

1. No Meeting Agenda

There is no agenda available for this meeting. Please view the minutes.

1.1. Old Business

Documents:

[78 WAUWINET RD ND- OB SUB FOR 6-30-20.PDF](#)

[92 WASHIINGTON ST- ELEVATION CERT.PDF](#)

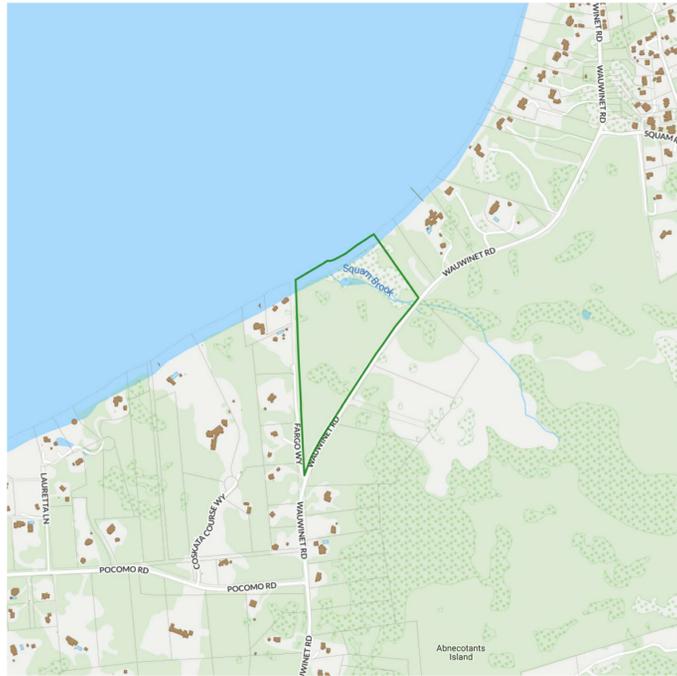
[92 WASHINGTON ST- OB SUB FOR 6-30-20 - FORMALLY FOR 3-17-20.PDF](#)

[23 PINE ST- REV 05-0940-MATL CHG.PDF](#)

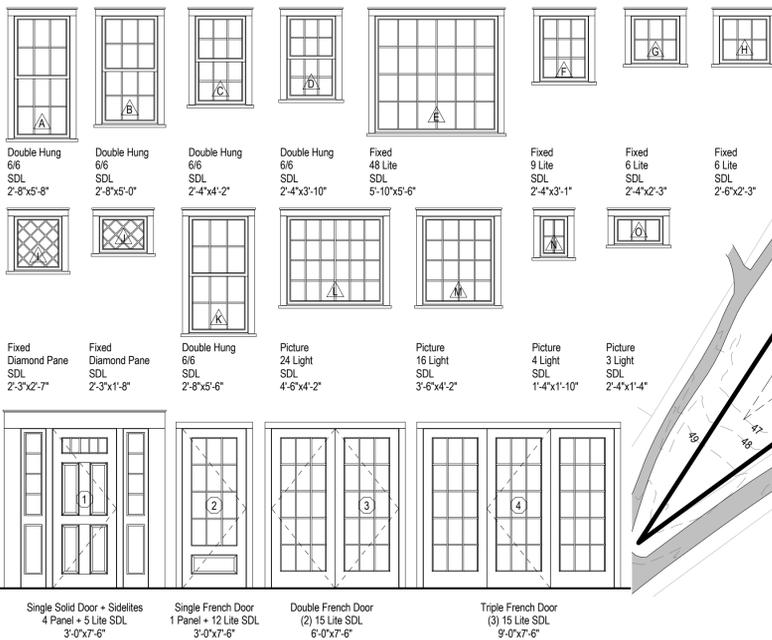
[33 COFFIN ST- OB SUB FOR 6-30-20.PDF](#)

# 78 Wauwinet LLC

78 Wauwinet Road  
Nantucket, MA 02554



## Locus Map



## Window & Door Legend

1/4" = 1'-0"

- WINDOW & DOOR NOTES**
- Windows w/ DP Rating of 30 or Greater Required
  - Refer To Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
  - Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
  - General Contractor To Verify All Egress Windows Have @ Least 20" x 24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
  - General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per HERS Calculation
  - Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
  - Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
  - The Unit Measurements Given In This Document Are For A Guide Only



**1942**  
78 Wauwinet LLC  
78 Wauwinet Road  
Nantucket, MA 02554



## Cover Sheet

## Site Information

Map & Parcel:	14 / 18
Current Zoning:	LUG-3
Minimum Frontage:	200'
Front Setback:	35'
Side/Rear Setback:	20'
Lot Size:	1,092,874 SF
Min. Lot Size:	120,000 SF
Allowable G.C.:	32,786 SF +/- or 3%
Proposed G.C.:	3,851 SF
Total Proposed G.C.:	-----

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

## SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

## Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.

DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING, WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

**G.1.1**  
**1942**

1942

78 Wauwinet LLC

78 Wauwinet Road  
Nantucket, MA 02554



First Floor Plan

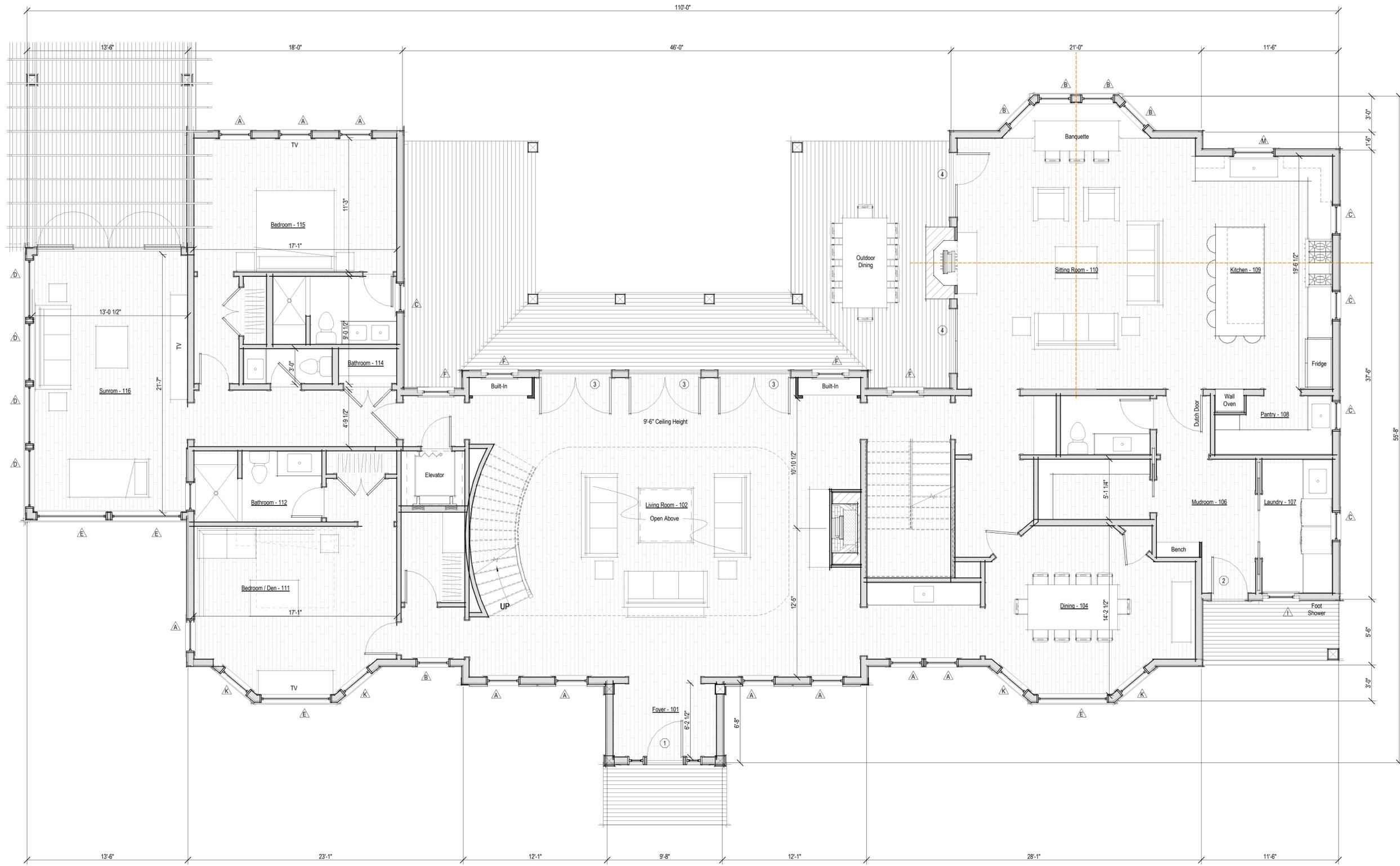
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Map & Parcel:	14 / 18
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- G.1.1 Cover Sheet
- G.1.2 Site Section
- A.1.1 First Floor Plan
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- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations



1 First Floor Plan  
1/4" = 1'-0"

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A.1.1  
1942

# 1942

78 Wauwinet LLC

78 Wauwinet Road  
Nantucket, MA 02554



## Second Floor Plan

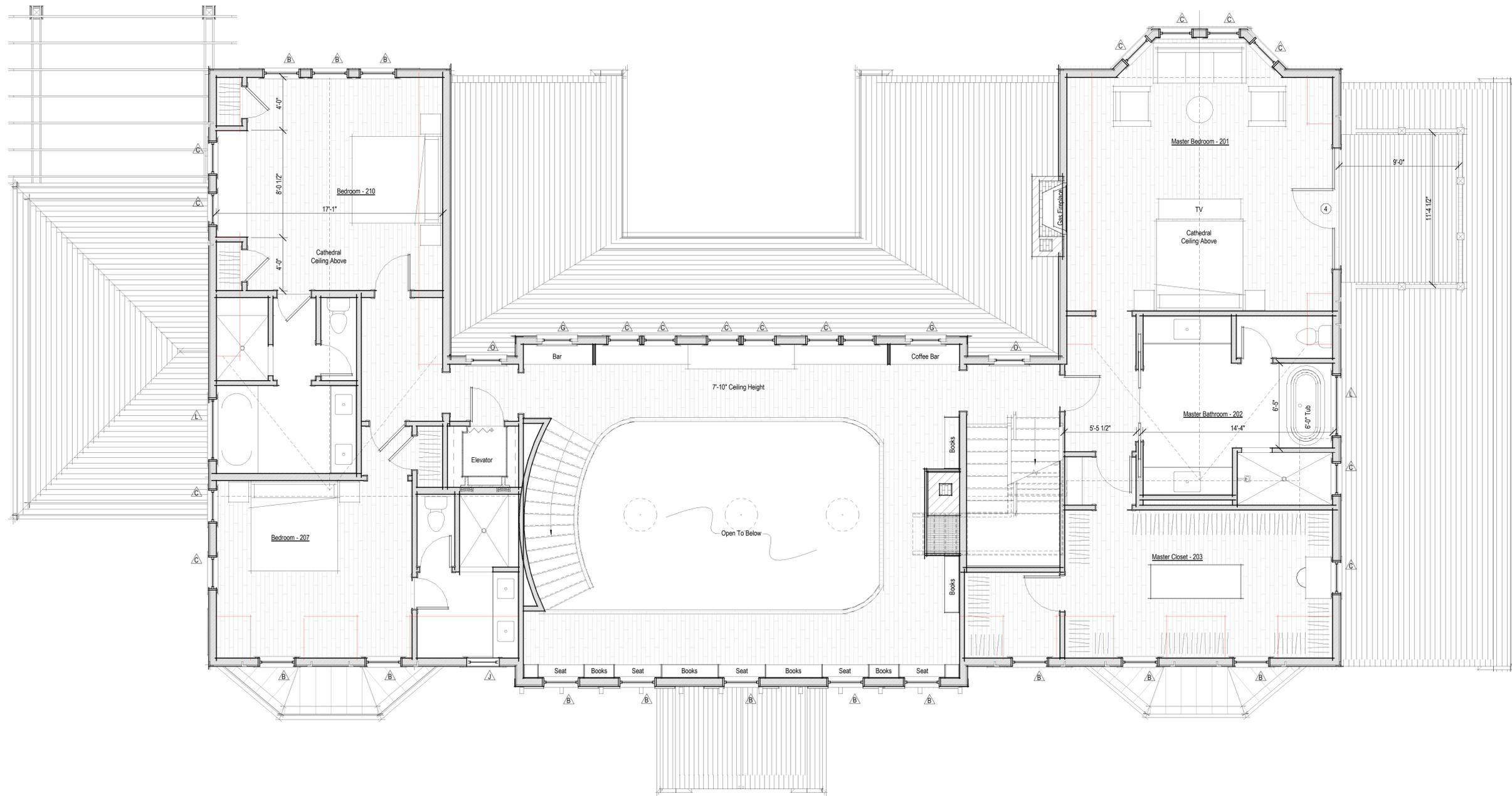
### Site Information

Map & Parcel:	14 / 18
Current Zoning:	LUG-3
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**1** Second Floor Plan  
1/4" = 1'-0"

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**A.1.2**  
**1942**

1942

78 Wauwinet LLC

78 Wauwinet Road  
Nantucket, MA 02554



Exterior Elevations

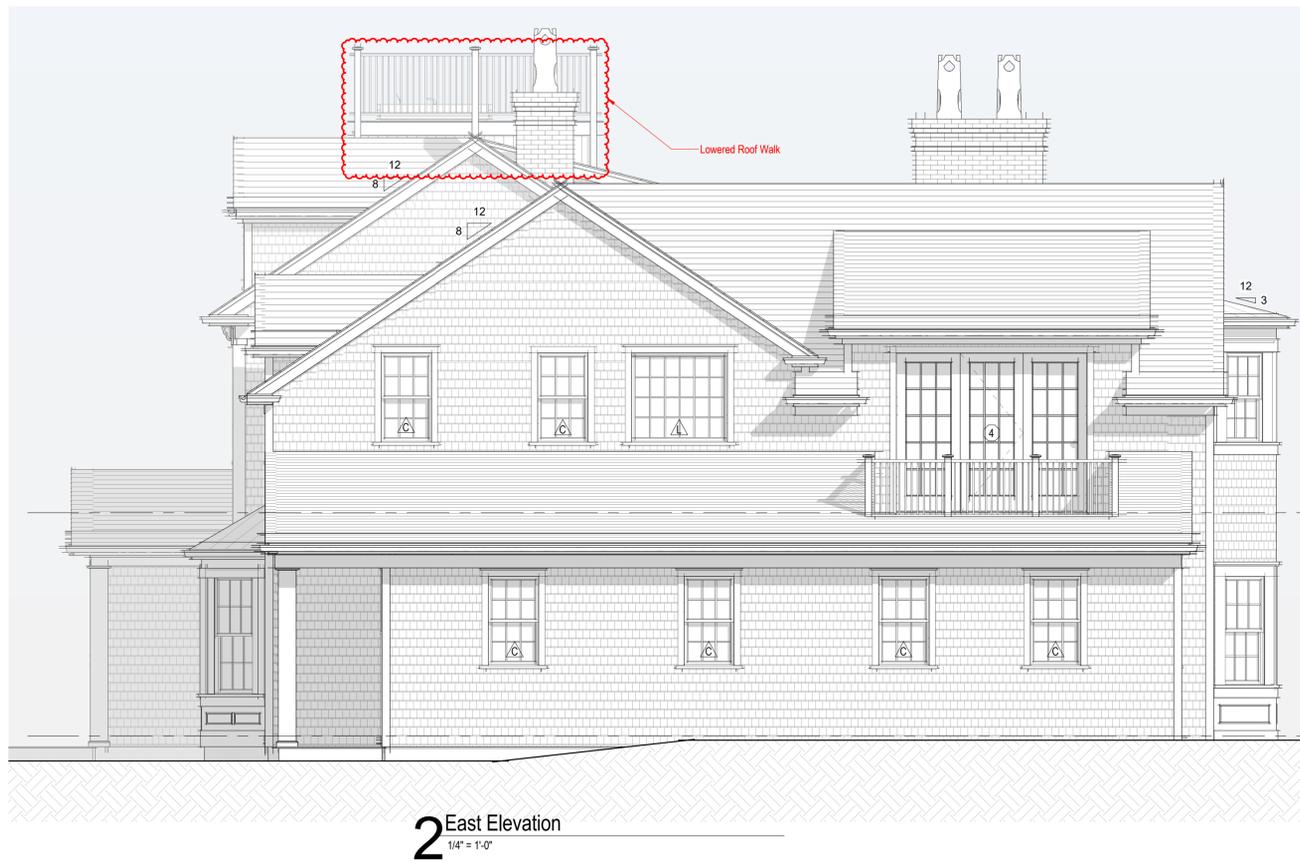
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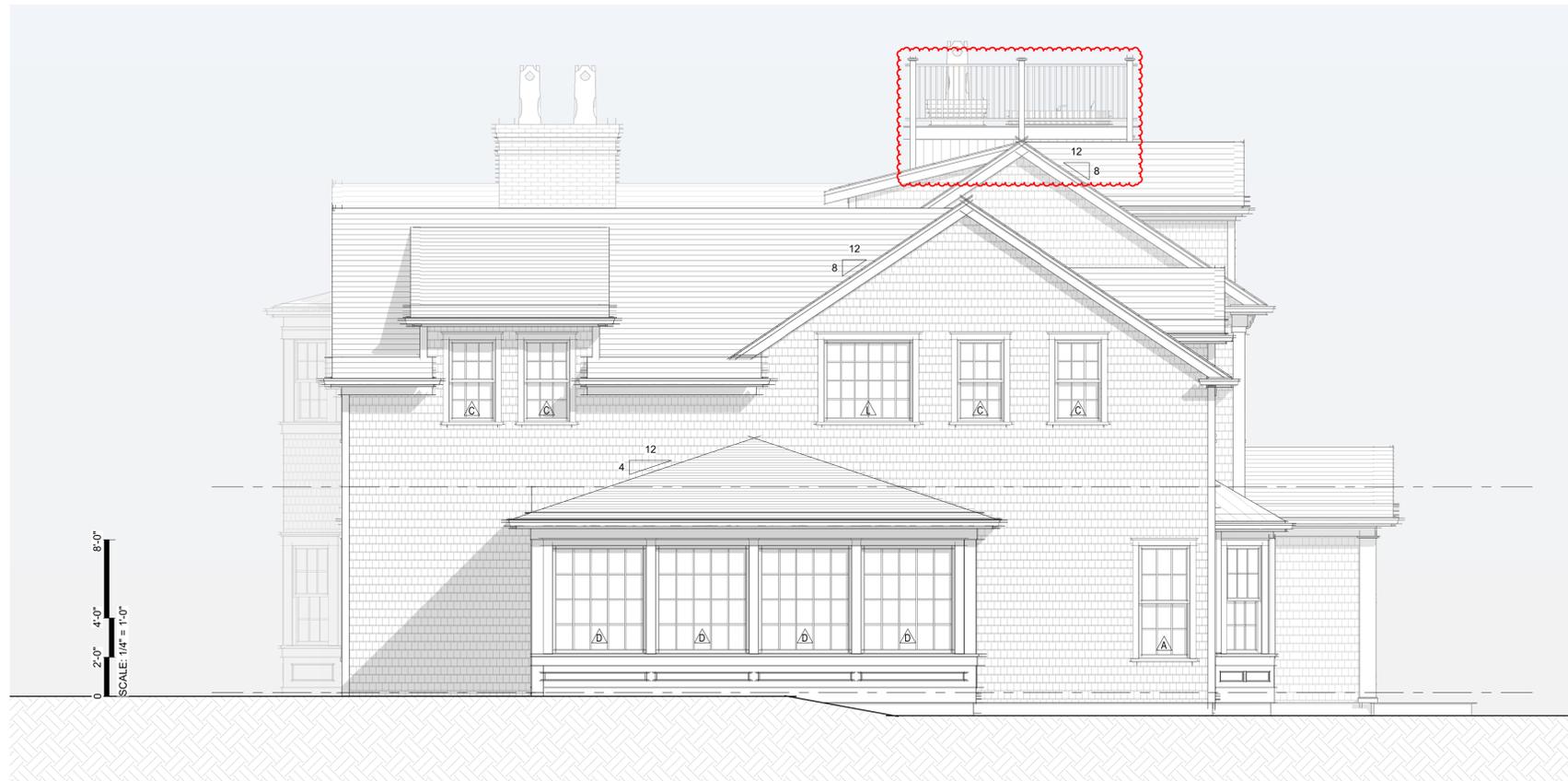
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A.2.1  
1942



**1** North Elevation  
1/4" = 1'-0"



**2** West Elevation  
1/4" = 1'-0"

**1942**

78 Wauwinet LLC

78 Wauwinet Road  
Nantucket, MA 02554



8 Williams Lane Nantucket, MA  
02554  
P. 508.325.6995  
F. 508.325.6990  
www.emeritusedvelopment.com

**Exterior Elevations**

**Site Information**

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**A.2.2**  
**1942**

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

X	HDC case number: (ex HDC2020-xx-xxxx), if applicable HDC2020-06-1065
X	<u>Copy of Minutes</u> (application item circled)
X	<u>Reduced (8 1/2 x 11) copy of application</u>
X	<u>Locus Map</u> : 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) <ul style="list-style-type: none"> <li>Ⓐ Site Plan</li> <li>Ⓑ North Elevation</li> <li>Ⓒ South Elevation</li> <li>Ⓓ East Elevation</li> <li>Ⓔ West Elevation</li> <li>Ⓕ Window/Door Schedule</li> </ul>
X	<u>One set reduced plans</u> : 8 1/2 x 11
X	<u>Electronic Submission</u> : ALL documents <b>MUST BE</b> scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

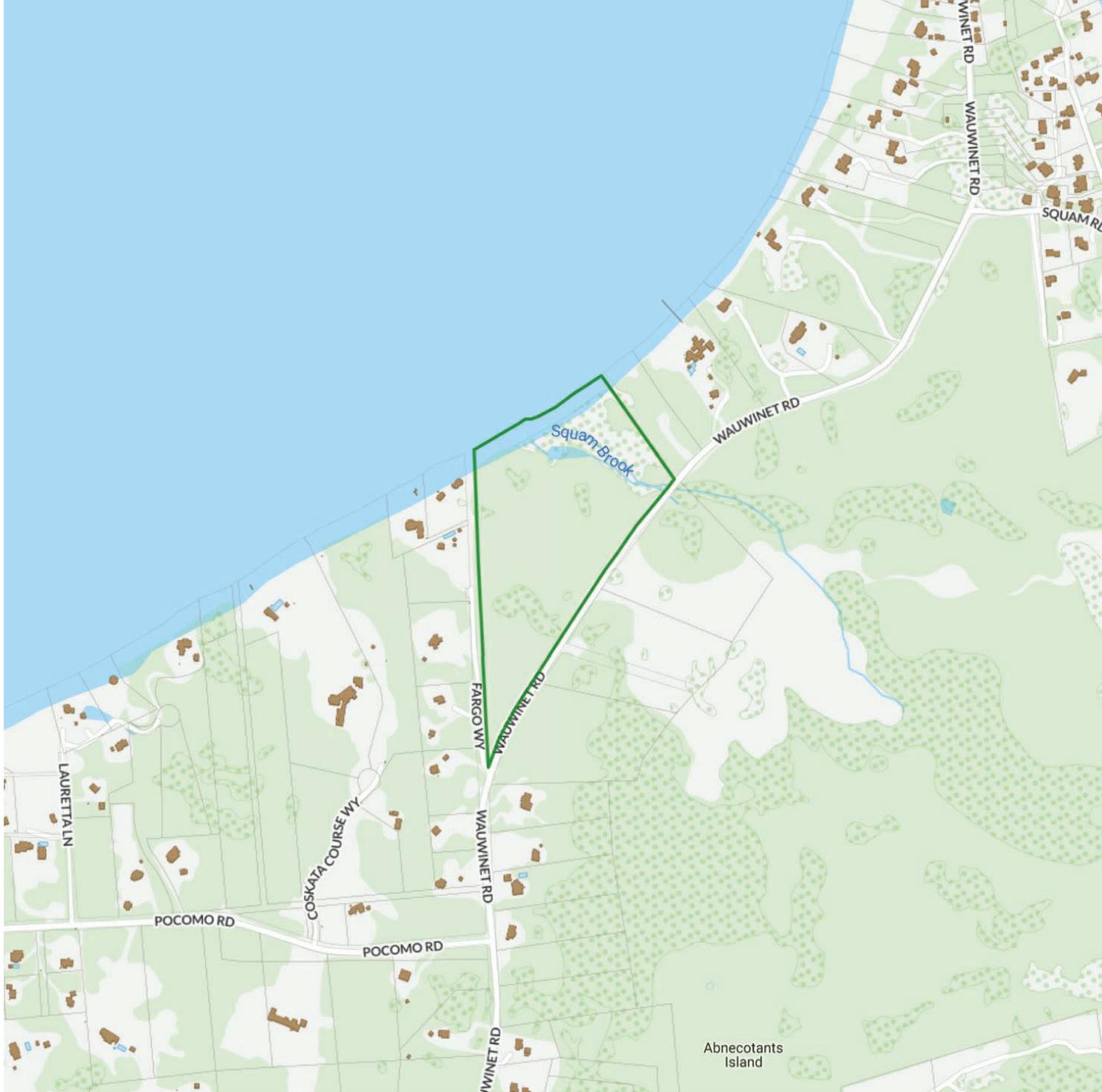
**\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

### **Affidavit Certifying Completeness of Application**

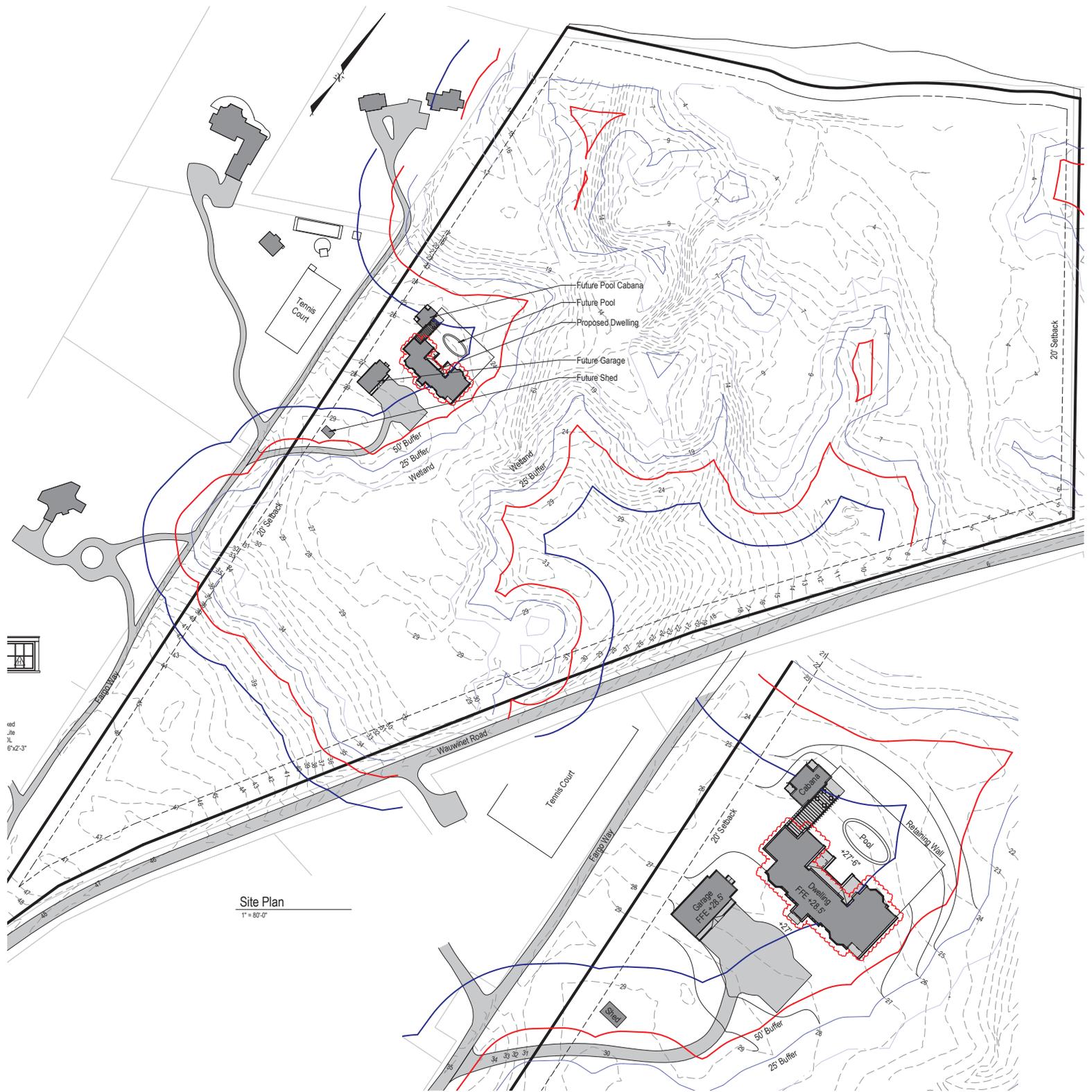
I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: \_\_\_\_\_ Date: 06.18.20

7.	78 Wauwinet LLC 06-1065	78 Wauwinet Road	New dwelling	14-18	Emeritus
Voting	Pohl, Coombs, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (5:26)	<p><b>MacEachern</b> – We put up ridge poles if the commissioners want to ascertain visibility; reviewed context photos and 3D renderings and changes made per previous concerns.</p> <p><b>Oliver</b> – Asked what part of the house the height pole represent in the photo from Fargo – west 27-foot ridge. The roof and 3<sup>rd</sup>-floor dormers will be visible.</p> <p><b>Coombs</b> – If the roof walk were lowered, the skirt would be smaller; currently the skirt takes up half the roof and sits on the dormers. The panel shutters don't fit with this style of house; they should be louvered. The house is 110 feet long; suggested bringing in the south elevation, right-side wall to reduce the length. If this family owned the property for 40 years, she doesn't understand why they need a viewing platform on the property.</p> <p><b>Camp</b> – She shares the concern about the height. The main mass is overwhelmed by the right side but we're being told it won't be visible; we've been burnt a couple of times by brush cutting; if this is cleared to Fargo Way; it will stick out.</p> <p><b>Welch</b> – Asked about the frieze area on the South elevation. He agrees with comments made. To the extent this is visible, the Fargo view indicates the left section is 61 feet plus from the road; the main mass ridge would be only about 20 feet from the shown height pole. He wants to see a topographical site plan showing the neighbor's tennis court; it looks like the driveway will be at elevation 22 feet with the house stepped up a foot putting the top of floor around 23'6". The elevation at the house then drops to 10 feet at the ocean; feels that side of the house will be seen, especially without jurisdiction over clear cutting. We should be viewing retainage in connection with the house application.</p> <p><b>Pohl</b> – Other houses in the neighborhood are 2-stories with no 3<sup>rd</sup>-floor dormers; he feels everything above the 2<sup>nd</sup>-floor eave will be visible and it is all white. The skirt board on the roof walk traditionally would sit on the ridge; here it is 1-foot above the ridge, apparently for head room underneath. The skirt board should be 1-foot lower, which would lower the roof walk 1 foot. If this owner wants to clear cut to Fargo Way, we have no recourse to stop them; in his opinion, that makes the massing "fair game." The elevations show a flat site when there appears to be a 6-foot grade change over the footprint; he'd like to see an existing topo with the proposed topo to see ascertain how a flat site would be achieved. It's the ConCom who have enforcement power if cutting encroaches into the resource area no-disturb buffers.</p>				
Motion	<p><b>Motion to Hold for revisions and additional information to include a topographical map showing existing with overlay of proposed and indications of the neighbors to the northwest and a cross section through the southwest showing retainage. (Welch)</b></p>				
Roll-call Vote	Carried 5-0//Oliver, Camp, Coombs, Welch, and Pohl-aye.			Certificate #	
8.	Eric Rosenfeld 05-0974	57 Quidnet Road	Roof top solar	21-89	ACK Smart
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver				
Alternates	Welch				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, manufacturer spec sheet, and solar array guidelines.				
Representing	Tobias Glidden, ACK Smart				
Public	None				
Concerns (6:27)	<p><b>Glidden</b> – Reviewed photos and changes made per previous concerns; feels the arrays won't be visible; they stand about 4" off the roof; panels are 3X5. He's willing to eliminate the three upper panels.</p> <p><b>Oliver</b> – The array can be seen from all four sides; the 3 panels on upper south elevation will be seen obliquely. There is a shed close to the house; suggested putting the upper-left 3 panels on the shed - the hedge and building shade the shed. This is a wood roof. There appears to be space to add 1 more panel to the lower array.</p> <p><b>Coombs</b> – She believes the south elevation panels will be visible; we've set solar-panel guidelines, which we aren't following. She'd be willing to try out arrays on the lower roof but not the upper roof. In the future we need to stick to the guidelines better.</p> <p><b>McLaughlin</b> – Wants to ensure there is no silver on the arrays. Feels the south elevation left array will be visible.</p> <p><b>Camp</b> – She's okay with the south lower set; her concern is the three on the upper left. Would like dimensions. She'd be okay with the lower array as long as the south-side hedge remains in place. Quidnet is the most pristine part of Nantucket; wants to keep it looking that way.</p> <p><b>Pohl</b> – This was held for a view; the drawing makes it look like the panels will stand about 8" off the roof. Suggested a mock-up of the three panels that we could view or photos to look at. A modified approval doesn't preclude coming back for the other three panels.</p>				
Motion	<p><b>Motion to Approve the lower 6 panels not to be visible at time of inspection and thereafter but through staff not the upper 3 panels at this time. (Oliver)</b></p>				
Roll-call Vote	Carried 5-0//Camp, Coombs, McLaughlin, Oliver, and Pohl-aye			Certificate #	HDC2020-05-0974



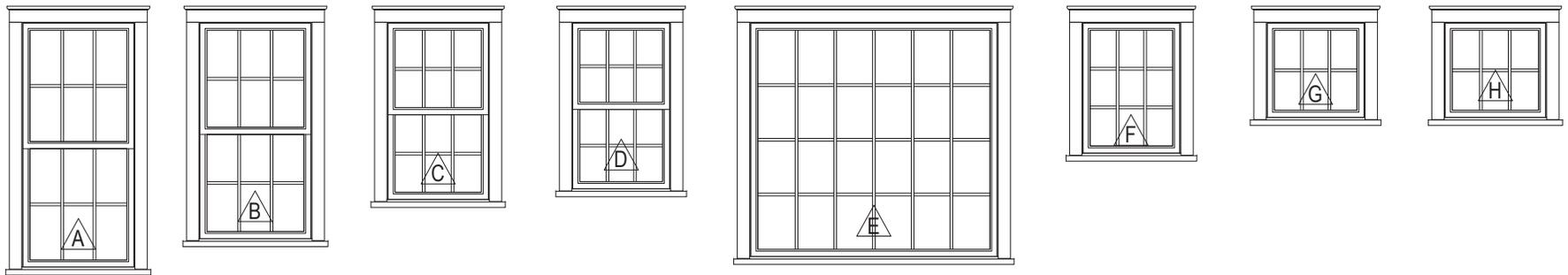
Locus Map



ed  
 site  
 JL  
 6"x2'-3"

Site Plan  
 1" = 80'-0"

Enlarge Site Plan



Double Hung  
6/6  
SDL  
2'-8"x5'-8"

Double Hung  
6/6  
SDL  
2'-8"x5'-0"

Double Hung  
6/6  
SDL  
2'-4"x4'-2"

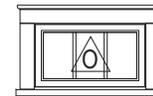
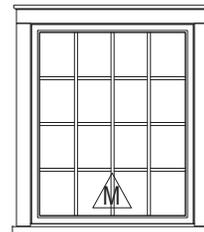
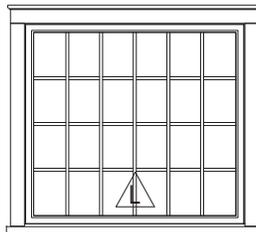
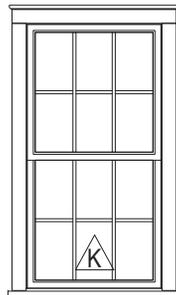
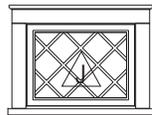
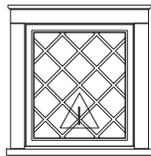
Double Hung  
6/6  
SDL  
2'-4"x3'-10"

Fixed  
48 Lite  
SDL  
5'-10"x5'-6"

Fixed  
9 Lite  
SDL  
2'-4"x3'-1"

Fixed  
6 Lite  
SDL  
2'-4"x2'-3"

Fixed  
6 Lite  
SDL  
2'-6"x2'-3"



Fixed  
Diamond Pane  
SDL  
2'-3"x2'-7"

Fixed  
Diamond Pane  
SDL  
2'-3"x1'-8"

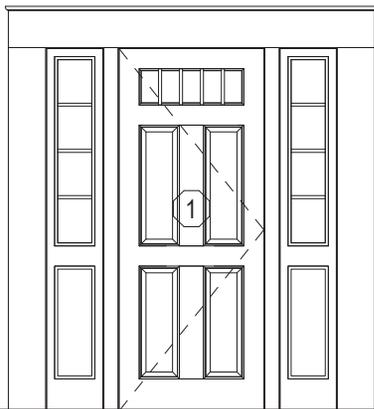
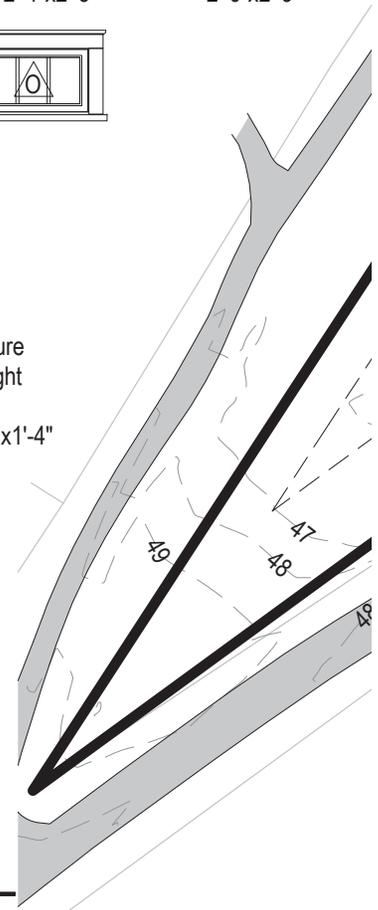
Double Hung  
6/6  
SDL  
2'-8"x5'-6"

Picture  
24 Light  
SDL  
4'-6"x4'-2"

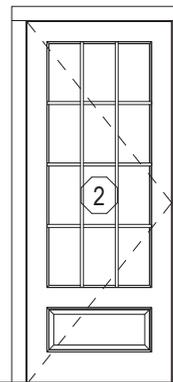
Picture  
16 Light  
SDL  
3'-6"x4'-2"

Picture  
4 Light  
SDL  
1'-4"x1'-10"

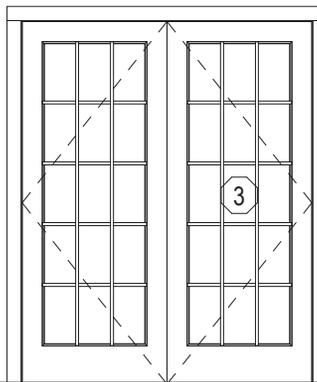
Picture  
3 Light  
SDL  
2'-4"x1'-4"



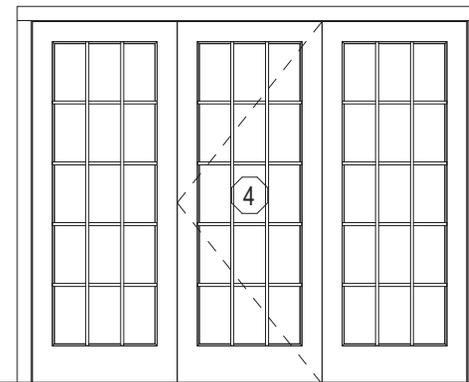
Single Solid Door + Sidelites  
4 Panel + 5 Lite SDL  
3'-0"x7'-6"



Single French Door  
1 Panel + 12 Lite SDL  
3'-0"x7'-6"



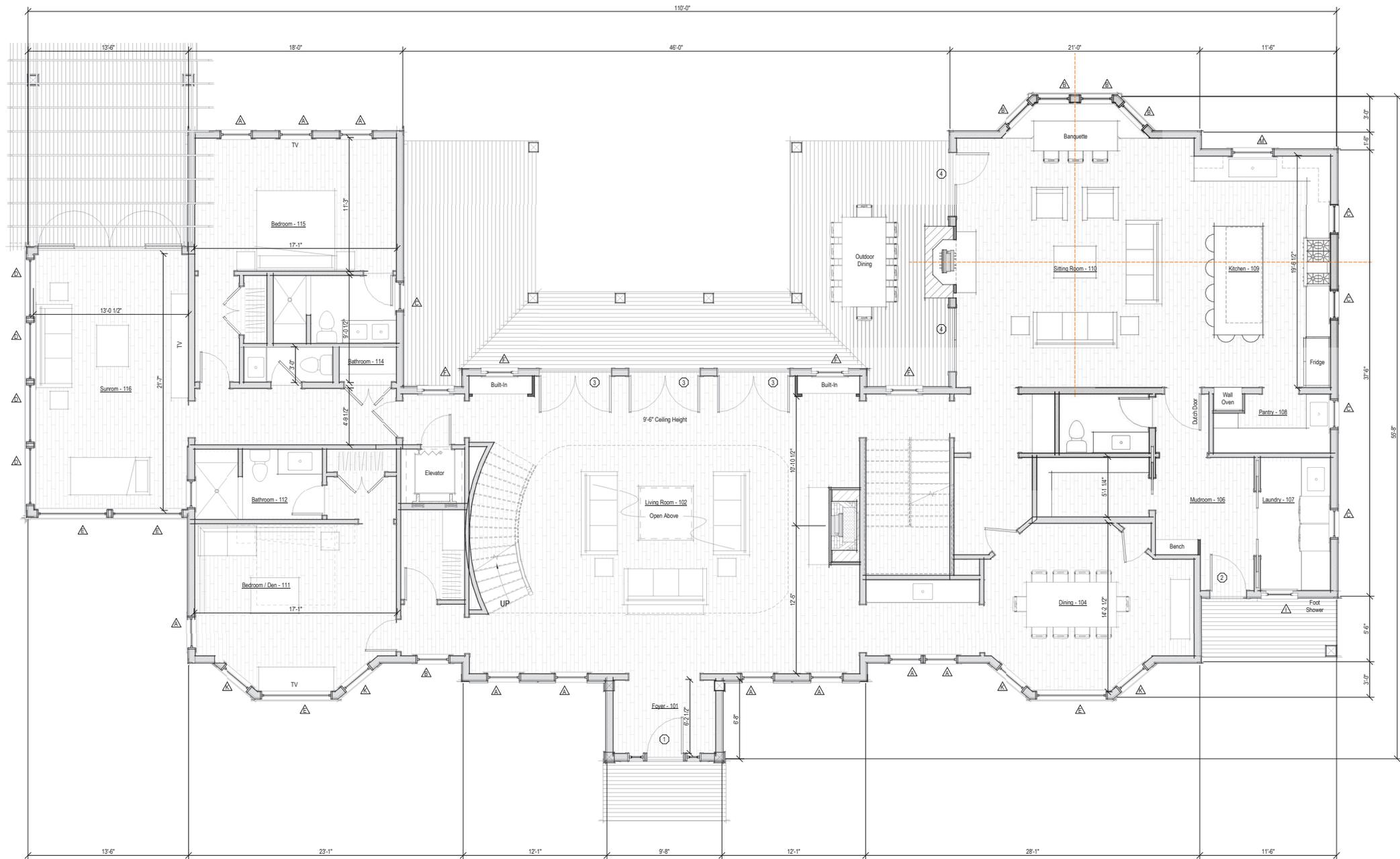
Double French Door  
(2) 15 Lite SDL  
6'-0"x7'-6"



Triple French Door  
(3) 15 Lite SDL  
9'-0"x7'-6"

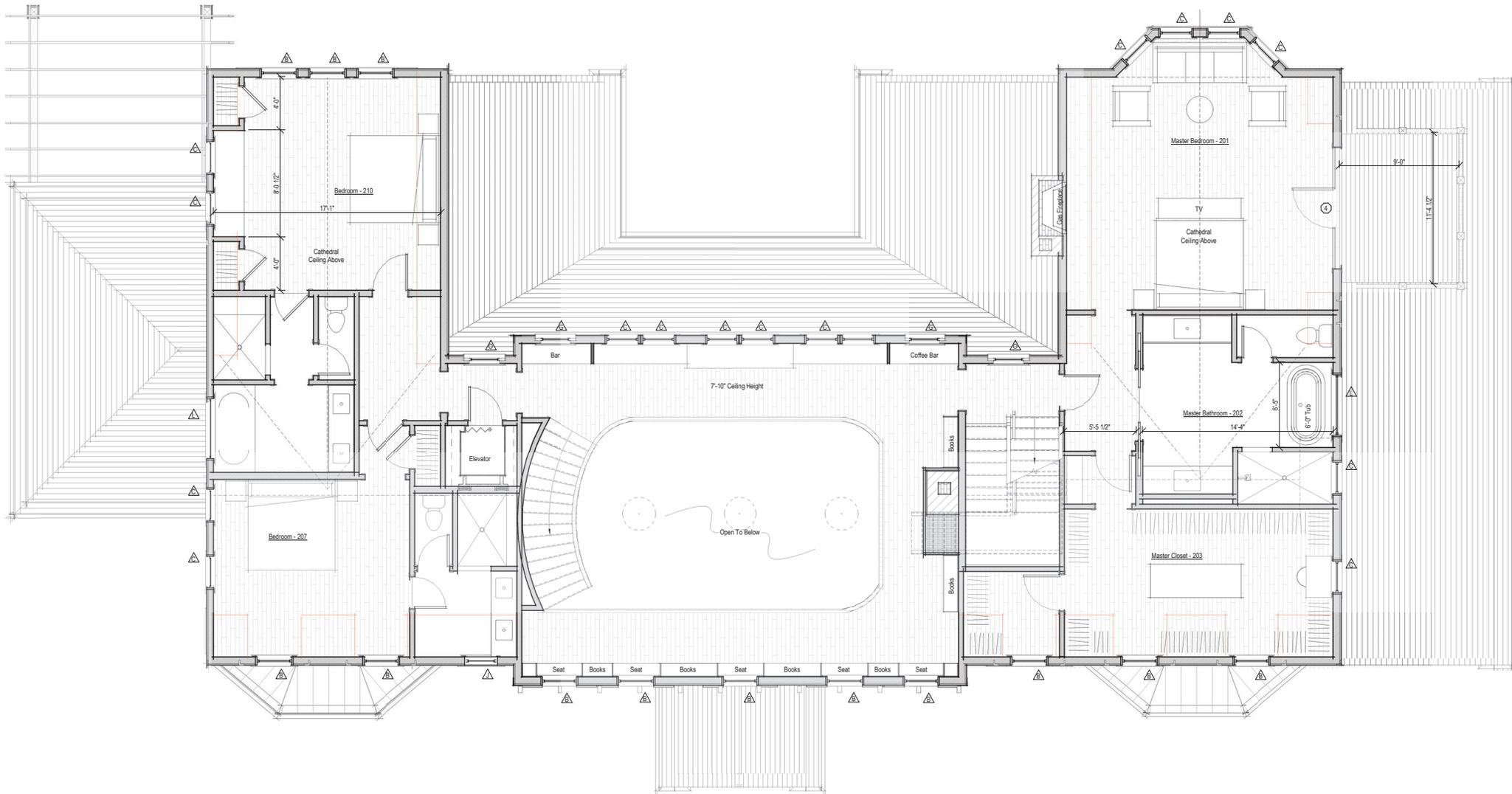
# Window & Door Legend

1/4" = 1'-0"

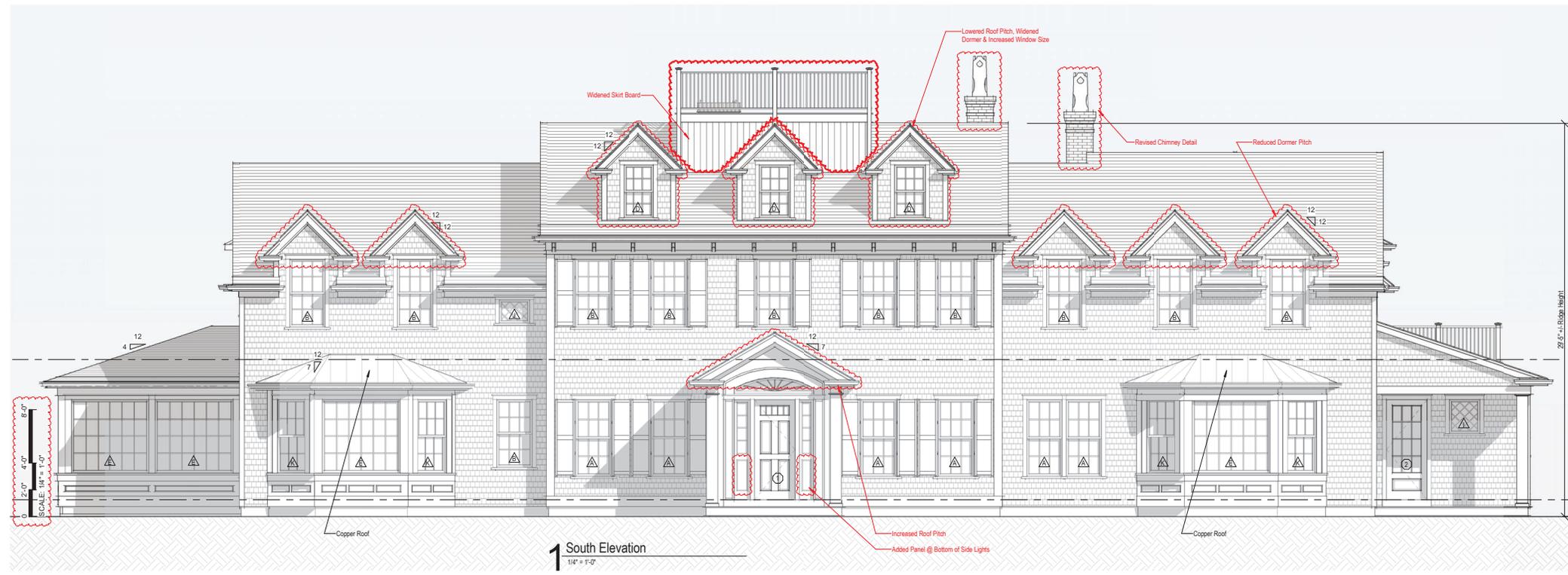


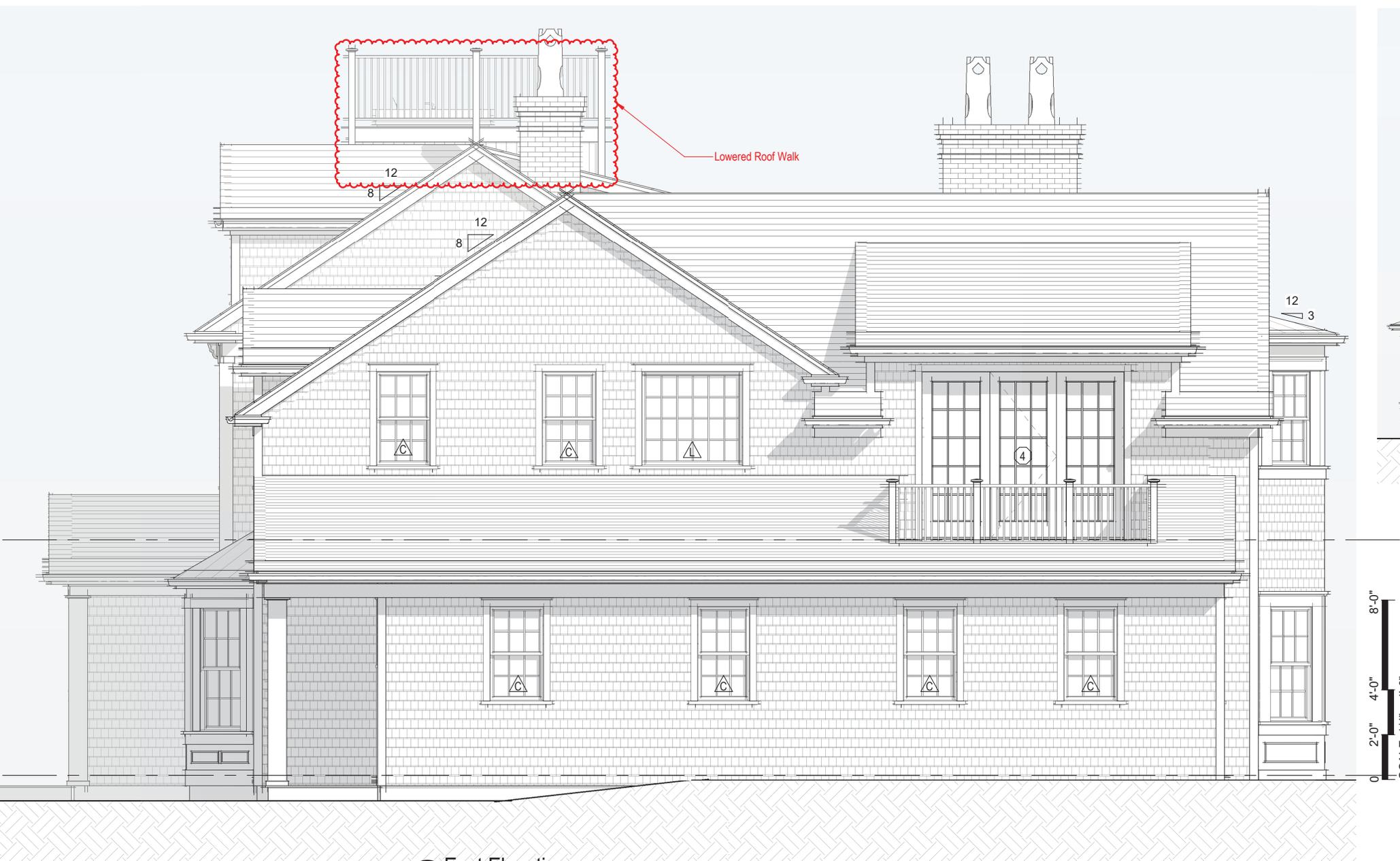
**1 First Floor Plan**

1/4" = 1'-0"



**1** Second Floor Plan  
 1/4" = 1'-0"





**2** East Elevation  
1/4" = 1'-0"

8'-0"  
4'-0"  
2'-0"  
0  
SCALE: 1/4" = 1'-0"



1 North Elevation  
1/4" = 1'-0"

8'-0"  
4'-0"  
2'-0"  
0  
SCALE: 1/4" = 1'-0"



**2** West Elevation  
1/4" = 1'-0"

# ELEVATION CERTIFICATE

**Important:** Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A – PROPERTY INFORMATION					FOR INSURANCE COMPANY USE
A1. Building Owner's Name GREAT STATE PROPERTIES, LLC				Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 92 WASHINGTON STREET EXTENSION				Company NAIC Number:	
City NANTUCKET		State Massachusetts		ZIP Code 02554	
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) TAX MAP: 42.2.3, PARCEL: 22					
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>					
A5. Latitude/Longitude: Lat. <u>41-16-46.45</u> Long. <u>70-05-31.34</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983					
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.					
A7. Building Diagram Number <u>5</u>					
A8. For a building with a crawlspace or enclosure(s):					
a) Square footage of crawlspace or enclosure(s) <u>1650.00</u> sq ft					
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>24</u>					
c) Total net area of flood openings in A8.b <u>66384.00</u> sq in					
d) Engineered flood openings? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No					
A9. For a building with an attached garage:					
a) Square footage of attached garage _____ sq ft					
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade _____					
c) Total net area of flood openings in A9.b _____ sq in					
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No					
SECTION B – FLOOD INSURANCE RATE MAP (FIRM) INFORMATION					
B1. NFIP Community Name & Community Number NANTUCKET & 250230			B2. County Name NANTUCKET		B3. State Massachusetts
B4. Map/Panel Number 25019C0089G	B5. Suffix	B6. FIRM Index Date 06-09-2014	B7. FIRM Panel Effective/ Revised Date 06-09-2014	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 9'
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____					
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____					
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA					

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 92 WASHINGTON STREET EXTENSION			Policy Number:
City NANTUCKET	State Massachusetts	ZIP Code 02554	Company NAIC Number

## SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)

C1. Building elevations are based on:  Construction Drawings\*  Building Under Construction\*  Finished Construction  
 \*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.  
 Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.  
 Benchmark Utilized: GPS ESTABLISHED Vertical Datum: NAVD 88

Indicate elevation datum used for the elevations in items a) through h) below.

NGVD 1929  NAVD 1988  Other/Source: \_\_\_\_\_

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- |   |      |  |                                 |
|---|------|--|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor)   | 10.2 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor   | 20.2 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only)   |      | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| d) Attached garage (top of slab)  |      | <input type="checkbox"/> feet            | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building<br>(Describe type of equipment and location in Comments) | 10.2 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG)  | 4.2  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG)   | 4.8  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support                                  | 4.4  | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |

## SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor?  Yes  No  Check here if attachments.

Certifier's Name LEO C. ASADOORIAN		License Number 33930	
Title PROFESSIONAL LAND SURVEYOR			
Company Name BLACKWELL & ASSOCIATES, INC.			
Address 20 TEASDALE CIRCLE			
City NANTUCKET	State Massachusetts	ZIP Code 02554	



Signature <i>Leo C. Asadorian</i>	Date 06-18-2020	Telephone (508) 228-9026	Ext. 12
--------------------------------------	--------------------	-----------------------------	------------

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)  
 ALL EQUIPMENT WILL BE LOCATED AT OR ABOVE FIRST FLOOR (EL=10.20 / NAVD 88)  
 THIS ELEVATION CERTIFICATE WAS PREPARED FOR THE NANTUCKET HISTORICAL DISTRICT COMMISSION AND ONLY INCLUDES THE PROPOSED NEW DWELLING.  
 ALL INFORMATION REGARDING THE PROPOSED DWELLING IS BASED ON PLANS PROVIDED BY THE PROJECT ARCHITECT.

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 92 WASHINGTON STREET EXTENSION			Policy Number:
City NANTUCKET	State Massachusetts	ZIP Code 02554	Company NAIC Number

## SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is \_\_\_\_\_  feet  meters  above or  below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E3. Attached garage (top of slab) is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is \_\_\_\_\_  feet  meters  above or  below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance?  Yes  No  Unknown. The local official must certify this information in Section G.

## SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ ZIP Code \_\_\_\_\_

Signature \_\_\_\_\_ Date \_\_\_\_\_ Telephone \_\_\_\_\_

Comments

Check here if attachments.

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2022

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 92 WASHINGTON STREET EXTENSION			Policy Number:
City NANTUCKET	State Massachusetts	ZIP Code 02554	Company NAIC Number

## SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1.  The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2.  A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3.  The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	---

- G7. This permit has been issued for:       New Construction     Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: \_\_\_\_\_  feet  meters    Datum \_\_\_\_\_
- G9. BFE or (in Zone AO) depth of flooding at the building site: \_\_\_\_\_  feet  meters    Datum \_\_\_\_\_
- G10. Community's design flood elevation: \_\_\_\_\_  feet  meters    Datum \_\_\_\_\_

Local Official's Name	Title
Community Name	Telephone
Signature	Date

Comments (including type of equipment and location, per C2(e), if applicable)

Check here if attachments.

# BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2022

## ELEVATION CERTIFICATE

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 92 WASHINGTON STREET EXTENSION			Policy Number:
City NANTUCKET	State Massachusetts	ZIP Code 02554	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption NORTH ELEVATION OCEAN SIDE

Clear Photo One



Photo Two

Photo Two Caption SOUTH ELEVATION STREET SIDE

Clear Photo Two

# BUILDING PHOTOGRAPHS

Continuation Page

OMB No. 1660-0008

Expiration Date: November 30, 2022

## ELEVATION CERTIFICATE

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 92 WASHINGTON STREET EXTENSION			Policy Number:
City NANTUCKET	State Massachusetts	ZIP Code 02554	Company NAIC Number

If submitting more photographs than will fit on the preceding page, affix the additional photographs below. Identify all photographs with: date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8.

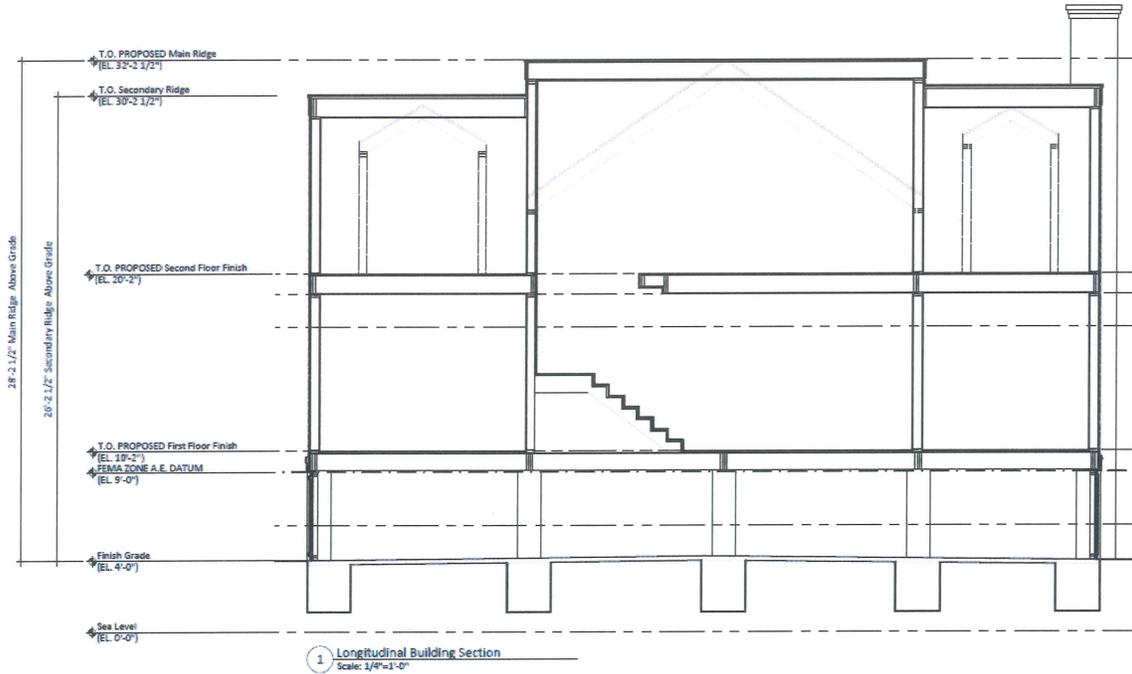


Photo Three

Photo Three Caption BUILDING SECTION

Clear Photo Three

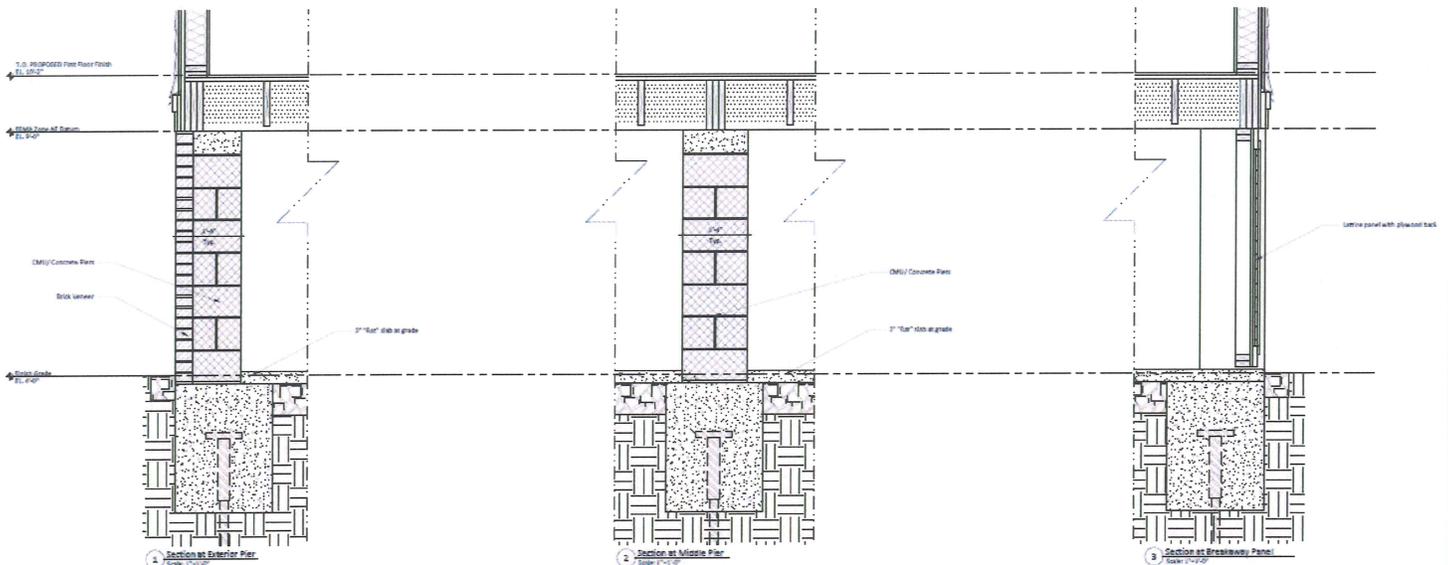


Photo Four

Photo Four Caption FOUNDATION / PROPOSED PIERS

Clear Photo Four



# HISTORIC DISTRICT COMMISSION REGULAR MEETING

2 Fairgrounds Road  
Nantucket, Massachusetts 02554  
[www.nantucket-ma.gov](http://www.nantucket-ma.gov)

**Commissioners:** Raymond Pohl (Chair), Diane Coombs (Vice-chair), John McLaughlin, Abigail Camp, Vallorie Oliver,  
**Associate Commissioners:** Stephen Welch, Terence Watterson, Jessie Dutra

~~ MINUTES ~~

**Tuesday, March 3, 2020**

Public Safety Facility, 4 Fairgrounds Road, Training Room – 4:30 p.m.

Called to order at 4:30 p.m. and announcements by Ms. Coombs

Staff in attendance: Cathy Flynn, Land Use Specialist; Kadeem McCarthy, Administrative Specialist; Esmeralda Martinez, Administrative Specialist; Holly Backus, Preservation Planner

Attending Members: Coombs, Oliver, Welch, Watterson

Absent Members: Pohl, McLaughlin, Camp, Dutra

Late Arrivals: Welch, 4:42 p.m.

Early Departures: Welch, 6:00 p.m.

Agenda adopted as amended by unanimous consent.

## I. PUBLIC COMMENT

None

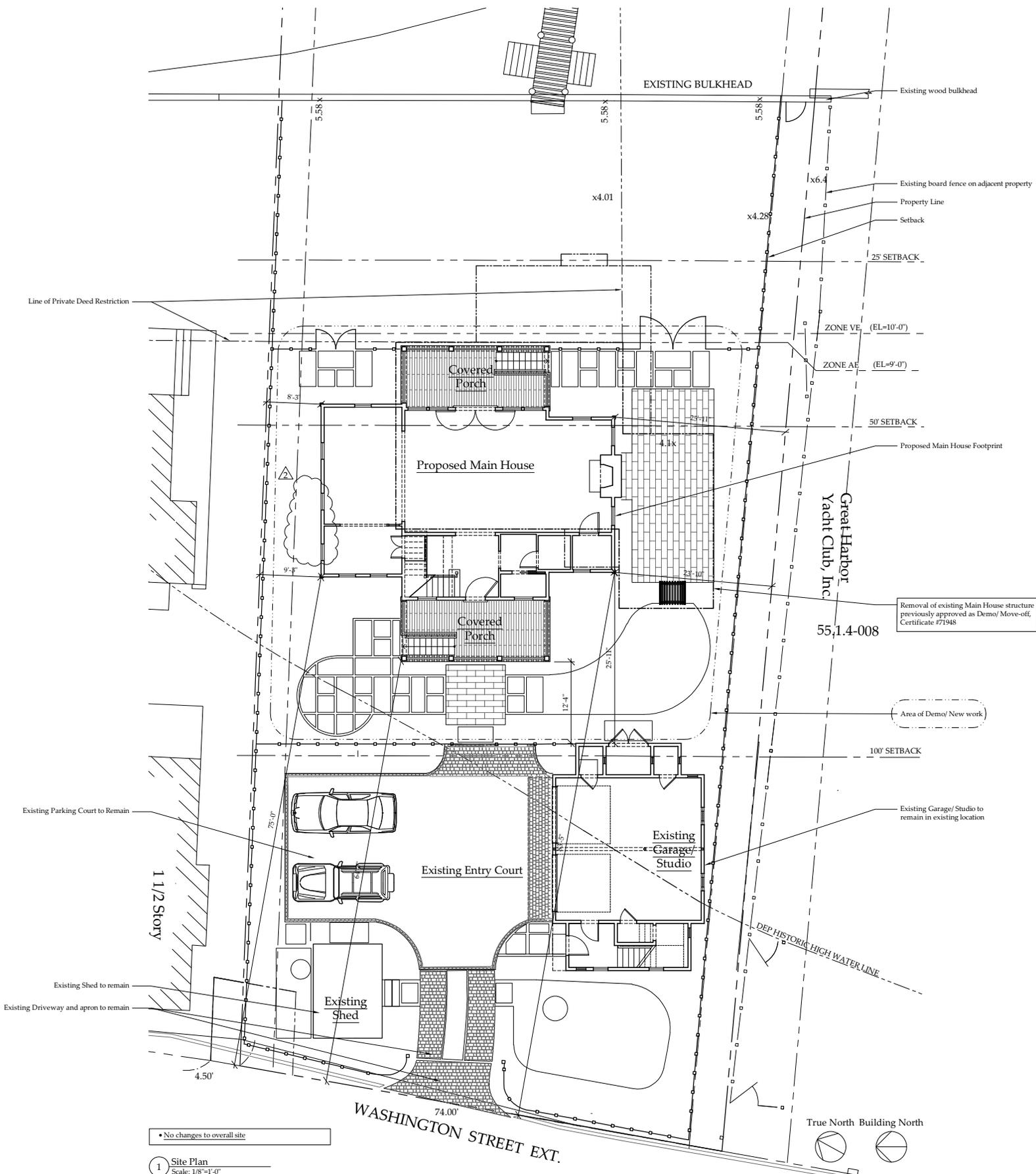
## II. CONSENT

<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1. Lampe, Dean <b>02-0681</b>	2 Okorwaw Avenue	Cabana	79-131.1	D. Lampe
2. Lee, Jeffrey <b>02-0761</b>	9 Aurora Way	Rev. 73198: fence/chimney	56-450	Design Associates
3. The Westmoor Club <b>02-0762</b>	10 Westmoor Lane	Rev. 73263: window/door	41-805	J Graham Goldsmith
4. Steinberg, Jeanne <b>02-0755</b>	23 Surfside Road	Trim/window color change	55-113.2	Self
5. Hausberg, William <b>03-0768</b>	105 Eel Point Road	Rev. 02-0647	32-5	John Curran
6. 4 Shawkemo Rd RT <b>02-0756</b>	4 Shawkemo Road	240 sf garage move/demo	43-91.1	Botticelli & Pohl
7. 21 Quidnet Road, LLC <b>03-0782</b>	21 Quidnet Road	Roof walk color change	21-30	Ethan McMorro
Voting	Coombs, Oliver, Watterson			
Recused	None			
Documentation	None			
Representing	None			
Public	None			
Concerns	No concerns.			
Motion	<b>Motion to Approve. (Oliver)</b>			
Vote	Carried 3-0	Certificate #	<b>HDC2020-02-(as noted) &amp; -03-0### (as noted)</b>	

## III. CONSENT WITH CONDITIONS

<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1. Forrester, Courtney <b>02-0754</b>	141 Polpis Road	Rev. 70753: relocate shed	44-7.3	Normand Residential
• Due to lack of visibility				
2. Keith, Kate <b>02-0758</b>	1 Doc Ryder	Alterations/fenestration	66-209	Permits Plus
• Due to lack of visibility				
3. Everest, Chris <b>03-0780</b>	6 Bluebird Lane	Egress window well	68-594	NAG
• Due to lack of visibility				
4. Toce, Margaret <b>03-0781</b>	18 Pequot Street	Pool	80-94	Craig Taylor
• Must not be visible at time of inspection and in perpetuity				
Voting	Coombs, Oliver, Watterson			
Recused	None			
Documentation	None			
Representing	None			
Public	None			
Concerns	No additional concerns.			
Motion	<b>Motion to Approve through staff per noted concerns. (Oliver)</b>			
Vote	Carried 3-0	Certificate #	<b>HDC2020-02-(as noted) &amp; -03-(as noted)</b>	

5.	Hulbert ACK, LLC 02-0633	4 Hulbert Avenue	Lift/renovate/addition	42.1.4-2	Sophie Metz
Voting	Coombs, Oliver, Welch, Watterson				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, and advisory comments.				
Representing	Sophie Metz				
Public	None				
Concerns (5:02)	(4:35) Motion to Hold for representation. (Oliver) carried 3-0 (Welch not yet here.) <b>Coombs</b> – Read HSAB (no quorum) and Holly Backus comments. <b>Metz</b> – Reviewed changes made per previous concerns. In this used the exact same size 2 <sup>nd</sup> -floor windows of the main house in the 2 <sup>nd</sup> -floor of this as well. You asked for a water table, but we can eliminate that. <b>Watterson</b> – Appreciates changes; suggested integrating the water table flush with corner boards and trim. <b>Oliver</b> – In the drone shots, it is evident that this is with the other house; the blue shutters reflect that. The roof walk is out of place. The south elevation is visible from across the wetland and should have more a feel of the sunroom that was there; the way it reads now relates to the other structure; the proposed doesn't. <b>Welch</b> – The roof walk is too much of an adornment with the skirt. Integrating the water table flush into the corner boards will create a different architectural style that reads as modern small cubes rather than stacking; the drip cap is not appropriate for this location. Agrees about the north elevation fenestration; change it to capture the sense of an enclosed porch; though it isn't visible. South elevation, the single-story mass the four-ganged windows, to him, should read as separated by something. The front door is an improvement over what exists. <b>Coombs</b> – The “C” window panes as compared to the size of the “B” window panes catch her eye since there are so many. These two houses really stand out so for that reason are important.				
Motion	<b>Motion to Approve through staff with no roof walk, no water table, shutters to match the existing design and color, and surveyor certification of minimum flood height increase relative to FEMA code. (Welch)</b>				
Vote	Carried unanimously		Certificate #	HDC2020-02-0633	
6.	Great State Prop. 02-0589	92 Washington Street	New dwelling	42.2.3-22	Smith-Hutton Arch
Voting	Coombs, Oliver, Welch, Watterson				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, correspondence, and advisory comments.				
Representing	No name given.				
Public	None				
Concerns (5:24)	<b>Coombs</b> – Read HSAB (no quorum) comments. <b>Owner Rep.</b> – Reviewed changes made per previous concerns; have a surveyor letter confirming the 9-foot minimum lift relative to the FEMA flood level. The garage is simulated-divided lights (SDL). <b>Watterson</b> – Okay with all the changes. Asked what others think about the skirting, should it be on the outside. It's half-way defensible; this is 65 feet from the road behind the garage and wood windows. <b>Welch</b> – If this were natural brick it should be painted. The skirting should be separated; it's detailed and too formal. The A/C should come back as a separate application. This is really high. Agrees about the north elevation fenestration. Asked for a description of the Norwood line of SDL windows; there should be consistency of the windows on all visible facades; he'd like to see a cut-sheet on these windows. <b>Oliver</b> – She's not sure what to think about the foundation skirting. Agrees with what's been said. Preferred the north elevation as it was previously approved; the pane pattern draws attention to it. The windows are SDL; in the old historic district (OHD) the visible facades should be true divided light (TDL). <b>Coombs</b> – This an important location in the OHD; the small buildings that were there have been demolished and what's going in doesn't look anything like what it was. The height should come down; it should be as small and simple as possible. The windows have to be TDL in the OHD.				
Motion	<b>Motion to Hold for revisions and a tear sheet for the windows and the A/C removed from the application. (Welch)</b>				
Vote	Carried		Certificate #		



• No changes to overall site

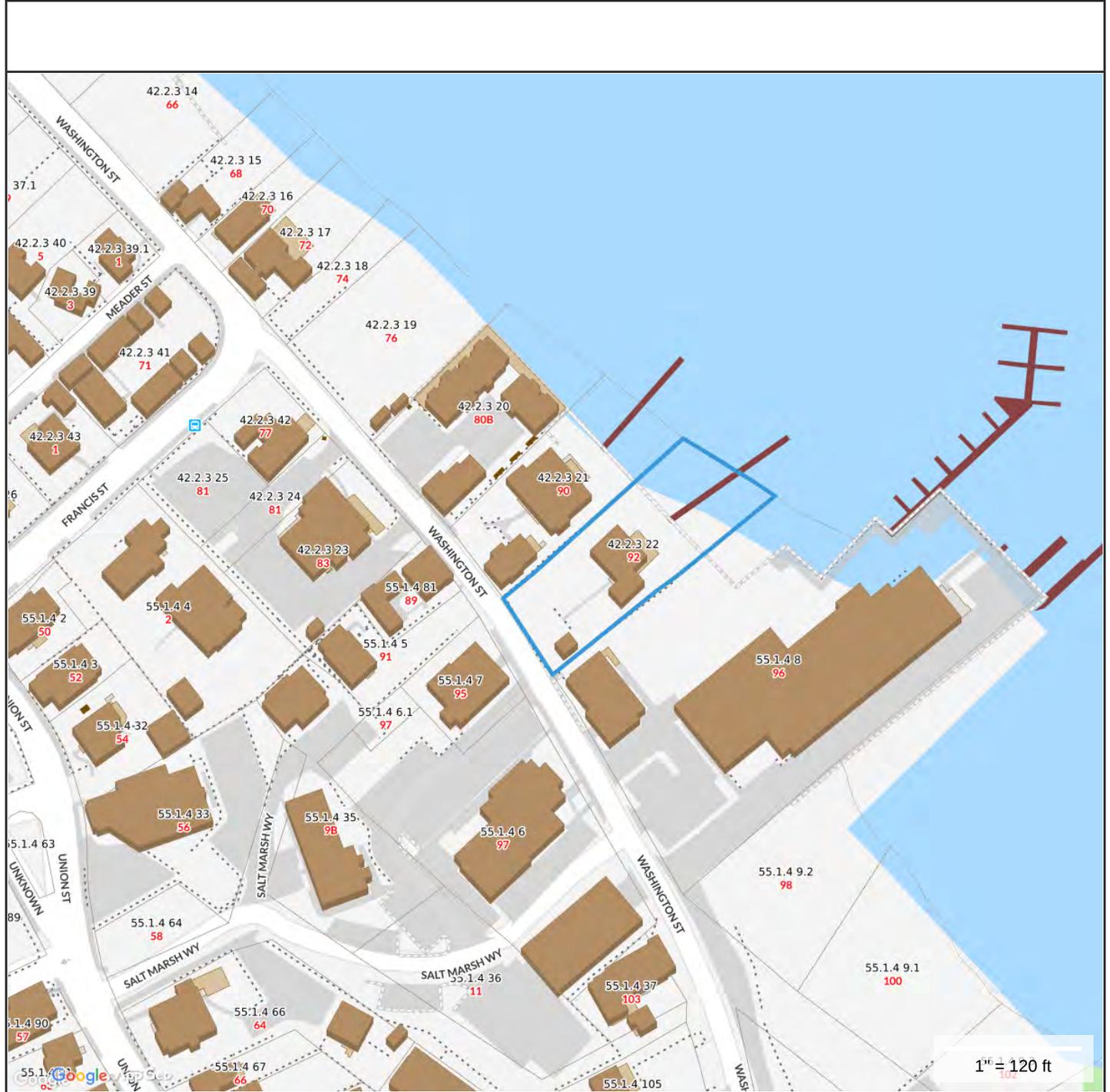
1 Site Plan  
Scale: 1/8"=1'-0"

Removal of existing Main House structure previously approved as Demo/ Move-off, Certificate #71948

Great Harbor  
Yacht Club, Inc.

55,1.4-008

True North Building North



**Property Information**

**Property ID** 42.2.3 22  
**Location** 92 WASHINGTON ST  
**Owner** GREAT STATE PROPERTIES LLC

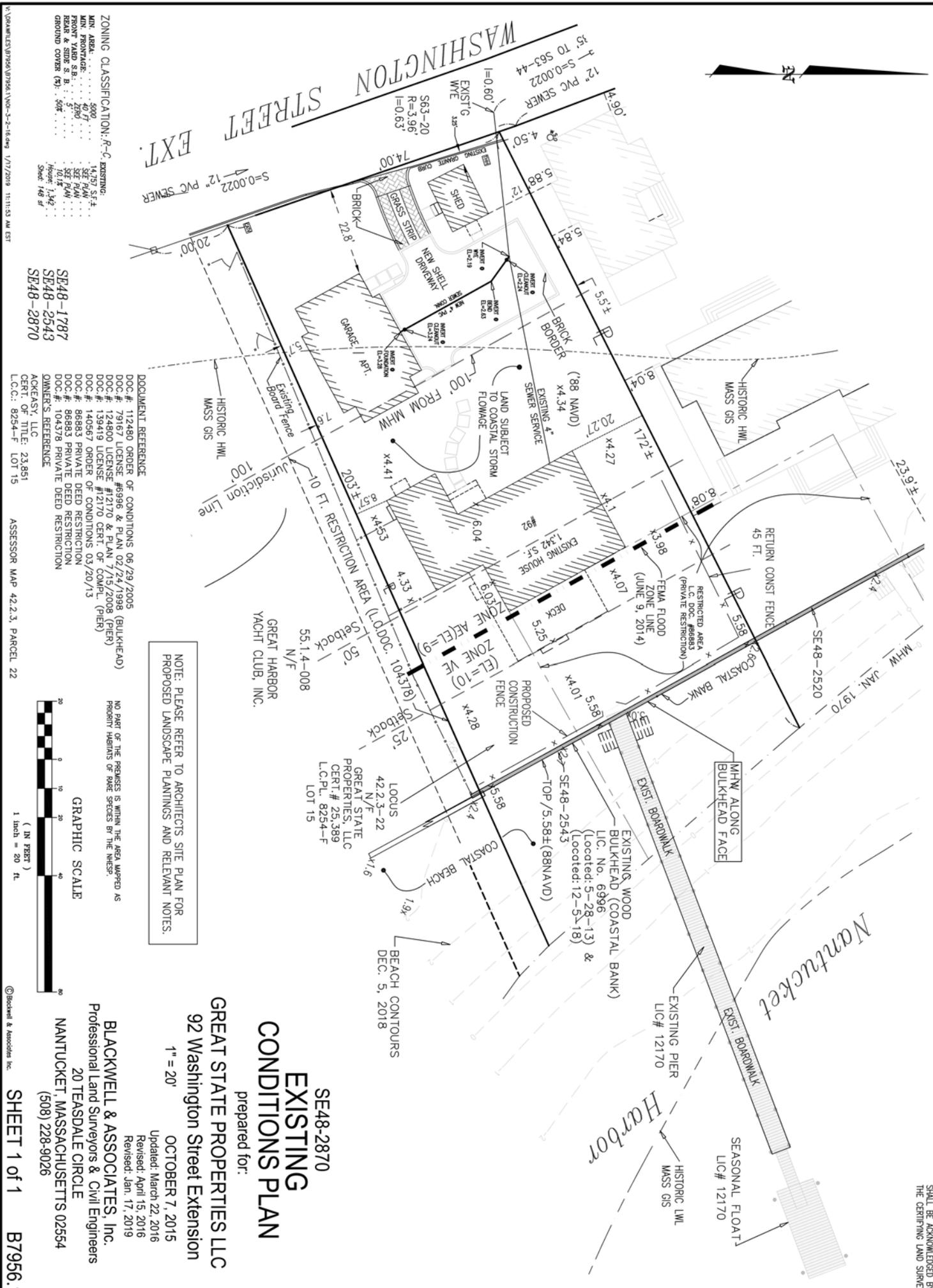


**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018  
Data updated 11/19/2018

ONLY ORIGINALLY STAMPED AND ENDORSED COPIES OF THIS PLAN SHALL BE ACKNOWLEDGED BY THE CERTIFYING LAND SURVEYOR.



NOTE: PLEASE REFER TO ARCHITECT'S SITE PLAN FOR PROPOSED LANDSCAPE PLANTINGS AND RELEVANT NOTES.

NO PART OF THE PREMISES IS WITHIN THE AREA MAPPED AS PRIORITY HABITATS OF RARE SPECIES BY THE MDES.

GRAPHIC SCALE  
1 inch = 20 ft

# SE48-2870 EXISTING CONDITIONS PLAN

prepared for:  
**GREAT STATE PROPERTIES LLC**  
92 Washington Street Extension  
1" = 20'

**BLACKWELL & ASSOCIATES, Inc.**  
Professional Land Surveyors & Civil Engineers  
20 TEASDALE CIRCLE  
NANTUCKET, MASSACHUSETTS 02554  
(508) 228-9026

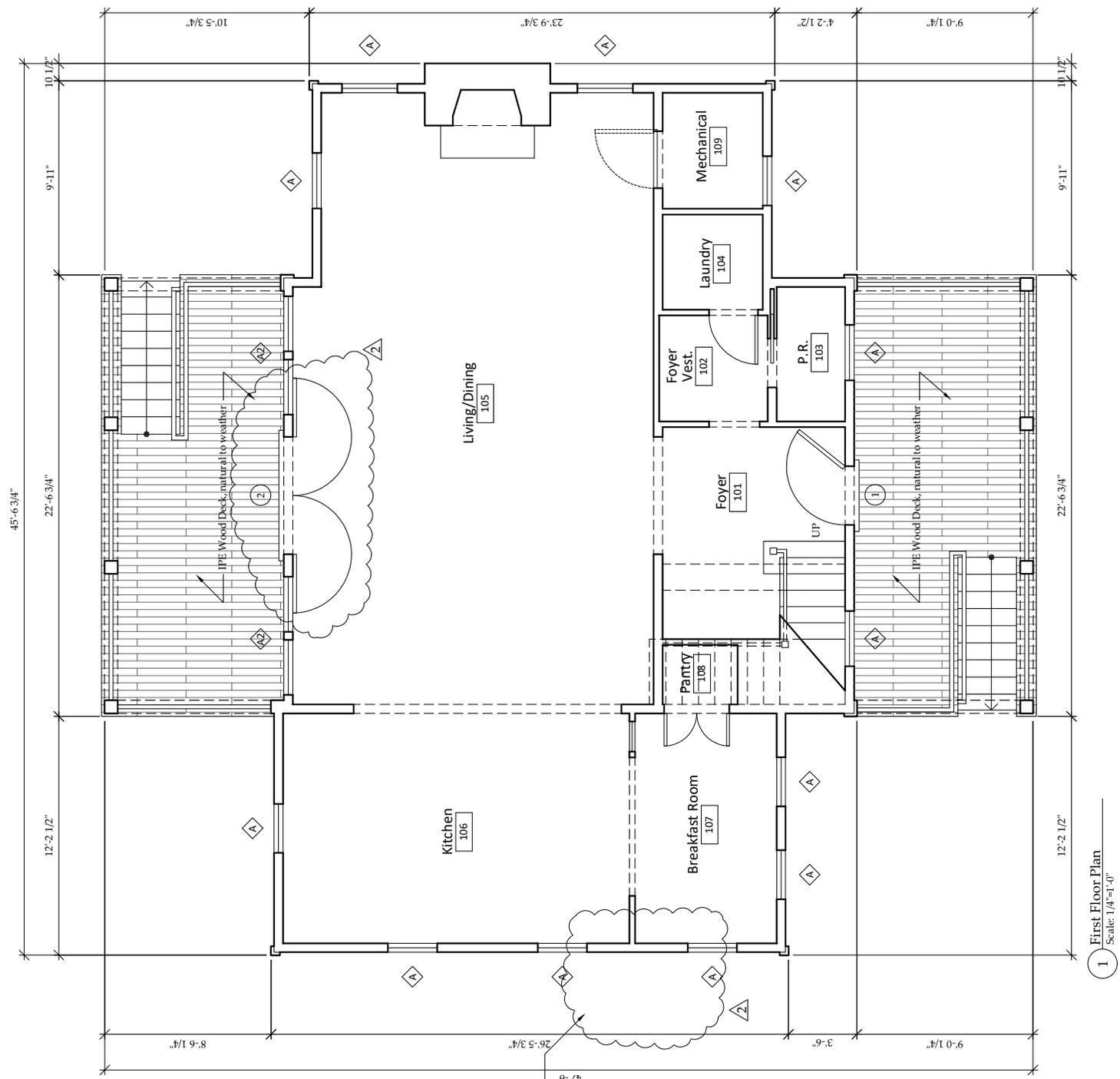
SHEET 1 of 1 B7956.1

ZONING CLASSIFICATION: R-C, EXISTING.  
MIN. AREA: 5000  
MIN. FRONTAGE: 60 FT  
FRONT YARD S.B.: 25%  
REAR & SIDE S.B.: 5%  
GROUND COVER (%): 50%  
SE48-1787  
SE48-2543  
SE48-2870

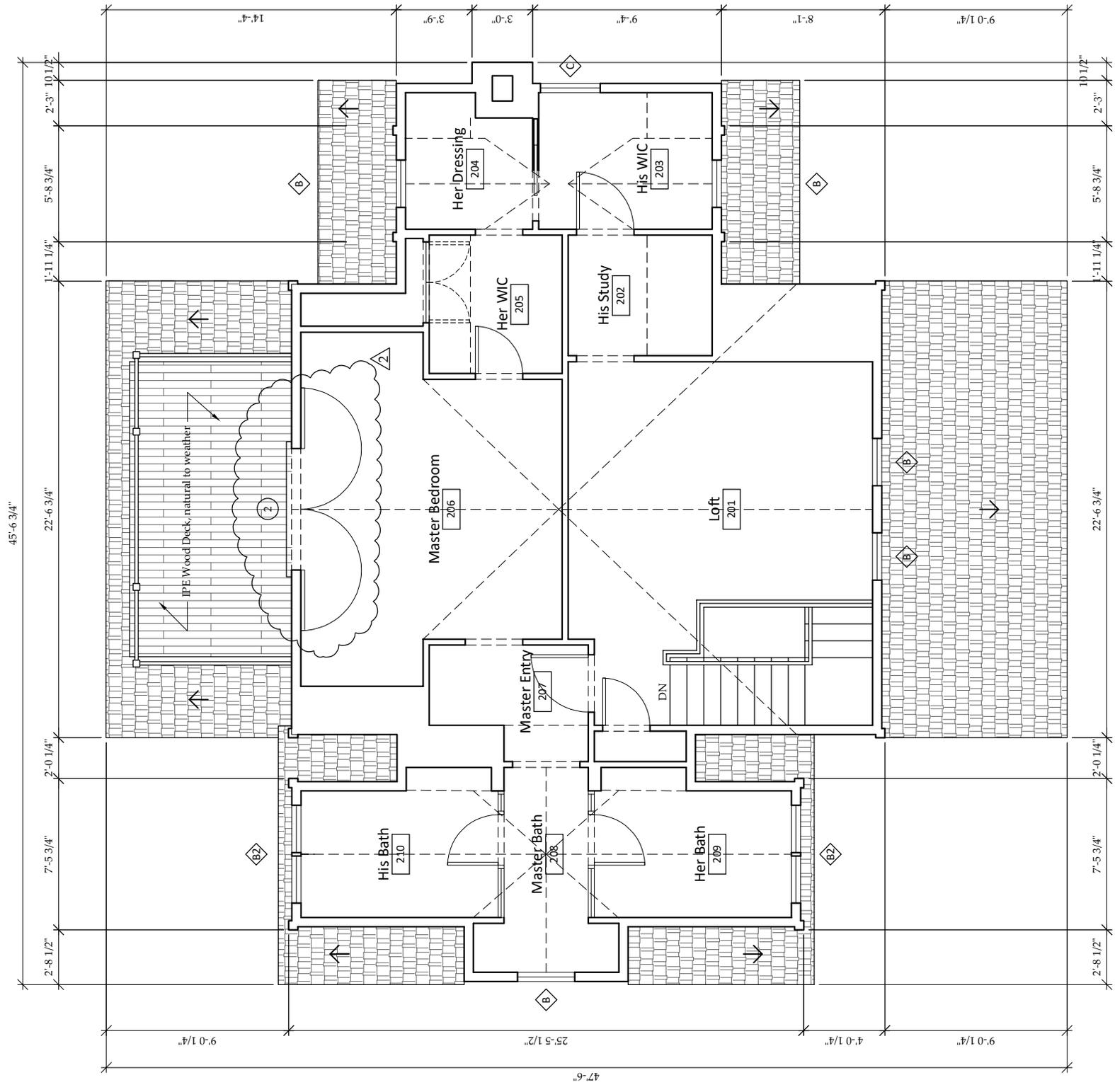
DOCUMENT REFERENCE  
DOC # 112480 ORDER OF CONDITIONS 06/29/2005  
DOC # 79167 LICENSE #6996 & PLAN 02/24/1998 (BULKHEAD)  
DOC # 12480 LICENSE #12170 & PLAN 7/15/2008 (PIER)  
DOC # 139419 LICENSE #12170 CERT. OF COMPL. (PIER)  
DOC # 140567 ORDER OF CONDITIONS 03/20/13  
DOC # 86883 PRIVATE DEED RESTRICTION  
DOC # 86883 PRIVATE DEED RESTRICTION  
DOC # 104376 PRIVATE DEED RESTRICTION  
OWNERS REFERENCE  
ACKEASY, LLC  
CERT. OF TITLE: 23,851  
L.C.C.: 8254-F LOT 15

ASSESSOR MAP 42.2.3, PARCEL 22

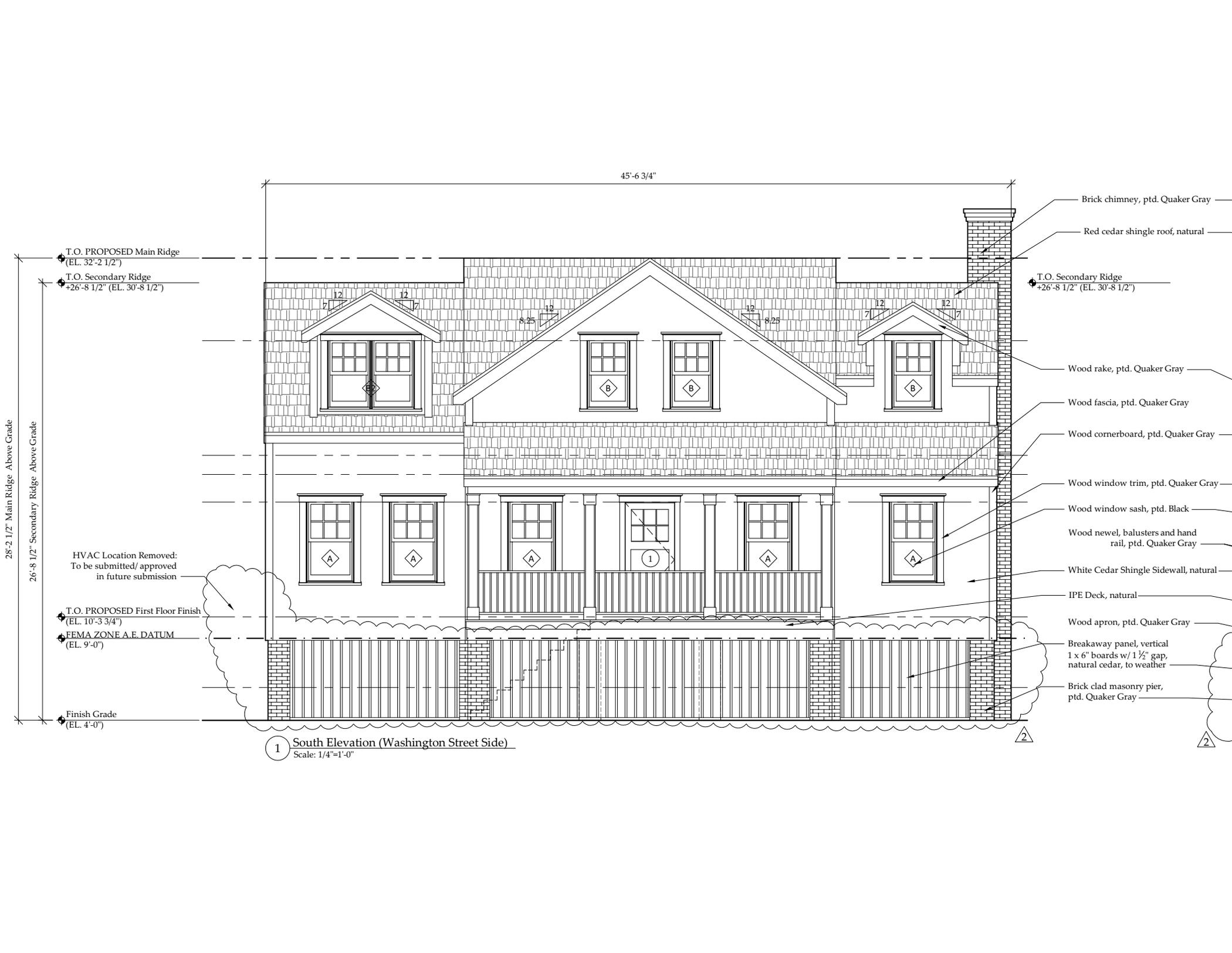
1:\VA\WORKSETS\B7956\B7956.dwg 1/17/2019 11:11:53 AM EST



**1** First Floor Plan  
 Scale: 1/4"=1'-0"



**2** Second Floor Plan  
Scale: 1/4" = 1'-0"



45'-6 3/4"

T.O. PROPOSED Main Ridge  
(EL. 32'-2 1/2")

T.O. Secondary Ridge  
+26'-8 1/2" (EL. 30'-8 1/2")

T.O. Secondary Ridge  
+26'-8 1/2" (EL. 30'-8 1/2")

HVAC Location Removed:  
To be submitted/ approved  
in future submission

T.O. PROPOSED First Floor Finish  
(EL. 10'-3 3/4")

FEMA ZONE A.E. DATUM  
(EL. 9'-0")

Finish Grade  
(EL. 4'-0")

Brick chimney, ptd. Quaker Gray

Red cedar shingle roof, natural

Wood rake, ptd. Quaker Gray

Wood fascia, ptd. Quaker Gray

Wood cornerboard, ptd. Quaker Gray

Wood window trim, ptd. Quaker Gray

Wood window sash, ptd. Black

Wood newel, balusters and hand  
rail, ptd. Quaker Gray

White Cedar Shingle Sidewall, natural

IPE Deck, natural

Wood apron, ptd. Quaker Gray

Breakaway panel, vertical  
1 x 6" boards w/ 1 1/2" gap,  
natural cedar, to weather

Brick clad masonry pier,  
ptd. Quaker Gray

1 South Elevation (Washington Street Side)  
Scale: 1/4"=1'-0"

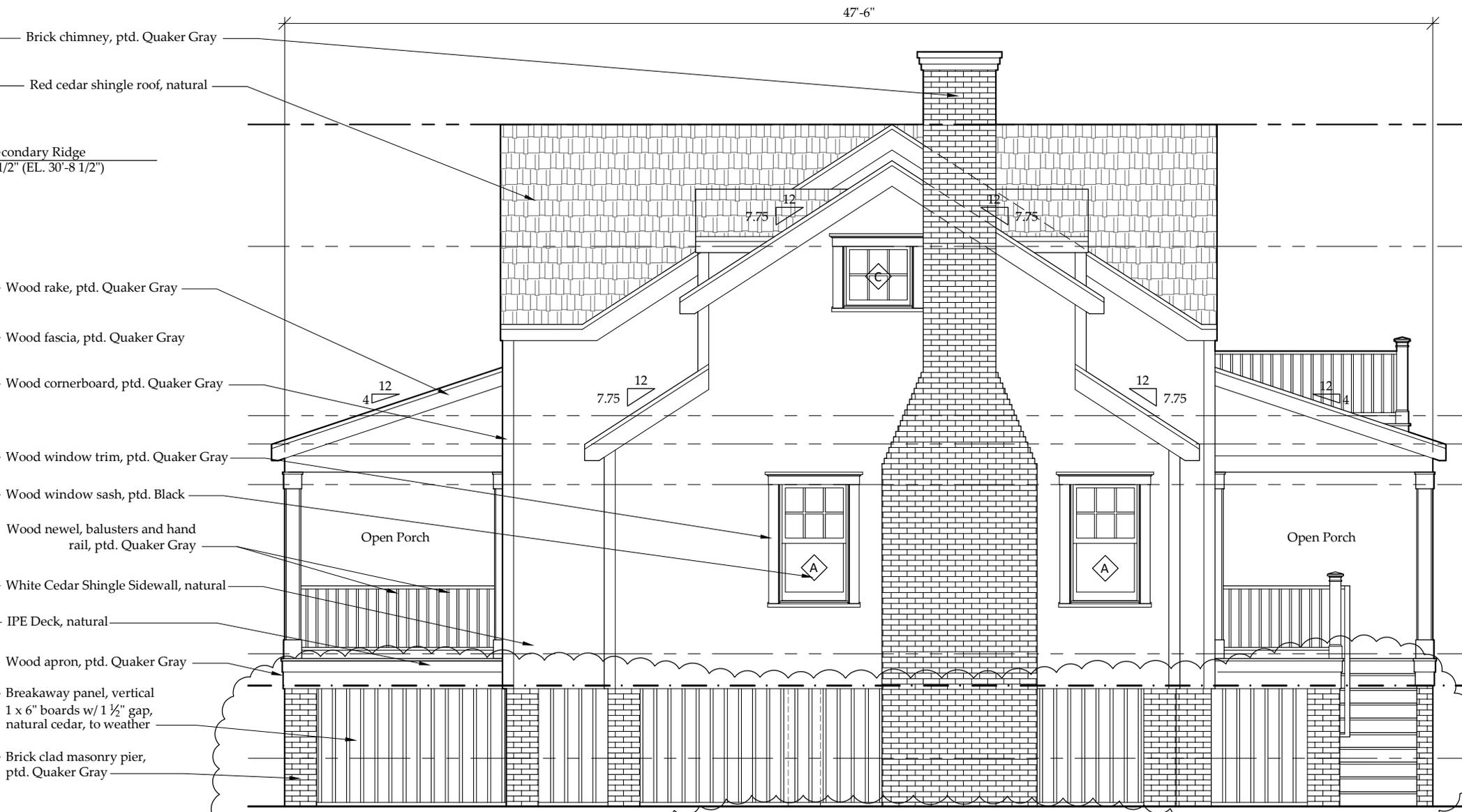
2

2

28'-2 1/2" Main Ridge Above Grade  
26'-8 1/2" Secondary Ridge Above Grade



3 South Elevation (Washington Street Side)  
Scale: 1/4"=1'-0"



2

2 East Elevation (Great Harbor Yacht Club Side)  
Scale: 1/4"=1'-0"



4 East Elevation (Great Harbor Yacht Club Side)  
Scale: 1/4"=1'-0"



Brick chimney, ptd. Quaker Gray

T.O. PROPOSED Main Ridge  
(EL. 32'-2 1/2")

T.O. Secondary Ridge  
(EL. 30'-8 1/2")

45'-6 3/4"

T.O. Secondary Ridge  
+26'-8 1/2" (EL. 30'-8 1/2")

Red cedar shingle roof, natural

Wood rake, ptd. Quaker Gray

Wood newel, balusters and hand rail, ptd. Quaker Gray

Wood fascia, ptd. Quaker Gray

Wood cornerboard, ptd. Quaker Gray

Wood window trim, ptd. Quaker Gray

Wood window sash, ptd. Black

White Cedar Shingle Sidewall, natural

IPE Deck, natural

HVAC Location Removed:  
To be submitted/ approved  
in future submission

Wood apron, ptd. Quaker Gray

Breakaway panel, vertical 1  
x 6" boards w/ 1 1/2" gap,  
natural cedar, to weather

Brick-clad masonry pier,  
ptd. Quaker Gray

T.O. PROPOSED First Floor Finish  
(EL. 10'-3 3/4")

FEMA ZONE A.E. DATUM  
(EL. 9'-0")

Finish Grade  
(EL. 4'-0")

1 North Elevation (Ocean Side)  
Scale: 1/4"=1'-0"

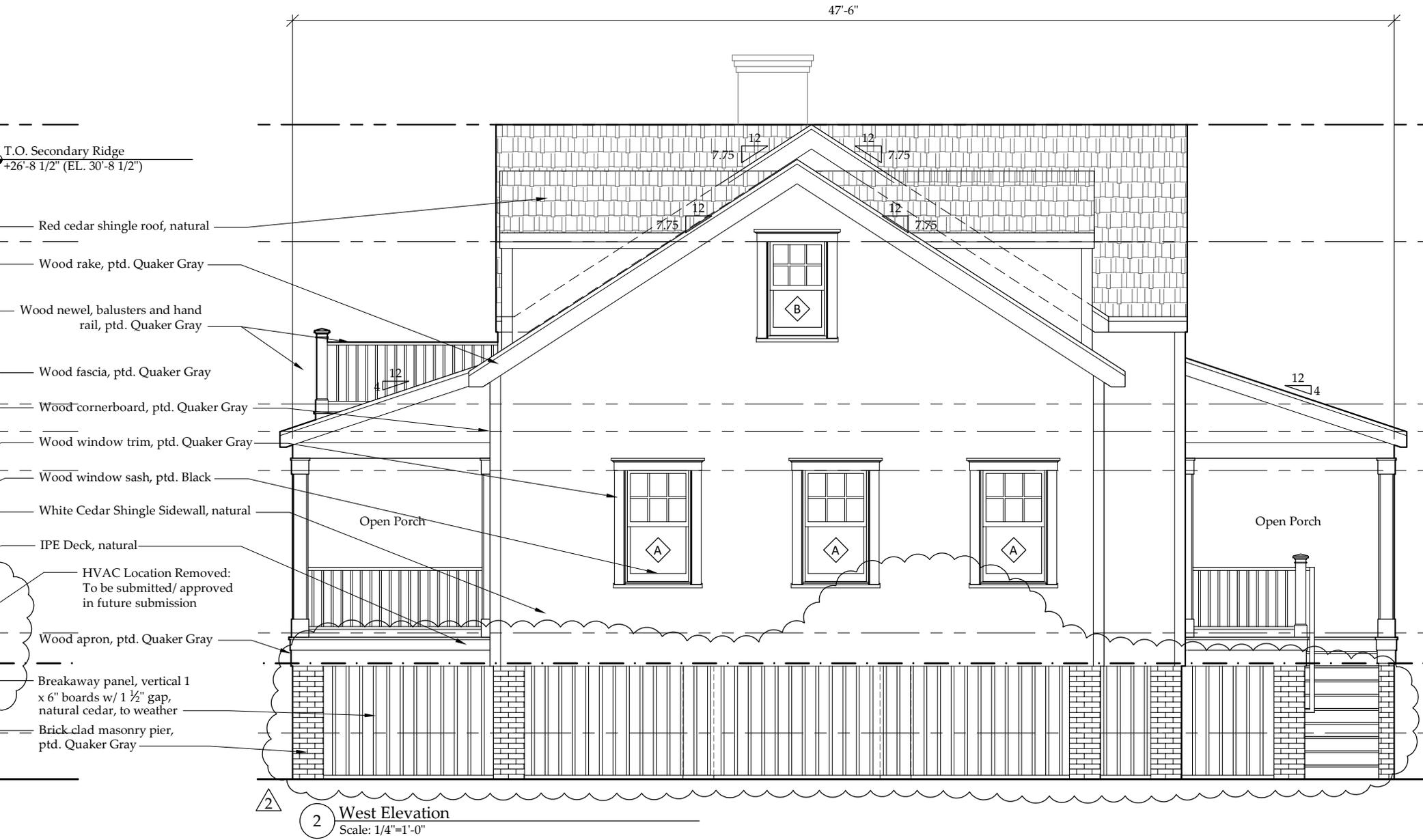
2

28'-2 1/2" Main Ridge Above Grade

26'-8 1/2" Secondary Ridge Above Grade

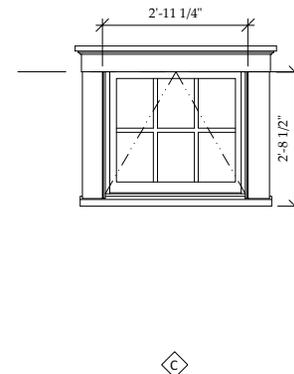
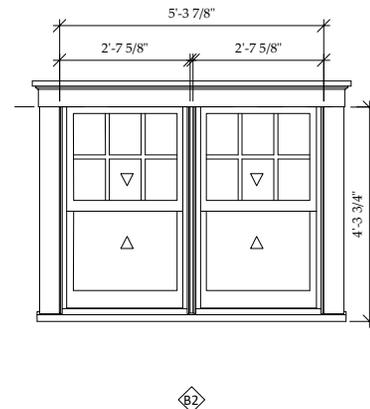
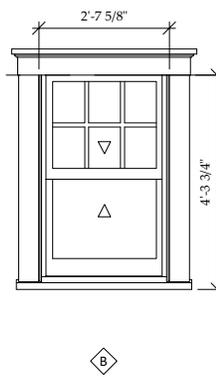
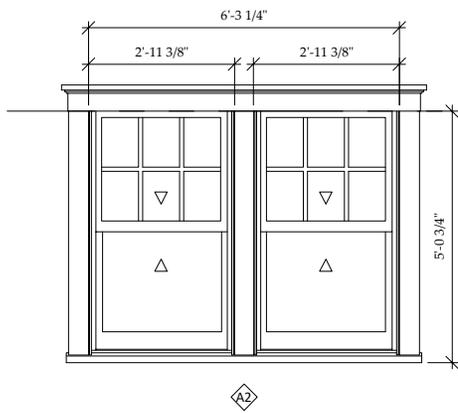
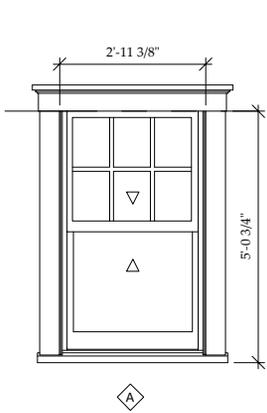


3 North Elevation (Ocean Side)  
Scale: 1/4"=1'-0"





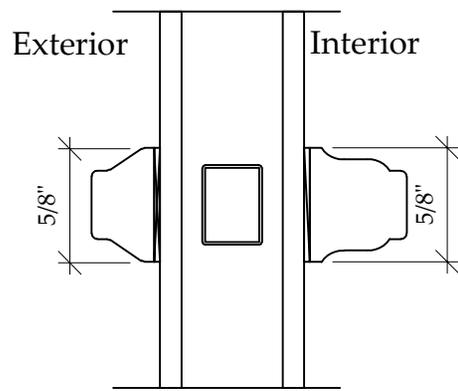
4 West Elevation  
Scale: 1/4"=1'-0"



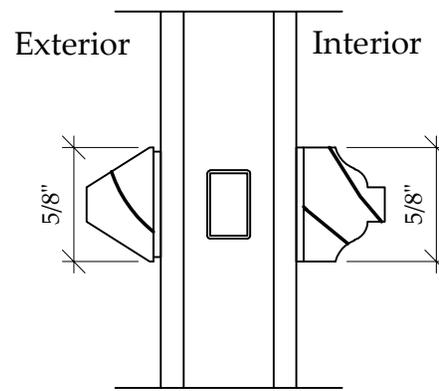
Exterior Door Schedule								
Type	Description	Manufacturer	Lights	Unit Size	Material	Unit Finish	Exterior Trim Finish	Notes
A	500 Series Double Hung - 6/1 Lite	Norwood Window and Door	SDL	2'-11 3/8"w x 5'-0 3/4"h	All Wood Unit	Black	Quaker Grey	
A-2	500 Series Pair Double Hung - 6/1 lite	Norwood Window and Door	SDL	5'-11 5/8"w x 5'-0 3/4"h	All Wood Unit	Black	Quaker Grey	
B	500 Series Double Hung - 6/1 Lite	Norwood Window and Door	SDL	2'-7 5/8"w x 4'-3 3/4"h	All Wood Unit	Black	Quaker Grey	
B-2	500 Series Double Hung - 6/1 Lite	Norwood Window and Door	SDL	5'-3 7/8"w x 4'-3 3/4"h	All Wood Unit	Black	Quaker Grey	
C	6 Lite Awning Window	Norwood Window and Door	SDL	2'-11 1/4"w x 2'-8 1/2"h	All Wood Unit	Black	Quaker Grey	

1 Window Elevations

Scale: 1/2"=1'-0"



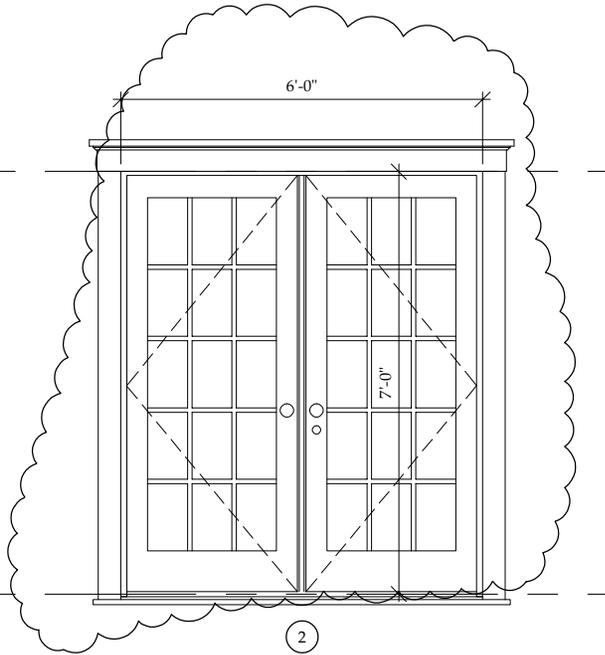
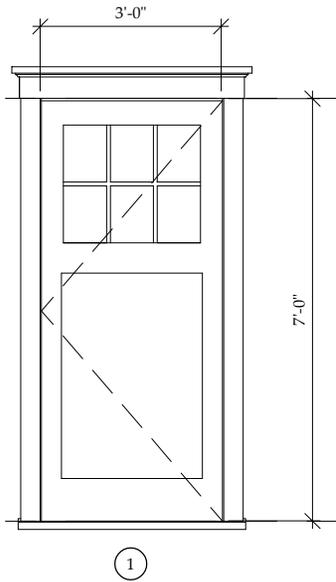
2 Norwood SDL Muntin Section  
Scale: 1/2"=1'-0"



3 Comparable Marvin SDL Muntin Section  
Scale: 1/2"=1'-0"



4 Existing Approved/ As-Built Marvin SDL Window on Garage Studio  
NTS

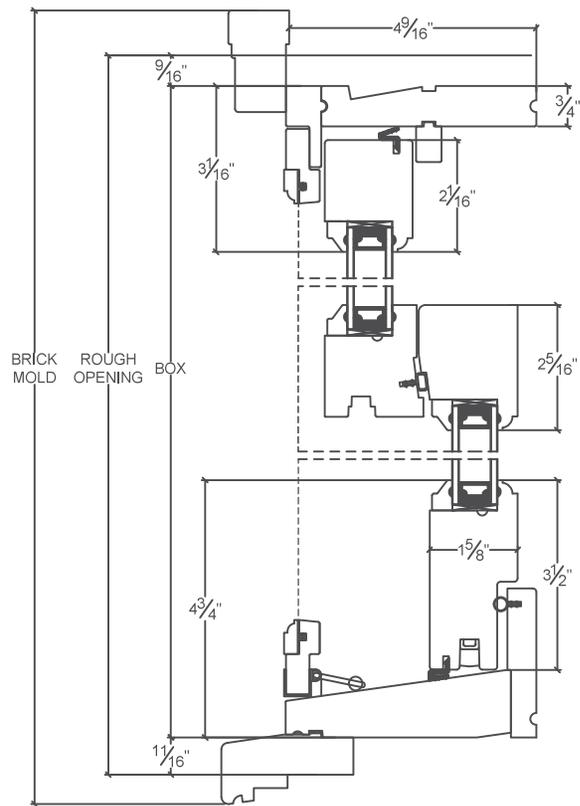


Exterior Door Schedule										
Type	Description	Manufacturer	Lights	Nominal Size	Material	Swing	Handing	Unit Finish	Exterior Trim Finish	Notes
1	1/4 Vision 6 lite Door	Norwood Window and Door	SDL	3'-0" w x 7'-0" h	All Wood Unit	Inswing	RH	Black	Quaker Grey	
2	Pair Full Vision 15 lite French Door	Norwood Window and Door	SDL	6'-0" w x 7'-0" h	All Wood Unit	Inswing	LH/RH Active	Black	Quaker Grey	
2	Pair Full Vision 15 lite French Door	Norwood Window and Door	SDL	6'-0" w x 7'-0" h	All Wood Unit	Inswing	LH/RH Active	Black	Quaker Grey	

1 Exterior Door Elevations  
Scale: 1/2"=1'-0"

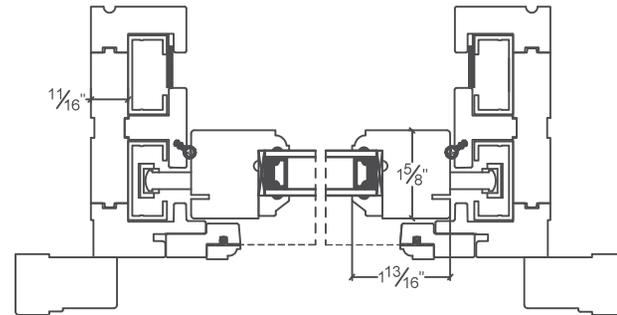
# Double Hung Wood Screen - Oval

Vertical

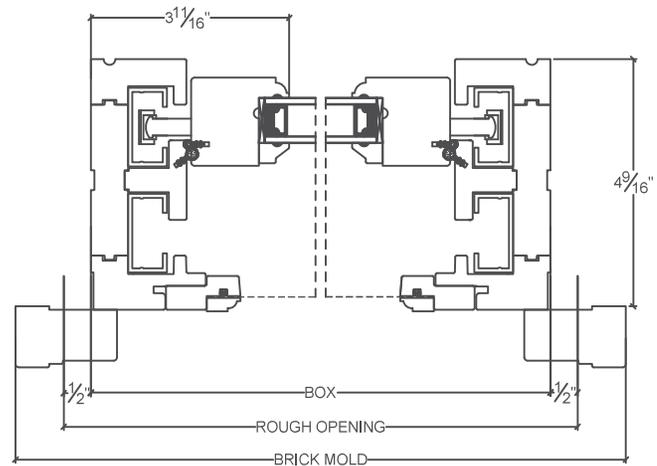


Horizontal

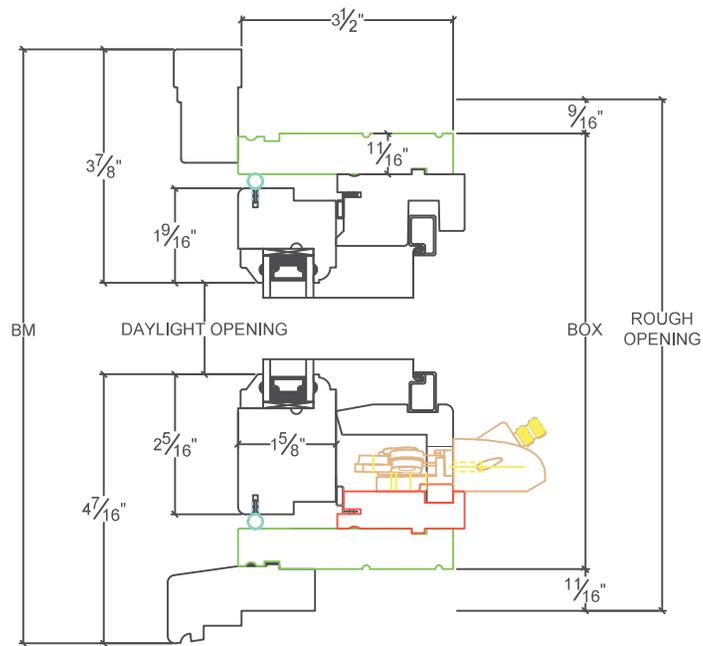
Top Sash



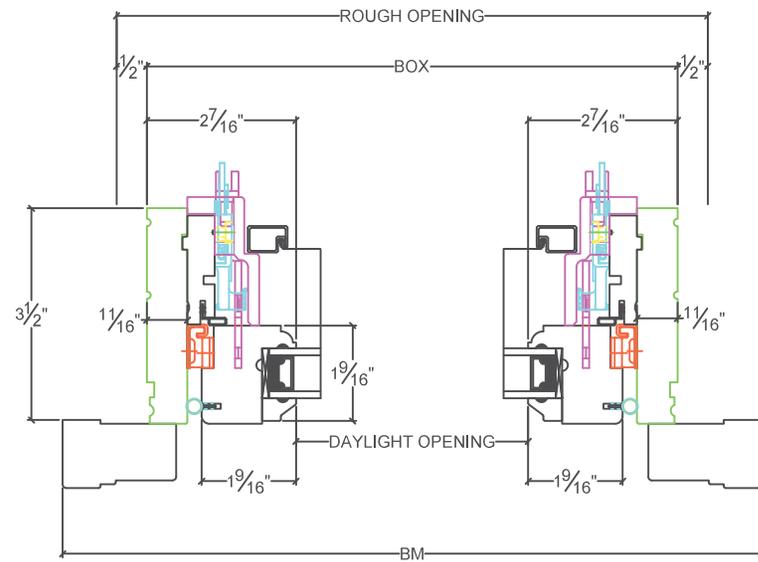
Bottom Sash



# Awning - Ovalo Profile



Vertical



Horizontal

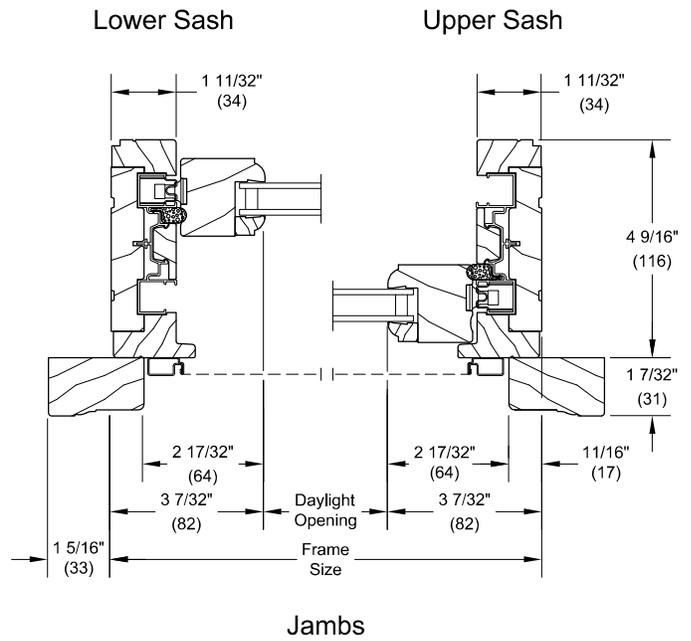
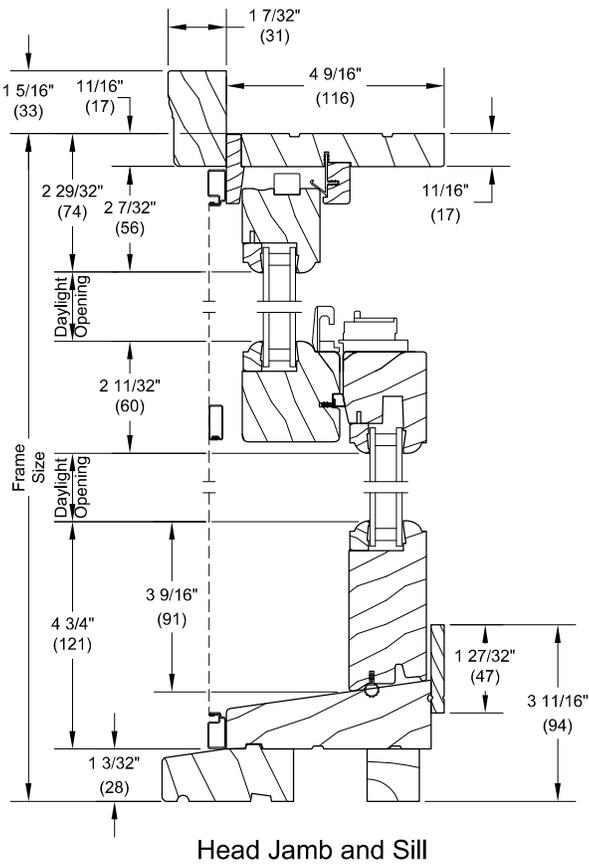
**NORWOOD**  
WINDOWS & DOORS



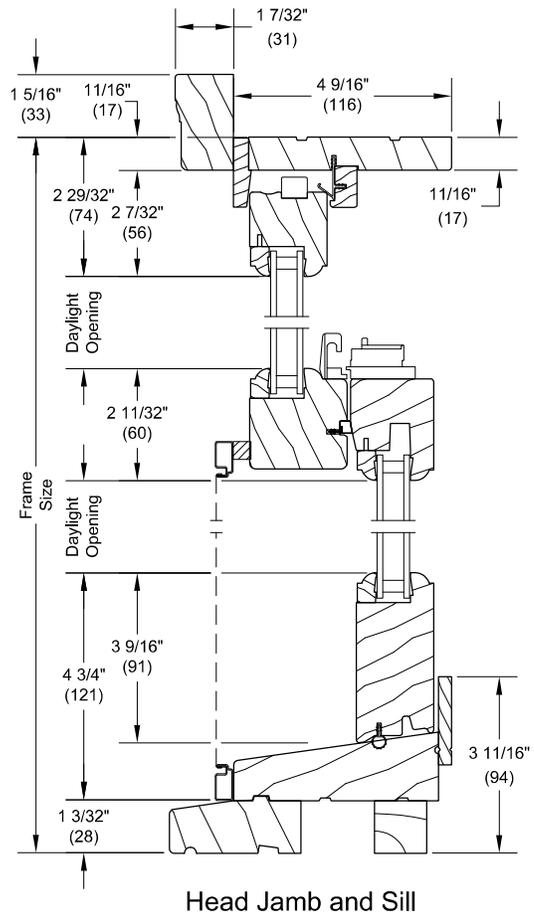
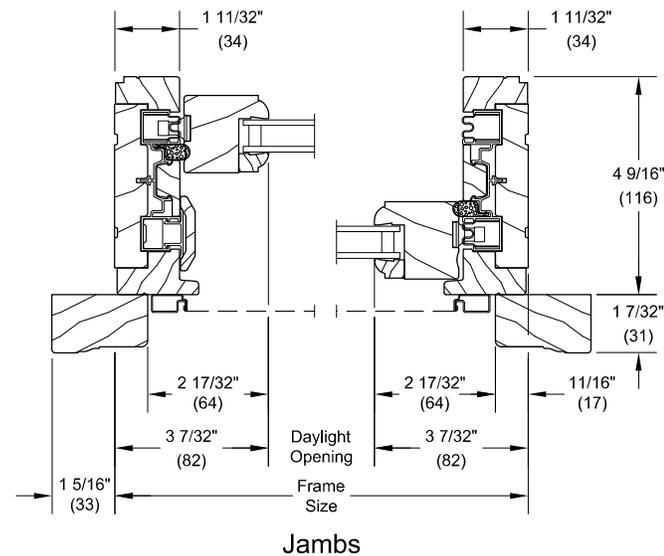
**Section Details: Operating**

Scale: 3" = 1' 0"

**Double Hung**



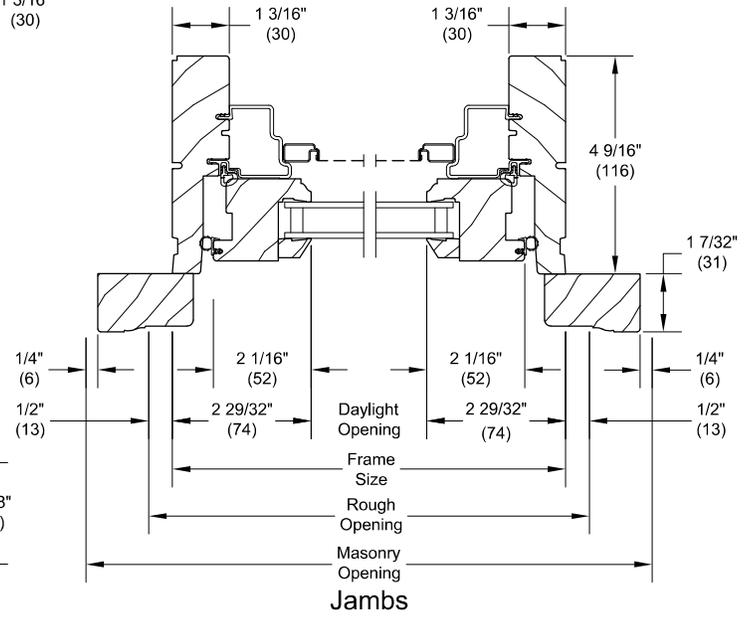
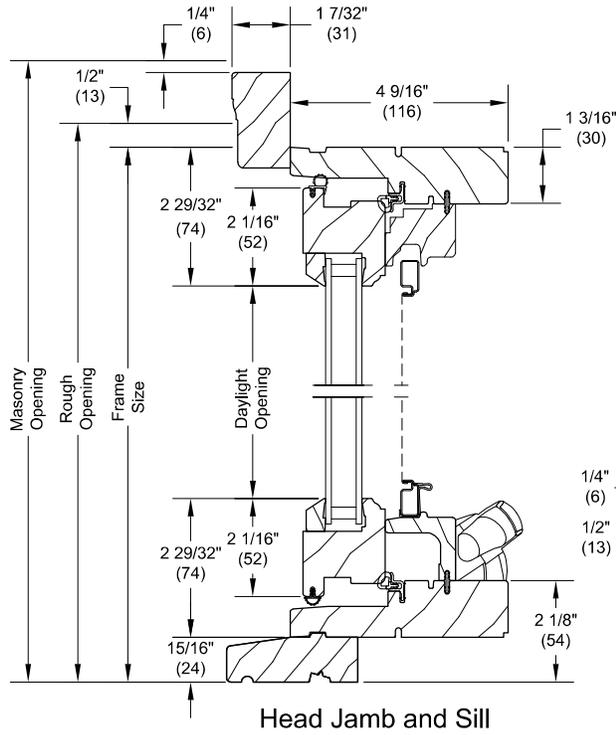
**Single Hung**



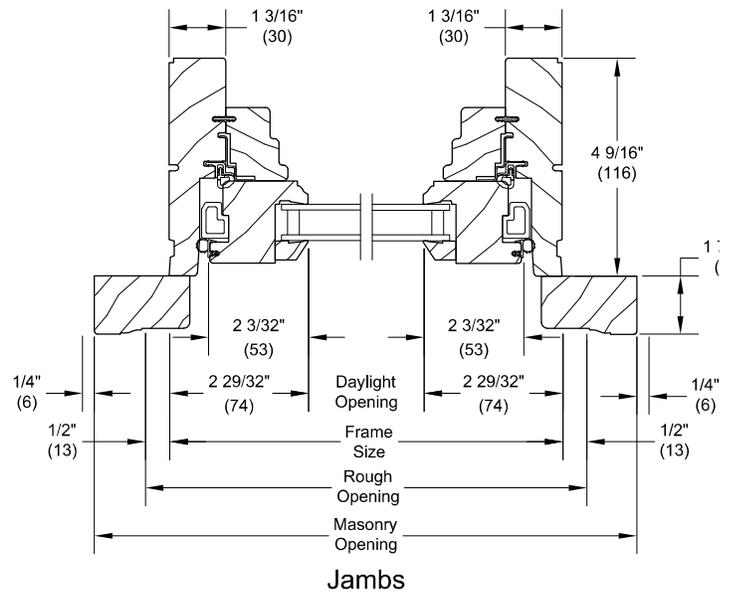
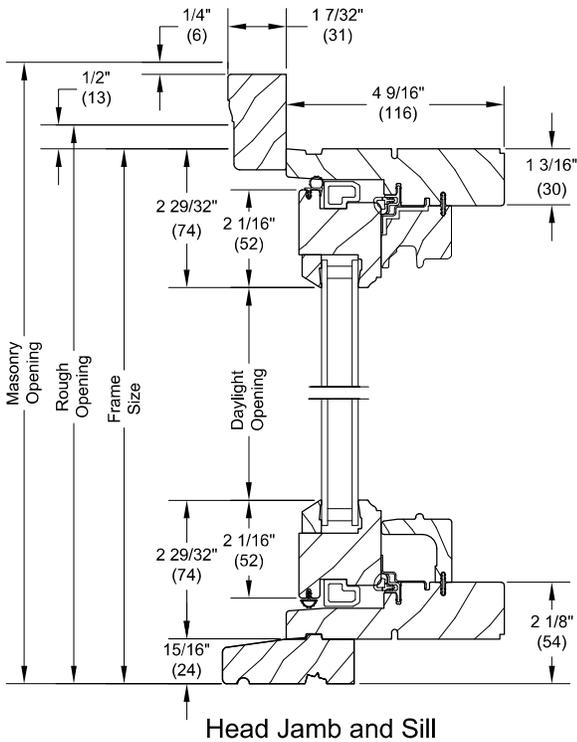
**Section Details: Operating and Stationary / Picture - 3/4" (19) IG**

Scale: 3" = 1' 0"

**Operating**

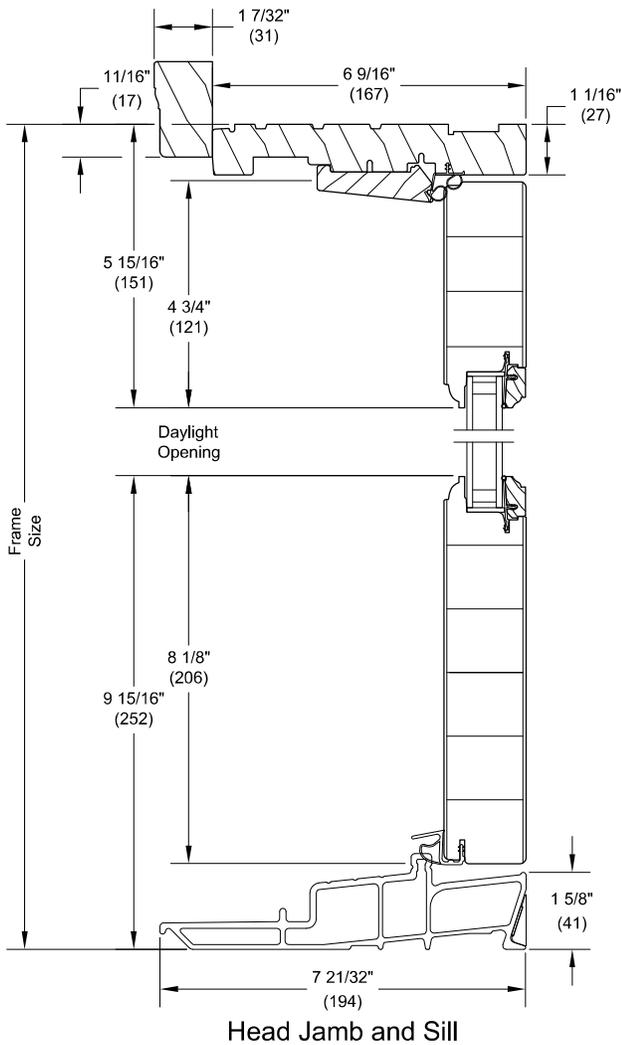


**Stationary**

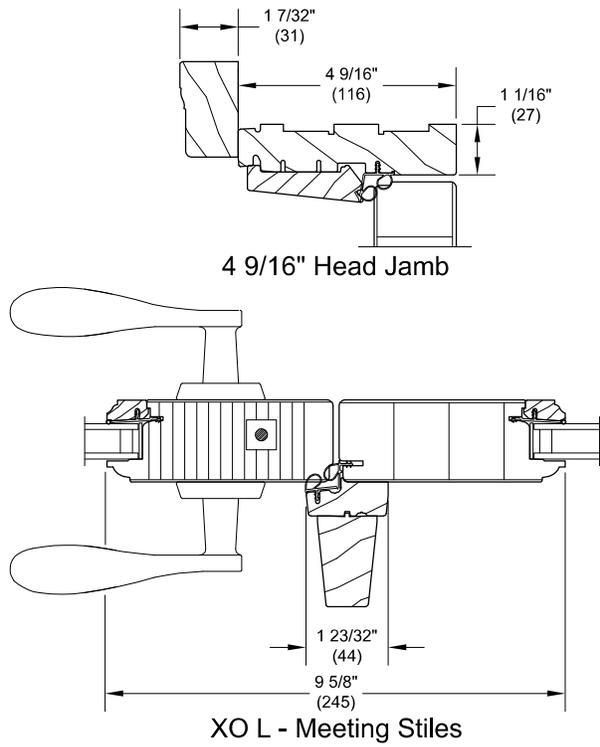


**Inswing Section Details: Operating**

Scale: 3" = 1' 0"

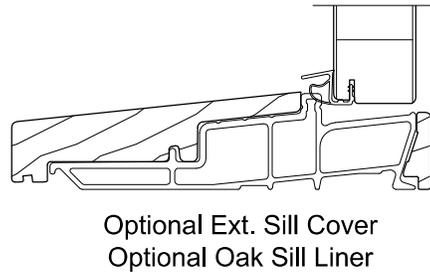


**Head Jamb and Sill**

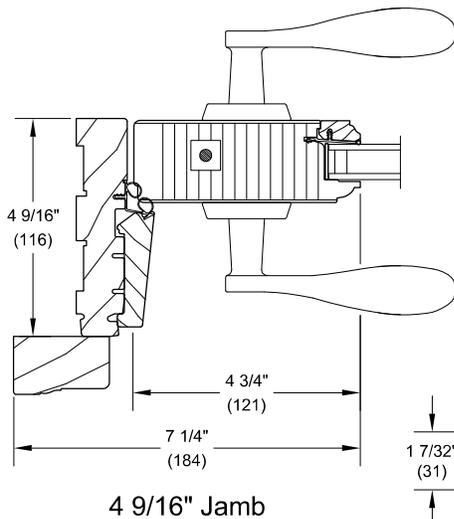


**4 9/16" Head Jamb**

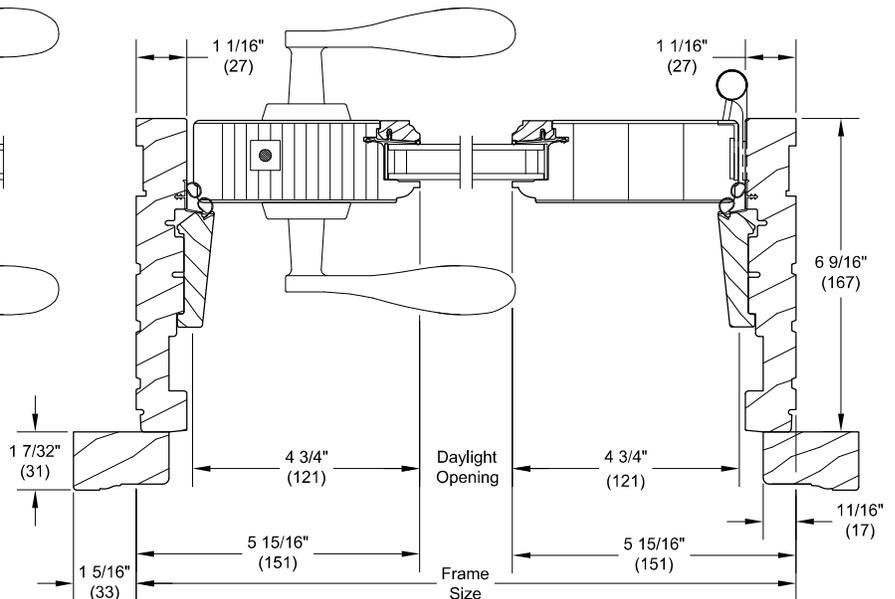
**XO L - Meeting Stiles**



**Optional Ext. Sill Cover  
Optional Oak Sill Liner**



**4 9/16" Jamb**



**X R Jamb**



90 Washington Street (Water side)



92 Washington Street



96 Washington Street  
(Great Harbor Yacht Club)



90 Washington Street (Street side)



95 Washington Street



97 Washington Street

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

X	HDC case number: (ex HDC2020-xx-xxxx), if applicable <a href="#">HDC2020-06-1070</a>
X	<u>Copy of Minutes</u> (application item circled)
X	<u>Reduced (8 1/2 x 11) copy of application</u>
X	<u>Locus Map</u> : 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) <ul style="list-style-type: none"> <li>a. Site Plan</li> <li>b. North Elevation</li> <li>c. South Elevation</li> <li>d. East Elevation</li> <li>e. West Elevation</li> <li>f. Window/Door Schedule</li> </ul>
X	<u>One set reduced plans</u> : 8 1/2 x 11
X	<u>Electronic Submission</u> : ALL documents <b>MUST BE</b> scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

**\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

### **Affidavit Certifying Completeness of Application**

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: \_\_\_\_\_ Date: 06.19.20

21. Diane Ash **06-1070** 23 Pine Street Rev. 05-0940: matl & clr chg 42.3.2-113 Emeritus

Voting Coombs (acting chair), McLaughlin, Camp, Oliver, Welch  
 Alternates None  
 Recused Pohl  
 Documentation Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.  
 Representing Matt MacEachern, Emeritus Development  
 Public None  
 Concerns (8:16) **MacEachern** – Presented project; the colors are based upon the Hilfiger house on Lincoln Circle.  
**Flynn** – Read Ms. Backus’ comments: Circa 1957; non-contributing; Seabrook for shutters and door not appropriate.  
**Camp** – Seabrook is inappropriate for Pine Street; it could be greyed down. Okay with other changes.  
**Oliver** – Seabrook is not Pine Street.  
**McLaughlin** – The contrast between blue and brown is too much; Seabrook blue is not appropriate. The double doors are forward of the right front door, which should be a standard 6-panel door.  
**Welch** – Agrees with respect to comments about the color. The shutters are appropriate.  
 Motion **Motion to Hold for revisions. (McLaughlin)**  
 Roll-call Vote Carried 5-0//Camp, Oliver, Welch, McLaughlin, and Coombs-aye Certificate #

**VII. OLD BUSINESS**

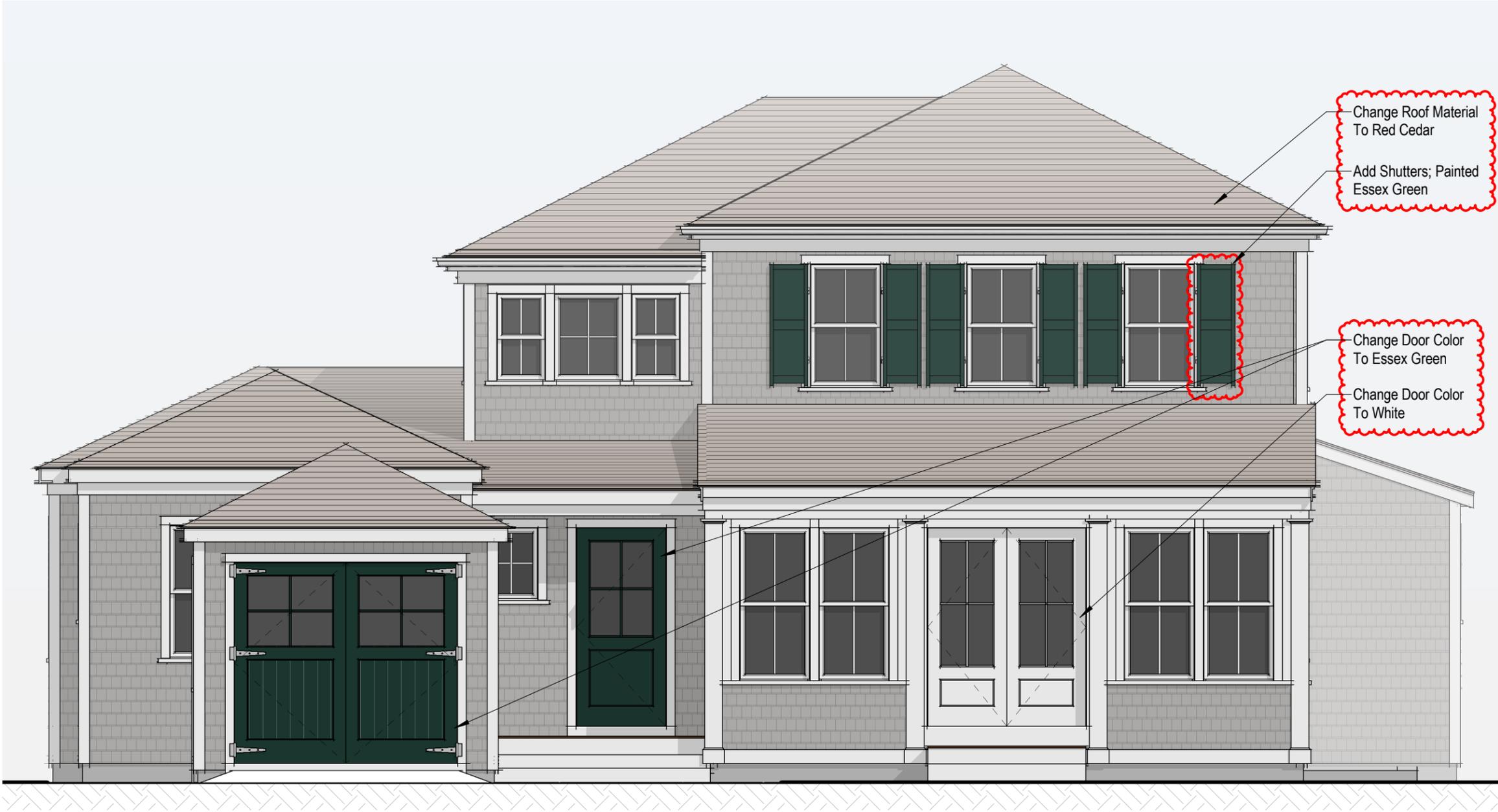
Property owner name	Street Address	Scope of work	Map/Parcel	Agent
1. Diane Ash <b>05-0939</b>	23 Pine Street	Hardscaping	42.3.2-113	Emeritus

Voting Coombs (acting chair), McLaughlin, Camp, Oliver, Welch  
 Alternates None  
 Recused Pohl  
 Documentation Landscape design plans, site plan, photos, and advisory comments.  
 Representing Matt MacEachern, Emeritus Development  
 Public None  
 Concerns (8:28) Motion to move up on the agenda. (Welch) Carried 5-0//Oliver, Camp, McLaughlin, Welch, and Coombs-aye  
**MacEachern** – Reviewed the project and changes made per previous concerns.  
**Oliver** – Her comment was “less is more and there are no other pergolas on Pine Street”; the pergola too shallow and doesn’t offer anything. The patio area should be significantly reduced.  
**Camp** – She wants more softening than was done; this is right on the street and needs to be screened from the public space. Agrees with Ms. Camp about the pergola. There are other plants beside privet that could be used; it should reflect the street more, which has trees.  
**McLaughlin** – The pergola looks awful hanging off the front of the building.  
**Welch** – Doesn’t disagree with retaining a transition from public to private space; however, this area of Pine Street between High and Twin Streets is all parking with trees; a tree in front would help. If the hardscaping isn’t visible, it’s our purview.  
 Motion **Motion to Hold for revisions. (Oliver)**  
 Roll-call Vote Carried 5-0//McLaughlin, Welch, Oliver, Camp, and Coombs-aye Certificate #

2. Faro Strada, LLC <b>05-0945</b>	20 Sankaty Head Road	Garage	48-31	Botticelli & Pohl
------------------------------------	----------------------	--------	-------	-------------------

Voting Coombs (acting chair), Oliver, Welch  
 Alternates None  
 Recused Pohl  
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.  
 Representing Lisa Botticelli, Botticelli & Pohl  
 Public None  
 Concerns (8:35) **Botticelli** – Reviewed changes made per previous concerns.  
**Oliver** – She looked up different garages and compared this with the existing, this is an improvement.  
**Welch** – Agrees with Ms. Oliver. The roof form is more appropriate.  
 Motion **Motion to Approve as submitted. (Oliver)**  
 Roll-call Vote Carried 3-0// Oliver, Welch, and Coombs-aye Certificate # **HDC2020-05-0945**

# Essex Green



S.1

*Ash Residence*  
23 Pine Street  
Nantucket, MA 02554

### Zoning Information

Map & Parcel: 42.3.2 / 113  
Current Zoning: ROH  
Minimum Frontage: 50'  
Front Setback: None  
Side/Rear Setback: 5'

### Facade @ Garage

06.18.20



emeritus

8 Williams Lane Nantucket, MA  
02554  
P. 508.325.4995  
F. 508.325.6980  
www.emeritusdevelopment.com

# Ash Residence

23 Pine Street  
Nantucket, MA 02554



# 1944

Ash Residence

23 Pine Street  
Nantucket, MA 02554



## Cover Sheet

### Site Information

Map & Parcel:	42.3.2 / 113
Current Zoning:	ROH
Minimum Frontage:	50'
Front Setback:	None
Side/Rear Setback:	5'
Lot Size:	3,833 SF +/-
Min. Lot Size:	5,000 SF
Allowable G.C.:	1,533 SF +/-
Existing G.C.:	751 SF +/-
Proposed G.C.:	1,145 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

### SHEET INDEX

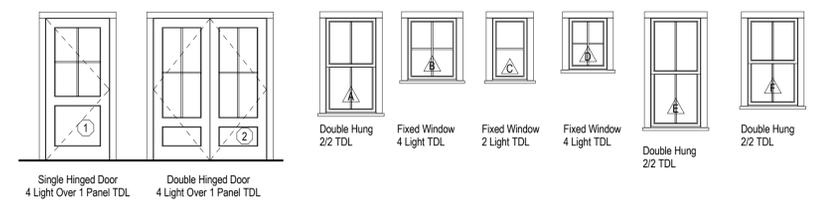
G.1.1	Cover Sheet
A.1.1	Floor Plans
A.1.2	Floor Plans
A.2.1	Exterior Elevations
F.1.1	Foundation Plan
S.1.1	Framing Plans
S.1.2	Roof Framing Plan
S.2.1	Building Sections
D.1.1	Exterior Trim Details

06.19.20



## 1 Locus Map

Not to Scale



WINDOW	QUANTITY	R.O. WIDTH	R.O. HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
A	13	2' 6" 1/4"	4' 9 3/8"	Green Mountain	MDH 2424	EGRESS WINDOW	≥ 30
B	8	2' 5"	3' 1 1/4"	**	MCM 2836	FIXED WINDOW	≥ 30
C	8	1' 9"	3' 1 1/4"	**		FIXED WINDOW	≥ 30
D	1	2' 6 1/4"	5' 5 3/8"	**	MAW 2432	FIXED WINDOW	≥ 30
E	6	2' 6 1/4"	5' 5 3/8"	**	MDH 2428	EGRESS WINDOW	≥ 30
F	6	2' 6 1/4"	4' 5 3/8"	**	MDH 2422	EGRESS WINDOW	≥ 30

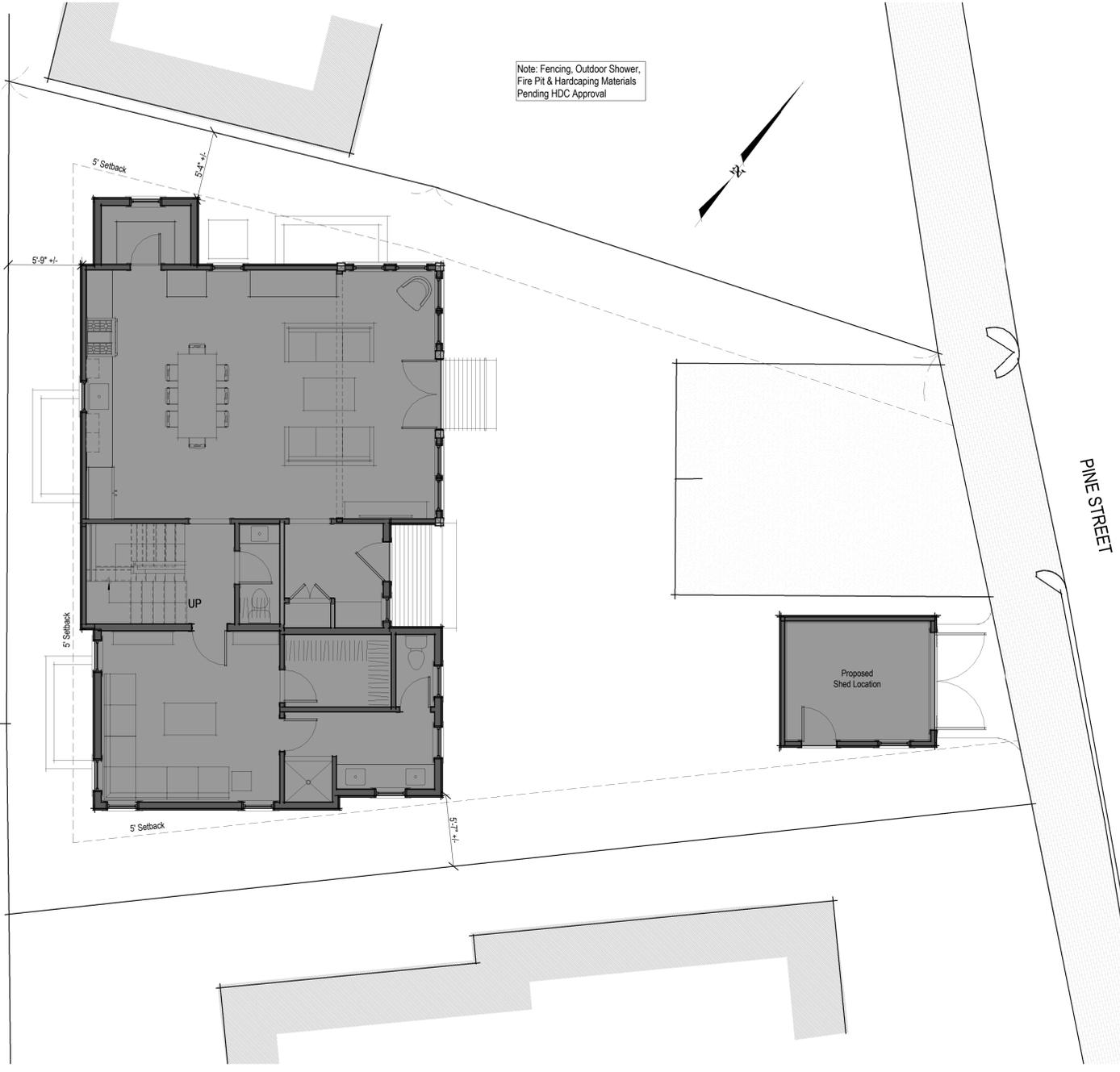
DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
1	1	3'-0" +/-	6'-8" +/-	TBD	TBD		≥ 30
2	1	5'-4" +/-	6'-8" +/-				≥ 30

## 2 Window/Door Legend

1/4" = 1'-0"

- WINDOW & DOOR NOTES**
- Windows w/ DP Rating of 30 or Greater Required
  - Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
  - Refer To Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
  - Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
  - General Contractor to Verify All Egress Windows Have @ Least 20'x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
  - General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings
  - Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
  - Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
  - The Unit Measurements Given In This Document Are For A Guide Only
  - Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing
  - All Windows Must Have A 0.32 U-factor Or Better
  - All Windows & Doors To Be Single Pane Glass, True Divided Lights & Have Low E Storms As Needed For Energy Requirements

HDC Submission



## 3 Site Plan

3/16" = 1'-0"

### Revisions

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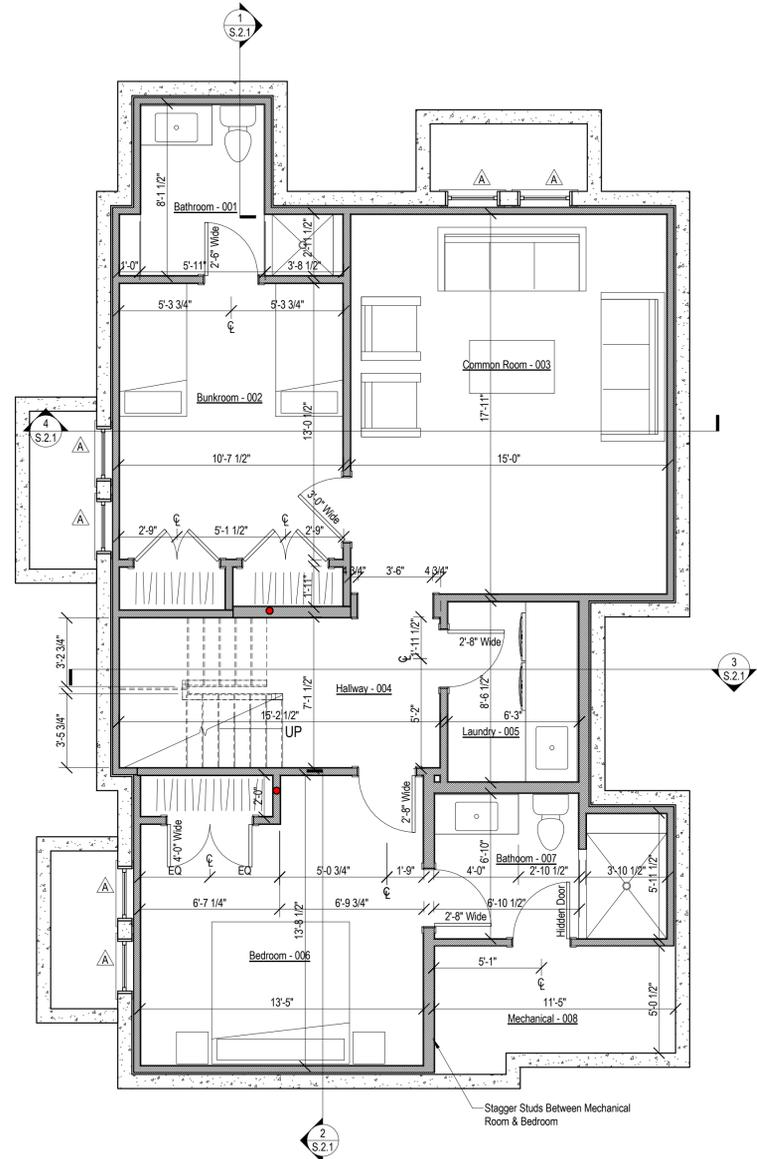
DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING. WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

# G.1.1

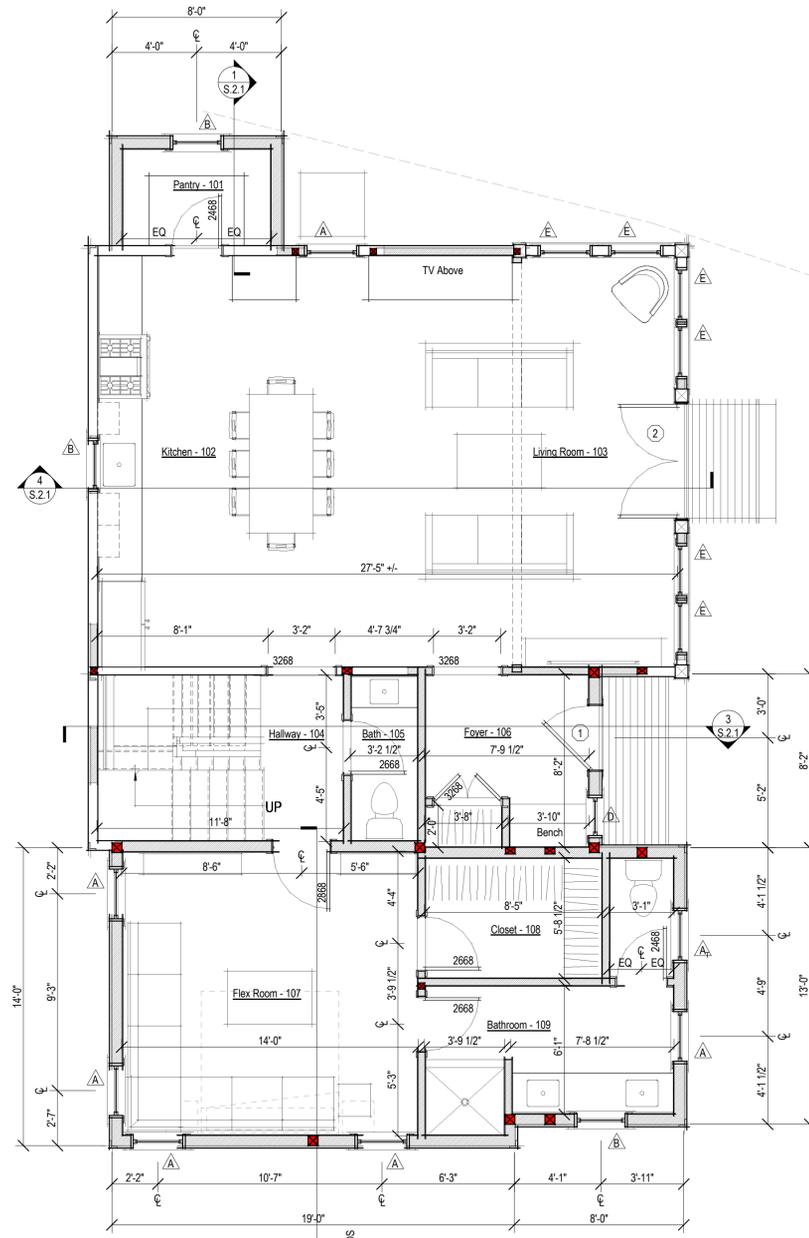
# 1944

06.19.20

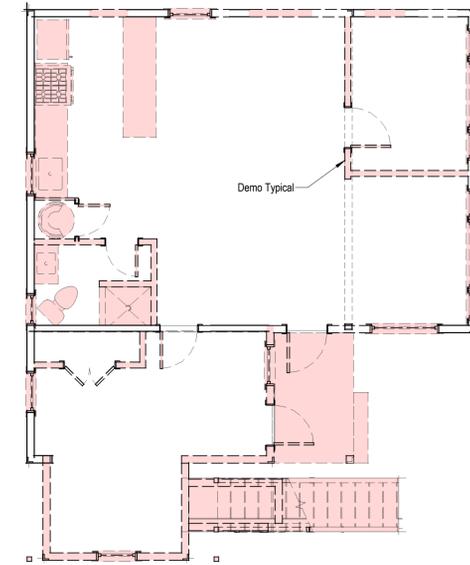
HDC Submission



1 Basement Plan  
1/4" = 1'-0"



2 Proposed First Floor Plan  
1/4" = 1'-0"



3 Existing First Floor Demo Plan  
3/16" = 1'-0"

**PARTITION LEGEND**

	Existing 2x4 Partition, Dimensioned to Face of Wall Finish		Existing 2x6 Partition, Dimensioned to Face of Wall Finish
	Proposed 2x4 Partition, Dimensioned to Face of Stud		Proposed 2x6 Partition, Dimensioned to Face of Stud

**EXISTING CONDITIONS NOTES:**

- Plan Dimensions and Building Heights Reflected in Existing/Demolition Plans are Based on Field Measurements Recorded by Architect and Surveyor. Contractor to Notify Architect Immediately of Any Major Discrepancy Discovered Between the Drawings and the Actual Existing Conditions, Especially Where Concerning the Existing Foundation and Structure.
- Existing Framing Sizes and Span Directions to be Verified by Contractor Prior to Beginning Construction.
- Plumb Down From All Existing Stud Walls When Setting Foundation Forms. Verify All Foundation Wall Dimension in Field.

1944

Ash Residence

23 Pine Street  
Nantucket, MA 02554



**Floor Plans**

**Site Information**

Map & Parcel:	42.3.2 / 113
Current Zoning:	ROH
Minimum Frontage:	50'
Front Setback:	None
Side/Rear Setback:	5'
Lot Size:	3,833 SF +/-
Min. Lot Size:	5,000 SF
Allowable G.C.:	1,533 SF +/-
Existing G.C.:	751 SF +/-
Proposed G.C.:	1,145 SF

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- A.1.1 Floor Plans
- A.1.2 Floor Plans
- A.2.1 Exterior Elevations
- F.1.1 Foundation Plan
- S.1.1 Framing Plans
- S.1.2 Roof Framing Plan
- S.2.1 Building Sections
- D.1.1 Exterior Trim Details

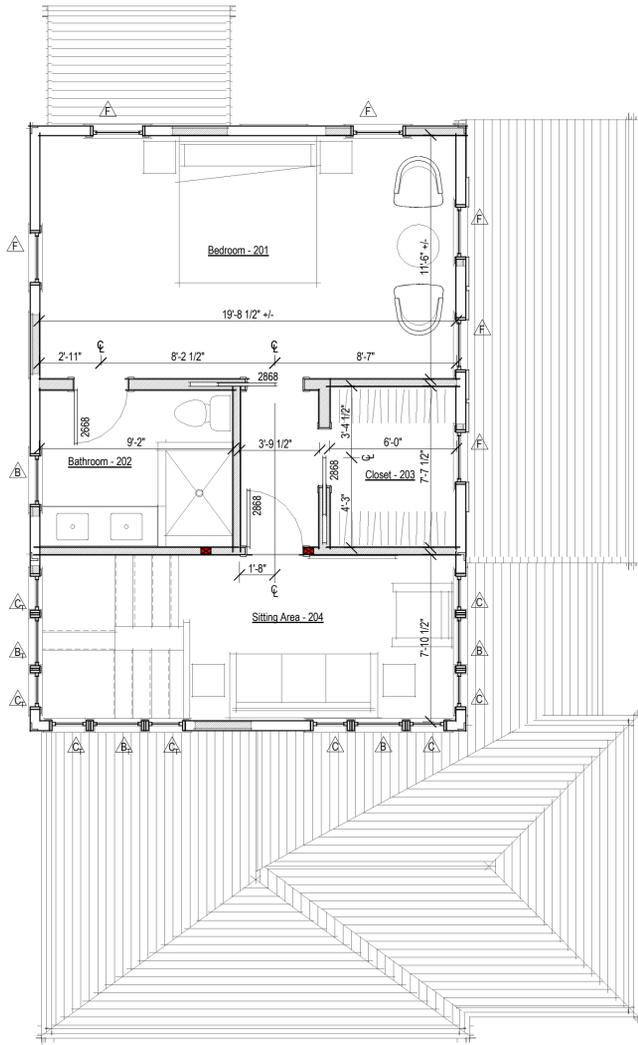
**Revisions**

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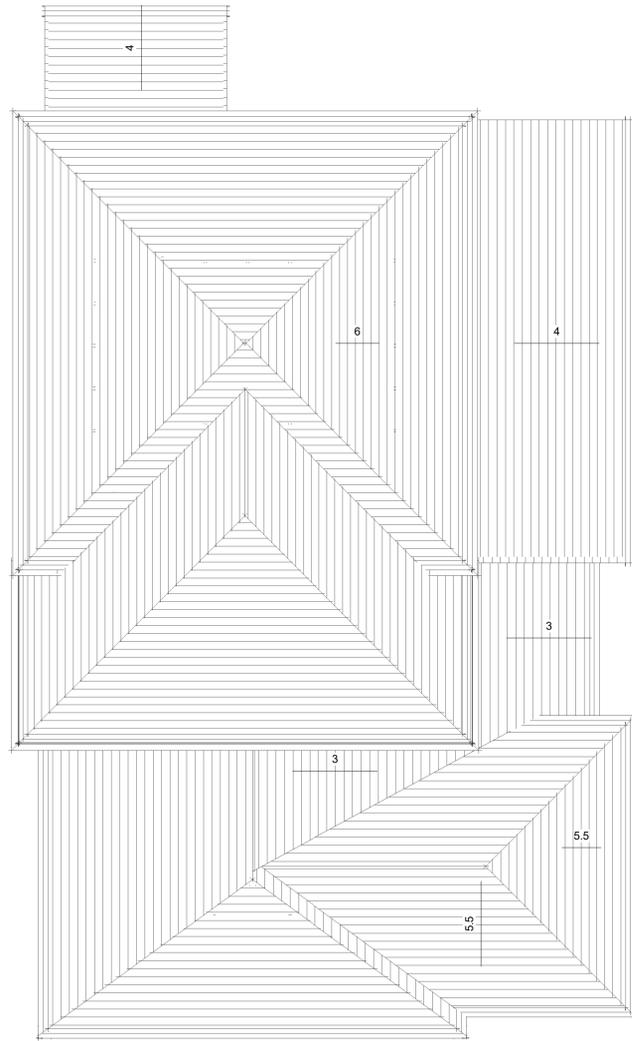
A.1.1  
1944

06.19.20

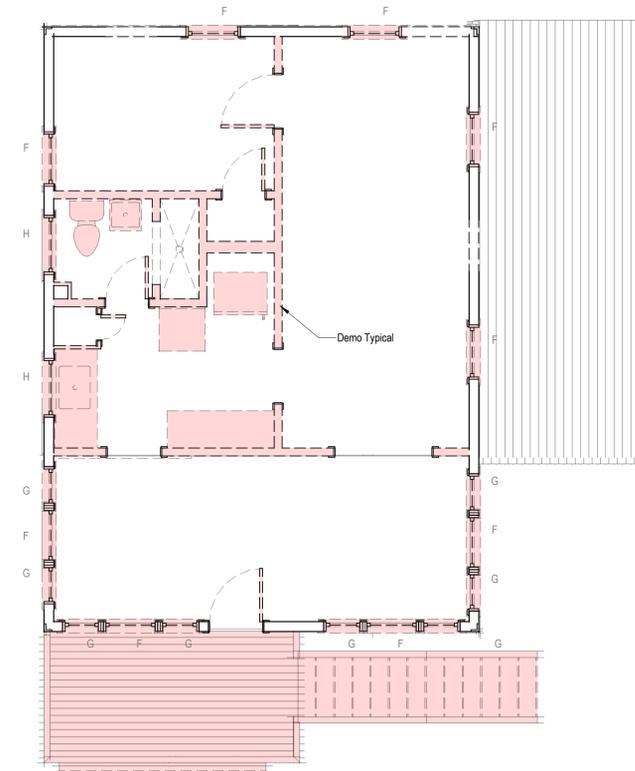
HDC Submission



1 Proposed Second Floor Plan  
1/4" = 1'-0"



2 Roof Plan  
1/4" = 1'-0"



3 Existing Second Floor Demo Plan  
1/4" = 1'-0"

PARTITION LEGEND	
	Existing 2x4 Partition, Dimensioned to Face of Wall Finish
	Existing 2x6 Partition, Dimensioned to Face of Wall Finish
	Proposed 2x4 Partition, Dimensioned to Face of Stud
	Proposed 2x6 Partition, Dimensioned to Face of Stud

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**1944**  
Ash Residence  
23 Pine Street  
Nantucket, MA 02554



Floor Plans

Site Information

Map & Parcel:	42.3.2 / 113
Current Zoning:	ROH
Minimum Frontage:	50
Front Setback:	None
Side/Rear Setback:	5'
Lot Size:	3,833 SF +/-
Min. Lot Size:	5,000 SF
Allowable G.C.:	1,533 SF +/-
Existing G.C.:	751 SF +/-
Proposed G.C.:	1,145 SF

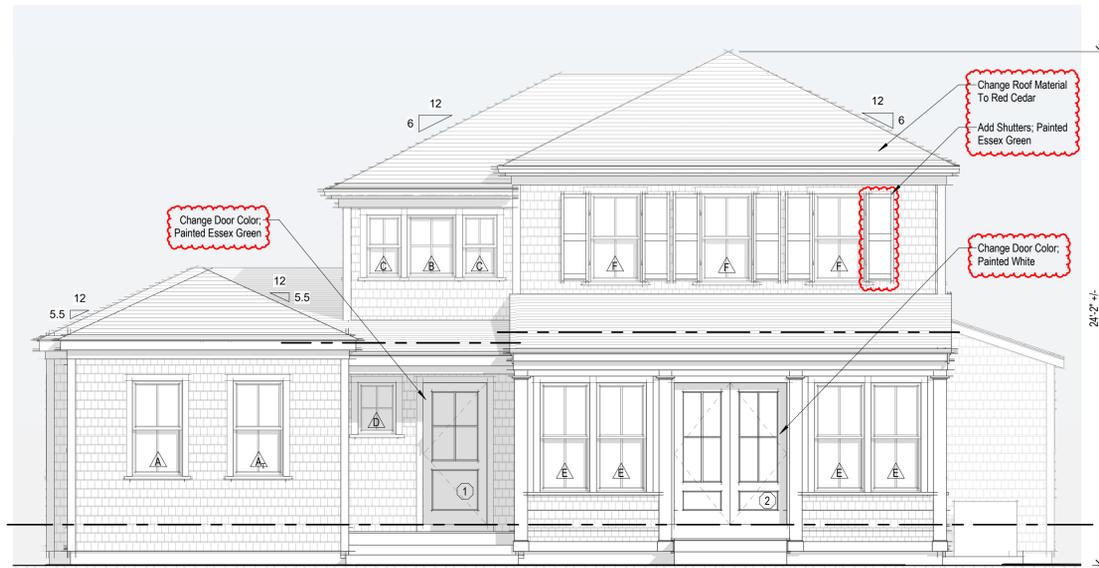
Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.  
DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING, WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

**A.1.2**  
**1944**

06.19.20



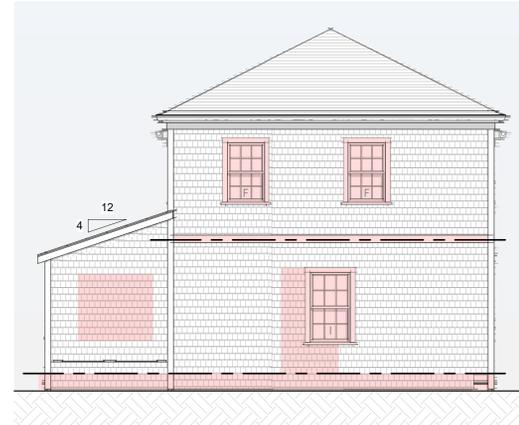
1 Proposed East Elevation  
1/4" = 1'-0"



2 Proposed North Elevation  
1/4" = 1'-0"



Existing East Elevation  
3/16" = 1'-0"



Existing North Elevation  
3/16" = 1'-0"



Existing West Elevation  
3/16" = 1'-0"



Existing South Elevation  
3/16" = 1'-0"



3 Proposed West Elevation  
1/4" = 1'-0"



4 Proposed South Elevation  
1/4" = 1'-0"

HDC Submission

# 1944

## Ash Residence

23 Pine Street  
Nantucket, MA 02554



### Exterior Elevations

### Site Information

Map & Parcel:	42.3.2 / 113
Current Zoning:	ROH
Minimum Frontage:	50'
Front Setback:	None
Side/Rear Setback:	5'
Lot Size:	3,833 SF +/-
Min. Lot Size:	5,000 SF
Allowable G.C.:	1,533 SF +/-
Existing G.C.:	751 SF +/-
Proposed G.C.:	1,145 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

### SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 Floor Plans
- A.1.2 Floor Plans
- A.2.1 Exterior Elevations
- F.1.1 Foundation Plan
- S.1.1 Framing Plans
- S.1.2 Roof Framing Plan
- S.2.1 Building Sections
- D.1.1 Exterior Trim Details

### Revisions

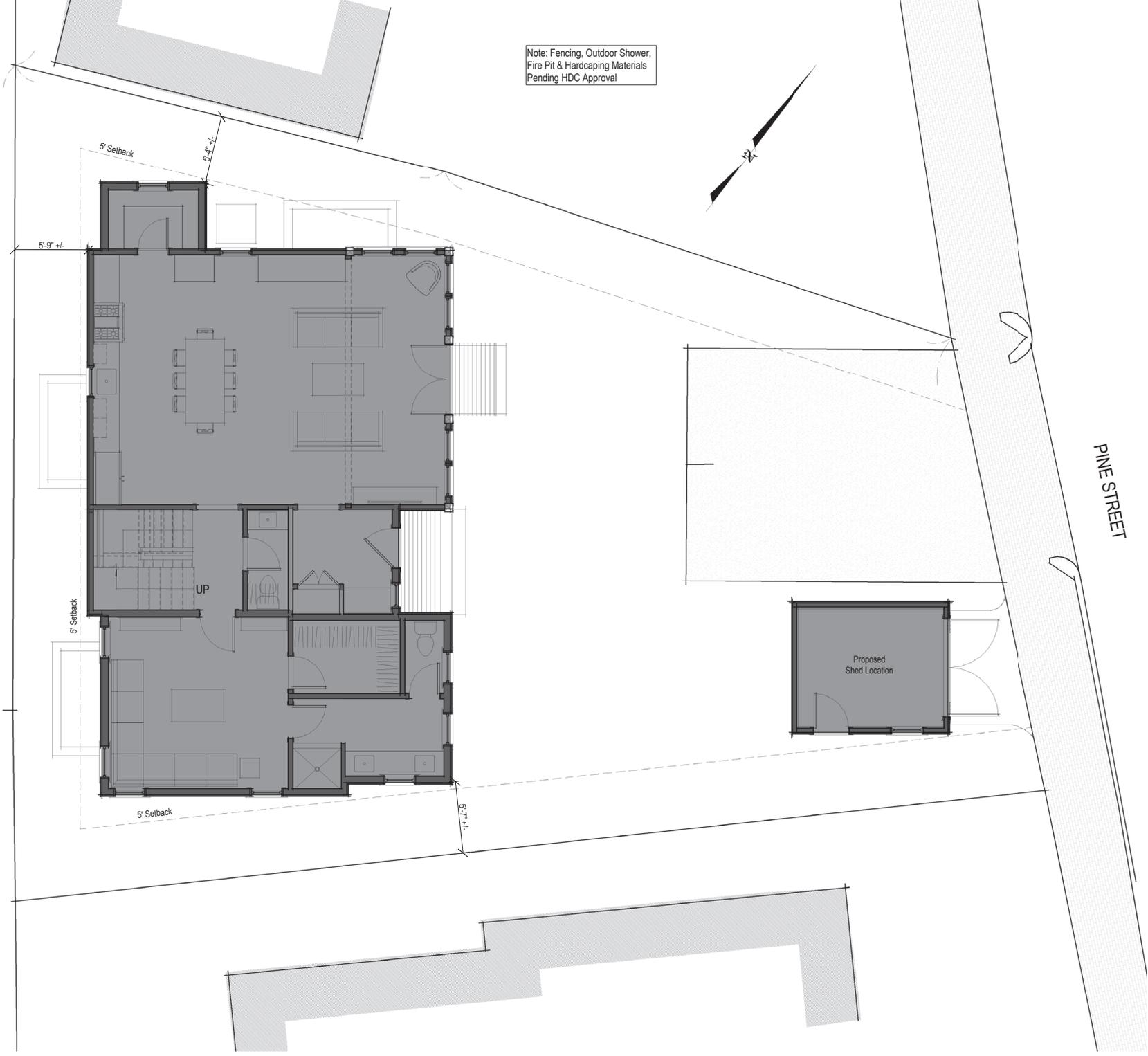
THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD. DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

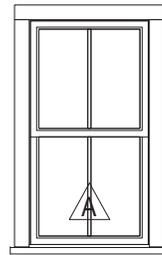
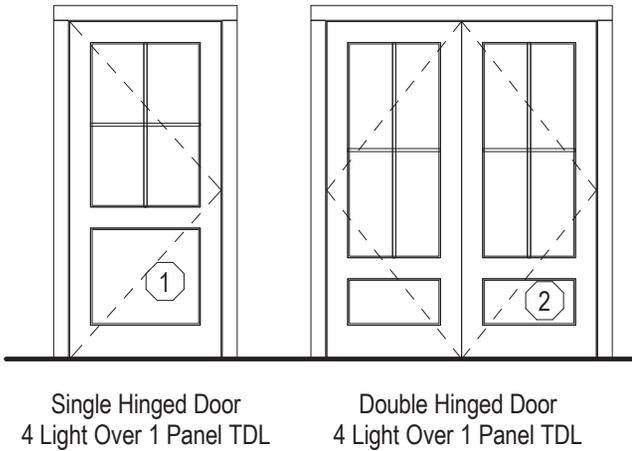
# A.2.1

# 1944

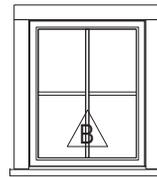


Note: Fencing, Outdoor Shower,  
Fire Pit & Hardcaping Materials  
Pending HDC Approval

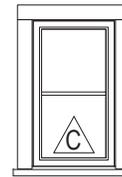




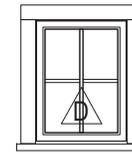
Double Hung  
2/2 TDL



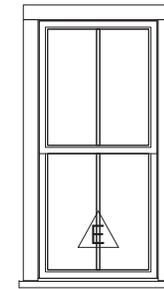
Fixed Window  
4 Light TDL



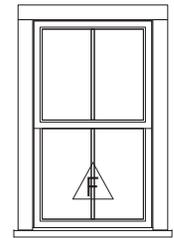
Fixed Window  
2 Light TDL



Fixed Window  
4 Light TDL



Double Hung  
2/2 TDL



Double Hung  
2/2 TDL

### WINDOW SCHEDULE

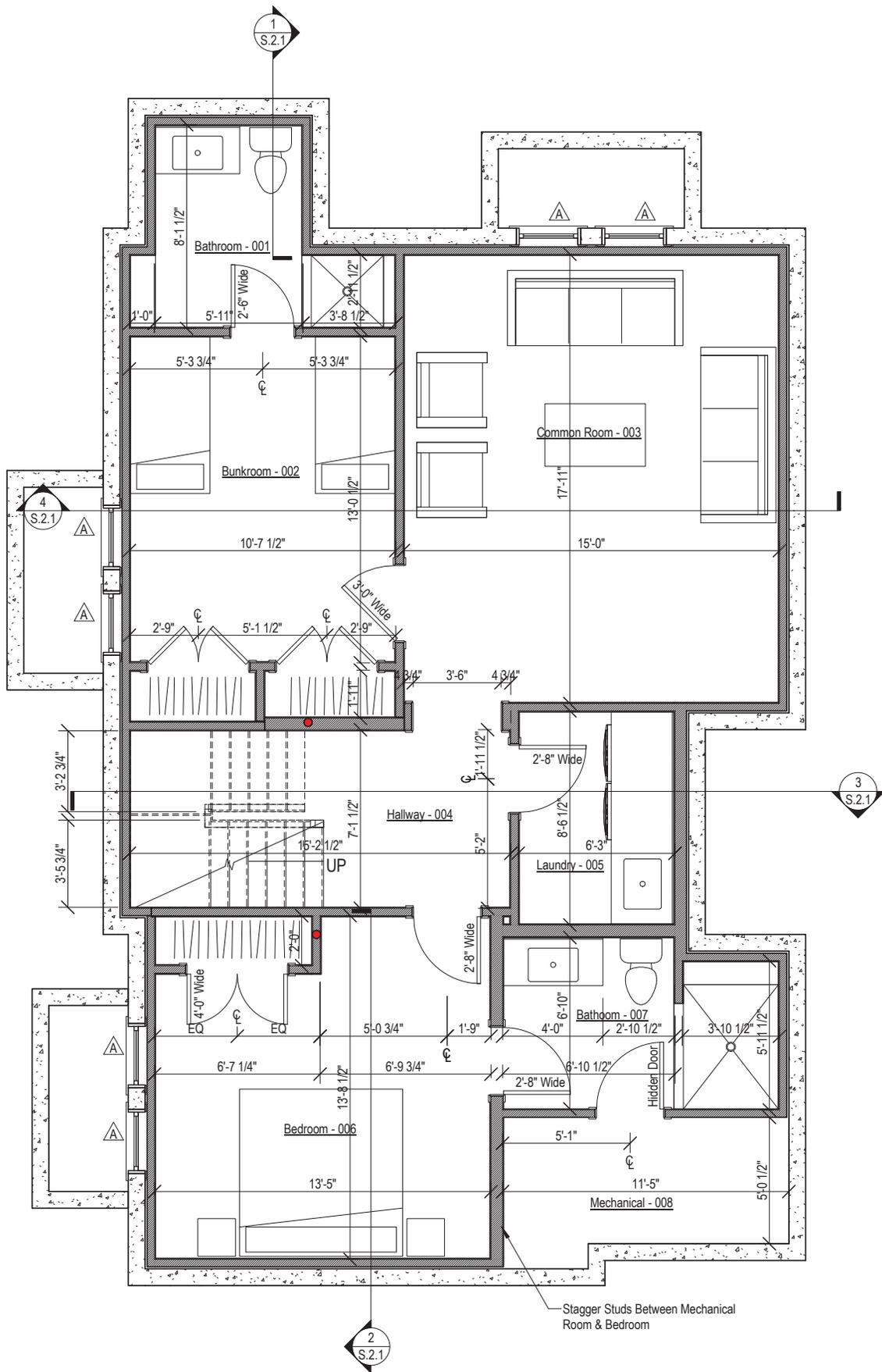
WINDOW	QUANTITY	R.O. WIDTH	R.O. HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
A	13	2' 6" 1/4"	4' 9 3/8"	Green Mountain	MDH 2424	EGRESS WINDOW	≥ 30
B	8	2' 5"	3' 1 1/4"	" "	MCM 2836	FIXED WINDOW	≥ 30
C	8	1' 9"	3' 1 1/4"	" "			≥ 30
D	1			" "	MAW 2432	FIXED WINDOW	≥ 30
E	6	2' 6 1/4"	5' 5 3/8"	" "	MDH 2428	EGRESS WINDOW	≥ 30
F	6	2' 6 1/4"	4' 5 3/8"	" "	MDH 2422	EGRESS WINDOW	≥ 30

### EXTERIOR DOOR SCHEDULE

DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
1	1	3'-0" +/-	6'-8" +/-	TBD	TBD		≥ 30
2	1	5'-4" +/-	6'-8" +/-				≥ 30

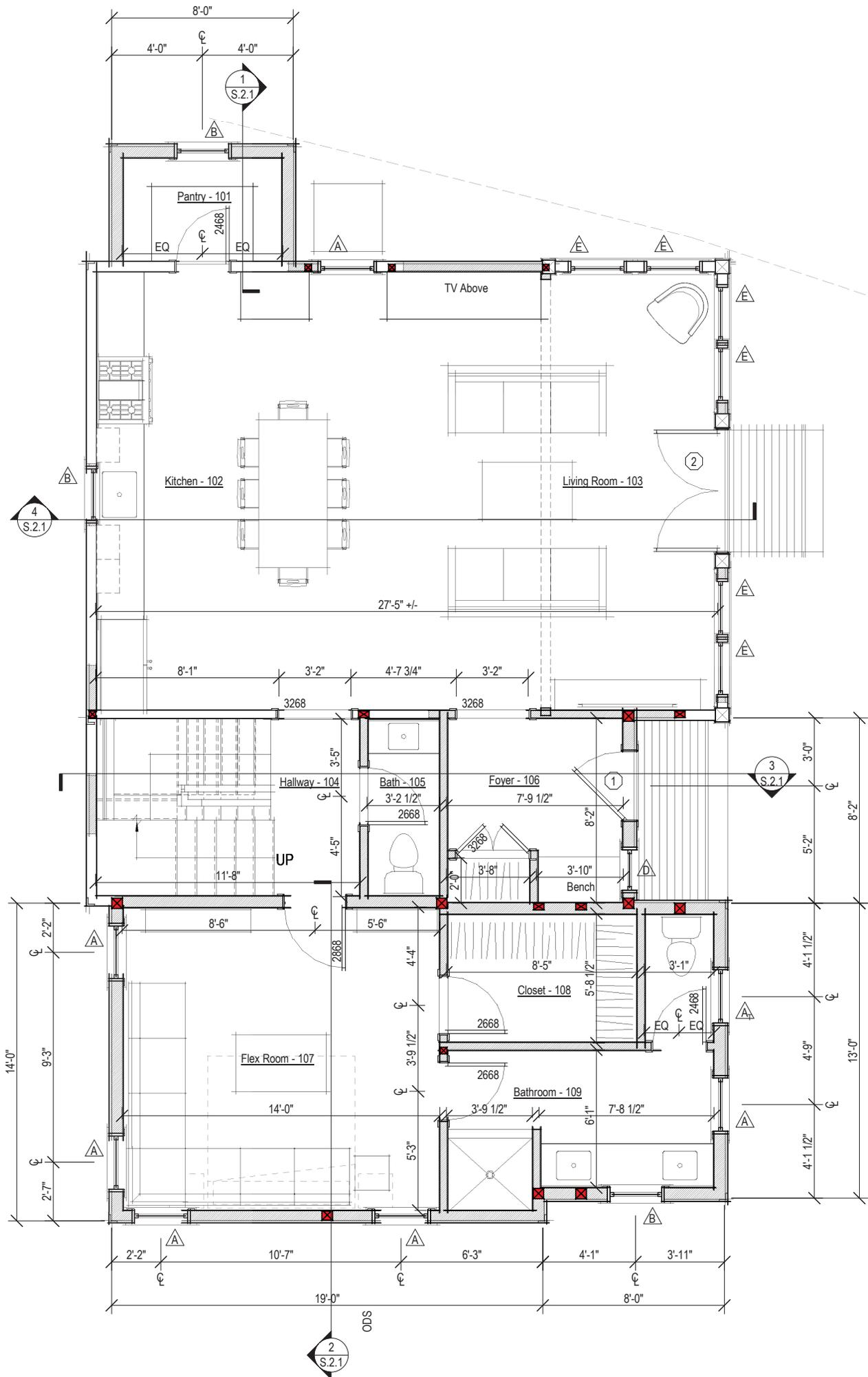
## 2 Window/Door Legend

1/4" = 1'-0"



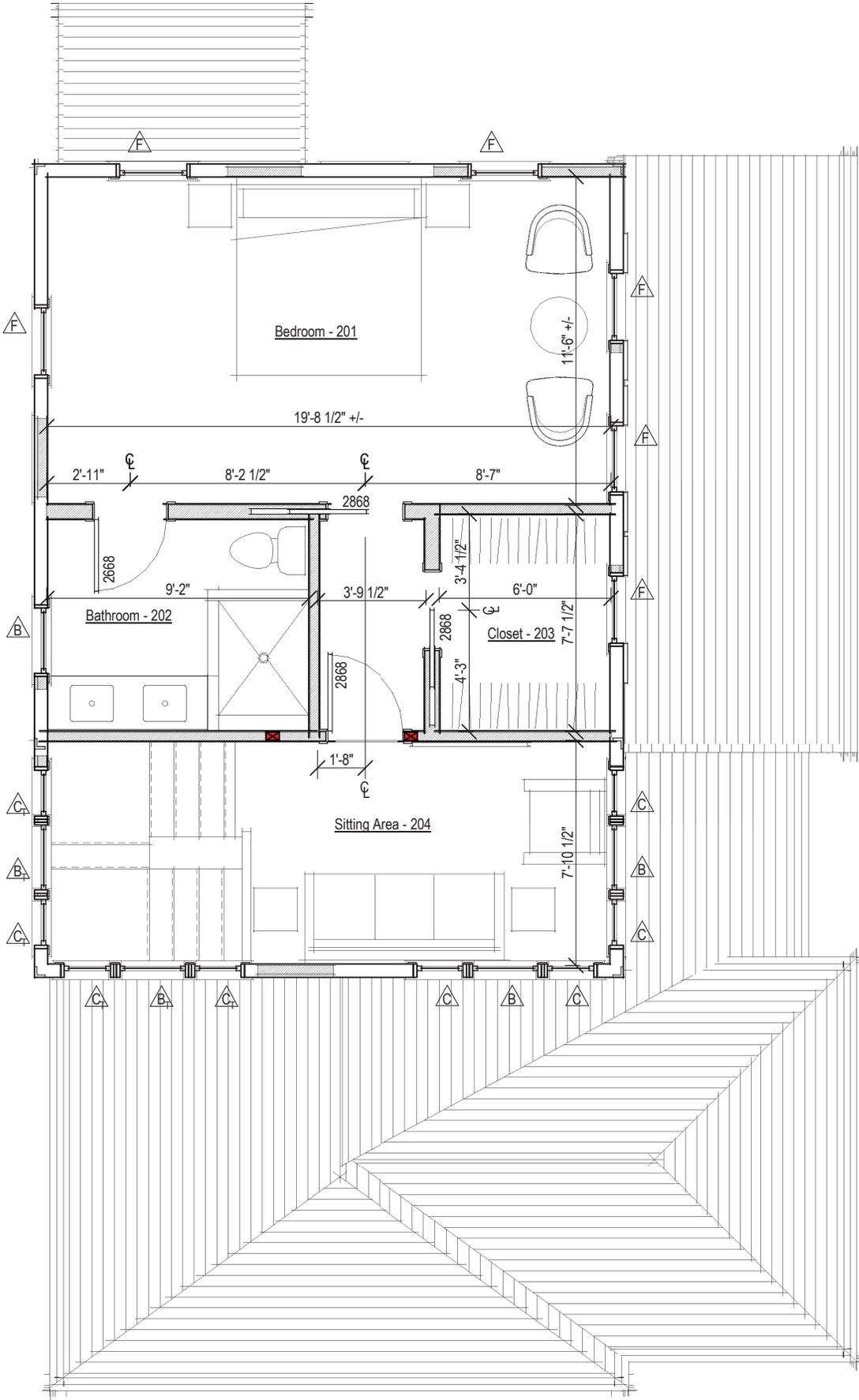
# 1 Basement Plan

1/4" = 1'-0"

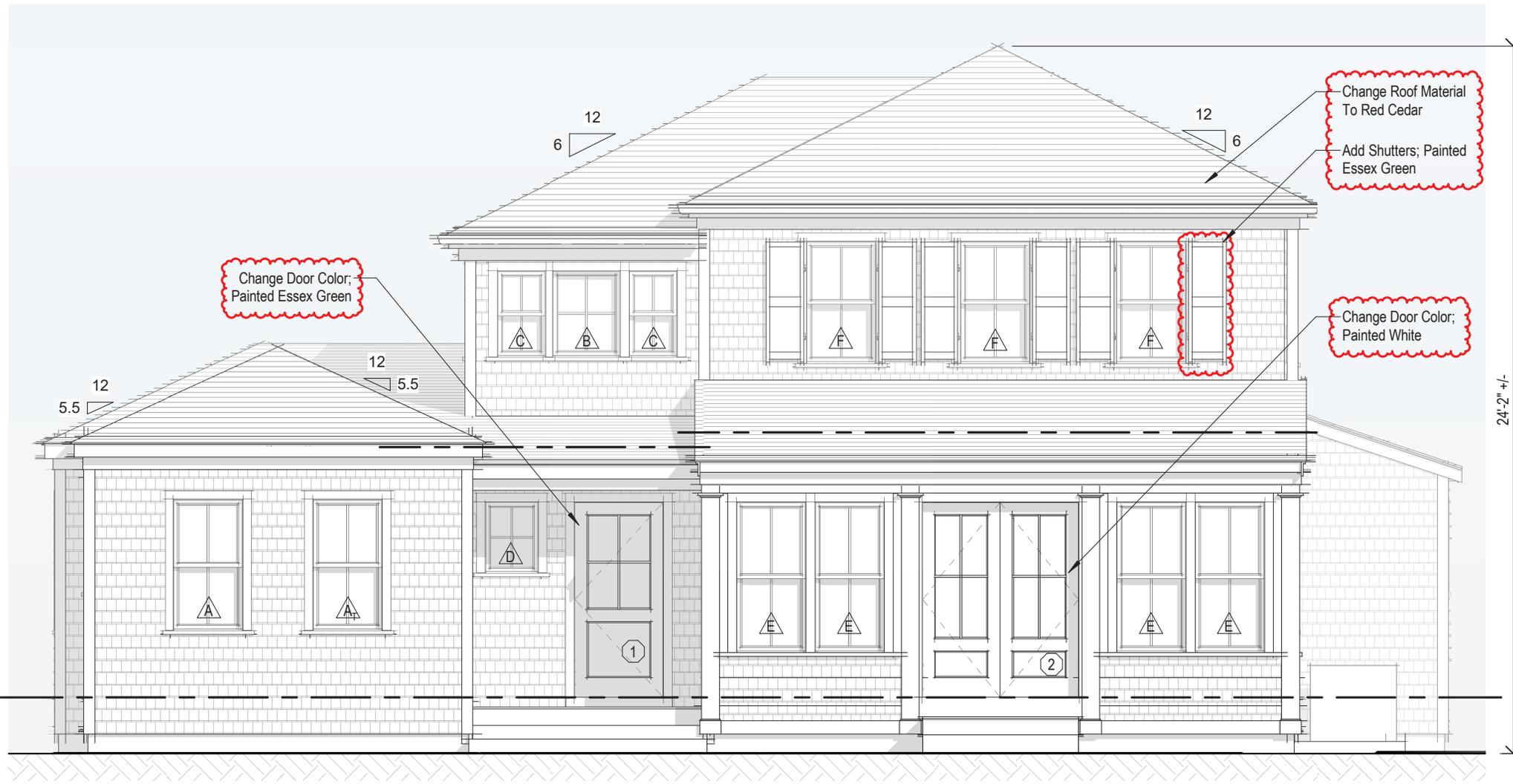


# 2 Proposed First Floor Plan

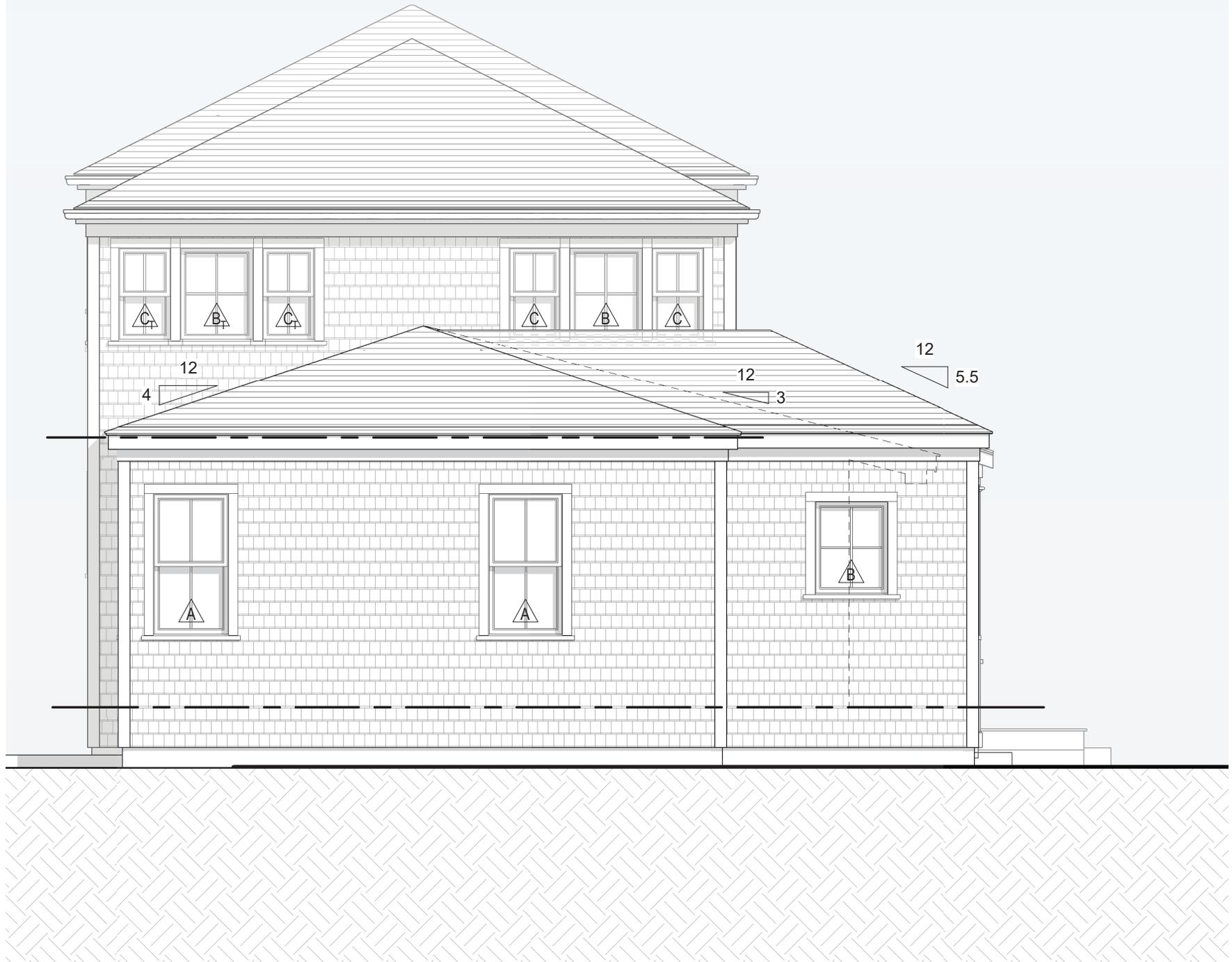
1/4" = 1'-0"



**1** Proposed Second Floor Plan  
 1/4" = 1'-0"



**1** Proposed East Elevation  
1/4" = 1'-0"



**4** Proposed South Elevation  
1/4" = 1'-0"



**3** Proposed West Elevation  
1/4" = 1'-0"



**2** Proposed North Elevation  
1/4" = 1'-0"

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 73.4.1 PARCEL N°: 26.1  
Street & Number of Proposed Work: 33 Coffin St  
Owner of record: 33 Coffin Street LLC  
Mailing Address: 1644 Avon Place NW  
Washington, DC 20007  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Chip Webster Architecture  
Mailing Address: 9 Amelia Drive  
Nantucket, MA 02554  
Contact Phone #: 508-228-3600 E-mail: amy@chipwebster.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other Renovation

Size of Structure or Addition: Length: No changes Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: 1818 SF  1st floor  2nd floor  
Width: No changes Sq. Footage 2nd floor: \_\_\_\_\_ Size: 62 SF  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0  
Height of ridge above final finish grade: North 24'-1" +/- South 24'-1" +/- East 24'-1" +/- West 24'-1" +/-

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation - Change doors + windows  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation - Add covered porches  
Original Builder: \_\_\_\_\_ 3. West Elevation - Add dormers  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation - Increase height of front gable  
- Add 2 balconies

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed no changes  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 9 /12 Secondary Mass \_\_\_\_\_ /12 Dormer 3 /12 Other Front porch 4:12, side porch 2 1/2:12

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): match existing

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia match existing Rake match existing Soffit (Overhang) match existing Corner boards match existing Frieze \_\_\_\_\_

Window Casing match existing Door Frame match existing Columns/Posts: Round \_\_\_\_\_ Square 8x8

Windows\*:  Double Hung  Casement  All Wood  Other Fixed  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

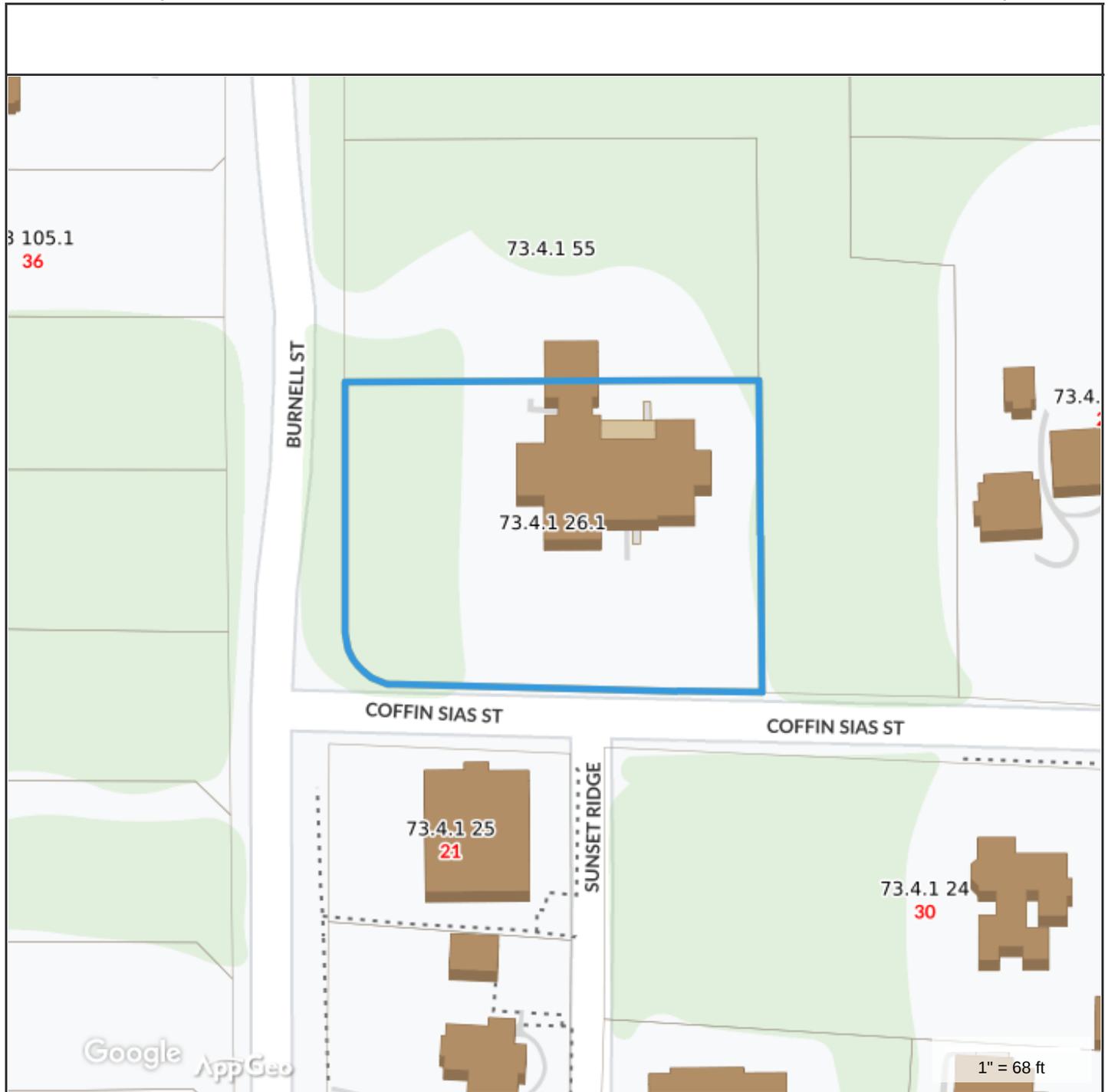
#### COLORS

Sidewall NTW Clapboard (if applicable) \_\_\_\_\_ Roof match existing  
Trim white-match existing Sash white-match existing Doors white-match existing  
Deck NTW Foundation match existing Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5/15/20 Signature of owner of record Amy Redore \*signed under authority of owner Signed under penalties of perjury



**Property Information**

**Property ID** 73.4.1 26.1  
**Location** 33 COFFIN SIAS ST  
**Owner** 33 COFFIN STREET LLC



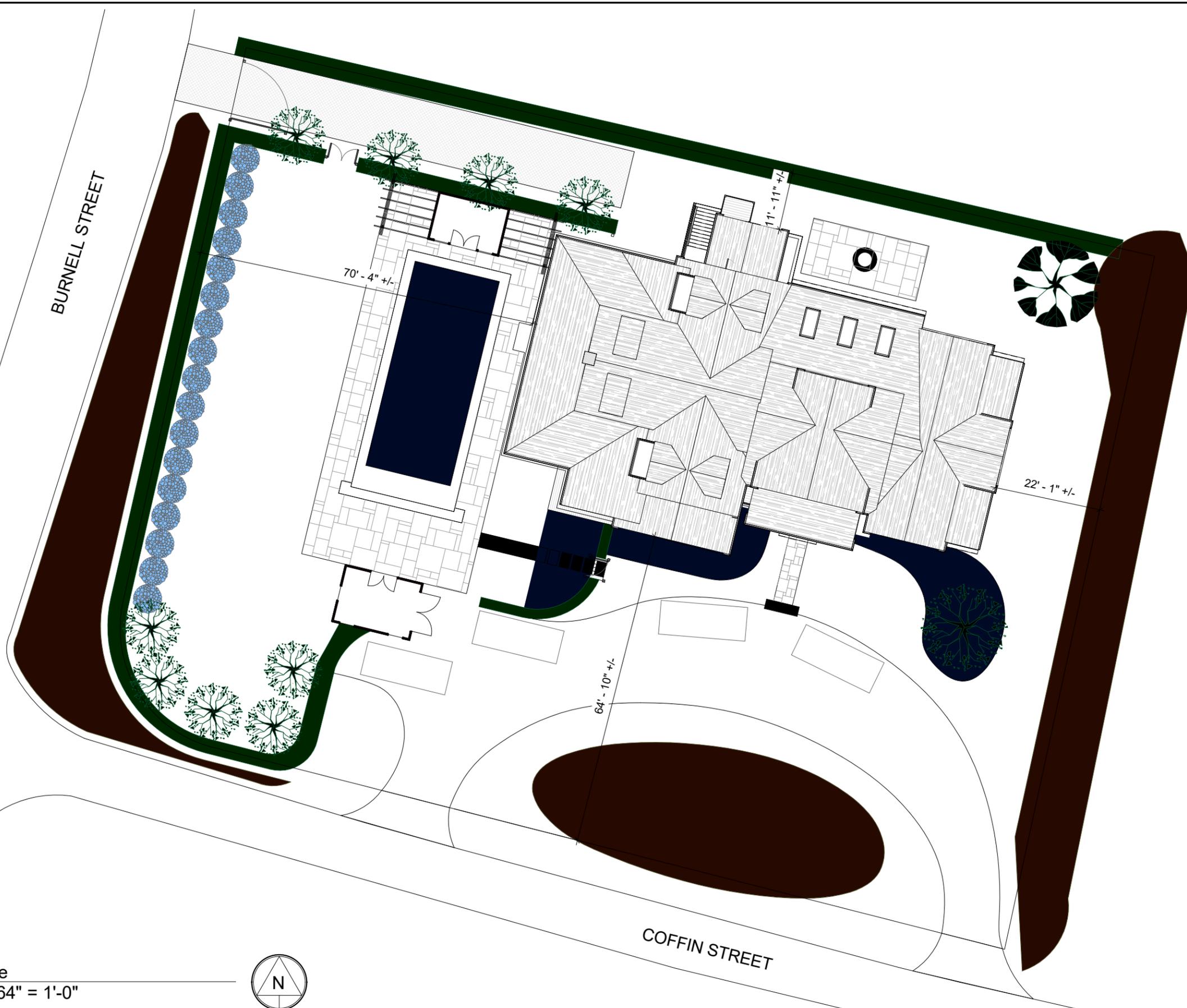
**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018  
Data updated 11/19/2018

6/18/2020 10:39:24 AM

1 Site  
3/64" = 1'-0"



Gabriel

Site Plan

33 Coffin Street, Nantucket, MA

SD - Not For Construction

#	Date	Note
3	2020.05.27	HDC Resubmission
4	2020.06.18	HDC Resubmission

L.1



9 AMELIA DRIVE NANTUCKET MA 02554 508-228-3600 CHIPWEBSTER.COM



Existing South Elevation



First Submission



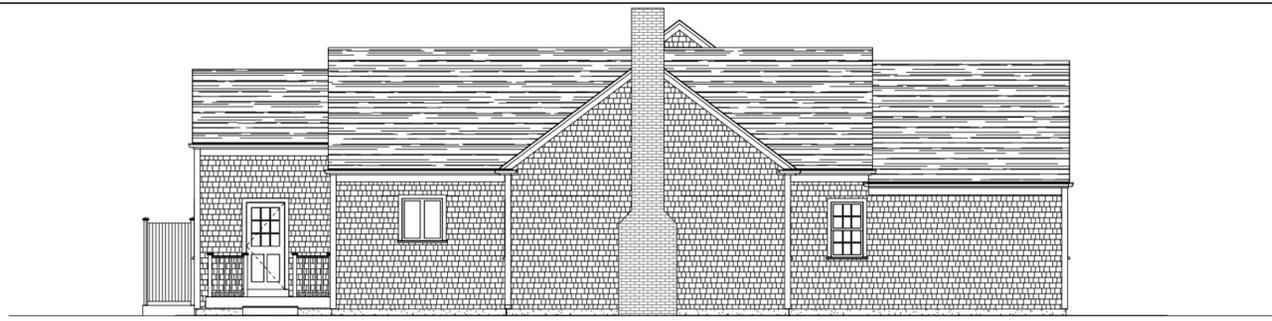
Second Submission



Third Submission



Current Submission



Existing West Elevation



First Submission



Second Submission



Third Submission



Current Submission

6/18/2020 11:06:55 AM

#	Date	Note
9	2020.06.10	HDC Resubmission
10	2020.06.18	HDC Resubmission





② South - HDC  
1/4" = 1'-0"

Previous Submission

Proposed

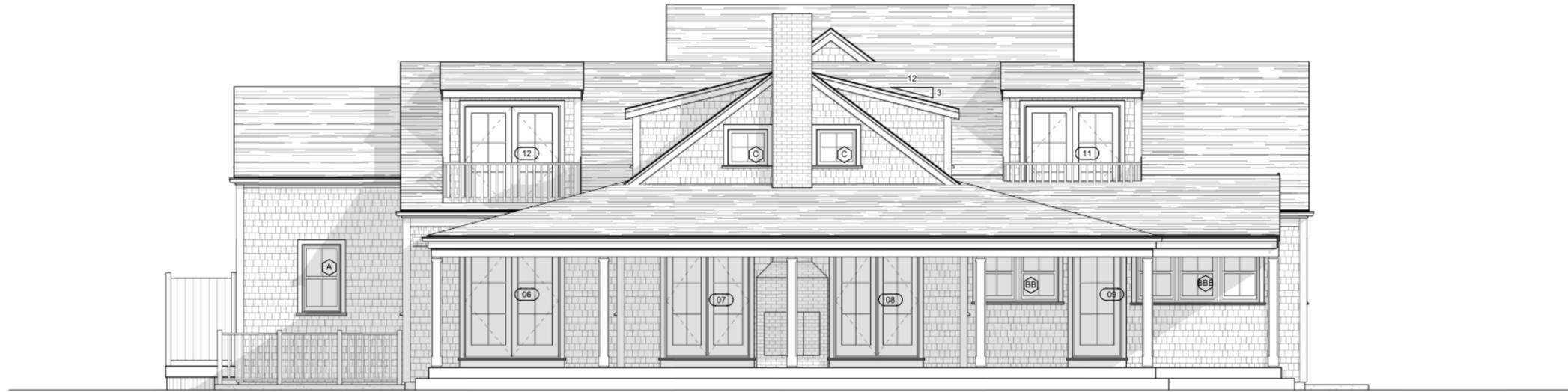


② South - HDC  
1/4" = 1'-0"

Gabriel  
Renovation  
33 Coffin Street, Nantucket, MA  
DD - Not For Construction

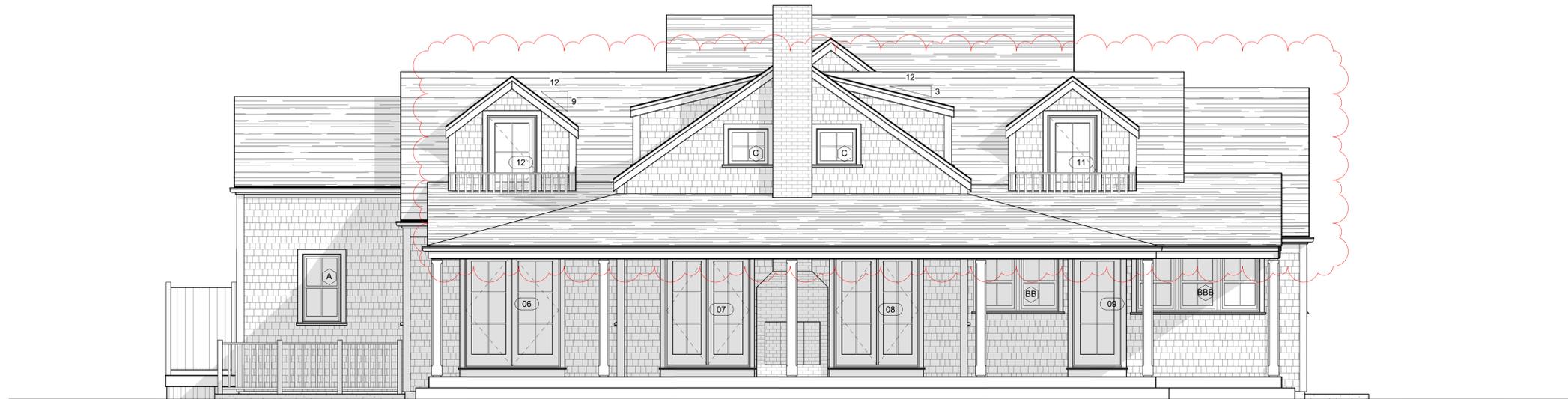
#	Date	Note
7	2020.05.14	HDC Submission
8	2020.05.27	HDC Resubmission
9	2020.06.10	HDC Resubmission
10	2020.06.18	HDC Resubmission

HDC1



2 West - HDC  
1/4" = 1'-0"

Previous Submission  
Proposed

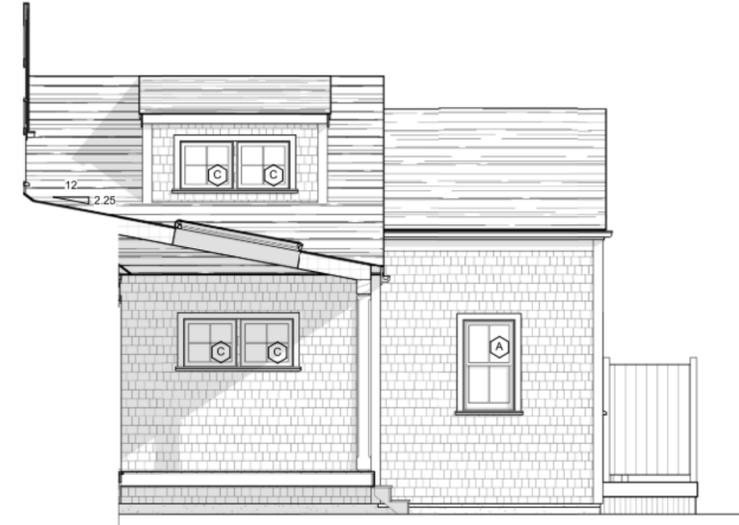


2 West - HDC  
1/4" = 1'-0"

#	Date	Note
7	2020.05.14	HDC Submission
8	2020.05.27	HDC Resubmission
9	2020.06.10	HDC Resubmission
10	2020.06.18	HDC Resubmission



② East - HDC  
1/4" = 1'-0"



③ East HDC  
1/4" = 1'-0"

Previous Submission

Proposed



② East - HDC  
1/4" = 1'-0"



③ East HDC  
1/4" = 1'-0"

#	Date	Note
7	2020.05.14	HDC Submission
8	2020.05.27	HDC Resubmission
9	2020.06.10	HDC Resubmission
10	2020.06.18	HDC Resubmission



② North - HDC  
1/4" = 1'-0"

Previous Submission  
Proposed

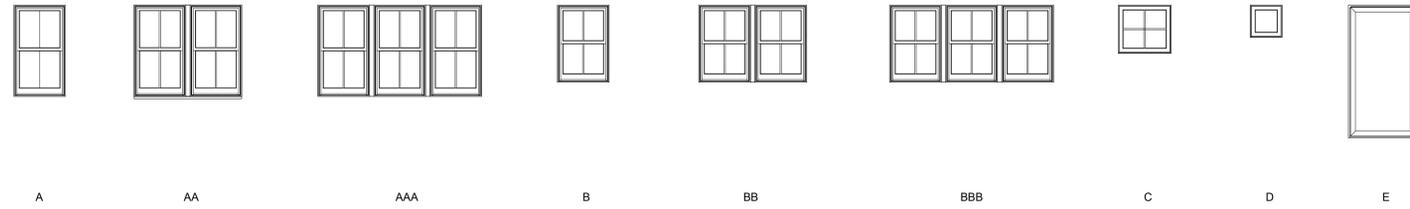


② North - HDC  
1/4" = 1'-0"

**Gabriel**  
Renovation  
33 Coffin Street, Nantucket, MA  
DD - Not For Construction

#	Date	Note
7	2020.05.14	HDC Submission
8	2020.05.27	HDC Resubmission
9	2020.06.10	HDC Resubmission
10	2020.05.18	HDC Resubmission

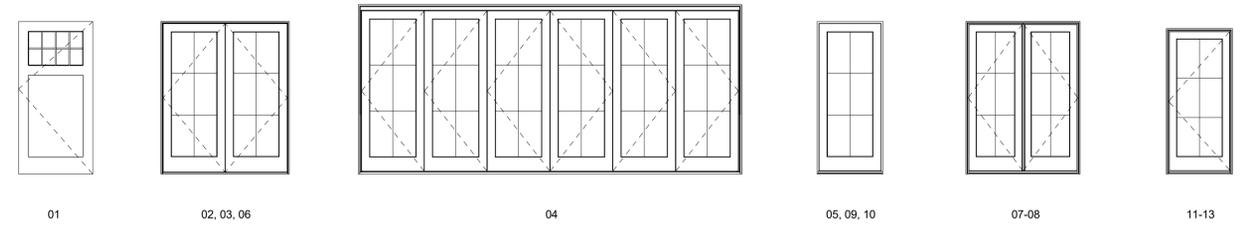
HDC4



Window Legend  
1/4" = 1'-0"

Window Schedule						
Type Mark	Manufacturer	Model	Rough Width	Rough Height	Finish	Comments
A	Marvin Windows and Doors	CUDH-NG2422	2' - 6 1/4"	4' - 4"	White	
AA	Marvin Windows and Doors	CUDH-NG2422	5' - 2"	4' - 4"	White	
AAA	Marvin Windows and Doors	CUDH-NG2422	7' - 9 3/4"	4' - 4"	White	
B	Marvin Windows and Doors	CUDH-NG2418	2' - 6 1/4"	3' - 8"	White	
BB	Marvin Windows and Doors	CUDH-NG2418	5' - 2"	3' - 8"	White	
BBB	Marvin Windows and Doors	CUDH-NG2418	7' - 9 3/4"	3' - 8"	White	
C	Marvin Windows and Doors	CUAWN3028	2' - 7"	2' - 3 3/4"	White	
D	Marvin Windows and Doors	CUAWN1818	1' - 7"	1' - 6 3/4"	White	
E	VELUX	VSE	3' - 0"	6' - 0"	White	

**Base Window Specifications**  
**Interior Finish:** Primed  
**Hardware:** Traditional, satin nickel  
**Muntin Type:** Simulated Divided Lites (SDL)  
**Screen:** Full screen, high transparency mesh.  
**Glass:** Dual pane, insulated, low-E glass  
**Impact Protection:** Structural plywood panels cut to fit each assembly labeled and stored on site with associated hardware and scheduled for installation when necessary.



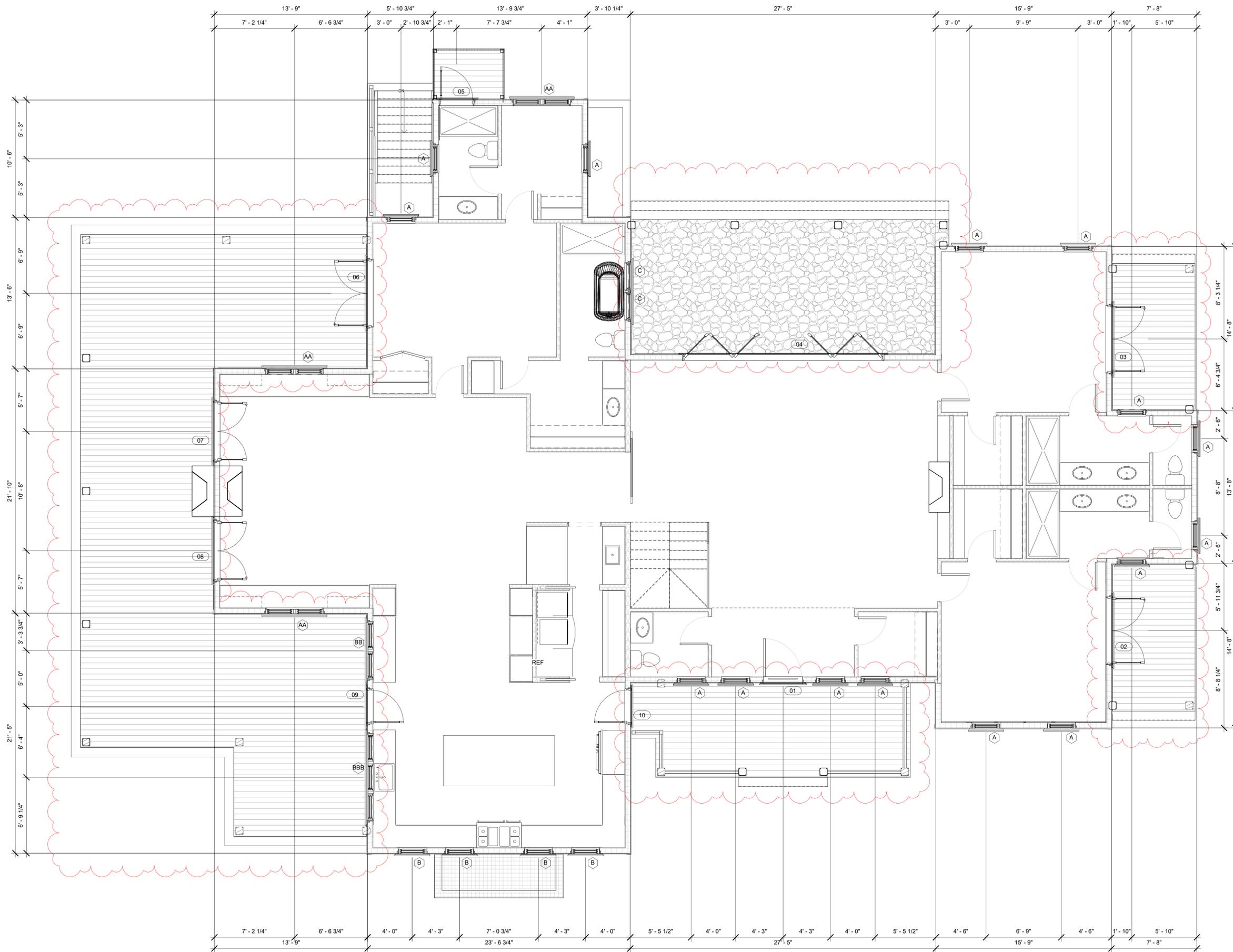
Door Legend  
1/4" = 1'-0"

Door Schedule						
Mark	Manufacturer	Model	Rough Width	Rough Height	Finish	Comments
01	Custom	3670	3' - 8 1/2"	7' - 4 1/2"	White	
02	Marvin Windows and Doors	CUOFD6070	6' - 1 3/4"	7' - 2 1/2"	White	
03	Marvin Windows and Doors	CUOFD6070	6' - 1 3/4"	7' - 2 1/2"	White	
04	Marvin Windows and Doors	CMOBF18080	18' - 2 1/4"	8' - 0"	White	
05	Marvin Windows and Doors	CUOFD3070	3' - 2 1/2"	7' - 2 1/2"	White	
06	Marvin Windows and Doors	CUOFD6070	6' - 1 3/4"	7' - 2 1/2"	White	
07	Marvin Windows and Doors	CUIFD5470	5' - 5 3/4"	7' - 2 1/2"	White	
08	Marvin Windows and Doors	CUIFD5470	5' - 5 3/4"	7' - 2 1/2"	White	
09	Marvin Windows and Doors	CUIFD3070	3' - 2 1/2"	7' - 2 1/2"	White	
10	Marvin Windows and Doors	CUIFD3070	3' - 2 1/2"	7' - 2 1/2"	White	
11	Marvin Windows and Doors	CUIFD3068	3' - 2 1/2"	6' - 10 1/2"	White	
12	Marvin Windows and Doors	CUIFD3068	3' - 2 1/2"	6' - 10 1/2"	White	
13	Marvin Windows and Doors	CUIFD3068	3' - 2 1/2"	6' - 10 1/2"	White	

**Base Door Specifications**  
**Interior Finish:** Primed  
**Hardware:** Transitional Style, satin nickel or ORB  
**Muntin Type:** Simulated Divided Lites (SDL)  
**Screen:** Standard swinging screen, high transparency mesh with interchangeable storm panel  
**Sill:** Mahogany or gray Sill & white weather stripping on white doors  
**Glass:** Dual pane, insulated, low-E glass  
**Impact Protection:** Structural plywood panels cut to fit each assembly labeled and stored on site with associated hardware and scheduled for installation when necessary.

#	Date	Note
7	2020.05.14	HDC Submission
8	2020.05.27	HDC Resubmission
9	2020.06.10	HDC Resubmission
10	2020.06.18	HDC Resubmission

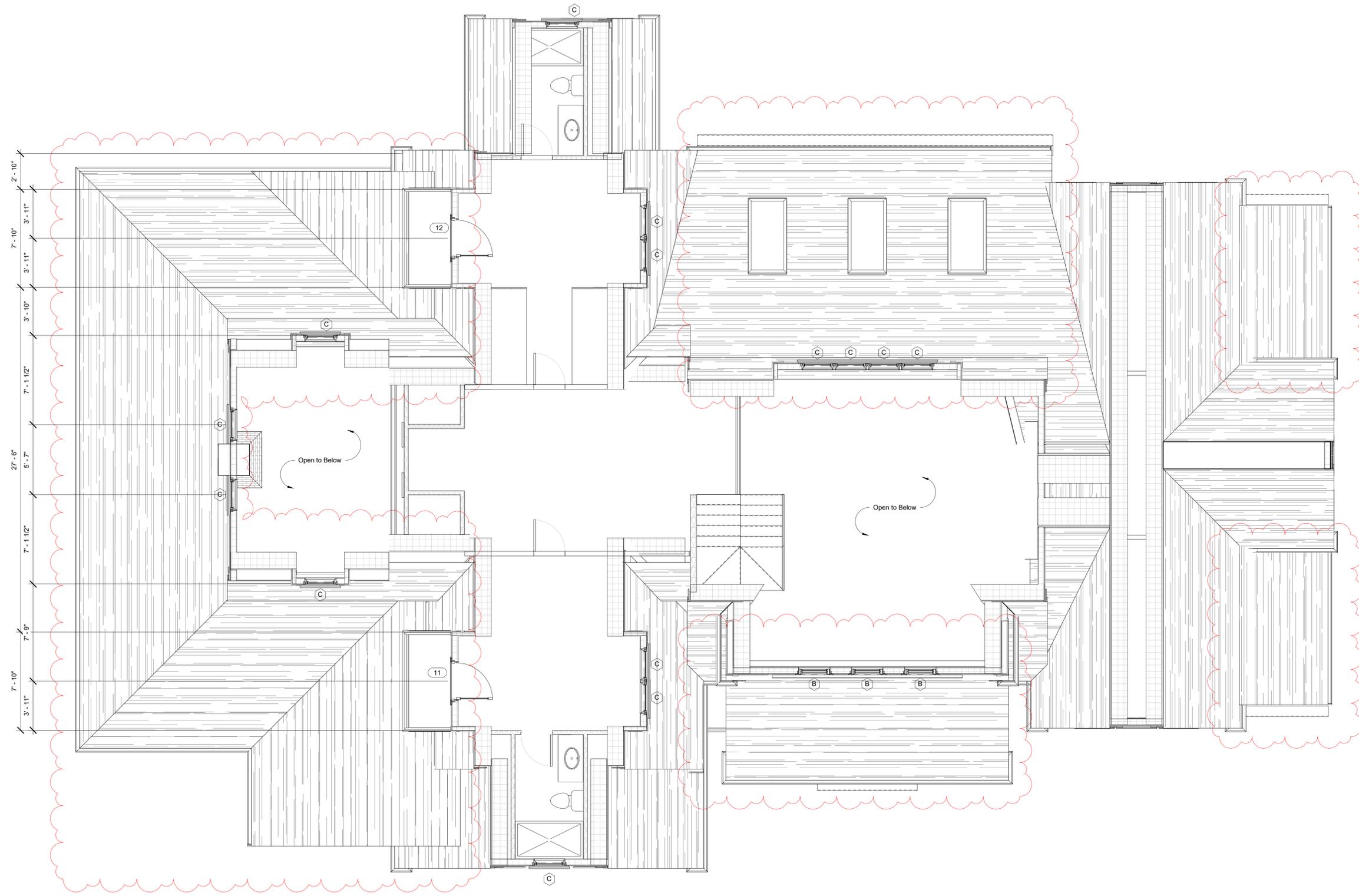
6/18/2020 10:34:25 AM



1 Floor 1 - HDC  
 1/4" = 1'-0"

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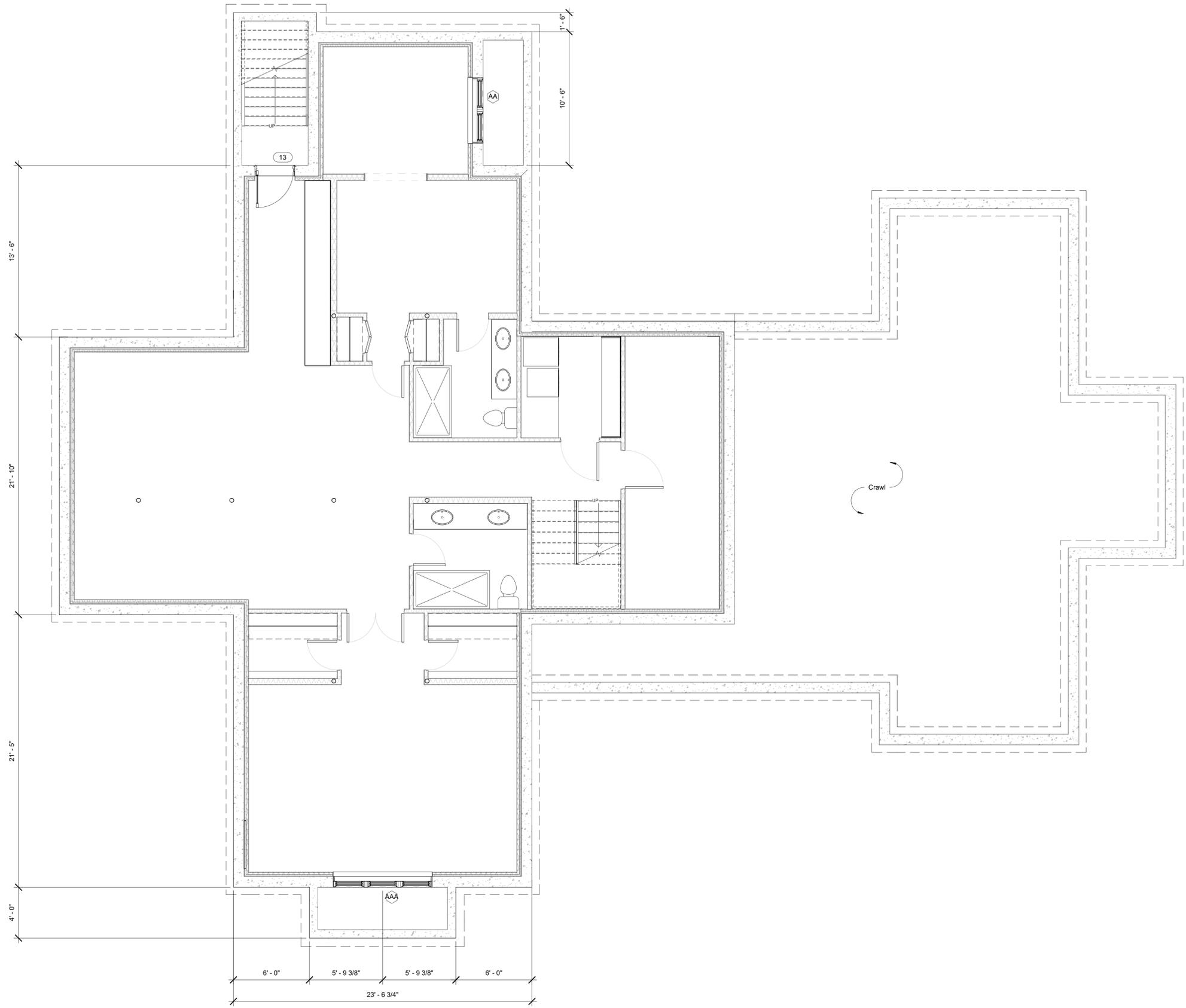
#	Date	Note
7	2020.05.14	HDC Submission
8	2020.05.27	HDC Resubmission
9	2020.06.10	HDC Resubmission
10	2020.06.18	HDC Resubmission



1 Floor 2 - HDC  
1/4" = 1'-0"

6/18/2020 10:34:25 AM

#	Date	Note
7	2020.05.14	HDC Submission
8	2020.05.27	HDC Resubmission
9	2020.06.10	HDC Resubmission
10	2020.06.18	HDC Resubmission



① Basement - HDC  
 1/4" = 1'-0"

#	Date	Note
7	2020.05.14	HDC Submission
8	2020.05.27	HDC Resubmission
9	2020.06.10	HDC Resubmission
10	2020.05.18	HDC Resubmission