massachusetts 02554

Telephone: 508.325.7587

THIS CHECKLIST IS TO BE SUBMITTED WITH ALL HDC APPLICATIONS

Rev Jan 2020

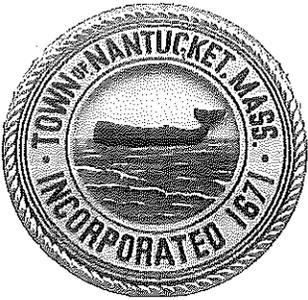
## REQUIRED WITH ALL APPLICATIONS:

1. Completed Application Form: Description of ALL work must be indicated on application form.
2. Property Owner's Signature: Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
3. Application Fee: See back of application for fee schedule or call the office.
4. Locus Map (4 copies): Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) <https://www.nantucket-ma.gov/151/GIS-Maps>
5. Site Plan (4 Copies): must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and *placement of HVAC units, electrical boxes, fuel tanks, etc.*
6. 8-1/2" x 11" Copies of ALL Application Materials: Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12), collated and stapled.
7. Photographs: Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
8. Electronic submission: All documents submitted to the HDC office must be emailed to [hdcsubmissions@nantucket-ma.gov](mailto:hdcsubmissions@nantucket-ma.gov).

## REQUIRED WHERE APPLICABLE:

1. Supplemental Information for Historic Buildings: It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application.
2. Exterior Elevations and Floor Plans (4 copies): Must be 1/4-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. *All changes from approved or existing design must be clouded on drawings*. All material MUST BE LEGIBLE, collated and stapled. Reduced sets should maintain a font size of 12.
3. As-Built Plans (1 copy): of existing elevations
4. Hardscaping Plans (4 copies): To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE, collated and stapled.
5. Topographic Map: Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).
6. Door and Window Schedule (4 copies): Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
7. *I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.*
8. Abutter Notification Materials -- Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and Sconset Historic Core where the requirement for new construction is 100 square feet.
9. Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc.

(initial to indicate read and understand)



# HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road  
Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Email: [hdcsubmissions@nantucket-ma.gov](mailto:hdcsubmissions@nantucket-ma.gov)

## COMMISSIONERS

Ray Pohl  
Chairman

Diane Coombs  
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

## ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

## STAFF

Cathy Flynn  
Land Use Specialist  
[cflynn@nantucket-ma.gov](mailto:cflynn@nantucket-ma.gov)

## Waiver of the HDC 10 Day Hearing Requirement

I Hanley Construction  
AS AGENT FOR Reyelt Nominee Trust  
STREET ADDRESS 38 Derrymore Rd  
MAP/PARCEL 30-72

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON  
5/13/20

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE  
COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

**SECTION 8 of the HDC enabling legislation: ... The Commission shall meet  
within ten (10) days of the receipt of an application for a certificate of  
appropriateness or permit for removal...**

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

  
Signature

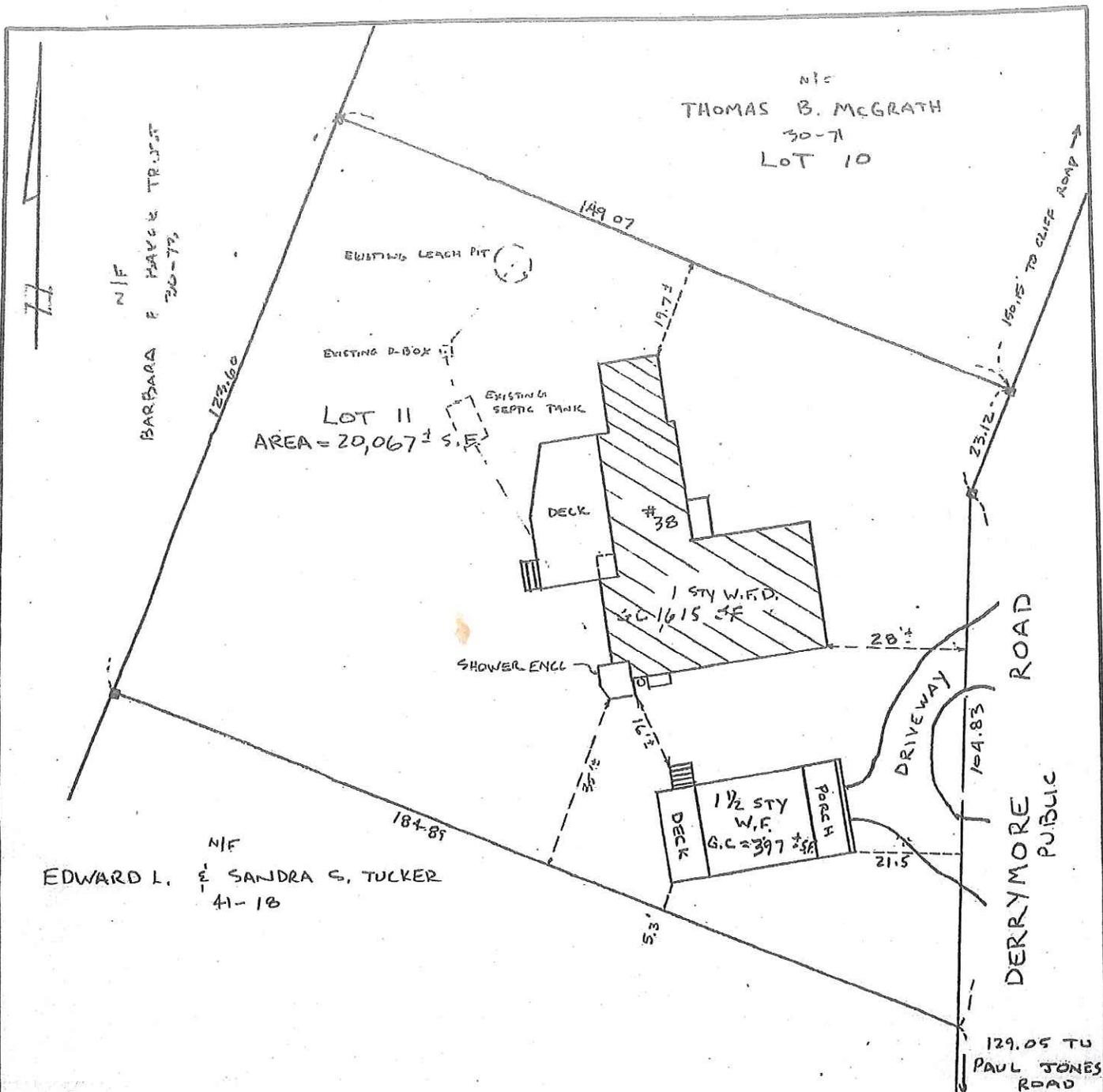
5/13/20  
Date



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Geometry updated 11/13/2018  
Data updated 11/19/2018



CURRENT ZONING MAP: R-1  
 MINIMUM LOT SIZE: 5000 S.F.  
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N.B. 212-50, 249-144 & 146

AS-BUILT PLOT PLAN

IN NANTUCKET, MASSACHUSETTS  
 SCALE: 1"=30' DATE: 10-6-03  
 PREPARED FOR:

DEBORAH E. REYELT, TRUSTEE

NANTUCKET SURVEYORS INC.  
 5 WINDY WAY  
 NANTUCKET, MA. 02554

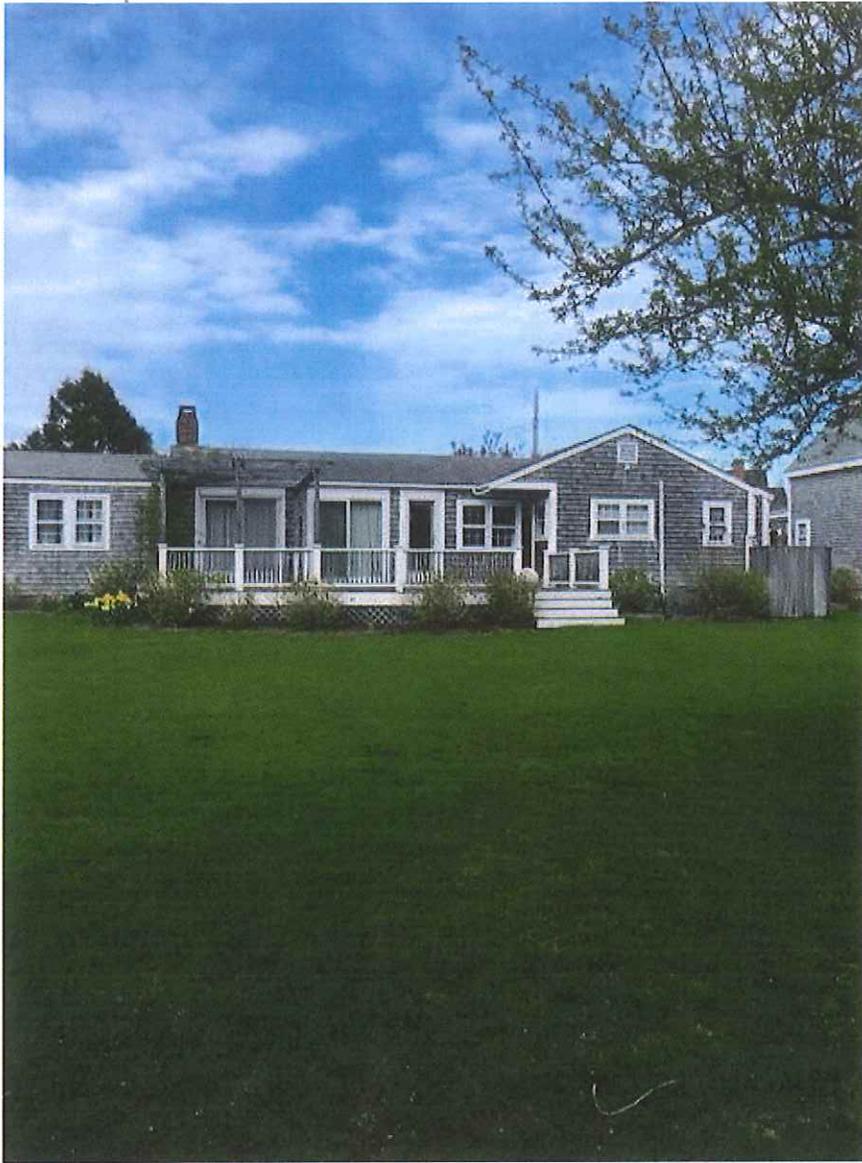
DEED REFERENCE: C-172-3  
 PLAN REFERENCE: 6C PL 13199-4  
 ASSESSOR'S MAP: 30 PCL.72

*Deborah E. Reyelt 12/5/03*

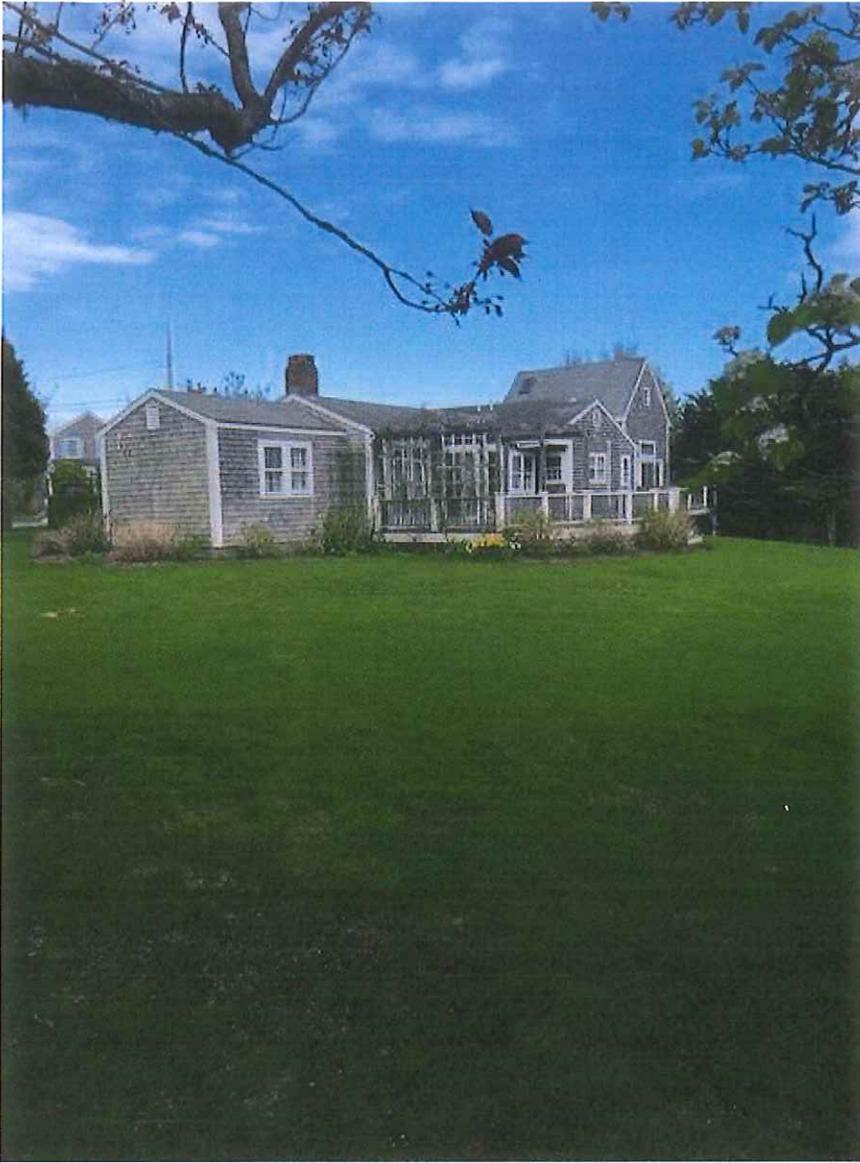
N-6271



MAIN - NORTH ELEVATION



MAIN - WEST ELEVATION



MAIN - SOUTH/WEST ELEVATION



MAIN - EAST ELEVATION

TOWN OF NANTUCKET  
HISTORIC DISTRICT COMMISSION

LIST OF PARTIES IN INTEREST IN THE MATTER OF THE PETITION OF:

PROPERTY OWNER.....Reyelt Nominee Trust  
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PROPERTY LOCATION.....38 Derrymore Rd  
ASSESSORS MAP/PARCEL.....30-72  
SUBMITTED BY.....Sophie Metz Design - Contact Rachel Renner  
508-332-9680

Let us know how to best pay - or we can keep a tab  
and promise to come in when the office opens! Thank you!

SEE ATTACHED PAGES

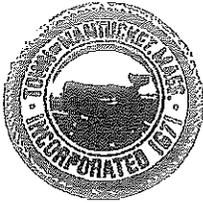
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May 6, 2020

DATE



ASSESSOR'S OFFICE  
TOWN OF NANTUCKET



HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road

Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Fax: 508.228.7298

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If you have any questions, please contact the HDC office at 508.325.7587.

## HDC POLICIES FOR AN ABUTTER AND/OR INTERESTED PARTY TESTIMONY

Abutters are encouraged to limit their responses to issues that fall within the statutory mandate of the HDC – mainly the appearance of a proposal from the publicly traveled way and its impact on the existing historic environmental context. Issues such as land uses, noise, and impacts on private property are outside of the HDC's purview and cannot be addressed by the Commission.

In order to maintain a balance between the wishes of abutters and interested parties to express their concerns and the need of the HDC to conduct its business in a timely fashion, the following policies have been established:

Abutters and interested parties wishing to testify before the Commission shall be limited to three minutes of testimony. Only one representative from each abutting property or interested party shall be permitted to testify.

For those cases in which a substantial number of abutters and/or interested parties wish to testify (as determined by the Chair), the Chair shall structure the review of an application as follows:

1. Introduction of the application;
2. Response by applicant;
3. Public comment in favor of proposal;
4. Public comment in opposition of proposal;
5. Closing of public comment-no further comment unless requested by Commission members through the Chair;
6. Commission comments and discussion with applicant;
7. Commission action.

The above meeting policies may be waived at the discretion of the Chair.

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Certified Mail Fee \$3.55  
\$  
Extra Services & Fees (check box, add fee as appropriate)  
 Return Receipt (hardcopy) \$2.85  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00  
Postage \$0.55  
Total Postage and Fees \$8.95

Postmark Here  
05/12/2020

Sent To Buchanan  
Street and Apt. No., or PO Box No. 31 Derrymore Trust c/o Jagersoll Rooney  
City, State, ZIP+4® 1706 K St. NW Ste 300 Washington DC 20006

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™  
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NANTUCKET, MA 02554

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\$  
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 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00  
Postage \$0.55  
Total Postage and Fees \$8.95

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05/12/2020

Sent To 34 Derrymore Road Trust  
Street and Apt. No., or PO Box No. 34 Derrymore Rd  
City, State, ZIP+4® Nantucket MA 02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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LOS ANGELES, CA 90024

Certified Mail Fee \$3.55  
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 Return Receipt (hardcopy) \$2.85  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00  
Postage \$0.55  
Total Postage and Fees \$8.95

Postmark Here  
05/12/2020

Sent To Thomas B McBreath Trst ETAL  
Street and Apt. No., or PO Box No. 18369 Strathmore Dr  
City, State, ZIP+4® Los Angeles CA 90024

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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WASHINGTON, DC 20008

Certified Mail Fee \$3.55  
\$  
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 Return Receipt (hardcopy) \$2.85  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00  
Postage \$0.55  
Total Postage and Fees \$8.95

Postmark Here  
05/12/2020

Sent To Derrymore Rd Nantucket Trust  
Street and Apt. No., or PO Box No. 2278 Hillside Rd  
City, State, ZIP+4® Fairfield CT 06430

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 55.4.1 PARCEL N°. 50  
Street & Number of Proposed Work: 38 Yale St.  
Owner of record: PAULINE SPENCER  
Mailing Address: 3264 N STREET NW  
WASHINGTON, DC 20007  
Contact Phone #: 774-487-0327 E-mail: spfwarner@me.com

**AGENT INFORMATION (if applicable)**

Name: ROSS GOODWIN  
Mailing Address: P.O. BOX 3348  
NANTUCKET, MA 02584  
Contact Phone #: 508 221-2250 E-mail: ross21nbc@gmail.com

FOR OFFICE USE ONLY  
Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 10'-0" Sq. Footage 1st floor: 80 SF Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 8'-0" Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North None South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North 10'-6" South 10'-6" East 10'-6" West 10'-6"

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_ (describe)  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A  
**REVISIONS\*** 1. East Elevation  
2. South Elevation  
3. West Elevation  
4. North Elevation  
\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 1/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR  
Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_  
Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 6" Rake 3" Soffit (Overhang) 0' Corner boards 6"x6" Frieze \_\_\_\_\_  
Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other (2) FIVE 4 LITE (1) 6/6 DBL HUNG  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

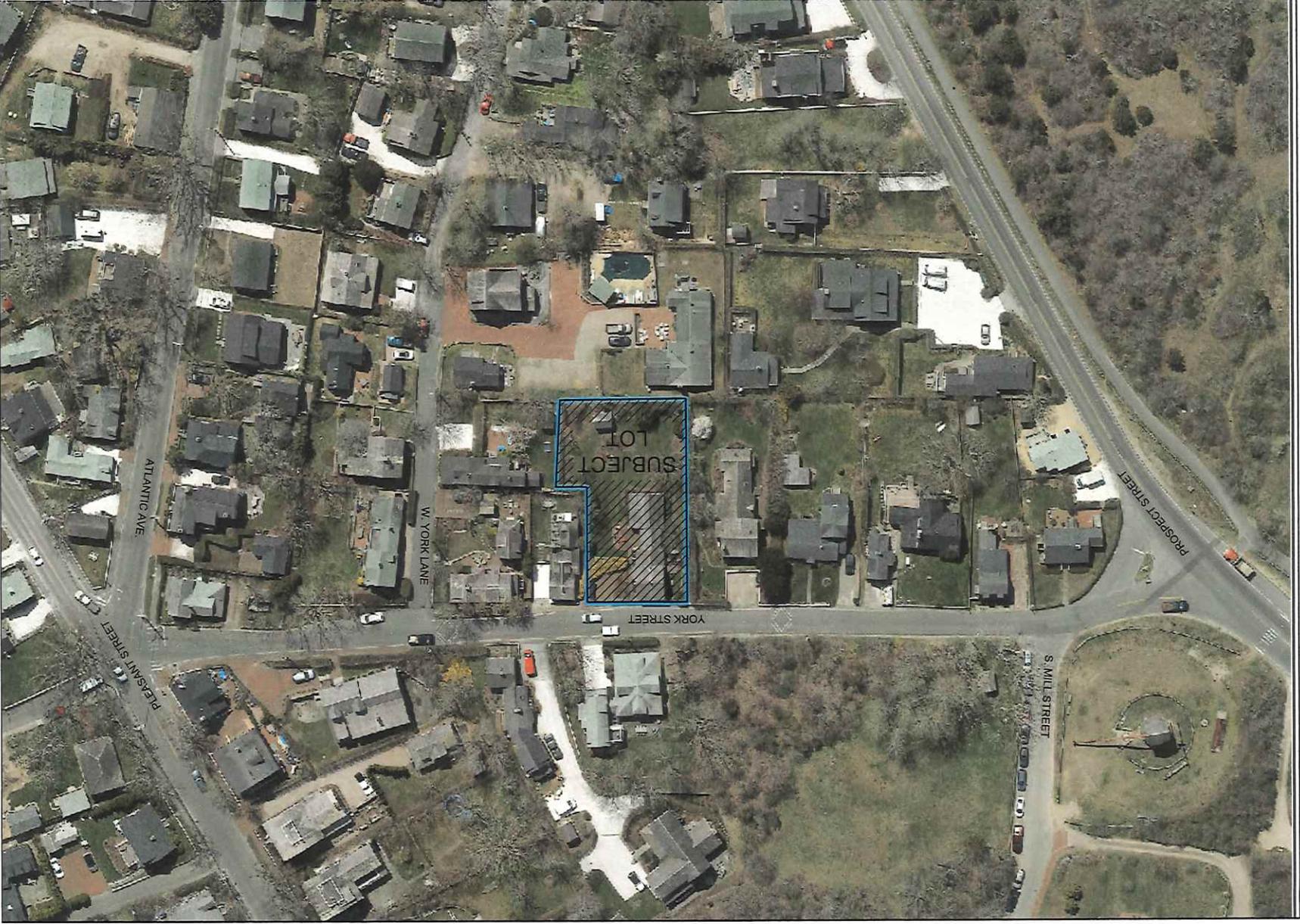
Doors\* (type and material):  TDL  SDL Front BARN / WHITE Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

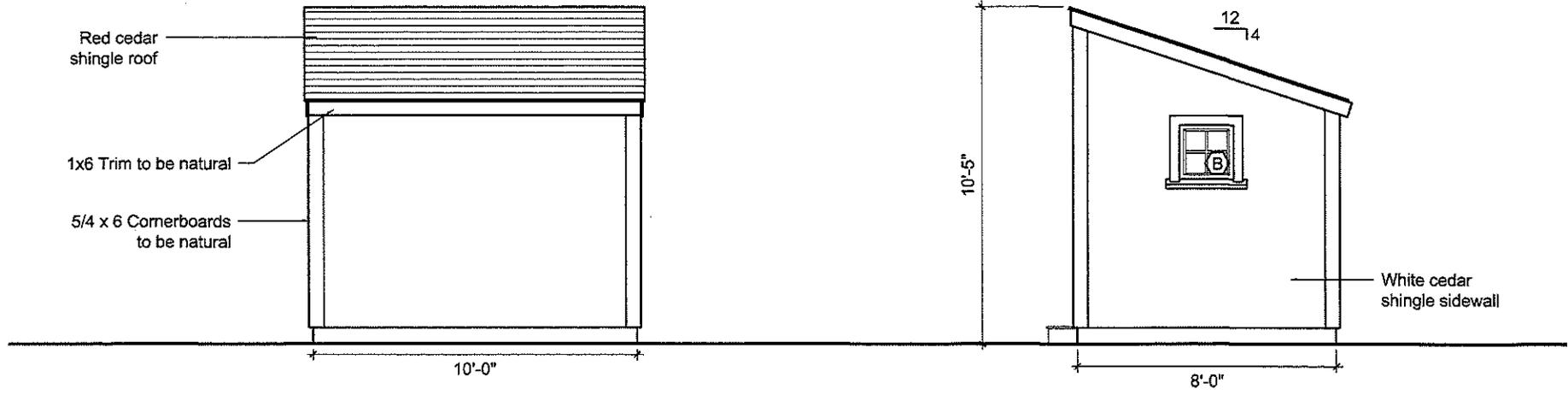
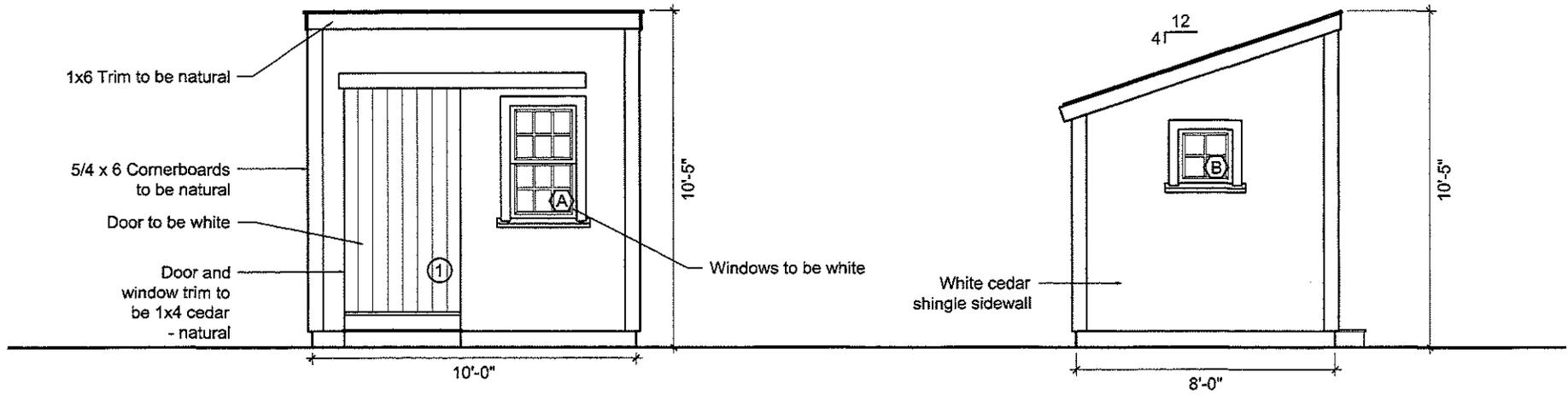
Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

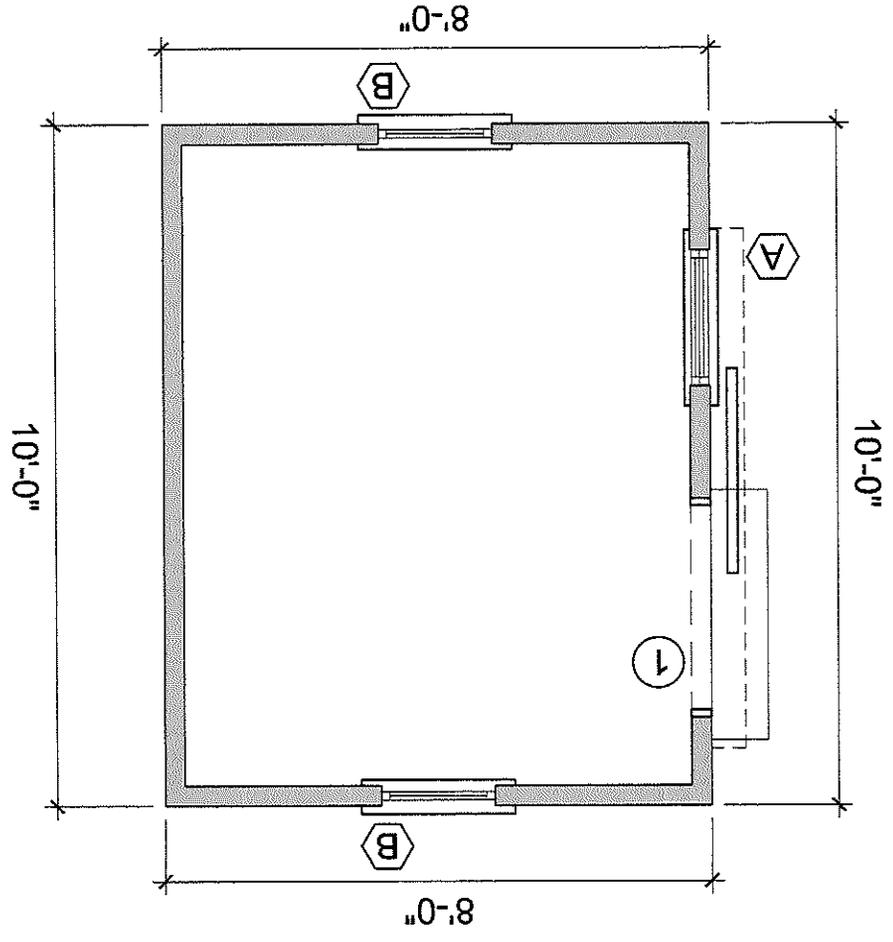
\* Note: Complete door and window schedules are required.  
**COLORS**  
Sidewall NATURAL Clapboard (if applicable) \_\_\_\_\_ Roof NATURAL  
Trim NATURAL Sash WHITE Doors WHITE  
Deck \_\_\_\_\_ Foundation Piers (NOT VISIBLE) Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.  
Date 3/01/2020 Signature of owner of record [Signature] Signed under penalties of perjury





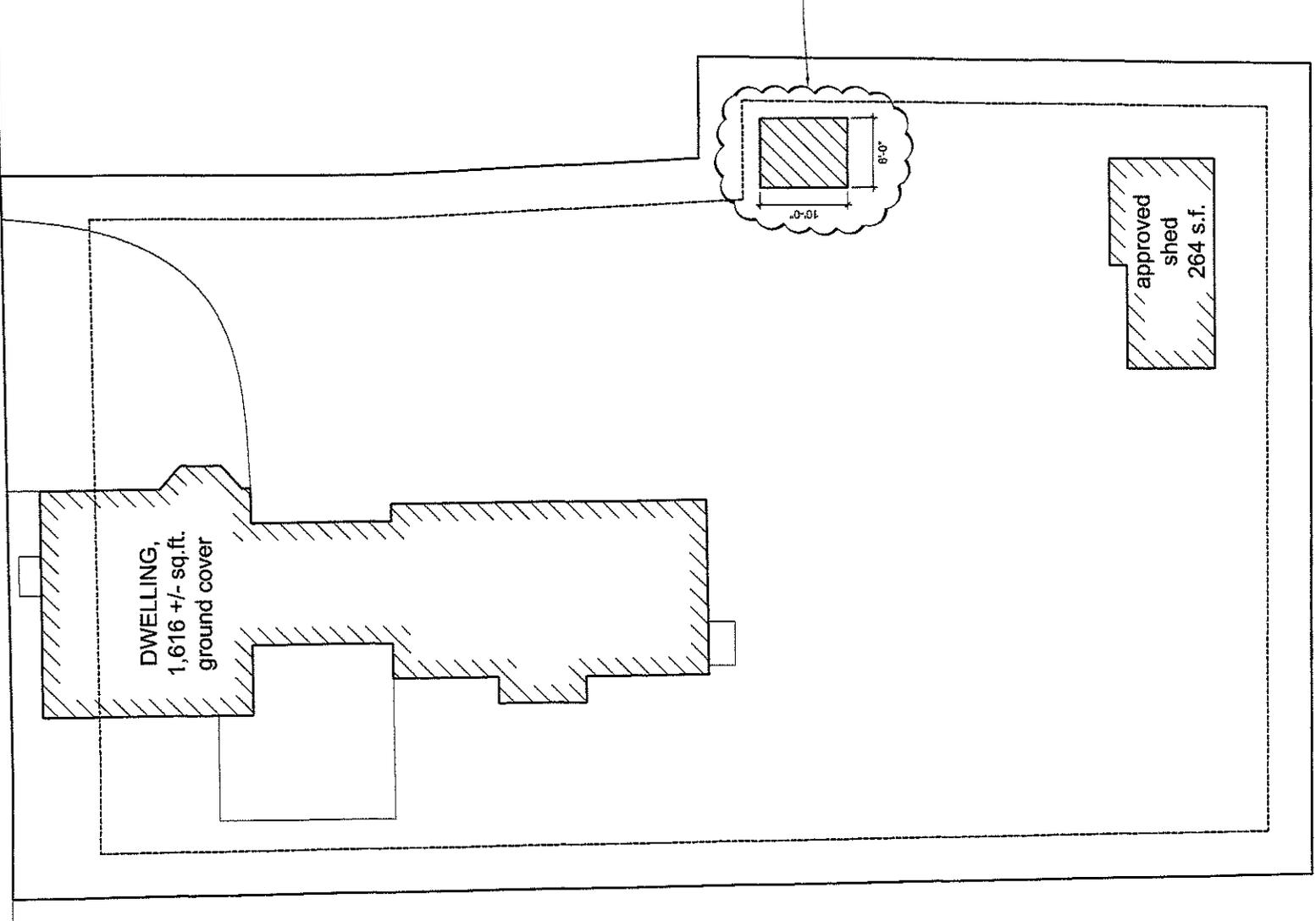
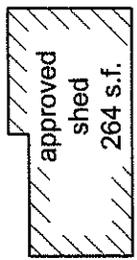
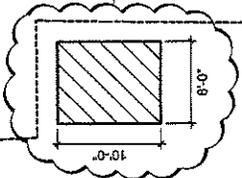


YORK STREET

DWELLING,  
1,616 +/- sq.ft.  
ground cover

PROPOSED  
NEW 80 sq.ft.  
SHED

approved  
shed  
264 s.f.



4:28

Historic Structures Advisory Board Meeting Memorandum

HDC/HSAB

Date: 3/10/2020

Address: 38 YORK ST

Scope of Work: SHED (IN ADDITION TO EXISTING ZONING SHED??)

Historic information/known history ( ) Non-Contributing (X) Contributing ( ) Individually significant

C.1800 (DWELLING)

STAFF COMMENTS

Name: HOLLY BACKUS

- (X) Incomplete application ( ) Historical information needed ( ) No Concerns ( ) Recommend View
- (X) Does not meet guidelines Visibility: Yes or No
- ( ) Not appropriate (As noted below)

\*-NO PHOTOS OF DWELLING INCLUDED!

- o LOCATED BEHIND DWELLING ✓
- o DESIGN = 4/12 PITCH → SHOULD BE 12/8 - 12/12 MAX
- ROOF + TRIM MUST MATCH HISTORIC DWELLING!
- \* DOES THE DWELLING HAVE RED CEDAR SHINGLES + NTW TRIM
- WINDOWS MUST MATCH!
- \* DOES THE DWELLING HAVE 6/6 + 4 LITE?

HSAB COMMENTS

- ( ) Incomplete application ( ) Historical information needed (X) No Concerns ( ) Recommend View
- ( ) Does not meet guidelines Visibility: Yes or No
- ( ) Not appropriate (As noted below)

VERY LIMITED VISIBILITY; REMINISCENT OF AN OLD SHUCKING SHACK

( ) Angus MacLeod (X) Lucy Dillon ( ) Jascin Leonardo Finger ( ) Milton Rowland (X) Brook Meerbergen

Alternate: None

Signatures (three members required for quorum)

[Handwritten signatures]

NO QUORUM

2. Hale Everets **12-0300** 46 Monomoy Road Main House revisions 54-71 Self  
 Voting Pohl, Camp, Oliver, Welch  
 Alternates None  
 Recused None  
 Documentation Architectural elevation plans, site plan, and photos.  
 Representing Hale Everets, owner  
 Public None  
 Concerns (5:15) **Everets** – Reviewed changes made per previous concerns.

**Welch** – Got clarification on what is remaining and what is changing, both interior and exterior, and that there is no substantial change in the existing footprint. Appreciates the changes; massing is larger, but changes are in keeping with existing vocabulary. Agrees with Ms. Camp about the rear turret and keeping it in that it could be reinterpreted elsewhere on that elevation.

**Camp** – Appreciates the changes; it’s sensitively done and keeps the old shingle-style. Front façade, suggested the 2<sup>nd</sup>-floor dormers have hipped roofs; the shed dormers don’t relate to anything on the structure. The French doors and deck on the north elevation, liked the previous approval and would like to see the turret maintained.

**Oliver** – She agrees with what’s been said. This has come a long way. It’s much clearer now as to what’s happening. About the 5 doors on the west elevation, would like them to have kick panels to match the rest.

**Pohl** – Appreciates the idea of keeping and working with the iconic roof form. Agrees with what’s been said. West elevation left open porch, it has a column with a beam to the rafter; on the Monomoy Road side, the connector has arches; he’d like to see those arches incorporated on the west elevation porch.

Motion **Motion to Hold for revisions. Camp**

Roll-call Vote Carried 4-0//Welch-aye; Oliver-aye; Camp-aye; Pohl-aye Certificate #

3. Cannonbury Ln Hld **05-0895** 42 Cannonbury Lane Boardwalk at grade 73-79 Ahern, LLC  
 Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
 Alternates Welch, Watterson  
 Recused None  
 Documentation Landscape design plans, site plan, and photos.  
 Representing Miroslava Ahern, Ahern Design, LLC  
 Public None  
 Concerns (5:41) **Ahern** – Reviewed the proposal.

**Oliver** – She viewed this; it is an interesting idea. The dunes are in place with the beach grass plugs. Her only uncertainty is the Belgium block cut-through in the asphalt; it doesn’t fit with the dunes; would like a less formal material to be considered.

**Camp** – The farther from Ocean Avenue you get, the less sense the dunes make and seem out of place. Where the row of privet is in the middle, she doesn’t understand what is being done there. The way the dune grass is planted looks very regimented. Belgium block isn’t a bad material but would like other materials to be considered.

**Coombs** – Agrees with Ms. Oliver; the Belgium block is too formal and something that fits in better should be used.

**McLaughlin** – Asked the length of the boardwalk – about 2000 feet. If this were going to a beach or pond, he could see the use of the wood; thinks it will set a bad precedent.

**Pohl** – He likes the boardwalk and knows the beach grass with thrive and fill out. His concern is the Belgium block because as casual as the boardwalk is, the Belgium block is the opposite. Suggested a stone or tile paver to be implanted into the road. Asked Ms. Ahern to research other materials for the crosswalks and provide dimensional information.

**Backus** – Wants the developer to reach out to the Town consultant engineer; she’d hate to see this go through without stormwater runoff information.

Motion **Motion to Hold for revisions. (McLaughlin)**

Roll-call Vote Carried 5-0//Coombs- aye; Camp-aye; Oliver-aye; McLaughlin-aye; Pohl-aye Certificate #

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 73 PARCEL N°: 29  
Street & Number of Proposed Work: CANNON PURY LANE  
Owner of record: CANNON PURY LANE HOLDINGS, LLC  
Mailing Address: 105 NEW PURY ST.  
BOSTON, MA 02110  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: AHEARN LLC  
Mailing Address: 6 WINDY WAY  
NANTUCKET, MA  
Contact Phone #: 508 333 5330 E-mail: DESIGN@AHEARN.COM

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other: BOARDWALK & GRADE

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_ **REVISIONS\*** 1. East Elevation  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
Original Builder: \_\_\_\_\_ 3. West Elevation  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): \_\_\_\_\_  
Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casings \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required. CROSSWALK/APRON: BELGIUM BLOCK BOARDWALK-WOOD, HW

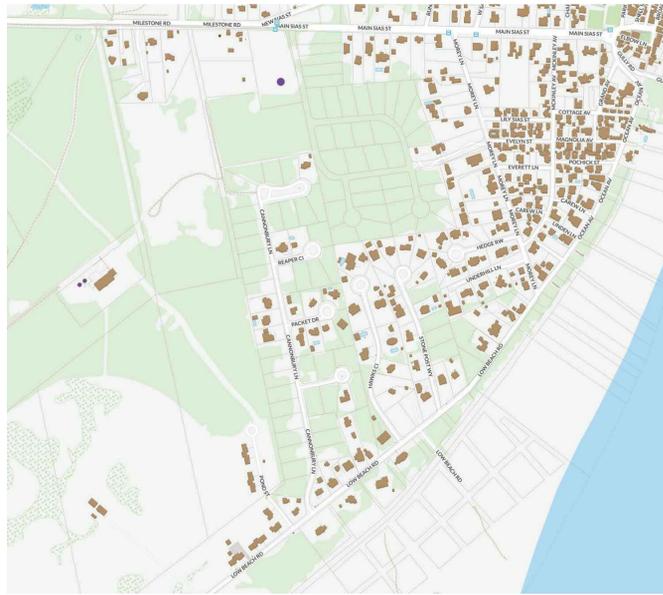
**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

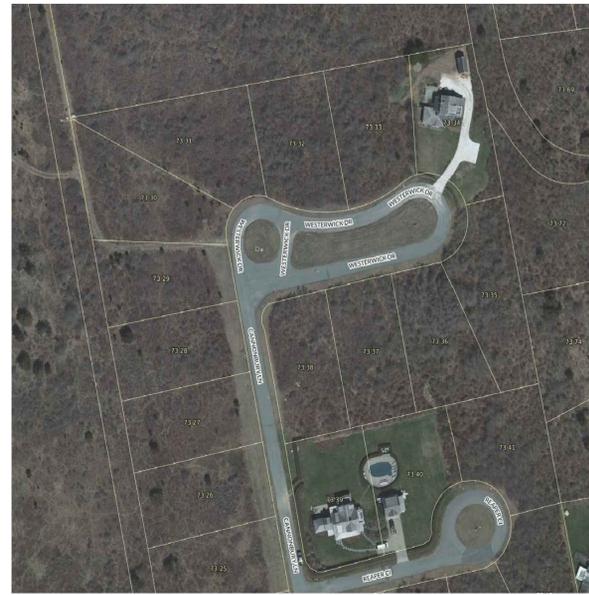
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 03/05/20 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



GIS MAP / PARCEL # 73 / 29



AERIAL MAP / PARCEL # 73 / 29



1 BOARDWALK @ GRADE (NO RAILINGS)



2 RECLAIMED GRANITE CROSSWALKS (3' WIDTH)

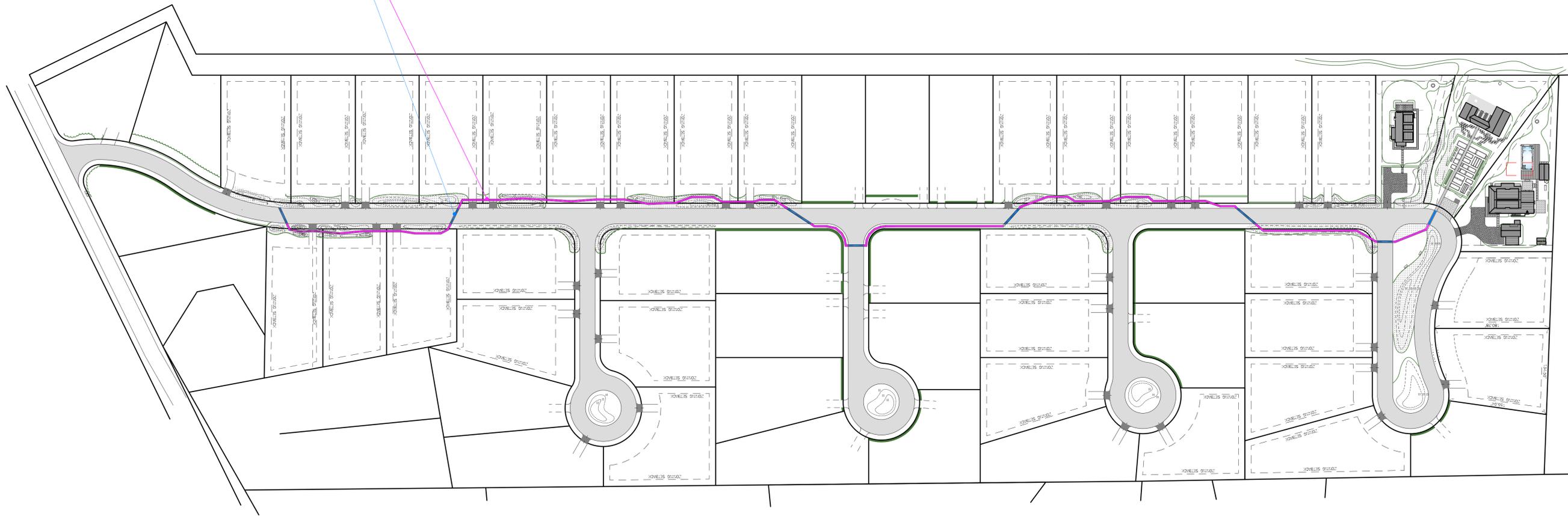


3 DUNE PLANTING DETAIL



4 STREETSCAPE WITH DUNES

BOARDWALK @ GRADE (TYP) (SHOWN IN PINK)  
 +/- 1700 LF  
 RECLAIMED GRANITE CROSSWALK (TYP) (SHOWN IN BLUE)  
 8 CROSSWALKS VARYING IN LENGTH FROM 20'-2" TO 43'-10"



**PROJECT**  
**CANNONBURY**

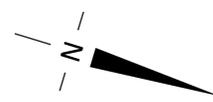
CANNONBURY DRIVE  
 NANTUCKET MA 02554

**OWNER**

CANNONBURY LANE HOLDINGS 1, LLC  
 105 Newbury Street, 4th Floor  
 Boston, MA 02116

**ARCHITECT**

WORKSHOP / APD  
 39 West 38th Street, 7th Fl, New York, NY 10018  
 T (212) 273-9712



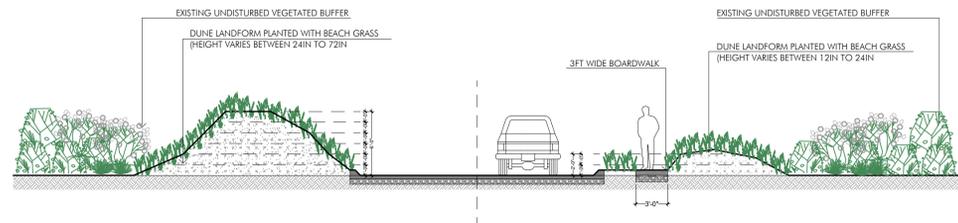
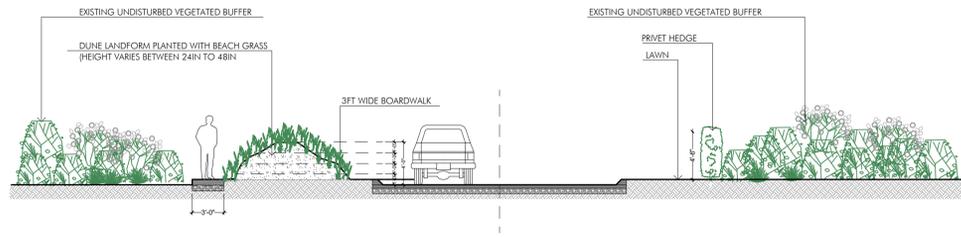
**HDC SUBMISSION**  
**STREETSCAPE**  
**REVISED**

**DRAWING INFO**

DATE MAY 28, 2020  
 SCALE 1" = 80' - 0"

**REVISIONS**

DATE MARCH 5, 2020  
 DATE MAY 12, 2020  
 DATE MAY 22, 2020



1 CANNONBURY DRIVE STREET LANDSCAPE / SECTION A-A SCALE 1" = 8' - 0"

2 CANNONBURY DRIVE STREET LANDSCAPE / SECTION B-B SCALE 1" = 8' - 0"

3 PLANT SPECIFICATIONS



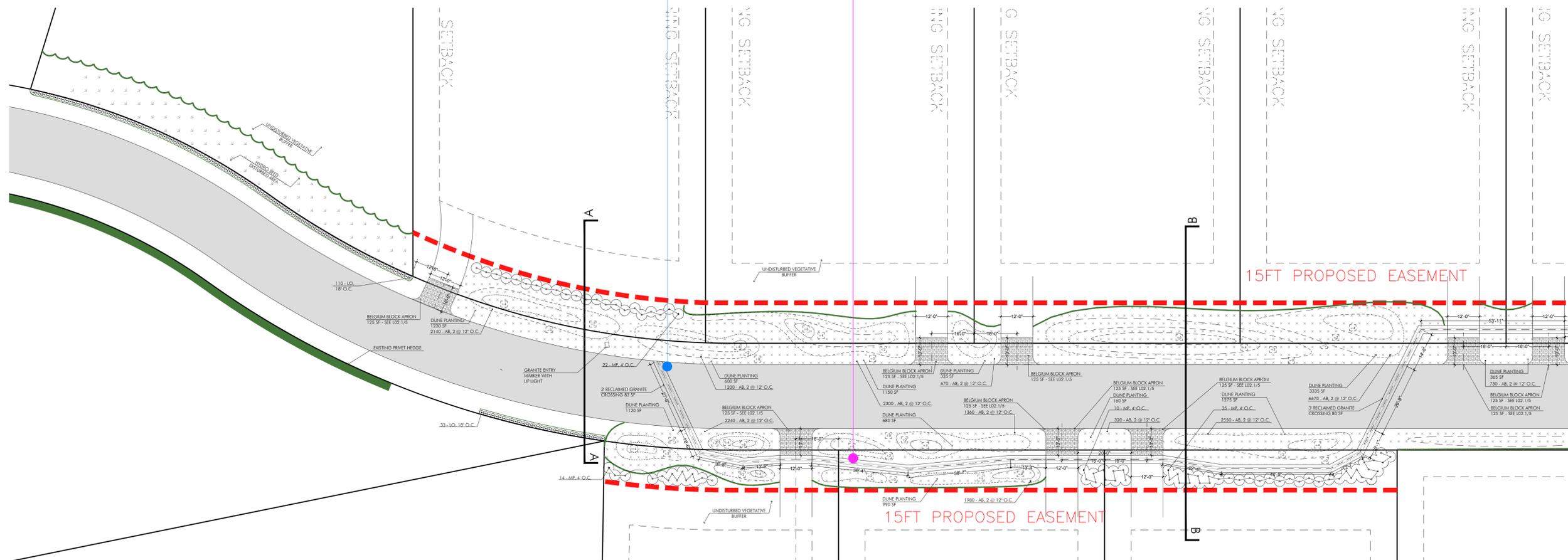
AB - BEACH GRASS MP - BAYBERRY LO - PRIVET



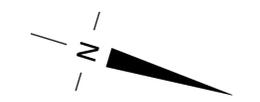
RECLAIMED GRANITE CROSSING (TYP)



BOARDWALK @ GRADE (TYP)



4 CANNONBURY DRIVE STREET LANDSCAPE / TYPICAL DETAIL SCALE 1" = 20' - 0"



**STREETSCAPE SECTION 2 DETAILS**

**DRAWING INFO**

DATE	MAY 28, 2020
SCALE	1" = 20' - 0"

**REVISIONS**

DATE	MAY 12, 2020
DATE	MAY 22, 2020

# View

## Proposed HDC Minutes for May 26, 2020

5. Frank Ryan 05--0975 8 Kings Way Pool 41-277 Ahern, LLC
- Voting Pohl, Coombs, McLaughlin, Camp, Welch  
Alternates None  
Recused Oliver – stepped out  
Documentation Landscape design plans, site plan, and photos.  
Representing Miroslava Ahern, Ahern Design, LLC  
Public None  
Concerns (7:34) **Ahern** – Presented project.  
**Camp** – She'd like to view this; she's not sure where it is and if the pool will be visible.  
**Coombs** – Agrees a view would be helpful.  
**Welch** – He'd support a view. If the green granite is visible, it's a little too formal.  
**McLaughlin** – The horizontal-rail fence is atypical for this area.  
**Pohl** – Thinks the retaining wall will be visible from John Paul Road.  
Motion **Motion to View. (Camp)**  
Roll-call Vote Carried 5-0//McLaughlin-aye; Welch-aye; Camp-aye; Coombs-aye; Pohl-aye Certificate #
6. Frank Ryan 05-0975 8 Kings Way Screened in Porch, spa, steps 41-277 Joe Olson
- Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
Alternates Welch  
Recused None  
Documentation Architectural elevation plans, site plan, and photos.  
Representing Joe Olson  
Public None  
Concerns (7:47) **Olson** – Presented project; existing privet screens the whole area.  
No concerns due to screening.  
Motion **Motion to Approve. (Camp)**  
Roll-call Vote Carried 5-0//Camp-aye; Oliver-aye; Coombs-aye; McLaughlin-aye; Pohl-aye Certificate # **HDC2020-05-0975**
7. Mark Dowley 05-0976 31 North Pasture Lane Solar on pergola 49-78 ACK Smart
- Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
Alternates Welch  
Recused None  
Documentation Architectural elevation plans, site plan, photos, and manufacturer's spec sheet.  
Representing Tobias Glidden, ACK Smart  
Public None  
Concerns (7:47) **Glidden** – Presented project; similarly done as to the Scallop Shed.  
**Camp** – She supports this; the pergola is on the interior side of the property with a very shallow pitch.  
**Coombs** – No concerns.  
**Oliver** – No concerns.  
**McLaughlin** – Feels this will be visible from Town-owned property to the south.  
**Pohl** – He supports this.  
Motion **Motion to Approve. (Camp)**  
Roll-call Vote Carried 5-0//Coombs-aye; Oliver-aye; Camp-aye; McLaughlin-aye; Pohl-aye Certificate # **HDC2020-05-0976**
8. Eric Rosenfeld 05-0974 57 Quidnet Road Roof top solar 21-89 ACK Smart
- Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
Alternates Welch  
Recused None  
Documentation Architectural elevation plans, site plan, photos, and manufacturer's spec sheet.  
Representing Tobias Glidden, ACK Smart  
Public None  
Concerns (8:03) **Glidden** – Presented project; black on wood; the road east of the structure is a driveway, not a public way.  
**Oliver** – This wasn't on the view list; she would like to view this. Suggested doing a pergola "thing" on the east elevation.  
**Camp** – Wants to view this as well.  
**McLaughlin** – Maybe we should view this.  
**Coombs** – Wants to view as well.  
Motion **Motion to View. (Camp)**  
Roll-call Vote Carried 5-0//Camp-aye; Oliver-aye; McLaughlin-aye; Coombs-aye; Pohl-aye Certificate #

CERTIFICATE NO. \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a  
**CERTIFICATE OF APPROPRIATENESS**  
for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines. Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.  
This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference. The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N: 21 PARCEL N: 89  
Street & Number of Proposed Work: 57 GO. NORTH RD  
Owner of record: ERIC ROSENFIELD  
Mailing Address: 217 HORNMOCKS RD  
LAKESHAWAN, NY 10538  
Contact Phone #: 946712499 E-mail: eric@jurnal.net

**AGENT INFORMATION (if applicable)**

Name: ACH SANKI  
Mailing Address: 61 OLD SOUTH RD #500  
NANTUCKET MA 02554  
Contact Phone #: 781 229 0120 E-mail: ach@sanki.com

FOR OFFICE USE ONLY  
Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**  
See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No.  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other INSTALL 12 RAFTERS SOUTH AV MODULAR TO SOUTH/WEST ROOF  
Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

Additional Remarks

- REVISIONS: 1. East Elevation  
2. South Elevation  
3. West Elevation  
4. North Elevation

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_ (describe)  
Original Builder: \_\_\_\_\_

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)  
Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): \_\_\_\_\_  
Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

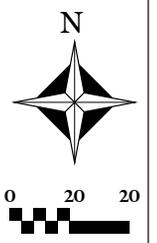
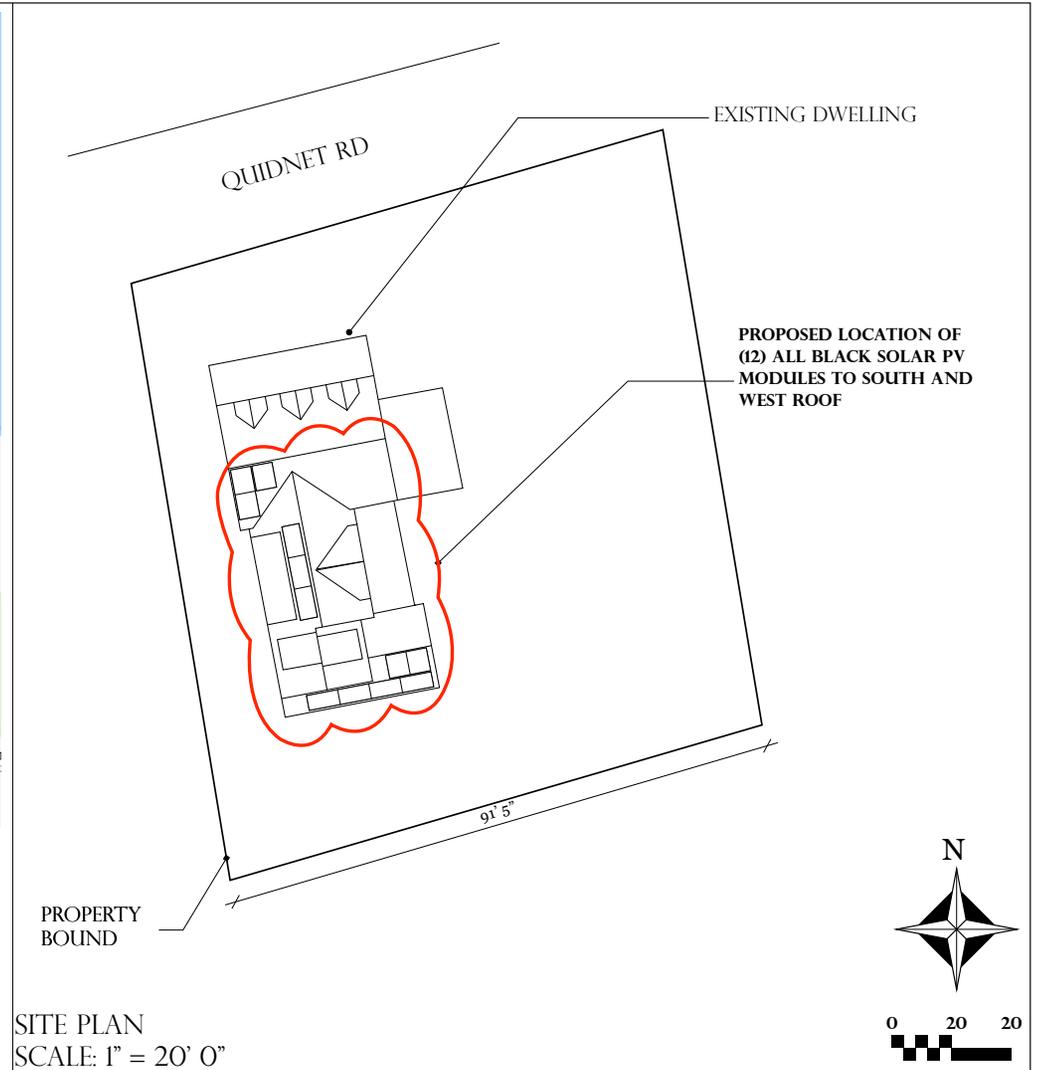
\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.  
Date 5/14/2020 Signature of owner of record: \_\_\_\_\_ Signed under penalties of perjury



LOCUS MAP  
SCALE: NOT TO SCALE

ZONING CLASS: R-20  
FRONT SETBACK: 30 FT  
SIDE/REAR SETBACK: 10 FT

SITE PLAN  
SCALE: 1" = 20' 0"



**GIS & SITE PLAN**

ROOFTOP SOLAR ARRAY  
3.9 KW DC, 7.6 KW AC

OWNER:	ROSENFELD, ERIC
SITE ADDRESS:	57 QUIDNET RD
CITY, STATE, ZIP:	NANTUCKET, MA 02554
MAP: 2I	PARCEL: 89

REVISIONS	
MM/DD/YY	REMARKS
1 5/15/2020	SUBMITTED FOR HDIC & PERMITTING REVIEW.
2	
3	
4	
5	

PV 01



SOUTH

PROPOSED INSTALLATION OF  
(12) ALL BLACK SOLAR PV MODULES  
TO SOUTH AND WEST ROOFTOPS



WEST ELEVATION

WEST



SCALE: 1/8" = 1' 0"



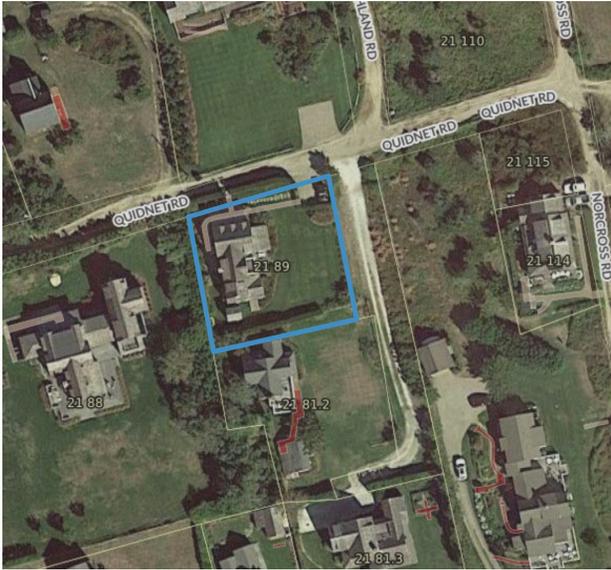
PROPOSED ELEVATIONS

ROOFTOP SOLAR ARRAY  
3.9 KW DC, 7.6 KW AC

OWNER:	ROSENFELD, ERIC
SITE ADDRESS:	57 QUIDNET RD
CITY, STATE, ZIP:	NANTUCKET, MA 02554
MAP: 2I	PARCEL: 89

REVISIONS	
MM/DD/YY	REMARKS
1 5/15/2020	SUBMITTED FOR HDIC & PERMITTING REVIEW.
2	
3	
4	
5	

PV 02



PRIVATE DRIVEWAY

QUIDNET RD

QUIDNET RD



**PHOTOS**

ROOFTOP SOLAR ARRAY  
3.9 KW DC, 7.6 KW AC

OWNER:	ROSENFELD, ERIC
SITE ADDRESS:	57 QUIDNET RD
CITY, STATE, ZIP:	NANTUCKET, MA 02554
MAP: 21	PARCEL: 89

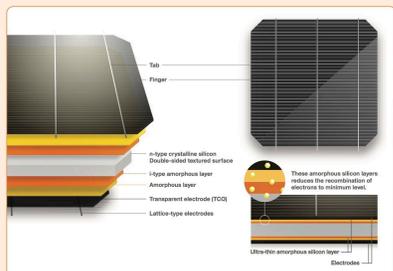
REVISIONS	
MM/DD/YY	REMARKS
1 5/15/2020	SUBMITTED FOR THDC & PERMITTING REVIEW.
2	
3	
4	
5	

**HIT.**  
Photovoltaic Module

**Panasonic**

**N325K / N320K**

Panasonic's unique heterojunction technology uses ultra-thin amorphous silicon layers. These thin dual layers reduce losses, resulting in higher energy output than conventional panels.



These amorphous silicon layers reduce the recombination of electrons to minimum level.



Panasonic HIT® Black is the brand new all-black module which features high efficiency 19.4%, industry leading temperature coefficient of -0.258%/°C and a sleek design. Powerful and aesthetically designed to make your roof look great.



**Our competitive advantages**



**High Efficiency at High Temperatures**  
As temperature increases, HIT® continues to perform at high levels due to the industry leading temperature coefficient of -0.258%/°C. No other module even comes close to our temperature characteristics. That means more energy throughout the day.



**25 Year Product and Performance Warranty\*\***  
Industry leading 25 year product workmanship and performance warranty is backed by a century old company- Panasonic. Power output is guaranteed to 90.76% after 25 years, far greater than other companies.



**Quality and Reliability**  
Panasonic's vertical integration, 21 years of experience manufacturing HIT® and 20 internal tests beyond those mandated by current standards provides extreme quality assurance.



**Higher Efficiency 19.4%**  
Enables higher power output and greater energy yields. HIT® provides maximum production for your limited roof space.



**Low Degradation**  
HIT "N-type" cells result in extremely Low Light Induced Degradation (LID) and zero Potential Induced Degradation (PID) which supports reliability and longevity. This technology reduces annual degradation to 0.26% compare to 0.70% in conventional panels, guaranteeing more power for the long haul.



**Enhanced Frame Design**  
A new 40mm frame increases durability and strength, being able to handle loads of up to 5400Pa. Also, the water drainage system gives rain water and snow melt a place to go, reducing water stains and soiling. Less dirt on the module means more sunlight getting through to generate power.

HIT® is a registered trademark of Panasonic Group

**HIT.**  
Photovoltaic Module

**Panasonic**

**N325K / N320K**

**ELECTRICAL SPECIFICATIONS**

Model	VBHN325KA03	VBHN320KA03
Rated Power (Pmax)	325W	320W
Maximum Power Voltage (Vmp)	59.2V	58.7V
Maximum Power Current (Imp)	5.50A	5.46A
Open Circuit Voltage (Voc)	70.9V	70.5V
Short Circuit Current (Isc)	5.94A	5.89A
Temperature Coefficient (Pmax)	-0.258%/°C	-0.258%/°C
Temperature Coefficient (Voc)	-0.17%/°C	-0.16%/°C
Temperature Coefficient (Isc)	3.27mA/°C	3.21mA/°C
NOCT	44.0°C	44.0°C
CEC PTC Rating (Tentative)	302.4	297.6
Cell Efficiency	21.8%	21.5%
Module Efficiency	19.4%	19.1%
Watts per Ft²	18.03W	17.8W
Maximum System Voltage	600V	600V
Series Fuse Rating	15A	15A
Warranted Tolerance (+/-)	+10%/-0%*	+10%/-0%*

**MECHANICAL SPECIFICATIONS**

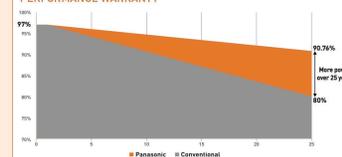
Model	VBHN325KA03, VBHN320KA03
Internal Bypass Diodes	4 Bypass Diodes
Module Area	18.02 Ft² (1.67m²)
Weight	41.89 Lbs (19kg)
Dimensions LxWxH	62.6 x 41.5 x 1.6 (1594x1053x40mm)
Cable Length +Male/-Female	40.2/40.2 in. (1020/1020 mm)
Cable Size / Type	No. 12 AWG / PV Cable
Connector Type <sup>†</sup>	Multi-Contact <sup>†</sup> Type IV (MC4) <sup>†</sup>
Static Wind / Snow Load	112 PSF (5400Pa) <sup>***</sup>
Pallet Dimensions LxWxH	65.3x42.7x48.5 in. (USA) 63.7x42.2x48.4 in. (Malaysia)
Quantity per Pallet / Pallet Weight	24 pcs/1549 Lbs. (674 kg)
Quantity per 40' Container	672 pcs.
Quantity per 20' Container	288 pcs.

**Operating Conditions & Safety Ratings**

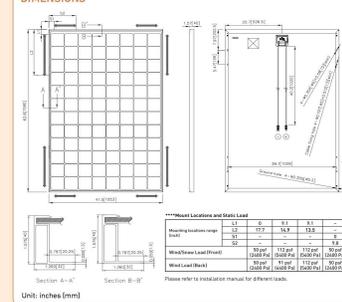
Model	VBHN325KA03, VBHN320KA03
Operating Temperature	-40°F to 185°F (-40°C to 85°C)
Hail Safety Impact Velocity	1" hailstone (25mm) at 52 mph (23m/s)
Safety & Rating Certifications	UL 1703, cUL, Certified by UL LLC, CEC, FSEC, ISO9001
UL 1703 Fire Classification	Type 2
Limited Warranty	25** Yrs Workmanship and Power Output (Linear) <sup>***</sup>
Manufacturing Locations	USA and Malaysia

NOTE: Standard Test Conditions: Air mass 1.5, irradiance = 1000W/m², cell temp. 25°C  
 \*Maximum power at delivery. For guarantee conditions, please check our guarantee document.  
 \*\*Installation needs to be registered through our website: [www.panasonic.com/hitwarranty](http://www.panasonic.com/hitwarranty) within 60 days in order to receive twenty-five (25) year Product workmanship. Otherwise, Product Workmanship will be only fifteen (15) years.  
 \*\*\*1st year: 97%, after 2nd year: 0.26% annual degradation to year 25.  
 †ETC: Cell temp. 25°C, AMB 3, 1000W/m²  
 †Safety locking only (PV-SSM) is not supplied with the module.  
 NOTE: Specifications and information above may change without notice.

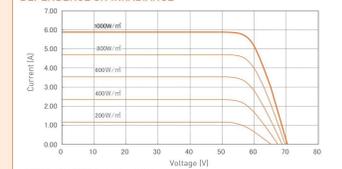
**PERFORMANCE WARRANTY**



**DIMENSIONS**



**DEPENDENCE ON IRRADIANCE**



Reference data for model: VBHN325KA03 (Cell temperature: 25°C)  
 ⚠CAUTION! Please read the installation manual carefully before using the products. Used electrical and electronic products must not be mixed with general household waste. For proper treatment, recovery and recycling of old products, please take them to its applicable collection points in accordance with your national legislation.

**Panasonic**

Panasonic Eco Solutions of North America  
Two Riverfront Plaza, 9th Floor, Newark, NJ 07102  
panasonichit@us.panasonic.com  
na.panasonic.com/us/solarpanels

All Rights Reserved © 2019 COPYRIGHT Panasonic Corporation  
Specifications are subject to change without notice  
092017

RS1747405\_3\_14\_19



**PV MODULE SPECIFICATIONS**

ROOFTOP SOLAR ARRAY  
3.9 KW DC, 7.6 KW AC

OWNER:	ROSENFELD, ERIC	REVISIONS		
		MM/DD/YY	REMARKS	
SITE ADDRESS:	57 QUIDNET RD	1	5/15/2020	SUBMITTED FOR HDIC & PERMITTING REVIEW.
CITY, STATE, ZIP:	NANTUCKET, MA 02554	2		
MAP: 2I	PARCEL: 89	3		
		4		
		5		

PV 04

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 605 PARCEL N°: 13-3  
 Street & Number of Proposed Work: 162 Hummock Pond Rd  
 Owner of record: Cisco Sanctuary LLC  
 Mailing Address: 5 Bartlett Farm Rd  
Nantucket MA 02554  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Gryphon Architects inc  
 Mailing Address: PO Box 325  
02554  
 Contact Phone #: 2282820 E-mail: hello@ag-arc.info

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other: Temporary/Seasonal Pop up Retail Container  
 Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0  
 Height of ridge above final finish grade: North 9'± South 9'± East 9'± West 9'±

#### Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_  
 Original Builder: \_\_\_\_\_

#### REVISIONS\*

1. East Elevation • 8x20 container w/ Bi-fold doors (inside)
2. South Elevation for use as (Covid) Seasonal Curbside
3. West Elevation Pickup/Goods Storage
4. North Elevation • Belgian Block x300SP around perimeter

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front metal clad Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways Belgian Block Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

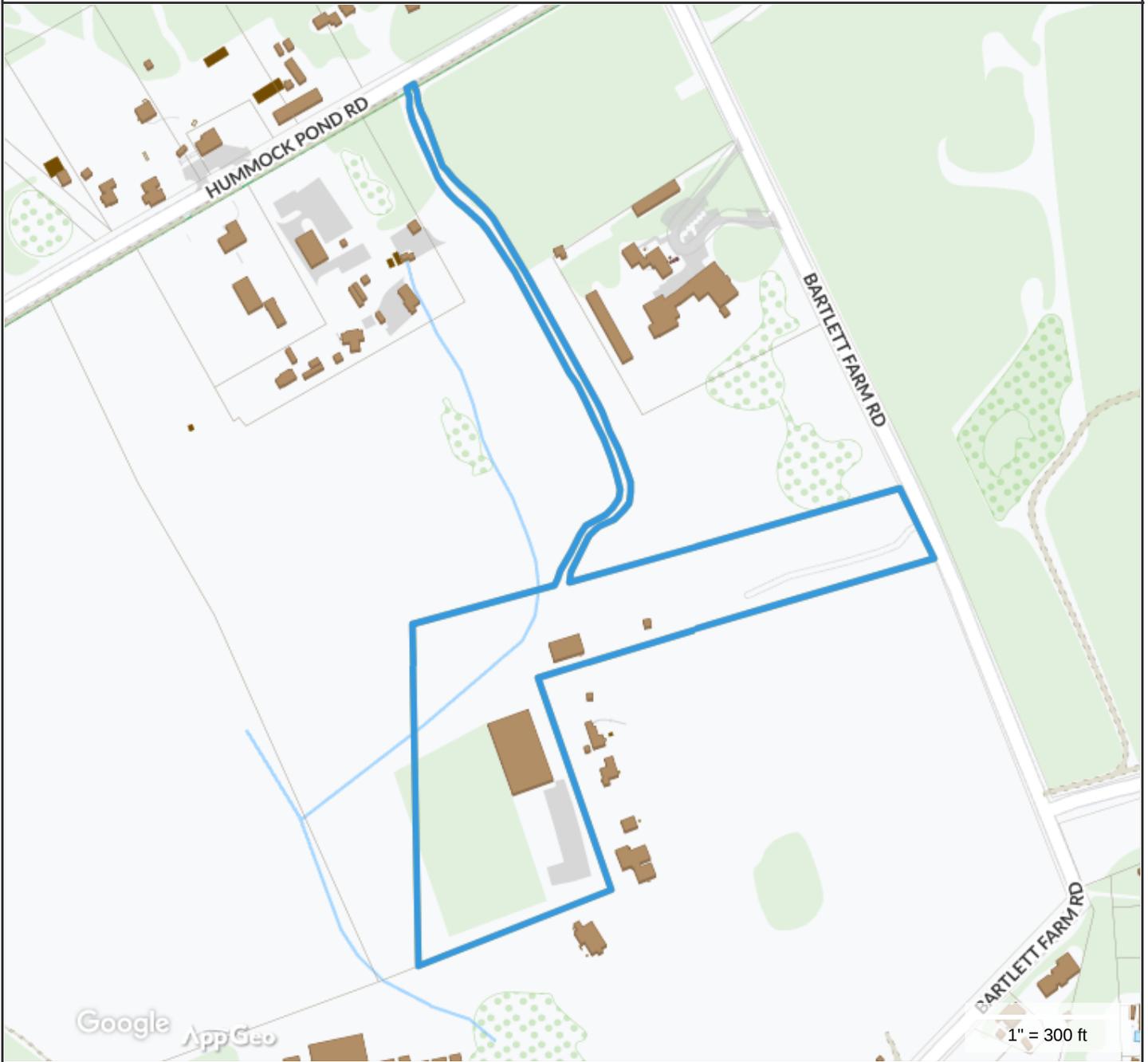
#### COLORS

Sidewall white metal Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
 Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors white metal  
 Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5-20-20 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



**Property Information**

**Property ID** 65 13.3  
**Location** 162 HUMMOCK POND RD  
**Owner** CISCO SANCTUARY LLC



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

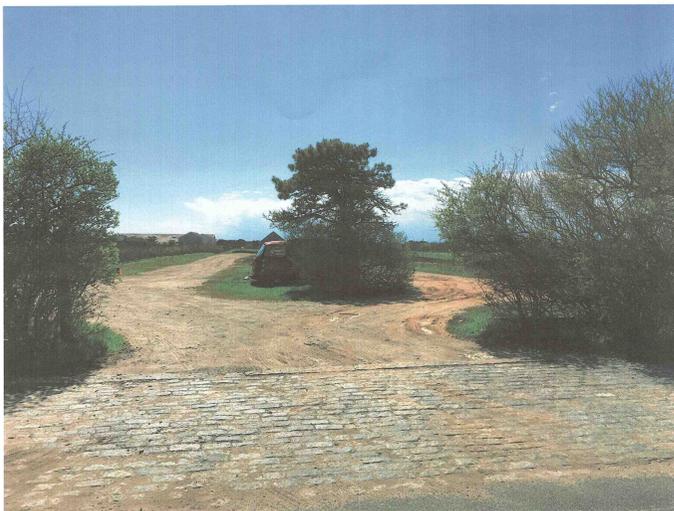
Geometry updated 11/13/2018  
Data updated 11/19/2018

Property Information  
 Property ID: 65.13.3  
 Location: 162 HUMMOCK POND RD  
 Owner: CISCO SANCTUARY LLC

**MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT**  
 Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.  
 Geometry updated: 11/3/2018  
 Data updated: 11/19/2018

1" = 300 ft

Views from Bartlett Farm Road

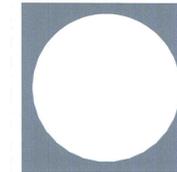


po box 325 nantucket ma 02554  
 508 228 2820 gryphonarchitects.com

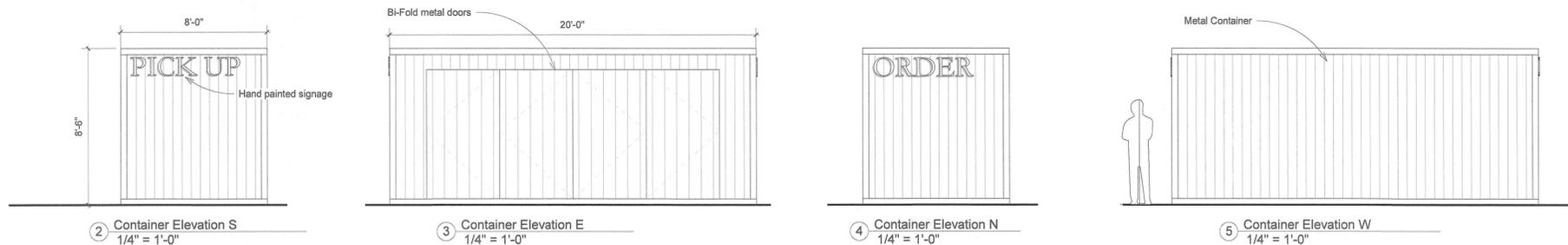
Cisco Sanctuary LLC

Site Plan  
 162 Hummock Pond Road  
 Nantucket MA 02554  
 65 / 13.3

This drawing represents a design intent and concept only. This document and all associated documents are prepared for a specific site and event, and incorporate calculations and measurements available from the client at the time of drafting. The recipient agrees to protect the contents from distribution and dissemination except as required for the specific event named, without the written permission of the designer. The contents of this document are not to be reproduced or copied in whole or part without the written permission of Gryphon Architects Inc. Use of this design is granted to the client for the specified and named event only. Copyright © 2020-05-20 5:03:30 PM



#	Description	Date
1	HDC Sub	2020.05.08
2	HDC Sub	2020.05.20



HDC0



207





REQUIRED WITH ALL APPLICATIONS:

Handwritten signature

1. Completed Application Form: Description of ALL work must be indicated on application form.

Handwritten signature

2. Property Owner's Signature: Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.

Handwritten signature

3. Application Fee: See back of application for fee schedule or call the office.

Handwritten signature

4. Locus Map (4 copies): Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) https://www.nantucket-ma.gov/151/GIS-Maps

Handwritten signature

5. Site Plan (4 Copies): must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and placement of HVAC units, electrical boxes, fuel tanks, etc..

Handwritten signature

6. 8-1/2" x 11" Copies of ALL Application Materials: Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12), collated and stapled.

Handwritten signature

7. Photographs: Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.

Handwritten signature

8. Electronic submission: All documents submitted to the HDC office must be emailed to hdcsubmissions@nantucket-ma.gov.

REQUIRED WHERE APPLICABLE:

Handwritten signature

1. Supplemental Information for Historic Buildings: It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application.

Handwritten signature

2. Exterior Elevations and Floor Plans (4 copies): Must be 1/4-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. All changes from approved or existing design must be clouded on drawing. All material MUST BE LEGIBLE, collated and stapled. Reduced sets should maintain a font size of 12.

Handwritten signature

3. As-Built Plans (1copy): of existing elevations

Handwritten signature

4. Hardscaping Plans (4 copies): To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE, collated and stapled.

Handwritten signature

5. Topographic Map: Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).

Handwritten signature

6. Door and Window Schedule (4 copies): Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.

(initial to indicate read and understand)

7. I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.

Handwritten signature

8. Abutter Notification Materials - Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and Sconset Historic Core where the requirement for new construction is 100 square feet.

Handwritten signature

9. Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc.



ethan griffin RA <ethan@gryphonarchitects.com>

# Online Form Submittal: Waiver of the HDC 10 Day Hearing Requirement

1 message

noreply@civicplus.com <noreply@civicplus.com>  
To: ethan@gryphonarchitects.com

Wed, May 20, 2020 at 8:31 PM

## Waiver of the HDC 10 Day Hearing Requirement

I,

gryphon architects inc

AS AGENT FOR

cisco sanctuary llc

STREET ADDRESS [162 hummock pond road](#)

MAP PARCEL 65 13.3

UNDERSTAND THAT THE 2020.05.20  
ABOVE REFERENCED  
APPLICATION SUBMITTED  
ON

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY: SECTION 8 of the HDC enabling legislation: ... The Commission shall meet within ten (10) days of the receipt of an application for a certificate of appropriateness of permit for removal...

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

NAME INITIALS EBG

DATE 5/20/2020

9. Noreen Salvitz 05-0972 34 Meadow View Drive Roof top solar 56-136 ACK Smart  
 Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
 Alternates Welch  
 Recused None  
 Documentation Architectural elevation plans, site plan, photos, and manufacturer's spec sheet.  
 Representing Tobias Glidden, ACK Smart  
 Public None  
 Concerns (8:10) **Glidden** – Presented project; will reroof in black to match the 24 panels  
**Camp** – If it were on the back she'd have no concerns.  
**Oliver** – Agrees, plus this is a 2-story structure.  
**Coombs** – This is visible from every corner.  
**McLaughlin** – It's fine.  
**Pohl** – Agrees with Ms. Camp and Ms. Oliver; wishes there was more vegetation and the panels fit exactly.  
 Motion **Motion to Hold for revisions. (Camp)**  
 Roll-call Vote Carried 5-0//Oliver-aye; McLaughlin-aye; Coombs-aye; Camp-aye; Certificate #  
 Pohl-aye

10. Richard Travaglione 05-0971 27 Tomahawk Road Roof top solar 69-321 ACK Smart  
 Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
 Alternates Welch  
 Recused None  
 Documentation Architectural elevation plans, site plan, photos, and manufacturer's spec sheet.  
 Representing Tobias Glidden, ACK Smart  
 Public None  
 Concerns (8:16) **Glidden** – Presented project.  
**Oliver** – Suggested moving it all the way to the back, away from Tomahawk.  
**Camp** – Suggested more panels.  
**McLaughlin** – No concerns.  
 Motion **Motion to Approve through staff with the panels moved to the east away from the road. (McLaughlin)**  
 Roll-call Vote Carried 5-0//Oliver-aye; Camp-aye; McLaughlin-aye; Coombs-aye; Certificate # **HDC2020-05-0971**  
 Pohl-aye

11. Michael Young Tr 05-0990 220 Eel Point Road Hardscape 38-36 Julie Jordin  
 Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
 Alternates Welch  
 Recused None  
 Documentation Landscape design plans, site plan, and photos.  
 Representing Julie Jordin, Garden Design Co.  
 Public None  
 Concerns (8:19) **Jordin** – Presented project; elevation at the road is 18, at the house is about 21; she forgot photos.  
**Pohl** – We should view but we also need photos; asked for a cross section east to west for the front terrace and wall.  
**Oliver** – Based on the distance from the road, she has no concerns.  
**Camp** – No real concerns with the proposal but would also like to view.  
**Coombs** – No problems but could agree to more information.  
**McLaughlin** – No comments.  
 Motion **Motion to View and hold for additional information. (Camp)**  
 Roll-call Vote Carried 5-0//Oliver-aye; McLaughlin-aye; Coombs-aye; Camp-aye; Certificate #  
 Pohl-aye

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 38 PARCEL N°: 36  
 Street & Number of Proposed Work: 220 Eel Point Rd.  
 Owner of record: Young Michael F TRST  
 Mailing Address: 800 Andorra Rd.  
Lafayette Hill, PA 19444  
 Contact Phone #: \_\_\_\_\_ E-mail: mfy@mfyoung.com

#### AGENT INFORMATION (if applicable)

Name: Julie Jordin  
 Mailing Address: P.O. Box 3153  
Nantucket, MA 02584  
 Contact Phone #: (508) 560-6611 E-mail: julie@juliejordin.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other Freestanding CT Fieldstone wall  
 Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_ (describe)  
 Original Builder: \_\_\_\_\_  
 Is there an HDC survey form for this building attached?  Yes  N/A  
 \*Cloud on drawings and submit photographs of existing elevations.

#### REVISIONS:

1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation

Deck/Patio Size:  
 (1) 18' x 20'  
 (1) 20' x 22'  
 (1) 10' x 15'  
 (1) 18' x 14'

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
 Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
 Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
 Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
 Leaders (material and size): \_\_\_\_\_  
 Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
 Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
 Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
 Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
 Hardscape materials: Driveways Gravel Walkways \_\_\_\_\_ Walls CT Fieldstone

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
 Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
 Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

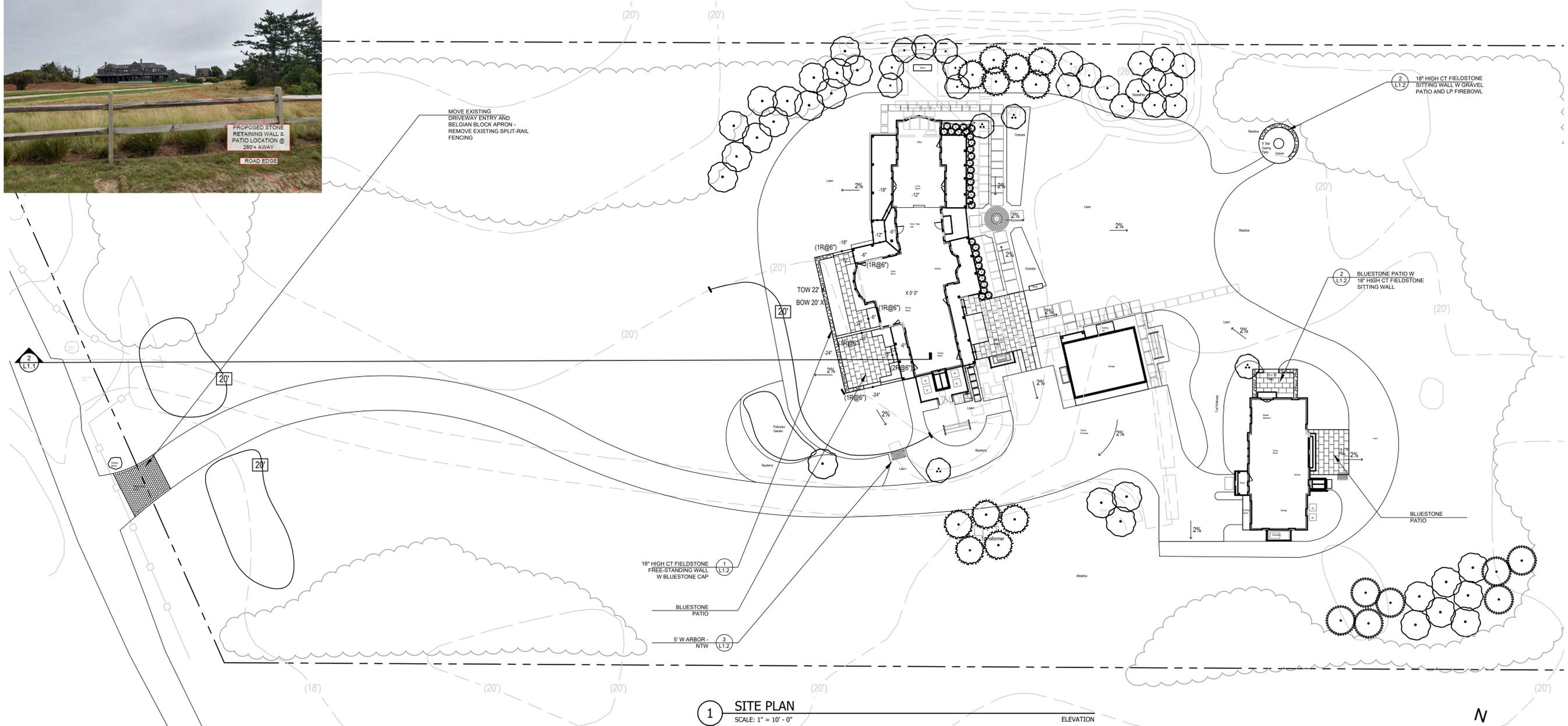
Date 5/14/20

Signature of owner of record \_\_\_\_\_

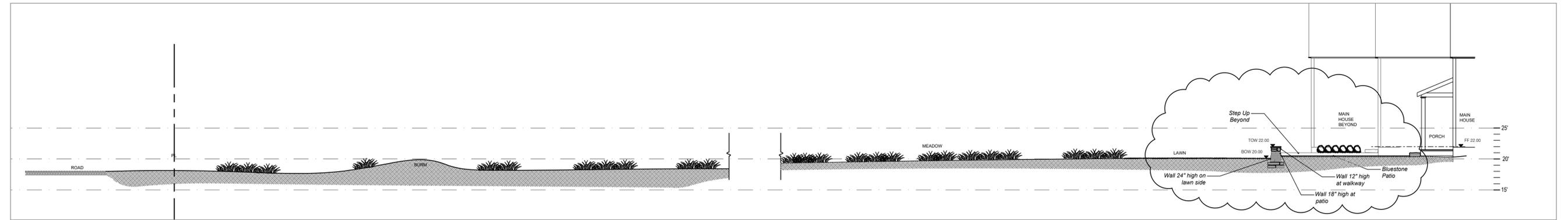
*Julie M Jordin*

Signed under penalties of perjury

VIEW FROM ROAD



1 SITE PLAN  
SCALE: 1" = 10' - 0"



2 SECTION FROM ROAD TO MAIN HOUSE  
SCALE: 1/8" = 1' - 0"

JULIE JORDIN  
THE GARDEN DESIGN COMPANY



SURVEYOR  
Bracken Engineering, Inc.  
508.825.0044  
ARCHITECT  
S.M. Roethlis Design, Inc.  
508.825.7588

GENERAL NOTES  
Drawing are based on plans provided by architects and surveyor. Please notify designer of any discrepancies.

220 Eel Point Rd.  
Nantucket, MA

DATE: 5/28/20  
SCALE: 1" = 10'  
DRAWN BY: Julie Jordn  
MAP/PARCEL: 38 / 36  
ZONING: IUG2  
REVISION:

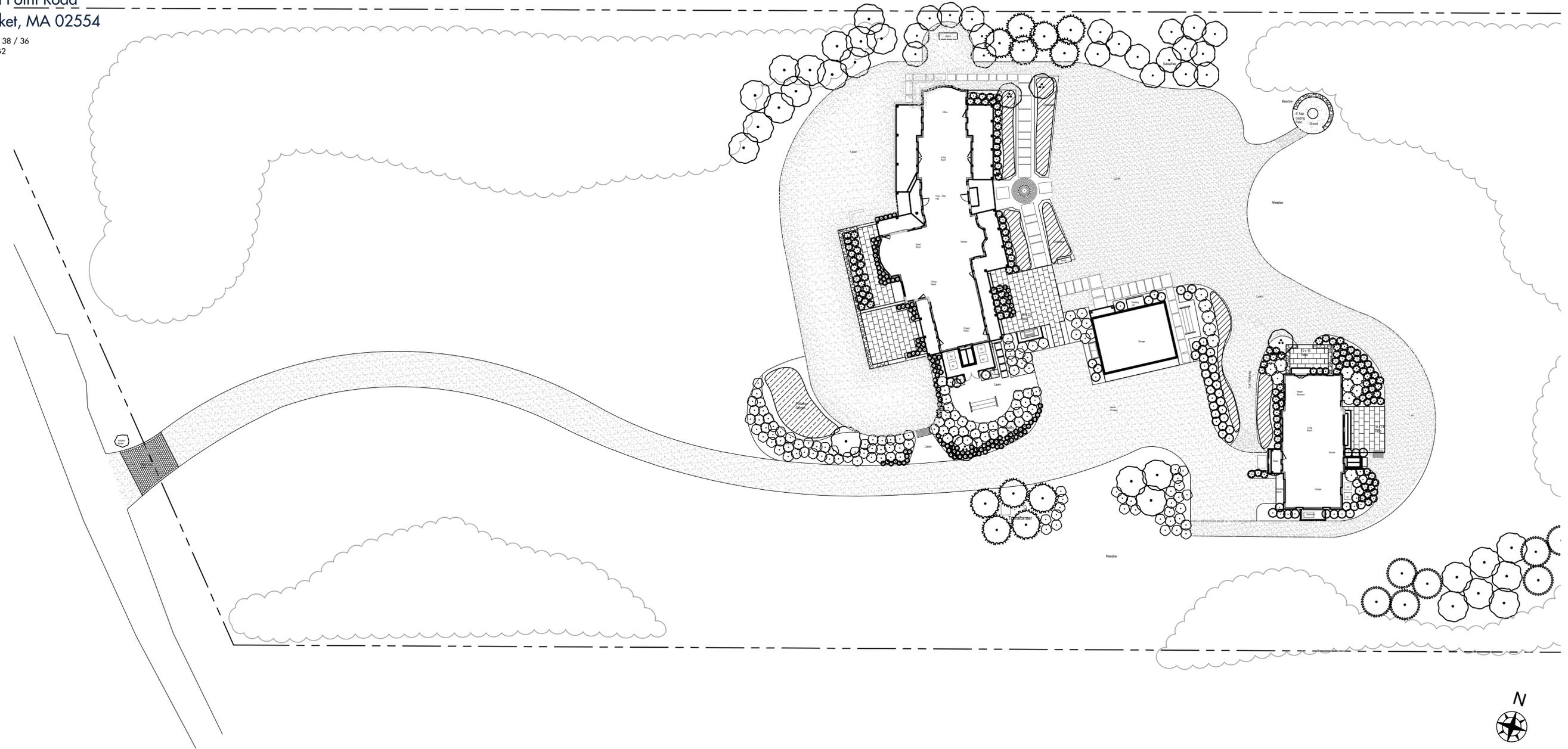
L1.1  
SITE PLAN

P.O. BOX 3153  
NANTUCKET, MA 02583  
508.325.4080  
www.juliejordin.com

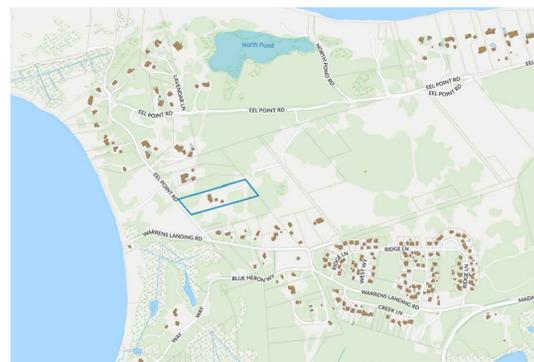
© 2018 The Garden Design Co.

220 Eel Point Road  
Nantucket, MA 02554

MAP/PARCEL: 38 / 36  
ZONING: LUG2

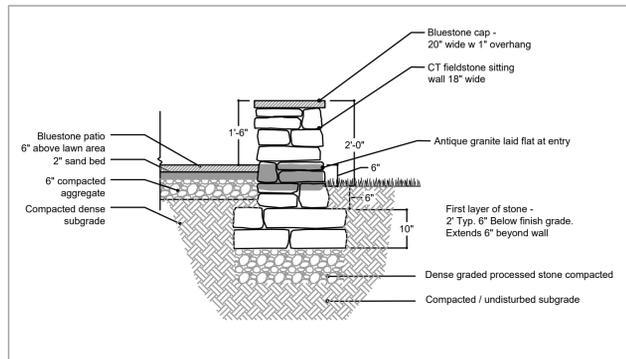


SITE PLAN  
SCALE: 1" = 20'

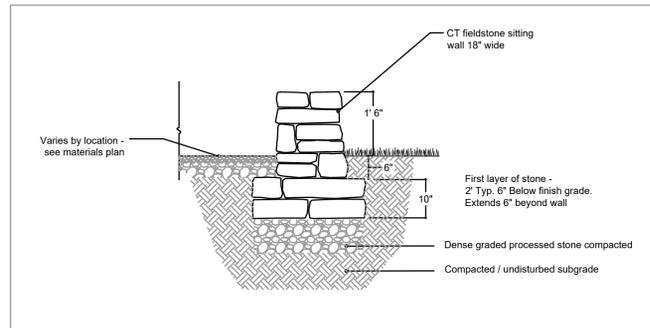


LOCUS MAP





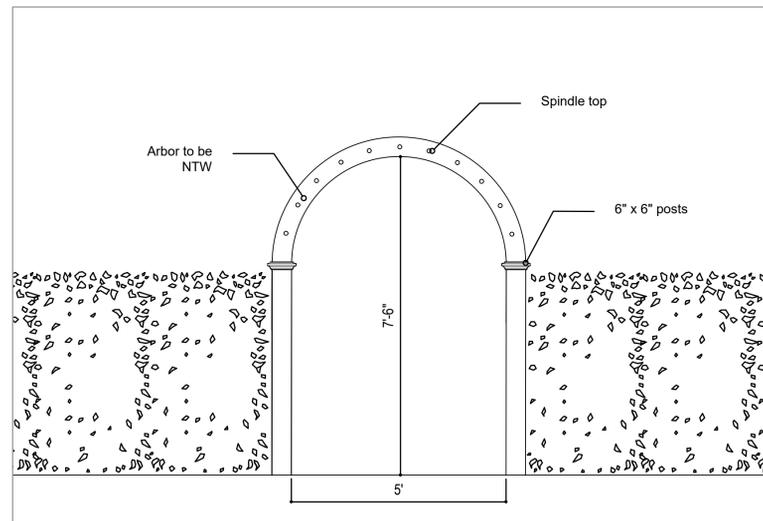
**1 DRY LAID FIELDSTONE WALL W CAP AND GRANITE STEP**  
 SCALE: 1/2" = 1' - 0" SECTION



**2 DRY LAID FREE STANDING FIELDSTONE WALL**  
 SCALE: 1/2" = 1' - 0" SECTION



CT FIELDSTONE WALL



**3 5' WIDE ARBOR - NTW**  
 SCALE: 1/2" = 1' - 0" ELEVATION

