

Town and County of Nantucket Select Board • County Commissioners

Dawn E. Hill Holdgate, Chair
Jason Bridges
Matt Fee
Kristie L. Ferrantella
Melissa Murphy



16 Broad Street
Nantucket, Massachusetts 02554

Telephone (508) 228-7255
Facsimile (508) 228-7272
www.nantucket-ma.gov

C. Elizabeth Gibson
Town & County Manager

***AGENDA FOR THE MEETING OF THE
SELECT BOARD
JULY 22, 2020 - 5:00 PM
REMOTE PARTICIPATION VIA ZOOM WEBINAR
PURSUANT TO GOVERNOR BAKER'S MARCH 12, 2020
ORDER REGARDING OPEN MEETING LAW
NANTUCKET, MASSACHUSETTS***

YOU TUBE LINK:

<https://youtu.be/5AGtNOTbFVE>

I. CALL TO ORDER

II. SELECT BOARD ACCEPTANCE OF AGENDA

III. ANNOUNCEMENTS

1. The Select Board Meeting is Being Audio/Video Recorded.
2. Census Complete Count Committee Notice: 2020 Census is Ongoing and of Vital Importance to Nantucket.
3. No Select Board Meeting on Wednesday, July 29, 2020.

IV. COVID-19 WEEKLY UPDATE

1. Select Board Comments/Questions
- Public Comment
2. Report from Public Health Director
- Select Board Comments/Questions
- Public Comment
3. Emergency Orders - Status
- Local Board of Health/Select Board Joint Emergency Rule and Order No. 11 (Outdoor Dining at Restaurants)
- Local Board of Health Emergency Order No. 12 (Mandatory Face Covering)
- Status of Reopening Massachusetts

- Select Board Comments/Questions
- Public Comment

4. Public Information and Town Services Update
 - Outreach update
 - Dedicated email covid19@police.nantucket-ma.gov
 - Dedicated phone line 508-325-4111
 - Town offices/public closure status
 - Select Board Comments/Questions
 - Public Comment

V. PUBLIC COMMENT* FOR ITEMS NOT RELATED TO COVID-19 OR OTHER AGENDA ITEMS

VI. NEW BUSINESS*

VII. APPROVAL OF WARRANTS AND PENDING CONTRACTS

1. Approval of Treasury Warrants for July 22, 2020.
2. Approval of Pending Contracts from July 22, 2020 - as Set Forth on the Spreadsheet Identified as Exhibit 1, Which Exhibit is Incorporated Herein by Reference.

VIII. CITIZEN/DEPARTMENTAL REQUESTS

1. Airport Commission: Request for Select Board to Declare Emergency Regarding Per- and Polyfluoroalkyl Substances (PFAS) and to Request that the Department of Revenue Approve Deficit Spending by the Town to Address the PFAS Emergency.
2. Finance Department: Request for Approval of Refunding General Obligation Bonds for Airport.
3. Department of Culture and Tourism: Request to Schedule 2021 Independence Day Celebrations on July 3, 2021 (Fireworks Weather Date of July 5, 2021).
4. Richmond Great Point Development, LLC: Request to Allow Additional Modular Housing Structures to be Transported Prior to September 15 Over the Road Moratorium End Date, and to Block On-Street Parking Along Washington Street from Salem Street to Coffin Street due to Overwide Units.

IX. REAL ESTATE MATTERS

1. Affordable Housing Trust: Request for Approval to Partially Fund Habitat for Humanity Nantucket's Construction of a Duplex at 31 Beach Grass Road in Richmond's Sandpiper I Development.
2. Request for Approval and Execution of Purchase and Sale Agreement, Quitclaim Deed and Settlement Statement for Town-owned Yard Sale Parcel Known as Parcel 33, Central Street, Unnamed Parcel and Elm Street as Shown on Plan of Land Entitled "Plan of Land Taking and Articles 94 and 95, 2009 ATM in Nantucket, Massachusetts," Dated November 7, 2016, Prepared by Nantucket Surveyors, LLC and Recorded with Nantucket County Registry of Deeds as Plan

No. 2016-113, Pursuant to Vote on Article 95 of 2009 Annual Town Meeting (Tabled from January 29, 2020; February 19, 2020).

3. Request for Approval and Execution of Purchase and Sale Agreement, Quitclaim Deed and Settlement Statement for Town-owned Yard Sale Parcel Known as Parcel 1, Central Street, Unnamed Way and Myrtle Street as Shown on Plan of Land Entitled "Taking and Disposition Plan of Land in Nantucket, MA Prepared for P. Rhoads Zimmerman & Low Beach, LLC," Dated November 3, 2014, Prepared by Blackwell & Associates, Inc. and Recorded with Nantucket County Registry of Deeds as Plan No. 2014-101, Pursuant to Vote on Article 95 of 2009 Annual Town Meeting (Tabled from February 19, 2020).
4. Request for Approval and Execution of Purchase and Sale Agreement, Quitclaim Deed and Settlement Statement for Town-owned Yard Sale Parcel Known as Parcel 2, Myrtle Street, Unnamed Way and Holly Street as Shown on Plan of Land Entitled "Taking and Disposition Plan of Land in Nantucket, MA Prepared for P. Rhoads Zimmerman & Low Beach, LLC," Dated November 3, 2014, Prepared by Blackwell & Associates, Inc. and Recorded with Nantucket County Registry of Deeds as Plan No. 2014-101, Pursuant to Vote on Article 95 of 2009 Annual Town Meeting (Tabled from February 19, 2020).

X. TOWN MANAGER'S REPORT

XI. SELECT BOARD'S REPORTS/COMMENT

1. Determine any Local Ballot Questions for November 3, 2020 Federal/State Election.
2. Continuation of Discussion/Update as to Racial Equity/Race Relations Task Force/Community Forum.
3. Committee Reports.

XII. PUBLIC HEARINGS

1. Public Hearing to Consider the Appeal of 6 Magnolia Ave LLC of Historic District Commission Approval of Certificates of Appropriateness No. HDC2020-01-0470 and -0471 for an Addition and Selective Demolition, Regarding Property Located at 6 Magnolia Avenue, Map 73.3.1, Parcel 57.

XIII. ADJOURNMENT

****Identified on Agenda Protocol Sheet***

APPEALS PROCEDURE before the Select Board

The appeal to the Select Board concerns the HDC decision and is not a new hearing of the matter already heard by the HDC. No new information may be brought forth during the appeal process before the Select Board. Any information not previously submitted to the HDC will not be allowed.

1. The chairman opens the public hearing and may outline the procedure to be followed including the time allotment for the statements and rebuttals.
2. The appellant states his/her case and the reason for the appeal.
3. The Historic District Commission defines its position.
4. Rebuttals follow.
5. Public comment may be taken although any separate interests that may be expressed will not become part of the argument.
6. The chairman invites questions from the Board and closes the public hearing.
7. The Board makes a decision or may take the matter under advisement.
8. A written decision is prepared for Board signature.

HDC Appeal of 6 Magnolia Ave, Sconset

Nantucket Select Board
16 Broad Street
Nantucket MA, 02554

By Hand on July 6, 2020
Re: HDC Appeals 6 Magnolia Ave

Dear Chair Holdgate,

ATTORNEYS

Jennifer Cohen
Steven L. Cohen

To follow up on the filing originally made electronically on March 23, 2020, within the appeal period but during the time that the Town offices were closed due to the COVID-19 pandemic, please consider this correspondence to be an appeal by my client, the 6 Magnolia Ave LLC, Steven Spenser as Manager, as owner of the property at 6 Magnolia Avenue, 'Sconset, being Tax Parcel 73.3.1-57, of the HDC's Certificates of Appropriateness issued on 2/18/20 as Nos. HDC2020-01-0470 and -0471, which were posted by the Town Clerk on 3/13/20, such that the 23rd was is the 10th day for an appeal (although that date was extended by law). Due to the delay related to COVID-19, my client requests that the appeals be scheduled as soon as possible, with any meeting of the Board being acceptable.

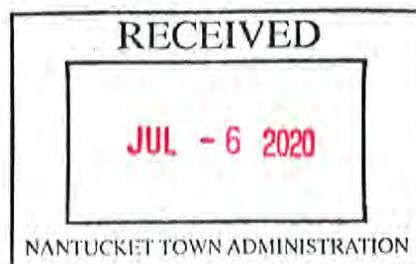
The reasons for the appeals are that the HDC has imposed conditions that are unclear, inappropriate, unjustified, and beyond the scope of its authority.

In COA 0470, the HDC altered an application for a new dwelling to instead allow the proposed work as an addition. This is effectively approval of the design but a denial of the demolition. The HDC has not made the findings necessary to deny a demolition and the reasons for doing so are arbitrary and capricious.

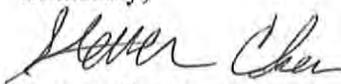
In 0471, the HDC approved a partial demolition of the structure but appears to possibly by requiring that the retained/non-demolished portion of the structure must be retained in its whole in its currently location, suspended in the air and then attached to the new structure and new foundation. Again, the HDC has not made the findings necessary to for the denial of the requested work, and the reasons for doing so are arbitrary and capricious. Moreover, the requirement to support the retained façade in its location, floating in air, is beyond it authority, and inconsistent with past practices of storage and protection of retained structures in similar situations for historic structures.

My client seeks approval to demolish the house and rebuild, consistent with the approved design and the current COAs should be overturned. If necessary, my client is willing to retain and reuse portions of the structure, but the COAs should be clarified to allow for off-site storage and protection.

Cohen + Cohen Law PC
34 Main St., 2nd Fl.
Mail: P.O. Box 786
Nantucket, MA 02554
Tel. (508) 228-0337
Fax (508) 228-0970
www.cohencohen.com



Sincerely,


Steven Cohen

HOLD TO LIGHT TO VIEW STAR WATERMARK IN PAPER. HEAT SENSITIVE TISSUE LOCK DISAPPEARS WHEN HEATED.

5314

COHEN & COHEN LAW PC

OPERATING ACCOUNT
PO BOX 786
NANTUCKET, MA 02554
PH. 508-228-0337

**CAPE
COD 5**

PO Box 10
Orleans, MA 02653
capecodfive.com
53-7107/2113

PAY TO THE
ORDER OF

Inquirer & Mirror

\$ *335.12*

Three Hundred Thirty Five dollars ¹²/₁₀₀

DOLLARS

MEMO

6 Magnolia HBC appeal



Steve Che
AUTHORIZED SIGNATURE

⑈005314⑈ ⑆211371078⑆ 86 7007718⑈

COHEN & COHEN LAW PC

5314

COHEN & COHEN LAW PC

5314

Security features. Details on back.

Erika Mooney

From: Steven Cohen <steven@cohenlegal.net>
Sent: Monday, March 23, 2020 3:58 PM
To: Nantucket Town Clerk; Erika Mooney
Cc: 'Ray Pohl'; HDC Submissions; Linda Williams; Steven Spencer; Luke Thornewill (thornewilldesign@comcast.net)
Subject: 6 Magnolia - HDC Appeal

Erika,

In light of the inability to file with the Town, please consider this correspondence to be an appeal by my client, the 6 Magnolia Ave LLC, Steven Spenser as Manager, as owner of the property at 6 Magnolia Avenue, 'Sconset, being Tax Parcel 73.3.1-57, of the HDC's Certificates of Appropriateness issued on 2/18/20 as Nos. HDC2020-01-0470 and -0471, which were posted by the Town Clerk on 3/13/20, such that today is the 10th day for an appeal. As we have discussed, I expect that the Town will agree to extend or waive any filing requirements due to its closure and/or accept this as the filing. My client will agree to extend the time for the Select Board to hear this appeal to any regular or special meeting in the next 90 days (as opposed to the 45 days ordinarily observed).

- I will provide a check for the notice once your office is open to receive it.
- I am able to provide copies of the COAs and the HDC minutes and other materials from the files (see separate emails with attachments), but I will not be able to get a certified copy until the Town Clerk reopens.

The reasons for the appeals are that the HDC has imposed conditions that are unclear, inappropriate, unjustified, and beyond the scope of its authority.

- In 0470, the HDC altered an application for a new dwelling to instead allow the proposed work as an addition. This is effectively approval of the design but a denial of the demolition. The HDC has not made the findings necessary to do this and the reasons for doing so are arbitrary and capricious.
- In 0471, the HDC approved a partial demolition of the structure but appears to possibly be requiring that the retained portion of the structure should be retained in its whole, in its current location, to be raised for the new foundation. Again, the HDC has not made the findings necessary to do the denial of a portion of this, and the reasons for doing so are arbitrary and capricious. Moreover, the requirement to support the retained facade in its location, floating in air, is beyond its authority.

My client seeks approval to demolish the house and rebuild, consistent with the approved design. My client is also willing to retain and reuse portions of the structure, but the current COAs should be overturned and revised.

Best,

Steven Cohen

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 73.3.1 PARCEL N°: 57
Street & Number of Proposed Work: 6 MAGNOLIA AVE
Owner of record: STEVEN SPENCER
Mailing Address: SIB CAPITAL
850 Third Ave. 10th Fl. NY NY 10022
Contact Phone #: 516-662-1820 E-mail:

AGENT INFORMATION (if applicable)

Name: THORNEWILL DESIGN, LLC
Mailing Address: 48 DUKES RD
NANTUCKET MA 02554
Contact Phone #: 228-9161 E-mail:

FOR OFFICE USE ONLY

Date application received: 1/8/2020 Fee Paid: \$ 341.80

Must be acted on by: 3/14/2020

Extended to:

Approved: [Signature] Disapproved:

Chairman: [Signature]

Member: [Signature]

Member: [Signature]

Member: [Signature]

Member:

Notes - Comments - Restrictions - Conditions

APPROVED AS AN "ADDITION" NOT A NEW DWELLING.

NANTUCKET TOWN CLERK
13 PM 12:31

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No.
- Pool (Zoning District) Roof Other

Size of Structure or Addition: Length: 44.5 Sq. Footage 1st floor: 1169± Decks/Patio: Size: 6x20.5 1st floor 2nd floor
Width: 30.5 Sq. Footage 2nd floor: 540± Size: 10x24± 1st floor 2nd floor
Sq. Footage 3rd floor:

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North 19'-5"± South 23'-5"± East 23'-5"± West 23'-5"±

Additional Remarks

Historic Name: REVISIONS: 1. East Elevation
Original Date: (describe) 2. South Elevation
Original Builder: 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation
*Cloud on drawings and submit photographs of existing elevations.

ATTEST: A TRUE COPY
[Signature]
NANTUCKET TOWN CLERK

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) Other

Roof Pitch: Main Mass GAMBREL Secondary Mass GAMBREL Dormer EXISTS/6.5/12 Other
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) WOOD PAINTED

Leaders (material and size): 2"
Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side

Trim: A. Wood Pine Redwood Cedar Other
B. Treatment Paint Natural to weather Other

C. Dimensions: Fascia 1x8 Rake 1x6 Soffit (Overhang) _____ Corner boards 5/4x6 Frieze _____
Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round _____ Square 4x4

Windows*: Double Hung Casement All Wood Other
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): SDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways SHEU Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall WHITE CEDAR Clapboard (if applicable) _____ Roof MATCH EXISTING GREY
Trim WHITE Sash WHITE Doors WHITE
Deck MATCH ONLY Foundation NAT. CONCRETE Fence WHITE Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

[Signature]

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a
CERTIFICATE OF APPROPRIATENESS
for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

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PROPERTY DESCRIPTION

TAX MAP N°: 73.3.1 PARCEL N°: 57
Street & Number of Proposed Work: 6 MAGNOLIA AVE
Owner of record: Steven Spencer
Mailing Address: SMB CAPITAL
850 Third Ave - 16th Fl. NY NY 10022
Contact Phone #: 516-602-1820 E-mail: _____

AGENT INFORMATION (if applicable)

Name: THORNEWILL DESIGN, LLC
Mailing Address: 48 DUKES RD
NANTUCKET MA 02557
Contact Phone #: 228-9101 E-mail: _____

FOR OFFICE USE ONLY

Date application received: 7/8/2020 Fee Paid: \$ 100.00

Must be acted on by: 3/14/2020

Extended to: _____

Approved: [Signature] Disapproved: _____

Chairman: _____

Member: _____

Member: _____

Member: [Signature]

Member: _____

Notes - Comments - Restrictions - Conditions
PER SELECTIVE DEMO PLAN + Not DEMO'D TO REMAIN INTACT, RAISED FOR NEW FINDING

NANTUCKET TOWN CLERK
13 PM 12:31

DESCRIPTION OF WORK TO BE PERFORMED
See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 34.5 ± Sq. Footage 1st floor: 705 ± Decks/Patio: Size: 20.5 x 7 1st floor 2nd floor
Width: 20.5 ± Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____
Additional Remarks: _____
Historic Name: N/A REVISIONS: 1. East Elevation
Original Date: 1916 / 1960's ? ADDED (describe) 2. South Elevation
Original Builder: UNKNOWN 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation
*Cloud on drawings and submit photographs of existing elevations.

TEST: A TRUE COPY
[Signature]
NANTUCKET TOWN CLERK

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass Gambrel Secondary Mass 5 /12 Dormer _____ /12 Other _____
Roofing material: Asphalt: Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1 x 8 Rake 1 x 6 Soffit (Overhang) _____ Corner boards 6" Frieze _____
Window Casing 4" x 5" Door Frame 4" x 5" Columns/Posts: Round _____ Square 4"

Windows: Double Hung Casement All Wood Other PICTURE - 48 LIGHT
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front 9 LIGHT Rear _____ Side 10 LIGHT / 9 LIGHT
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____	Clapboard (if applicable) _____	Roof _____
Trim _____	Sash _____	Doors _____
Deck _____	Foundation _____	Fence _____ Shutters _____

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
Date: 1/8/2020 Signature of owner of record: [Signature] Closed under penalties of perjury: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

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PROPERTY DESCRIPTION

TAX MAP N^o: 173-3-1 PARCEL N^o: 57
Street & Number of Proposed Work: 6 MAGNOLIA AVE
Owner of record: STEVEN SPENCER
Mailing Address: SHB CAPITAL
850 Third Ave. 16th Fl. N.Y.N.Y 10022
Contact Phone #: 516-662-1820 E-mail: _____

AGENT INFORMATION (if applicable)

Name: THORNEWILL DESIGN, LLC
Mailing Address: 48 DUKES RD
NANTUCKET MA 02554
Contact Phone #: 228-9191 E-mail: _____

FOR OFFICE USE ONLY V 1689

Date application received: 1/8/2020 Fee Paid: \$ 341.80

Must be acted on by: 3/14/2020

Extended to: _____

Approved: [Signature] Disapproved: _____

Chairman: _____

Member: [Signature]

Member: [Signature]

Member: [Signature]

Member: _____

Notes - Comments - Restrictions - Conditions
APPROVED AS AN "ADDITION" NOT A NEW BUILDING

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed

Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____

Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 44.5 Sq. Footage 1st floor: 1169 ± Decks/Patio: Size: 6 x 20.5 1st floor 2nd floor
Width: 30.5 Sq. Footage 2nd floor: 540 ± Size: 10 x 24 ± 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____

Height of ridge above final finish grade: North 17'-5" ± South 23'-5" ± East 23'-5" ± West 23'-5" ±

Additional Remarks

REVISIONS: 1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass GAMBREL Secondary Mass GAMBREL Dormer EXISTING/G. SCHLIZ

Roofing material: Asphalt Sh-Tab Architectural

Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____

Shutters: Wood Aluminum Copper Leaders (material) WOOD PAINTED

Leaders (material and size): 2"

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side

Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x8 Rake 1x6 Soffit (Overhang) _____ Corner boards 5/4x6 Frieze _____

Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round _____ Square 4x4

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Landscape materials: Driveways SHEU Walkways _____ Walls _____

Note: Complete door and window schedules are required.

COLORS

Sidewall WHITE CEDAR Clapboard (if applicable) _____ Roof MATCH EXISTING GREY

Trim WHITE Sash WHITE Doors WHITE

Deck MAGNOLIA Foundation NAT. CONCRETE Fence WHITE Shutters _____

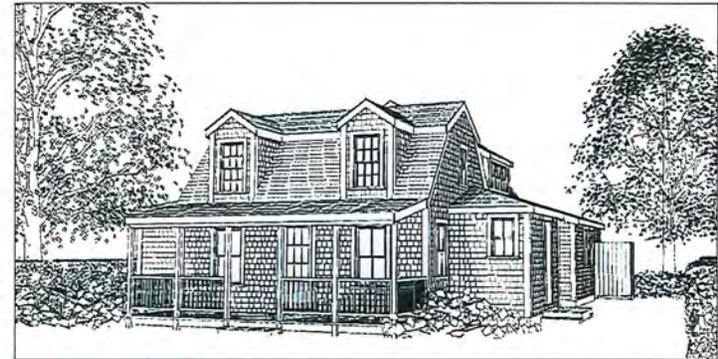
Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

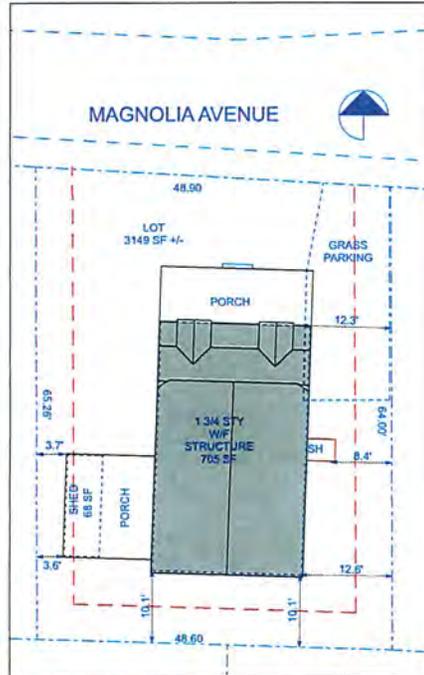
Proposed Rebuild

Spencer Residence

6 Magnolia Avenue
Nantucket, Massachusetts

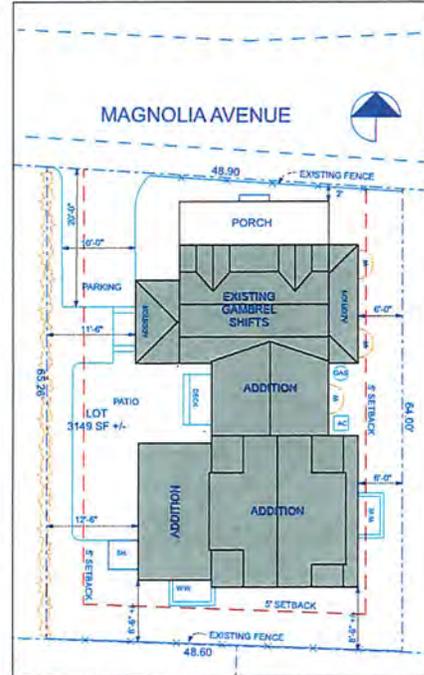


Northwest Perspective



Existing Site Plan

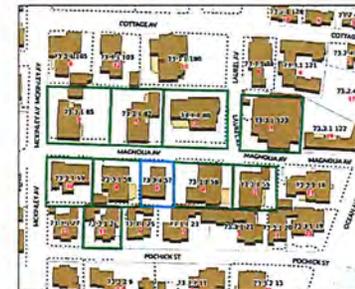
SCALE: 1/8" = 1'-0"



Proposed Site Plan

SCALE: 1/8" = 1'-0"

ZONING DISTRICT- SOH (Scarsdale Old Historic)
 MINIMUM LOT SIZE: 5000 SF (3149 SF ACTUAL)
 MINIMUM FRONTAGE: 50 FT
 FRONT YARD SETBACK: NONE
 REAR/SIDE SETBACK: 5 FT
 GROUND COVER RATIO: 50% or 2,500 SF
 EXISTING G.C.R. - 24.5 %
 EXISTING G.C. - 335 SF
 PROPOSED G.C. - 904 SF
 TOTAL G.C. = 1239 SF



DRAWING INDEX	
A0.0	COVER SHEET, SITE PLAN, LOCUS
A1.1	FLOOR PLANS/ SCHEDULES
A1.2	FLOOR PLANS/ SCHEDULES
A2.1	ELEVATIONS
A3.1	SECTIONS

APPROVED

HDC 2020 -01-0470

No Exterior Changes
Without HDC Approval

RECEIVED
FEB 12 2020
By _____

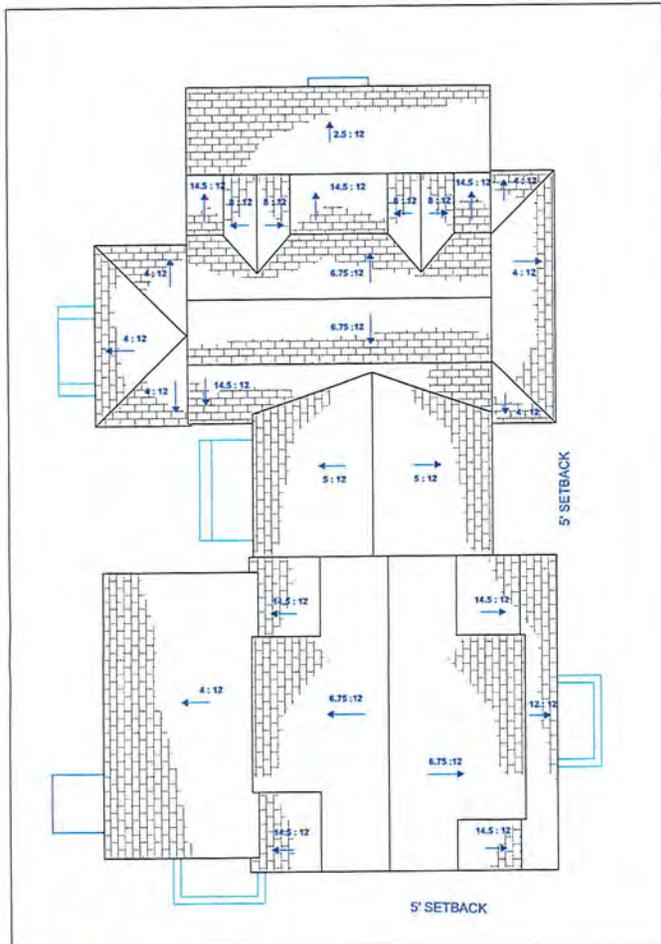
REVISION/REVISION DATE
HDC 1 1/18/20
HDC 2 1/29/20
2/12/20

Spencer Residence
6 Magnolia Avenue
Nantucket, Massachusetts
Map & Plot
7.31.17

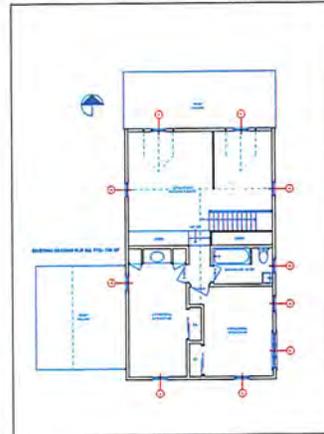
USE OF DRAWINGS
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Thomasewell Design, LLC
48 Duques Road
Nantucket, MA 02554
Tel: 508 228 9161 Fax: 508 228 3165

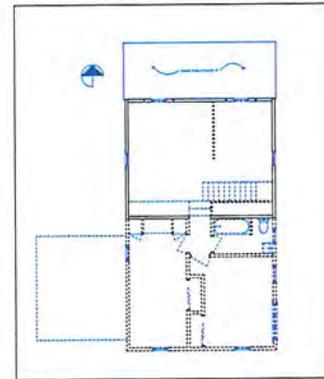
Sheet No:
A0.0



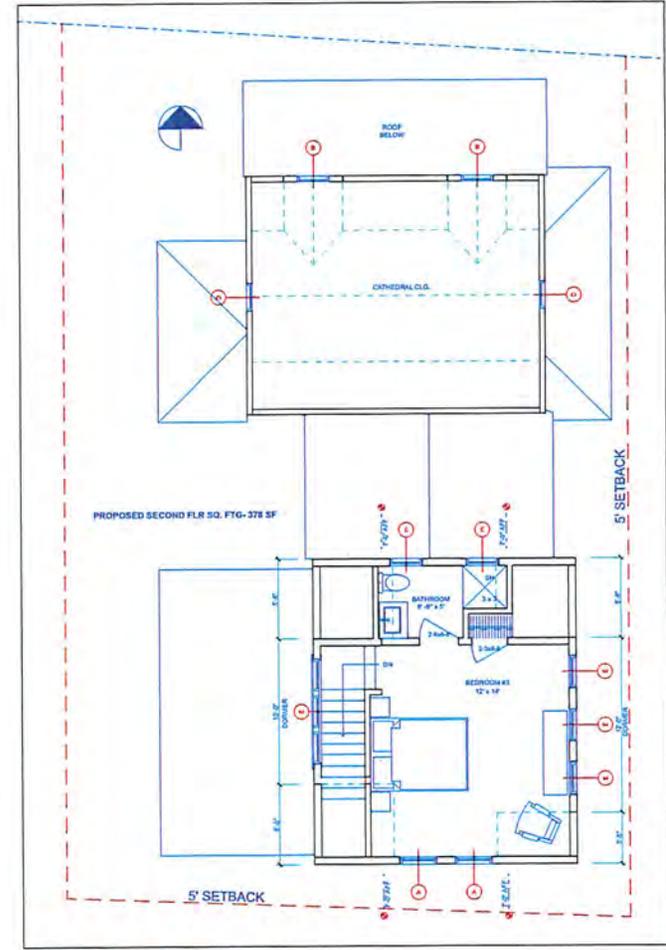
Roof Plan- Proposed
SCALE: 1/4" = 1'-0"



Second Floor Plan- Existing
SCALE: 1/4" = 1'-0"



Second Flr Plan- Demo Plan
SCALE: 1/4" = 1'-0"



Second Floor Plan- Proposed
SCALE: 1/4" = 1'-0"

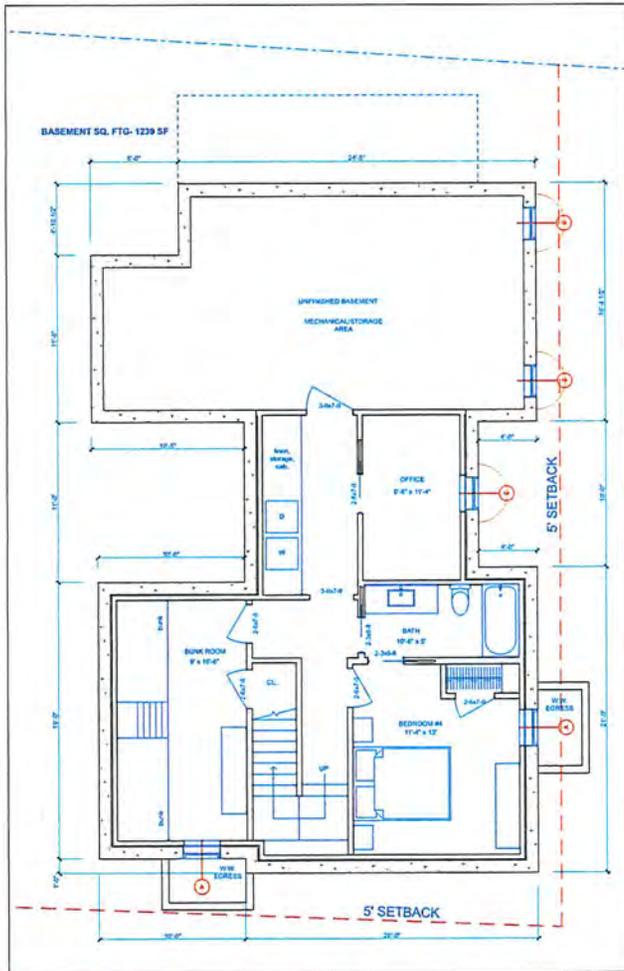
ISSUES/REVISION DATE
ISSUE 3 1/18/26
ISSUE 2 1/29/26
ISSUE 1 2/22/26

Spencer Residence
6 Magnolia Avenue
Nantucket, Massachusetts
73.3.1 57

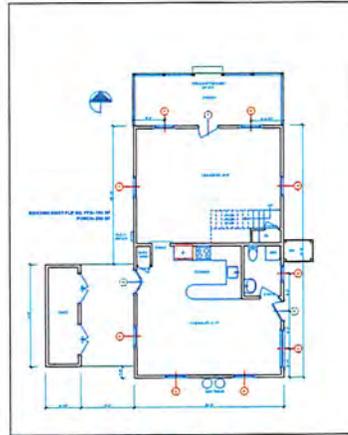
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without the written consent of the designer.
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Thornswill Design, LLC
48 Duques Road
Nantucket, Ma., 02554
Tel: 508-228-9161 Fax: 508-228-3165

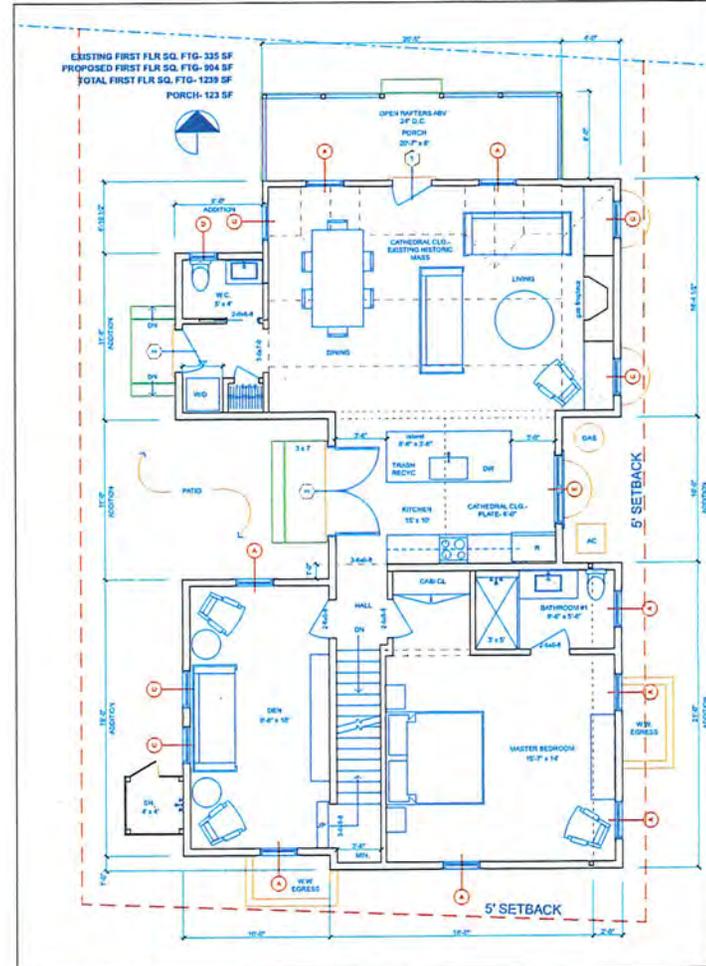
Sheet No:
A1.2



Basement Plan- Proposed
SCALE: 1/8" = 1'-0"



First Floor Plan- Existing
SCALE: 1/8" = 1'-0"



First Floor Plan- Proposed
SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE							
ID	#	MANUFACTURER	UNIT DIMENSION	MIN ROUGH OPNG	REMARKS	DP	U VALUE
A	11	Boston SASH	2'-5 5/8" x 4'-4 7/8"	2'-6 1/8" x 4'-4 7/8"	2/2 DOUBLE HUNG,WD, TDL		
B	4	"	2'-1 5/8" x 4'-0 7/8"	2'-2 1/8" x 4'-0 7/8"	2/2 DOUBLE HUNG,WD, TDL		
C	5	"	2'-5 5/8" x 4'-0 7/8"	2'-6 1/8" x 4'-0 7/8"	2/2 DOUBLE HUNG,WD, TDL		
D	3	"	1'-9 5/8" x 3'-0 7/8"	1'-10 1/8" x 3'-0 7/8"	2/2 DOUBLE HUNG,WD, TDL		
E	11	"	2'-1 5/8" x 3'-0 7/8"	2'-2 1/8" x 3'-0 7/8"	2/2 DOUBLE HUNG,WD, TDL		

DOOR SCHEDULE							
ID	#	MANUFACTURER	UNIT DIMENSION	ROUGH OPNG	REMARKS	DP	U VALUE
1	1		2'-6" x 6'-4"		INSWING - 15 LITE ABW/ 1 PANEL BELOW, TDL		
2	1		2'-8" x 6'-8"		INSWING - 4 LITE ABW/ 1 PANEL BELOW, TDL		
3	1		6'-0" x 7'-0"		FRENCH INSWING - 6 LITE EA., TDL		

ISSUES/REVISION DATE
HDC 1 1/9/20
HDC 2 1/29/20

Spencer Residence
6 Magnolia Avenue
Nantucket, Massachusetts

USE OF DRAWING
This drawing is the property of the Architect. It is to be used only for the project and site specified herein. No part of this drawing is to be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the Architect.

Thornhill Design LLC
48 Duke Road
Nantucket, Ma. 02554
Tel: 609 228 9164 Fax: 508 228 3185

Sheet No:
A1.1

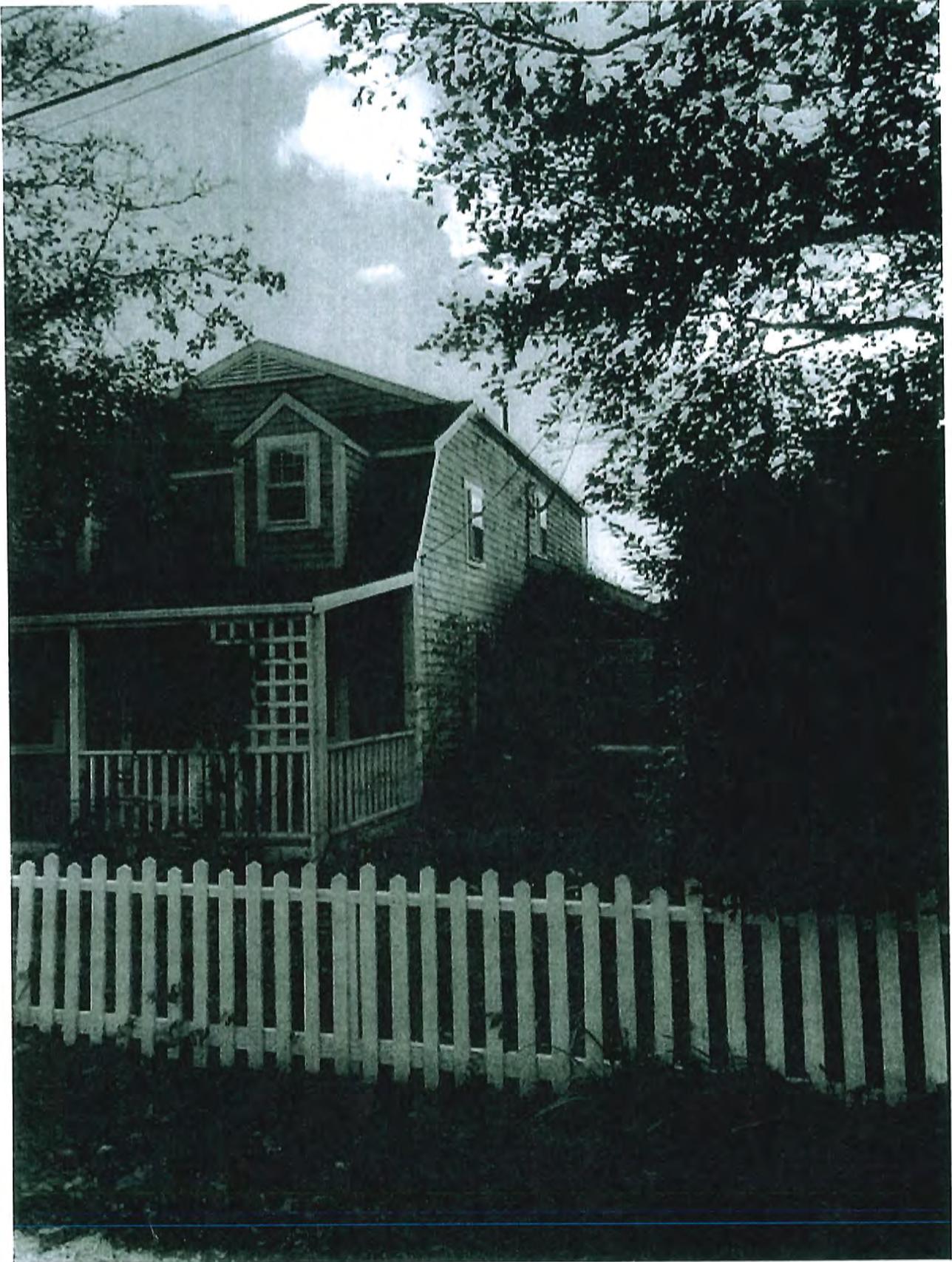
PHOTOS EXISTING HOUSE

From: Carrie Thorne will carriethornewill@gmail.com
Subject: 6 Magnolia
Date: December 9, 2019 at 10:57 AM
To: Caroline Thorne will thornewilldesign@comcast.net



Sent from my iPhone

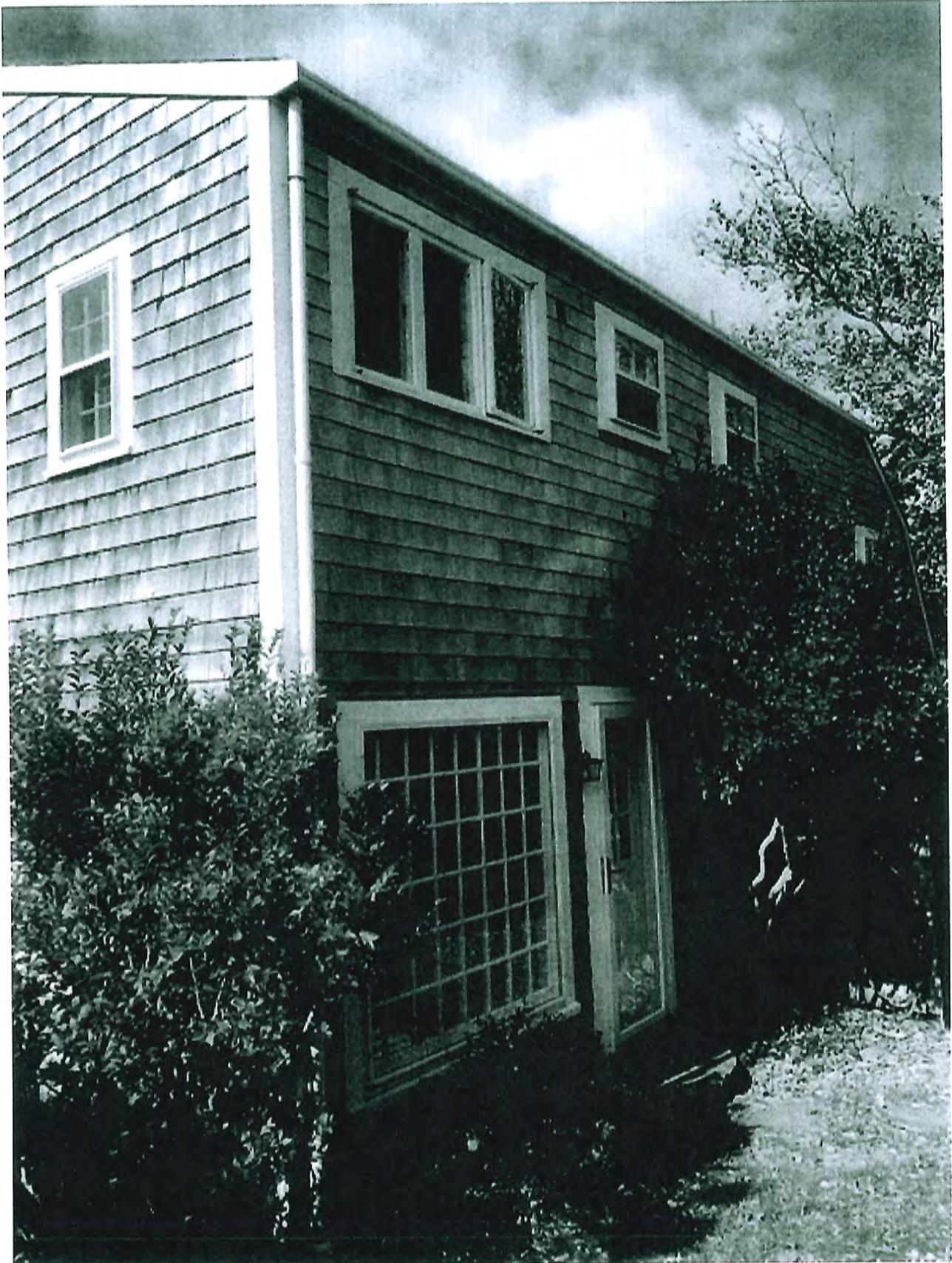
6 MAGNOLIA NORTH



WEST



SOUTH



EAST

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 173.3.1 PARCEL N°: 57
 Street & Number of Proposed Work: 6 MAGNOLIA AVE
 Owner of record: STEVEN SPENCER
 Mailing Address: 510 CAPITAL
850 Third Ave. 10th fl NY NY 10022
 Contact Phone #: 516-602-1820 E-mail: _____

AGENT INFORMATION (if applicable)

Name: THORNEWILL DESIGN, LLC
 Mailing Address: 48 DUKES RD
NANTUCKET MA 02554
 Contact Phone #: 228-9161 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
 Size of Structure or Addition: Length: 44.5 Sq. Footage 1st floor: 1169± Decks/Patio: Size: 6x20± 1st floor 2nd floor
 Width: 30.5 Sq. footage 2nd floor: 540± Size: 10x24± 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North 17'-5"± South 23'-5"± East 23'-5"± West 23'-5"±

Additional Remarks

REVISIONS*

Historic Name: _____
 Original Date: _____
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass GAMBREL Secondary Mass GAMBREL Dormer EXISTING 6.5/12
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) WOOD PAINTED
 Leaders (material and size): 2"
 Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia 1x8 Rake 1x6 Soffit (Overhang) _____ Corner boards 5/4x6 Frieze _____
 Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round _____ Square 4x4

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
 Doors* (type and material): SDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
 Hardscape materials: Driveways SHEU Walkways _____ Walls _____

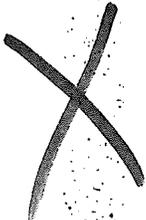
* Note: Complete door and window schedules are required.

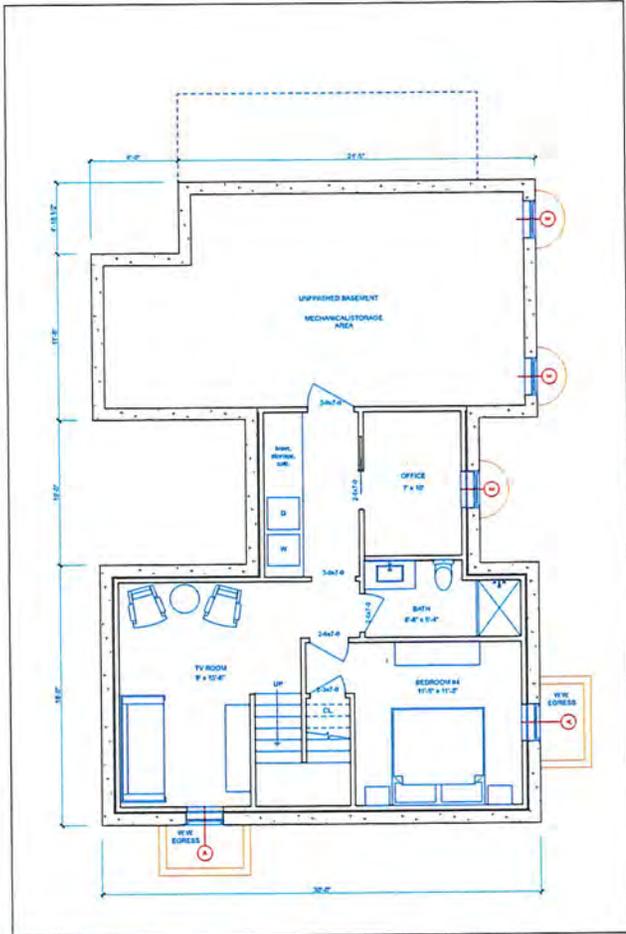
COLORS

Sidewall WHITE CEDAR Clapboard (if applicable) _____ Roof MATCH EXISTING GREY
 Trim WHITE Sash WHITE Doors WHITE
 Deck MAGNOLIA Foundation NAT. CONCRETE Fence WHITE Shutters _____

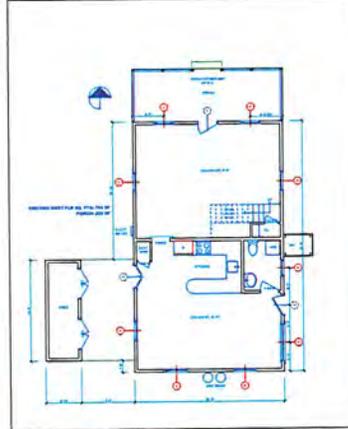
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

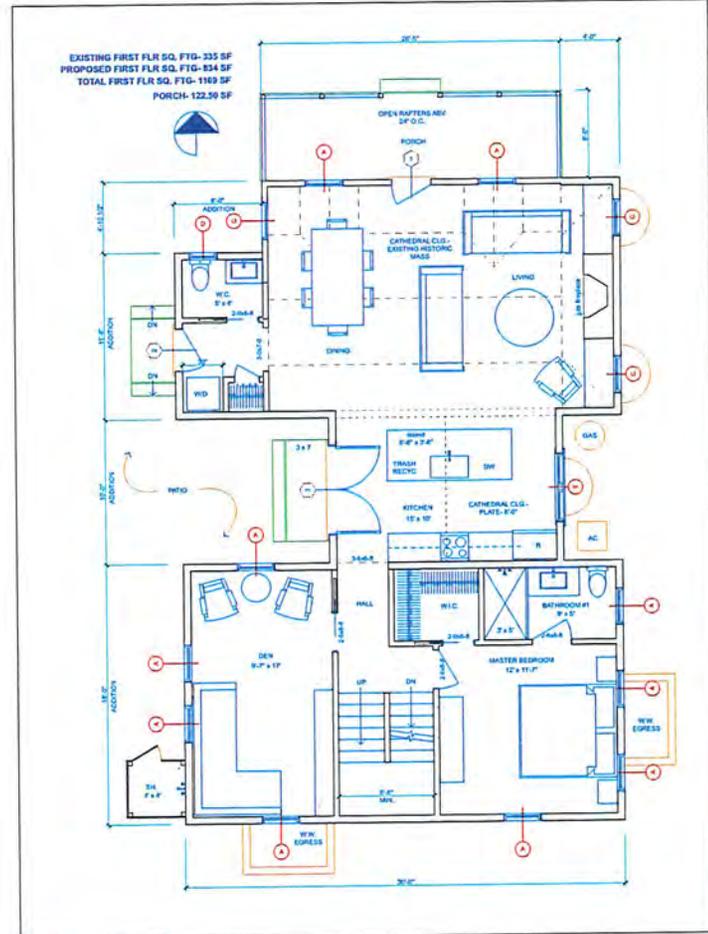




Basement Plan- Proposed
SCALE: 1/4" = 1'-0"



First Floor Plan- Existing
SCALE: 1/8" = 1'-0"



First Floor Plan- Proposed
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE-EXISTING						
ID	#	MANUFACTURER	UNIT DIMENSION	MIN ROUGH OPNG	REMARKS	U VALUE
A	19	TW2442	2'-5 5/8" x 4'-4 7/8"	2'-6 1/8" x 4'-4 7/8"	2/2 DOUBLE HUNG,WD	.31
B	4	TW20310	2'-1 5/8" x 4'-0 7/8"	2'-2 1/8" x 4'-0 7/8"	2/2 DOUBLE HUNG,WD	.31
C	3	TW24310	2'-5 5/8" x 4'-0 7/8"	2'-6 1/8" x 4'-0 7/8"	2/2 DOUBLE HUNG,WD	.31
D	3	TW18210	1'-9 5/8" x 3'-0 7/8"	1'-10 1/8" x 3'-0 7/8"	2/2 DOUBLE HUNG,WD	.31
E	3	AX381	2'-7 1/2" x 2'-7 1/2"	2'-8" x 2'-8"	AWNING- 2 LITE	.31

ANDERSON WINDOWS A SERIES, WHITE CLAD EXTERIORS, WHITE PRIMED INTERIOR WOOD. MOUNTING ADL FIXED TO EXTERIOR & INTERIOR GLASS.
1 1/2" W/ 6 1/2" AIRS THERMAL BARRI W/ 8/32DEN MANUFACTURED TO CONFORM EXTERIOR SIZE TO FINISH

DOOR SCHEDULE- EXISTING						
ID	#	MANUFACTURER	UNIT DIMENSION	ROUGH OPNG	REMARKS	U VALUE
1	1		2'-6" x 6'-4"		INSWING - 15 LITE ABV/ 1 PANEL BELOW	
2	1		2'-6" x 6'-8"		INSWING - 4 LITE ABV/ 1 PANEL BELOW	
3	1		6'-0" x 7'-0"		FRENCH INSWING - 6 LITE EA.	

ANDERSON - FRENCHWOOD GLIDING DOORS. THERMAL PANEL, LOW E4 SUN, W/ SLIDING SCREEN, CLAD WHITE EXTERIOR, PRIMED WHITE INTERIOR.
MORGAN OR BETTER- WOOD PRIMED, FIR, THERMAL PANED, SGL W/ SPACERS, LOW E GLASS W/ ADDITIONAL WOOD STORM/ SCREEN COMBO UNIT ON EXTERIOR

ISSUE/REVISION DATE
HDC 1 - 1/7/20

Renovations & Additions to the
Spencer Residence
6 Magnolia Avenue
Nantucket, Massachusetts
Map & Parcel
75.3.1.91

NOTE OF DRAWING
Notwithstanding to the contrary of any other provision of any contract, the user of this drawing shall be deemed to have accepted the drawing as shown and shall be responsible for any errors or omissions. The user shall indemnify and hold the architect harmless from any and all claims, damages, costs and expenses, including reasonable attorneys' fees, arising out of or from the use of this drawing.

Thornewill Design, LLC
48 Duke Road
Nantucket, MA 02554
Tel: 508 229 9165 Fax: 508 228 3165

Sheet No:
A1.1

Date/Time 1/13/20

To: Historic District Commission
From: Sconset Advisory Board

Members Present

Rob Benchley Caroline Ellis Angus Macleod Mary Will
Alternate: Clement Durkes

Applicant SPENCER Address 6 MAGNOLIA

Historic information/known history

Non-Contributing Contributing Individually significant

Comments

Incomplete application Historical information needed No Concerns Recommend View

Does not meet guidelines Not appropriate *(As noted below)*

North Elevation

East Elevation

West Elevation

South Elevation

Other

RATHER APPLICANT WORK WITH ORIGINAL STRUCTURE
SAVE HISTORIC HOUSE

Public Comment

Signatures *(three members required for quorum)*
[Signature] [Signature] [Signature]

X SAB *

HDC Application Review Worksheet

SPENCER / NEW HOUSE

1. Staff Initials: HCB

2. Meeting date: 1/14/2020

3. Property address: 6 MAGNOLIA

4. Scope of work: NEW SF DW - IN PLACE OF HISTORIC SF COTTAGE

- 5. If the site is located within the OHD or SOHD, please circle which one.
- 6. Is the structure, building, hardscaping, or other exterior architectural feature **open to view** from a beach, a public way, a traveled way, a street or way shown on a land court plan or shown on a plan approved and endorsed in accordance with the Subdivision Control Law, a public park or a public body of water? If yes, specify which portions.
 - a. North elevation: _____
 - b. South elevation: _____
 - c. East elevation: _____
 - d. West elevation: _____

7. What is the distance between the proposed structure, building, hardscaping, or other exterior architectural feature and the location from which it is **open to view**? YES feet

8. Other: _____

9. Comments on proposal: _____

PROPOSING 1169 ID GC FROM 705 ID

* WHY DEMO EXISTING + NOT PROPOSE A MODEST/HISTORICALLY APPROPRIATE ADDITION? - CAN BE DONE - IF WANTING BASEMENT - AS SHOWN ON PLANS.

Holly Backus

From: Rita Carr <rcarr@nantucketpreservation.org>
Sent: Monday, February 03, 2020 4:16 PM
To: Holly Backus; Mary Bergman
Subject: RE: 6 MAGNOLIA STATUS REPORT FOR FILE

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Holly,

Thank you, this is interesting to see!

It looks like they are trying to discount the possibility that any part of the current building is from the small structure on the 1904 and 1909 Sanborn maps. A line from the May 15, 1920 "Sconset Notes" made me think that's not true; it reads "Charles Carroll Taber is making a very comfy igloo for Levi S. Coffin from a small building on the Genesee Lodge property." It seems likely to me that the gambrel part of the structure is pre-1904 and was incorporated into the Levi Coffin's 1920 "igloo."

All the best,
Rita

Rita Carr
Director of Media and Communications

NANTUCKET PRESERVATION TRUST

11 Centre Street
PO Box 158
Nantucket, MA 02554
508.228.1387

rcarr@nantucketpreservation.org

Become a [MEMBER](#) and support our work!



NANTUCKET PRESERVATION TRUST

Preserving the Island's Architectural Heritage

From: Holly Backus <hbackus@nantucket-ma.gov>
Sent: Monday, February 3, 2020 3:34 PM
To: Mary Bergman <mbergman@nantucketpreservation.org>
Cc: Rita Carr <rcarr@nantucketpreservation.org>
Subject: FW: 6 MAGNOLIA STATUS REPORT FOR FILE

FYI – info on 6 Magnolia on tomorrow night's HDC agenda.

Holly E. Backus

Levi S. Coffin – previous owner

Charles Carroll Taber is making a very comfy igloo for Levi S. Coffin, from a small building on the "Gene-see Lodge" property.

A bath-room bug appears to have "lit" in the village, a dozen of these luxurious necessities being in various stages of installation.

Mrs. Arthur T. Shand is here for a short stay. She has had as guest her friend Mrs. Wemple of West Brighton, Staten Island.

Holly Backus

From: ROBERT BENCHLEY <benchley@comcast.net>
Sent: Tuesday, February 04, 2020 10:02 AM
To: Holly Backus; Cathy Flynn
Subject: 6 Magnolia Ave revisions

Categories: HDC

Hello Cathy and Holly,

First of all, thank you both for giving members of the SAB, individually, the opportunity to view the revisions to the proposed work at 6 Magnolia Ave. your efforts are truly commendable.

Secondly, the scope of the research supplied by the applicants is most impressive and its significance is so noted.

Lastly, I feel that the revisions to the application are far superior to the original proposal, and are much more in keeping with quirky historical evolutions of 'Sconset's architectures.

Thank you again for this opportunity to comment.

I have not discussed this newest revision, nor my thoughts, with other members of the SAB.

Sincerely,

Rob Benchley



HR
TOWN CLERK

2020 JAN 30 PM 12:28

Nantucket Historic District Commission

Mullin Rule Certification (GL c. 39 Sec. 23D)

Pursuant to G.L. c. 39, § 23D, the undersigned member of a board, committee or commission of the Town of Nantucket hereby certifies that he or she has examined all of the evidence received by the said board, committee or commission at the one session of its adjudicatory hearing on the matter identified below which the undersigned member failed to attend, and that such evidence included an audio or video recording of the missed session or a transcript thereof. This Certification has been executed prior to the undersigned's participating in a vote on the matter and shall be part of the record of the hearing.

Member Name: Stephen Welch

Board, Committee or Commission: Nantucket Historic District Commission

Subject Matter of Hearing: 6 Magnolia Ave (Demo DWG/New DWG)

Date of Missed Session: 01/14/2020

Signed under the pains and penalties of perjury this 28 day of January, 2020.

Signature

Holly Backus

From: Angus Macleod <angusonack@gmail.com>
Sent: Tuesday, February 04, 2020 1:17 PM
To: Cathy Flynn
Cc: Holly Backus
Subject: Re: 6 Magnolia Ave submissions for Old Business meeting 2/4/20- PLEASE DO NOT REPLY ALL

Categories: HDC

To whom it may concern ~

The proposed alterations to 6 Magnolia Avenue overwhelm the historic gambrel roofed structure at the front of the existing house, just as the 1970's addition did. Replacing the insensitive modern addition with something more in keeping with style and scale of the original structure is a great opportunity and my sincere hope is that the current owners take that opportunity.

The lot at 6 Magnolia is the smallest lot on the street and the scale of the finished structure needs to reflect that. The proposed program is ambitious, more than doubling the existing sleeping capacity! Moving the structure forward isn't inconsistent with other structures on the street, but as mentioned before, there's less open land to work with to create the balance of natural and built space that exists today.

I believe it is possible to accomplish the new owners objectives and correct the errors of the 1970's addition without building as high or sprawling to the extent of what is currently proposed.

Thank you for your consideration!

Sincerely ~
Angus MacLeod
'Sconset Advisory Board member

On Jan 30, 2020, at 12:50 PM, Cathy Flynn <cflynn@nantucket-ma.gov> wrote:

Hi,

Attached are revisions requested at the 1/14/20 meeting were brought in today for the Old Business meeting 2/4/20. If you would like to make individual comments, PLEASE DO NOT REPLY ALL.

Cathy

Cathy Flynn
Land Use Specialist
Town of Nantucket
Planning and Land Use Services
2 Fairgrounds Road
Nantucket, Ma 02554

Cathy Flynn

From: Mary Will <marywill@comcast.net>
Sent: Tuesday, February 04, 2020 12:37 PM
To: Cathy Flynn
Subject: Re: 6 Magnolia Ave submissions for Old Business meeting 2/4/20- PLEASE DO NOT REPLY ALL

Thanks Cathy for forwarding my comments to the HDC regarding the revised submission for 6 Magnolia, Sconset.

To the Historic District Commission:

I have reviewed revised architectural drawings and a comprehensive historical brief on the building at 6 Magnolia Avenue. As a member of the Sconset Advisory Board to the HDC, i saw two sets of earlier plans concerning the current owners' plans for renovations to their home.

At the time we reviewed the last submission, accompanied by an engineer's assessment that the existing building should be demolished, I despaired about another assault on the historic fabric of Sconset village. I have been aware of the existing structure throughout my life in Sconset as acquaintances lived in it during my childhood and, indeed, owned it until just recently. While I have no illusions about the architectural merit of the rear addition, i believe the older cottage on the street to have a character I would hate to see lost. The excellent brief concerning the lot, its subdivision, the first appearance of a house and its subsequent additions, warts, changes, etc. gave me heightened perspective and important information to consider.

I wish the HDC to know that 1) I still oppose demolition of the street side portion of 6 Magnolia. I favor demolition of the '70s two-story addition. 2) moving the remaining portion of the house seems advantageous. 3) the newly shown gambrel roofline on the proposed rear addition is an elegant solution to having the larger mass in the rear, leaving the shorter cottage street-side.

All in all I favor the plans under consideration this evening and am grateful to the HDC, historic preservationists, architects and home owners who have worked together to hone plans and find a better solution to this property's improvement. Change at 6 Magnolia has been inevitable since the previous owners decided to sell, but with these plans, I think its charming character can be retained while another family makes themselves a comfortable place to spend summers.

Sincerely,

Mary Will

Mary Lathrop Will
978-621-5940
Sent from my iPhone

On Jan 30, 2020, at 4:14 PM, Cathy Flynn <cflynn@nantucket-ma.gov> wrote:

Yes send an email to me. I will print it out so that it will be read into the record at the meeting as a citizen comment. Since the submission came in too late for me to post a SAB meeting.

Holly Backus

From: ROBERT BENCHLEY <benchley@comcast.net>
Sent: Tuesday, February 04, 2020 10:02 AM
To: Holly Backus; Cathy Flynn
Subject: 6 Magnolia Ave revisions

Categories: HDC

Hello Cathy and Holly,

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Lastly, I feel that the revisions to the application are far superior to the original proposal, and are much more in keeping with quirky historical evolutions of 'Sconset's architectures.

Thank you again for this opportunity to comment.

I have not discussed this newest revision, nor my thoughts, with other members of the SAB.

Sincerely,

Rob Benchley

CERTIFICATE NO: HDC 2020-01-0471

DATE ISSUED: 02/18/2020

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

AX MAP N°: 73.3.1 PARCEL N°: 57
Street & Number of Proposed Work: 6 MAGNOLIA AVE
Owner of record: Steven Spencer
Mailing Address: SMB CAPITAL
850 Third Ave - 16th Fl. NY NY 10022
Contact Phone #: 516-662-1820 E-mail: _____

AGENT INFORMATION (if applicable)

Name: THORNEWILL DESIGN, LLC
Mailing Address: 48 DUKES RD
NANTUCKET MA 02554
Contact Phone #: 228-9161 E-mail: _____

FOR OFFICE USE ONLY ✓ 1689

Date application received: 7/8/2020 Fee Paid: \$ 100.00

Must be acted on by: 3/14/2020

Extended to: _____

Approved: [Signature] Disapproved: _____

Chairman: _____

Member: _____

Member: _____

Member: [Signature]

Member: _____

Notes - Comments - Restrictions - Conditions
PER SELECTIVE DEMO PLAN + Not DEMO'D TO REMAIN INTACT, RAISED FOR NEW FNDTN

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____

Pool (Zoning District _____) Roof Other _____
Size of Structure or Addition: Length: 34.5 ± Sq. Footage 1st floor: 705 ± Decks/Patio: Size: 20.5 x 7 1st floor 2nd floor
Width: 20.5 ± Sq. Footage 2nd floor: _____ POREH Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks _____
Historic Name: N/A REVISIONS: 1. East Elevation
Original Date: 1916 / 1960's? ADDITION (describe) 2. South Elevation
Original Builder: UNKNOWN 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass SATIMBER Secondary Mass 5/12 Dormer 1/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Shutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1 x 8 Rake 1 x 6 Soffit (Overhang) _____ Corner boards 6" Frieze _____
Window Casing 4" x 5" Door Frame 4" x 5" Columns/Posts: Round _____ Square 4"

Windows: Double Hung Casement All Wood Other PICTURE - 48 LIGHT
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): IDL SDL Front 9 LIGHT Rear _____ Side 10 LIGHT / 9 LIGHT

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

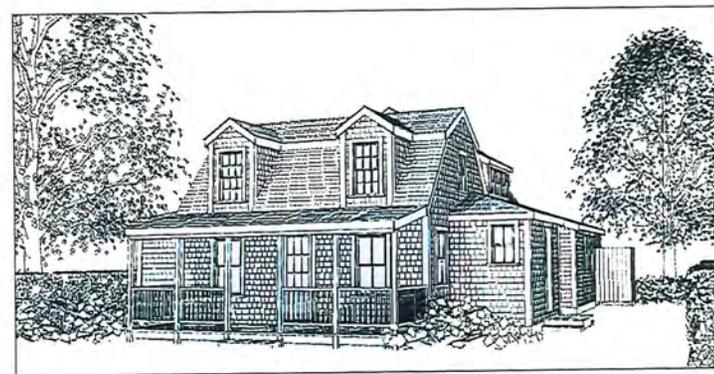
Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of my revisions to this application will initiate a new sixty-day review period.

Plus Red use of

Spencer Residence

6 Magnolia Avenue
Nantucket, Massachusetts



Northwest Perspective

ISSUE/REVISION DATE
HDC 1 1/8/20
HDC 2 1/29/20
PLUS 2/12/20

Spencer Residence
6 Magnolia Avenue
Nantucket, Massachusetts

Map & Parcel
733.1 97

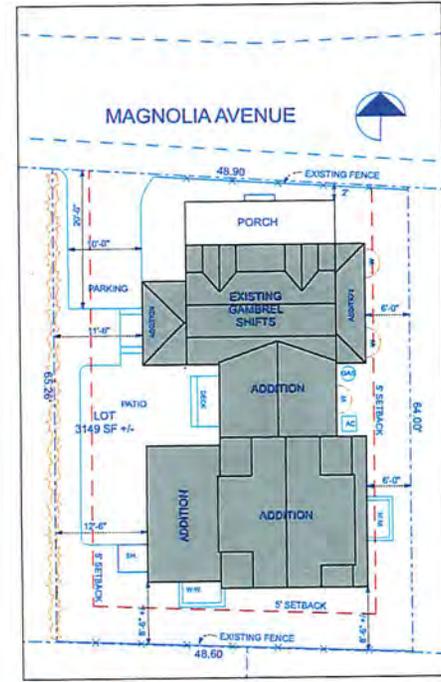
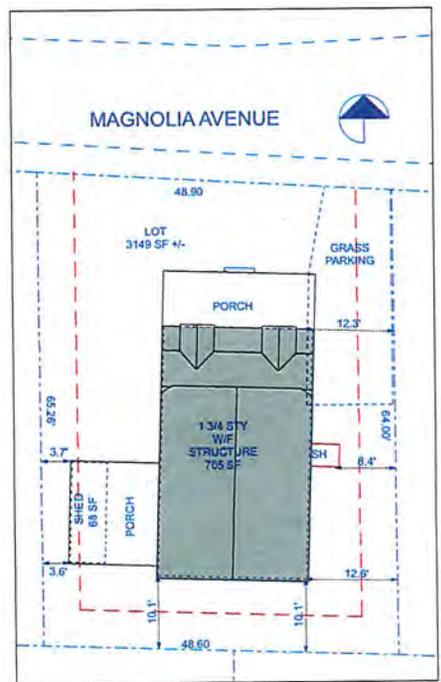
USE OF DRAWING

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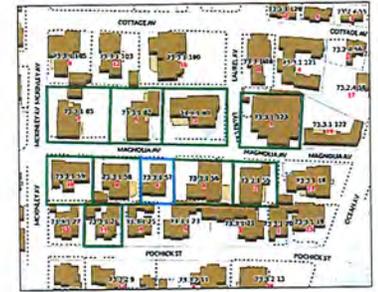
(©) Thornewill Design LLC, 2020

Thornewill Design LLC
48 Duke's Road
Nantucket, MA 02554
Tel: 508 228 9161 Fax: 508 228 3165

Sheet No:
A0.0



ZONING DISTRICT- SOH (Scenes Old Historic)
MINIMUM LOT SIZE: 5000 SF (3149 SF ACTUAL)
MINIMUM FRONTAGE: 50 FT
FRONT YARD SETBACK: NONE
REAR SIDE SETBACK: 5 FT
GROUND COVER RATIO: 50% or 2,500 SF
EXISTING G.C.R.- 24.5 %
EXISTING G.C.- 335 SF
PROPOSED G.C.- 904 SF
TOTAL G.C. = 1239 SF



DRAWING INDEX	
A0.0	COVER SHEET, SITE PLAN, LOCUS
A1.1	FLOOR PLANS/ SCHEDULES
A1.2	FLOOR PLANS/ SCHEDULES
A2.1	ELEVATIONS
A3.1	SECTIONS

APPROVED

HDC2020 -01 -0471

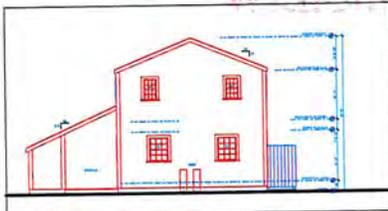
No Exterior Changes
Without HDC Approval

RECEIVED
FEB 12 2020
By _____

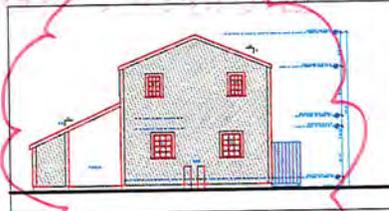
APPROVED

HDC 2020 BY 10471

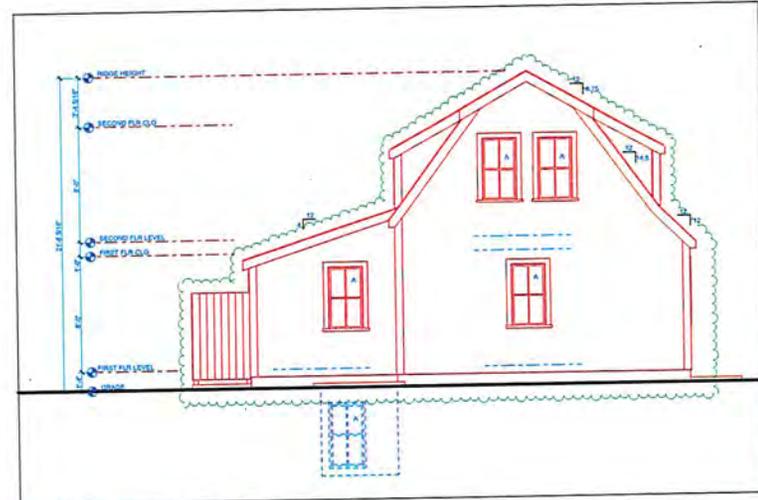
No Exterior Changes Without HDC Approval



South Elevation- Existing
SCALE: 1/8" = 1'-0"



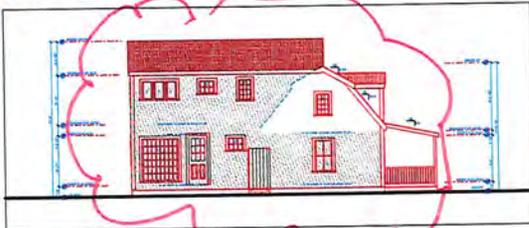
South Elevation- Demolition
SCALE: 1/8" = 1'-0"



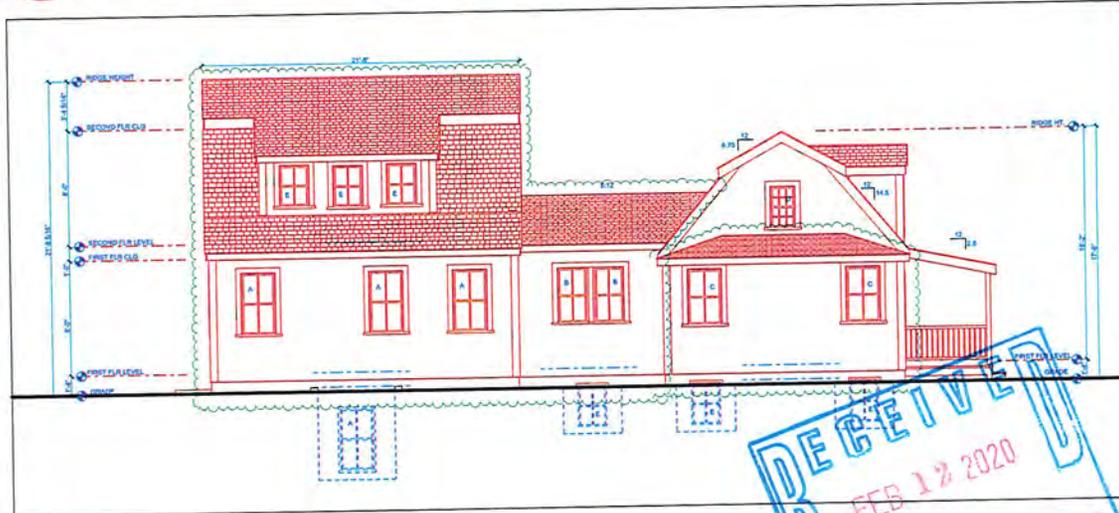
South Elevation- Proposed
SCALE: 1/4" = 1'-0"



East Elevation- Existing
SCALE: 1/4" = 1'-0"



East Elevation- Demolition
SCALE: 1/4" = 1'-0"



East Elevation- Proposed
SCALE: 1/4" = 1'-0"

RECEIVED
FEB 12 2020
By _____

ISSUE/REVISION DATE
HDC 1 1/8/20
HDC 2 1/28/20
HDC 3 2/12/20

Spencer Residence
6 Magnolia Avenue
Nantucket, Massachusetts

M&P Inc
733.1 37

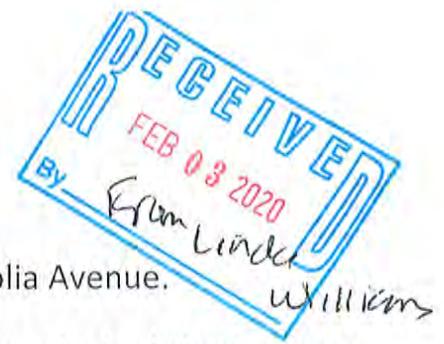
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Thomaston Design LLC
35 Duke Road
Nantucket, MA 02554
Tel: 308 228 9161 Fax: 308 228 3165

Sheet No:
A2.2

STATUS REPORT 6 MAGNOLIA AVENUE
JANUARY 30, 2020



- This report will establish the history of the property at 6 Magnolia Avenue.
- The property currently contains a single-family structure with an attached storage area.
- The primary dwelling is listed on the Assessor's Tax records on the Town of Nantucket GIS mapping system ("GIS") as having been constructed in 1800. There was no structure on the lot in 1898. The current configuration of the dwelling clearly was not present on the lot in 1904 or 1909.
- The structure shown on the 1938 aerial photograph contained in the Town of Nantucket records, has a substantially smaller massing and footprint than the current structure. It indicates a similar front portion but with only one central dormer. The rear addition is a small 1-story addition sited off center and to the west. There is no front porch or side addition.
- The structure remained unchanged from the 1938 to the 1957 aerial photograph except that a front porch was added and verified by the 1952 subdivision plan.
- The 1975 aerial photograph from the Town records clearly shows the substantial alterations that formed the structure as seen presently. The single front dormer has been removed in favor of two separate dormers, front porch is clearly visible, the side addition/storage area is present along with the substantial 2-story rear addition.
- The Nantucket Historic District Commission "Building-Structure Inventory Form" for the states that the dwelling was constructed "circa 1916" and is noted as "contributing". There is no evidentiary support for that date on record. The Sanborn Map for 1909 shows a different 1½ -story dwelling sited along the rear lot line with a different footprint than the current front portion of the structure.
- Sanborn Maps from the Nantucket Historical Association data base:
 - 1898 – Is the first time the lot is shown. It is a vacant larger lot.
 - 1904 – There is a small "1½"-story "D"welling sited along the rear lot line on a larger lot.
 - 1909 – Lot shape and structure have remained unchanged.
 - 1923 – The structure on the 1904 and 1909 maps is no longer in the rear of the lot a larger somewhat different structure is shown forward on the lot; it is noted as a "2"-story "D"welling with a "1"-story rear off-set addition.
 - 1949 – The structure has not changed from the 1923 map. However, the cottage lot lines have changed as it has been combined with the larger house lot to the west that also contained a much larger dwelling.



Property Information

Property ID	73.3.1.57
Location	6 MAGNOLIA AV
Owner	GIBSON ELEANOR HALL ETAL TRS



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
Data updated 11/19/2018

1" = 125 ft

2018



6 MAGNOLIA AVENUE



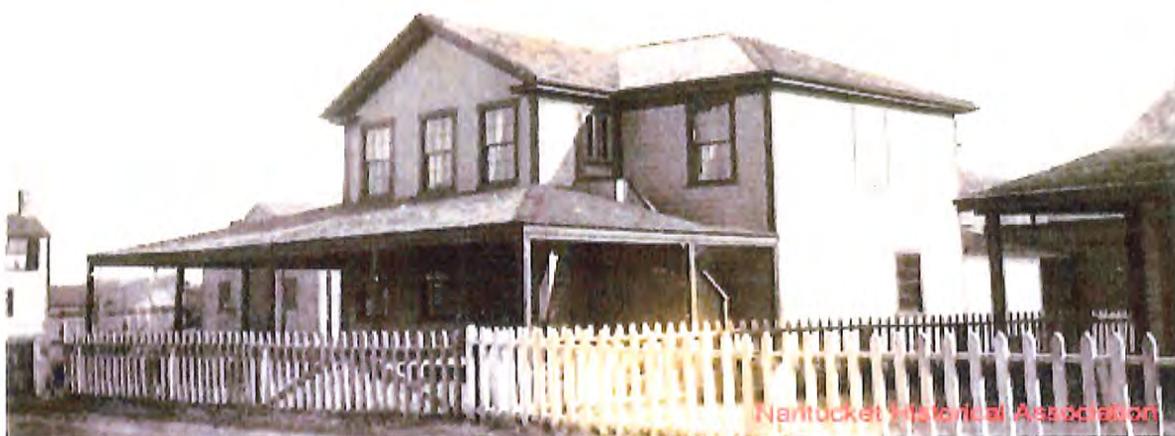
1880 - POCHICK STREET AND MAGNOLIA AVENUE

Lot is visible to the left behind the clothesline. No structure on the lot at this time.



1900s (INDETERMINANT AS TO DATE) – 6/8 MAGNOLIA AVENUE

6 Magnolia Ave. structure is visible to left of 8 Magnolia Ave. through porch. No front porch and single dormer. Windows appear different. Height/roof is different. Front façade is significantly behind houses to east/west. 6 Magnolia Ave. was combined with 8 Magnolia until they formally separated in 1952. The 1904 and 1909 Sanborn Maps show a small 1 ½ - story structure sited to the rear along the lot line where this structure is shown in the photography below. (The 1923 and 1949 Sanborn Maps show a 2-story house with a small 1-story rear off-set addition substantially lined up with the houses to the east and west.)

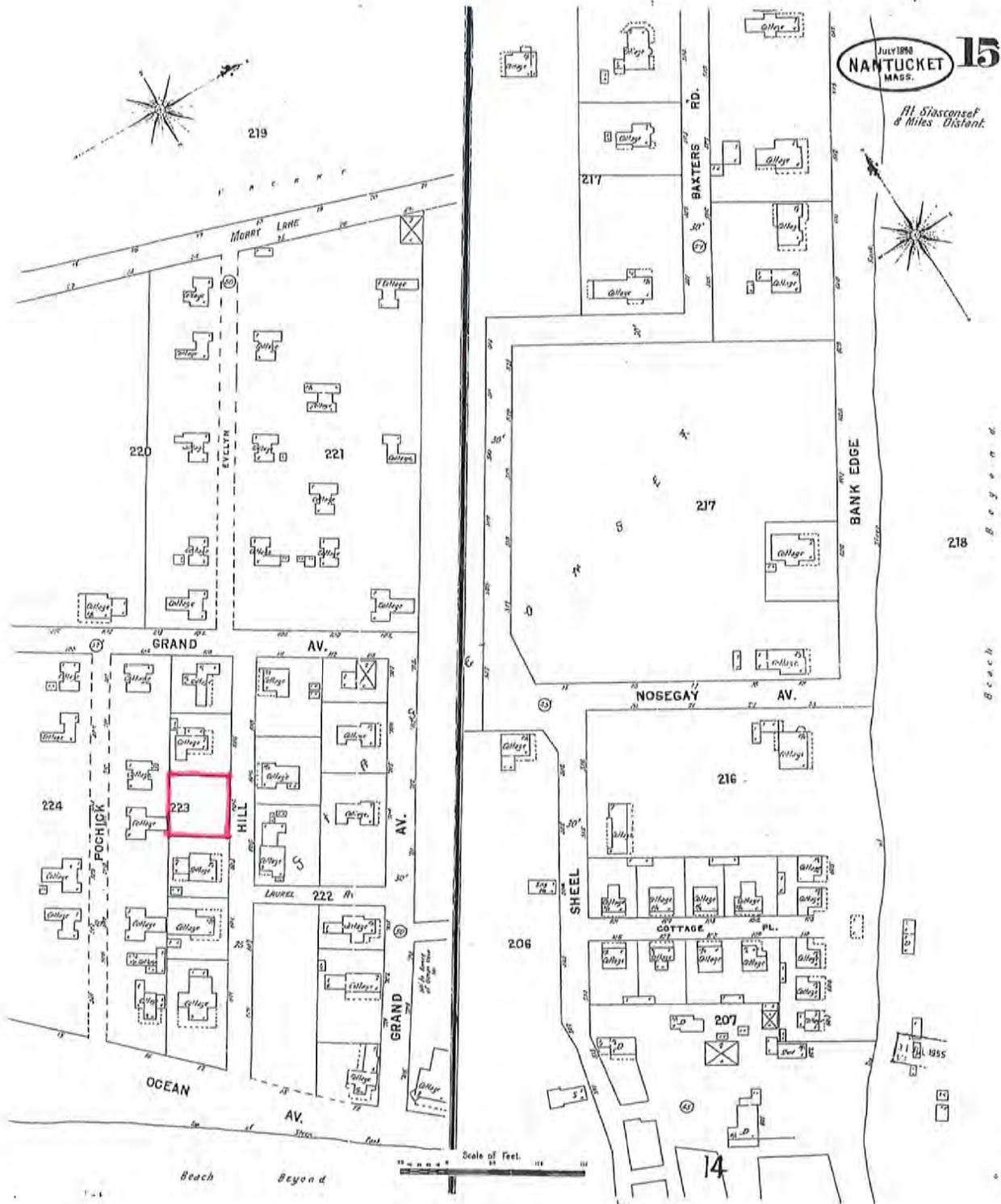


1910 - 9 POCHICK STREET

Previous rear of structure on 6 Magnolia Avenue can be seen just over the top of the shed to the right. Gable runs east and west with rear dormer.

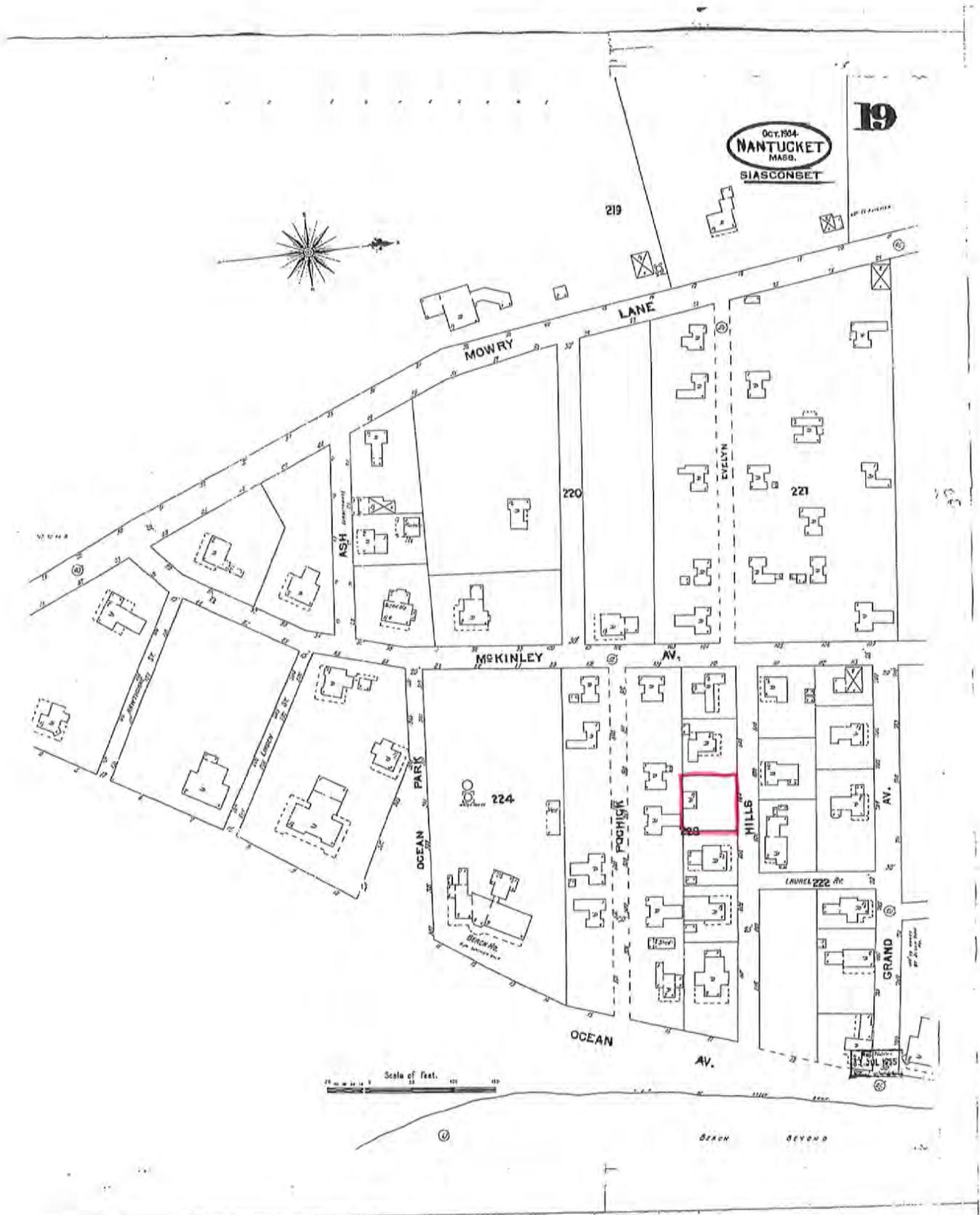


1898 SANBORN MAP – NO STRUCTURE ON LARGER LOT – AKA HILLS STREET



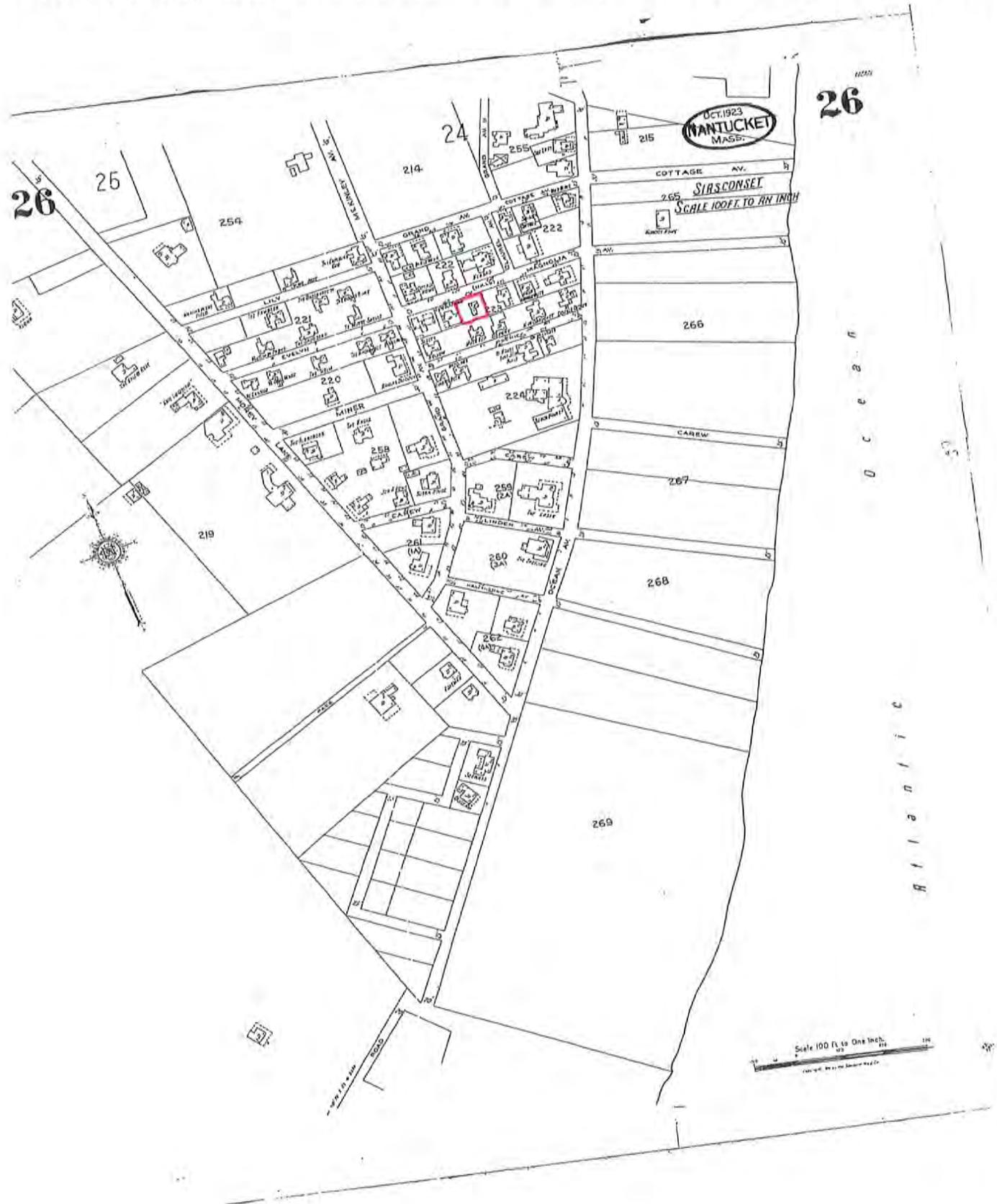
1904 SANBORN MAP – "1 ½"-STORY "D"WELLING – AKA HILLS STREET

VISIBLE IN THE 1910 PHOTOGRAPH OF 9 POCHICK STREET



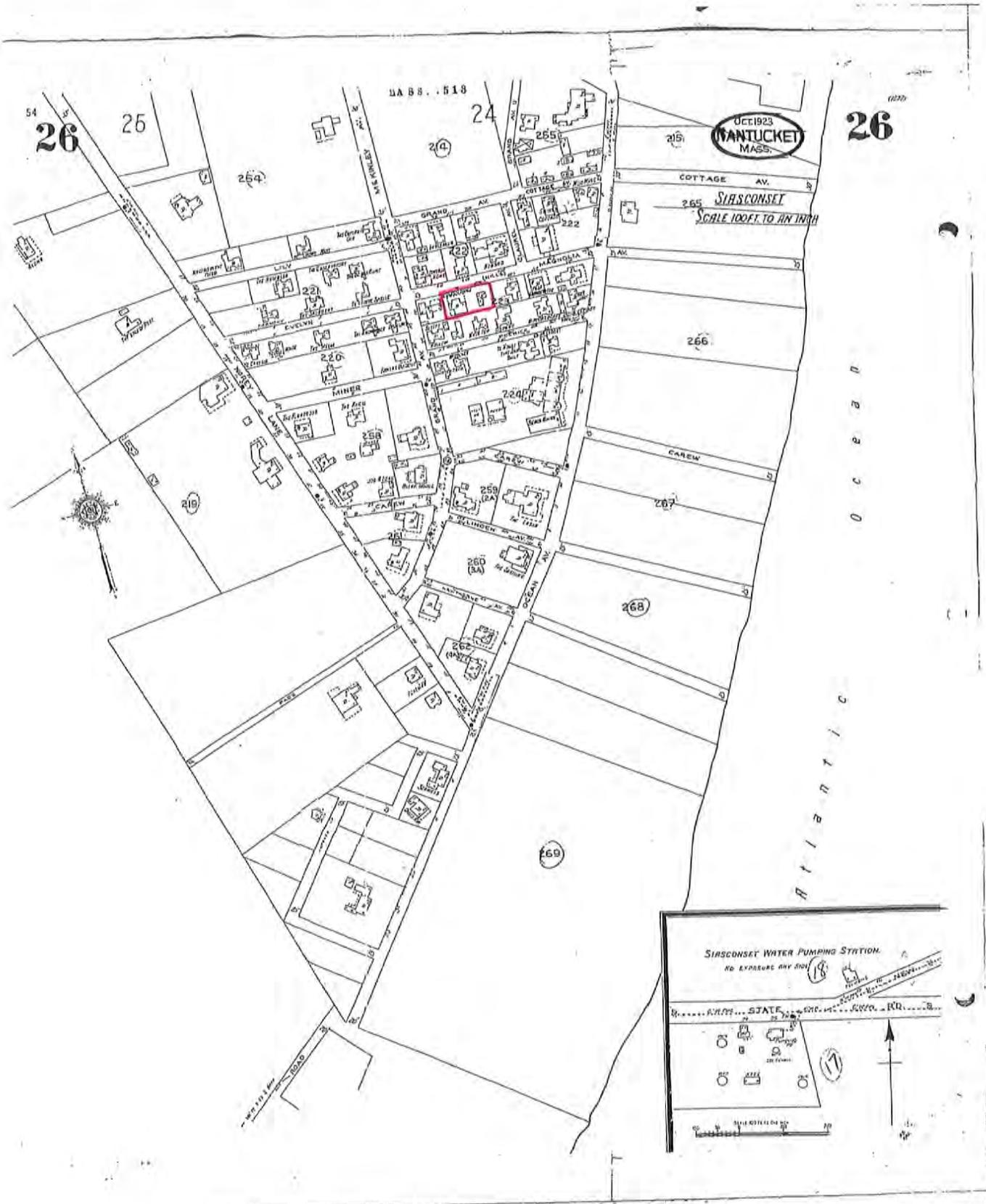
1923 SANBORN MAP – 2-STORY IN THE FRONT – 1-STORY IN THE REAR – AKA HILLS STREET.

Not same configuration of structure shown on 1904/1909 Sanborn Maps, front part of footprint slightly different with a 1-story off-set rear addition – notation went from “1 ½” to “2”-story indicating change in roof system, substantially altered if portion of same structure.



1949 SANBORN MAP – 2-STORY IN THE FRONT – 1-STORY IN THE REAR – AKA HILLS ST.

COTTAGE WAS STILL ON SAME LOT AS DWELLING TO THE WEST



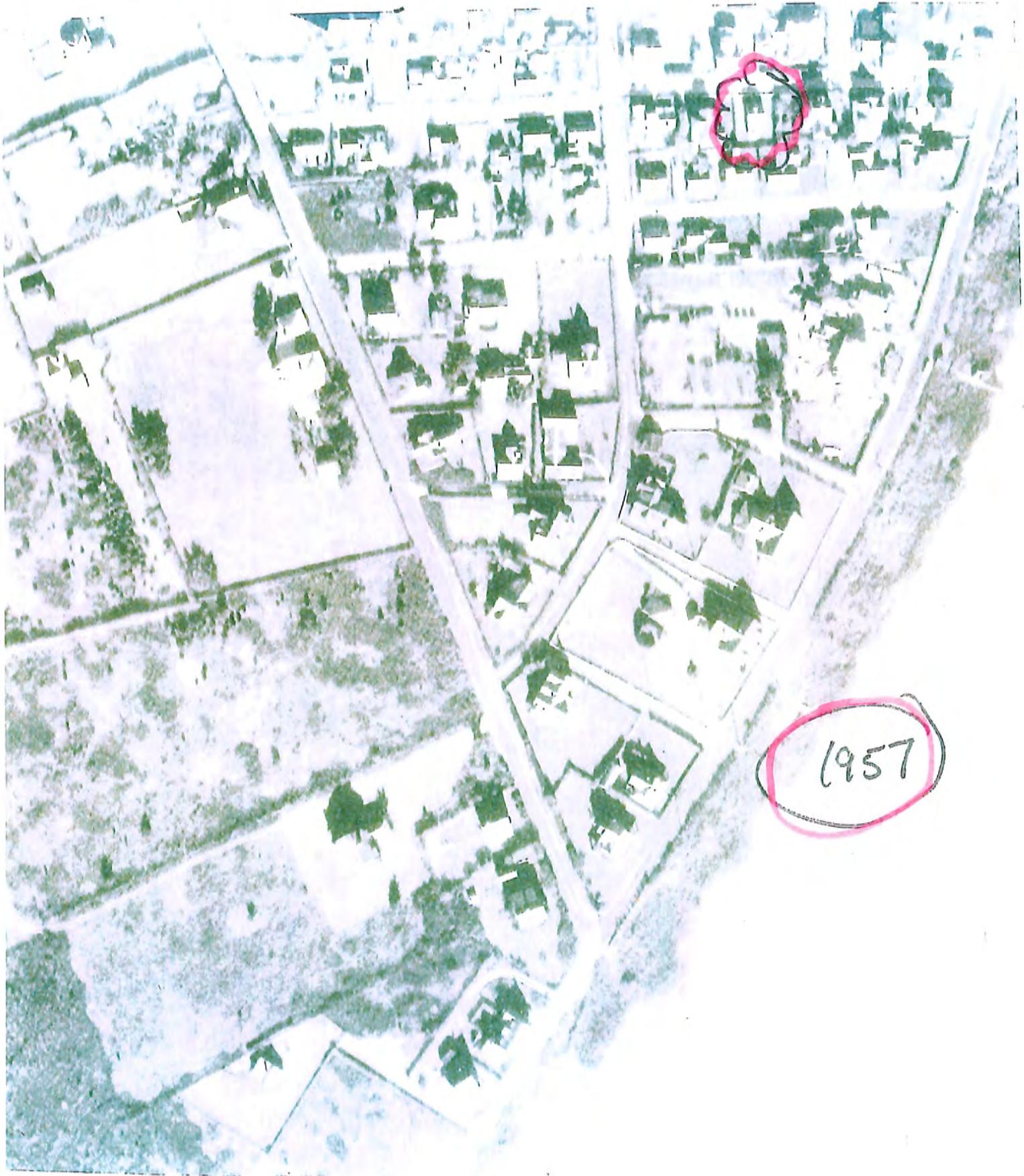
AERIAL PHOTOGRAPH- 1938

1 front dormer and small 1-story off-set rear addition is visible. Structure/footprint/location are same as shown on the 1923/1949 Sanborn Maps.



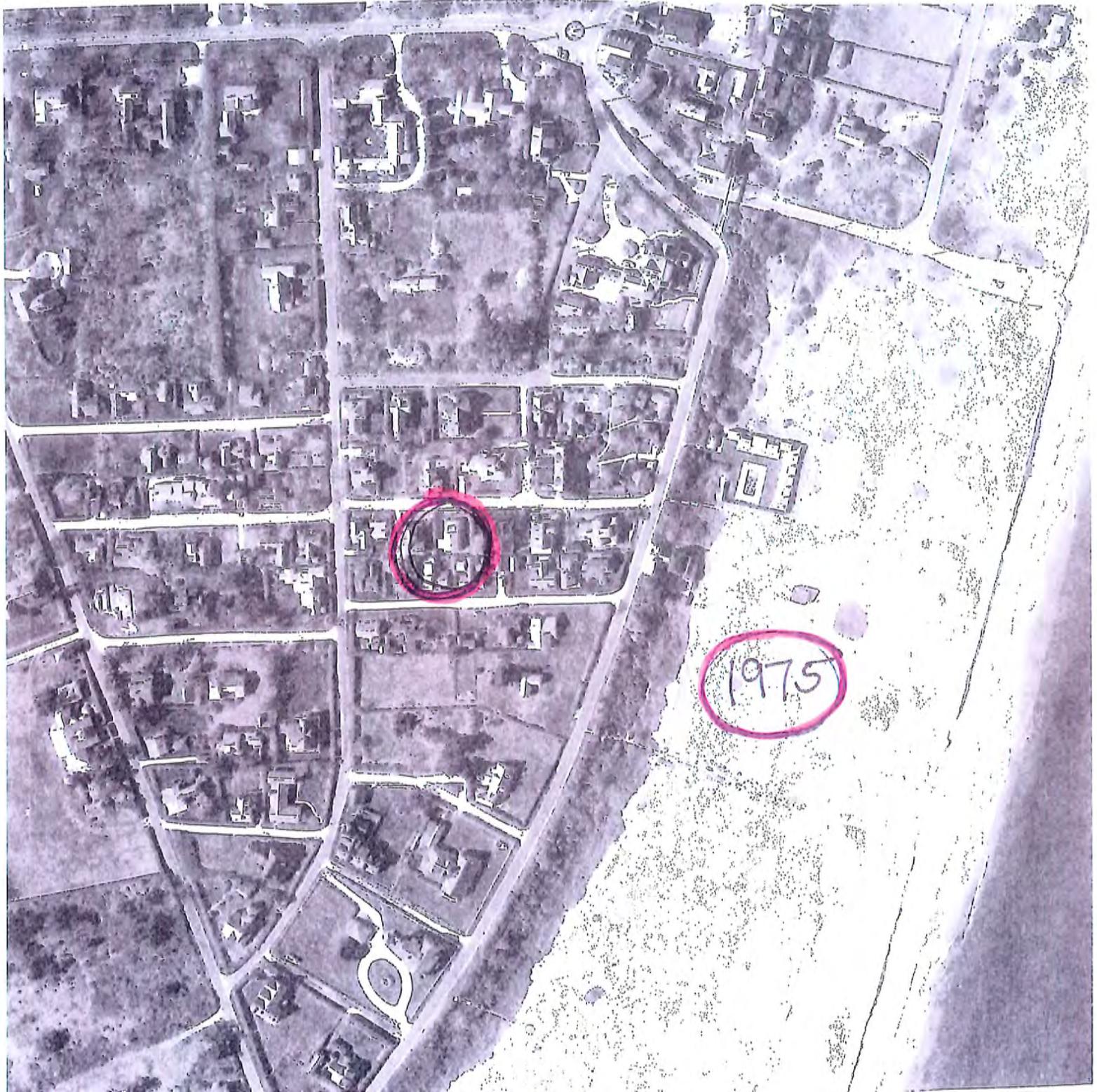
AERIAL PHOTOGRAPH - 1957

No change from 1938 aerials photograph except for a front porch added between 1949 and 1952 as noted on the 1952 subdivision plan.



AERIAL PHOTOGRAPH – 1975

Substantial changes had been made by this time. Front porch, side porch and storage area added, 2 dormers added with previous center dormer removed and roof system changed, rear 1-story off-set addition removed and a taller than the gambrel 2-story addition constructed that removed the rear roof of the front gambrel section, windows changed, chimney removed at some point. The wood is visibly newer and not weathered on the structure which means a relatively new construction of the above alterations. The structure has remained in this configuration to the present.



HDC SURVEY FORM

Questionable date of 1916. No verification other than form noting 1909 and 1923 Sanborn Maps. Appears to be enough difference between the 1909 dwelling and the one on the 1923/1948 Sanborn Maps to either lead to a conclusion that this structure is not the same one as in the photograph of 8 Magnolia Avenue or it was moved forward in order to add the 1-story rear ell. The full trellis in the picture has been altered and reduced on the current porch. It is listed as "contributing" but of "unknown" architectural or historical importance.

(See ATTACHED)

BUILDING/STRUCTURE INVENTORY FORM
NANTUCKET ISLAND ARCHITECTURAL
AND CULTURAL RESOURCES SURVEY
NANTUCKET HISTORIC DISTRICT COMMISSION
NANTUCKET, MASSACHUSETTS

SURVEY/
FILM ROLL #: SC4-25
MAP/PARCEL#: 7331-57

Recorded by: AH

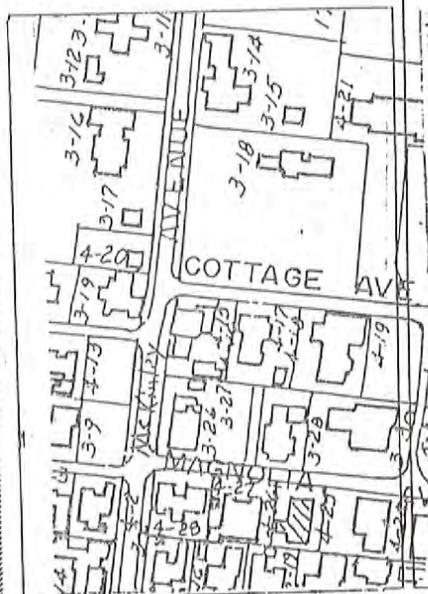
Date: 09/14/89

Organization: AGS

IDENTIFICATION

1. Street Name & No.: 6 MAGNOLIA AVENUE
2. Building Name: N/A
3. Ownership: Private
4. Present Owner: BOSH, PHILIP E & FLORA D
5. Ownership History:
Unknown
6. Use: Original: Dwelling Present: Dwelling
Seasonal/Year-Round: Seasonal
7. Accessibility to Public: Visible from Public Road? Yes
Interior: N/A

8. MAP -- 3 X 2"



GENERAL SETTING AND ORIENTATION OF BUILDING

10. Lot Size:N/A
11. Approximate Frontage (ft.): N/A
12. Setback from Street (ft.): 10 feet or less
13. Orientation to Street Address: Gabled
14. Surroundings: Densely Built, Residential,
Old Historic District
15. Related Outbuildings and Property: Fence
16. Other Notable Features:
N/A

DESCRIPTION

17. Foundation: Piers
18. Structural System: Woodframe
19. Exterior Wall Material, Front Facade: Shingles-Weathered
20. Exterior Wall Material, Side Elevations: Shingles-Weathered
21. Exterior Wall Material, Rear Elevation: Shingles-Weathered
22. Number of Stories: 2
23. Roof Shape: Gable, Gambrel
24. Roofing Material: Composition Shingle
25. Roof Features: Dormers/Front Facade
26. Dormer Roof(s): Gable
27. Chimney Material: Brick-unpainted
28. Chimney Position: End Wall
29. Number of Chimneys: 1
30. Chimney Features: N/A
31. Front/Primary Door Location: Center
32. Front/Primary Door Frame Features: Flush Frame
33. Number of Bays: N/A
34. Window Frame Type: Flush
35. Window Sash Type(s) - Front Facade: 6/6, 2/2

36. Porch: Front
37. Signage: N/A
38. Details: Corner boards-plain, Trellis
39. Condition: Good
40. Integrity: N/A
41. Alterations:
N/A

SIGNIFICANCE

- 42. Role the Building Plays: National Register: Contributing
- 43. Date of Initial Construction: Circa 1916
Source: Sanborn Maps
Architect: Unknown Builder: Unknown
- 44. Building Type: Box, Gable Front
- 45. Architectural Style: N/A
- 46. Historical and Architectural Importance:
Unknown

- 47. Sources: Sanborn Maps,
1909,
1923

1952 SUBDIVISION OF COFFIN PROPERTY – PLAN 14, PAGE 33

Result of probate settlement – 6 Magnolia Avenue was conveyed to Ann Coffin from estate of Henry Coffin by 1953. The footprint is substantially the same as shown on the 1923 and 1949 Sanborn Maps with the addition of the front porch and the lot size reduced to the current size of the lot and separated from 8 Magnolia Avenue. Established lot size of 3150± SF from the previous lot size of 3000 SF.

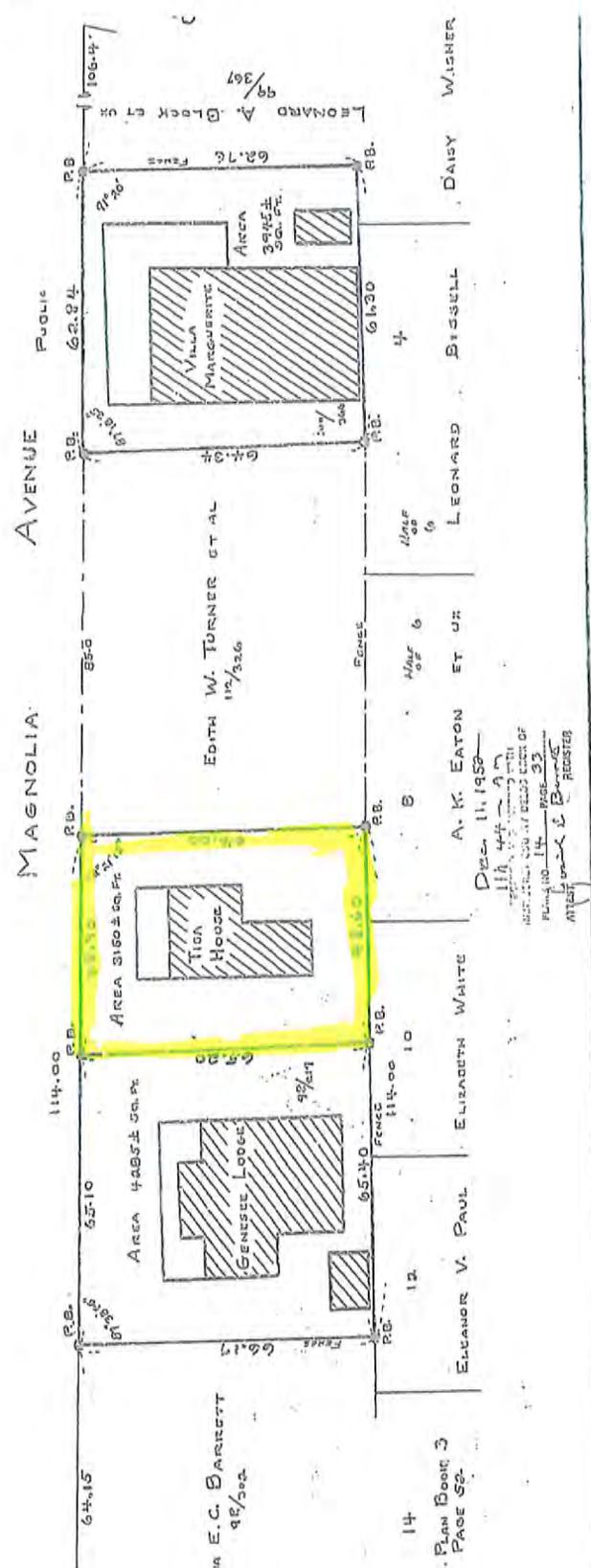
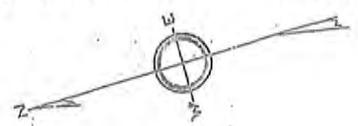
1952

LAND AT SIASCONSET SURVEYED FOR: HENRY COFFIN, LEONARD WISNER AND EMILY C. MACDONALD.

SCALE 20' = 1"

JOSIAH G. BARRETT, ENGR.

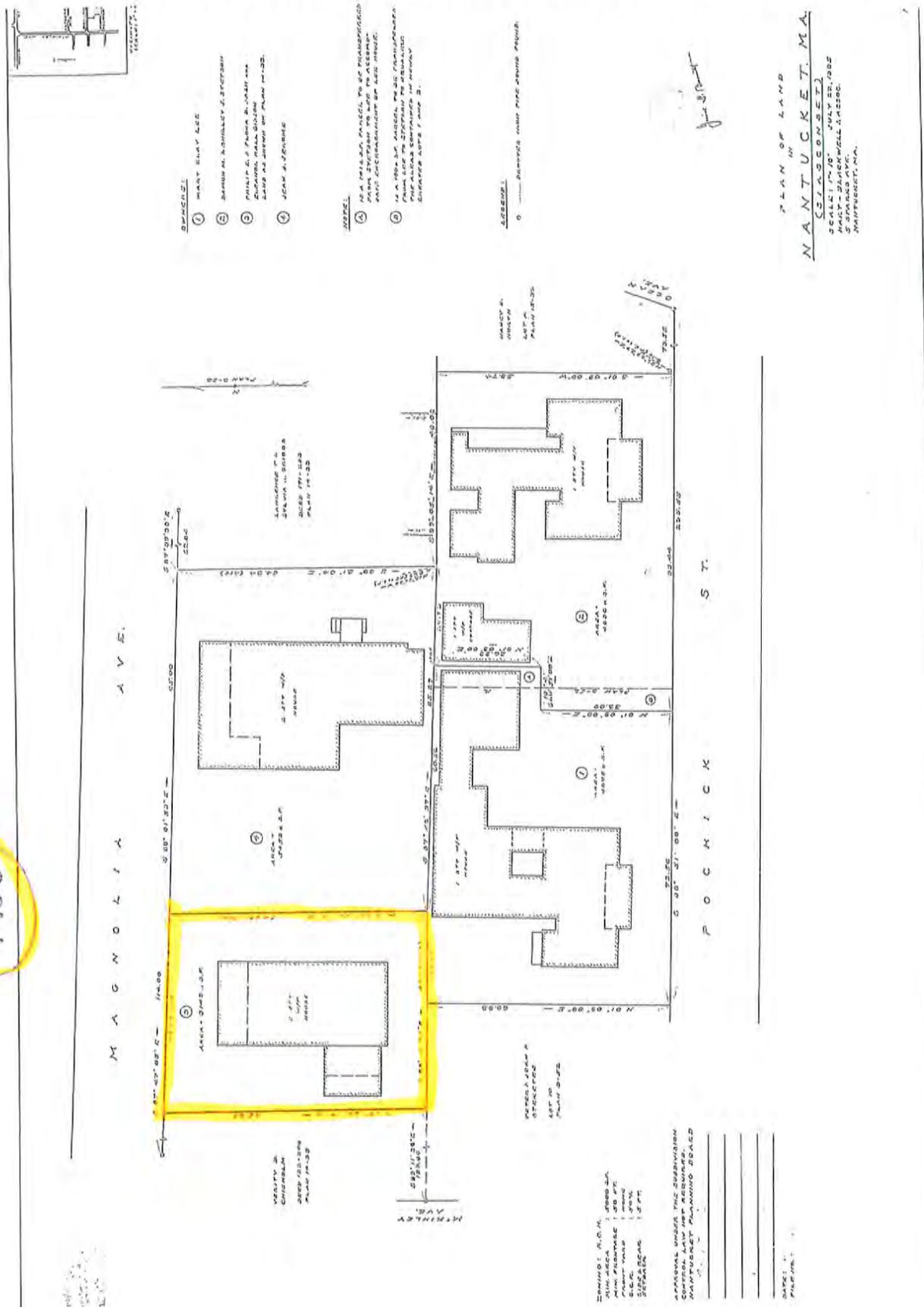
SEPT. 25, 1952



1985 SUBDIVISION OF 4 PROPERTIES – PLAN FILE 20-B, LOT 3

Realignment of property lines among 2 lots on Pochick Street and verification of lot lines for 2 lots on Magnolia Avenue. Re-established lot size of 6 Magnolia Avenue as 3,149± SF. The Plan also shows the expanded/altered structure substantially as configured presently.

1985



APPROVAL UNDER THE SUBDIVISION
 CAPITAL AND MAP RECORDS
 MUNICIPAL ENGINEERING DEPT.

 DATE: _____
 PLAN NO.: _____

19 52 REAL ESTATE VALUATION LIST

Line No.	NAME AND ADDRESS OF PERSONS ASSESSED AND DESCRIPTION OF PARCEL	LAND Exclusive of Buildings		BUILDINGS Exclusive of Land		TOTAL VALUE of each Parcel	TAX		
		AREA	VALUE	DESCRIPTION	VALUE				
1	Coffin Ernest R., Siasconset Massachusetts Lots 32 & 33, King St. Lots 56 & 57, Front " 56 & 57, Rear	6,780	350			350			
		5,580	450	Dwelling	3,000	5,480	13.30	13.30	
		11,170	330	"	1,000		208.24	208.24	
		Shop	500						
				Garage	200				
	'Sconset Pl. Bk. 2, Pg. 88, Plainfield New Street	17 ac 15,196	600 700			600 700	22.80 26.60	22.80 26.60	
2									
3	Coffin, Ernest A. & Lillian M., Siasconset Massachusetts Gay Street Lots 46-47, King St.	5,400	1,100	Dwelling	2,800	3,900 200	148.20	148.20	
		7,320	200				7.60	7.60	
4	Coffin, Ernest, Martindale & George, Marion Folger, Lillian Tierney, Marguerite Johnson Lots 50 Sankaty 51 Avenue 52 New Street, Lot 53 (send bill to Ernest Coffin Siasconset, Mass)	3,900	200			1,400	53.20	53.20	
		4,800	200						
		4,800	250						
		4,000	250						
		4,000	250						
5		54	250						
5		55	250						
6	Coffin, Frederick C. & Emma M., Off Atlantic Ave., Nantucket, Mass.	Off Atlantic Ave.	11,680	250	Dwelling	2,500	2,800	106.40	106.40
					Building	50			
7	Coffin, Henry & Anne M., Siasconset, Mass. Madaket, Lot 1-7, inc. 17-23, inc., Blk. 28 Pl. 2406- Lot 24, Bl. 28,		50,000	300			300 200	11.40	11.40
								7.60	7.60
			2,500	200					
8	Coffin, Henry Siasconset Massachusetts	5/6 Sheep Com. Magnolia Ave., " St.	1 ac	10			10 3,590 1,400		
			7,268	1,090	Dwelling	2,500		36.42	36.42
			3,000	300	"	1,100		53.20	53.20
9	Coffin, Henry, Anne and Emily Coffin MacDonald Magnolia Ave. Madaket 8-16, Blk. 28		4,280	650	Dwelling	2,500	3,150 950	119.70	119.70
			10,500	200	"	750		36.10	36.10

1	1953 Siasconset Pl. Bk. 2, Pg. 88, Plainfield New Street	11,170 17 ac. 15,196	330 600 700	" Shop Garage	1,000. 500. 200.				
2									
3	COFFIN, Ernest R. & Lillian M., Siasconset Massachusetts Gay Street Lots 46-47, King St.	5,400 7,320	1,100 200	Dwelling	2,800.	3,900. 200.	148.20 7.60	47.20 7.20	
4	COFFIN, Ernest B. Siasconset Massachusetts Lots 43, 44, 45, King Street	11,120	680			680.	25.84	27.21	
5	COFFIN, Ernest, Martindale, George, Marion Folger, Lillian Tierney Marguerite Johnson Sankaty Ave. - Lots 50 " 51 " 52 New Street " 53 " 54 " 55	3,900 4,800 4,800 4,000 4,000 4,000	200 200 250 250 250 250			1,400.	53.20	53.20	
6									
7	COFFIN, Frederick C. & Emma M. Off Atlantic Ave., Nantucket, Mass. Off Atlantic Ave.	11,680	250	Dwelling Building	2,500. 50.	2,800.	106.40	106.40	
8	COFFIN, Henry Siasconset Massachusetts 5/6 Sheep Common Magnolia Ave. Magnolia Street	1 ac. 7,268 3,000	10 1,090 300	Dwelling Dwelling	2,500. 1,100.	3,590. 1,400.	136.42 53.20	132 53.20	
9	COFFIN, Henry & Anne M. Siasconset Massachusetts Madaket, Lot 1-7 inc. 17-23, inc., Blk. 28 Lot 24, Blk. 28, Fl. 24	50,000 2,500	300 200			300. 200.	11.40 7.60	11.40 7.60	
10	COFFIN, Henry, Anne, and Emily Coffin Siasconset Massachusetts- Magnolia Ave. Madaket 8-16, Blk. 28 North Pasture	4,280 10,500 17 ac. 35 ac. 177,294 35 ac. 177,294	650 200 100 2910	Dwelling Dwelling Total - 1 Bldg. 7 Dwg. 1 Bldg. 1 Shop 1 Garage	2,500. 750. 16,900.	3,150. 950. 100. 25710	119.70 36.10 3.80	119.70 34.10 3.70	
	TOTALS	177,294	8,910		25,810.	980.78	980.78		

1954 REAL ESTATE VALUATION LIST

NAME AND ADDRESS OF PERSONS ASSESSED AND DESCRIPTION OF PARCEL	LAND Exclusive of Buildings		BUILDINGS Exclusive of Land		TOTAL VALUE	TAX
	AREA	VALUE	DESCRIPTION	VALUE	of each Parcel	
CLARKSON, John & Fannie Milk street Nantucket, Mass. Milk street	3,420	350	Dwelling Building	1,600. 150.	2,100.	79.80 77.80
CLARKSON, John Milk street Nantucket, Mass. Burnt Swamp	1 ac 5,000	50			50.	1.90 1.90
COCHRAN, Dorothea L. 25 Hussey street Nantucket, Mass. Lots 6-7, Sherburne Turnpike, L.C.9C9A	131,600	5,200	Dwelling " #2 DWG. & Gar. Bath House	1,800. 1,800. 2,350. 100.	11,250.	427.50 427.50
Hussey street L. C. Pl. 17817A Rear	6,000 7,500	1,020 530	Dwelling 2-car garage	5,000. 400.	6,950.	264.10 264.10
COCHRAN, Joseph W. Hussey street Nantucket, Mass. L.C.Pl. 14833B, Lot A	8 ac.	200			200.	7.60 7.60
CODY, Joseph M. & Elizabeth T. Union street Nantucket, Mass. Lot 8, Woodbury Lane, Book pl. 14 Page 23	9,990	500			500.	19.00 19.00
COFFIN, Alfred B., Jr. Main street Nantucket, Mass. East Lincoln Ave., Lot 6	5,000	150			150.	5.70 5.70
COFFIN, Anne Glasconset Massachusetts Magnolia Ave.	3,000	300	Dwelling	1,100.	1,400.	53.20 53.20
COFFIN, Charles Clark Milk street						

1950

	Washington St. Main St.	4800 2900	770 3480	Dwelling Dwelling Dwelling Dwelling Stores	300 300 400 400 800 6000	1570 9480	62 80 379 20	62.80 379.20
2	Clarkson, John Burnst Swamp	1 ac 2,000 2 ac	50 200	Dwellings	500	550 200	22 00 8 00	22.00 8.00
3	Clarkson, John & Fannie Milk St.	Milk St.	3420	Dwelling Bldg.	1600 150	2100	84 00	21.00
4	Clarkson, Violet Burnt Swamp	4 York Lane	4300	Dwelling	650	700	28 00	28.00
5	Clark, Robert W. & Yvette D. State Rd., Scen.	State Rd. Scen.	77,000	Building Dwelling & Shop Greenhouse Bldg.	200 750 300 400	2200	88 00	88.00
6	Cochran, Joseph W. Huseey St.	Pl. 14873B Lot A	8 ac			200	8 00	8.00
7	Cody, Joseph M. & Elizabeth A. Nobadeer Way	Lot 15 Pl. 16514F Nobadeer Way	15,000	Dwelling	2000	2200	88 00	88.00
8	Coffin, Anne, Magnolia Ave.	Magnolia Ave.	3000	Dwelling	1100	1400	56 00	56.00
9	Coffin, Charles Clark Milk St.	Sh.1 Low Beach Pl. 5004 Lot 4A Low Beach upland Lots 13, 14, 16, 17, 45, 47, 52, 53, 54, 55, 56, 57, 63, 67.	90 ac. 1100 25 ac. 250 12 ac. 60			1100 250 60	44 00 10 00 2 00	44.00 10.00 2.00
0		138 ac. 134,620 138 ac. 124,620	7760	D-14 B-4 Houses - 2	19650	28,410		1136.40
	TOTALS		8,760		19,650	28,410.	1136 40	

1964

1	Mad. Lot 1 Pl. 15459-F Cert. 3516 Hagedorn, Mary O. & Parfit, Dorothea A. 1730 Lasuen Rd. Santa Barbara, Cal.	3 ac.	250			2,850	315.90	315.90
	Quident Lots 1 & 3 Pl. 9168-C	7 ac.	700			250	13.50	13.50
2	Lot 21 Pl. 11019-H Lot B Pl. 11232-C	8,000	100			700	37.80	37.80
	Quident Land unreg. Plainfield	21,000 35 ac.	300 1,500			100	5.40	5.40
		8,000	100			300	16.20	16.20
						1,500	81.00	81.00
						100	5.40	5.40
3	Hagglund, Robert & Sousa, Carlton R. 21 Manner Ave. Natick, Mass.							
	43 Centre St.	3,660	950	Dwelling	3,200	4,150	224.10	224.10
4	Hale, Josephine A. c/o Hale Brothers Co. Jefferson, Mass.	Lots 413-416 Sec. B. M.P.	6,000	100				
5	Hall, David & Kathryn H. 41 Forest St. Wellesley Hills, Mass.	Hinckley Lane & Cliff Rd. Hinckley Lane Lot H	7,000	350	Dwel & Gar.	2,500	2,850	153.90
		3,748	500			500	27.00	27.00
6	Hall, Edwin M. & Zoe B. RFD 1 Box 259 Arnold, Md.	Lot A Shell St.	4,016	500	Dwelling	1,300	1,800	97.20
7	Hall, Genevieve B. 79 West 12th St. New York Cityll,	Lot 4 Pl. 14902-T Squam Cert. 4060 Pleasant St. Lot 1	8 ac. 20,000	800	Dwelling	2,500	3,300	178.20
		2,115	300	Garage	400	700	37.80	37.80
8	Hall, Harry E. 6 Manning Drive Barrington, R.I.	Lots 39,40, Blk 56 Sec. 3 M.T.	4,000	150			150	8.10
9	Hall, Nancy L. 438 Little Tor Rd. New City, N.Y.	Magnolia Ave.	3,000	300	Dwelling	1,300	1,600	86.40
10								
TOTALS		98,200 95,529	8750 8,750	Dwell 5 Gar. 1 Gar & Apt. 1	15,200 15,200	23,950 23,950	1,293.30 1,293.30	1,293.30

1944 VALUATION LIST - REAL ESTATE

Example

NAME AND ADDRESS OF PERSON ASSESSED GIVE STREET AND NUMBER	TAX	LAND, EXCLUSIVE OF BUILDINGS			BUILDINGS, EXCLUSIVE OF LAND, AND OTHER THINGS ERECTED ON LAND OR AFFIXED THERETO		TOTAL VALUE OF EACH PARCEL OF REAL ESTATE		
		DESCRIPTION OF EACH PARCEL OF LAND OWNED BY EACH PERSON BY NAME, LOCATION, OR LOT NUMBER-BLOCK-PLAN	AREA OF EACH PARCEL ACRES	SO. FEET	VALUE OF LAND	DESCRIPTION OF EACH BY ITS USE As to Dwellings, specify Number of Stories, Single, Double, or Number of Apartments		VALUE OF BUILDINGS	
Coffin, Albert R.	51.30	Prospect Street		6000	600	Dwelling	1800	2400	
		Prospect Street		4510	250	Garage	150	400	
		Grove Lane		21780	50			50	
Coffin A. Byron	.90	Tuckernuck		63600	20			20	
		Madaket		5000	30			30	
Coffin, Ann M.	144.00	Magnolia Avenue		4280	650	Dwelling	2500	3150	
		Madaket		10500	200	Dwelling	650	850	
		Main Street - Siasconset Golf Club	40	1800	1800	Club House	2000	4000	
		Barn			200		200		
Coffin, Bertha A.	74.70	Sankaty Avenue		9720	750	Dwelling	1800	4150	
						Barn & Bldgs.	700		
						Garage	900		
Coffin, Charles B.	1.30	Miacomet		15	100			100	
Coffin, Edith E.	126.90	Darling Street		13447	1750	Dwelling	3800	7050	
						3 car garage	450		
						3 car garage	450		
						2 car garage	300		
						2 car garage	300		
Coffin, Edna	37.80	Joy Street		10950	500	Dwelling	1600	2100	
Coffin, Edward F.	102.60	Shell Street		20653	1700	Dwelling	2100	4900	
						Stable & Bldg.	1100	200	
						R.B.Coffin Lot		200	200
						G.F.Coffin Lot		200	200
						Plainfield		400	400

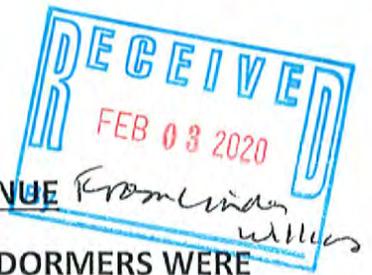
Example

19 55 REAL ESTATE VALUATION LIST

Line No.	NAME AND ADDRESS OF PERSONS ASSESSED AND DESCRIPTION OF PARCEL	LAND Exclusive of Buildings		BUILDINGS Exclusive of Land		TOTAL VALUE of each Parcel	TAX
		AREA	VALUE	DESCRIPTION	VALUE		
1	COFFIN, Henry Siasconset 5/6 Sheep Common	1 ac.	10			10	40 <i>40 ✓</i>
2	COFFIN, Henry & Anne M. Siasconset Madaket Lot 1-7, inc. Lot 17-23, inc., Blk. 28 Lot 24, Block 28, Plan 2408	50,000 2,500	300 200			300 200	12 00 <i>12.00 ✓</i> 8 00 <i>8.00 ✓</i>
3	COFFIN, Henry, Anne, and Emily Coffin Siasconset Magnolia Ave. Madaket 8-16, Blk. 28 North Pasture Blk. 27, Lots 8-16, L. C. Pl. 2408	4,280 10,500 17 ac. 10,500	650 200 100 200	Dwelling "	2,500 750	3,150 950 100 200	126 00 <i>126.00 ✓</i> 38 00 <i>38.00 ✓</i> 4 00 <i>4.00 ✓</i> 8 00 <i>8.00 ✓</i>
4							
5	COFFIN, Henry, Jr., & Florence M., Siasconset Siasconset	60 ac. 487 ac.	2,400 4,850	Dwelling, #1 "	1,500 1,600	12,650	506 00 <i>506.00 ✓</i>
6	Mowing Land Pasture, L. C. Pl. 4839-B, Lot A	4 ac. 105 ac.	200 1,050	2 Barns & Building	2,000	200 1,050	8 00 <i>8.00 ✓</i> 42 00 <i>42.00 ✓</i>
7	COFFIN, Henry, Jr. Siasconset Main St., Siasconset, Golf Club	40 ac.	1,800	Club House Barn	2,000 200	4,000	160 00 <i>160.00 ✓</i>
8	COFFIN, Herbert H. Beaver Street Beaver Street	3,940	350	Dwelling	1,900	2,250	90 00 <i>90.00 ✓</i>
9	COFFIN, James P., Elizabeth D., Edward F., Phoebe H. Small Plainfield,	3 ac.					

6 MAGNOLIA AVENUE

NORTH ELEVATION – FRONT VIEW FROM MAGNOLIA AVENUE



ORIGINAL CENTER LARGE DORMER WAS REMOVED AND TWO FLANKING DORMERS WERE ADDED – RESULTING IN A MAJORITY OF THE FRONT ROOF STRUCTURE BEING REMOVED AND REPLACED

FRONT PORCH NOT ORIGINAL TO THE STRUCTURE – REAR ADDITION/DORMERS/PORCH WERE ADDED AFTER 1957 AND BY 1975- ASSESSOR'S INFORMATION CLEARLY SHOWS THAT HERE HAD STILL BEEN NO CHANGES MADE TO THE STRUCTURE UNTIL AFTER 1964, ASSESSMENTS REMAINED RELATIVELY UNCHANGED UP TO THAT POINT

AERIAL FROM 1975 SHOWS NEW WOOD REFLECTION ON THE ROOF/DORMERS/REAR ADDITION

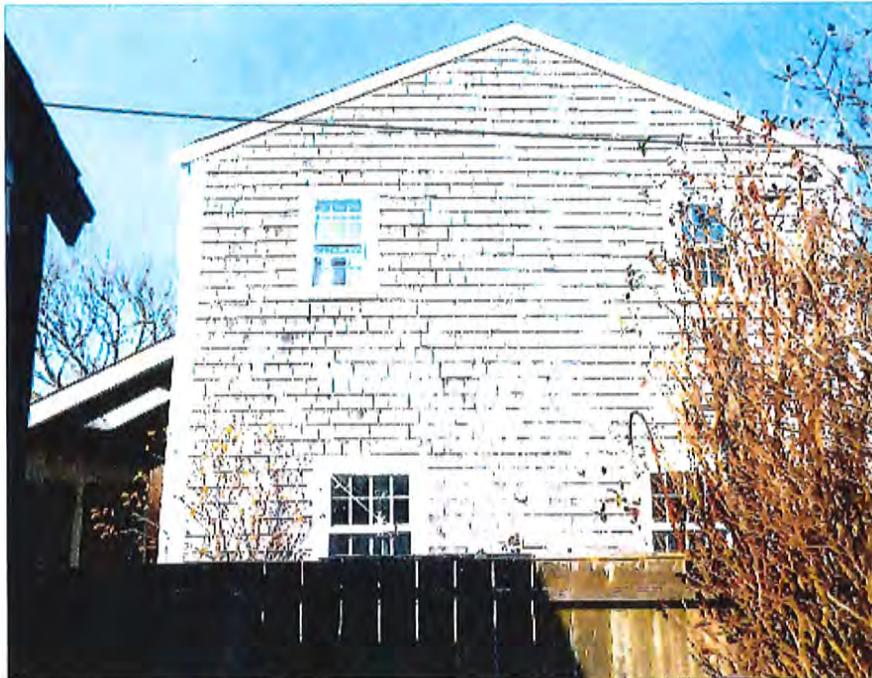
ROOF PEAK VISIBLE IN THE CENTER IS THE NEWER REAR ADDITION THAT REMOVED THE REAR PORTION OF THE ROOF AND ROOFED OVER THAT REAR GAMBREL ROOF PORTION LEAVING ONLY A SMALL PORTION OF THE FRONT ROOF SECTION LEFT UNCHANGED



SOUTH ELEVATION – REAR

VIEW FROM THE PROPERTY AT 9 POCHICK STREET

BY 1975 THE PREVIOUS 1-STORY SMALL ADDITION WAS REMOVED AND REPLACED WITH A LARGER 2-STORY ADDITION CENTRALLY LOCATED OFF THE REAR OF THE FRONT PORTION BUT CONSTRUCTED OVER THE TOP OF THE FRONT GAMBREL REAR SECTION OF THE ROOF. THE ADDITION OF THIS SUBSTANTIAL 2-STORY SECTION OBLITERATED THE REAR WALL OF THE GAMBREL WITH A STANDARD GABLE FORM TALLER THAN THE FRONT GAMBREL SECTION.



SOUTH AND EAST ELEVATIONS

REAR 2-STORY ADDITION THAT REPLACED THE SMALL 1-STORY ORIGINAL REAR EL



EAST ELEVATION – SIDE

THE REAR ADDITIONS IMPACT ON THE FRONT SECTION IS VISIBLE FROM THE RIDGE SOUTH. HEIGHT OF THE REAR ADDITION IS VISIBLE ABOVE THE RIDGE.

ONLY A SMALL PORTION OF THE ORIGINAL ROOF REMAINS TO THE LEFT AND RIGHT OF THE NEWER DORMERS

REAR PORTION OF THE GAMBREL WAS FLATTENED OUT AND SUBSUMED BY THE GABLE ROOF STRUCTURE OF THE REAR ADDITION.

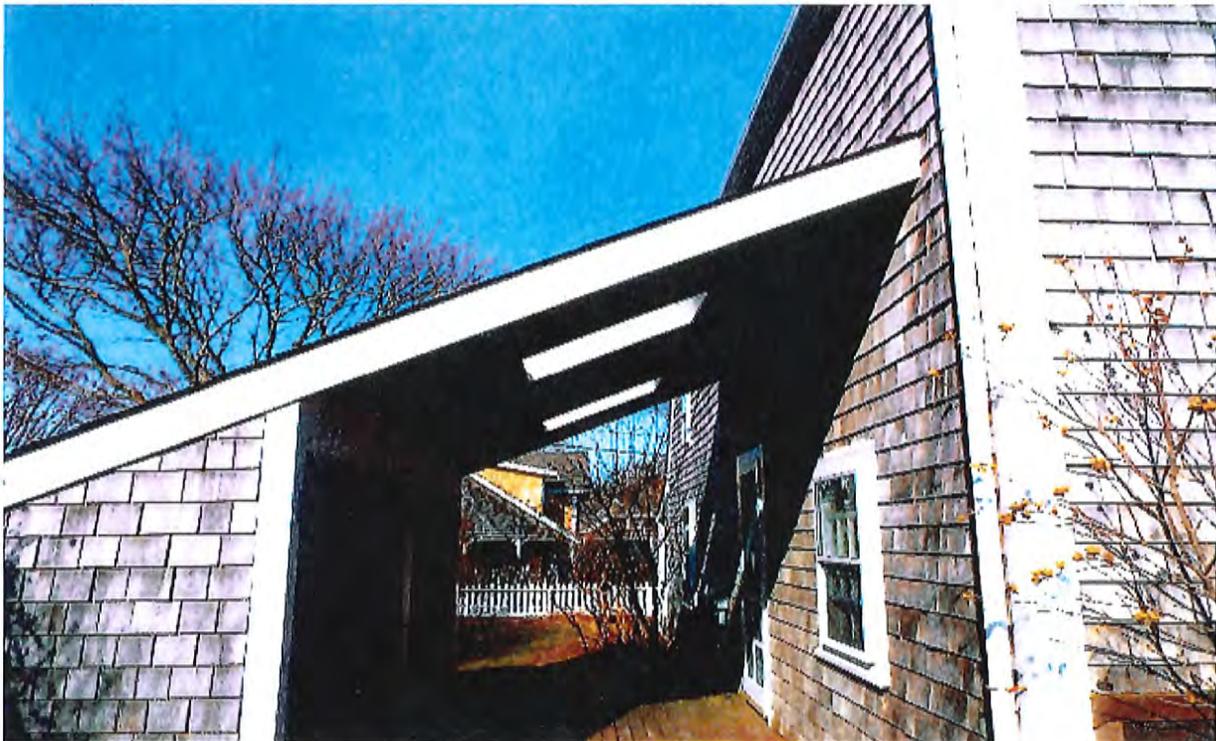
AT SOME POINT THE EXTERIOR CHIMNEY, NOTED ON THE SANBORN MAPS ON THIS NE CORNER HAD BEEN REMOVED. NO CHIMNEY IS ON THE STRUCTURE PRESENTLY.





WEST ELEVATION – SIDE

INTEGRATION OF THE REAR ADDITION WITH THE REMAINDER OF THE FRONT GAMBREL IS CLEARLY VISIBLE. SIDE PORCH ADDITION AND STORAGE AREAS ADDED AT THE SAME TIME AS THE OTHER ADDITIONS.



VIEW FROM BETWEEN 9 & 5 POCHICK STREETS

LOOKING AT THE 1910 NHA PHOTOGRAPH 9 POCHICK STREET, THE FORMER 1 ½-STORY SMALL DWELLING THAT IS SHOWN ON THE 1904 AND 1909 SANBORN MAPS IS VISIBLE OVER THE BACK FENCE AND SHED (STILL ON THAT LOT).

IT HAS A DIFFERENT RIDGE FORM AND DORMER. THIS STRUCTURE WAS REMOVED AND REPLACED BY 1923 WITH THE LARGER DWELLING CLOSER TO THE NORTHERLY FRONT YARD LOT LINE.

IT ALSO APPEARS TO BE SUBSTANTIALLY SHORTER WITH A RIDGE THAT RUNS EAST AND WEST. WHEREAS THE CURRENT REAR ADDITION RIDGE RUNS NORTH AND SOUTH.







SHED ADDITION ON THE DWELLING ON 9 POCHICK STREET THAT – LOOKING SOUTH



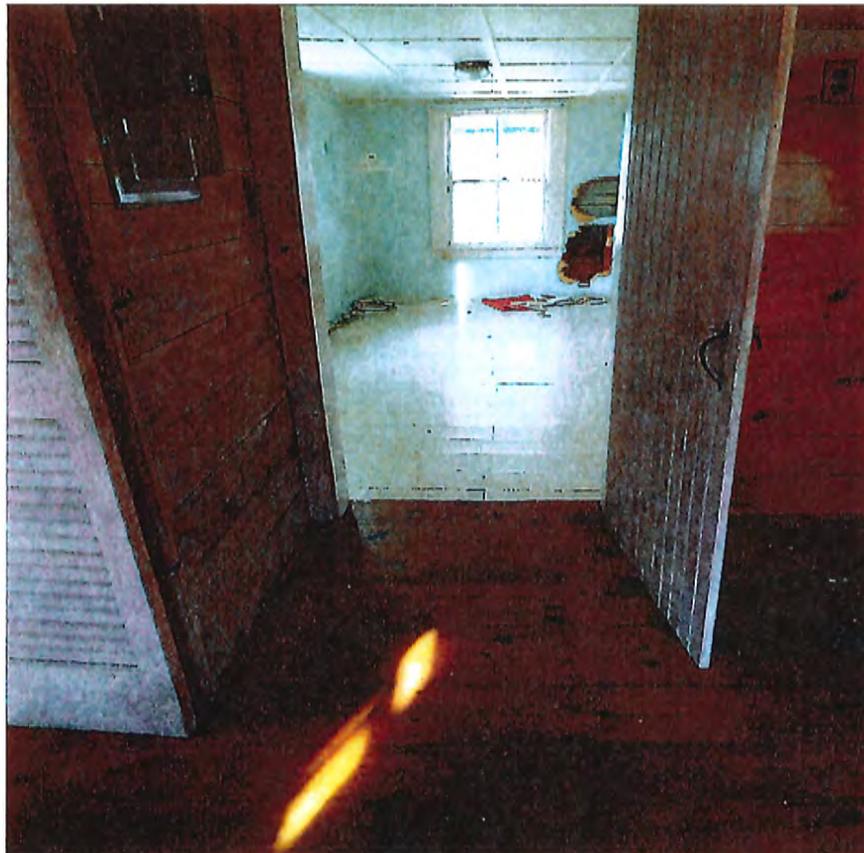
6 MAGNOLIA AVENUE - INTERIOR

RECEIVED
FEB 03 2020
LW

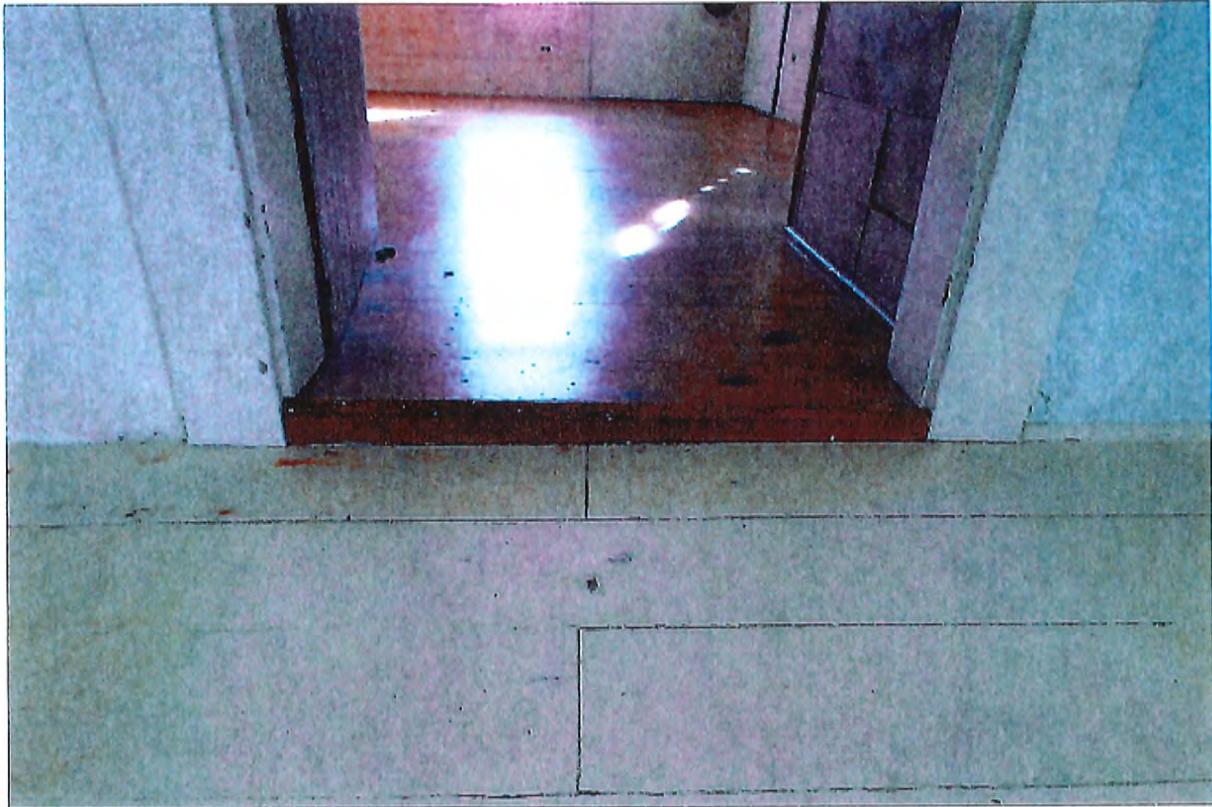
FRONT SECTION OF GAMBREL PORTION - ONLY 1 ROOM ON FIRST FLOOR OF GAMBREL



VIEW FROM REAR ADDITION INTO THE FRONT SECTION



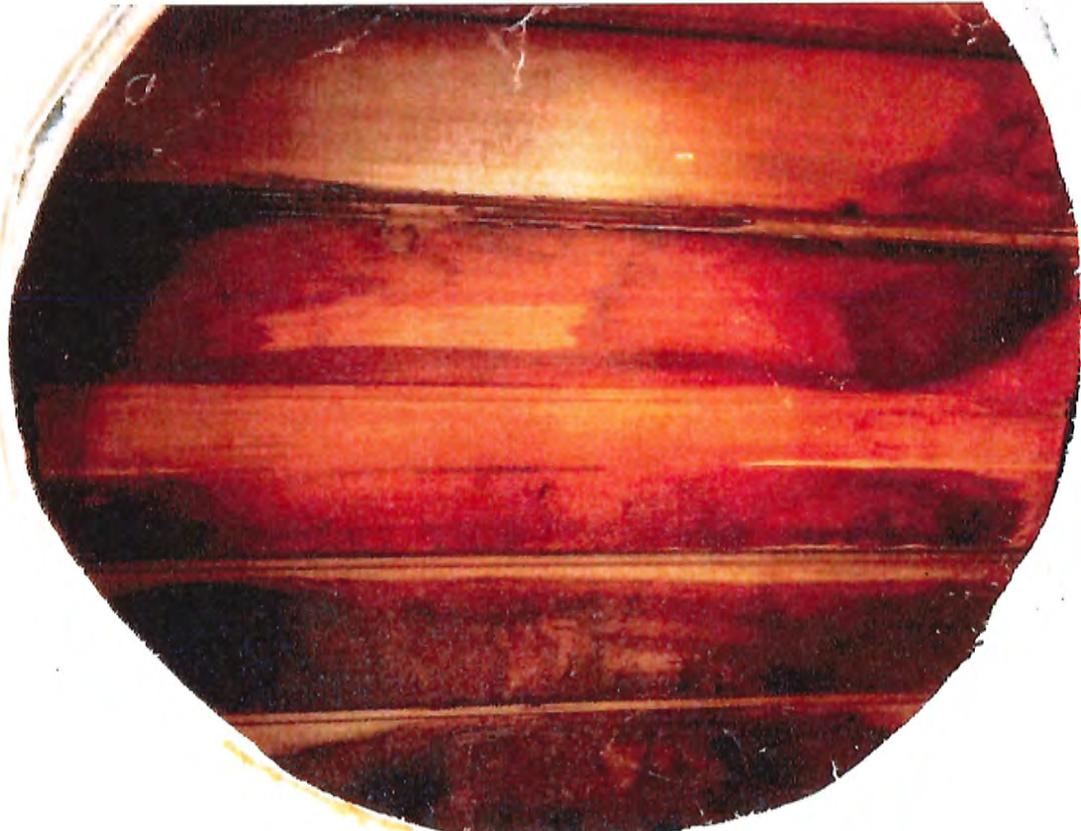
CHANGE IN THE FLOORS BETWEEN GAMBREL AND REAR ADDITION



MORE RECENT DROPPED CEILING



INSIDE FRONT WALL OF GAMBREL SECTION – NEWER MILLED WOOD AND STUDS



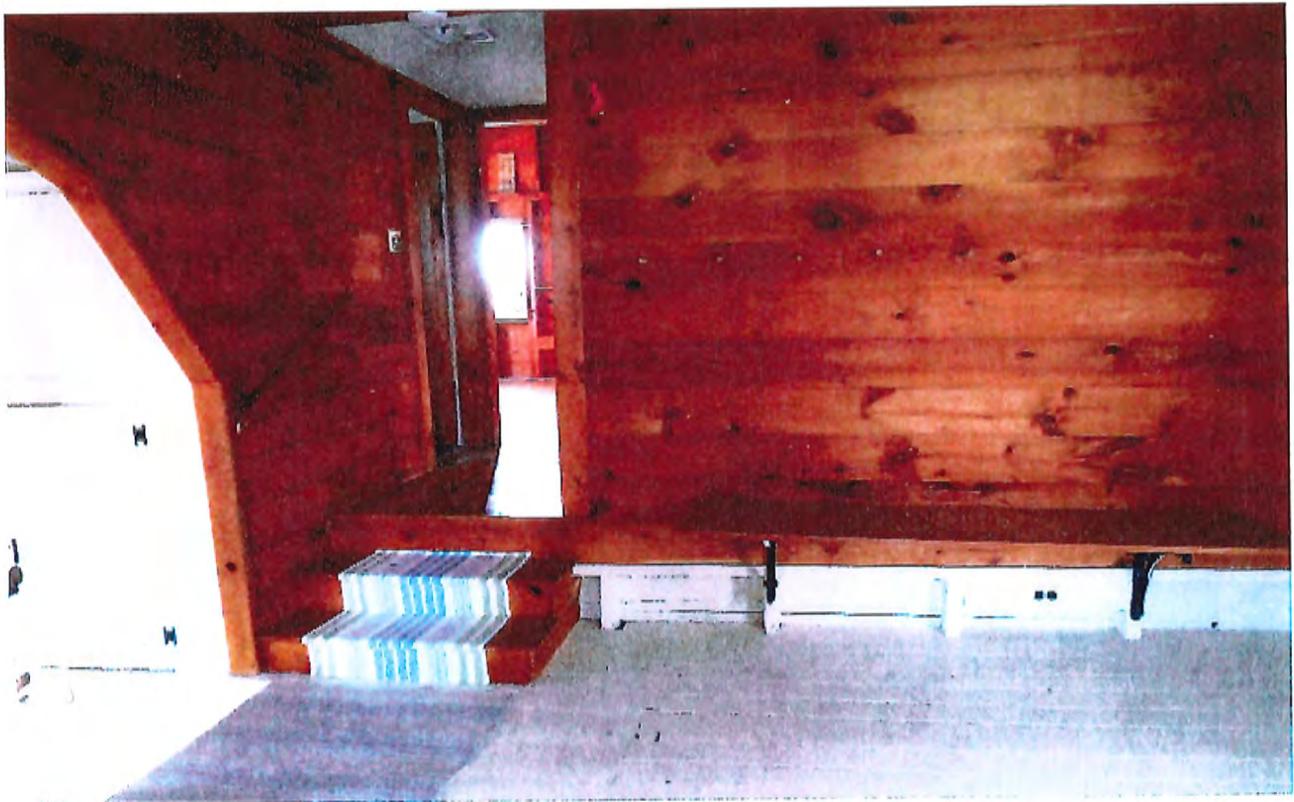
FRONT DORMERS – WALL BOARDS CONSISTENT UNTIL ABOVE THEM ON CEILING – NO HAND HEWN – WINDOWS NOT ORIGINAL BUT PLACED WHEN ADDITION/DORMERS BUILT



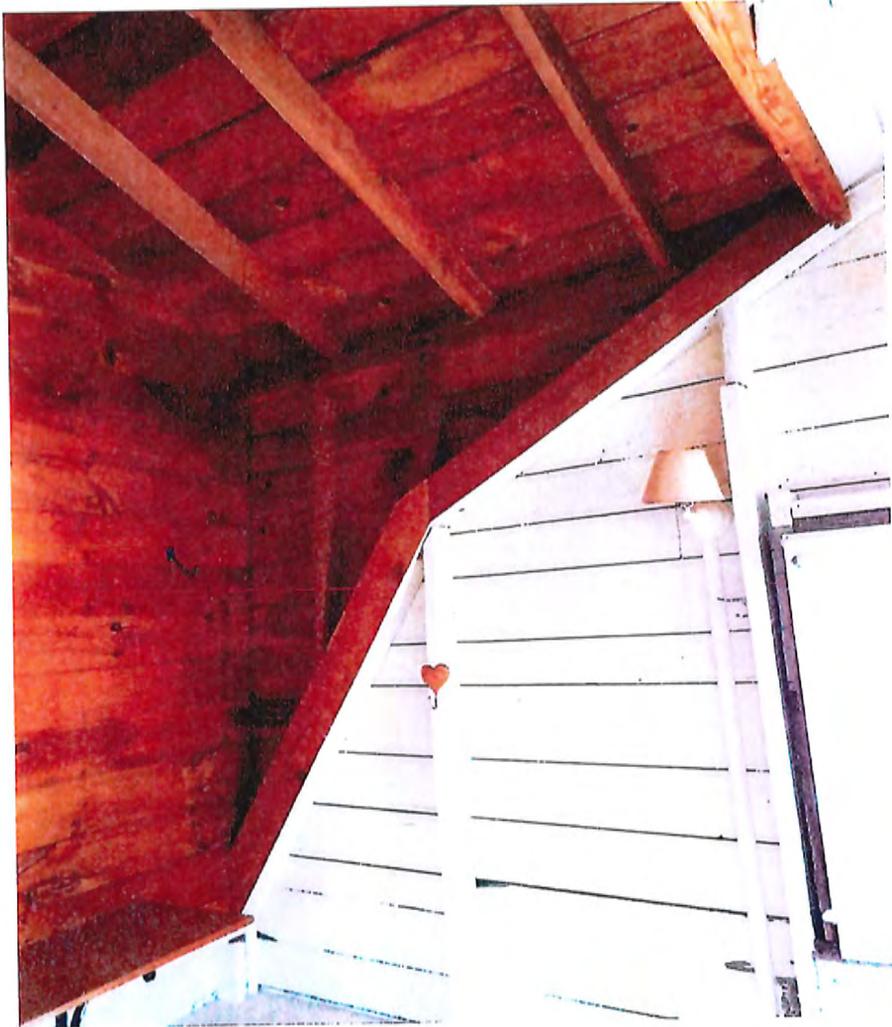
EAST WALL – NOT AN ORIGINAL WINDOW

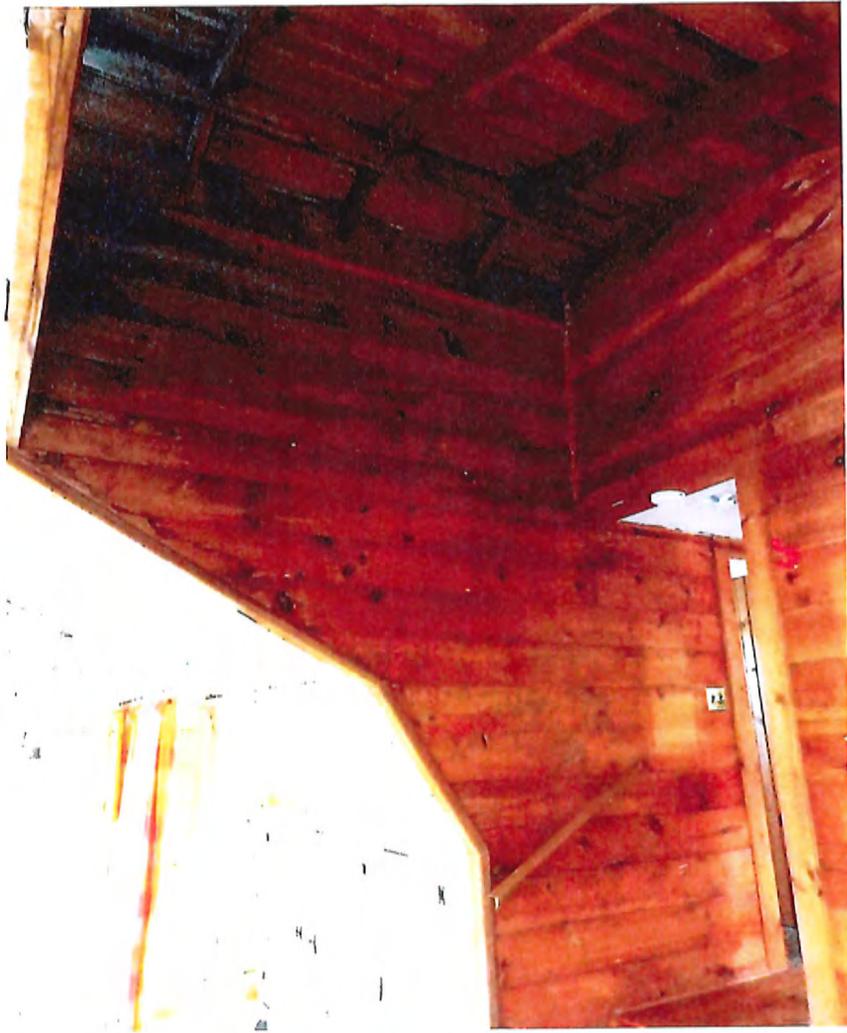


**REAR 2-STORY ADDITION CLEARLY VISIBLE – REAR OF THE GAMBREL ROOF REMOVED
CHANGE IN ELEVATION OF THE FLOOR SYSTEMS TO MEET CODE ON CEILING HEIGHTS**

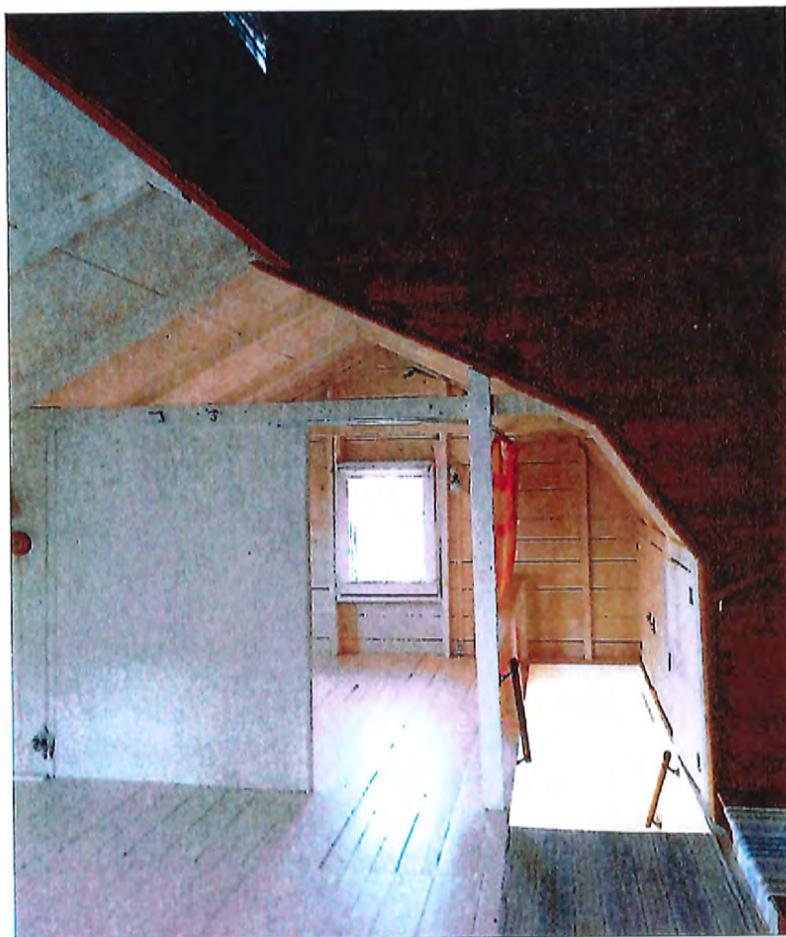


NEWER ROOF OVER





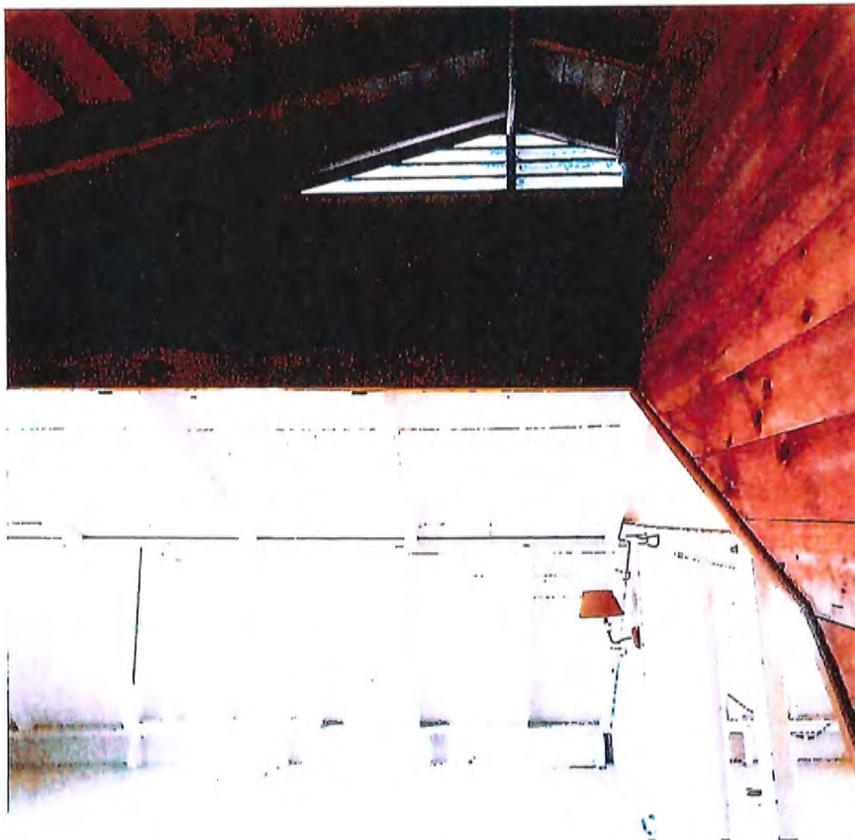
LOOKING TOWARDS EAST WALL – INTERIOR WALL IS WHERE THE ORIGINAL DORMER WAS
LOCATED AND REMOVED



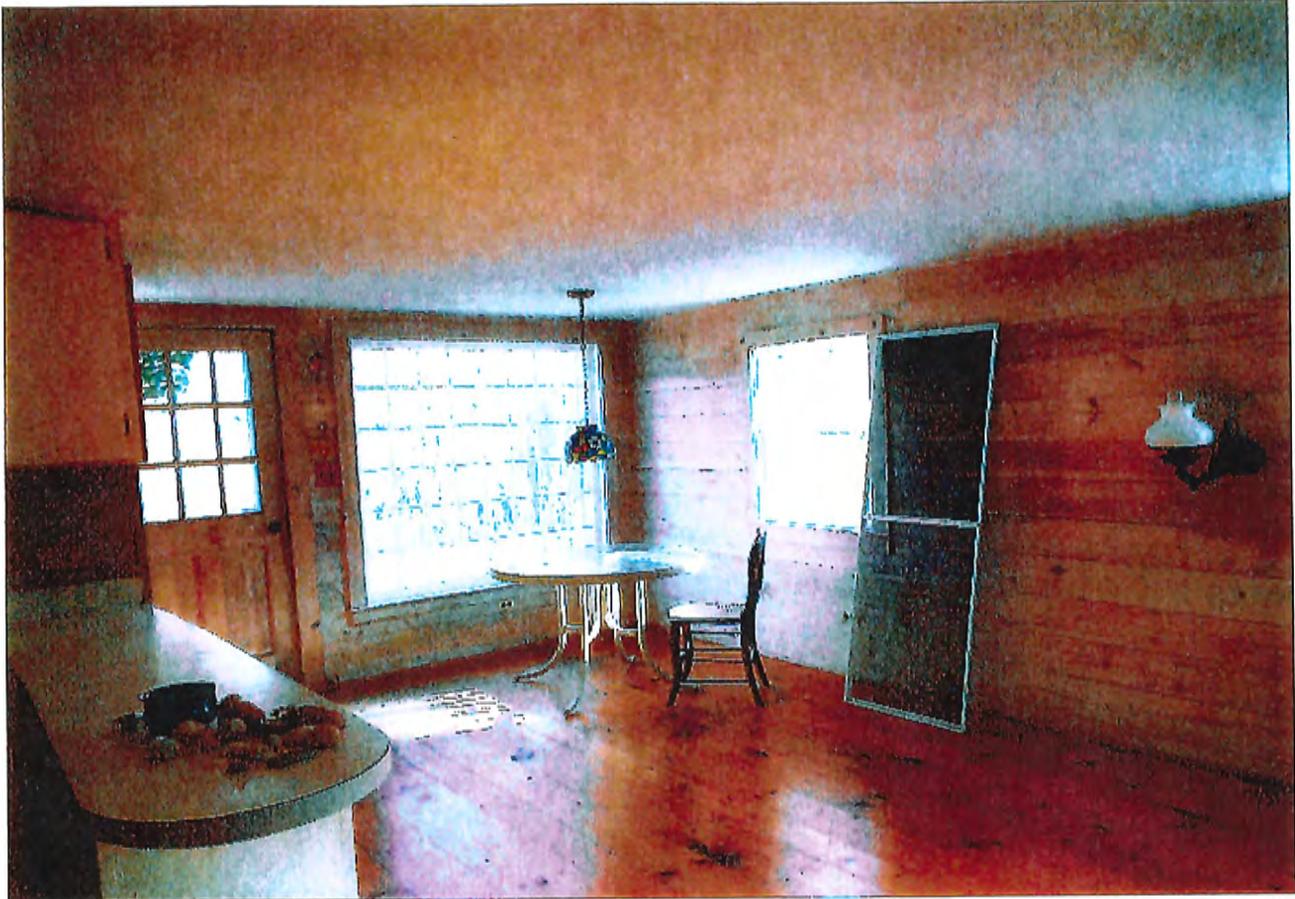
LOOKING FROM REAR ADDITION INTO FRONT GAMBREL



ROOF PEAK OVER THE FRONT GAMBREL ROOF



REAR ADDITION FIRST FLOOR – KITCHEN AND BATHROOMS ONLY IN REAR SECTION



REAR ADDITION SECOND FLOOR



WINDOWS

ONLY 1 PANE APPEARS TO HAVE OLDER GLASS. OTHER PANES APPEAR TO BE MODERN FACTORY GLASS

MIXTURE OF WINDOWS. 6/6 DO NOT APPEAR TO BE ORIGINAL. 2/2 ARE OLDER BUT THE OBLIQUE PICTURE OF THE FRONT OF THE HOUSE ON THE NHA 1900 PHOTOGRAPH APPEAR TO HAVE MORE PANES.

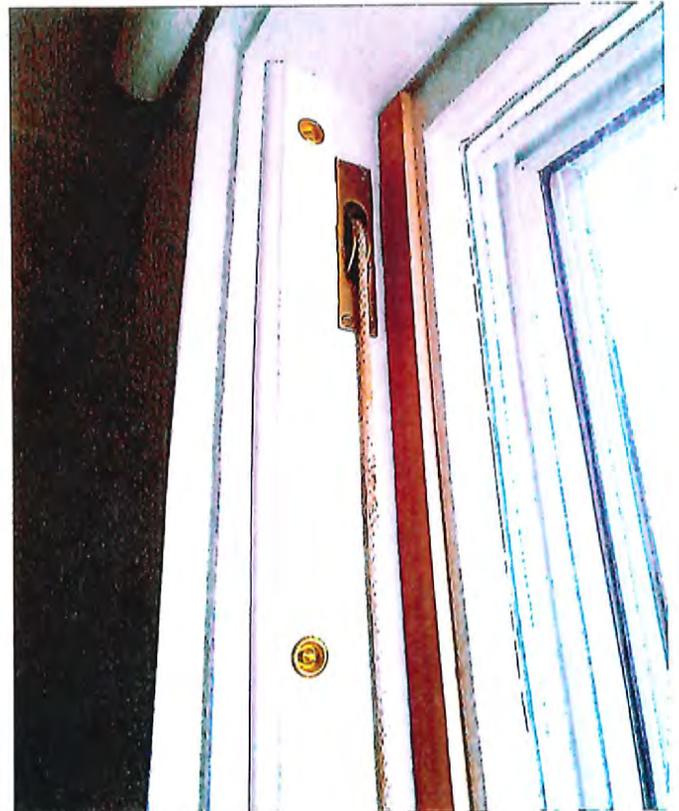
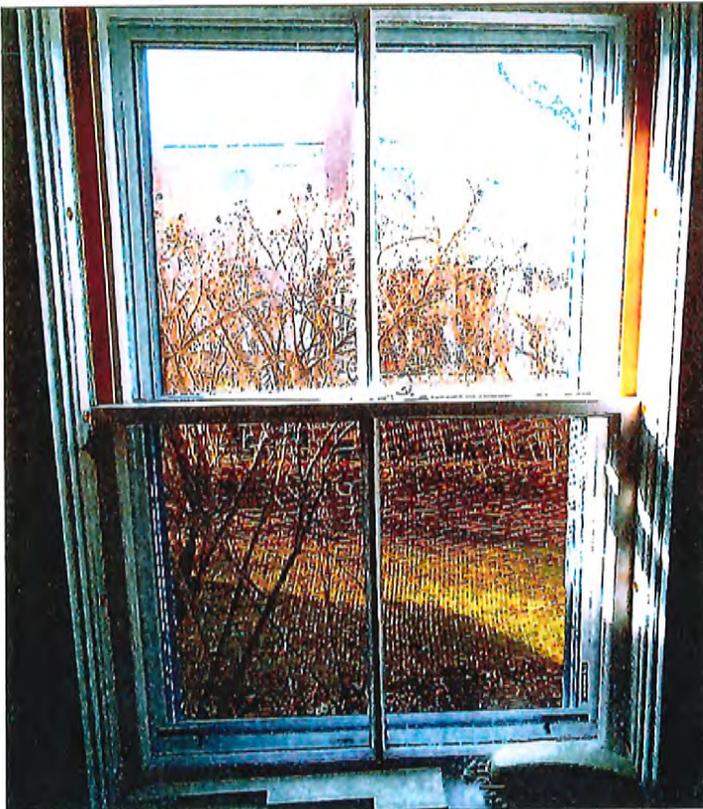
EAST ELEVATION WINDOW FIRST FLOOR GAMBREL – NOT APPEAR TO BE ORIGINAL – MUNTINS ARE THICKER/REGULAR WITH ALUMINUM STORM



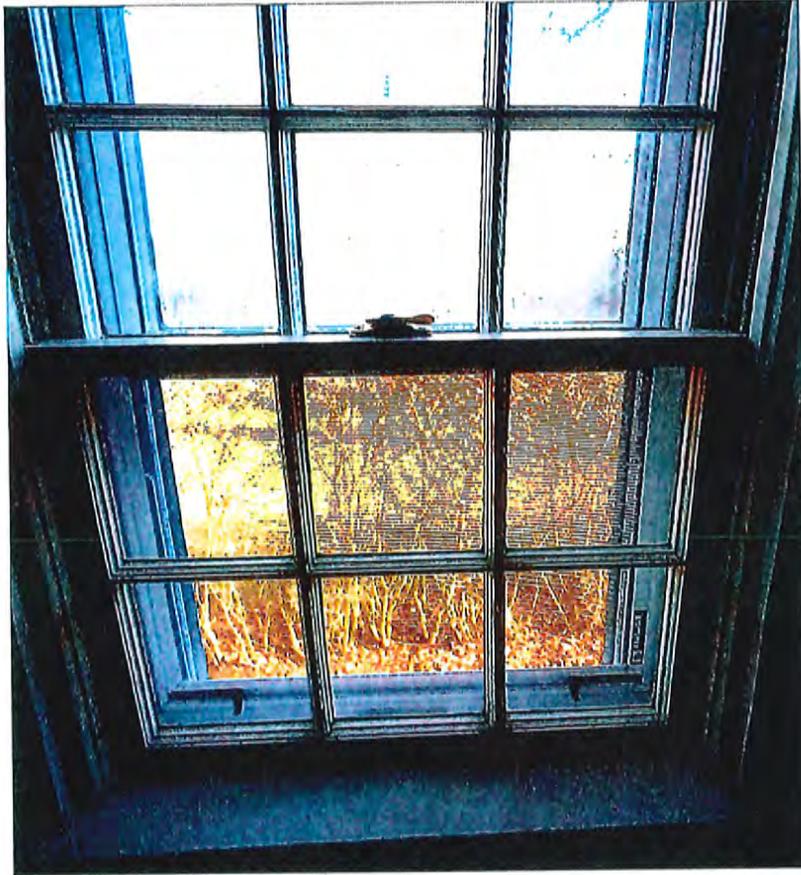
FRONT WINDOWS



WEST FACING WINDOW FIRST FLOOR GAMBREL SECTION



WINDOW FACING EAST ON SECOND FLOOR OF GAMBREL SECTION - NOT ORIGINAL – WEST
FACING WINDOW MATCHES AND IS NOT ORIGINAL



NONE OF THE WINDOWS IN REAR 2-STORY ADDITION ARE OLDER WINDOWS REPURPOSED



EXISTING STRUCTURE

EXISTING ADDITION

NOTE - ALL FRAMING 2x4 @ 16" OC ALL-NEW LUMBER

DORMER STRUCTURE 2x4 1 1/2" x 3 1/2" NEWER LUMBER LATE 1960'S

SINGLE COLAR TIE TO 11" FROM EAST END WALL

2" x 3 3/4" PLATE @ RAFTER CONNECTION

2" x 3 3/4" (TYP.)

RAFTERS ARE ALSO 2" x 3 3/4"

NEW 2x4

2" x 3 3/4" PLATE TYP.

35"

30"

35"

40"

2x4

7 1/2" FLOORING AND GYPSO

2x6

2 x 3 3/4" STUDS

BALCONY FRAME

EXISTING ADDITION

CORNER BRACES 2" x 3 3/4"

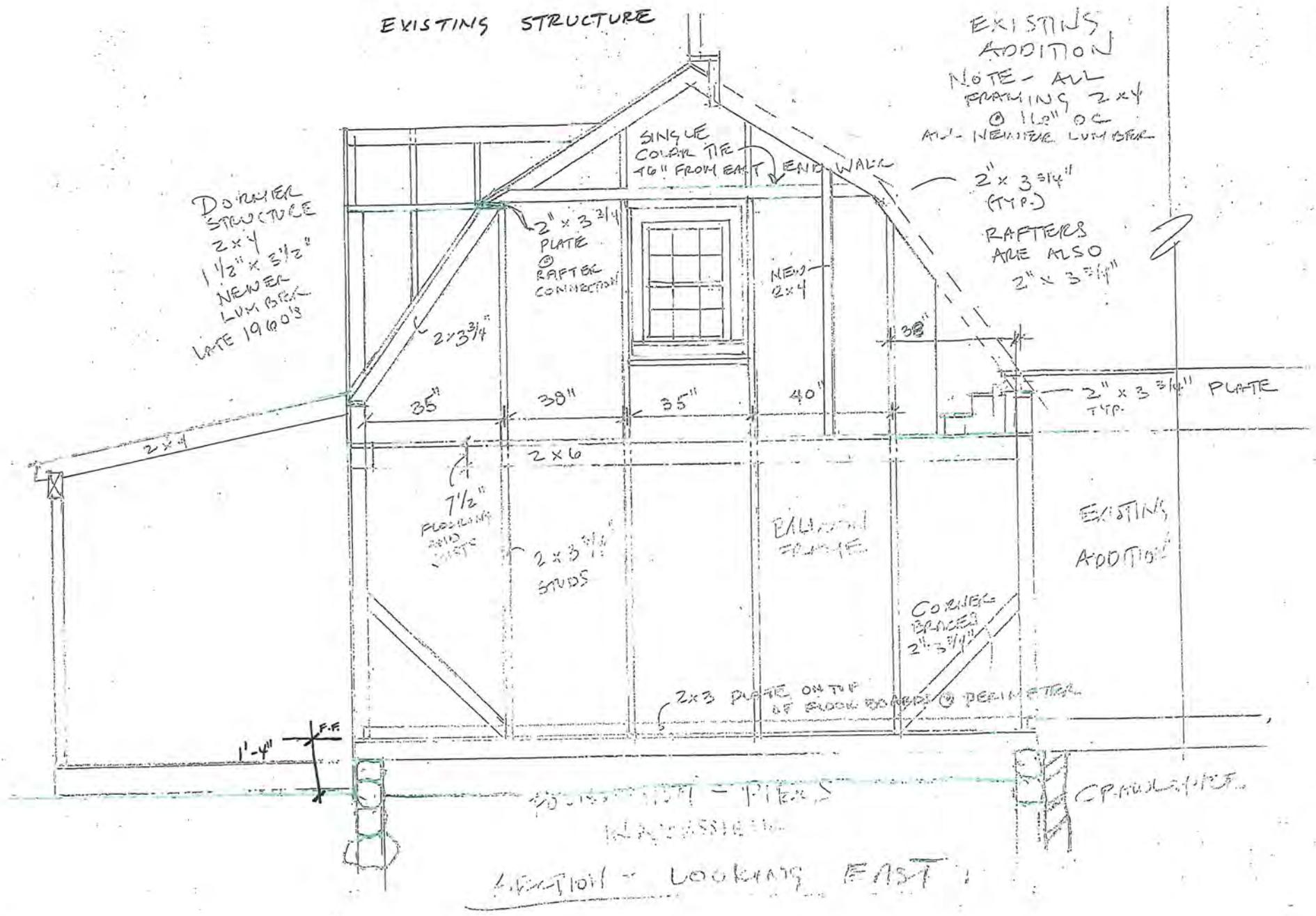
2x3 PLATE ON TOP OF SLOW BOARD @ PERIMETER

1'-4" F.F.

FOUNDATION - PILES CLASSIFIED

CP-MULTI-PURPOSE

SECTION - LOOKING EAST



ALL FRAMING
 @ DORMERS
 IS
 2x4 (1 1/2" x 3 1/2")
 NEWER LUMBER
 DIMENSIONS.

RAFTERS
 (UPPER
 ROOF)

RAFTERS
 (LOWER
 ROOF)

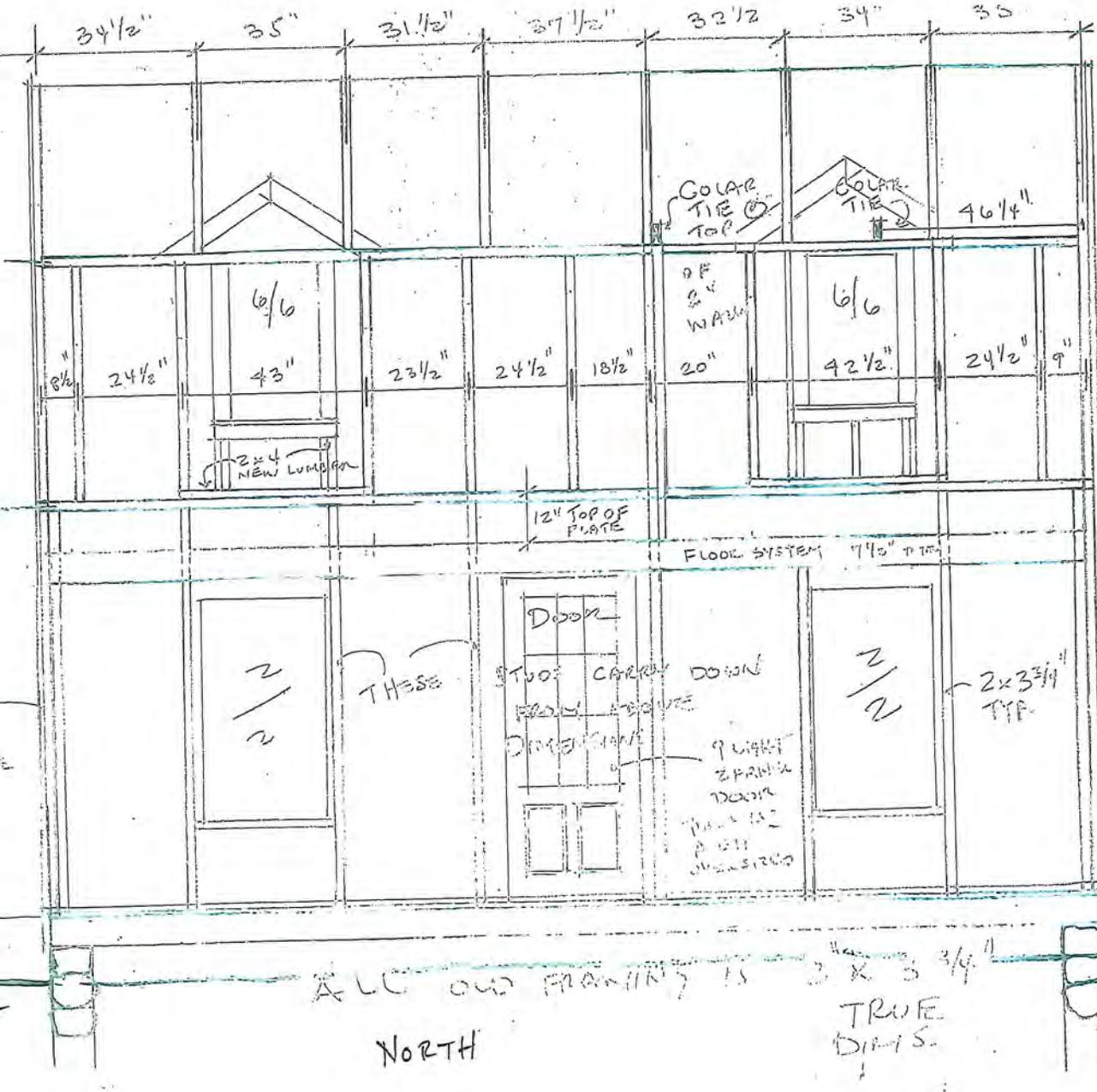
PLATE

WALL
 STUDS

STD-NOTCHED @ PLATE
 2x
 BOTTOM PLATE 3"

PLATE

GRADE
 1'-4"
 BELOW
 R.F.



NO RIDGE
 BEAM

TOP OF
 PLATE

5'-9"

FLOOR

THESE

STUDS CARRY DOWN
 FROM ABOVE
 DIMENSIONS

PLANT
 ZEPHYRUS
 DECOR
 PLANT IS
 DIMENSIONS

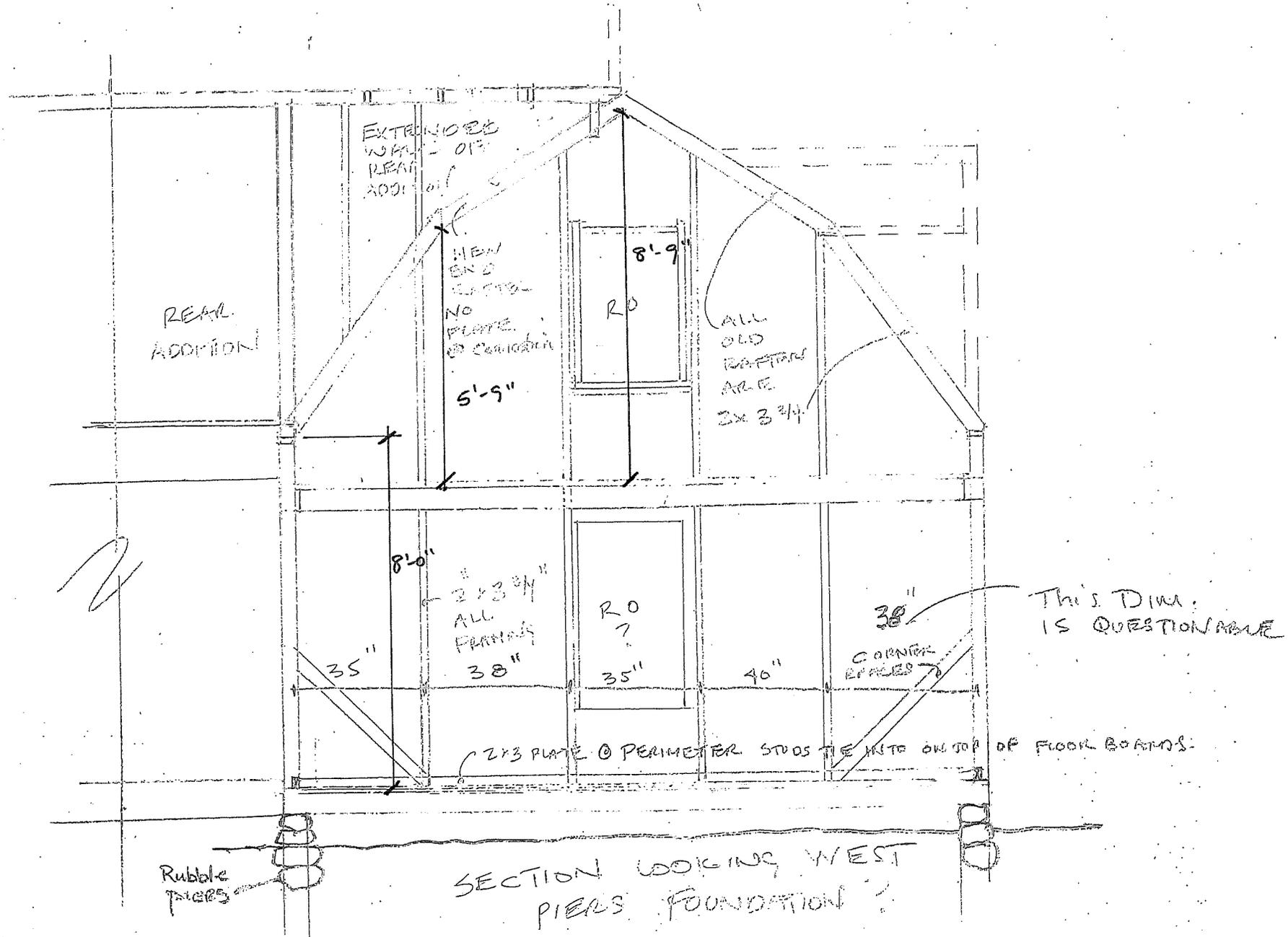
2x3 3/4
 TYP.

ALL OLD FRAMING IS 3x3 3/4"

NORTH

TRUE
 DIMS.

GRADE



EXISTING STRUCTURE

EXISTING ADDITION

NOTE - ALL FRAMING 2x4 @ 16" OC AND NEWER LUMBER

DOGGER STRUCTURE 2x4 1 1/2" x 3 1/2" NEWER LUMBER LATE 1960S

SINGLE CORNER TIE TO 1" FROM EAST END WALL

2" x 3 3/4" (TYP.)

RAFTERS ARE ALSO 2" x 3 3/4"

2" x 3 3/4" PLATE TYP.

EXISTING ADDITION

BALCONY FRAME

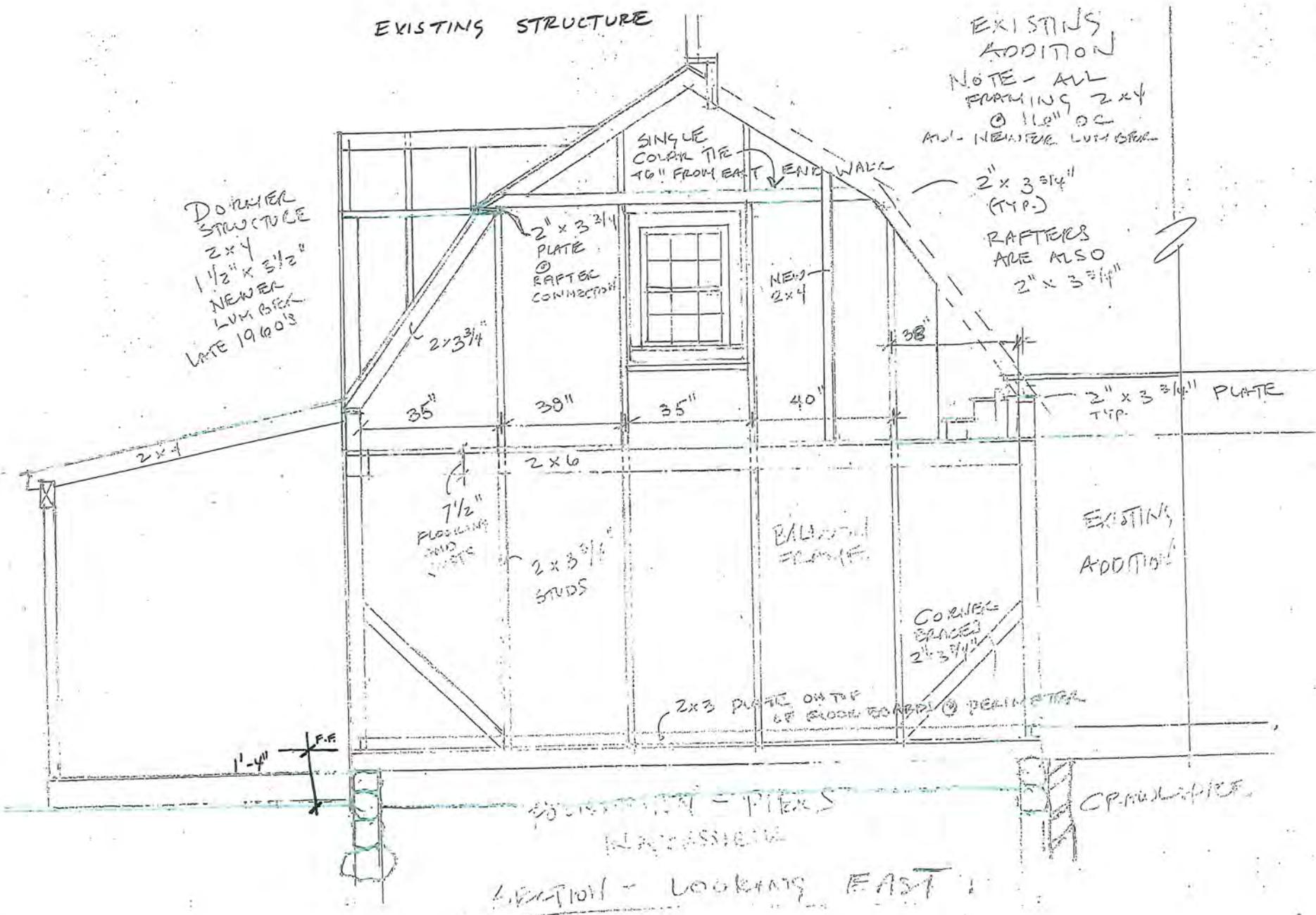
CORNER BRACES 2" x 3 3/4"

2x3 PLATE ON TOP OF GROUND BOARD @ PERIMETER

FOUNDATION - PILES IN MASSIVE

CP-MULTI-PURPOSE

SECTION - LOOKING EAST



ALL FRAMING

⊙ DORMERS

IS 2x4 (1 1/2" x 3 1/2")

NEWER LUMBER DIMENSIONS.

RAFTERS (UPPER ROOF)

RAFTERS (LOWER ROOF)

PLATE

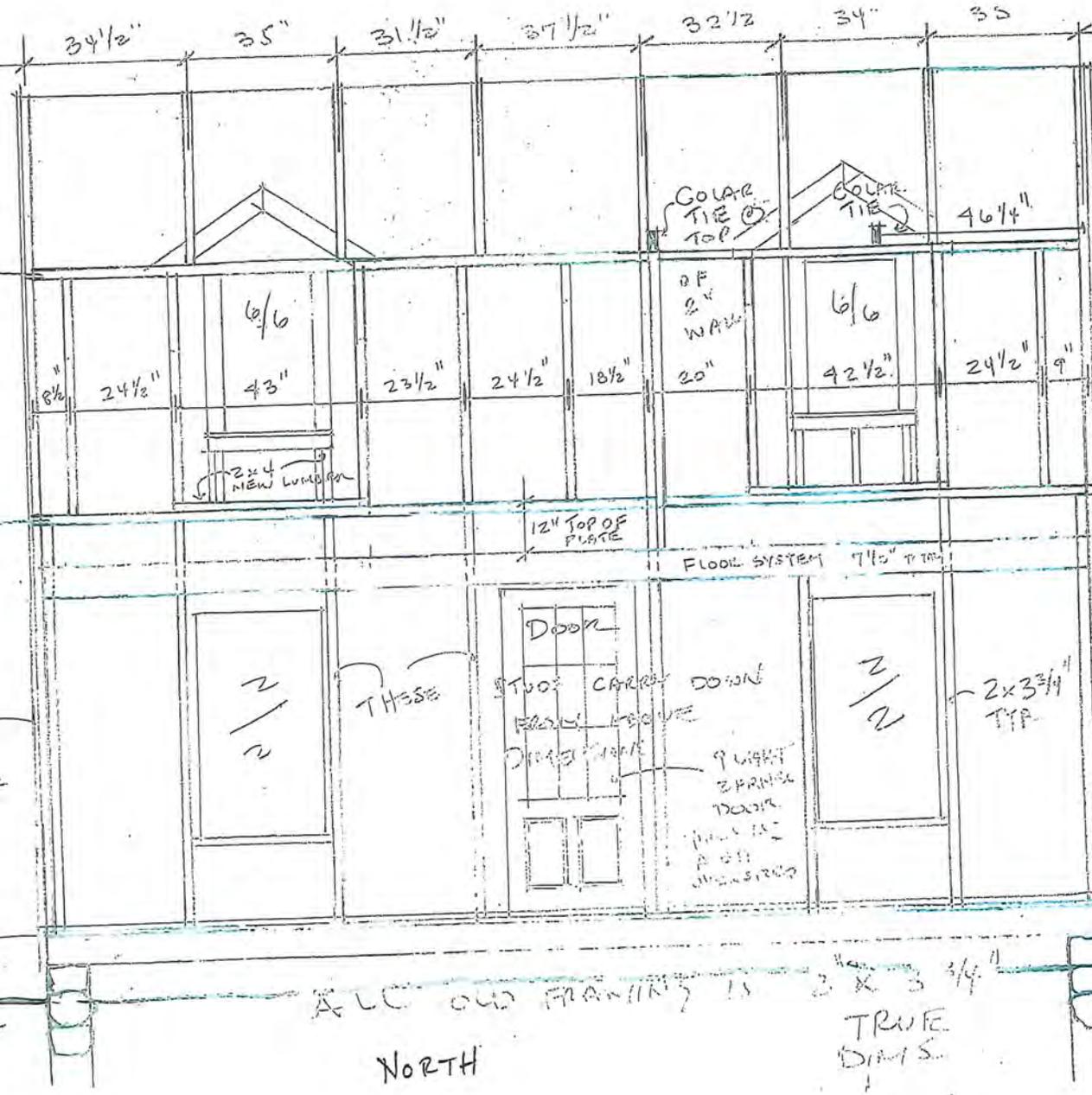
WALL STUDS

STUD-NAILING @ JOINT 2x BOTTOM PLATE 3"

PLATE

FLOOR BOARDS

GRADE 1'-4" BELOW P.F.



NO RIDGE BEAM

TOP OF PLATE

5'-9"

FLOOR

COLLAR TIE TOP

COLLAR TIE TOP

OF 2" WALL

6/6

6/6

46 1/4"

PLATE

WALL STUDS

STUD-NAILING @ JOINT 2x BOTTOM PLATE 3"

PLATE

FLOOR BOARDS

GRADE 1'-4" BELOW P.F.

DOOR

TWO CARDS DOWN FROM LEAVE

THREE

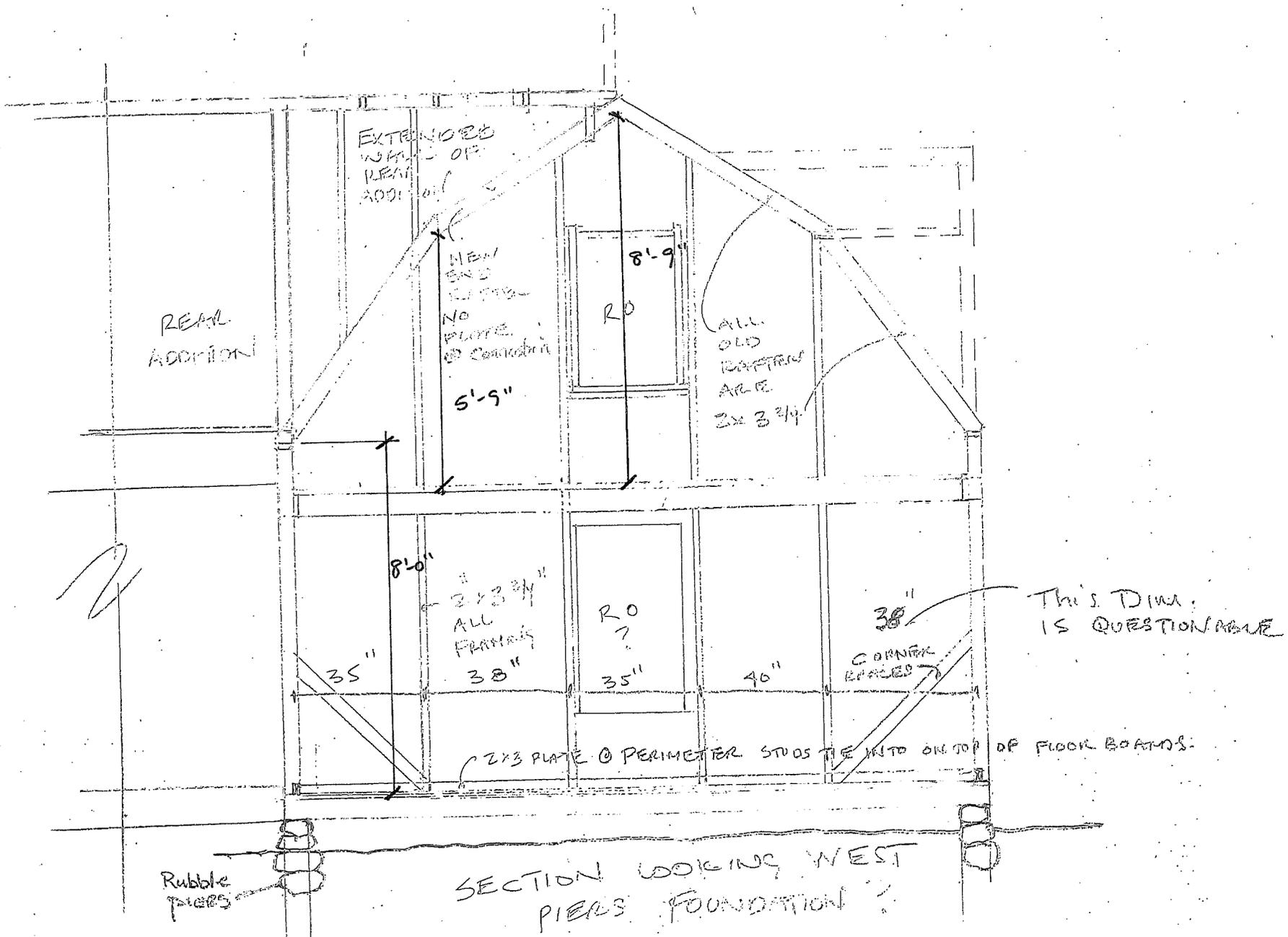
2x3 3/4" TYP.

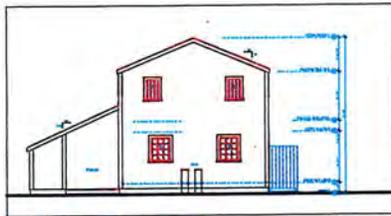
PLANT BRANCH DOWN
PLANT BRANCH DOWN
PLANT BRANCH DOWN

ALL OLD FRAMING IS 2x3 3/4" TRUE DIMS.

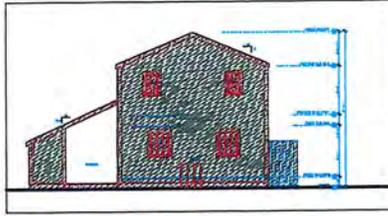
NORTH

GRADE

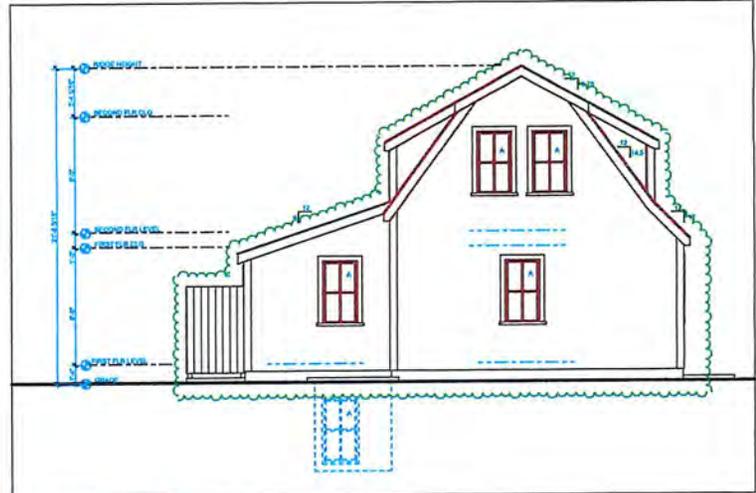




South Elevation- Existing
SCALE: 1/8" = 1'-0"



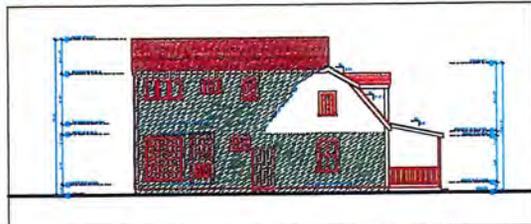
South Elevation- Demolition
SCALE: 1/8" = 1'-0"



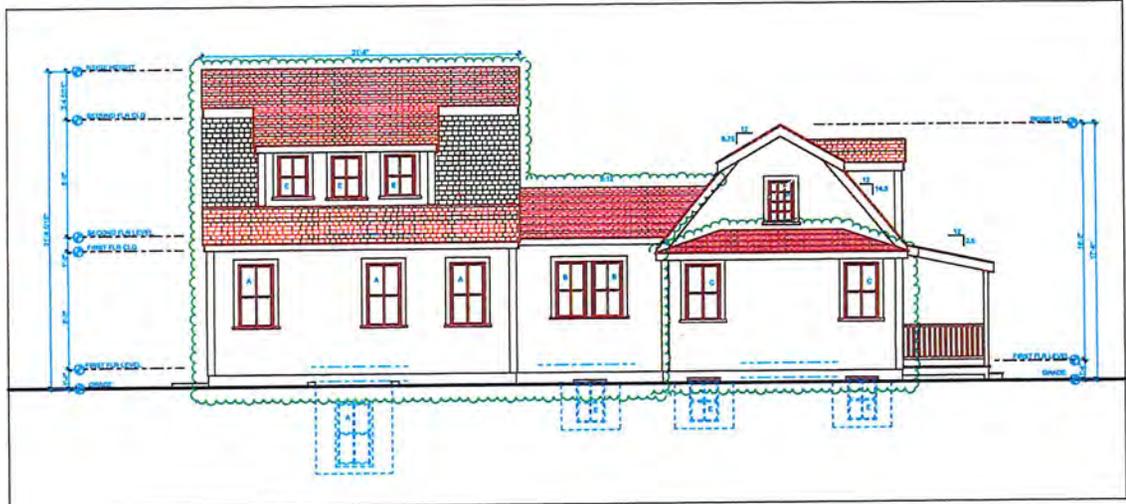
South Elevation- Proposed
SCALE: 1/8" = 1'-0"



East Elevation- Existing
SCALE: 1/8" = 1'-0"



East Elevation- Demolition
SCALE: 1/8" = 1'-0"



East Elevation- Proposed
SCALE: 1/8" = 1'-0"

ISSUE/REVISION DATE
HDC 1 1/8/28
HDC 2 1/28/28
HDC 3 2/13/28

Spencer Residence
6 Magnolia Avenue
Nantucket, Massachusetts
Map & Print
72.5 x 87

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Nantucket, Ma. 02554
Tel.: 508 228 9161 Fax: 508 223 2165

Sheet No:
A2.2

SJG Engineering LLC
6 Golden Gate Drive
Hooksett, NH 03106
(c) 207-752-3274
SJGEng@Comcast.net

January 13, 2020

Thornewill Design
Attn: Luke Thornewill
48 Dukes Rd. Nantucket, MA 02554

Re: Existing building move
6 Magnolia Ave. Nantucket, MA 02554

Dear Luke,

On January 8, 2020 we visited the subject property to review the existing building as to the proposed lift and move onto a new foundation as noted in your drawings dated December 6, 2019.

The existing original house was constructed in 1800 and has undergone significant additions and renovations since. The addition at the rear of the existing building involved significant removal of the existing gambrel roof structure. Further investigations show that over time, there have been other construction alterations and remediations which involved board siding replacement, window replacement and front dormer rebuilds.

The materials in situ at the 1800 building are not indicative of the age of the building. The above statement is based upon the use of tongue and groove decking, finish planed framing and roof decking as well as siding boards that are planed differently than what was done in the 1800s.

The plan to raise and move the existing portion of the house is troublesome as the work done in the past when adding the rear structure significantly degraded the overall stability of the building.

Three of the six gambrel roof bents have been cut to add the rear building. No additional work was done to provide an adequate load path, which is causing the front wall of the 1800s building to push out. The front porch has also moved away from the building structure due to undersized members, inadequate fastening to the building and cut/modified rafters.

The wall framing is typical of the style where the 2x4 studs are spaced at door and window openings and the siding spans horizontally. The nails used to connect the siding to the studs are the old iron type which over time rusts and loses strength in a marine atmosphere.

Our opinion is that when the rear part of the building is removed and the 1800s original house is raised, it will probably collapse without fully sheathing the building with plywood and re-building the gambrel roof trusses with new framing, connectors and plywood. All of which would have to be removed and re-built to enable the renovation to be accomplished as noted in your drawings. Essentially, the building would be reinforced, raised, moved and then placed on a new foundation. After which, the reinforcement would be removed and then the work would commence to remediate the issues with the structure. The cost to do so would more than double the amount of work and materials needed for the project resulting in a significant financial hardship for the owners. Our other concerns are for the safety of the workers as moving this building could be hazardous without significant shoring and costs.

Our recommendation is to demolish the existing building while saving and re-using 1800s era materials as much as possible for finish floors, faux beams, etc...

SJG Engineering LLC
6 Golden Gate Drive
Hooksett, NH 03106
(c) 207-752-3274
SJGEng@Comcast.net

Please feel free to contact us if you have any questions or comments.

Thank You.

Sincerely,

Stephen J. Goan

Stephen J. Goan, PE, SE
Principal.



w/ encl - photos.
Copy: file



Cut gambrel rafters.

Under-sized improperly supported beam

Stud supports partition.

Interior photo of cut out gambrel roof framing

SJG Engineering LLC

6 Golden Gate Drive

Hooksett, NH 03106

(c) 207-752-3274

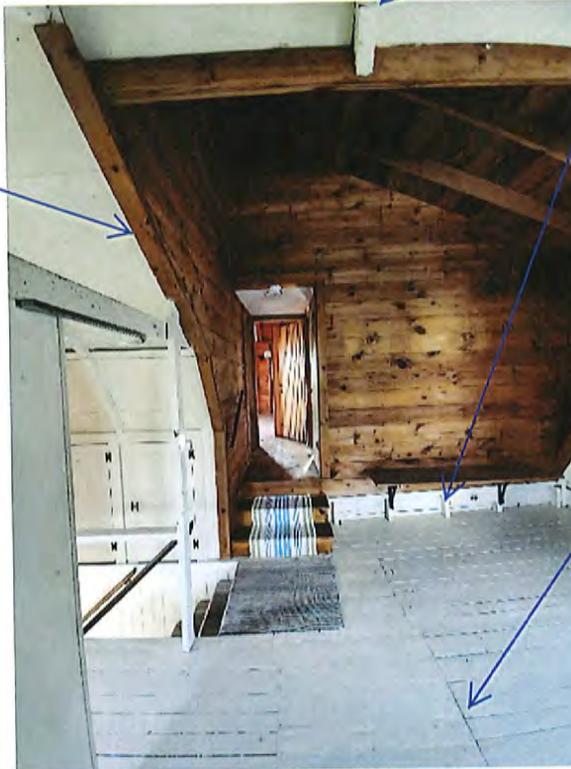
SJGEng@Comcast.net

Line of ridge and change in roof slope at old ridge.

Flat trim board. No structural beam here.

Balloon framed wall with top of wall plate. the floor slopes approximately 3" towards the stair.

Old Stair opening

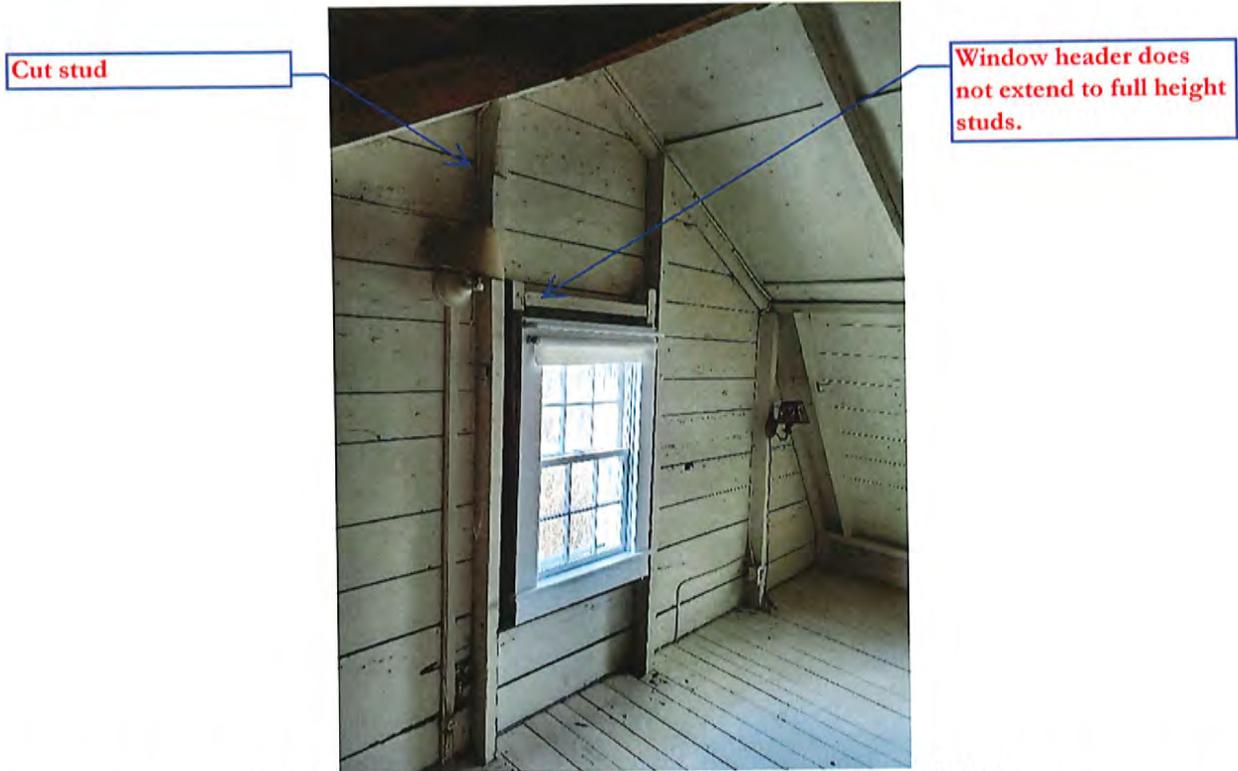


Rear addition to be removed. Sloping floor, roof inadequately supported.

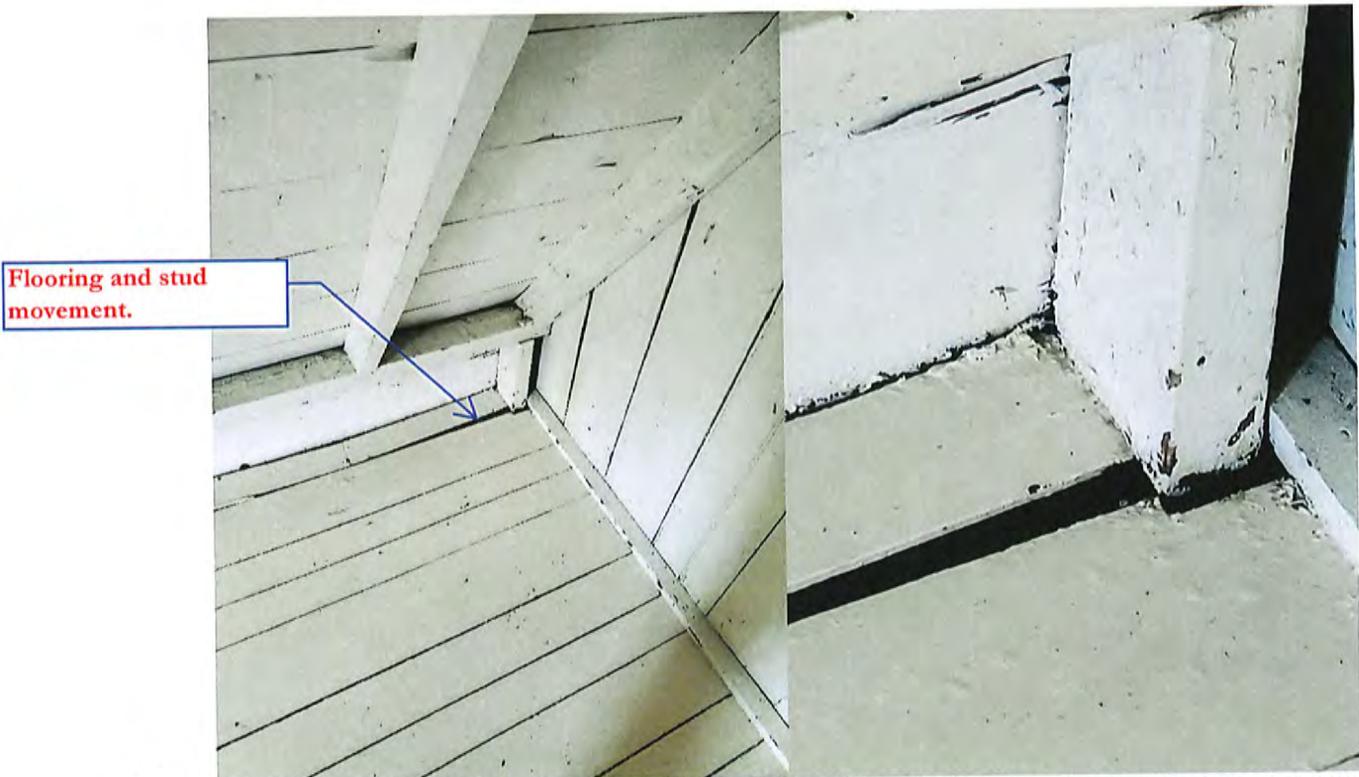
Newer wood than original for dormer framing.



Front gable dormer. Materials do not match 1800s framing.



Gable wall window improperly framed. Window is not original.
Left window jamb stud is cut and additional piece of wood added above. There are no visible fasteners.



Left picture shows balloon framed stud. Right photo is a close-up showing structural movement causing the decking to raise and stud wall move outward. The front porch is on the opposite side of this wall.



Gap indicating movement

Opposite side of center partition where deck and stud wall are pulling away towards the street.



Lower boards are not as wide and are planed differently.

The lower boards are not rough sawn in the pattern of the upper boards. The lower boards are replacements.

SJG Engineering LLC
6 Golden Gate Drive
Hooksett, NH 03106
(e) 207-752-3274
SJGEng@Comcast.net

Gaps indicate structural movement in wall. Lower bows show the wafer-board warping as the wall is moving



Gaps behind the window casement indicate building movement.

Front porch rafter is pulling away from the building.



Trim board between rafters is pulling away from the building.

The front porch rafters are pulling away from the building wall.

PHOTOS.

EXISTING HOUSE

From: Carrie Thornevill carriethornevill@gmail.com
Subject: 6 Magnolia
Date: December 9, 2019 at 10:57 AM
To: Caroline Thornevill thornevilldesign@comcast.net



Sent from my iPhone

↳ MAGNOLIA NORTH



WEST



SOUTH



EAST

BUILDING/STRUCTURE INVENTORY FORM
NANTUCKET ISLAND ARCHITECTURAL
AND CULTURAL RESOURCES SURVEY
NANTUCKET HISTORIC DISTRICT COMMISSION
NANTUCKET, MASSACHUSETTS

SURVEY/
FILM ROLL #: SC4-25
MAP/PARCEL#: 7331-57

Recorded by: AH

Date: 09/14/89

Organization: AGS

IDENTIFICATION

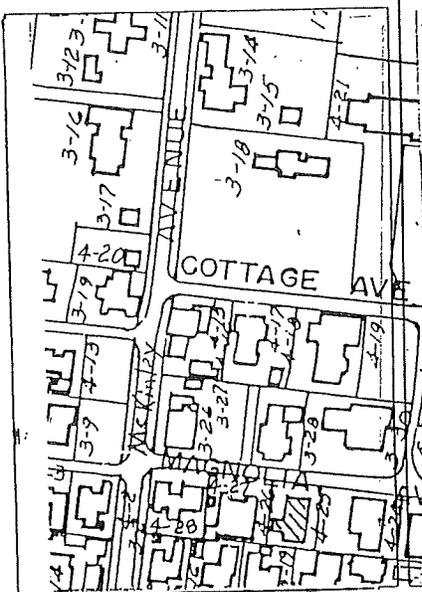
1. Street Name & No.: 6 MAGNOLIA AVENUE
2. Building Name: N/A
3. Ownership: Private
4. Present Owner: BOSH, PHILIP E. & FLORA D
5. Ownership History:
Unknown

- SURVEY
- HIST. PHOTOS
- SANBORN MAPS

6. Use: Original: Dwelling Present: Dwelling
Seasonal/Year-Round: Seasonal

7. Accessibility to Public: Visible from Public Road? Yes
Interior: N/A

8. MAP -- 3 X 2"



C. 1916

GENERAL SETTING AND ORIENTATION OF BUILDING

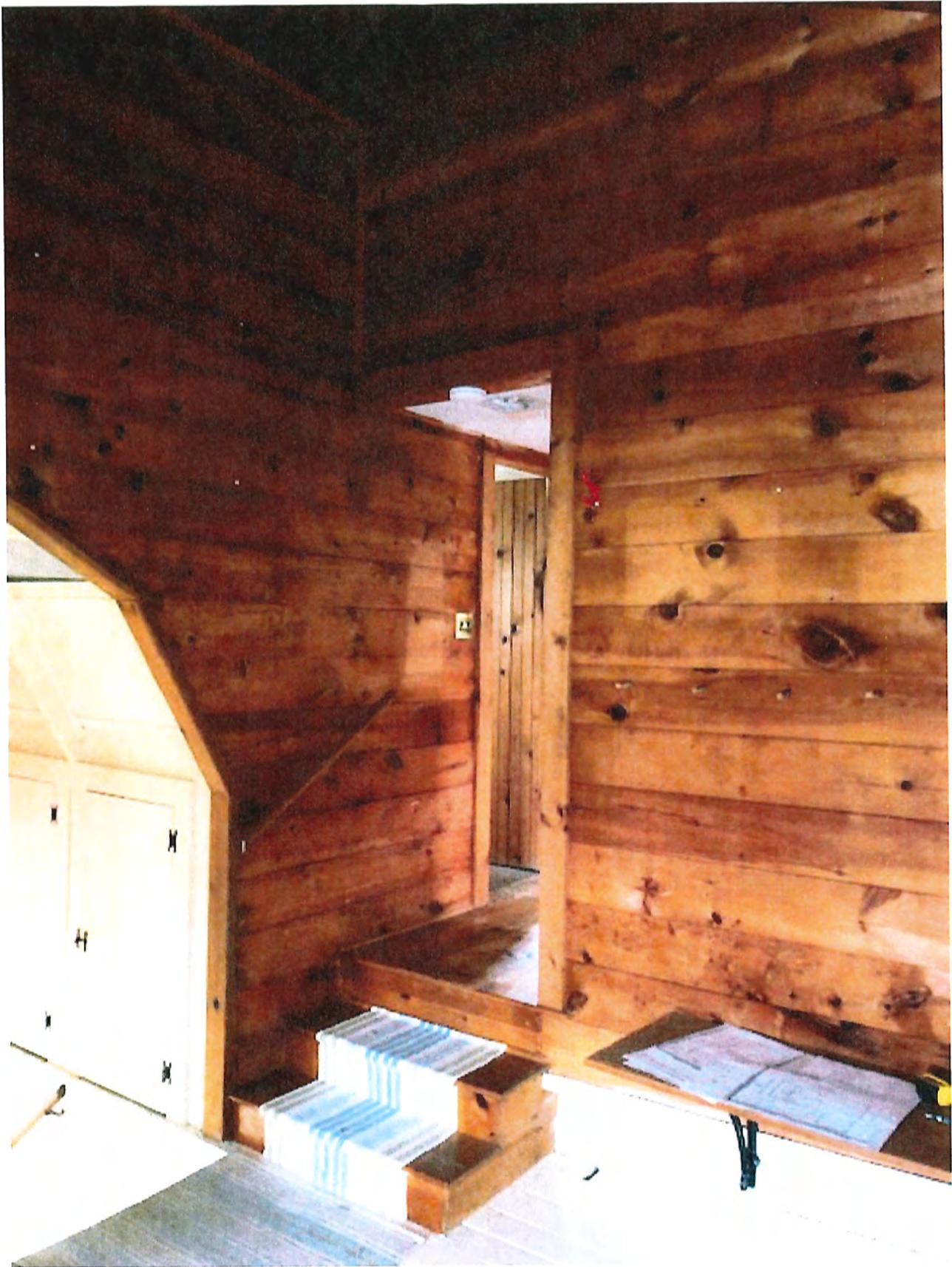
10. Lot Size: N/A
11. Approximate Frontage (ft.): N/A
12. Setback from Street (ft.): 10 feet or less
13. Orientation to Street Address: Gabled
14. Surroundings: Densely Built, Residential, Old Historic District
15. Related Outbuildings and Property: Fence
16. Other Notable Features:
N/A

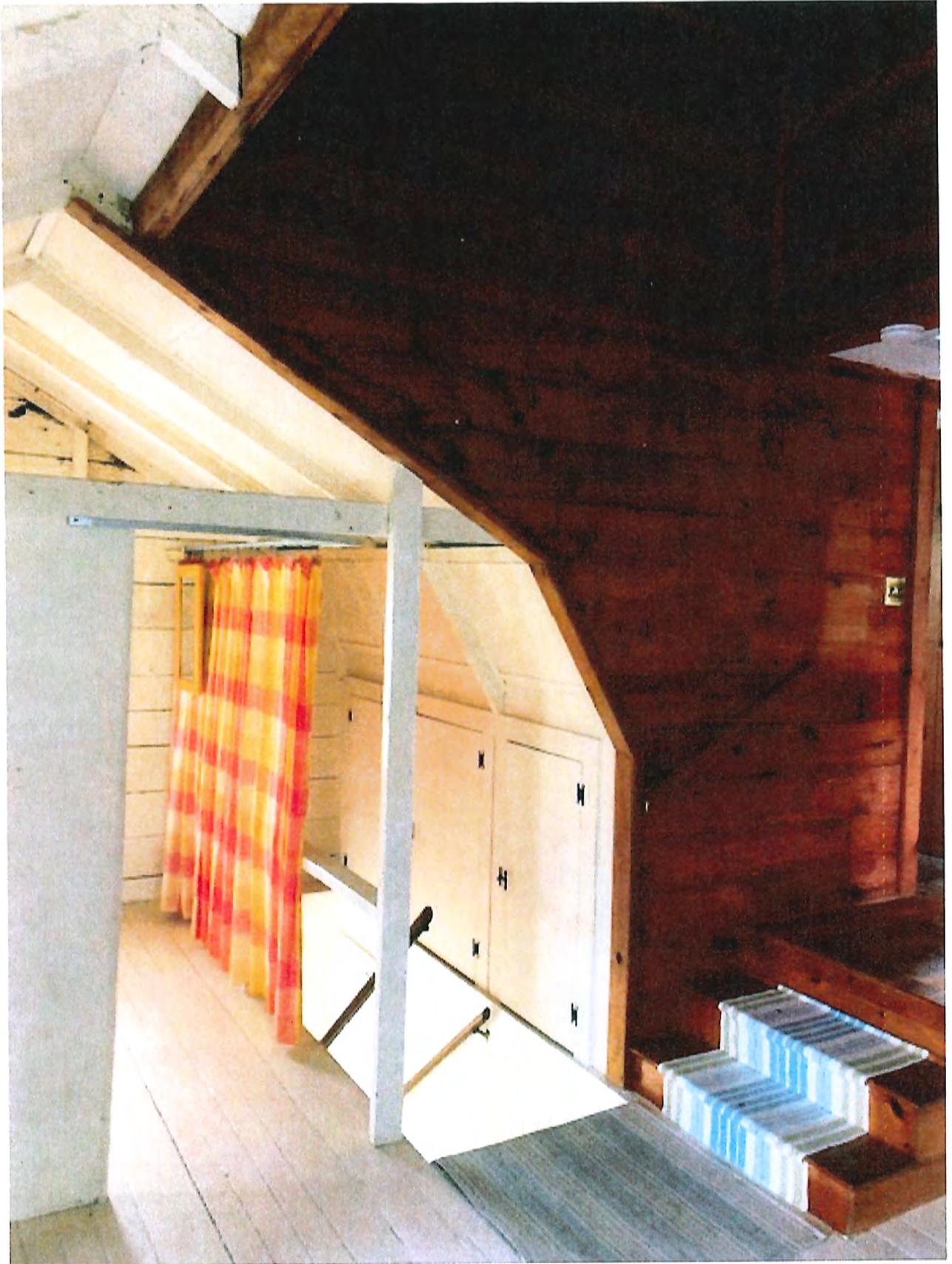
DESCRIPTION

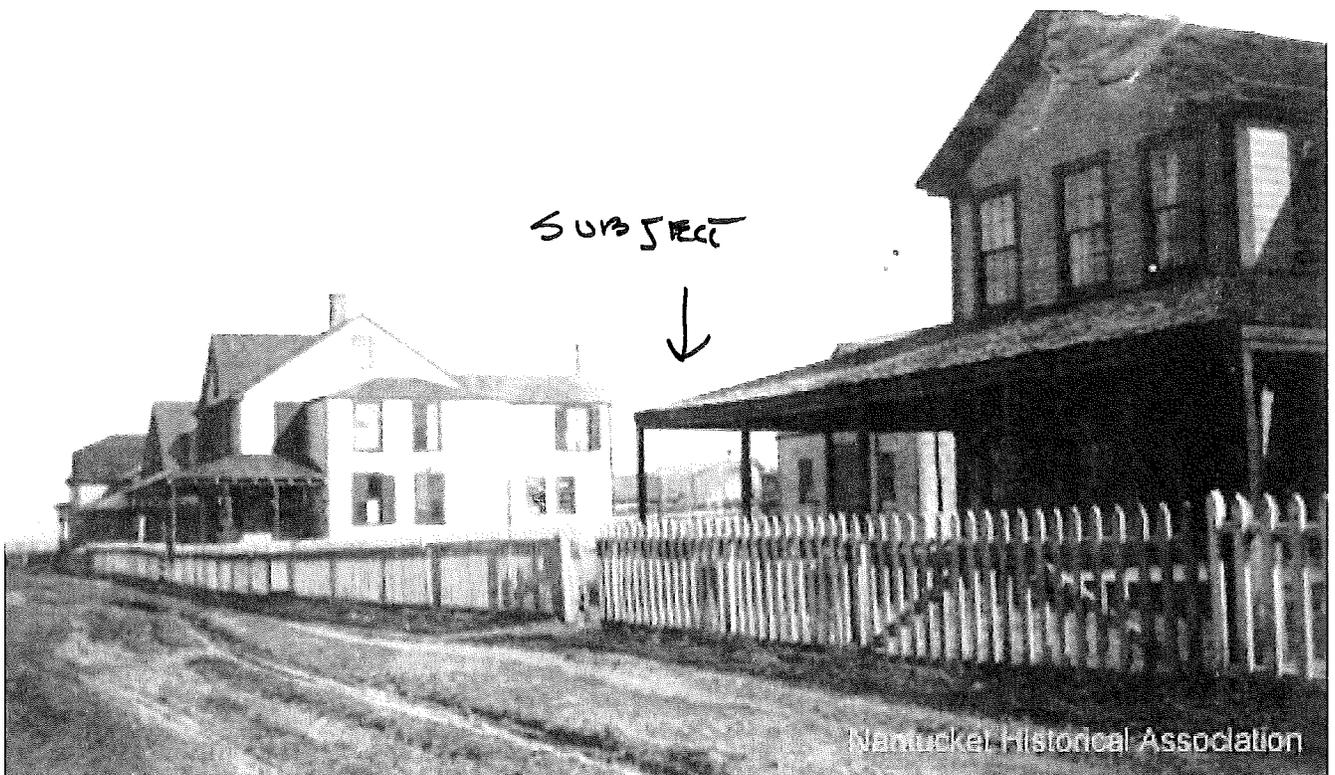
17. Foundation: Piers
18. Structural System: Woodframe
19. Exterior Wall Material, Front Facade: Shingles-Weathered
20. Exterior Wall Material, Side Elevations: Shingles-Weathered
21. Exterior Wall Material, Rear Elevation: Shingles-Weathered
22. Number of Stories: 2
23. Roof Shape: Gable, Gambrel
24. Roofing Material: Composition Shingle
25. Roof Features: Dormers/Front Facade
26. Dormer Roof(s): Gable
27. Chimney Material: Brick-unpainted
28. Chimney Position: End Wall
29. Number of Chimneys: 1
30. Chimney Features: N/A
31. Front/Primary Door Location: Center
32. Front/Primary Door Frame Features: Flush Frame
33. Number of Bays: N/A
34. Window Frame Type: Flush
35. Window Sash Type(s) - Front Facade: 6/6, 2/2
36. Porch: Front
37. Signage: N/A
38. Details: Corner boards-plain, Trellis
39. Condition: Good
40. Integrity: N/A
41. Alterations:
N/A



JAN 14 2020
By CF mo







4 and # 8 Magnolia

1898 OR EARLIER PER SANDBORN



4 Magwilla

C. 1893



8 Magnolia

c 1880



Property Information

Property ID 73.3.1.57
 Location 6 MAGNOLIA AV
 Owner GIBSON ELEANOR HALL ETAL TRS



MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
 Data updated 11/19/2018

NEED PHOTOS - window structure
All

LOCUS + SANBORN

1923

11237

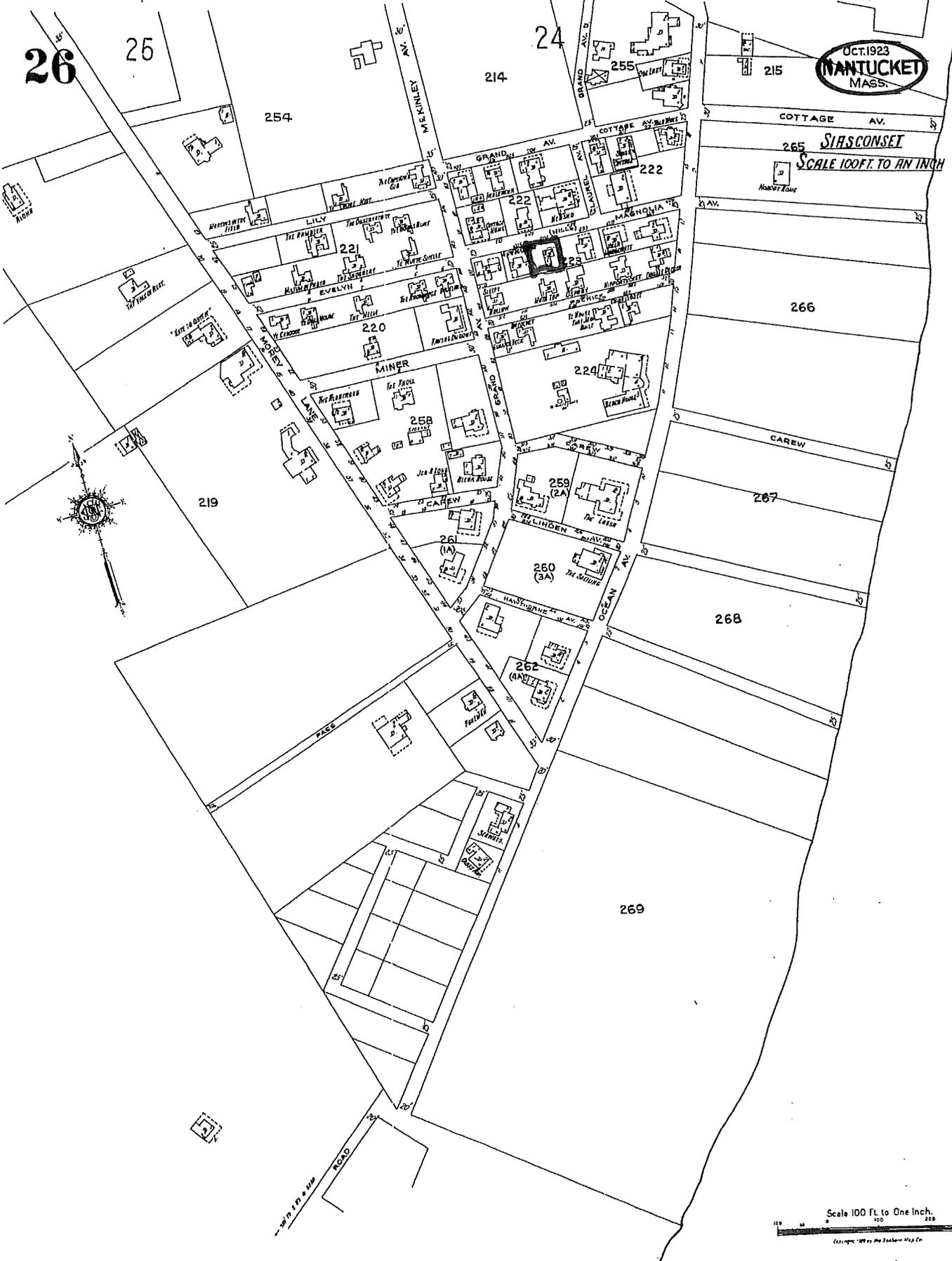
26

25

24

26

OCT. 1923
NANTUCKET
MASS.



COTTAGE AV.
265
SIRSCONSET
SCALE 100 FT. TO AN INCH

CAREW

O
C
C
E
A
N

A
T
L
A
N
T
I
C

Scale 100 Ft. to One Inch.
100 200

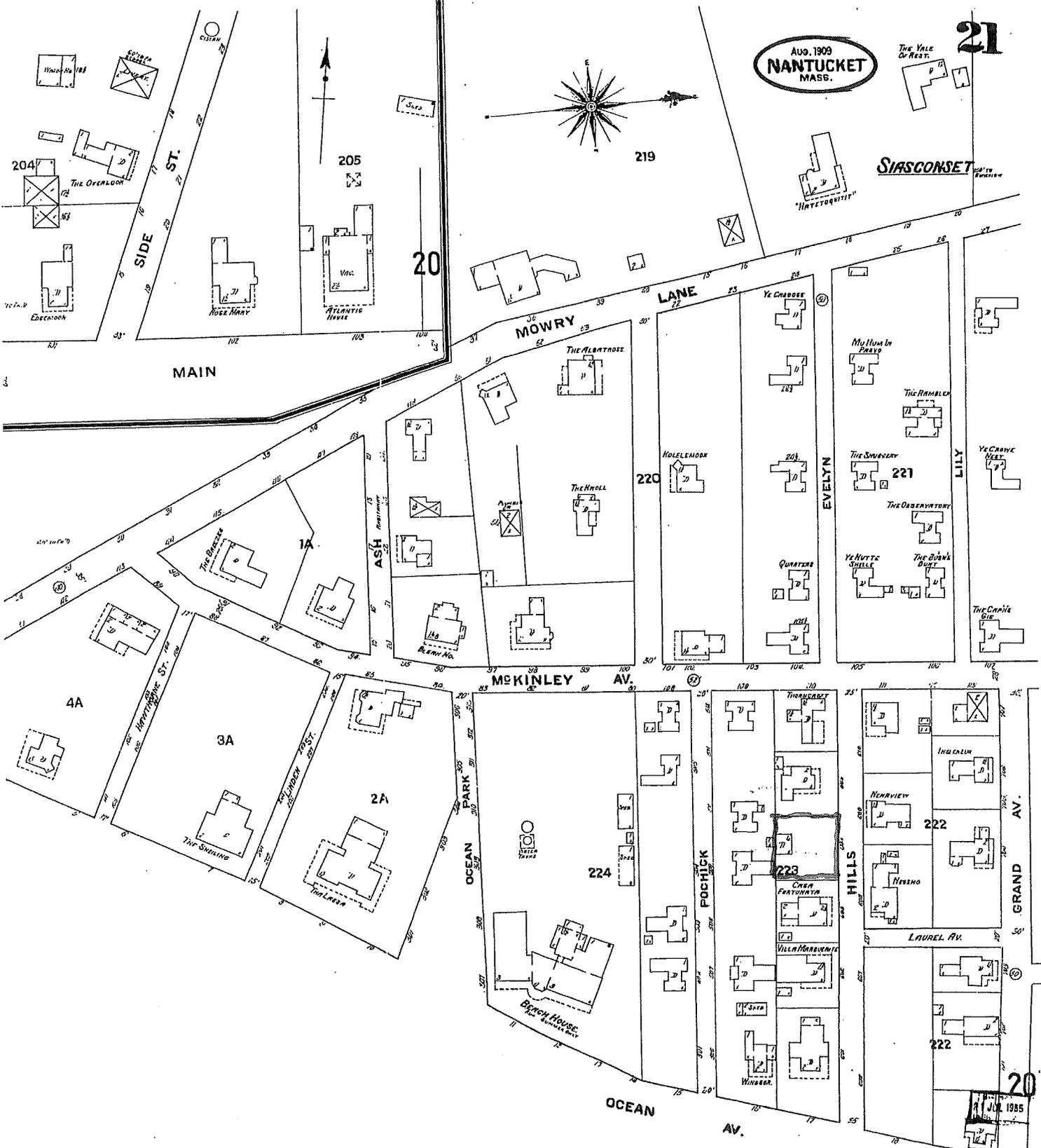
FIRST APPEARANCE OF 'L' SHAPED HOUSE

1909

21

AUG. 1909
NANTUCKET
MASS.

SIASCONSET



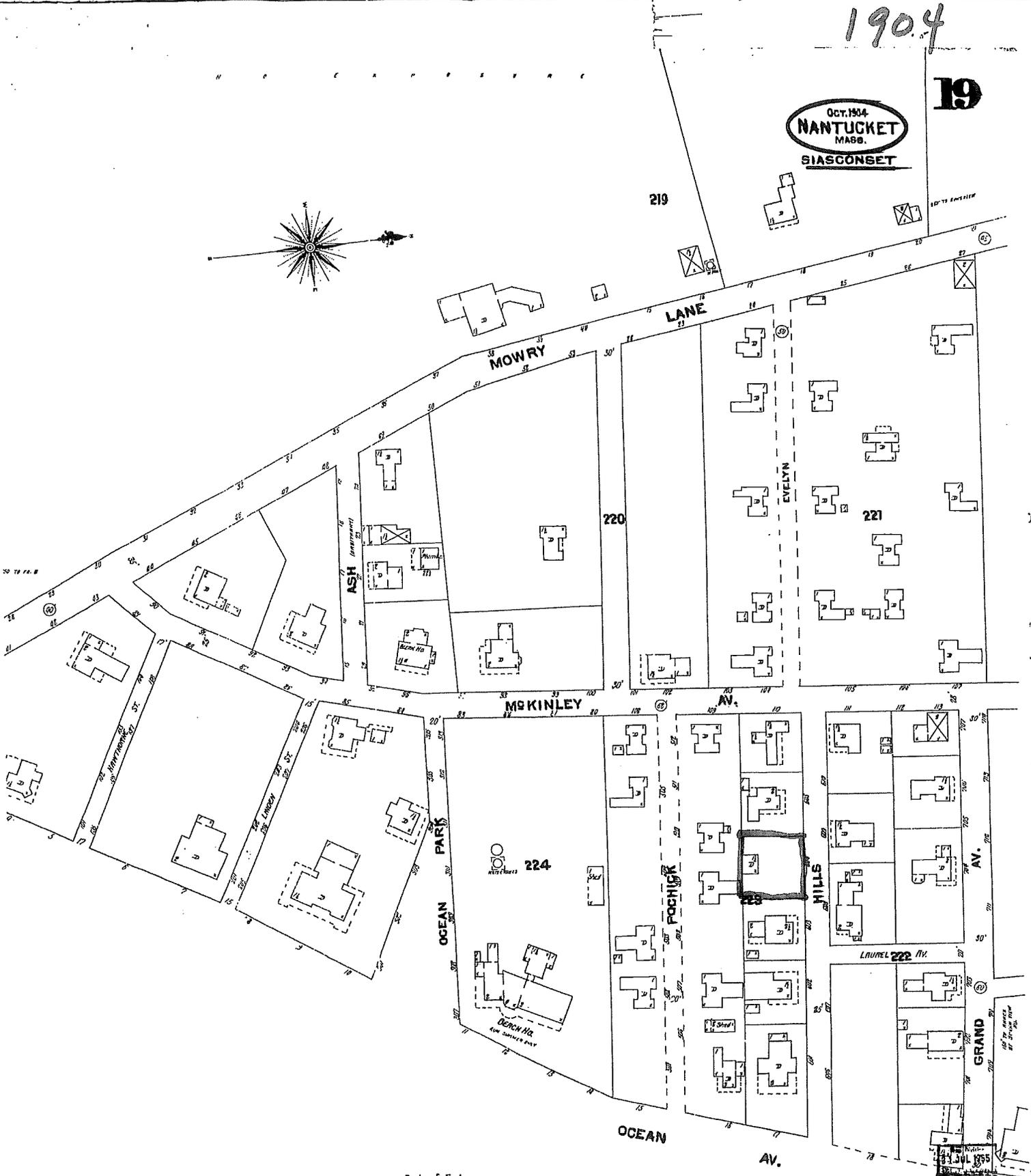
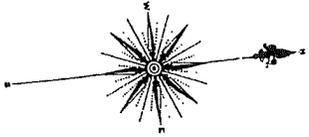
Scale of Feet.
0 50 100 150

BEACH BEYOND

1904

19

OCT. 1904
NANTUCKET
MASS.
SIASCONSET



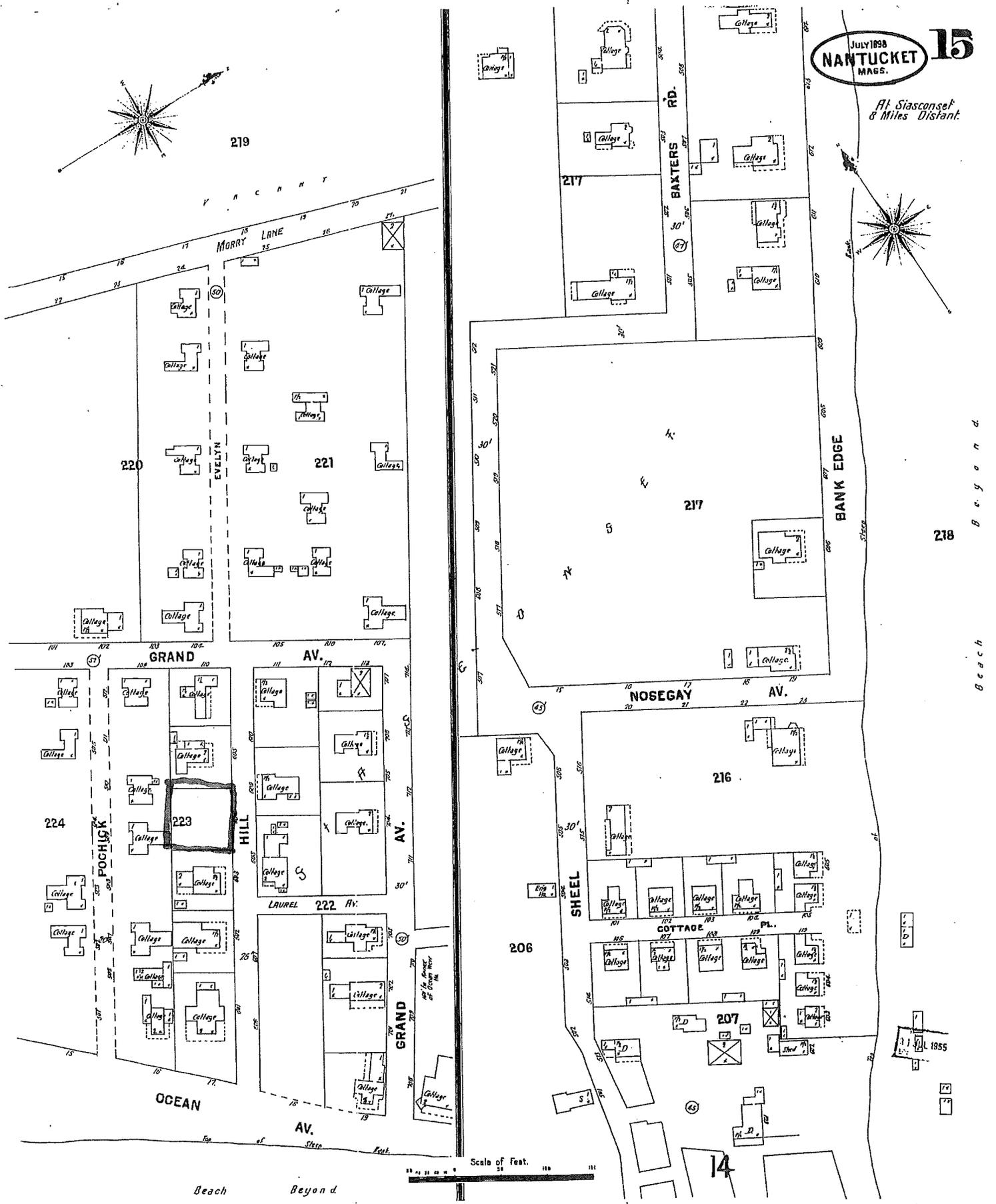
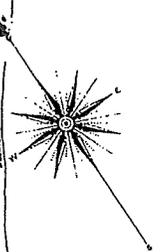
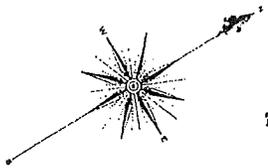
Scale of Feet.
0 50 100 150

BEACH BEYOND

1898

JULY 1898
NANTUCKET
MAGS. 15

At Siasconset
& Miles Distant.



Beach Beyond.

Beach Beyond

MAGNOLIA AVE WAS CALLED ALL ST

HDC

TOWN CLERK

2020 FEB -5 PM 1:15



Nantucket Historic District Commission

Mullin Rule Certification (GL c. 39 Sec. 23D)

Pursuant to G.L. c. 39, § 23D, the undersigned member of a board, committee or commission of the Town of Nantucket hereby certifies that he or she has examined all of the evidence received by the said board, committee or commission at the one session of its adjudicatory hearing on the matter identified below which the undersigned member failed to attend, and that such evidence included an audio or video recording of the missed session or a transcript thereof. This Certification has been executed prior to the undersigned's participating in a vote on the matter and shall be part of the record of the hearing.

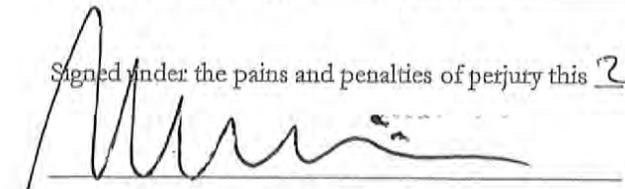
Member Name: ABIGAIL CAMP

Board, Committee or Commission: HDC

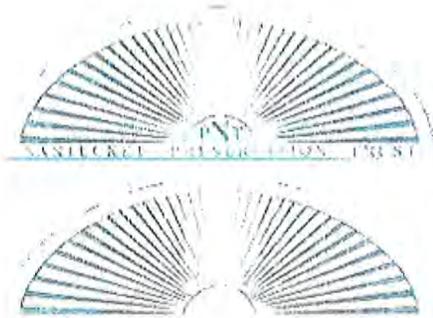
Subject Matter of Hearing: 6 Magnolia / Demo + New Dwelling

Date of Missed Session: 11/12/20

Signed under the pains and penalties of perjury this 2 day of Feb, 2020


Signature

Become a Member



NANTUCKET PRESERVATION TRUST

HISTORY

Magnolia Avenue: A Window into 'Sconset's Past

JANUARY 23, 2020 | RITA CARR

The natural beauty of 'Sconset has long attracted visitors to the far eastern end of Nantucket. Beginning in the late 19th century, builders seeking to capitalize on the village's charms built rental communities to house growing numbers of summer tourists. The block of houses on the south side of Magnolia Avenue is a well-preserved example of the rental cottage industry building boom.

The Sunset Heights development of the 1870s was first the group of purpose-built rental properties constructed in 'Sconset. In 1873, prolific builder Charles H. Robinson began construction of Sunset Heights on a large parcel of land south of Main Street. Together with his partner Dr. Franklin A. Ellis, Robinson laid out Ocean Avenue and a series of small lanes, most named after trees. The partners constructed a footbridge over the gully to connect their development with the rest of 'Sconset, and the first cottage was completed by the summer. The new neighborhood was anchored by the Ocean View House, a hotel offering both short- and long-term accommodations at affordable rates. Robinson's idea proved very successful; he continued building cottages in 'Sconset throughout the 1870s and 1880s, and in 1883 added the Ocean View Annex across the street from the original Ocean View House.



Plan of Sunset Heights. Courtesy Nantucket Historical Association.



Charles Robinson wasn't the only builder who sought to reap the benefits of 'Sconset's quaint appeal. In 1879, Edward F. Underhill purchased land to the south of Magnolia Avenue in Sunset Heights and laid out Pochick Avenue. Unlike the larger Victorian style cottages built by Robinson and Ellis, Underhill built cottages that mimicked the old fishing shacks turned residences in the center of 'Sconset. In 1882 he purchased additional land and laid out Lily and Evelyn Streets, along which he also built small, closely grouped cottages. The Underhill cottages along Pochick Avenue later became the center of the Nantucket Actor's Colony.

Local landowner Isaac Hills also got in on the 'Sconset cottage craze. In 1885, the year after the Nantucket Railroad extended to 'Sconset, he purchased land on the south side of Magnolia Avenue from Robinson, abutting the land of Edward Underhill. The property already contained two houses; three years after purchasing the land Hills contracted with Robinson to build an additional two houses on the block. Hills advertised many rental properties for occupancy in the *Inquirer and Mirror* throughout the late 19th and early 20th century, and Magnolia Avenue became alternatively known as Hills Street. Hills grouped his rentals together the 'Sconset Cottage Club, with Rudder Grange, on the corner of Ocean Avenue, serving as its headquarters and dining hall.



Magnolia Avenue. Foreground: Genesee Lodge. Background: Casa Fortunata. Courtesy Nantucket Historical Association.

However, by 1918 Hills had fallen on economic hardships and was cited for failure to pay property taxes. He also failed to pay in 1919, and in December of that year he sold off a parcel of land on Magnolia Avenue, with the cottage called Genesee Lodge, to Levi Starbuck Coffin. Levi Coffin was a well-known 'Sconset citizen and owner of Bloomingdale Farm, but Coffin was also involved in the tourism industry centered on Sunset Heights, having served as the proprietor of the Ocean View House in the 1880s. Shortly after purchasing Genesee Lodge, Coffin turned a storehouse on the property into what the *Inquirer and Mirror* described as a "very comfy igloo."^[1] This new cottage, at 6 Magnolia St, was then rented with along with the other Magnolia Avenue properties as "Tis a House." Evidence shows that the structure was originally constructed by Hills at the rear of the lot, and moved forward and expanded. A small building appears on Sanborn fire insurance maps from 1904 and 1909, with the map of 1923 showing the expanded dwelling closer to Magnolia Avenue.





6 and 8 Magnolia Avenue, January 2020.

Much of the old Sunset Heights is now lost: Ocean View House has been demolished, as have many of Robinson's original cottages. But the dwellings that composed Isaac Hills' Cottage Club are still visible along the south side of Magnolia Avenue. Genesee Lodge is now called The Good Tern, Villa Marguerite is now called Tern Too, and Tis a House is now called Rosehip. These cottages, together with Rudder Grange, Casa Fortunata, and Thorny Croft, form a block of intact late-19th and early-20th century buildings that offer a glimpse into Sunset Heights' development as a resort destination.

[1] "'Sconset Notes," *The Inquirer and Mirror*, May 15, 1920, Historic Digital Newspapers Archive – Nantucket Atheneum.

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 73.3.1 PARCEL N°: 57
Street & Number of Proposed Work: 6 MAGNOLIA AVE
Owner of record: Steven Spencer
Mailing Address: SMB CAPITAL
850 Third Ave. 16th Fl. NY NY 10022
Contact Phone #: 516-662-1820 E-mail:

AGENT INFORMATION (if applicable)

Name: THORNEWILL DESIGN, LLC
Mailing Address: 48 DUKES RD
NANTUCKET MA 02551
Contact Phone #: 228-9141 E-mail:

FOR OFFICE USE ONLY ✓ 1689

Date application received: 1/8/2020 Fee Paid: \$ 100.00

Must be acted on by: 3/14/2020

Extended to: _____

Approved: [Signature] Disapproved: _____

Chairman: _____

Member: _____

Member: [Signature]

Member: _____

Member: _____

Notes - Comments - Restrictions - Conditions
PER SELECTIVE DEMO PLAN + NOT DEMO'D TO REMAIN INTACT, RAISED FOR NEW FINDING

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No.
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 34.5 ± Sq. Footage 1st floor: 705 ± Decks/Patio: Size: 20.5 x 7 1st floor 2nd floor
Width: 20.5 ± Sq. Footage 2nd floor: _____ PORETT Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks _____
Historic Name: N/A REVISIONS*: 1. East Elevation
Original Date: 1916 / 1960's? ADOTION (describe) 2. South Elevation
Original Builder: UNKNOWN 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass GAMBRELL Secondary Mass 5 /12 Dormer _____ /12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Shutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia 1 x 8 Rake 1 x 6 Soffit (Overhang) _____ Corner boards 6" Frieze _____

Windows*: Double Hung Casement All Wood Other PICTURE - 48 LIGHT
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front 9 LIGHT Rear _____ Side 10 LIGHT / 9 LIGHT
Garage Door(s): Type _____ Material _____
Landscape materials: Driveways _____ Walkways _____ Walls _____

Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of my revisions to this application will initiate a new sixty-day review period.

Date 1/8/2020 Signature of owner of record Luke Thornewill for Steve Spencer Signed under penalties of perjury

Sconset Advisory Board Meeting Memorandum

HDC/SAB

Date/Time 1/14/20

To: Historic District Commission
From: Sconset Advisory Board

DEMO

Members Present

() Rob Benchley () Caroline Ellis () Angus Macleod () Mary Will
Alternate: Clement Durkes ()

Applicant SPENCER Address 6 MAGNOLIA

Historic information/known history

() Non-Contributing () Contributing () Individually significant

Comments

() Incomplete application () Historical information needed () No Concerns () Recommend View
() Does not meet guidelines () Not appropriate (As noted below)

North Elevation

East Elevation

West Elevation

South Elevation

Other

NOT IN FAVOR of TOTAL DEMO

Public ~~Comment~~

Signatures (three members required for quorum)

[Signature] [Signature] [Signature]

~~SECRET~~ ~~APPROVED~~
OLD BUZ

34. Sharp, Randy 01-0474 76 Polpis Road Garage 43-177 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Carrie Thornewill, Thornewill Design – Presented project; white garage doors.
 Public None
 Concerns (7:44) No concerns.
 Motion Motion to Approve as submitted with white garage doors. (Oliver)
 Vote Carried unanimously Certificate # HDC2020-01-0474

35. Spencer, Steven 01-0471 6 Magnolia Avenue Demo existing structure 73.3.1-57 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, engineer's report, historic documentation, and advisory comments.
 Representing Luke Thornewill, Thornewill Design – The gambrel appears in the rear of the property in 1916; structure moved forward in 1923 and rear ell attached. Engineer analyzed this; demolition is because little original fabric would remain. According to the engineer's report, without significant support, it couldn't be moved.
 Public Carrie Thornewill, Thornewill Design – The 1923 ell "bastardizes" the back wall of the original gambrel.
 Concerns (7:46) Pohl – Read SAB comments: not in favor of total demolition. Read Ms. Backus comments: assessor puts this at circa 1916, could be older.
 Discussion about the historic value of the structure.
 Oliver – She doesn't think she can approve a total demolition; we should keep something of the original gambrel. If we open the door for total demos and rebuilding, we are turning Nantucket into Disney Land. The engineer is hired by so his results are skewed toward the client.
 Dutra – Understand what Ms. Oliver is saying.
 Watterson – He agrees with Ms. Oliver; okay with removing the rear ell. He could support holding the rebuild to the dimensional proportions of the main mass.
 McLaughlin – Due to the age, a demolition is questionable. Better to move than demolish.
 Pohl – He agrees with Ms. Oliver in saving the historic fabric. If we approve a like-kind rebuild, there are no exemptions with the building code; the new structure would have to meet code and would become taller; we would need a living record of the interior space so first floor and ridge relationships to grade stay the same.
 Motion Motion to Hold until we look at the new dwelling. (Dutra)
 Vote Carried unanimously Certificate #

36. Spencer, Steven 01-0470 6 Magnolia Avenue New Dwelling 73.3.1-57 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.
 Representing Luke Thornewill, Thornewill Design – Presented project.
 Carrie Thornewill, Thornewill Design – This would be a rebuild of the historic house with cathedral ceilings, so the height wouldn't change from the original. Would keep the oversized 9 lights of the existing front door.
 Public None
 Concerns (8:07) Pohl – Read HSAB comments: save historic house. Read Ms. Backus comments.
 Oliver – Appreciates the idea. However, pitching saving the house and moving it forward doesn't work. The proposed addition is "eating" the front house; the 2nd-floor walls are very tall and could be shorter. The front house should be the existing house. She could not vote for this approach.
 Dutra – The addition swallowing the house is a good description. Gets the idea of the addition; but it should come down to 1.5 stories. He'd support trying to preserve the old building.
 Watterson – He has trouble with the massing of the addition being so large in proportion to the main mass. Okay with the width but about 3 feet should come out of the ridge height.
 McLaughlin – The proportions of the addition's gambrel roof are off. Front door shouldn't be a 15-light.
 Pohl – Agrees with what's been said; particularly the fact the addition outmatches the main mass.
 Motion Motion to Hold for revisions. (Dutra)
 Vote Carried unanimously Certificate #

X

JAN 8 0 2020

Hold 4 Rev

Proposed HDC Minutes for January 11, 2020

34. Sharp, Randy 01-0474 76 Polpis Road Garage 43-177 Thornewill Design
 Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Carrie Thornewill, Thornewill Design – Presented project; white garage doors.
 Public None
 Concerns (7:44) No concerns.
 Motion Motion to Approve as submitted with white garage doors. (Oliver)
 Vote Carried unanimously Certificate # HDC2020-01-0474

35. Spencer, Steven 01-0471 6 Magnolia Avenue Demo existing structure 73.3.1-57 Thornewill Design
 Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, engineer's report, historic documentation, and advisory comments.
 Representing Luke Thornewill, Thornewill Design – The gambrel appears in the rear of the property in 1916; structure moved forward in 1923 and rear ell attached. Engineer analyzed this; demolition is because little original fabric would remain. According to the engineer's report, without significant support, it couldn't be moved.
 Carrie Thornewill, Thornewill Design – The 1923 ell "bastardizes" the back wall of the original gambrel.
 Public None
 Concerns (7:46) Pohl – Read SAB comments: not in favor of total demolition. Read Ms. Backus comments: assessor puts this at circa 1916, could be older.
 Discussion about the historic value of the structure.
 Oliver – She doesn't think she can approve a total demolition; we should keep something of the original gambrel. If we open the door for total demos and rebuilding, we are turning Nantucket into Disney Land. The engineer is hired by so his results are skewed toward the client.
 Dutra – Understand what Ms. Oliver is saying.
 Watterson – He agrees with Ms. Oliver; okay with removing the rear ell. He could support holding the rebuild to the dimensional proportions of the main mass.
 McLaughlin – Due to the age, a demolition is questionable. Better to move than demolish.
 Pohl – He agrees with Ms. Oliver in saving the historic fabric. If we approve a like-kind rebuild, there are no exemptions with the building code; the new structure would have to meet code and would become taller; we would need a living record of the interior space so first floor and ridge relationships to grade stay the same.
 Motion Motion to Hold until we look at the new dwelling. (Dutra)
 Vote Carried unanimously Certificate #

Spencer

36. Spencer, Steven 01-0470 6 Magnolia Avenue New Dwelling 73.3.1-57 Thornewill Design
 Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.
 Representing Luke Thornewill, Thornewill Design – Presented project.
 Carrie Thornewill, Thornewill Design – This would be a rebuild of the historic house with cathedral ceilings, so the height wouldn't change from the original. Would keep the oversized 9 lights of the existing front door.
 Public None
 Concerns (8:07) Pohl – Read HSAB comments: save historic house. Read Ms. Backus comments.
 Oliver – Appreciates the idea. However, pitching saving the house and moving it forward doesn't work. The proposed addition is "eating" the front house; the 2nd-floor walls are very tall and could be shorter. The front house should be the existing house. She could not vote for this approach.
 Dutra – The addition swallowing the house is a good description. Gets the idea of the addition; but it should come down to 1.5 stories. He'd support trying to preserve the old building.
 Watterson – He has trouble with the massing of the addition being so large in proportion to the main mass. Okay with the width but about 3 feet should come out of the ridge height.
 McLaughlin – The proportions of the addition's gambrel roof are off. Front door shouldn't be a 15-light.
 Pohl – Agrees with what's been said; particularly the fact the addition outmatches the main mass.
 Motion Motion to Hold for revisions. (Dutra)
 Vote Carried unanimously Certificate #

3/14/2020

Spencer 3/14/20

17. Spencer, Steven 01-0471 **6 Magnolia Avenue** **Demo existing structure** **73.3.1-57** **Thornewill Design**

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates Welch & Camp read back in.
 Recused None
 Documentation Architectural elevation plans, site plan, photos, correspondence, and historic documentation.
 Representing Carrie Thornewill, Thornewill Design
 Luke Thornewill, Thornewill Design
 Steven Spencer, owner
 Linda Williams

Public None
 Concerns (6:56) **Spencer** – Based upon previous comments, we’ve come up with a new proposal; explained their evaluation of the property indicated the existing structure had been significantly altered.
 Williams – Reviewed the history of the structure as detailed in the historic packet. There was a gambrel structure on this lot in the 1920s which did not have the existing roof line; believes all sides and the roof have been moved or replaced since the mid-1960s. This has been moved at least once.
 Thornewill – Believes a lot of original sheathing was rotten; even covered sheathing is not original. Feels that the groundcover isn’t any greater than for any other lot.
 Pohl – Read into the record letters of concerns from Rob Benchley and Angus MacLeod.
 Dutra – Confirmed that the structure didn’t move after 1923. Not in favor of a demolition of the gambrel. Mr. MacLeod’s points are valid that something nice can be done with this to carry the character of the 1916 structure even without the historic fabric; it is not structurally unstable.
 Oliver – Questions the survey; it seems each one says contributing. We are holding the Codfish Park house because we want to confirm why it is being noted as contributing. The information is very helpful. Would like the front element to retain its present façade and character. Something of the front mass should be saved.
 Watterson – Agrees the front gambrel should be preserved.
 McLaughlin – Wants to see the next application.
 Pohl – The fate of the front gambrel is tied to what’s being added on and he wants to see the new proposal. The gambrel form is to scale and really attractive and the board would like to see that retained.

Motion **Motion to Hold until after review of the new addition. (Dutra)**
 Vote Carried 5-0 Certificate #

18. Spencer, Steven 01-0470 **6 Magnolia Avenue** **New dwelling** **73.3.1-57** **Thornewill Design**

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates Welch & Camp read back in.
 Recused None
 Documentation Architectural elevation plans, site plan, photos, correspondence, and advisory comments.
 Representing Carrie Thornewill, Thornewill Design
 Luke Thornewill, Thornewill Design
 Steven Spencer, owner
 Linda Williams

Public None
 Concerns (7:20) **Thornewill** – Presented the revised project.
 Pohl – Read into the record letters of concerns from Rob Benchley, Rita Carr, and Mary Wilkes.
 Dutra – Huge improvement from first submittal; happy how the gambrel forward is more complementary. The rear addition is still much larger and should be minimized in any way such as reduce the height. In the previous submittal the east and west elevation gambrel looked better but with the gambrel forward would be better on the dormers.
 Oliver – Thinks Mr. Dutra’s suggestion would make it look wider. Appreciates the changes. Changing to 2-over-2 is a concern; there’s something about the scale of having smaller panes especially facing the street.
 Watterson – In general the redesign “nails it.” The original mass might be subordinate but maintains the history and streetscape. Agrees with Ms. Oliver about the windows especially facing the street.
 McLaughlin – Noted a typographical error.
 Discussion about saving the front gambrel.
 Pohl – In every other historic district, if you have an old building, the new part shouldn’t look like the existing. What will really help is a perspective view. We’re all favorably inclined to what is proposed and looking for minor tweaks to fenestration. We need more information on the front part of the building in order to rule on saving versus dismantling versus razing.

Motion **Motion to Hold for revisions. (McLaughlin)**
 Vote Carried 5-0 Certificate #

5. Spencer, Steven 01-0471	6 Magnolia Avenue	(Partial) Demo dwelling	73.3.1-57	Thornewill Design
Voting	Pohl, Oliver, Welch, Dutra			
Alternates	Welch and Camp, read back in, but Camp stepped out			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, Town Warrant Article 62, correspondence, and historic documentation.			
Representing	Luke Thornewill, Thornewill Design Carrie Thornewill, Thornewill Design Steven Spencer, owner			
Public	None			
Concerns (6:30)	<p>C Thornewill – Reviewed changes made per previous concerns. Between 1923 and 1949 there was a tiny building on the lot; 1949 shows a building with a porch; dormers and some windows are circa 1960s.</p> <p>Welch – Based upon the demolition plan, reviewed what is being retained and what is being removed.</p> <p>Spencer – Stated the streetscape will be maintained as this is a rebuild from scratch using the existing windows and doors on the historic part.</p> <p>Oliver – If we start to allow people to just rebuild because it's easier, we may as well be all replicas like Disney Land; the owner knew he was buying an older structure. She would like to see at least the barn structure remain.</p> <p>Dutra – He would prefer to retain as much as possible as shown in the drawings.</p> <p>Welch – This is circa 1920-1930 structure, which doesn't mean we are going to disallow a demolition; it comes down to who lived there and who built it, etc.</p> <p>Pohl – This is small enough that the original structure could be saved and some of the fabric retained; some windows being saved are 1960s and could be eliminated.</p> <p>Thornewill – The cost and complexity of lifting and supporting off the foundation could be prohibitive; there is a precedent for taking this apart in panels and setting those panels aside for reassembly.</p> <p>Welch – If we allow disassembling, rather than cutting up in panels, he'd prefer the boards be numbered left to right, top to bottom, take the sheathing off and put it back together the way it was built. Cutting up the panels and putting together pieces would impact its structural integrity. He's looking forward to the surveys being updated; that would make this so much easier. This is the type of thing to be hammered out regarding Article 62. If we approve this demolition, we need to layout the particulars; using a skill saw to cut up walls isn't maintaining the historic fabric.</p> <p>Dutra – In 1909, a building was on this property; in 1923, this building appeared on the front of the property. He prefers the demolition plan as outlined; to be on the safe side, we can request the three walls be retained.</p> <p>Oliver – Center Street opened a can of worms HDC won't live down; this furthers that. We are here to save our history; that is why Article 62 was submitted. This is a bad road to go. We have no one to authenticate the information submitted at the last hearing by Linda Williams; cited an example from 27 North Liberty Street where the photo circulated turned out not to be the structure being applied for.</p> <p>Pohl – Another option is to keep the sides intact and set them aside. The original roof is already mostly gone and can't be saved. Engineers over-engineer to prevent something from falling down; they will always say to remove old fabric. We can write a letter exempting them from some of the building code such as using 2X4 and less insulation.</p> <p>Further discussion the method of how to dismantle this structure in a way that best preserves historic fabric.</p>			
Motion	Motion to Approve the demolition plan through staff with the front three historical sides to remain on site as a structure. (Dutra)			
Vote	Carried 4-0	Certificate #	HDC2019-01-0471	
6. Spencer, Steven 01-0470	6 Magnolia Avenue	New dwelling (addition)	73.3.1-57	Thornewill Design
Voting	Pohl, Camp, Oliver, Welch, Dutra			
Alternates	Welch and Camp, read back in.			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, historic documentation.			
Representing	Luke Thornewill, Thornewill Design Carrie Thornewill, Thornewill Design Steven Spencer, owner			
Public	None			
Concerns (7:07)	<p>C Thornewill – Presented revised project as an addition.</p> <p>Dutra – No concerns.</p> <p>Welch – Nice design and an improvement with a 1920s look but plans to vote no due to proximity to the street.</p> <p>Camp – Asked how close to the street it will be. (4 feet) The new massing dominates the old mass.</p> <p>Oliver – She's okay with it.</p> <p>Pohl – Compared to the existing addition, this is will be less prominent; it won't be evident.</p>			
Motion	Motion to Approve as submitted. (Oliver)			
Vote	Carried 3-2//Camp & Welch opposed	Certificate #	HDC2019-01-0470	

Hold

34. Sharp, Randy 01-0474 76 Polpis Road Garage 43-177 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Carrie Thornewill, Thornewill Design – Presented project; white garage doors.
 Public None
 Concerns (7:44) No concerns.
 Motion Motion to Approve as submitted with white garage doors. (Oliver)
 Vote Carried unanimously Certificate # HDC2020-01-0474

35. Spencer, Steven 01-0471 6 Magnolia Avenue Demo existing structure 73.3.1-57 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, engineer's report, historic documentation, and advisory comments.
 Representing Luke Thornewill, Thornewill Design – The gambrel appears in the rear of the property in 1916; structure moved forward in 1923 and rear ell attached. Engineer analyzed this; demolition is because little original fabric would remain. According to the engineer's report, without significant support, it couldn't be moved.
 Carrie Thornewill, Thornewill Design – The 1923 ell "bastardizes" the back wall of the original gambrel.
 Public None
 Concerns (7:46) Pohl – Read SAB comments: not in favor of total demolition. Read Ms. Backus comments: assessor puts this at circa 1916, could be older.
 Discussion about the historic value of the structure.
 Oliver – She doesn't think she can approve a total demolition; we should keep something of the original gambrel. If we open the door for total demos and rebuilding, we are turning Nantucket into Disney Land. The engineer is hired by so his results are skewed toward the client.
 Dutra – Understand what Ms. Oliver is saying.
 Watterson – He agrees with Ms. Oliver; okay with removing the rear ell. He could support holding the rebuild to the dimensional proportions of the main mass.
 McLaughlin – Due to the age, a demolition is questionable. Better to move than demolish.
 Pohl – He agrees with Ms. Oliver in saving the historic fabric. If we approve a like-kind rebuild, there are no exemptions with the building code; the new structure would have to meet code and would become taller; we would need a living record of the interior space so first floor and ridge relationships to grade stay the same.
 Motion **Motion to Hold until we look at the new dwelling. (Dutra)**

Vote Carried unanimously Certificate #

36. Spencer, Steven 01-0470 6 Magnolia Avenue New Dwelling 73.3.1-57 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.
 Representing Luke Thornewill, Thornewill Design – Presented project.
 Carrie Thornewill, Thornewill Design – This would be a rebuild of the historic house with cathedral ceilings, so the height wouldn't change from the original. Would keep the oversized 9 lights of the existing front door.
 Public None
 Concerns (8:07) Pohl – Read HSAB comments: save historic house. Read Ms. Backus comments.
 Oliver – Appreciates the idea. However, pitching saving the house and moving it forward doesn't work. The proposed addition is "eating" the front house; the 2nd-floor walls are very tall and could be shorter. The front house should be the existing house. She could not vote for this approach.
 Dutra – The addition swallowing the house is a good description. Gets the idea of the addition; but it should come down to 1.5 stories. He'd support trying to preserve the old building.
 Watterson – He has trouble with the massing of the addition being so large in proportion to the main mass. Okay with the width but about 3 feet should come out of the ridge height.
 McLaughlin – The proportions of the addition's gambrel roof are off. Front door shouldn't be a 15-light.
 Pohl – Agrees with what's been said; particularly the fact the addition outmatches the main mass.
 Motion Motion to Hold for revisions. (Dutra)

Vote Carried unanimously Certificate #

Spencer

3/14/2020

Hold

Proposed HDC Minutes for February 4, 2020

17. Spencer, Steven 01-0471 6 Magnolia Avenue Demo existing structure 73.3.1-57 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
Alternates Welch & Camp read back in.
Recused None
Documentation Architectural elevation plans, site plan, photos, correspondence, and historic documentation.
Representing Carrie Thornewill, Thornewill Design
Luke Thornewill, Thornewill Design
Steven Spencer, owner
Linda Williams
Public None
Concerns (6:56) Spencer - Based upon previous comments, we've come up with a new proposal; explained their evaluation of the property indicated the existing structure had been significantly altered.
Williams - Reviewed the history of the structure as detailed in the historic packet. There was a gambrel structure on this lot in the 1920s which did not have the existing roof line; believes all sides and the roof have been moved or replaced since the mid-1960s. This has been moved at least once.
Thornewill - Believes a lot of original sheathing was rotten; even covered sheathing is not original. Feels that the groundcover isn't any greater than for any other lot.
Pohl - Read into the record letters of concerns from Rob Benchley and Angus MacLeod.
Dutra - Confirmed that the structure didn't move after 1923. Not in favor of a demolition of the gambrel. Mr. MacLeod's points are valid that something nice can be done with this to carry the character of the 1916 structure even without the historic fabric; it is not structurally unstable.
Oliver - Questions the survey; it seems each one says contributing. We are holding the Codfish Park house because we want to confirm why it is being noted as contributing. The information is very helpful. Would like the front element to retain its present facade and character. Something of the front mass should be saved.
Watterson - Agrees the front gambrel should be preserved.
McLaughlin - Wants to see the next application.
Pohl - The fate of the front gambrel is tied to what's being added on and he wants to see the new proposal. The gambrel form is to scale and really attractive and the board would like to see that retained.

Motion Motion to Hold until after review of the new addition. (Dutra)

Vote Carried 5-0 Certificate #

18. Spencer, Steven 01-0470 6 Magnolia Avenue New dwelling 73.3.1-57 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
Alternates Welch & Camp read back in.
Recused None
Documentation Architectural elevation plans, site plan, photos, correspondence, and advisory comments.
Representing Carrie Thornewill, Thornewill Design
Luke Thornewill, Thornewill Design
Steven Spencer, owner
Linda Williams
Public None
Concerns (7:20) Thornewill - Presented the revised project.
Pohl - Read into the record letters of concerns from Rob Benchley, Rita Carr, and Mary Wilkes.
Dutra - Huge improvement from first submittal; happy how the gambrel forward is more complementary. The rear addition is still much larger and should be minimized in any way such as reduce the height. In the previous submittal the east and west elevation gambrel looked better but with the gambrel forward would be better on the dormers.
Oliver - Thinks Mr. Dutra's suggestion would make it look wider. Appreciates the changes. Changing to 2-over-2 is a concern; there's something about the scale of having smaller panes especially facing the street.
Watterson - In general the redesign "nails it." The original mass might be subordinate but maintains the history and streetscape. Agrees with Ms. Oliver about the windows especially facing the street.
McLaughlin - Noted a typographical error.
Discussion about saving the front gambrel.
Pohl - In every other historic district, if you have an old building, the new part shouldn't look like the existing. What will really help is a perspective view. We're all favorably inclined to what is proposed and looking for minor tweaks to fenestration. We need more information on the front part of the building in order to rule on saving versus dismantling versus razing.

Motion Motion to Hold for revisions. (McLaughlin)

Vote Carried 5-0 Certificate #

Spencer 3/14/20

Hold

Proposed HDC Minutes for February 4, 2020

17. Spencer, Steven 01-0471 6 Magnolia Avenue Demo existing structure 73.3.1-57 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
Alternates Welch & Camp read back in.
Recused None
Documentation Architectural elevation plans, site plan, photos, correspondence, and historic documentation.
Representing Carrie Thornewill, Thornewill Design
Luke Thornewill, Thornewill Design
Steven Spencer, owner
Linda Williams
Public None
Concerns (6:56) Spencer - Based upon previous comments, we've come up with a new proposal; explained their evaluation of the property indicated the existing structure had been significantly altered. Williams - Reviewed the history of the structure as detailed in the historic packet. There was a gambrel structure on this lot in the 1920s which did not have the existing roof line; believes all sides and the roof have been moved or replaced since the mid-1960s. This has been moved at least once. Thornewill - Believes a lot of original sheathing was rotten; even covered sheathing is not original. Feels that the groundcover isn't any greater than for any other lot. Pohl - Read into the record letters of concerns from Rob Benchley and Angus MacLeod. Dutra - Confirmed that the structure didn't move after 1923. Not in favor of a demolition of the gambrel. Mr. MacLeod's points are valid that something nice can be done with this to carry the character of the 1916 structure even without the historic fabric; it is not structurally unstable. Oliver - Questions the survey; it seems each one says contributing. We are holding the Codfish Park house because we want to confirm why it is being noted as contributing. The information is very helpful. Would like the front element to retain its present facade and character. Something of the front mass should be saved. Watterson - Agrees the front gambrel should be preserved. McLaughlin - Wants to see the next application. Pohl - The fate of the front gambrel is tied to what's being added on and he wants to see the new proposal. The gambrel form is to scale and really attractive and the board would like to see that retained.

Motion Motion to Hold until after review of the new addition. (Dutra)

Vote Carried 5-0 Certificate #

18. Spencer, Steven 01-0470 6 Magnolia Avenue New dwelling 73.3.1-57 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
Alternates Welch & Camp read back in.
Recused None
Documentation Architectural elevation plans, site plan, photos, correspondence, and advisory comments.
Representing Carrie Thornewill, Thornewill Design
Luke Thornewill, Thornewill Design
Steven Spencer, owner
Linda Williams
Public None
Concerns (7:20) Thornewill - Presented the revised project. Pohl - Read into the record letters of concerns from Rob Benchley, Rita Carr, and Mary Wilkes. Dutra - Huge improvement from first submittal; happy how the gambrel forward is more complementary. The rear addition is still much larger and should be minimized in any way such as reduce the height. In the previous submittal the east and west elevation gambrel looked better but with the gambrel forward would be better on the dormers. Oliver - Thinks Mr. Dutra's suggestion would make it look wider. Appreciates the changes. Changing to 2-over-2 is a concern; there's something about the scale of having smaller panes especially facing the street. Watterson - In general the redesign "nails it." The original mass might be subordinate but maintains the history and streetscape. Agrees with Ms. Oliver about the windows especially facing the street. McLaughlin - Noted a typographical error. Discussion about saving the front gambrel. Pohl - In every other historic district, if you have an old building, the new part shouldn't look like the existing. What will really help is a perspective view. We're all favorably inclined to what is proposed and looking for minor tweaks to fenestration. We need more information on the front part of the building in order to rule on saving versus dismantling versus razing.

Motion Motion to Hold for revisions. (McLaughlin)

Vote Carried 5-0 Certificate #

Spencer 3/14/20

Hold

34. Sharp, Randy 01-0474 76 Polpis Road Garage 43-177 Thornewill Design
 Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Carrie Thornewill, Thornewill Design – Presented project; white garage doors.
 Public None
 Concerns (7:44) No concerns.
 Motion Motion to Approve as submitted with white garage doors. (Oliver)
 Vote Carried unanimously Certificate # HDC2020-01-0474

35. Spencer, Steven 01-0471 6 Magnolia Avenue Demo existing structure 73.3.1-57 Thornewill Design
 Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, engineer's report, historic documentation, and advisory comments.
 Representing Luke Thornewill, Thornewill Design – The gambrel appears in the rear of the property in 1916; structure moved forward in 1923 and rear ell attached. Engineer analyzed this; demolition is because little original fabric would remain. According to the engineer's report, without significant support, it couldn't be moved.
 Carrie Thornewill, Thornewill Design – The 1923 ell "bastardizes" the back wall of the original gambrel.
 Public None
 Concerns (7:46) Pohl – Read SAB comments: not in favor of total demolition. Read Ms. Backus comments: assessor puts this at circa 1916, could be older.
 Discussion about the historic value of the structure.
 Oliver – She doesn't think she can approve a total demolition; we should keep something of the original gambrel. If we open the door for total demos and rebuilding, we are turning Nantucket into Disney Land. The engineer is hired by so his results are skewed toward the client.
 Dutra – Understand what Ms. Oliver is saying.
 Watterson – He agrees with Ms. Oliver; okay with removing the rear ell. He could support holding the rebuild to the dimensional proportions of the main mass.
 McLaughlin – Due to the age, a demolition is questionable. Better to move than demolish.
 Pohl – He agrees with Ms. Oliver in saving the historic fabric. If we approve a like-kind rebuild, there are no exemptions with the building code; the new structure would have to meet code and would become taller; we would need a living record of the interior space so first floor and ridge relationships to grade stay the same.

Motion **Motion to Hold until we look at the new dwelling. (Dutra)**
 Vote Carried unanimously Certificate #

36. Spencer, Steven 01-0470 6 Magnolia Avenue New Dwelling 73.3.1-57 Thornewill Design
 Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.
 Representing Luke Thornewill, Thornewill Design – Presented project.
 Carrie Thornewill, Thornewill Design – This would be a rebuild of the historic house with cathedral ceilings, so the height wouldn't change from the original. Would keep the oversized 9 lights of the existing front door.
 Public None
 Concerns (8:07) Pohl – Read HSAB comments: save historic house. Read Ms. Backus comments.
 Oliver – Appreciates the idea. However, pitching saving the house and moving it forward doesn't work. The proposed addition is "eating" the front house; the 2nd-floor walls are very tall and could be shorter. The front house should be the existing house. She could not vote for this approach.
 Dutra – The addition swallowing the house is a good description. Gets the idea of the addition; but it should come down to 1.5 stories. He'd support trying to preserve the old building.
 Watterson – He has trouble with the massing of the addition being so large in proportion to the main mass. Okay with the width but about 3 feet should come out of the ridge height.
 McLaughlin – The proportions of the addition's gambrel roof are off. Front door shouldn't be a 15-light.
 Pohl – Agrees with what's been said; particularly the fact the addition outmatches the main mass.
 Motion to Hold for revisions. (Dutra)
 Vote Carried unanimously Certificate #

Spencer

3/14/2020

5. Spencer, Steven 01-0471	6 Magnolia Avenue	(Partial) Demo dwelling	73.3.1-57	Thornewill Design
Voting	Pohl, Oliver, Welch, Dutra			
Alternates	Welch and Camp, read back in, but Camp stepped out			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, Town Warrant Article 62, correspondence, and historic documentation.			
Representing	Luke Thornewill, Thornewill Design Carrie Thornewill, Thornewill Design Steven Spencer, owner			
Public	None			
Concerns (6:30)	<p>C Thornewill – Reviewed changes made per previous concerns. Between 1923 and 1949 there was a tiny building on the lot; 1949 shows a building with a porch; dormers and some windows are circa 1960s.</p> <p>Welch – Based upon the demolition plan, reviewed what is being retained and what is being removed.</p> <p>Spencer – Stated the streetscape will be maintained as this is a rebuild from scratch using the existing windows and doors on the historic part.</p> <p>Oliver – If we start to allow people to just rebuild because it's easier, we may as well be all replicas like Disney Land; the owner knew he was buying an older structure. She would like to see at least the barn structure remain.</p> <p>Dutra – He would prefer to retain as much as possible as shown in the drawings.</p> <p>Welch – This is circa 1920-1930 structure, which doesn't mean we are going to disallow a demolition; it comes down to who lived there and who built it, etc.</p> <p>Pohl – This is small enough that the original structure could be saved and some of the fabric retained; some windows being saved are 1960s and could be eliminated.</p> <p>Thornewill – The cost and complexity of lifting and supporting off the foundation could be prohibitive; there is a precedent for taking this apart in panels and setting those panels aside for reassembly.</p> <p>Welch – If we allow dissembling, rather than cutting up in panels, he'd prefer the boards be numbered left to right, top to bottom, take the sheathing off and put it back together the way it was built. Cutting up the panels and putting together pieces would impact its structural integrity. He's looking forward to the surveys being updated; that would make this so much easier. This is the type of thing to be hammered out regarding Article 62. If we approve this demolition, we need to layout the particulars; using a skill saw to cut up walls isn't maintaining the historic fabric.</p> <p>Dutra – In 1909, a building was on this property; in 1923, this building appeared on the front of the property. He prefers the demolition plan as outlined; to be on the safe side, we can request the three walls be retained.</p> <p>Oliver – Center Street opened a can of worms HDC won't live down; this furthers that. We are here to save our history; that is why Article 62 was submitted. This is a bad road to go. We have no one to authenticate the information submitted at the last hearing by Linda Williams; cited an example from 27 North Liberty Street where the photo circulated turned out not to be the structure being applied for.</p> <p>Pohl – Another option is to keep the sides intact and set them aside. The original roof is already mostly gone and can't be saved. Engineers over-engineer to prevent something from falling down; they will always say to remove old fabric. We can write a letter exempting them from some of the building code such as using 2X4 and less insulation.</p> <p>Further discussion the method of how to dismantle this structure in a way that best preserves historic fabric.</p>			
Motion	Motion to Approve the demolition plan through staff with the front three historical sides to remain on site as a structure. (Dutra)			
Vote	Carried 4-0			
6. Spencer, Steven 01-0470	6 Magnolia Avenue	New dwelling (addition)	73.3.1-57	Thornewill Design
Voting	Pohl, Camp, Oliver, Welch, Dutra			
Alternates	Welch and Camp, read back in.			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, historic documentation.			
Representing	Luke Thornewill, Thornewill Design Carrie Thornewill, Thornewill Design Steven Spencer, owner			
Public	None			
Concerns (7:07)	<p>C Thornewill – Presented revised project as an addition.</p> <p>Dutra – No concerns.</p> <p>Welch – Nice design and an improvement with a 1920s look but plans to vote no due to proximity to the street.</p> <p>Camp – Asked how close to the street it will be. (4 feet) The new massing dominates the old mass.</p> <p>Oliver – She's okay with it.</p> <p>Pohl – Compared to the existing addition, this is will be less prominent; it won't be evident.</p>			
Motion	Motion to Approve as submitted. (Oliver)			
Vote	Carried 3-2//Camp & Welch opposed			
	Certificate #	HDC2019-01-0470		

X SAB X

HDC Application Review Worksheet

1. Staff Initials: HEB

2. Meeting date: 1/14/2020

3. Property address: 6 MAGNOLIA AVE (SIAS)

4. Scope of work: DEMO DW - CONTRIBUTING C. 1910
GAMBREL COTTAGE (COULD BE OLDER) ASSESSORS SAYS 1800

5. If the site is located within the OHD or SOHD, please circle which one.

6. Is the structure, building, hardscaping, or other exterior architectural feature open to view from a beach, a public way, a traveled way, a street or way shown on a land court plan or shown on a plan approved and endorsed in accordance with the Subdivision Control Law, a public park or a public body of water? If yes, specify which portions.

- a. North elevation: _____
- b. South elevation: _____
- c. East elevation: _____
- d. West elevation: _____

7. What is the distance between the proposed structure, building, hardscaping, or other exterior architectural feature and the location from which it is open to view? YES feet

8. Other: _____

9. Comments on proposal:
NO! THANK-YOU!

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

AX MAP N°: 73.3.1 PARCEL N°: 57
 Street & Number of Proposed Work: 6 MAGNOLIA AVE
 Owner of record: Steven Spencer
 Mailing Address: 6MB CAPITAL
850 Third Ave. 16th Fl. NY NY 10022
 Contact Phone #: 516-662-1820 E-mail: _____

AGENT INFORMATION (if applicable)

Name: HORNEWILL DESIGN, LLC
 Mailing Address: 48 DUKES RD
NANTUCKET MA 0254
 Contact Phone #: 228-9101 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
 Size of Structure or Addition: Length: 34.5 ± Sq. Footage 1st floor: 705 ± Decks/Patio: Size: 20.5 x 7 1st floor 2nd floor
 Width: 20.5 ± Sq. Footage 2nd floor: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: N/A REVISIONS* 1. East Elevation
 Original Date: 1916 / 1960's? ADDITION (describe) 2. South Elevation
 Original Builder: UNKNOWN 3. West Elevation
 4. North Elevation

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass Gambrel Secondary Mass 5/12 Dormer 1/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Shutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1 x 8 Rake 1 x 6 Soffit (Overhang) _____ Corner boards 6" Frieze _____

Window Casing 4" x 5" Door Frame 4" x 5" Columns/Posts: Round _____ Square 4"

Windows*: Double Hung Casement All Wood Other PICTURE - 48 LIGHT

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front 9 LIGHT Rear _____ Side 10 LIGHT / 9 LIGHT

Garage Door(s): Type _____ Material _____

Landscape materials: Driveways _____ Walkways _____ Walls _____

Note: Complete door and window schedules are required.

COLORS

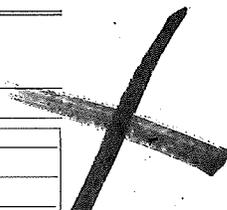
Sidewall _____ Clapboard (if applicable) _____ Roof _____

Trim _____ Sash _____ Doors _____

Deck _____ Foundation _____ Fence _____ Shutters _____

Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of my revisions to this application will initiate a new sixty-day review period.



Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 73-3.1 PARCEL N°: 57
Street & Number of Proposed Work: 6 MAGNOLIA AVE
Owner of record: STEVEN SPENCER
Mailing Address: 510 CAPITAL
850 Third Ave. 10th Fl. NY NY 10022
Contact Phone #: 516-602-1820 E-mail:

AGENT INFORMATION (if applicable)

Name: THORNEWILL DESIGN, LLC
Mailing Address: 48 DUKES RD
NANTUCKET MA 02554
Contact Phone #: 228-9141 E-mail:

FOR OFFICE USE ONLY

Date application received: 1/8/2020 Fee Paid: \$ 341.80 V 1689

Must be acted on by: 3/14/2020

Extended to:

Approved: [Signature] Disapproved:

Chairman: [Signature]

Member: [Signature]

Member: [Signature]

Member: [Signature]

Member:

Notes - Comments - Restrictions - Conditions
APPROVED AS AN "ADDITION" NOT A NEW DWELLING

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No.
 Pool (Zoning District) Roof Other

Size of Structure or Addition: Length: 44.5 Sq. Footage 1st floor: 1169 ± Decks/Patio: Size: 6x20.5 1st floor 2nd floor
Width: 30.5 Sq. Footage 2nd floor: 540 ± Size: 10x24 ± 1st floor 2nd floor
Sq. Footage 3rd floor:

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North 19'-5" ± South 23'-5" ± East 23'-5" ± West 23'-5" ±

Additional Remarks

Historic Name: **REVISIONS:** 1. East Elevation
Original Date: (describe) 2. South Elevation
Original Builder: 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) Other
Roof Pitch: Main Mass GAMBREL Secondary Mass GAMBREL Dormer EXISTING 6:5 Other
Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) WOOD PAINTED Size _____ Location _____

Leaders (material and size): 2"
Siding: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia 1x8 Rake 1x6 Soffit (Overhang) _____ Corner boards 5/4x6 Frieze _____
Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round _____ Square 4x4

Windows: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors: (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Landscape materials: Driveways SHELL Walkways _____ Walls _____

Note: Complete door and window schedules are required.

COLORS

Sidewall WHITE CEDAR Clapboard (if applicable) _____ Roof MATCH EXISTING GREY
Trim WHITE Sash WHITE Doors WHITE
Deck MAGNOLIA Foundation NAF. CONCRETE Fence WHITE Shutters _____

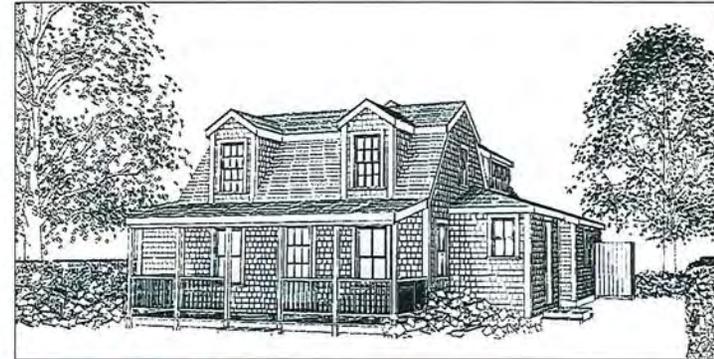
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of my revisions to this application will initiate a new sixty-day review period.
Date: 1/18/2020 Signature of owner of record: [Signature]

Proposed Rebuild

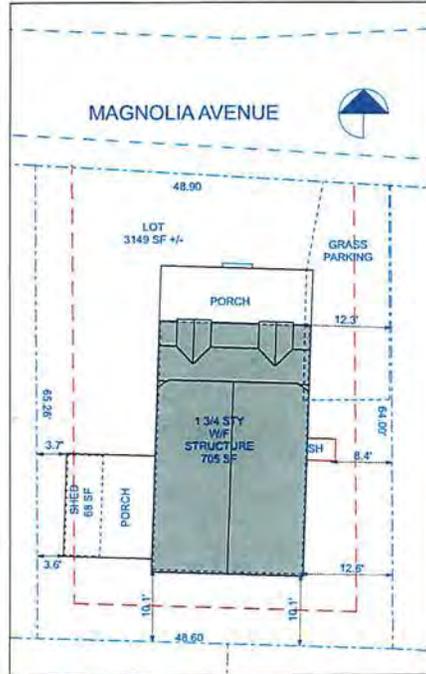
REVISION/REVISION DATE
HDC 1 2/19/20
HDC 2 1/29/20
2/13/20

Spencer Residence

6 Magnolia Avenue
Nantucket, Massachusetts

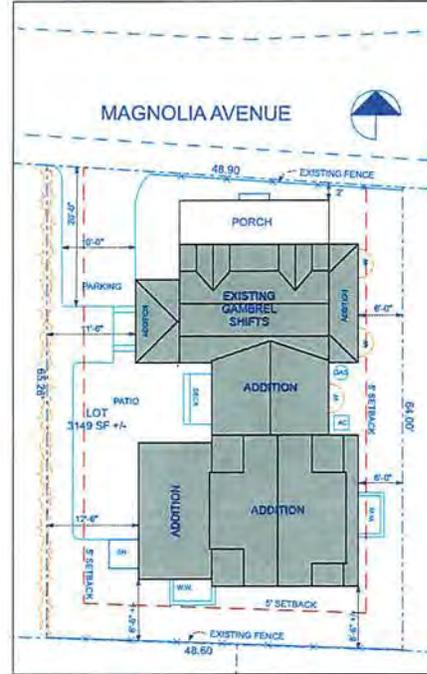


Northwest Perspective



Existing Site Plan

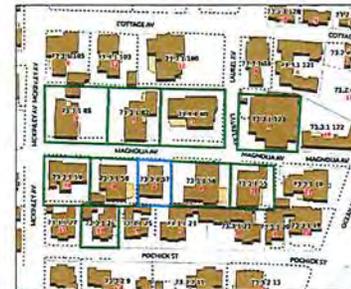
SCALE: 1/8" = 1'-0"



Proposed Site Plan

SCALE: 1/8" = 1'-0"

ZONING DISTRICT: SOH (Scarsol Old Historic)
 MINIMUM LOT SIZE: 5000 SF (3149 SF ACTUAL)
 MINIMUM FRONTAGE: 50 FT
 FRONT YARD SETBACK: NONE
 REAR/SIDE SETBACK: 5 FT
 GROUND COVER RATIO: 50% or 2,500 SF
 EXISTING G.C.R. - 24.5 %
 EXISTING G.C. - 335 SF
 PROPOSED G.C. - 904 SF
 TOTAL G.C. = 1239 SF



DRAWING INDEX	
A0.0	COVER SHEET, SITE PLAN, LOCUS
A1.1	FLOOR PLANS/ SCHEDULES
A1.2	FLOOR PLANS/ SCHEDULES
A2.1	ELEVATIONS
A3.1	SECTIONS

APPROVED
 HDC2020-01-0470
 No Exterior Changes
 Without HDC Approval

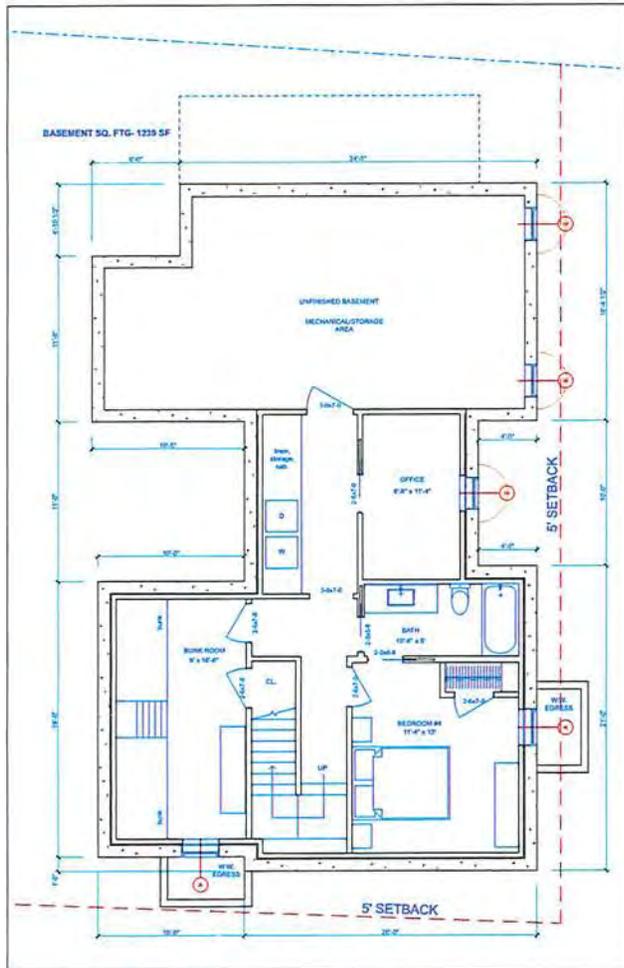
RECEIVED
 FEB 12 2020
 By _____

Spencer Residence
 6 Magnolia Avenue
 Nantucket, Massachusetts
 Map & Parcel
 73.31.57

USE OF DRAWINGS
 These drawings are prepared for the project described herein and are not to be used for any other project without the written consent of the architect. The architect is not responsible for any errors or omissions in these drawings.

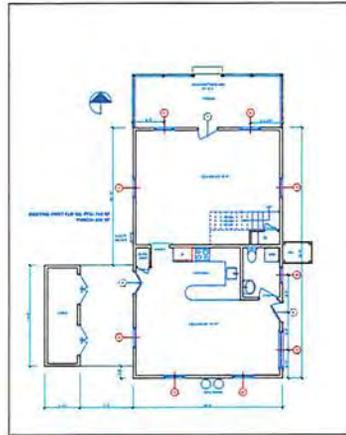
The Russell Design LLC
 48 Duane Road
 Nantucket, MA, 02554
 Tel: 508.228.9561 Fax: 508.228.3165

Sheet No:
A0.0



Basement Plan-Proposed

SCALE: 1/8" = 1'-0"



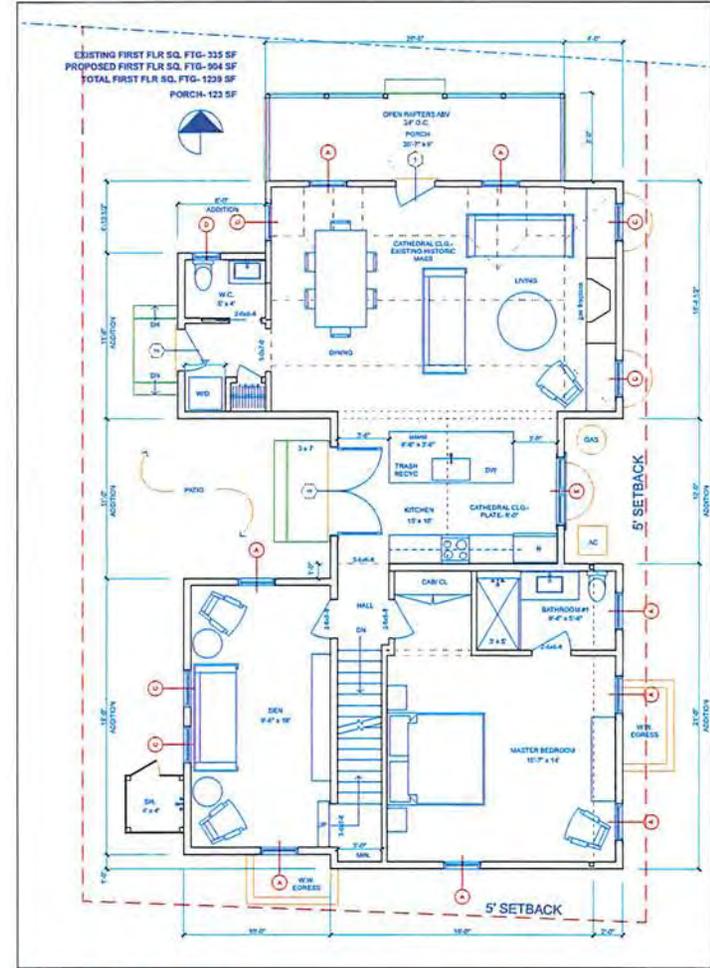
First Floor Plan- Existing

SCALE: 1/8" = 1'-0"



First Floor Plan- Demo Plan

SCALE: 1/8" = 1'-0"



First Floor Plan-Proposed

SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE							
ID	#	MANUFACTURER	UNIT DIMENSION	MIN ROUGH OPNG	REMARKS	DP	U VALUE
A	11		2'-5 5/8" x 4'-0 7/8"	2'-6 1/8" x 4'-0 7/8"	22 DOUBLE HUNG, W/D, T/DL		
B	2		2'-1 5/8" x 4'-0 7/8"	2'-2 1/8" x 4'-0 7/8"	22 DOUBLE HUNG, W/D, T/DL		
C	5		2'-5 5/8" x 4'-0 7/8"	2'-6 1/8" x 4'-0 7/8"	22 DOUBLE HUNG, W/D, T/DL		
D	3		1'-8 5/8" x 3'-0 7/8"	1'-10 1/8" x 3'-0 7/8"	66 DOUBLE HUNG, W/D, T/DL		
E	11		2'-1 5/8" x 3'-0 7/8"	2'-2 1/8" x 3'-0 7/8"	22 DOUBLE HUNG, W/D, T/DL		
F	2		2'-1 5/8" x 4'-0 7/8"	2'-2 1/8" x 4'-0 7/8"	66 DOUBLE HUNG, W/D, T/DL		

BOSTON SASH WINDOWS

DOOR SCHEDULE							
ID	#	MANUFACTURER	UNIT DIMENSION	ROUGH OPNG	REMARKS	DP	U VALUE
1	1		2'-0" x 6'-4"		INSWING - 15 LITE ABV/ 1 PANEL BELOW, T/DL		
2	1		2'-0" x 6'-8"		INSWING - 4 LITE ABV/ 1 PANEL BELOW, T/DL		
3	1		6'-0" x 7'-0"		FRENCH INSWING - 6 LITE EA., T/DL		

REVISION/REVISION DATE
REVISION 1 1/2/20
REVISION 2 1/29/20
REVISION 3 1/2/20

Spencer Residence
6 Magnolia Avenue
Nantucket, Massachusetts
73.3.57

USE OF DRAWING
This drawing is the property of The Design Firm, LLC. It is to be used only for the project and location specified herein. It is not to be used for any other project or location without the written consent of The Design Firm, LLC. The Design Firm, LLC is not responsible for any errors or omissions in this drawing. © The Design Firm, LLC 2018

The Design Firm, LLC
100 Water Street
Nantucket, MA 02554
Tel: 508 228 1664 Fax: 508 228 3165

Sheet No:
A1.1

HDC

TOWN CLERK

2020 FEB -5 PM 1:15



Nantucket Historic District Commission

Mullin Rule Certification (GL c. 39 Sec. 23D)

Pursuant to G.L. c. 39, § 23D, the undersigned member of a board, committee or commission of the Town of Nantucket hereby certifies that he or she has examined all of the evidence received by the said board, committee or commission at the one session of its adjudicatory hearing on the matter identified below which the undersigned member failed to attend, and that such evidence included an audio or video recording of the missed session or a transcript thereof. This Certification has been executed prior to the undersigned's participating in a vote on the matter and shall be part of the record of the hearing.

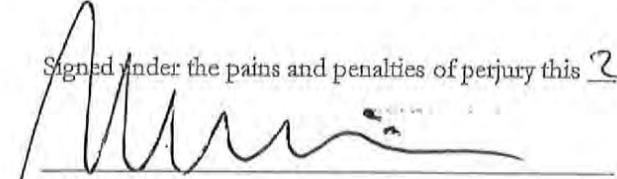
Member Name: ADIGAL CAMP

Board, Committee or Commission: HDC

Subject Matter of Hearing: 6 Magnolia / Demo + New Dwelling

Date of Missed Session: 1/14/20

Signed under the pains and penalties of perjury this 2 day of Feb, 2020


Signature

5. Spencer, Steven 01-0471	6 Magnolia Avenue	(Partial) Demo dwelling	73.3.1-57	Thornewill Design
Voting	Pohl, Oliver, Welch, Dutra			
Alternates	Welch and Camp, read back in, but Camp stepped out			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, Town Warrant Article 62, correspondence, and historic documentation.			
Representing	Luke Thornewill, Thornewill Design Carrie Thornewill, Thornewill Design Steven Spencer, owner			
Public	None			
Concerns (6:30)	<p>C Thornewill – Reviewed changes made per previous concerns. Between 1923 and 1949 there was a tiny building on the lot; 1949 shows a building with a porch; dormers and some windows are circa 1960s.</p> <p>Welch – Based upon the demolition plan, reviewed what is being retained and what is being removed.</p> <p>Spencer – Stated the streetscape will be maintained as this is a rebuild from scratch using the existing windows and doors on the historic part.</p> <p>Oliver – If we start to allow people to just rebuild because it's easier, we may as well be all replicas like Disney Land; the owner knew he was buying an older structure. She would like to see at least the barn structure remain.</p> <p>Dutra – He would prefer to retain as much as possible as shown in the drawings.</p> <p>Welch – This is circa 1920-1930 structure, which doesn't mean we are going to disallow a demolition; it comes down to who lived there and who built it, etc.</p> <p>Pohl – This is small enough that the original structure could be saved and some of the fabric retained; some windows being saved are 1960s and could be eliminated.</p> <p>Thornewill – The cost and complexity of lifting and supporting off the foundation could be prohibitive; there is a precedent for taking this apart in panels and setting those panels aside for reassembly.</p> <p>Welch – If we allow disassembling, rather than cutting up in panels, he'd prefer the boards be numbered left to right, top to bottom, take the sheathing off and put it back together the way it was built. Cutting up the panels and putting together pieces would impact its structural integrity. He's looking forward to the surveys being updated; that would make this so much easier. This is the type of thing to be hammered out regarding Article 62. If we approve this demolition, we need to layout the particulars; using a skill saw to cut up walls isn't maintaining the historic fabric.</p> <p>Dutra – In 1909, a building was on this property; in 1923, this building appeared on the front of the property. He prefers the demolition plan as outlined; to be on the safe side, we can request the three walls be retained.</p> <p>Oliver – Center Street opened a can of worms HDC won't live down; this furthers that. We are here to save our history; that is why Article 62 was submitted. This is a bad road to go. We have no one to authenticate the information submitted at the last hearing by Linda Williams; cited an example from 27 North Liberty Street where the photo circulated turned out not to be the structure being applied for.</p> <p>Pohl – Another option is to keep the sides intact and set them aside. The original roof is already mostly gone and can't be saved. Engineers over-engineer to prevent something from falling down; they will always say to remove old fabric. We can write a letter exempting them from some of the building code such as using 2X4 and less insulation.</p> <p>Further discussion the method of how to dismantle this structure in a way that best preserves historic fabric.</p>			
Motion	Motion to Approve the demolition plan through staff with the front three historical sides to remain on site as a structure. (Dutra)			
Vote	Carried 4-0	Certificate #	HDC2019-01-0471	
6. Spencer, Steven 01-0470	6 Magnolia Avenue	New dwelling (addition)	73.3.1-57	Thornewill Design
Voting	Pohl, Camp, Oliver, Welch, Dutra			
Alternates	Welch and Camp, read back in.			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, historic documentation.			
Representing	Luke Thornewill, Thornewill Design Carrie Thornewill, Thornewill Design Steven Spencer, owner			
Public	None			
Concerns (7:07)	<p>C Thornewill – Presented revised project as an addition.</p> <p>Dutra – No concerns.</p> <p>Welch – Nice design and an improvement with a 1920s look but plans to vote no due to proximity to the street.</p> <p>Camp – Asked how close to the street it will be. (4 feet) The new massing dominates the old mass.</p> <p>Oliver – She's okay with it.</p> <p>Pohl – Compared to the existing addition, this is will be less prominent; it won't be evident.</p>			
Motion	Motion to Approve as submitted. (Oliver)			
Vote	Carried 3-2//Camp & Welch opposed	Certificate #	HDC2019-01-0470	

~~Stated Approved~~
~~OLD~~ ~~BUZ~~

34. Sharp, Randy 01-0474	76 Polpis Road	Garage	43-177	Thornewill Design
Voting	Pohl, McLaughlin, Oliver, Watterson, Dutra			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Carrie Thornewill, Thornewill Design – Presented project; white garage doors.			
Public	None			
Concerns (7:44)	No concerns.			
Motion	Motion to Approve as submitted with white garage doors. (Oliver)			
Vote	Carried unanimously	Certificate #	HDC2020-01-0474	

35. Spencer, Steven 01-0471	6 Magnolia Avenue	Demo existing structure	73.3.1-57	Thornewill Design
Voting	Pohl, McLaughlin, Oliver, Watterson, Dutra			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, engineer's report, historic documentation, and advisory comments.			
Representing	Luke Thornewill, Thornewill Design – The gambrel appears in the rear of the property in 1916; structure moved forward in 1923 and rear ell attached. Engineer analyzed this; demolition is because little original fabric would remain. According to the engineer's report, without significant support, it couldn't be moved. Carrie Thornewill, Thornewill Design – The 1923 ell "bastardizes" the back wall of the original gambrel.			
Public	None			
Concerns (7:46)	Pohl – Read SAB comments: not in favor of total demolition. Read Ms. Backus comments: assessor puts this at circa 1916, could be older. Discussion about the historic value of the structure. Oliver – She doesn't think she can approve a total demolition; we should keep something of the original gambrel. If we open the door for total demos and rebuilding, we are turning Nantucket into Disney Land. The engineer is hired by so his results are skewed toward the client. Dutra – Understand what Ms. Oliver is saying. Watterson – He agrees with Ms. Oliver; okay with removing the rear ell. He could support holding the rebuild to the dimensional proportions of the main mass. McLaughlin – Due to the age, a demolition is questionable. Better to move than demolish. Pohl – He agrees with Ms. Oliver in saving the historic fabric. If we approve a like-kind rebuild, there are no exemptions with the building code; the new structure would have to meet code and would become taller; we would need a living record of the interior space so first floor and ridge relationships to grade stay the same.			
Motion	Motion to Hold until we look at the new dwelling. (Dutra)			
Vote	Carried unanimously	Certificate #		

36. Spencer, Steven 01-0470	6 Magnolia Avenue	New Dwelling	73.3.1-57	Thornewill Design
Voting	Pohl, McLaughlin, Oliver, Watterson, Dutra			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, and advisory comments.			
Representing	Luke Thornewill, Thornewill Design – Presented project. Carrie Thornewill, Thornewill Design – This would be a rebuild of the historic house with cathedral ceilings, so the height wouldn't change from the original. Would keep the oversized 9 lights of the existing front door.			
Public	None			
Concerns (8:07)	Pohl – Read HSAB comments: save historic house. Read Ms. Backus comments. Oliver – Appreciates the idea. However, pitching saving the house and moving it forward doesn't work. The proposed addition is "eating" the front house; the 2 nd -floor walls are very tall and could be shorter. The front house should be the existing house. She could not vote for this approach. Dutra – The addition swallowing the house is a good description. Gets the idea of the addition; but it should come down to 1.5 stories. He'd support trying to preserve the old building. Watterson – He has trouble with the massing of the addition being so large in proportion to the main mass. Okay with the width but about 3 feet should come out of the ridge height. McLaughlin – The proportions of the addition's gambrel roof are off. Front door shouldn't be a 15-light. Pohl – Agrees with what's been said; particularly the fact the addition outmatches the main mass.			
Motion	Motion to Hold for revisions. (Dutra)			
Vote	Carried unanimously	Certificate #		

X



Hold 4 Rev

34. Sharp, Randy 01-0474 76 Polpis Road Garage 43-177 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Carrie Thornewill, Thornewill Design – Presented project; white garage doors.
 Public None
 Concerns (7:44) No concerns.
 Motion Motion to Approve as submitted with white garage doors. (Oliver)
 Vote Carried unanimously Certificate # HDC2020-01-0474

35. Spencer, Steven 01-0471 6 Magnolia Avenue Demo existing structure 73.3.1-57 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, engineer's report, historic documentation, and advisory comments.
 Representing Luke Thornewill, Thornewill Design – The gambrel appears in the rear of the property in 1916; structure moved forward in 1923 and rear ell attached. Engineer analyzed this; demolition is because little original fabric would remain. According to the engineer's report, without significant support, it couldn't be moved.
 Carrie Thornewill, Thornewill Design – The 1923 ell "bastardizes" the back wall of the original gambrel.
 Public None
 Concerns (7:46) Pohl – Read SAB comments: not in favor of total demolition. Read Ms. Backus comments: assessor puts this at circa 1916, could be older.
 Discussion about the historic value of the structure.
 Oliver – She doesn't think she can approve a total demolition; we should keep something of the original gambrel. If we open the door for total demos and rebuilding, we are turning Nantucket into Disney Land. The engineer is hired by so his results are skewed toward the client.
 Dutra – Understand what Ms. Oliver is saying.
 Watterson – He agrees with Ms. Oliver; okay with removing the rear ell. He could support holding the rebuild to the dimensional proportions of the main mass.
 McLaughlin – Due to the age, a demolition is questionable. Better to move than demolish.
 Pohl – He agrees with Ms. Oliver in saving the historic fabric. If we approve a like-kind rebuild, there are no exemptions with the building code; the new structure would have to meet code and would become taller; we would need a living record of the interior space so first floor and ridge relationships to grade stay the same.
 Motion Motion to Hold until we look at the new dwelling. (Dutra)
 Vote Carried unanimously Certificate #

Spencer

36. Spencer, Steven 01-0470 6 Magnolia Avenue New Dwelling 73.3.1-57 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.
 Representing Luke Thornewill, Thornewill Design – Presented project.
 Carrie Thornewill, Thornewill Design – This would be a rebuild of the historic house with cathedral ceilings, so the height wouldn't change from the original. Would keep the oversized 9 lights of the existing front door.
 Public None
 Concerns (8:07) Pohl – Read HSAB comments: save historic house. Read Ms. Backus comments.
 Oliver – Appreciates the idea. However, pitching saving the house and moving it forward doesn't work. The proposed addition is "eating" the front house; the 2nd-floor walls are very tall and could be shorter. The front house should be the existing house. She could not vote for this approach.
 Dutra – The addition swallowing the house is a good description. Gets the idea of the addition; but it should come down to 1.5 stories. He'd support trying to preserve the old building.
 Watterson – He has trouble with the massing of the addition being so large in proportion to the main mass. Okay with the width but about 3 feet should come out of the ridge height.
 McLaughlin – The proportions of the addition's gambrel roof are off. Front door shouldn't be a 15-light.
 Pohl – Agrees with what's been said; particularly the fact the addition outmatches the main mass.
 Motion Motion to Hold for revisions. (Dutra)
 Vote Carried unanimously Certificate #

3/14/2020

Spencer 3/14/20

17. Spencer, Steven 01-0471 6 Magnolia Avenue Demo existing structure 73.3.1-57 Thornevill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates Welch & Camp read back in.
 Recused None
 Documentation Architectural elevation plans, site plan, photos, correspondence, and historic documentation.
 Representing Carrie Thornevill, Thornevill Design
 Luke Thornevill, Thornevill Design
 Steven Spencer, owner
 Linda Williams

Public None
 Concerns (6:56) **Spencer** – Based upon previous comments, we’ve come up with a new proposal; explained their evaluation of the property indicated the existing structure had been significantly altered.
Williams – Reviewed the history of the structure as detailed in the historic packet. There was a gambrel structure on this lot in the 1920s which did not have the existing roof line; believes all sides and the roof have been moved or replaced since the mid-1960s. This has been moved at least once.
Thornevill – Believes a lot of original sheathing was rotten; even covered sheathing is not original. Feels that the groundcover isn’t any greater than for any other lot.
Pohl – Read into the record letters of concerns from Rob Benchley and Angus MacLeod.
Dutra – Confirmed that the structure didn’t move after 1923. Not in favor of a demolition of the gambrel. Mr. MacLeod’s points are valid that something nice can be done with this to carry the character of the 1916 structure even without the historic fabric; it is not structurally unstable.
Oliver – Questions the survey; it seems each one says contributing. We are holding the Codfish Park house because we want to confirm why it is being noted as contributing. The information is very helpful. Would like the front element to retain its present façade and character. Something of the front mass should be saved.
Watterson – Agrees the front gambrel should be preserved.
McLaughlin – Wants to see the next application.
Pohl – The fate of the front gambrel is tied to what’s being added on and he wants to see the new proposal. The gambrel form is to scale and really attractive and the board would like to see that retained.

Motion **Motion to Hold until after review of the new addition. (Dutra)**

Vote Carried 5-0 Certificate #

18. Spencer, Steven 01-0470 6 Magnolia Avenue New dwelling 73.3.1-57 Thornevill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates Welch & Camp read back in.
 Recused None
 Documentation Architectural elevation plans, site plan, photos, correspondence, and advisory comments.
 Representing Carrie Thornevill, Thornevill Design
 Luke Thornevill, Thornevill Design
 Steven Spencer, owner
 Linda Williams

Public None
 Concerns (7:20) **Thornevill** – Presented the revised project.
Pohl – Read into the record letters of concerns from Rob Benchley, Rita Carr, and Mary Wilkes.
Dutra – Huge improvement from first submittal; happy how the gambrel forward is more complementary. The rear addition is still much larger and should be minimized in any way such as reduce the height. In the previous submittal the east and west elevation gambrel looked better but with the gambrel forward would be better on the dormers.
Oliver – Thinks Mr. Dutra’s suggestion would make it look wider. Appreciates the changes. Changing to 2-over-2 is a concern; there’s something about the scale of having smaller panes especially facing the street.
Watterson – In general the redesign “nails it.” The original mass might be subordinate but maintains the history and streetscape. Agrees with Ms. Oliver about the windows especially facing the street.
McLaughlin – Noted a typographical error.
 Discussion about saving the front gambrel.
Pohl – In every other historic district, if you have an old building, the new part shouldn’t look like the existing. What will really help is a perspective view. We’re all favorably inclined to what is proposed and looking for minor tweaks to fenestration. We need more information on the front part of the building in order to rule on saving versus dismantling versus razing.

Motion **Motion to Hold for revisions. (McLaughlin)**

Vote Carried 5-0 Certificate #

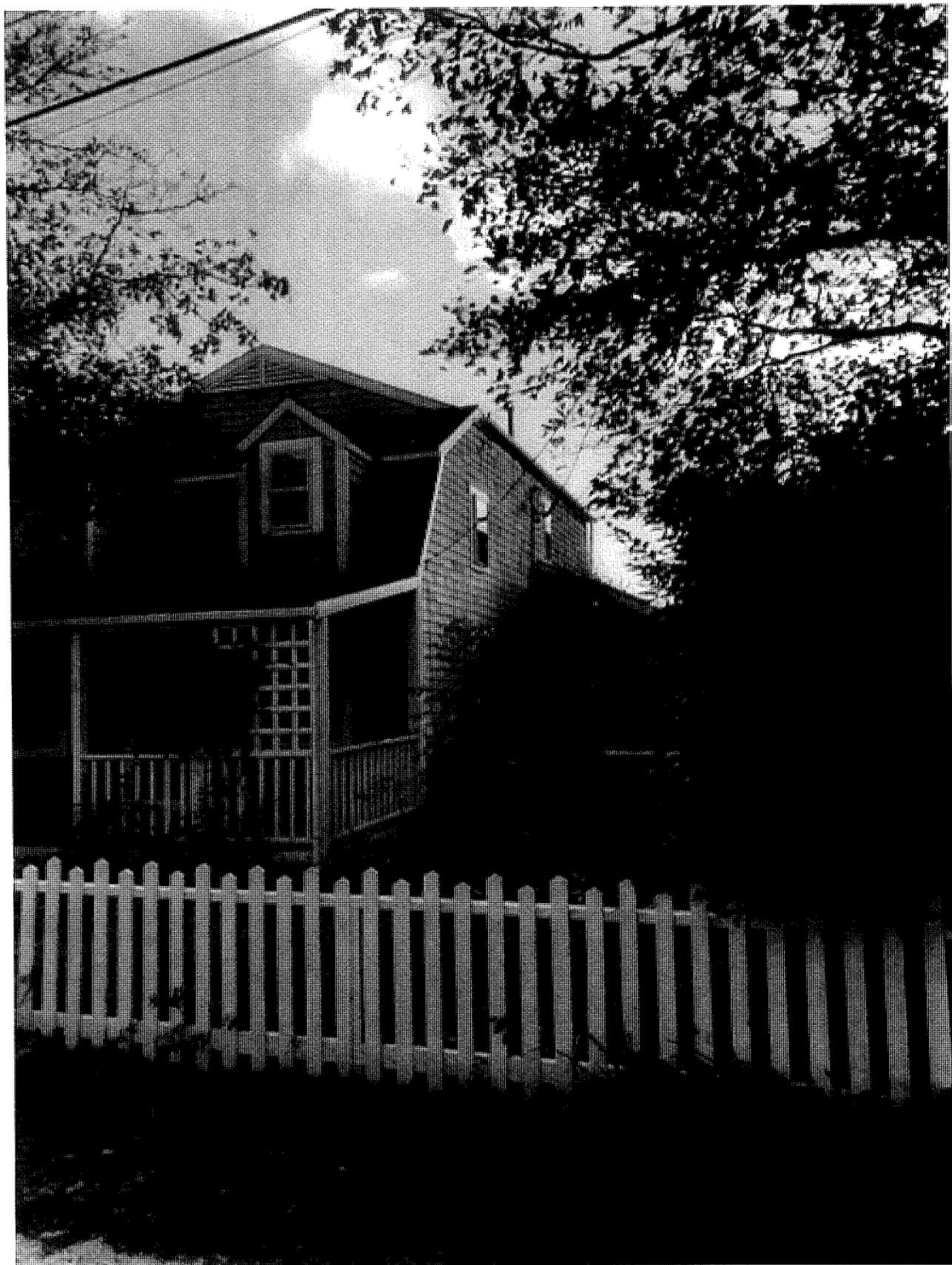
PHOTOS EXISTING HOUSE

From: Carrie Thorne will carriethornewill@gmail.com
Subject: 6 Magnolia
Date: December 9, 2019 at 10:57 AM
To: Caroline Thorne will thornewilldesign@comcast.net

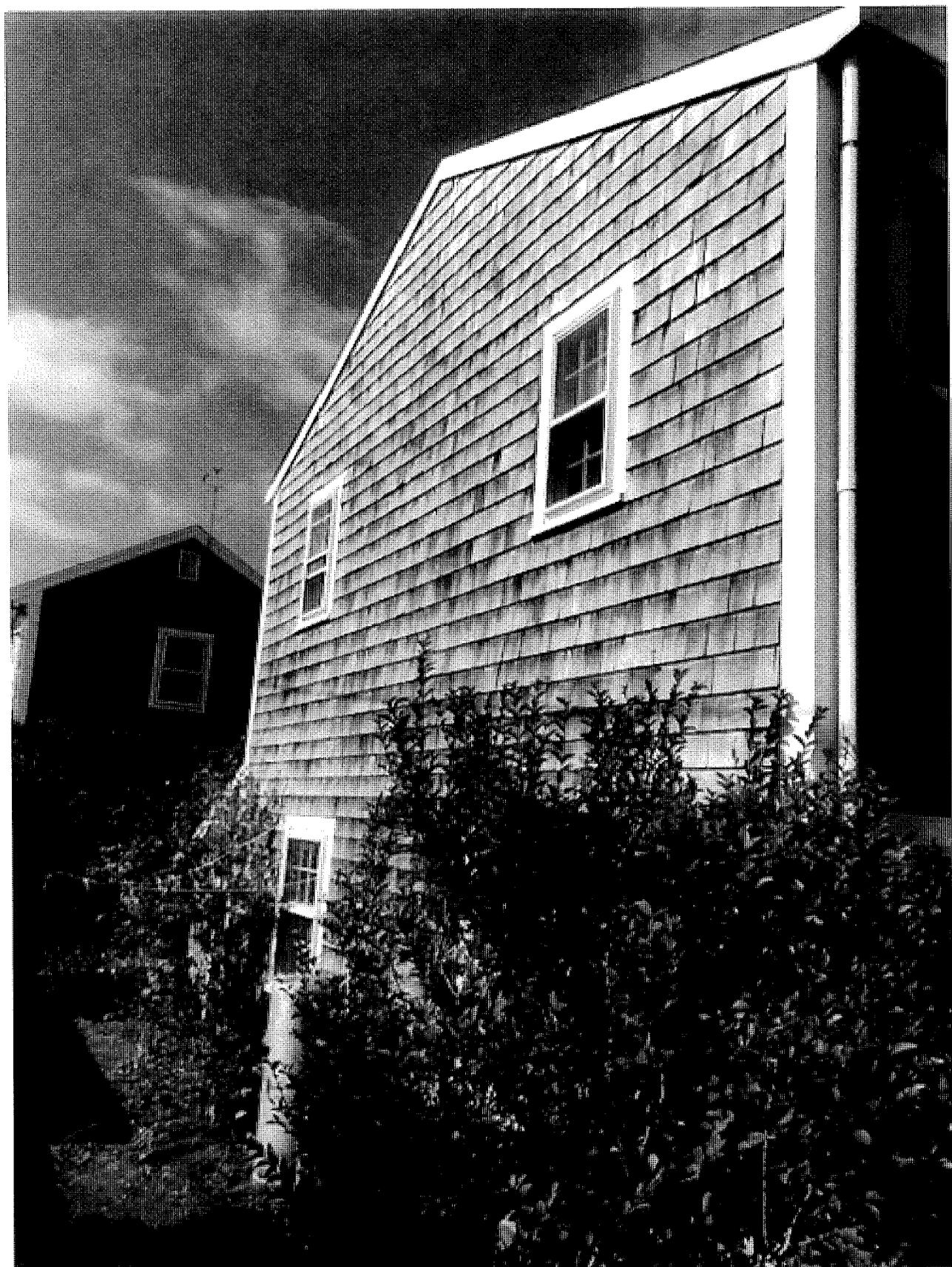


Sent from my iPhone

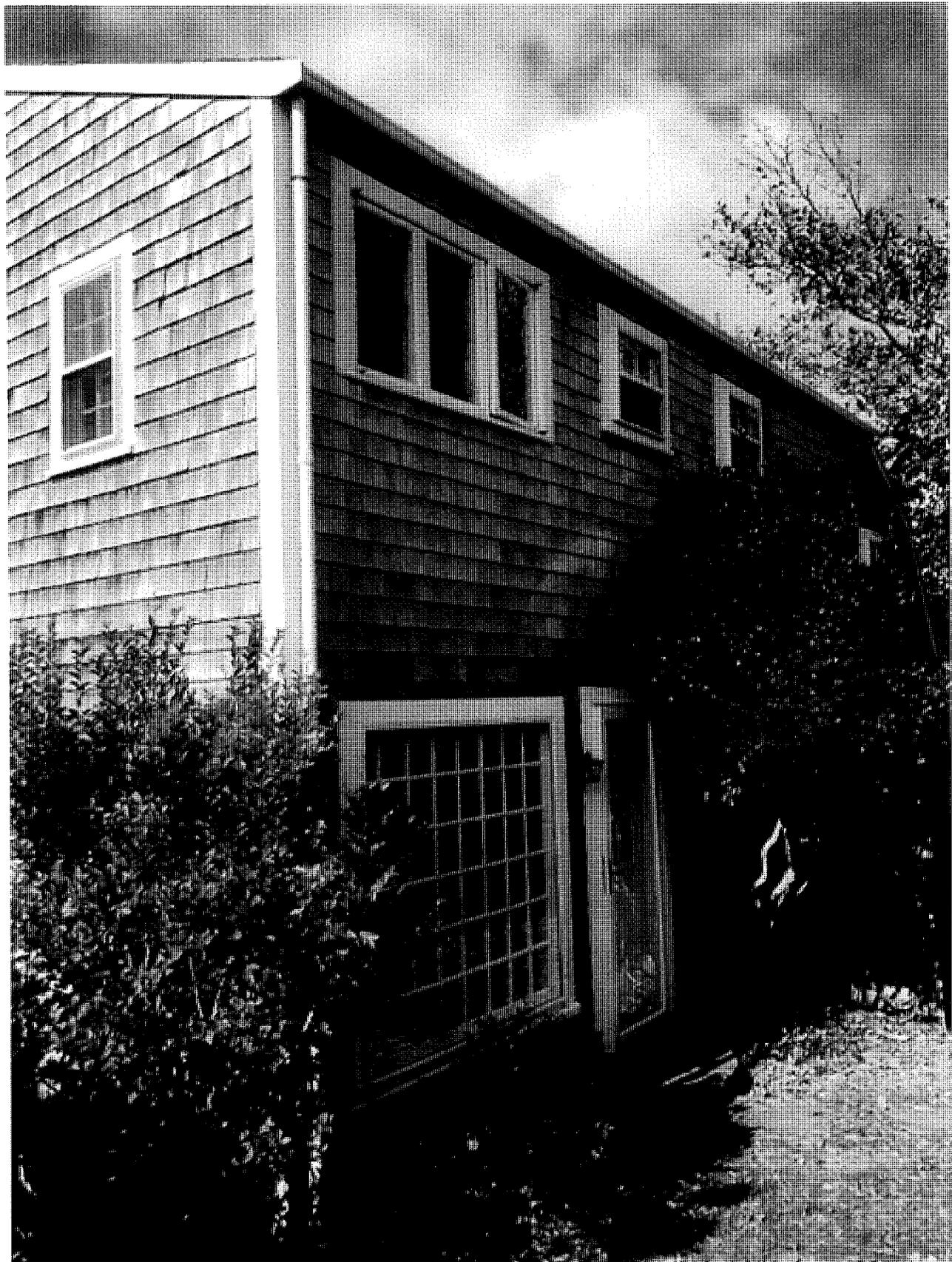
6 MAGNOLIA NORTH



WEST



SOUTH



EAST

Date/Time 1/13/20

To: Historic District Commission
From: 'Sconset Advisory Board

Members Present

Rob Benchley Caroline Ellis Angus Macleod Mary Will
Alternate: Clement Durkes

Applicant SPENCER Address 6 MAONOLIA

Historic information/known history

Non-Contributing Contributing Individually significant

Comments

Incomplete application Historical information needed No Concerns Recommend View

Does not meet guidelines Not appropriate (As noted below)

North Elevation

East Elevation

West Elevation

South Elevation

Other

RATHER APPLICANT WORK WITH ORIGINAL STRUCTURE
SAVE historic house

Public Comment

Signatures (three members required for quorum)

[Signature] [Signature] [Signature]

X SAB *

HDC Application Review Worksheet

SPENCER / NEW HOUSE

- 1. Staff Initials: HSB
- 2. Meeting date: 1/19/2020
- 3. Property address: 6 MAGNOLIA
- 4. Scope of work: NEW SF DW - IN PLACE OF HISTORIC SF COTTAGE

- 5. If the site is located within the OHD or SOHD, please circle which one.
- 6. Is the structure, building, hardscaping, or other exterior architectural feature open to view from a beach, a public way, a traveled way, a street or way shown on a land court plan or shown on a plan approved and endorsed in accordance with the Subdivision Control Law, a public park or a public body of water? If yes, specify which portions.
 - a. North elevation: _____
 - b. South elevation: _____
 - c. East elevation: _____
 - d. West elevation: _____

7. What is the distance between the proposed structure, building, hardscaping, or other exterior architectural feature and the location from which it is open to view? YES feet

8. Other: _____

9. Comments on proposal: _____

PROPOSING 1169 ID GC FROM 705 ID
 * WHY DEMO EXISTING + NOT PROPOSE A MODEST/HISTORICALLY APPROPRIATE ADDITION? - CAN BE DONE - IF WANTING BASEMENT - AS SHOWN ON PLANS.

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 173-3.1 PARCEL N^o: 57
Street & Number of Proposed Work: 6 MAGNOLIA AVE
Owner of record: STEVEN SPENCER
Mailing Address: 510 CAPITAL
850 Third Ave. 16th FL N.Y.N.Y 10022
Contact Phone #: 516-662-1820 E-mail: _____

AGENT INFORMATION (if applicable)

Name: THORNEWILL DESIGN, LLC
Mailing Address: 48 DUKES RD
NANTUCKET MA 02554
Contact Phone #: 228-9161 E-mail: _____

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling
 Addition
 Garage
 Driveway/Apron
 Commercial
 Historical Renovation
 Deck/Patio
 Steps
 Shed
 Color Change
 Fence
 Gate
 Hardscaping
 Move Building
 Demolition
 Revisions to previous Cert. No. _____
 Pool (Zoning District _____)
 Roof
 Other _____
 Size of Structure or Addition: Length: 44.5 Sq. Footage 1st floor: 1169 ± Decks/Patio: Size: 6x20.5 1st floor 2nd floor
 Width: 30.5 Sq. Footage 2nd floor: 540 ± Size: 10x24 ± 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North 19'-5" ± South 23'-5" ± East 23'-5" ± West 23'-5" ±

Additional Remarks

- REVISIONS* 1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation

Historic Name: _____
 Original Date: _____ (describe)
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass GAMBREL Secondary Mass GAMBREL Dormer EXIST/6.5/12
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) WOOD PAINTED
 Leaders (material and size): 2"
 Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia 1x8 Rake 1x6 Soffit (Overhang) _____ Corner boards 5/4x6 Frieze _____
 Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round _____ Square 4x4

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____
 Hardscape materials: Driveways SHELL Walkways _____ Walls _____

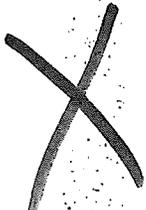
* Note: Complete door and window schedules are required.

COLORS

Sidewall WHITE CEDAR Clapboard (if applicable) _____ Roof MATCH EXISTING GREY
 Trim WHITE Sash WHITE Doors WHITE
 Deck MATCH EXISTING Foundation NAT. CONCRETE Fence WHITE Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.



Holly Backus

From: Rita Carr <rcarr@nantucketpreservation.org>
Sent: Monday, February 03, 2020 4:16 PM
To: Holly Backus; Mary Bergman
Subject: RE: 6 MAGNOLIA STATUS REPORT FOR FILE

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Holly,

Thank you, this is interesting to see!

It looks like they are trying to discount the possibility that any part of the current building is from the small structure on the 1904 and 1909 Sanborn maps. A line from the May 15, 1920 "Sconset Notes" made me think that's not true; it reads "Charles Carroll Taber is making a very comfy igloo for Levi S. Coffin from a small building on the Genesee Lodge property." It seems likely to me that the gambrel part of the structure is pre-1904 and was incorporated into the Levi Coffin's 1920 "igloo."

All the best,
Rita

Rita Carr
Director of Media and Communications

NANTUCKET PRESERVATION TRUST

11 Centre Street
PO Box 158
Nantucket, MA 02554
508.228.1387

rcarr@nantucketpreservation.org

Become a [MEMBER](#) and support our work!



NANTUCKET PRESERVATION TRUST

Preserving the Island's Architectural Heritage

From: Holly Backus <hbackus@nantucket-ma.gov>
Sent: Monday, February 3, 2020 3:34 PM
To: Mary Bergman <mbergman@nantucketpreservation.org>
Cc: Rita Carr <rcarr@nantucketpreservation.org>
Subject: FW: 6 MAGNOLIA STATUS REPORT FOR FILE

FYI – info on 6 Magnolia on tomorrow night's HDC agenda.

Holly E. Backus

Scooped Notes

The fishermen have started putting...

Miss Marie Nichols was one of the...

Mr. and Mrs. Clarence White were...

Thursday was a lovely day for...

Frank Halgate is having a new...

Mr. W. C. MacMillan was held...

Some beautiful persons, guests...

A party of young people from...

The staff in both schools will...

Mr. and Mrs. June Baker, of...

Miss Frances and Esther...

Miss F. H. H. Armstrong and...

"If a wet day, let it be" is a...

Charles Carroll Taylor is making...

A bath house has been built...

Mr. Arthur T. Dixon is now...

A hard day for the women, with...

Miss Alice work, the only...

William C. Cash and William...

Miss Miller, who will camp...

Mr. and Mrs. F. H. White...

Charles C. Herold, a veteran...

We are prepared to fill...

Franking the Sabbath is not...

The business and office...

Miss Emma in Coddish Park...

Wednesday was a rainy day...

Everybody was smiling...

Miss Mary and Arthur C....

Miss Taylor didn't...

Levi S. Coffin – previous owner

Charles Carroll Taber is making a very comfy igloo for Levi S. Coffin, from a small building on the "Gene-see Lodge" property.

A bath-room bug appears to have "lit" in the village, a dozen of these luxurious necessities being in various stages of installation.

Mrs. Arthur T. Shand is here for a short stay. She has had as guest her friend Mrs. Wemple of West Brighton, Staten Island.

Holly Backus

From: ROBERT BENCHLEY <benchley@comcast.net>
Sent: Tuesday, February 04, 2020 10:02 AM
To: Holly Backus; Cathy Flynn
Subject: 6 Magnolia Ave revisions

Categories: HDC

Hello Cathy and Holly,

First of all, thank you both for giving members of the SAB, individually, the opportunity to view the revisions to the proposed work at 6 Magnolia Ave. your efforts are truly commendable.

Secondly, the scope of the research supplied by the applicants is most impressive and its significance is so noted.

Lastly, I feel that the revisions to the application are far superior to the original proposal, and are much more in keeping with quirky historical evolutions of 'Sconset's architectures.

Thank you again for this opportunity to comment.

I have not discussed this newest revision, nor my thoughts, with other members of the SAB.

Sincerely,

Rob Benchley



HD
W. J. ...
TOWN CLERK

2020 JAN 30 PM 12:28

Nantucket Historic District Commission

Mullin Rule Certification (GL c. 39 Sec. 23D)

Pursuant to G.L. c. 39, § 23D, the undersigned member of a board, committee or commission of the Town of Nantucket hereby certifies that he or she has examined all of the evidence received by the said board, committee or commission at the one session of its adjudicatory hearing on the matter identified below which the undersigned member failed to attend, and that such evidence included an audio or video recording of the missed session or a transcript thereof. This Certification has been executed prior to the undersigned's participating in a vote on the matter and shall be part of the record of the hearing.

Member Name: Stephen Welch

Board, Committee or Commission: Nantucket Historic District Commission

Subject Matter of Hearing: 6 Magnolia Ave (Demo DWG/New DWG)

Date of Missed Session: 01/14/2020

Signed under the pains and penalties of perjury this 28 day of January, 2020.

Signature

Holly Backus

From: Angus Macleod <angusonack@gmail.com>
Sent: Tuesday, February 04, 2020 1:17 PM
To: Cathy Flynn
Cc: Holly Backus
Subject: Re: 6 Magnolia Ave submissions for Old Business meeting 2/4/20- PLEASE DO NOT REPLY ALL

Categories: HDC

To whom it may concern ~

The proposed alterations to 6 Magnolia Avenue overwhelm the historic gambrel roofed structure at the front of the existing house, just as the 1970's addition did. Replacing the insensitive modern addition with something more in keeping with style and scale of the original structure is a great opportunity and my sincere hope is that the current owners take that opportunity.

The lot at 6 Magnolia is the smallest lot on the street and the scale of the finished structure needs to reflect that. The proposed program is ambitious, more than doubling the existing sleeping capacity! Moving the structure forward isn't inconsistent with other structures on the street, but as mentioned before, there's less open land to work with to create the balance of natural and built space that exists today.

I believe it is possible to accomplish the new owners objectives and correct the errors of the 1970's addition without building as high or sprawling to the extent of what is currently proposed.

Thank you for your consideration!

Sincerely ~
Angus MacLeod
'Sconset Advisory Board member

On Jan 30, 2020, at 12:50 PM, Cathy Flynn <cflynn@nantucket-ma.gov> wrote:

Hi,

Attached are revisions requested at the 1/14/20 meeting were brought in today for the Old Business meeting 2/4/20. If you would like to make individual comments, PLEASE DO NOT REPLY ALL.

Cathy

Cathy Flynn
Land Use Specialist
Town of Nantucket
Planning and Land Use Services
2 Fairgrounds Road
Nantucket, Ma 02554

Holly Backus

From: ROBERT BENCHLEY <benchley@comcast.net>
Sent: Tuesday, February 04, 2020 10:02 AM
To: Holly Backus; Cathy Flynn
Subject: 6 Magnolia Ave revisions

Categories: HDC

Hello Cathy and Holly,

First of all, thank you both for giving members of the SAB, individually, the opportunity to view the revisions to the proposed work at 6 Magnolia Ave. your efforts are truly commendable.

Secondly, the scope of the research supplied by the applicants is most impressive and its significance is so noted.

Lastly, I feel that the revisions to the application are far superior to the original proposal, and are much more in keeping with quirky historical evolutions of 'Sconset's architectures.

Thank you again for this opportunity to comment.

I have not discussed this newest revision, nor my thoughts, with other members of the SAB.

Sincerely,

Rob Benchley

Cathy Flynn

From: Mary Will <marywill@comcast.net>
Sent: Tuesday, February 04, 2020 12:37 PM
To: Cathy Flynn
Subject: Re: 6 Magnolia Ave submissions for Old Business meeting 2/4/20- PLEASE DO NOT REPLY ALL

Thanks Cathy for forwarding my comments to the HDC regarding the revised submission for 6 Magnolia, Sconset.

To the Historic District Commission:

I have reviewed revised architectural drawings and a comprehensive historical brief on the building at 6 Magnolia Avenue. As a member of the Sconset Advisory Board to the HDC, I saw two sets of earlier plans concerning the current owners' plans for renovations to their home.

At the time we reviewed the last submission, accompanied by an engineer's assessment that the existing building should be demolished, I despaired about another assault on the historic fabric of Sconset village. I have been aware of the existing structure throughout my life in Sconset as acquaintances lived in it during my childhood and, indeed, owned it until just recently. While I have no illusions about the architectural merit of the rear addition, I believe the older cottage on the street to have a character I would hate to see lost. The excellent brief concerning the lot, its subdivision, the first appearance of a house and its subsequent additions, warts, changes, etc. gave me heightened perspective and important information to consider.

I wish the HDC to know that 1) I still oppose demolition of the street side portion of 6 Magnolia. I favor demolition of the '70s two-story addition. 2) moving the remaining portion of the house seems advantageous. 3) the newly shown gambrel roofline on the proposed rear addition is an elegant solution to having the larger mass in the rear, leaving the shorter cottage street-side.

All in all I favor the plans under consideration this evening and am grateful to the HDC, historic preservationists, architects and home owners who have worked together to hone plans and find a better solution to this property's improvement. Change at 6 Magnolia has been inevitable since the previous owners decided to sell, but with these plans, I think its charming character can be retained while another family makes themselves a comfortable place to spend summers.

Sincerely,

Mary Will

Mary Lathrop Will
978-621-5940
Sent from my iPhone

On Jan 30, 2020, at 4:14 PM, Cathy Flynn <cflynn@nantucket-ma.gov> wrote:

Yes send an email to me. I will print it out so that it will be read into the record at the meeting as a citizen comment. Since the submission came in too late for me to post a SAB meeting.

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS
for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

AX MAP NO: 73.3.1 PARCEL NO: 57
Street & Number of Proposed Work: 6 MAGNOLIA AVE
Owner of record: Steven Spencer
Mailing Address: SMB CAPITAL
850 Third Ave. 16th fl. NY NY 10022
Contact Phone #: 516-662-1820 E-mail:

AGENT INFORMATION (if applicable)

Name: HORNEWILL DESIGN, LLC
Mailing Address: 48 DUKES RD
NANTUCKET MA 02554
Contact Phone #: 228-9101 E-mail:

FOR OFFICE USE ONLY	
Date application received: <u>7/8/2020</u>	Fee Paid: \$ <u>1000.00</u>
Must be acted on by: <u>3/14/2020</u>	
Extended to: _____	
Approved: <u>[Signature]</u>	Disapproved: _____
Chairman: _____	
Member: _____	
Member: <u>[Signature]</u>	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	
<u>PER SELECTIVE DEMO PLAN & NOT DEMO'D TO REMAIN INTACT, RAISED FOR NEW FNDTN</u>	

DESCRIPTION OF WORK TO BE PERFORMED
See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____

Pool (Zoning District _____) Roof Other _____
Size of Structure or Addition: Length: 34.5 ± Sq. Footage 1st floor: 705 ± Decks/Patio: Size: 20.5 x 7 1st floor 2nd floor
Width: 20.5 ± Sq. Footage 2nd floor: _____ PORETT Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks _____
Historic Name: N/A REVISIONS: 1. East Elevation
Original Date: 1916 / 1960's ? ADDITION (describe) 2. South Elevation
Original Builder: UNKNOWN 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass GAMBREL Secondary Mass 5/12 Dormer 1/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1 x 8 Rake 1 x 6 Soffit (Overhang) _____ Corner boards 6" Frieze _____
Window Casing 4" x 5" Door Frame 4" x 5" Columns/Posts: Round _____ Square 4"

Windows: Double Hung Casement All Wood Other PICTURE - 48 LIGHT
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front 9 LIGHT Rear _____ Side 10 LIGHT / 9 LIGHT
Garage Door(s): Type _____ Material _____

Landscape materials: Driveways _____ Walkways _____ Walls _____
Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

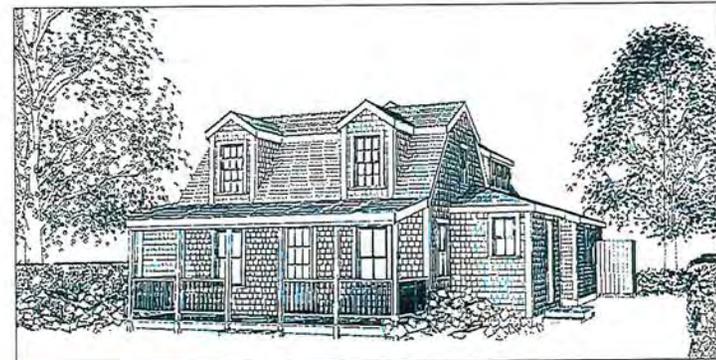
Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

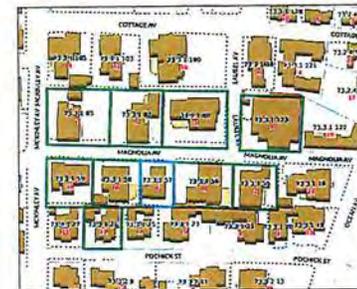
Plans Reduc'd

Spencer Residence

6 Magnolia Avenue
Nantucket, Massachusetts

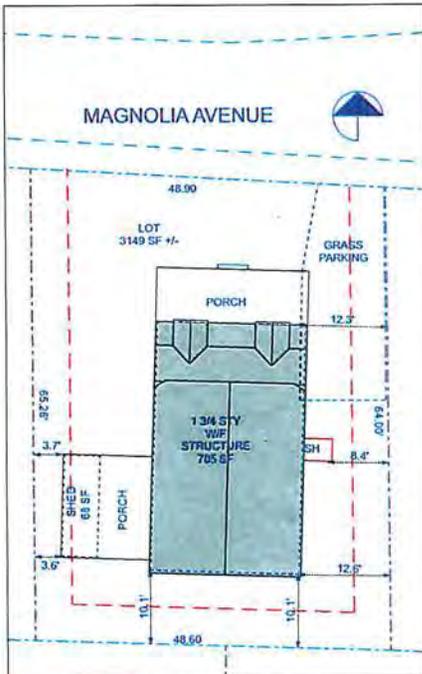


Northwest Perspective



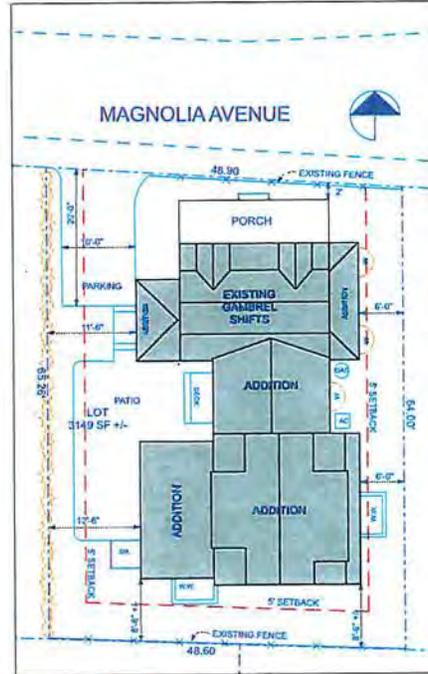
Locus

DRAWING INDEX	
A0.0	COVER SHEET, SITE PLAN, LOCUS
A1.1	FLOOR PLANS/ SCHEDULES
A1.2	FLOOR PLANS/ SCHEDULES
A2.1	ELEVATIONS
A3.1	SECTIONS



Existing Site Plan

SCALE: 1/8" = 1'-0"



Proposed Site Plan

SCALE: 1/8" = 1'-0"

ZONING DISTRICT- SOH (Scotset Old Historic)
 MINIMUM LOT SIZE: 5000 SF (3149 SF ACTUAL)
 MINIMUM FRONTAGE: 50 FT
 FRONT YARD SETBACK: NONE
 REAR/SIDE SETBACK: 5 FT
 GROUND COVER RATIO: 50% or 2,500 SF
 EXISTING G.C.R. - 24.5%
 EXISTING G.C. - 335 SF
 PROPOSED G.C. - 904 SF
 TOTAL G.C. = 1239 SF

APPROVED

HDC2020 -01 - 0471

No Exterior Changes
Without HDC Approval

RECEIVED
 FEB 12 2020
 BY _____

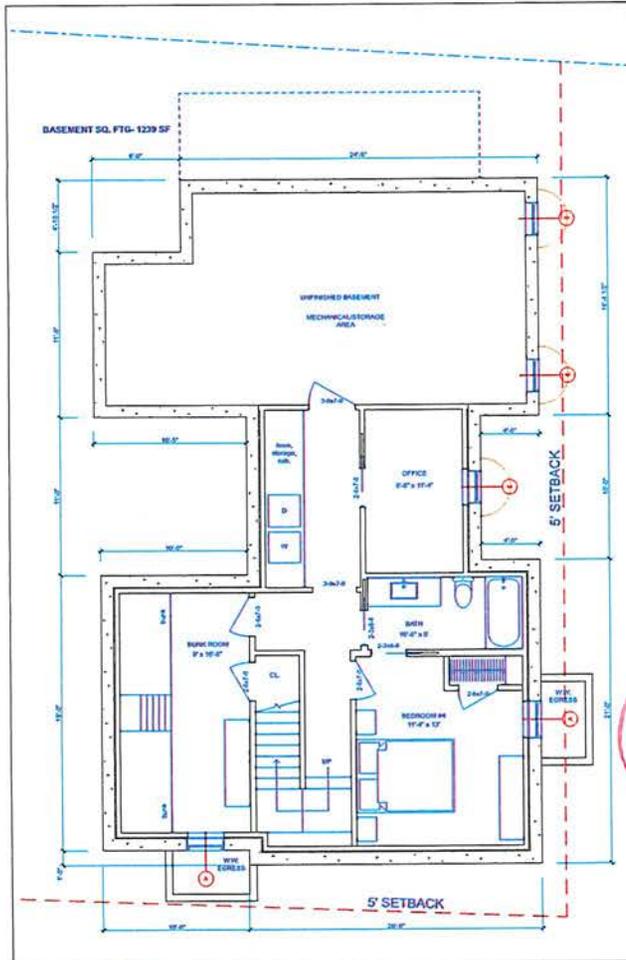
REVISION/REVISION DATE
HDC 1 1/18/20
HDC 2 1/20/20
HDC 3 2/12/20

Spencer Residence
 6 Magnolia Avenue
 Nantucket, Massachusetts
 Map & Parcel
 733.1 SF

USE OF EXISTING
 The drawings are to be used in accordance with the provisions of the Massachusetts State Building Code, Chapter 248A, Section 248A.02(1)(b).
 © Thomas Design LLC 2019

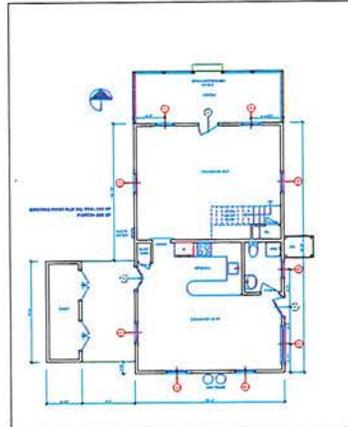
Thornhill Design LLC
 48 Dufferin Road
 Nantucket, MA 02554
 Tel: 508 235 9163 Fax: 508 235 3165

Sheet No:	A0.0
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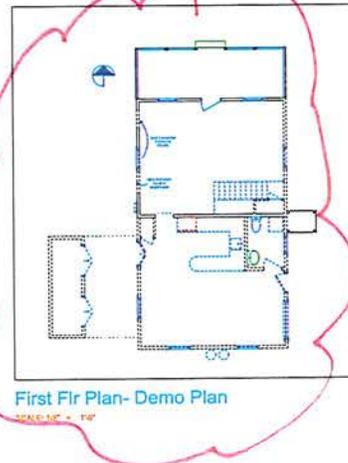
Basement Plan- Proposed

SCALE: 1/4" = 1'-0"



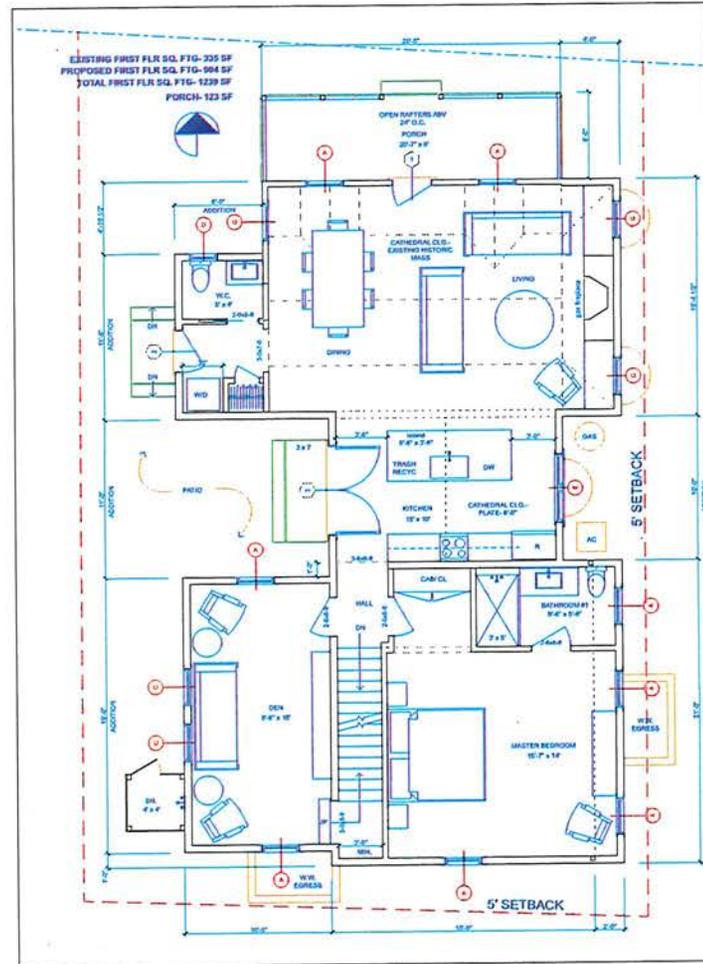
First Floor Plan- Existing

SCALE: 1/8" = 1'-0"



First Floor Plan- Demo Plan

SCALE: 1/8" = 1'-0"



First Floor Plan- Proposed

SCALE: 1/8" = 1'-0"

WINDOW SCHEDULE							
ID	#	MANUFACTURER	UNIT DIMENSION	MIN ROUGH OPNG	REMARKS	DP	U VALUE
A	11		2'-5 5/8" x 4'-4 7/8"	2'-6 1/8" x 4'-4 7/8"	2/2 DOUBLE HUNG, WD, TDL		
B	2		2'-1 5/8" x 4'-0 7/8"	2'-2 1/8" x 4'-0 7/8"	2/2 DOUBLE HUNG, WD, TDL		
C	5		2'-5 5/8" x 4'-0 7/8"	2'-6 1/8" x 4'-0 7/8"	2/2 DOUBLE HUNG, WD, TDL		
D	3		1'-9 5/8" x 3'-0 7/8"	1'-10 1/8" x 3'-0 7/8"	6/6 DOUBLE HUNG, WD, TDL		
E	11		2'-1 5/8" x 3'-0 7/8"	2'-2 1/8" x 3'-0 7/8"	2/2 DOUBLE HUNG, WD, TDL		
F	2		2'-1 5/8" x 4'-0 7/8"	2'-2 1/8" x 4'-0 7/8"	6/6 DOUBLE HUNG, WD, TDL		

BOSTON SASH WINDOWS

DOOR SCHEDULE							
ID	#	MANUFACTURER	UNIT DIMENSION	ROUGH OPNG	REMARKS	DP	U VALUE
1	1		2'-0" x 6'-4"		INGWING - 15 LITE ABV/ 1 PANEL BELOW, TDL		
2	1		2'-0" x 6'-0"		INGWING - 4 LITE ABV/ 1 PANEL BELOW, TDL		
3	1		6'-0" x 7'-0"		FRENCH INGWING - 6 LITE EA, TDL		

REVISION/REVISION DATE
REV 1 1/9/20
REV 2 2/20/20
REV 3 2/20/20

Spencer Residence
 6 Magnolia Avenue
 Nantucket, Massachusetts

USE OF DRAWING
 This drawing is the property of the Designer and is to be used only for the project and location specified herein. It is not to be used for any other project or location without the written consent of the Designer.

Thomas J. Design, LLC
 48 Duane Road
 Nantucket, Ma. 02554
 Tel: 508 228 9161 Fax: 508 228 3165

Sheet No:
A1.1

SJG Engineering LLC

6 Golden Gate Drive

Hooksett, NH 03106

(c) 207-752-3274

SJGEng@Comcast.net

January 13, 2020

Thornewill Design

Attn: Luke Thornewill

48 Dukes Rd. Nantucket, MA 02554

Re: Existing building move

6 Magnolia Ave. Nantucket, MA 02554

Dear Luke,

On January 8, 2020 we visited the subject property to review the existing building as to the proposed lift and move onto a new foundation as noted in your drawings dated December 6, 2019.

The existing original house was constructed in 1800 and has undergone significant additions and renovations since. The addition at the rear of the existing building involved significant removal of the existing gambrel roof structure. Further investigations show that over time, there have been other construction alterations and remediations which involved board siding replacement, window replacement and front dormer rebuilds.

The materials in situ at the 1800 building are not indicative of the age of the building. The above statement is based upon the use of tongue and groove decking, finish planed framing and roof decking as well as siding boards that are planed differently than what was done in the 1800s.

The plan to raise and move the existing portion of the house is troublesome as the work done in the past when adding the rear structure significantly degraded the overall stability of the building.

Three of the six gambrel roof bents have been cut to add the rear building. No additional work was done to provide an adequate load path, which is causing the front wall of the 1800s building to push out.

The front porch has also moved away from the building structure due to undersized members, inadequate fastening to the building and cut/modified rafters.

The wall framing is typical of the style where the 2x4 studs are spaced at door and window openings and the siding spans horizontally. The nails used to connect the siding to the studs are the old iron type which over time rusts and loses strength in a marine atmosphere.

Our opinion is that when the rear part of the building is removed and the 1800s original house is raised, it will probably collapse without fully sheathing the building with plywood and re-building the gambrel roof trusses with new framing, connectors and plywood. All of which would have to be removed and re-built to enable the renovation to be accomplished as noted in your drawings. Essentially, the building would be reinforced, raised, moved and then placed on a new foundation. After which, the reinforcement would be removed and then the work would commence to remediate the issues with the structure. The cost to do so would more than double the amount of work and materials needed for the project resulting in a significant financial hardship for the owners. Our other concerns are for the safety of the workers as moving this building could be hazardous without significant shoring and costs.

Our recommendation is to demolish the existing building while saving and re-using 1800s era materials as much as possible for finish floors, faux beams, etc...

SJG Engineering LLC

6 Golden Gate Drive

Hooksett, NH 03106

(c) 207-752-3274

SJGEng@Comcast.net

Please feel free to contact us if you have any questions or comments.

Thank You.

Sincerely,

Stephen J. Goan

Stephen J. Goan, PE, SE
Principal.



w/ encl - photos.
Copy: file



Cut gambrel rafters.

Under-sized improperly supported beam

Stud supports partition.

Interior photo of cut out gambrel roof framing

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Line of ridge and change in roof slope at old ridge.

Flat trim board. No structural beam here.



Balloon framed wall with top of wall plate. the floor slopes approximately 3" towards the stair.

Old Stair opening

Rear addition to be removed. Sloping floor, roof inadequately supported.



Newer wood than original for dormer framing.

Front gable dormer. Materials do not match 1800s framing.

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Cut stud

Window header does not extend to full height studs.



Gable wall window improperly framed. Window is not original. Left window jamb stud is cut and additional piece of wood added above. There are no visible fasteners.

Flooring and stud movement.



Left picture shows balloon framed stud. Right photo is a close-up showing structural movement causing the decking to raise and stud wall move outward. The front porch is on the opposite side of this wall.

6 Magnolia Ave. Nantucket, MA



Gap indicating movement

Opposite side of center partition where deck and stud wall are pulling away towards the street.



Lower boards are not as wide and are planed differently.

The lower boards are not rough sawn in the pattern of the upper boards. The lower boards are replacements.

SJG Engineering LLC
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Hooksett, NH 03106
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SJGEng@Comcast.net

Gaps indicate structural movement in wall. Lower bows show the wafer-board warping as the wall is moving



Gaps behind the window casement indicate building movement.



Front porch rafter is pulling away from the building.

Trim board between rafters is pulling away from the building.

The front porch rafters are pulling away from the building wall.

EXISTING STRUCTURE

EXISTING ADDITION

NOTE - ALL FRAMING 2x4 @ 16" OC ALL - NEWER LUMBER

DOCKED STRUCTURE 2x4 1 1/2" x 3 1/2" NEWER LUMBER LATE 1960'S

SINGLE CORNER TIE TO 6" FROM EAST END WALL

2" x 3 3/4" (TYP.) RAFTERS ARE ALSO 2" x 3 3/4"

2" x 3 3/4" PLATE @ RAFTER CONNECTION

NEW 2x4

2" x 3 3/4" PLATE TYP.

35"

38"

35"

40"

2x4

7 1/2" FLOORING AND JOIST

2x6

2 x 3 3/4" STUDS

BALANCED FRAME

EXISTING ADDITION

CORNER BRACES 2" x 3 3/4"

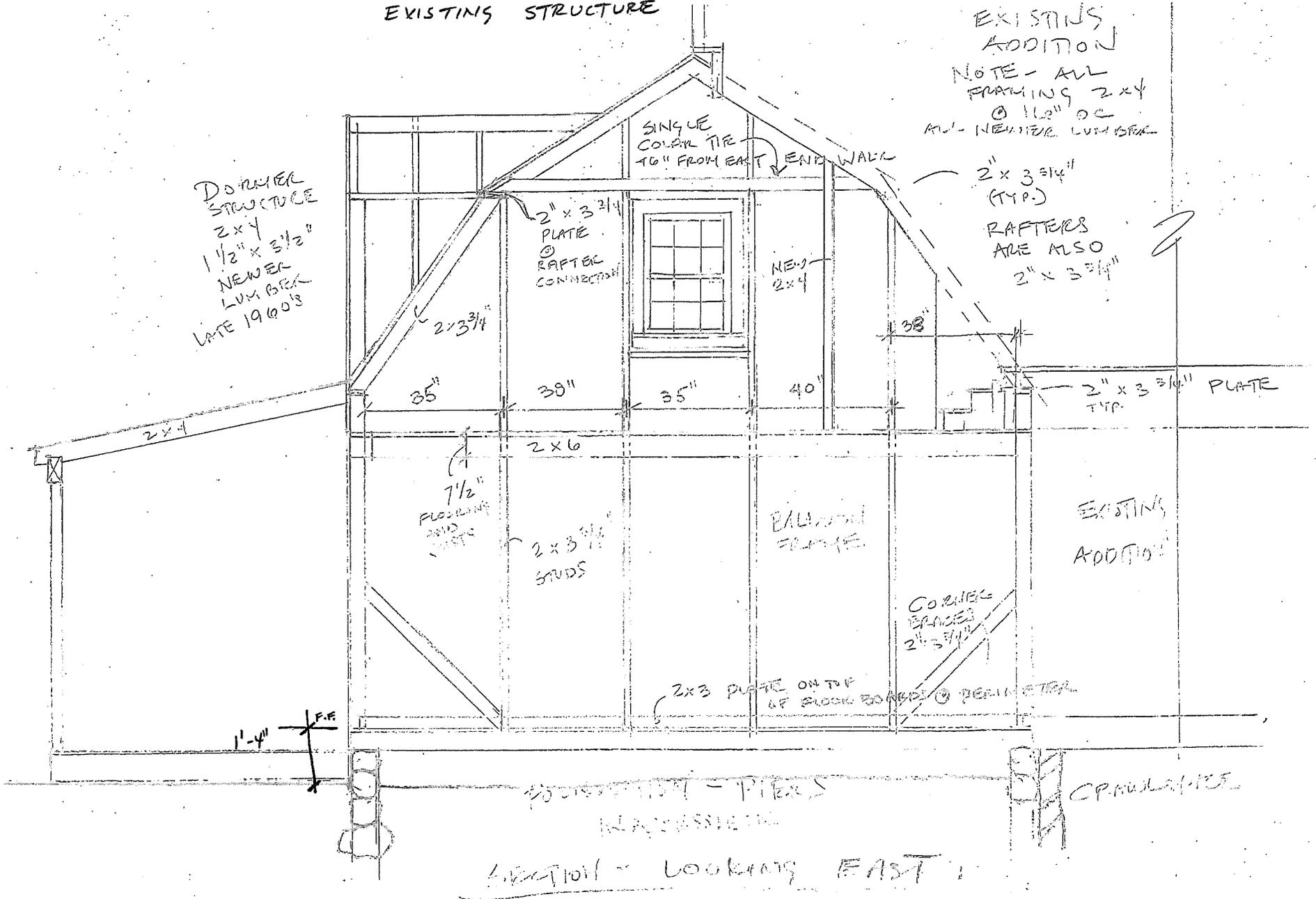
2x3 PLATE ON TOP OF BLOCK BOND @ PERIMETER

1'-4" F.F.

FOUNDATION - PIERS REINFORCED

CRACKS

SECTION - LOOKING EAST



RAFTERS
(UPPER
ROOF)

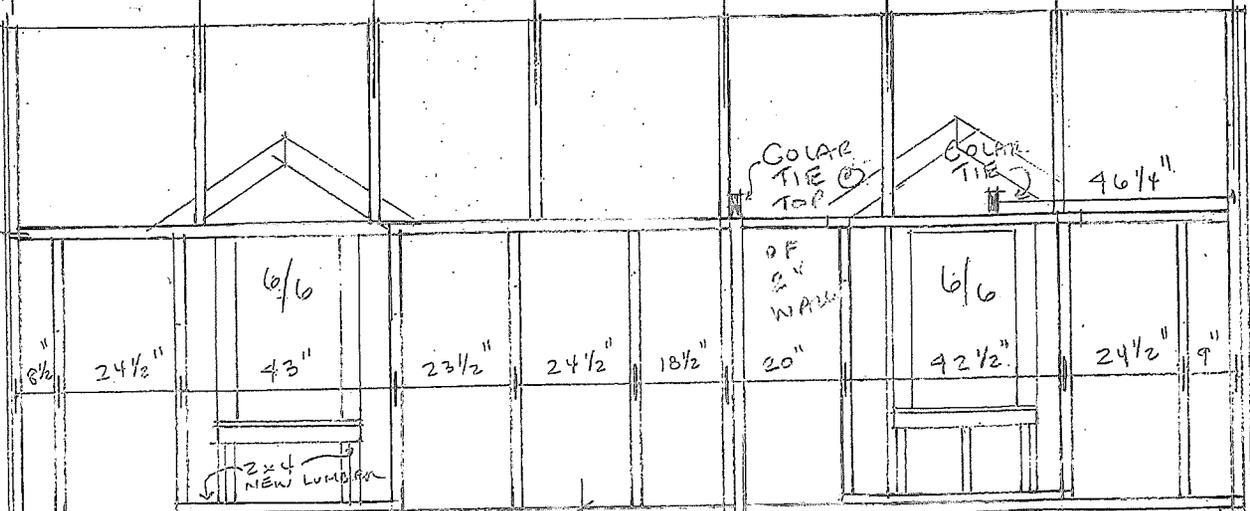
34 1/2" 35" 31 1/2" 37 1/2" 32 1/2" 34" 35"

NO RIDGE
BEAM

ALL
FRAMING
DORMERS
IS
2x4 (1 1/2" x 3 1/2")
NEWER LUMBER
DIMENSIONS.

RAFTERS
(LOWER
ROOF)

PLATE



TOP OF
PLATE

11'-9"
5"

12" TOP OF
PLATE

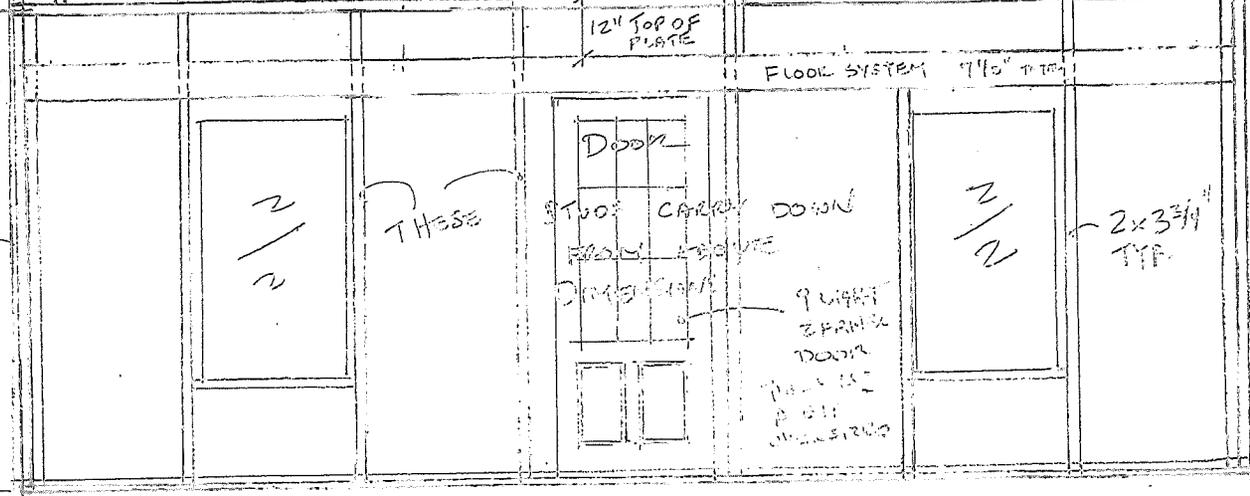
FLOOR SYSTEM 9 1/2" MIN

FLOOR

WALL
STUDS

STUD-NOTCHED @ PLATE
2x
BOTTOM PLATE 3"

PLATE



THESE

STUDS CARRY DOWN
FROM ABOVE
DIMENSIONS

PLATE
BRACK
DOOR

2x3 3/4"
TYPE

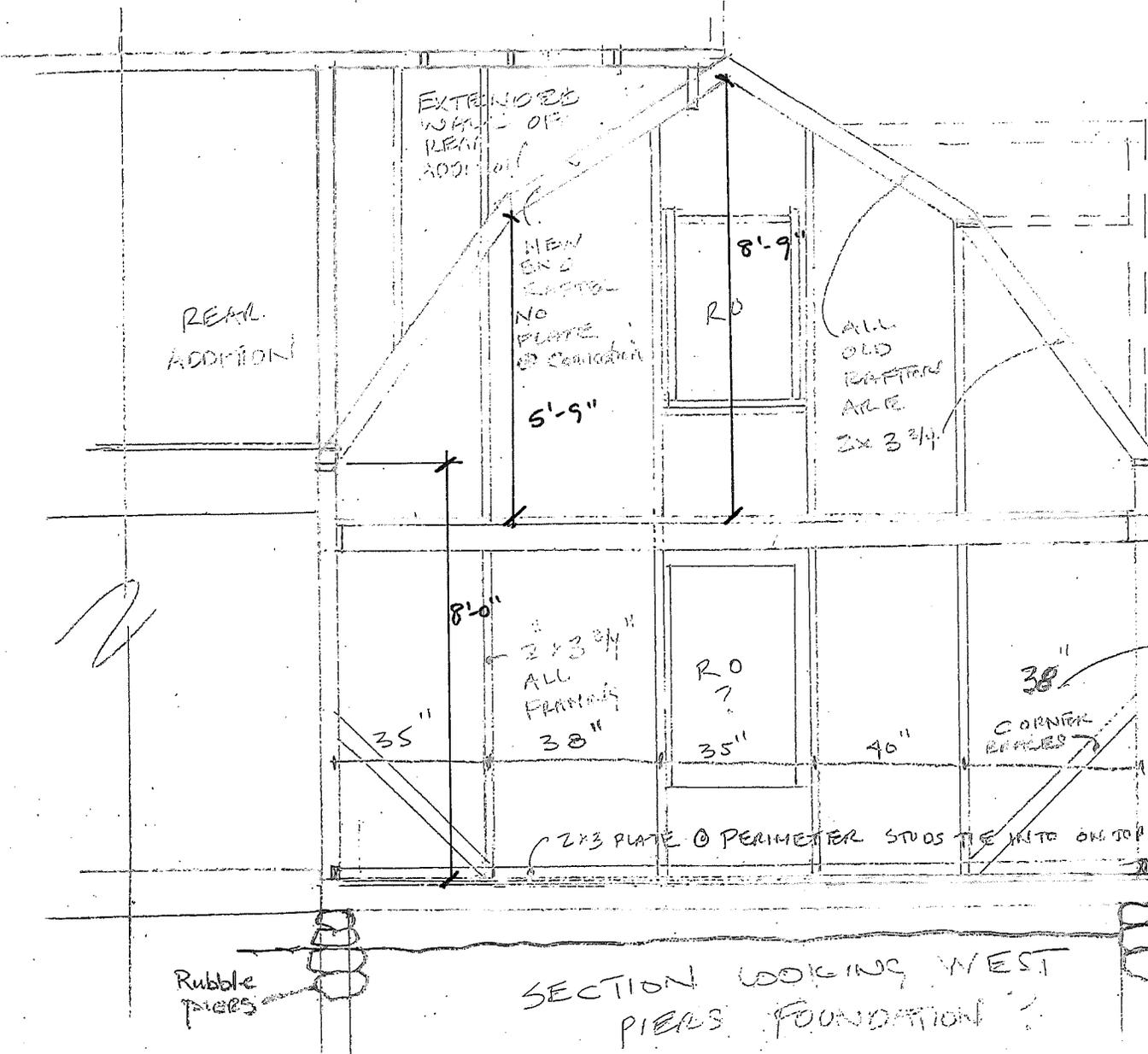
ALL OLD FRAMING IS 3x3 3/4"

TRUE
DIMS.

GRADE
1'-4"
BELOW
P.F.

NORTH

GRADE



REAR ADDITION

EXTENDED WEST END OF REAR ADDITION

NEW END CASTOL NO PLATE @ Connection
5'-9"

8'-9"
R.O.

ALL OLD RAFTERS ARE 2x3 3/4"

8'-0"
2x3 3/4" ALL FRAMING 38"

R.O.
35"

38" CORNER BRACES

This DIM. IS QUESTIONABLE

2x3 PLATE @ PERIMETER STUDS TIE INTO ON TOP OF FLOOR BOARDS.

Rubble Piers

SECTION LOOKING WEST
PIERS FOUNDATION

EXISTING STRUCTURE

EXISTING ADDITION

NOTE - ALL FRAMING 2x4 @ 16" OC ALL NEWER LUMBER

DOCKING STRUCTURE
2x4
1 1/2" x 3 1/2"
NEWER LUMBER
LATE 1960S

SINGLE CORNER TIE
10" FROM EAST END WALL

2" x 3 3/4" (TYP.)

RAFTERS ARE ALSO 2" x 3 3/4"

2" x 3 3/4" PLATE @ RAFTER CONNECTION

NEW 2x4

2" x 3 3/4" PLATE TYP.

35"

39"

35"

40"

2x6

7 1/2" FLOORING OVER JOISTS

2x3 3/4" STUDS

BALCONY FRAME

EXISTING ADDITION

CORNER BRACES 2" x 3 3/4"

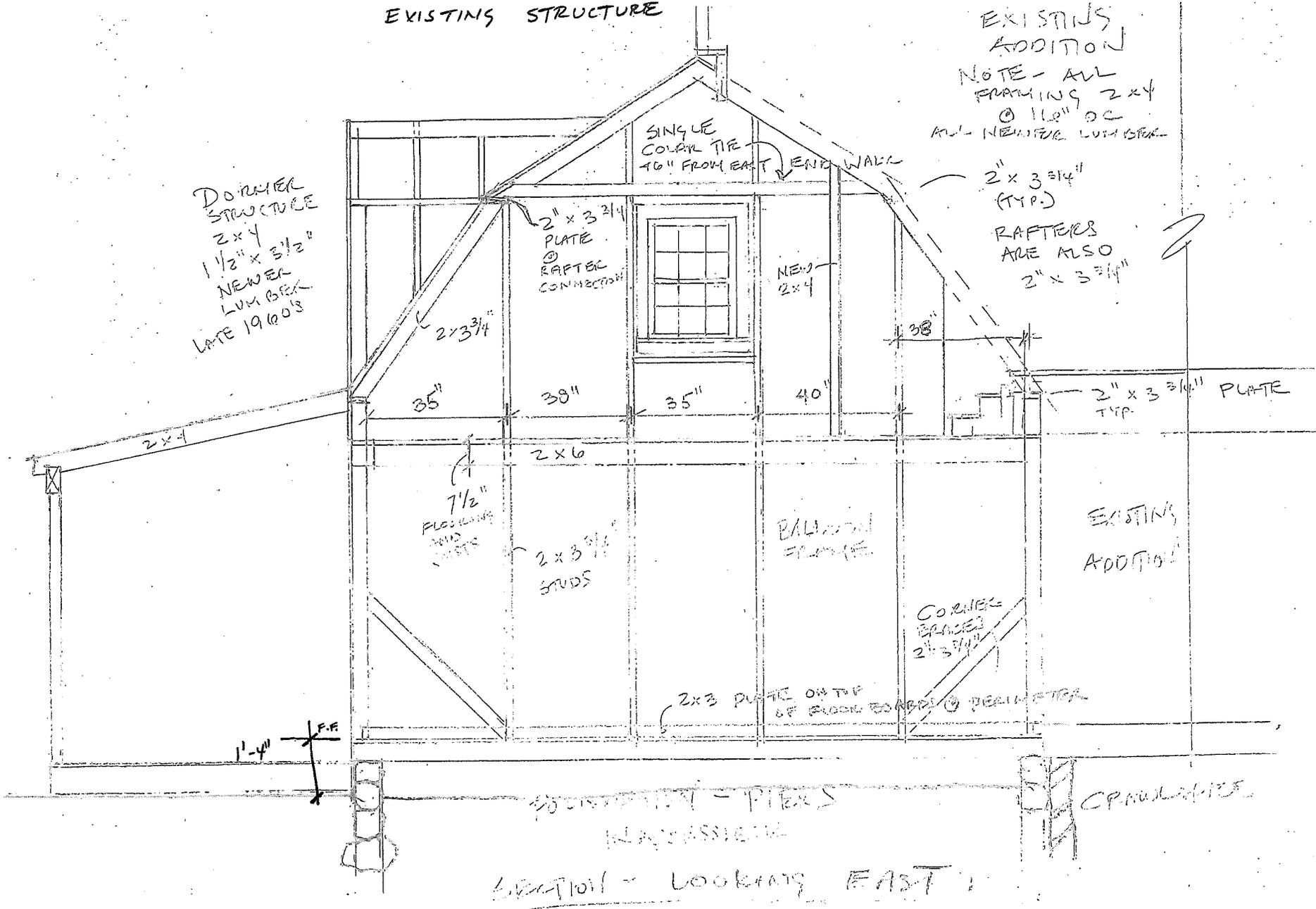
2x3 PLATE ON TOP OF FLOOR BOARDS @ PERIMETER

1'-4" F.F.

FOUNDATION - PIERS
RECESSIBLE

CRAWLSPACE

SECTION - LOOKING EAST



ALL FRAMING @ DORMERS IS 2x4 (1 1/2" x 3 1/2") NEWER LUMBER DIMENSIONS.

RAFTERS (UPPER ROOF)

RAFTERS (LOWER ROOF)

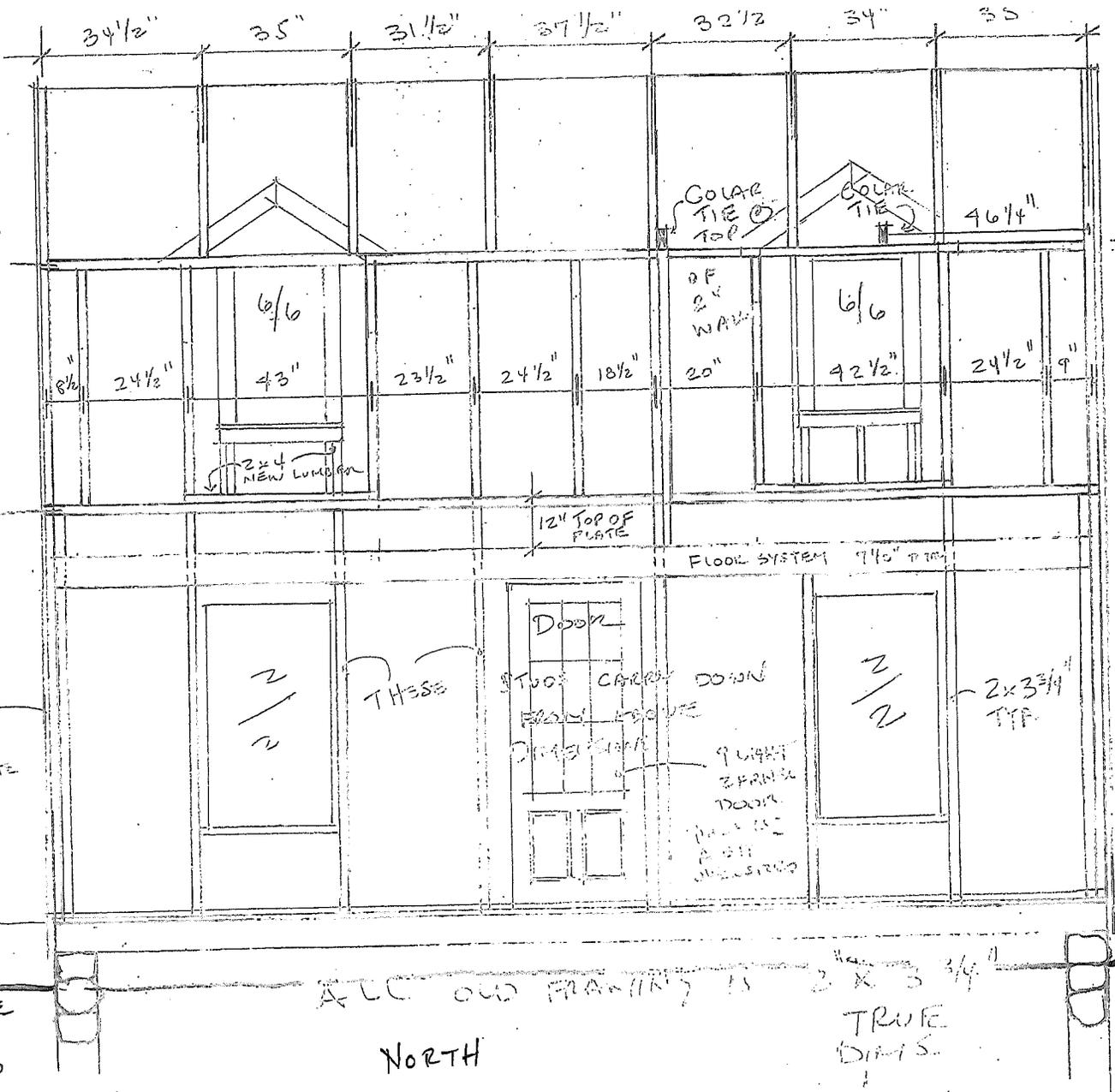
PLATE

WALL STUDS

STUD-NOTCHED @ PLATE 2x BOTTOM PLATE 3"

PLATE

GRADE 1'-4" BELOW P.F.



NO RIDGE BEAM

TOP OF PLATE

5'-9"

FLOOR

FLOOR SYSTEM 7/16" P.T.S.

DOOR

STUDS CARRY DOWN FROM ABOVE

PLATE 2x4 NEW LUMBER

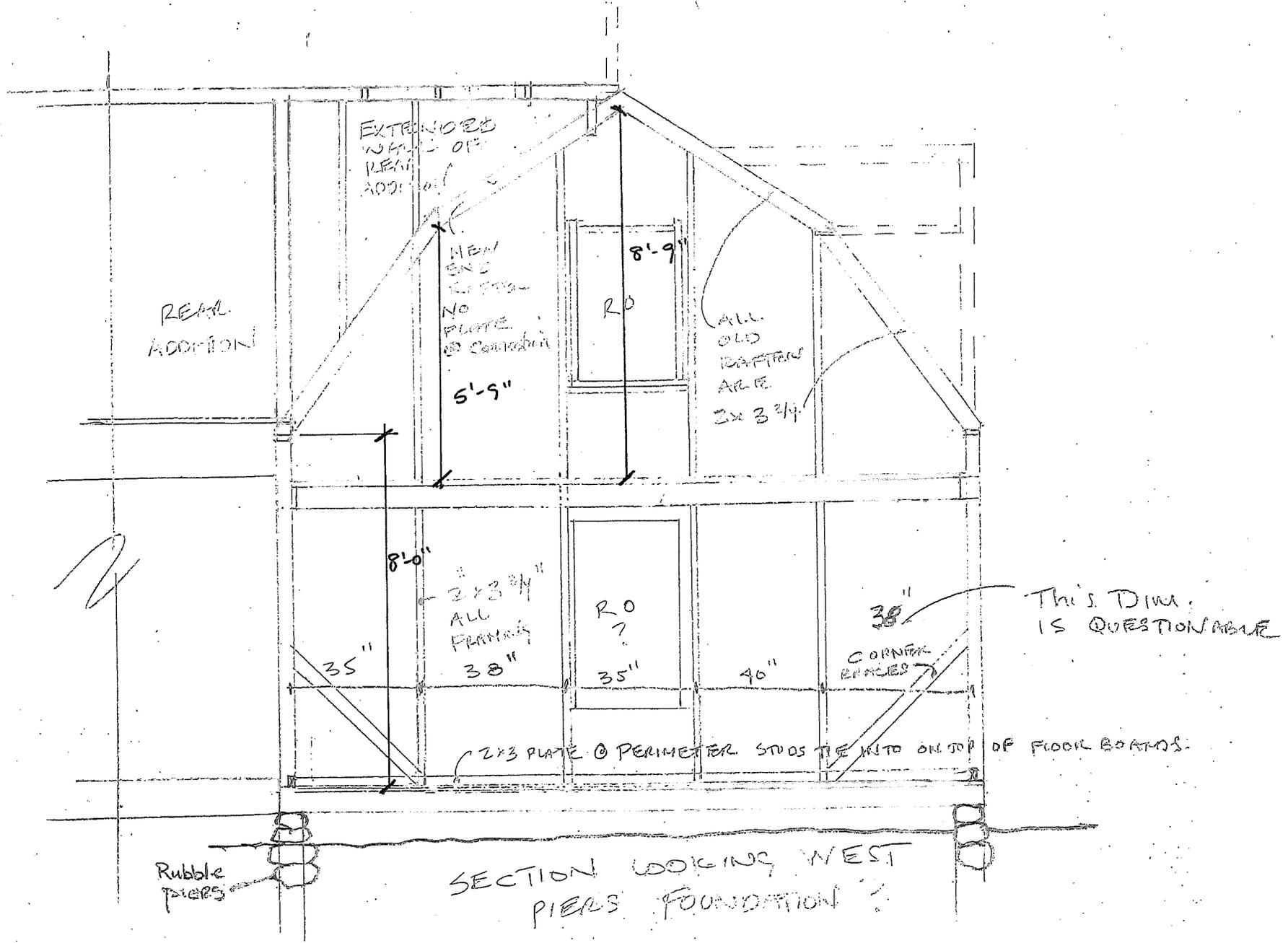
2x3 3/4" TYP.

ALL OLD FRAMING IS 3x3 3/4"

NORTH

TRUE DIMS.

GRADE



REAR ADDITION

EXTENDED WALLS OF REAR ADDITION

NEW END BRACE NO PLATE @ Connection

5'-9"

8'-9"

R0

ALL OLD RAFTERS ARE 2x3 3/4"

2

8'-0"

2x3 3/4" ALL FRAMING 38"

R0

?

35"

40"

38"

CORNER BRACES

This DIM. IS QUESTIONABLE

2x3 PLATE @ PERIMETER STUDS TIE INTO ON TOP OF FLOOR BOARDS.

Rubble PIERS

SECTION LOOKING WEST
PIERS FOUNDATION ?

X SAB X

HDC Application Review Worksheet

1. Staff Initials: HEB

2. Meeting date: 1/14/2020

3. Property address: 6 MAGNOLIA AVE (SIAS)

4. Scope of work: DEMO DW - CONTRIBUTING C. 1910
GAMBREL COTTAGE (COULD BE OLDER) ASSESSORS SAYS 1800

5. If the site is located within the OHD or SOHD, please circle which one.

6. Is the structure, building, hardscaping, or other exterior architectural feature open to view from a beach, a public way, a traveled way, a street or way shown on a land court plan or shown on a plan approved and endorsed in accordance with the Subdivision Control Law, a public park or a public body of water? If yes, specify which portions.

- a. North elevation: _____
- b. South elevation: _____
- c. East elevation: _____
- d. West elevation: _____

7. What is the distance between the proposed structure, building, hardscaping, or other exterior architectural feature and the location from which it is open to view? YES feet

8. Other: _____

9. Comments on proposal: NO! THANK-YOU!

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 73.3.1 PARCEL N°: 57
 Street & Number of Proposed Work: 6 MAGNOLIA AVE
 Owner of record: Steven Spencer
 Mailing Address: SMB CAPITAL
850 Third Ave. 16th Fl. NY NY 10022
 Contact Phone #: 516-662-1820 E-mail: _____

AGENT INFORMATION (if applicable)

Name: THORNEWILL DESIGN, LLC
 Mailing Address: 48 DUKES RD
NANTUCKET MA 02554
 Contact Phone #: 228-9101 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
 Size of Structure or Addition: Length: 34.5 ± Sq. Footage 1st floor: 705 ± Decks/Patio: Size: 20.5 x 7 1st floor 2nd floor
 Width: 20.5 ± Sq. Footage 2nd floor: _____ Poret Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: N/A
 Original Date: 1916 / 1960's? ADDITION (describe)
 Original Builder: UNKNOWN
 Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass GAMBREL Secondary Mass 5 /12 Dormer _____ /12 Other _____
 Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Shutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size): _____
 Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia 1 x 8 Rake 1 x 6 Soffit (Overhang) _____ Corner boards 6" Frieze _____
 Window Casing 4" x 5" Door Frame 4 x 5" Columns/Posts: Round _____ Square 4"
 Windows*: Double Hung Casement All Wood Other PICTURE - 48 LIGHT
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
 Doors* (type and material): IDL SDL Front 9 LIGHT Rear _____ Side 10 LIGHT / 9 LIGHT
 Garage Door(s): Type _____ Material _____
 Landscape materials: Driveways _____ Walkways _____ Walls _____

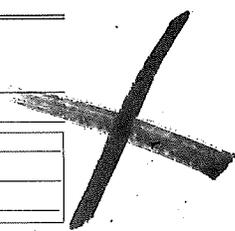
Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence _____ Shutters _____

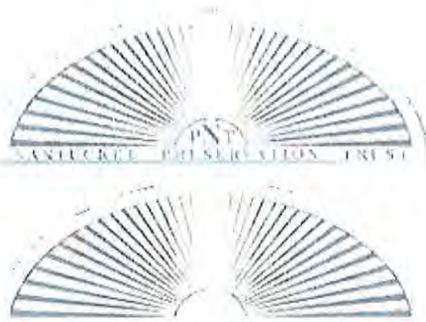
Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.



5. Spencer, Steven 01-0471	6 Magnolia Avenue	(Partial) Demo dwelling	73.3.1-57	Thornewill Design
Voting	Pohl, Oliver, Welch, Dutra			
Alternates	Welch and Camp, read back in, but Camp stepped out			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, Town Warrant Article 62, correspondence, and historic documentation.			
Representing	Luke Thornewill, Thornewill Design Carrie Thornewill, Thornewill Design Steven Spencer, owner			
Public	None			
Concerns (6:30)	<p>C Thornewill – Reviewed changes made per previous concerns. Between 1923 and 1949 there was a tiny building on the lot; 1949 shows a building with a porch; dormers and some windows are circa 1960s.</p> <p>Welch – Based upon the demolition plan, reviewed what is being retained and what is being removed.</p> <p>Spencer – Stated the streetscape will be maintained as this is a rebuild from scratch using the existing windows and doors on the historic part.</p> <p>Oliver – If we start to allow people to just rebuild because it's easier, we may as well be all replicas like Disney Land; the owner knew he was buying an older structure. She would like to see at least the barn structure remain.</p> <p>Dutra – He would prefer to retain as much as possible as shown in the drawings.</p> <p>Welch – This is circa 1920-1930 structure, which doesn't mean we are going to disallow a demolition; it comes down to who lived there and who built it, etc.</p> <p>Pohl – This is small enough that the original structure could be saved and some of the fabric retained; some windows being saved are 1960s and could be eliminated.</p> <p>Thornewill – The cost and complexity of lifting and supporting off the foundation could be prohibitive; there is a precedent for taking this apart in panels and setting those panels aside for reassembly.</p> <p>Welch – If we allow disassembling, rather than cutting up in panels, he'd prefer the boards be numbered left to right, top to bottom, take the sheathing off and put it back together the way it was built. Cutting up the panels and putting together pieces would impact its structural integrity. He's looking forward to the surveys being updated; that would make this so much easier. This is the type of thing to be hammered out regarding Article 62. If we approve this demolition, we need to layout the particulars; using a skill saw to cut up walls isn't maintaining the historic fabric.</p> <p>Dutra – In 1909, a building was on this property; in 1923, this building appeared on the front of the property. He prefers the demolition plan as outlined; to be on the safe side, we can request the three walls be retained.</p> <p>Oliver – Center Street opened a can of worms HDC won't live down; this furthers that. We are here to save our history; that is why Article 62 was submitted. This is a bad road to go. We have no one to authenticate the information submitted at the last hearing by Linda Williams; cited an example from 27 North Liberty Street where the photo circulated turned out not to be the structure being applied for.</p> <p>Pohl – Another option is to keep the sides intact and set them aside. The original roof is already mostly gone and can't be saved. Engineers over-engineer to prevent something from falling down; they will always say to remove old fabric. We can write a letter exempting them from some of the building code such as using 2X4 and less insulation.</p> <p>Further discussion the method of how to dismantle this structure in a way that best preserves historic fabric.</p>			
Motion	Motion to Approve the demolition plan through staff with the front three historical sides to remain on site as a structure. (Dutra)			
Vote	Carried 4-0	Certificate #	HDC2019-01-0471	
6. Spencer, Steven 01-0470	6 Magnolia Avenue	New dwelling (addition)	73.3.1-57	Thornewill Design
Voting	Pohl, Camp, Oliver, Welch, Dutra			
Alternates	Welch and Camp, read back in.			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, historic documentation.			
Representing	Luke Thornewill, Thornewill Design Carrie Thornewill, Thornewill Design Steven Spencer, owner			
Public	None			
Concerns (7:07)	<p>C Thornewill – Presented revised project as an addition.</p> <p>Dutra – No concerns.</p> <p>Welch – Nice design and an improvement with a 1920s look but plans to vote no due to proximity to the street.</p> <p>Camp – Asked how close to the street it will be. (4 feet) The new massing dominates the old mass.</p> <p>Oliver – She's okay with it.</p> <p>Pohl – Compared to the existing addition, this is will be less prominent; it won't be evident.</p>			
Motion	Motion to Approve as submitted. (Oliver)			
Vote	Carried 3-2//Camp & Welch opposed	Certificate #	HDC2019-01-0470	

Become a Member



NANTUCKET PRESERVATION TRUST

HISTORY

Magnolia Avenue: A Window into 'Sconset's Past

JANUARY 23, 2020 | RITA CARR

The natural beauty of 'Sconset has long attracted visitors to the far eastern end of Nantucket. Beginning in the late 19th century, builders seeking to capitalize on the village's charms built rental communities to house growing numbers of summer tourists. The block of houses on the south side of Magnolia Avenue is a well-preserved example of the rental cottage industry building boom.

The Sunset Heights development of the 1870s was first the group of purpose-built rental properties constructed in 'Sconset. In 1873, prolific builder Charles H. Robinson began construction of Sunset Heights on a large parcel of land south of Main Street. Together with his partner Dr. Franklin A. Ellis, Robinson laid out Ocean Avenue and a series of small lanes, most named after trees. The partners constructed a footbridge over the gully to connect their development with the rest of 'Sconset, and the first cottage was completed by the summer. The new neighborhood was anchored by the Ocean View House, a hotel offering both short- and long-term accommodations at affordable rates. Robinson's idea proved very successful; he continued building cottages in 'Sconset throughout the 1870s and 1880s, and in 1883 added the Ocean View Annex across the street from the original Ocean View House.



Plan of Sunset Heights. Courtesy Nantucket Historical Association.



Charles Robinson wasn't the only builder who sought to reap the benefits of 'Sconset's quaint appeal. In 1879, Edward F. Underhill purchased land to the south of Magnolia Avenue in Sunset Heights and laid out Pochick Avenue. Unlike the larger Victorian style cottages built by Robinson and Ellis, Underhill built cottages that mimicked the old fishing shacks turned residences in the center of 'Sconset. In 1882 he purchased additional land and laid out Lily and Evelyn Streets, along which he also built small, closely grouped cottages. The Underhill cottages along Pochick Avenue later became the center of the Nantucket Actor's Colony.

Local landowner Isaac Hills also got in on the 'Sconset cottage craze. In 1885, the year after the Nantucket Railroad extended to 'Sconset, he purchased land on the south side of Magnolia Avenue from Robinson, abutting the land of Edward Underhill. The property already contained two houses; three years after purchasing the land Hills contracted with Robinson to build an additional two houses on the block. Hills advertised many rental properties for occupancy in the *Inquirer and Mirror* throughout the late 19th and early 20th century, and Magnolia Avenue became alternatively known as Hills Street. Hills grouped his rentals together the 'Sconset Cottage Club, with Rudder Grange, on the corner of Ocean Avenue, serving as its headquarters and dining hall.



Magnolia Avenue. Foreground: Genesee Lodge. Background: Casa Fortunata. Courtesy Nantucket Historical Association.

However, by 1918 Hills had fallen on economic hardships and was cited for failure to pay property taxes. He also failed to pay in 1919, and in December of that year he sold off a parcel of land on Magnolia Avenue, with the cottage called Genesee Lodge, to Levi Starbuck Coffin. Levi Coffin was a well-known 'Sconset citizen and owner of Bloomingdale Farm, but Coffin was also involved in the tourism industry centered on Sunset Heights, having served as the proprietor of the Ocean View House in the 1880s. Shortly after purchasing Genesee Lodge, Coffin turned a storehouse on the property into what the *Inquirer and Mirror* described as a "very comfy igloo."^[1] This new cottage, at 6 Magnolia St, was then rented with along with the other Magnolia Avenue properties as "Tis a House." Evidence shows that the structure was originally constructed by Hills at the rear of the lot, and moved forward and expanded. A small building appears on Sanborn fire insurance maps from 1904 and 1909, with the map of 1923 showing the expanded dwelling closer to Magnolia Avenue.





6 and 8 Magnolia Avenue, January 2020.

Much of the old Sunset Heights is now lost: Ocean View House has been demolished, as have many of Robinson's original cottages. But the dwellings that composed Isaac Hills' Cottage Club are still visible along the south side of Magnolia Avenue. Genesee Lodge is now called The Good Tern, Villa Marguerite is now called Tern Too, and Tis a House is now called Rosehip. These cottages, together with Rudder Grange, Casa Fortunata, and Thorny Croft, form a block of intact late-19th and early-20th century buildings that offer a glimpse into Sunset Heights' development as a resort destination.

[1] "'Sconset Notes," *The Inquirer and Mirror*, May 15, 1920, Historic Digital Newspapers Archive – Nantucket Athenaeum.

PHOTOS EXISTING HOUSE

From: Carrie Thorne will carriethornewill@gmail.com
Subject: 6 Magnolia
Date: December 9, 2019 at 10:57 AM
To: Caroline Thorne will thornewilldesign@comcast.net

CT



Sent from my iPhone

6 MAGNOLIA NORTH



WEST



SOUTH



EAST

BUILDING/STRUCTURE INVENTORY FORM
NANTUCKET ISLAND ARCHITECTURAL
AND CULTURAL RESOURCES SURVEY
NANTUCKET HISTORIC DISTRICT COMMISSION
NANTUCKET, MASSACHUSETTS

SURVEY/
FILM ROLL #: SC4-25
MAP/PARCEL#: 7331-57

Recorded by: AH

Date: 09/14/89

Organization: AGS

IDENTIFICATION

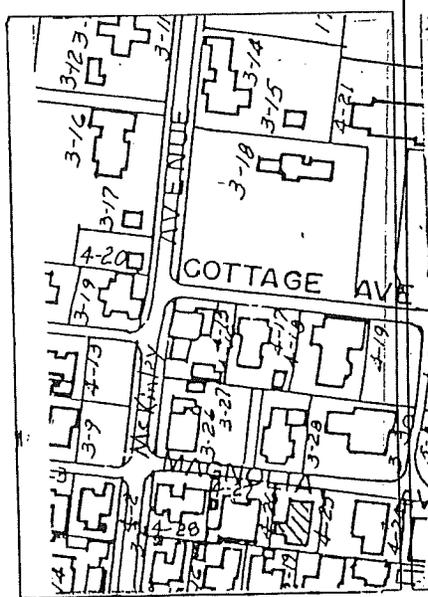
1. Street Name & No.: 6 MAGNOLIA AVENUE
2. Building Name: N/A
3. Ownership: Private
4. Present Owner: BOSH, PHILIP E. & FLORA D
5. Ownership History:
Unknown

- SURVEY
- HIST. PHOTOS
- SANBORN MAPS

6. Use: Original: Dwelling Present: Dwelling
Seasonal/Year-Round: Seasonal

7. Accessibility to Public: Visible from Public Road? Yes
Interior: N/A

8. MAP -- 3 X 2"



C. 1910

GENERAL SETTING AND ORIENTATION OF BUILDING

10. Lot Size: N/A
11. Approximate Frontage (ft.): N/A
12. Setback from Street (ft.): 10 feet or less
13. Orientation to Street Address: Gabled
14. Surroundings: Densely Built, Residential,
Old Historic District
15. Related Outbuildings and Property: Fence
16. Other Notable Features:
N/A

DESCRIPTION

17. Foundation: Piers
18. Structural System: Woodframe
19. Exterior Wall Material, Front Facade: Shingles-Weathered
20. Exterior Wall Material, Side Elevations: Shingles-Weathered
21. Exterior Wall Material, Rear Elevation: Shingles-Weathered
22. Number of Stories: 2
23. Roof Shape: Gable, Gambrel
24. Roofing Material: Composition Shingle
25. Roof Features: Dormers/Front Facade
26. Dormer Roof(s): Gable
27. Chimney Material: Brick-unpainted
28. Chimney Position: End Wall
29. Number of Chimneys: 1
30. Chimney Features: N/A
31. Front/Primary Door Location: Center
32. Front/Primary Door Frame Features: Flush Frame
33. Number of Bays: N/A
34. Window Frame Type: Flush
35. Window Sash Type(s) - Front Facade: 6/6, 2/2

36. Porch: Front
37. Signage: N/A
38. Details: Corner boards-plain, Trellis
39. Condition: Good
40. Integrity: N/A

41. Alterations:
N/A

SIGNIFICANCE

42. Role the Building Plays: National Register: Contributing

43. Date of Initial Construction: Circa 1916

Source: Sanborn Maps

Architect: Unknown Builder: Unknown

44. Building Type: Box, Gable Front

45. Architectural Style: N/A

46. Historical and Architectural Importance:

Unknown

47. Sources: Sanborn Maps,
1909,
1923



#4 1/8 Magnolia

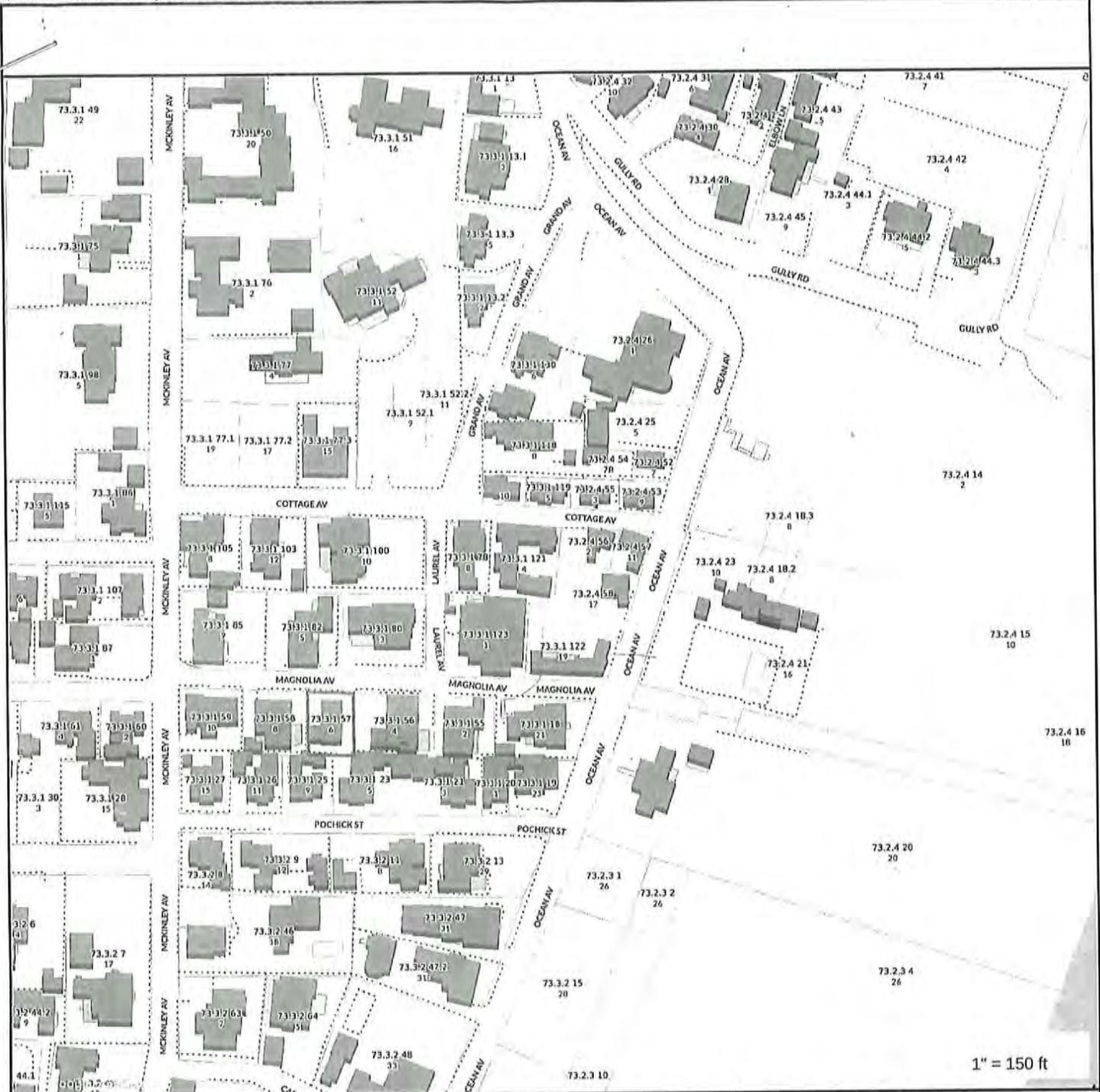
1898 OR EARLIER PER SANDBORN



4 Maguoka
c. 1893



8 Magnolia
c. 1880



Property Information

Property ID 73.3.1.57
 Location 6 MAGNOLIA AV
 Owner GIBSON ELEANOR HALL ETAL TRS



MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
 Data updated 11/19/2018

NEED PHOTOS - windows
 structure
All

LOCUS + SALIBORN

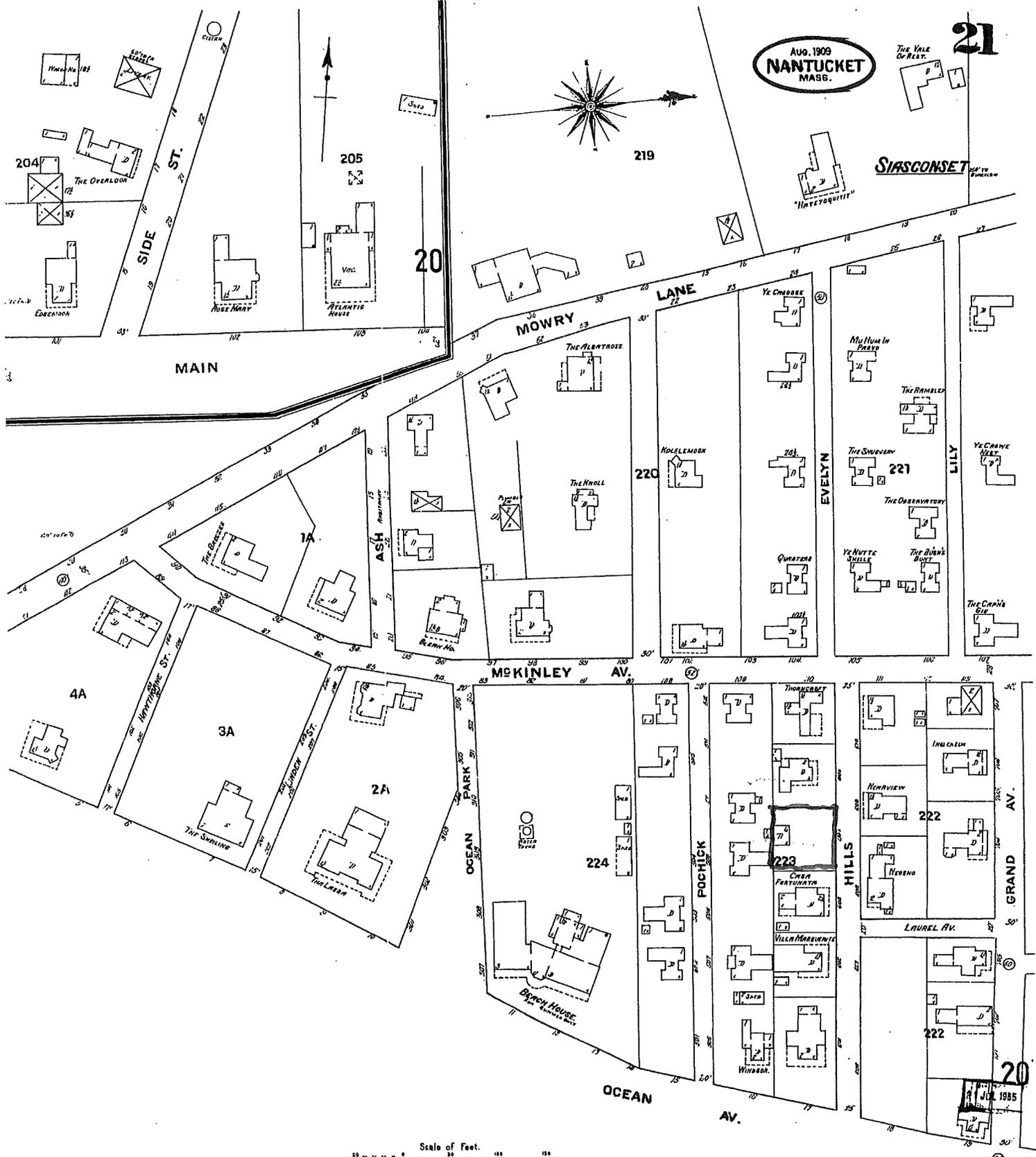
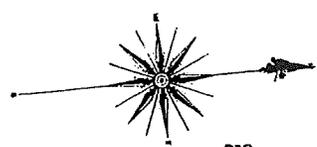
1909

AUG. 1909
NANTUCKET
MASS.

21

THE YALE
GR. REST.

SIASCONSET
W. TO
FINCHAM



Scale of Feet.
0 20 40 60 80 100 120 140 160 180 200

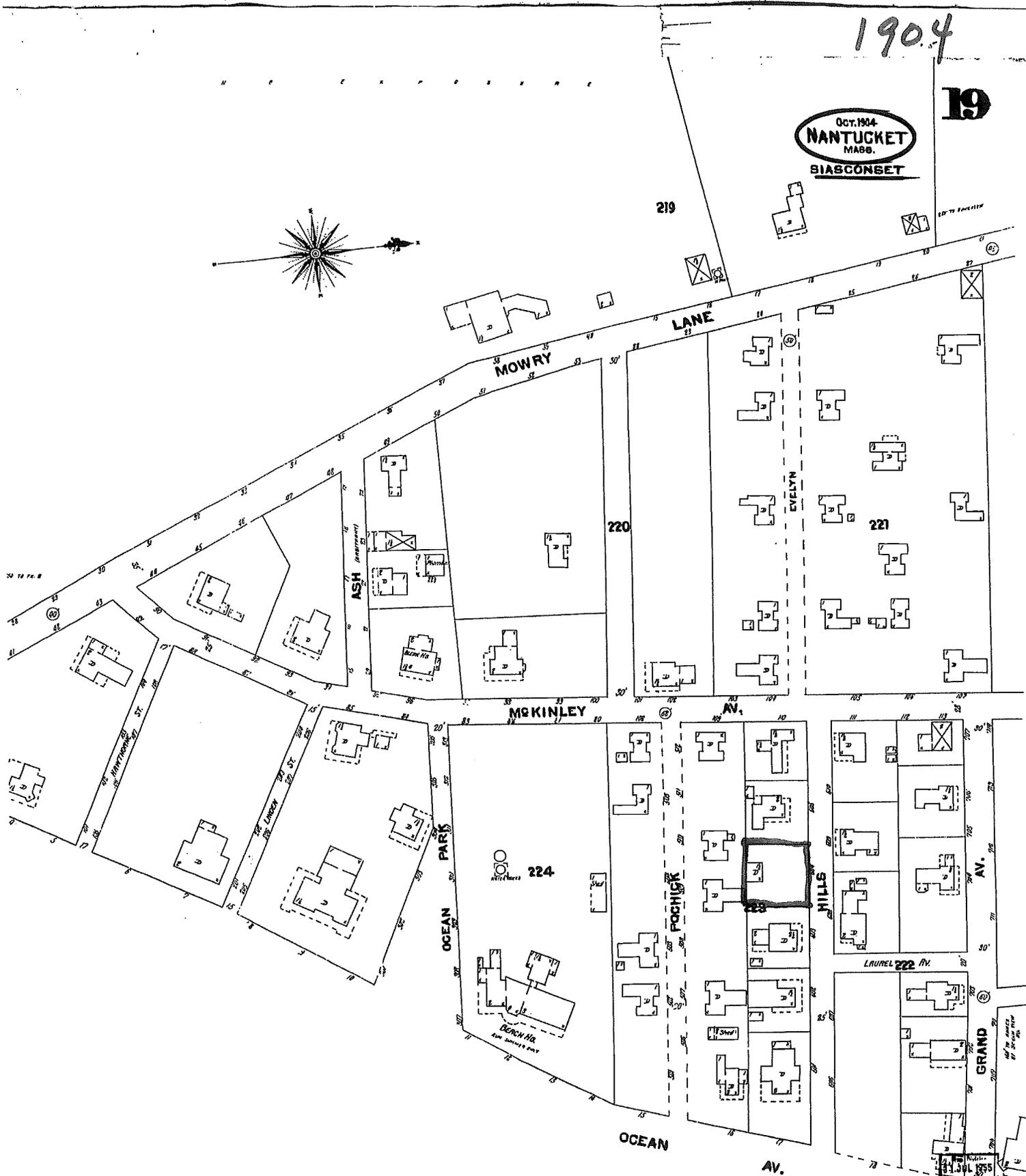
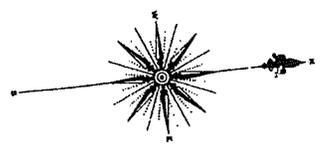
BEACH BEYOND

20
JULY 1905

190.4

19

OCT. 1904
NANTUCKET
MASS.
BIASCONSET



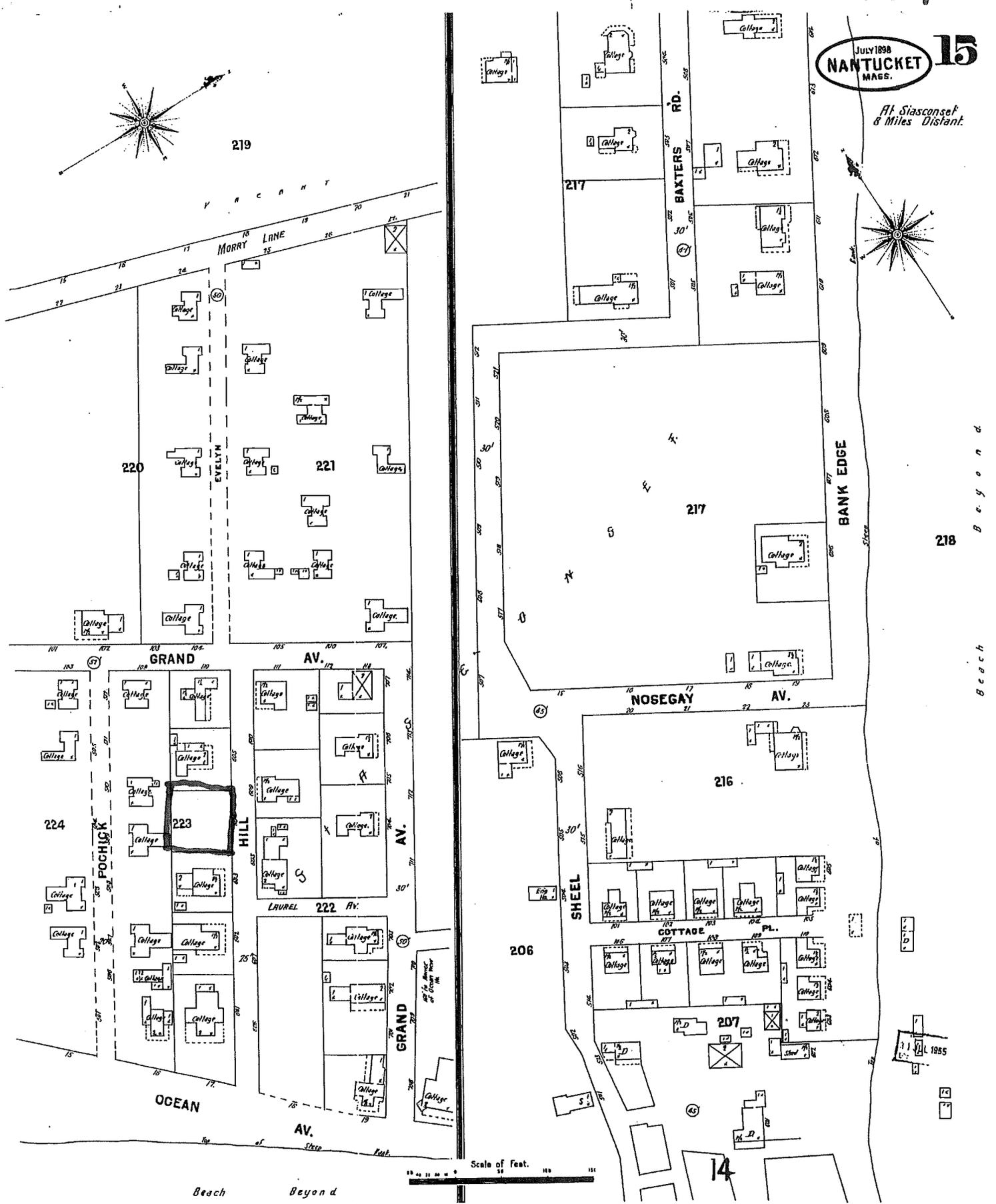
Scale of Feet. 0 50 100

BEACH BEYOND

1898

JULY 1898
NANTUCKET
MASS. 15

At Siasconset
8 Miles Distant.



MAGNOLIA AVE WAS CALLED HILL ST

Hold

Proposed HDC Minutes for February 4, 2020

17. Spencer, Steven 01-0471 6 Magnolia Avenue Demo existing structure 73.3.1-57 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates Welch & Camp read back in.
 Recused None
 Documentation Architectural elevation plans, site plan, photos, correspondence, and historic documentation.
 Representing Carrie Thornewill, Thornewill Design
 Luke Thornewill, Thornewill Design
 Steven Spencer, owner
 Linda Williams

Public None
 Concerns (6:56) Spencer – Based upon previous comments, we’ve come up with a new proposal; explained their evaluation of the property indicated the existing structure had been significantly altered.
 Williams – Reviewed the history of the structure as detailed in the historic packet. There was a gambrel structure on this lot in the 1920s which did not have the existing roof line; believes all sides and the roof have been moved or replaced since the mid-1960s. This has been moved at least once.
 Thornewill – Believes a lot of original sheathing was rotten; even covered sheathing is not original. Feels that the groundcover isn’t any greater than for any other lot.
 Pohl – Read into the record letters of concerns from Rob Benchley and Angus MacLeod.
 Dutra – Confirmed that the structure didn’t move after 1923. Not in favor of a demolition of the gambrel. Mr. MacLeod’s points are valid that something nice can be done with this to carry the character of the 1916 structure even without the historic fabric; it is not structurally unstable.
 Oliver – Questions the survey; it seems each one says contributing. We are holding the Codfish Park house because we want to confirm why it is being noted as contributing. The information is very helpful. Would like the front element to retain its present façade and character. Something of the front mass should be saved.
 Watterson – Agrees the front gambrel should be preserved.
 McLaughlin – Wants to see the next application.
 Pohl – The fate of the front gambrel is tied to what’s being added on and he wants to see the new proposal. The gambrel form is to scale and really attractive and the board would like to see that retained.

Motion **Motion to Hold until after review of the new addition. (Dutra)**
 Vote Carried 5-0 Certificate #

18. Spencer, Steven 01-0470 6 Magnolia Avenue New dwelling 73.3.1-57 Thornewill Design

Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates Welch & Camp read back in.
 Recused None
 Documentation Architectural elevation plans, site plan, photos, correspondence, and advisory comments.
 Representing Carrie Thornewill, Thornewill Design
 Luke Thornewill, Thornewill Design
 Steven Spencer, owner
 Linda Williams

Public None
 Concerns (7:20) Thornewill – Presented the revised project.
 Pohl – Read into the record letters of concerns from Rob Benchley, Rita Carr, and Mary Wilkes.
 Dutra – Huge improvement from first submittal; happy how the gambrel forward is more complementary. The rear addition is still much larger and should be minimized in any way such as reduce the height. In the previous submittal the east and west elevation gambrel looked better but with the gambrel forward would be better on the dormers.
 Oliver – Thinks Mr. Dutra’s suggestion would make it look wider. Appreciates the changes. Changing to 2-over-2 is a concern; there’s something about the scale of having smaller panes especially facing the street.
 Watterson – In general the redesign “nails it.” The original mass might be subordinate but maintains the history and streetscape. Agrees with Ms. Oliver about the windows especially facing the street.
 McLaughlin – Noted a typographical error.
 Discussion about saving the front gambrel.
 Pohl – In every other historic district, if you have an old building, the new part shouldn’t look like the existing. What will really help is a perspective view. We’re all favorably inclined to what is proposed and looking for minor tweaks to fenestration. We need more information on the front part of the building in order to rule on saving versus dismantling versus razing.

Motion **Motion to Hold for revisions. (McLaughlin)**
 Vote Carried 5-0 Certificate #

Spencer 3/14/20

Hold

Proposed HDC Minutes for January 14, 2020

34. Sharp, Randy 01-0474 76 Polpis Road Garage 43-177 Thornewill Design
 Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Carrie Thornewill, Thornewill Design – Presented project; white garage doors.
 Public None
 Concerns (7:44) No concerns.
 Motion Motion to Approve as submitted with white garage doors. (Oliver)
 Vote Carried unanimously Certificate # HDC2020-01-0474

35. Spencer, Steven 01-0471 6 Magnolia Avenue Demo existing structure 73.3.1-57 Thornewill Design
 Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, engineer's report, historic documentation, and advisory comments.
 Representing Luke Thornewill, Thornewill Design – The gambrel appears in the rear of the property in 1916; structure moved forward in 1923 and rear ell attached. Engineer analyzed this; demolition is because little original fabric would remain. According to the engineer's report, without significant support, it couldn't be moved.
 Carrie Thornewill, Thornewill Design – The 1923 ell "bastardizes" the back wall of the original gambrel.
 Public None
 Concerns (7:46) Pohl – Read SAB comments: not in favor of total demolition. Read Ms. Backus comments: assessor puts this at circa 1916, could be older.
 Discussion about the historic value of the structure.
 Oliver – She doesn't think she can approve a total demolition; we should keep something of the original gambrel. If we open the door for total demos and rebuilding, we are turning Nantucket into Disney Land. The engineer is hired by so his results are skewed toward the client.
 Dutra – Understand what Ms. Oliver is saying.
 Watterson – He agrees with Ms. Oliver; okay with removing the rear ell. He could support holding the rebuild to the dimensional proportions of the main mass.
 McLaughlin – Due to the age, a demolition is questionable. Better to move than demolish.
 Pohl – He agrees with Ms. Oliver in saving the historic fabric. If we approve a like-kind rebuild, there are no exemptions with the building code; the new structure would have to meet code and would become taller; we would need a living record of the interior space so first floor and ridge relationships to grade stay the same.
 Motion Motion to Hold until we look at the new dwelling. (Dutra)
 Vote Carried unanimously Certificate #

36. Spencer, Steven 01-0470 6 Magnolia Avenue New Dwelling 73.3.1-57 Thornewill Design
 Voting Pohl, McLaughlin, Oliver, Watterson, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.
 Representing Luke Thornewill, Thornewill Design – Presented project.
 Carrie Thornewill, Thornewill Design – This would be a rebuild of the historic house with cathedral ceilings, so the height wouldn't change from the original. Would keep the oversized 9 lights of the existing front door.
 Public None
 Concerns (8:07) Pohl – Read HSAB comments: save historic house. Read Ms. Backus comments.
 Oliver – Appreciates the idea. However, pitching saving the house and moving it forward doesn't work. The proposed addition is "eating" the front house; the 2nd-floor walls are very tall and could be shorter. The front house should be the existing house. She could not vote for this approach.
 Dutra – The addition swallowing the house is a good description. Gets the idea of the addition; but it should come down to 1.5 stories. He'd support trying to preserve the old building.
 Watterson – He has trouble with the massing of the addition being so large in proportion to the main mass. Okay with the width but about 3 feet should come out of the ridge height.
 McLaughlin – The proportions of the addition's gambrel roof are off. Front door shouldn't be a 15-light.
 Pohl – Agrees with what's been said; particularly the fact the addition outmatches the main mass.
 Motion Motion to Hold for revisions. (Dutra)
 Vote Carried unanimously Certificate #

Spencer

3/14/2020

Sconset Advisory Board Meeting Memorandum

HDC/SAB

Date/Time 1/14/20

To: Historic District Commission
From: Sconset Advisory Board

DEMO

Members Present

() Rob Benchley () Caroline Ellis () Angus Macleod () Mary Will
Alternate: Clement Durkes ()

Applicant SPENCER Address 6 MATONOLIA

Historic information/known history

() Non-Contributing () Contributing () Individually significant

Comments

() Incomplete application () Historical information needed () No Concerns () Recommend View
() Does not meet guidelines () Not appropriate (As noted below)

North Elevation

East Elevation

West Elevation

South Elevation

Other

NOT IN FAVOR of TOTAL DEMO

Public ~~Comment~~

Signatures (three members required for quorum)

[Signature] [Signature] [Signature]

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 73.3.1 PARCEL N°: 57
Street & Number of Proposed Work: 6 MAGNOLIA AVE
Owner of record: Steven Spencer
Mailing Address: SMB CAPITAL
850 Third Ave 16th Fl. NY NY 10022
Contact Phone #: 516-662-1820 E-mail: _____

AGENT INFORMATION (if applicable)

Name: THORNEWILL DESIGN, LLC
Mailing Address: 48 DUKES RD
NANTUCKET MA 02551
Contact Phone #: 228-9101 E-mail: _____

FOR OFFICE USE ONLY

Date application received: 1/18/2020 Fee Paid: \$ 100.00

Must be acted on by: 3/14/2020

Extended to: _____

Approved: [Signature] Disapproved: _____

Chairman: _____

Member: _____

Member: [Signature]

Member: _____

Member: _____

Notes - Comments - Restrictions - Conditions
PER SELECTIVE DEMO PLAN + NEW DEMO'D TO REMAIN INTACT, RAISED FOR NEW FRONT

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed

Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____

Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 34.5 ± Sq. Footage 1st floor: 705 ± Decks/Patio: Size: 20.5 x 7 1st floor 2nd floor
Width: 20.5 ± Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____

Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: N/A

Original Date: 1916 / 1960's? ADDITION (describe)

Original Builder: UNKNOWN

Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS:**
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass GAMBREL Secondary Mass 5/12 Dormer /12 Other _____

Roofing material: Asphalt Sh-Tab Architectural

Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: _____ Type: _____ Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____

Manufacturer _____ Rough Opening _____ Size _____ Location _____

Shutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side

Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1 x 8 Rake 1 x 6 Soffit (Overhang) _____ Corner boards 6" Frieze _____

Window Casing 4" x 5" Door Frame 4" x 5" Columns/Posts: Round _____ Square 4"

Windows: Double Hung Casement All Wood Other PICTURE - 48 LIGHT

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors: (type and material): IDL SDL Front 9 LIGHT Rear _____ Side 10 LIGHT / 9 LIGHT

Garage Door(s): Type _____ Material _____

Landscape materials: Driveways _____ Walkways _____ Walls _____

Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____

Trim _____ Sash _____ Doors _____

Deck _____ Foundation _____ Fence _____ Shutters _____

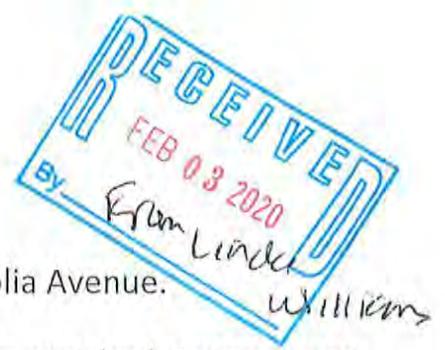
Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of my revisions to this application will initiate a new sixty-day review period.

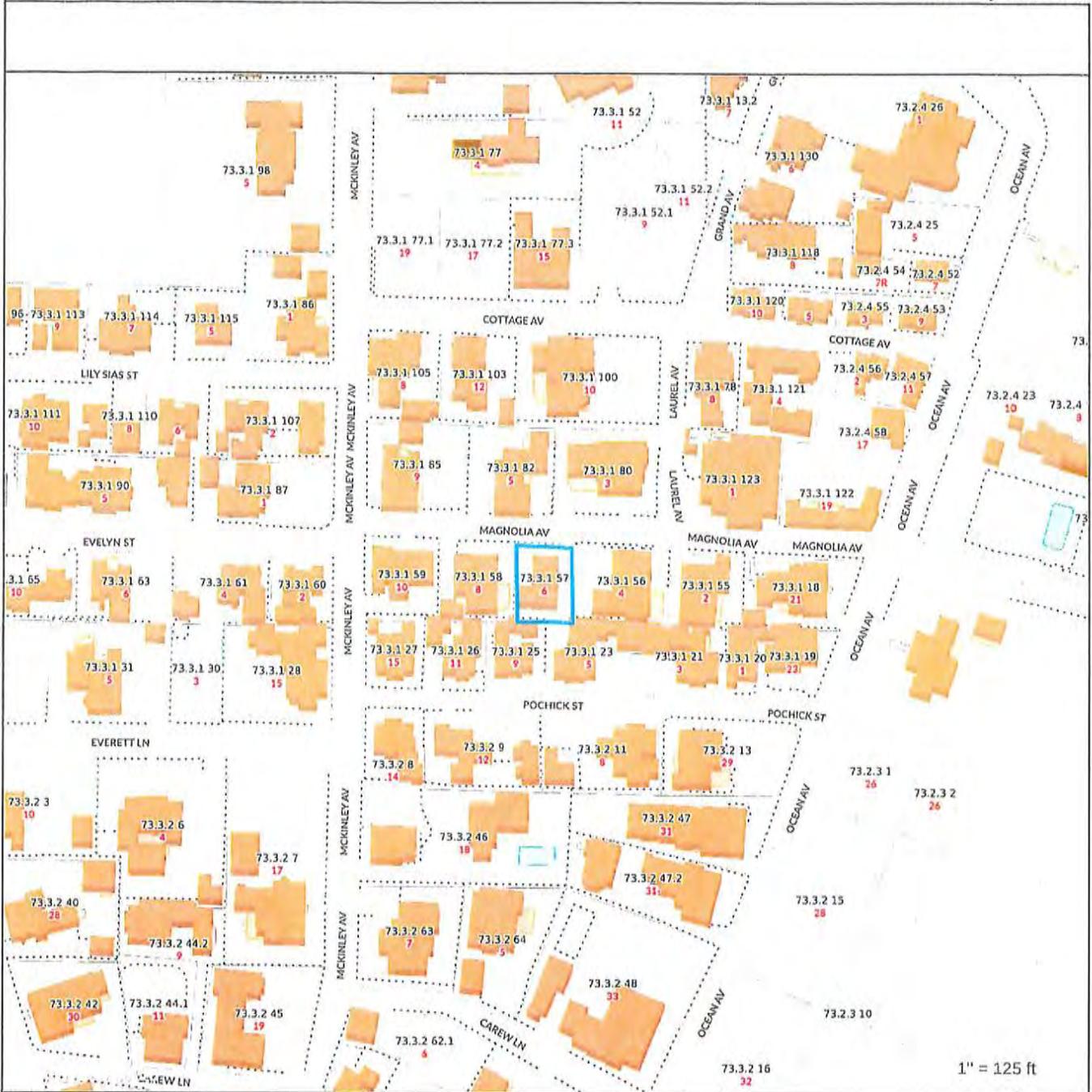
Date 1/18/2020 Signature of owner of record Luke Thornevall for Steve Spencer Signed under penalties of perjury

STATUS REPORT 6 MAGNOLIA AVENUE

JANUARY 30, 2020



- This report will establish the history of the property at 6 Magnolia Avenue.
- The property currently contains a single-family structure with an attached storage area.
- The primary dwelling is listed on the Assessor's Tax records on the Town of Nantucket GIS mapping system ("GIS") as having been constructed in 1800. There was no structure on the lot in 1898. The current configuration of the dwelling clearly was not present on the lot in 1904 or 1909.
- The structure shown on the 1938 aerial photograph contained in the Town of Nantucket records, has a substantially smaller massing and footprint than the current structure. It indicates a similar front portion but with only one central dormer. The rear addition is a small 1-story addition sited off center and to the west. There is no front porch or side addition.
- The structure remained unchanged from the 1938 to the 1957 aerial photograph except that a front porch was added and verified by the 1952 subdivision plan.
- The 1975 aerial photograph from the Town records clearly shows the substantial alterations that formed the structure as seen presently. The single front dormer has been removed in favor of two separate dormers, front porch is clearly visible, the side addition/storage area is present along with the substantial 2-story rear addition.
- The Nantucket Historic District Commission "Building-Structure Inventory Form" for the states that the dwelling was constructed "circa 1916" and is noted as "contributing". There is no evidentiary support for that date on record. The Sanborn Map for 1909 shows a different 1½ -story dwelling sited along the rear lot line with a different footprint than the current front portion of the structure.
- Sanborn Maps from the Nantucket Historical Association data base:
 - 1898 – Is the first time the lot is shown. It is a vacant larger lot.
 - 1904 – There is a small "1½"-story "D"welling sited along the rear lot line on a larger lot.
 - 1909 – Lot shape and structure have remained unchanged.
 - 1923 – The structure on the 1904 and 1909 maps is no longer in the rear of the lot a larger somewhat different structure is shown forward on the lot; it is noted as a "2"-story "D"welling with a "1"-story rear off-set addition.
 - 1949 – The structure has not changed from the 1923 map. However, the cottage lot lines have changed as it has been combined with the larger house lot to the west that also contained a much larger dwelling.



Property Information	
Property ID	73.3.1.57
Location	6 MAGNOLIA AV
Owner	GIBSON ELEANOR HALL ETAL TRS



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

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Geometry updated 11/13/2018
Data updated 11/19/2018

1" = 125 ft

2018



6 MAGNOLIA AVENUE



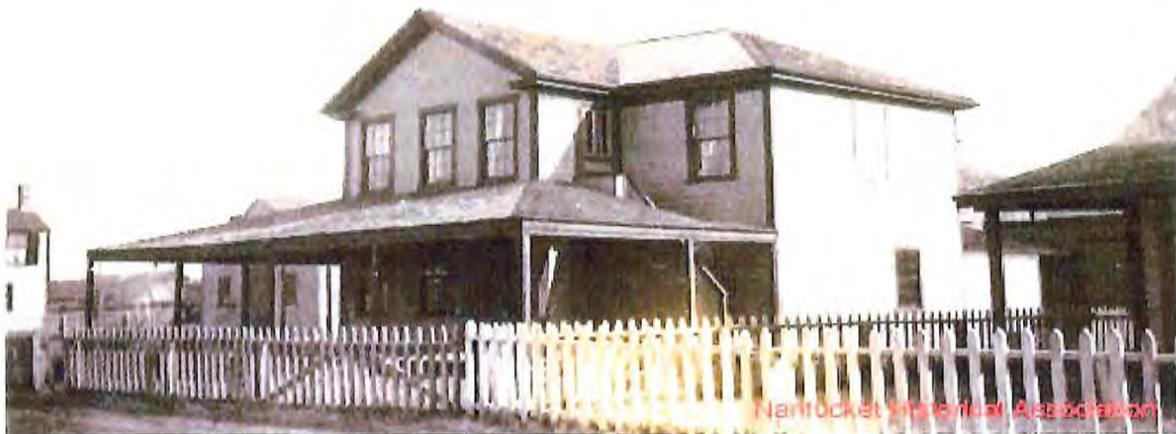
1880 - POCHICK STREET AND MAGNOLIA AVENUE

Lot is visible to the left behind the clothesline. No structure on the lot at this time.



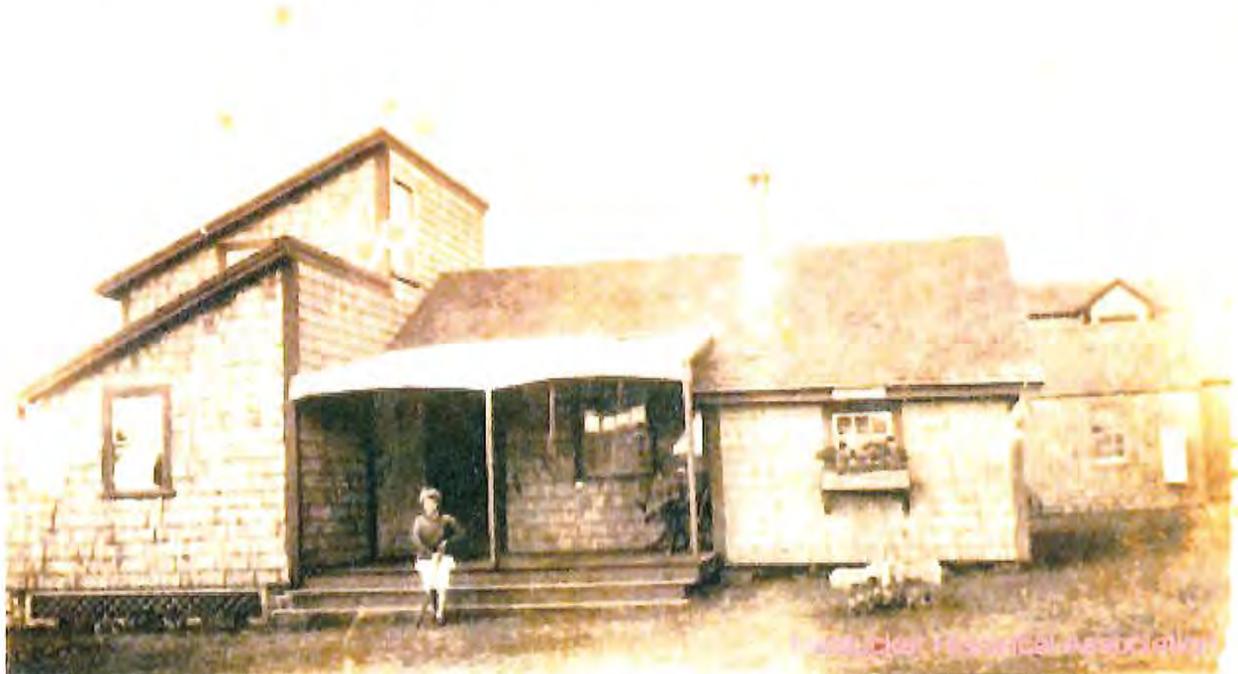
1900s (INDETERMINANT AS TO DATE) – 6/8 MAGNOLIA AVENUE

6 Magnolia Ave. structure is visible to left of 8 Magnolia Ave. through porch. No front porch and single dormer. Windows appear different. Height/roof is different. Front façade is significantly behind houses to east/west. 6 Magnolia Ave. was combined with 8 Magnolia until they formally separated in 1952. The 1904 and 1909 Sanborn Maps show a small 1 ½ - story structure sited to the rear along the lot line where this structure is shown in the photography below. (The 1923 and 1949 Sanborn Maps show a 2-story house with a small 1-story rear off-set addition substantially lined up with the houses to the east and west.)

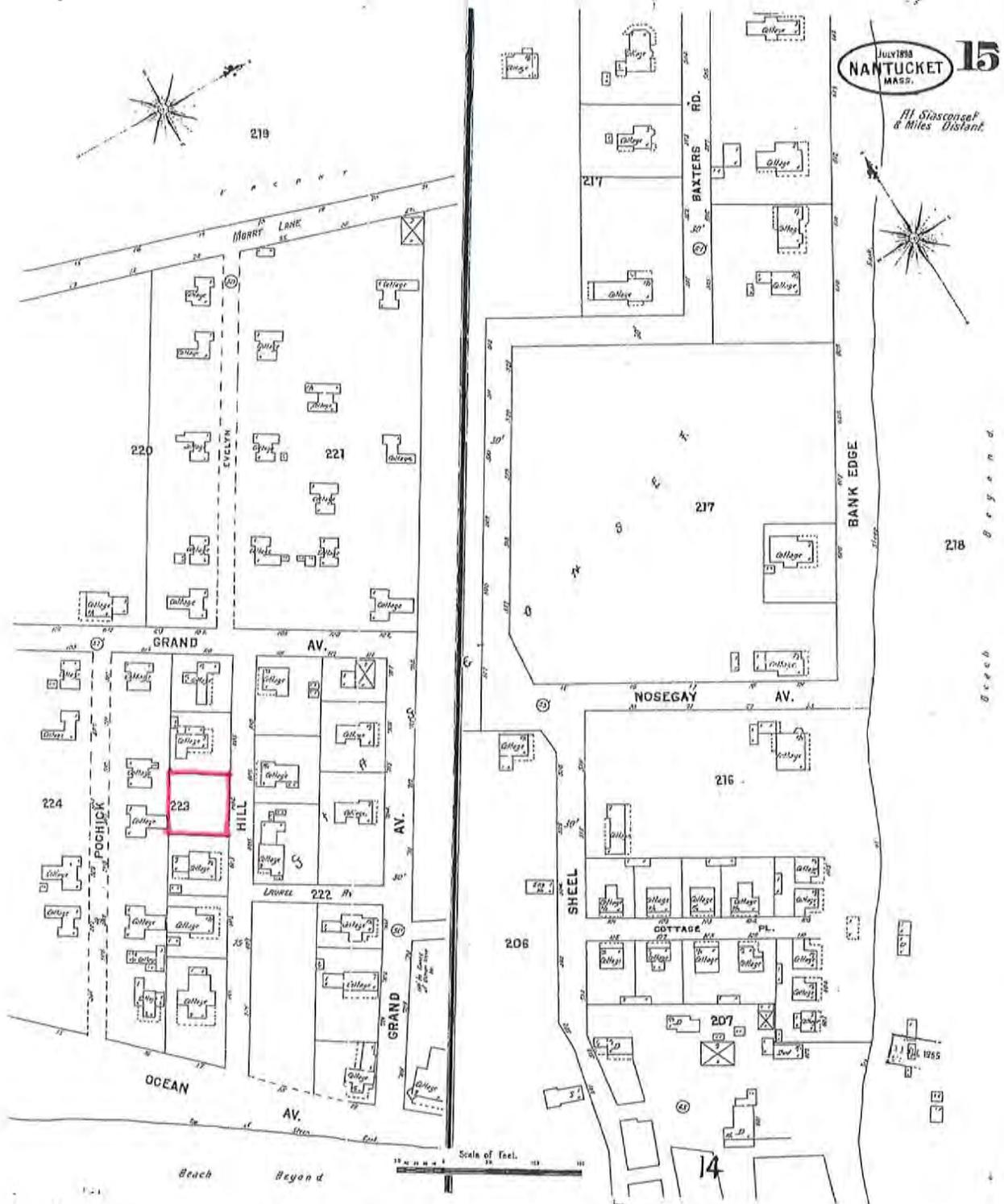


1910 - 9 POCHICK STREET

Previous rear of structure on 6 Magnolia Avenue can be seen just over the top of the shed to the right. Gable runs east and west with rear dormer.

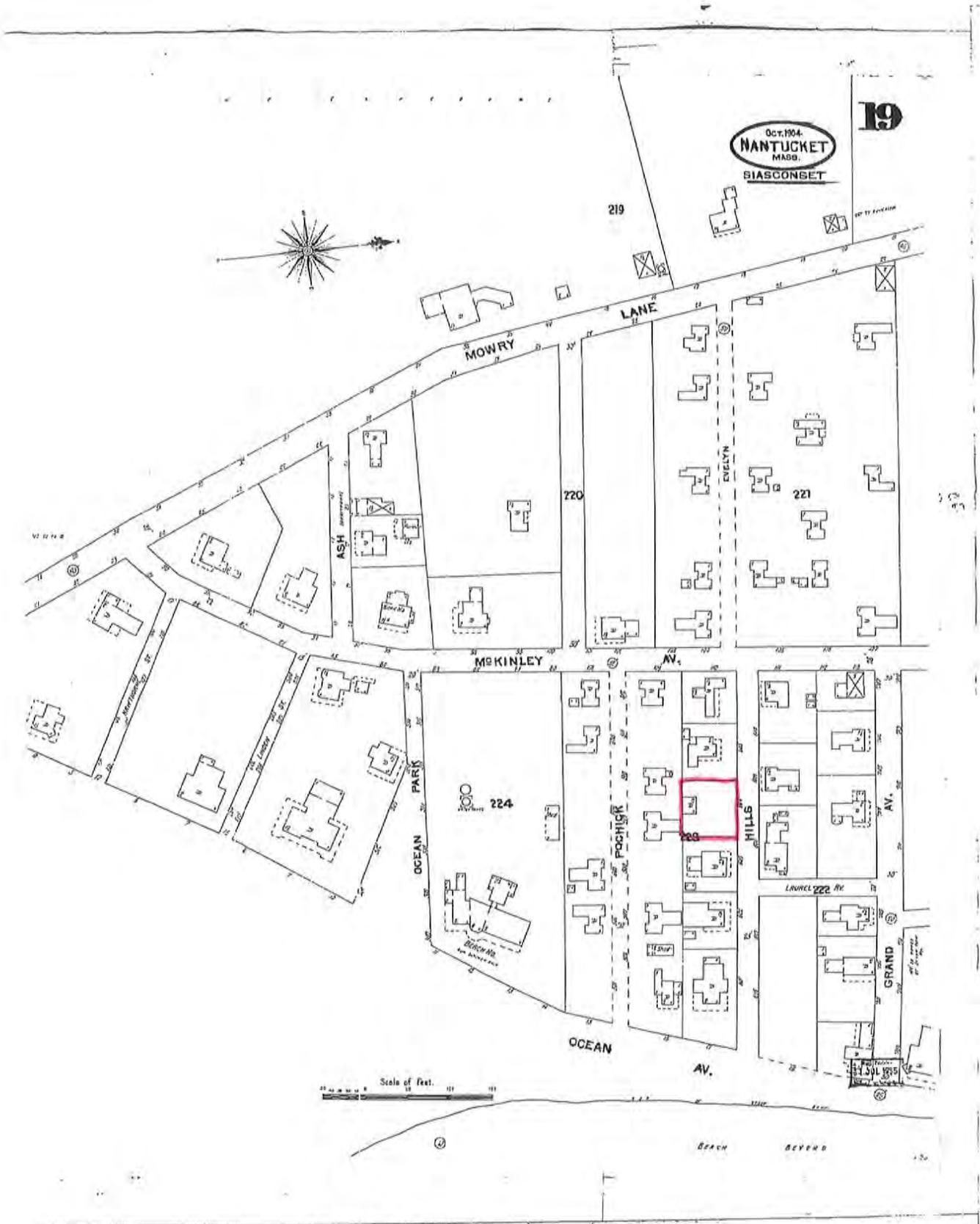


1898 SANBORN MAP – NO STRUCTURE ON LARGER LOT – AKA HILLS STREET



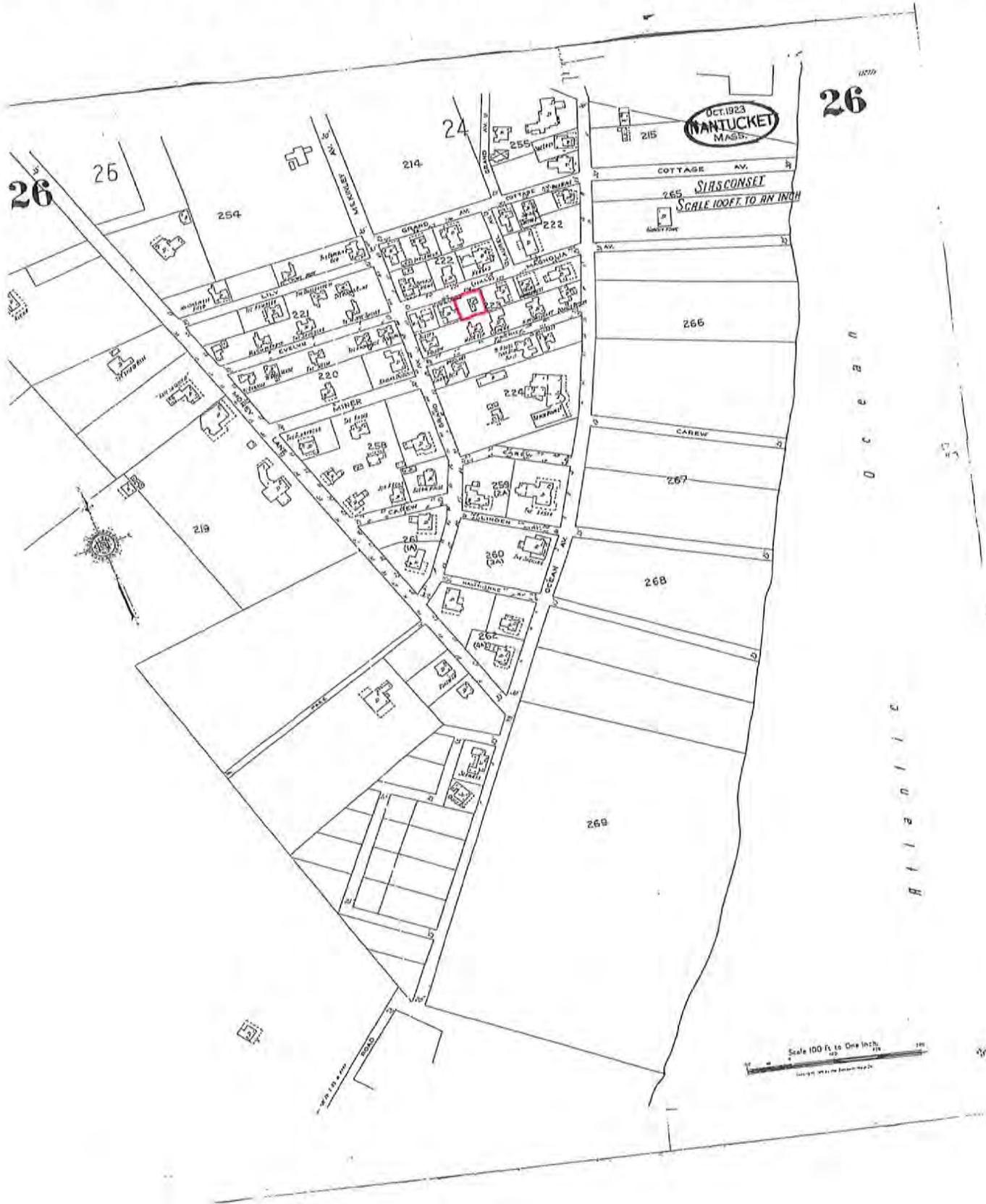
1904 SANBORN MAP – "1 ½"-STORY "D"WELLING – AKA HILLS STREET

VISIBLE IN THE 1910 PHOTOGRAPH OF 9 POCHICK STREET



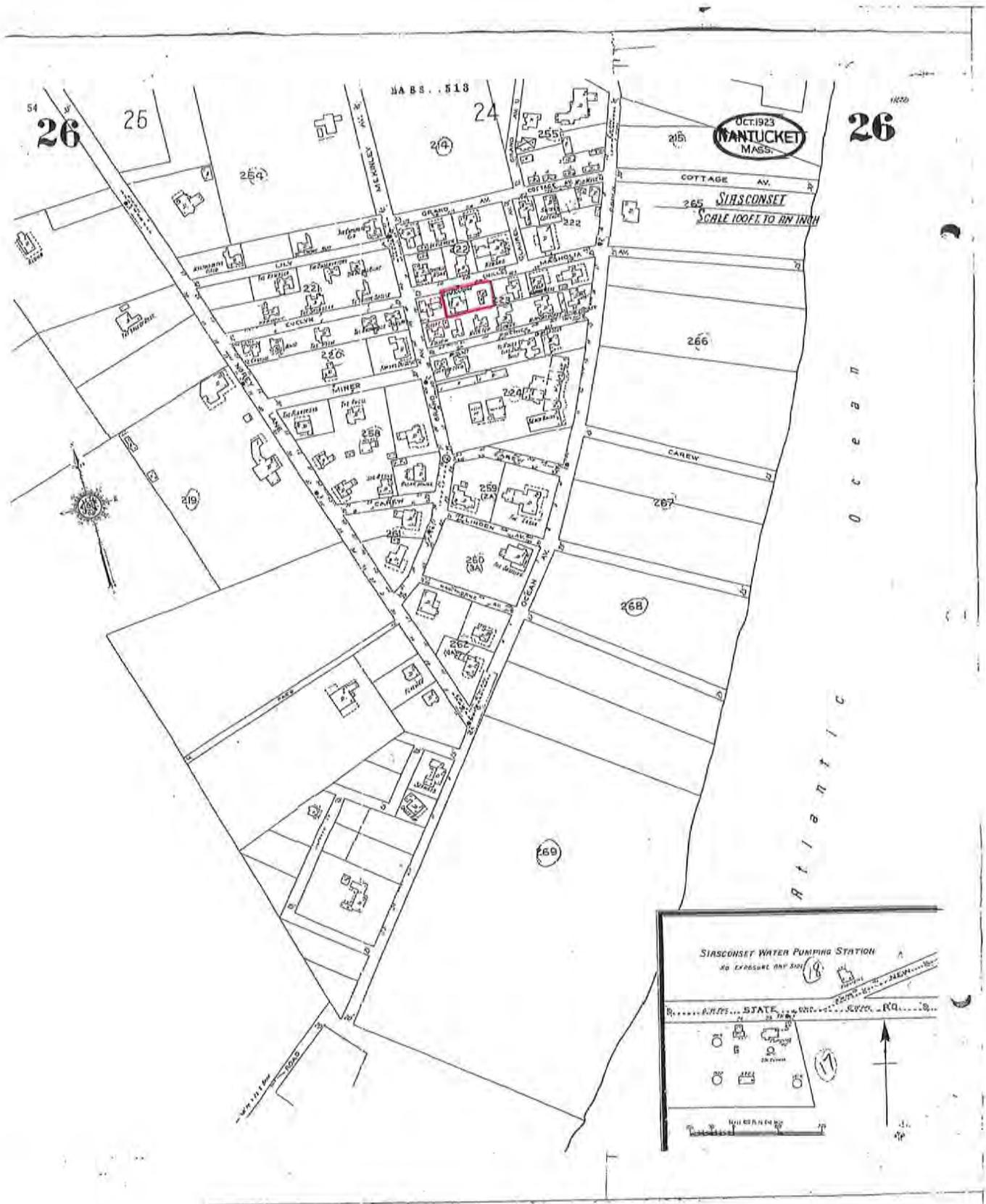
1923 SANBORN MAP – 2-STORY IN THE FRONT – 1-STORY IN THE REAR – AKA HILLS STREET.

Not same configuration of structure shown on 1904/1909 Sanborn Maps, front part of footprint slightly different with a 1-story off-set rear addition – notation went from “1 ½” to “2”-story indicating change in roof system, substantially altered if portion of same structure.



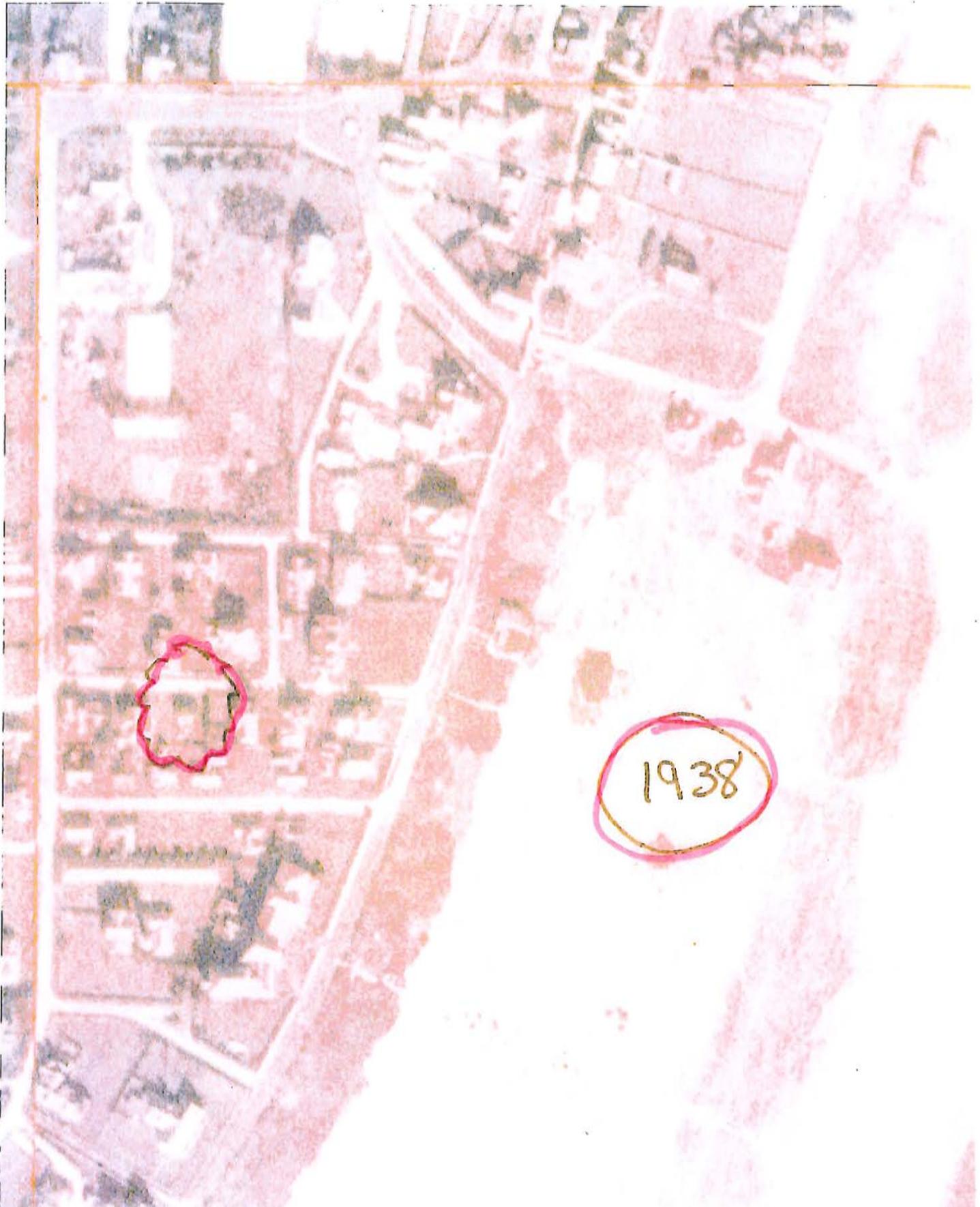
1949 SANBORN MAP – 2-STORY IN THE FRONT – 1-STORY IN THE REAR – AKA HILLS ST.

COTTAGE WAS STILL ON SAME LOT AS DWELLING TO THE WEST



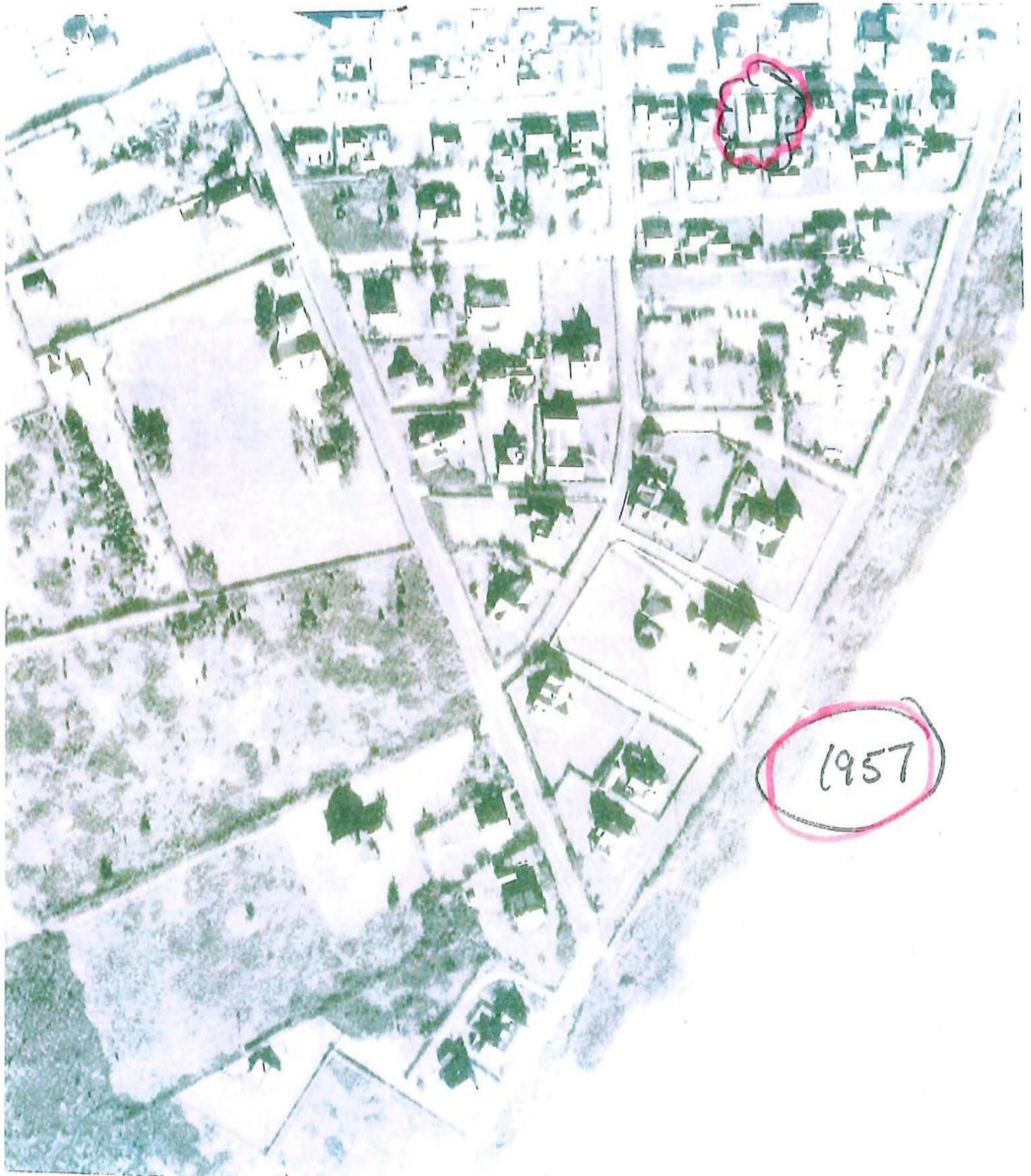
AERIAL PHOTOGRAPH- 1938

1 front dormer and small 1-story off-set rear addition is visible. Structure/footprint/location are same as shown on the 1923/1949 Sanborn Maps.



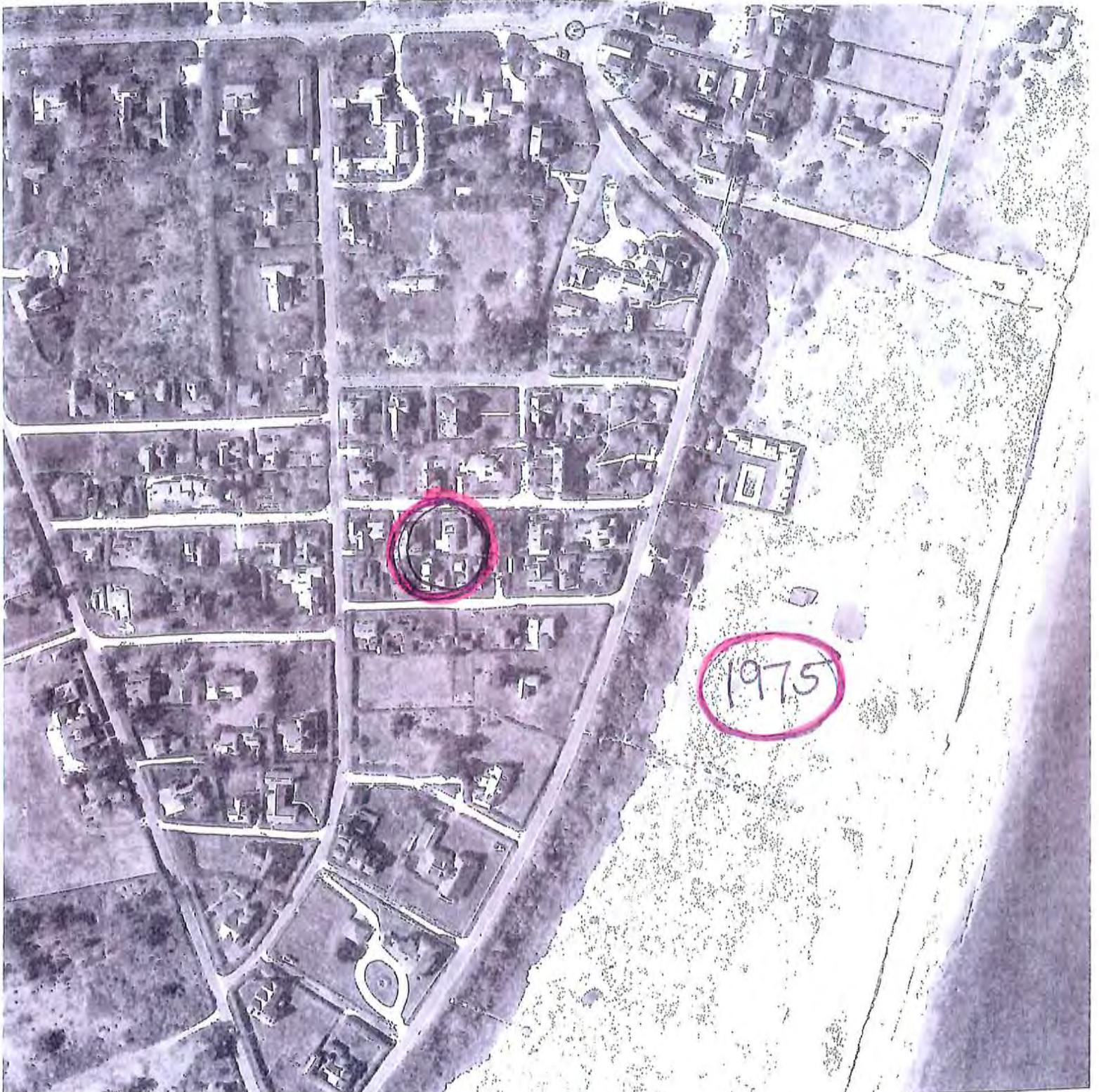
AERIAL PHOTOGRAPH - 1957

No change from 1938 aerial photograph except for a front porch added between 1949 and 1952 as noted on the 1952 subdivision plan.



AERIAL PHOTOGRAPH – 1975

Substantial changes had been made by this time. Front porch, side porch and storage area added, 2 dormers added with previous center dormer removed and roof system changed, rear 1-story off-set addition removed and a taller than the gambrel 2-story addition constructed that removed the rear roof of the front gambrel section, windows changed, chimney removed at some point. The wood is visibly newer and not weathered on the structure which means a relatively new construction of the above alterations. The structure has remained in this configuration to the present.



HDC SURVEY FORM

Questionable date of 1916. No verification other than form noting 1909 and 1923 Sanborn Maps. Appears to be enough difference between the 1909 dwelling and the one on the 1923/1948 Sanborn Maps to either lead to a conclusion that this structure is not the same one as in the photograph of 8 Magnolia Avenue or it was moved forward in order to add the 1-story rear ell. The full trellis in the picture has been altered and reduced on the current porch. It is listed as "contributing" but of "unknown" architectural or historical importance.

(See ATTACHED)

BUILDING/STRUCTURE INVENTORY FORM
NANTUCKET ISLAND ARCHITECTURAL
AND CULTURAL RESOURCES SURVEY
NANTUCKET HISTORIC DISTRICT COMMISSION
NANTUCKET, MASSACHUSETTS

SURVEY/
FILM ROLL #: SC4-25
MAP/PARCEL#: 7331-57

Recorded by: AH

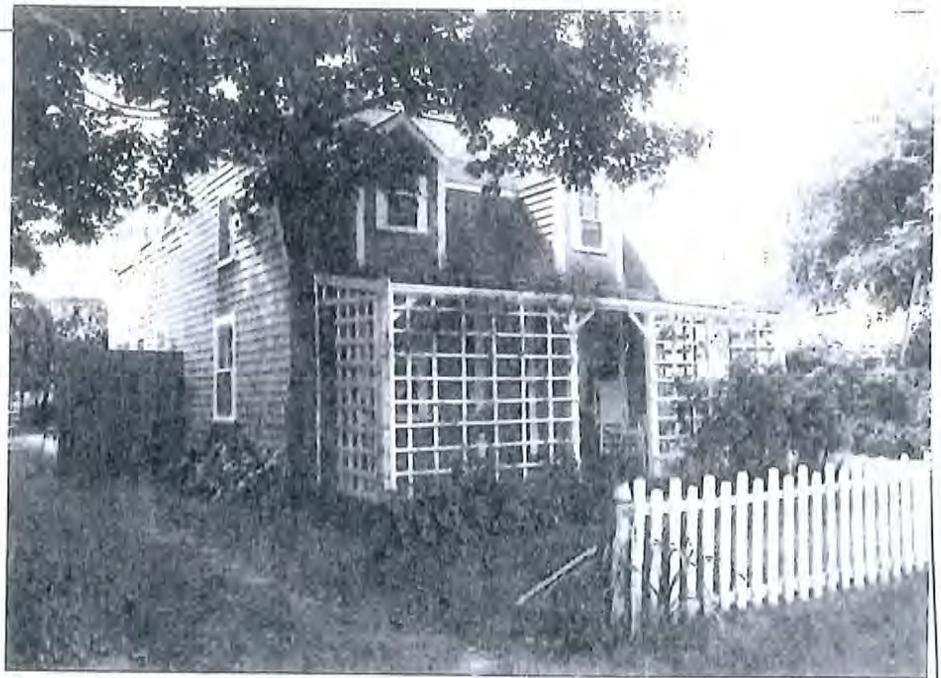
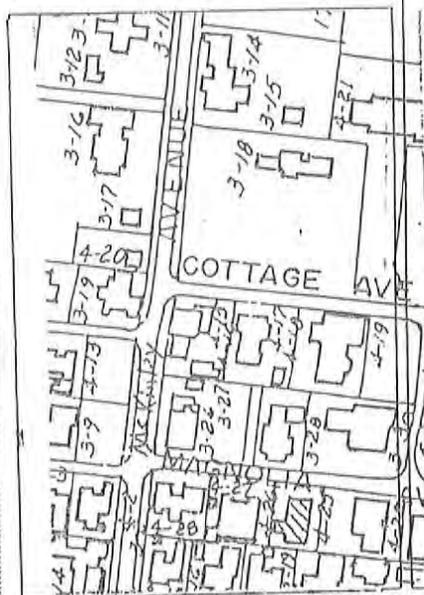
Date: 09/14/89

Organization: AGS

IDENTIFICATION

1. Street Name & No.: 6 MAGNOLIA AVENUE
2. Building Name: N/A
3. Ownership: Private
4. Present Owner: BOSH, PHILIP E & FLORA D
5. Ownership History:
Unknown
6. Use: Original: Dwelling Present: Dwelling
Seasonal/Year-Round: Seasonal
7. Accessibility to Public: Visible from Public Road? Yes
Interior: N/A

8. MAP -- 3 X 2"



GENERAL SETTING AND ORIENTATION OF BUILDING

10. Lot Size: N/A
11. Approximate Frontage (ft.): N/A
12. Setback from Street (ft.): 10 feet or less
13. Orientation to Street Address: Gabled
14. Surroundings: Densely Built, Residential,
Old Historic District
15. Related Outbuildings and Property: Fence
16. Other Notable Features:
N/A

DESCRIPTION

17. Foundation: Piers
18. Structural System: Woodframe
19. Exterior Wall Material, Front Facade: Shingles-Weathered
20. Exterior Wall Material, Side Elevations: Shingles-Weathered
21. Exterior Wall Material, Rear Elevation: Shingles-Weathered
22. Number of Stories: 2
23. Roof Shape: Gable, Gambrel
24. Roofing Material: Composition Shingle
25. Roof Features: Dormers/Front Facade
26. Dormer Roof(s): Gable
27. Chimney Material: Brick-unpainted
28. Chimney Position: End Wall
29. Number of Chimneys: 1
30. Chimney Features: N/A
31. Front/Primary Door Location: Center
32. Front/Primary Door Frame Features: Flush Frame
33. Number of Bays: N/A
34. Window Frame Type: Flush
35. Window Sash Type(s) - Front Facade: 6/6, 2/2

36. Porch: Front
37. Signage: N/A
38. Details: Corner boards-plain, Trellis
39. Condition: Good
40. Integrity: N/A
41. Alterations:
N/A

SIGNIFICANCE

- 42. Role the Building Plays: National Register: Contributing
- 43. Date of Initial Construction: Circa 1916
Source: Sanborn Maps
Architect: Unknown Builder: Unknown
- 44. Building Type: Box, Gable Front
- 45. Architectural Style: N/A
- 46. Historical and Architectural Importance:
Unknown

- 47. Sources: Sanborn Maps,
1909,
1923

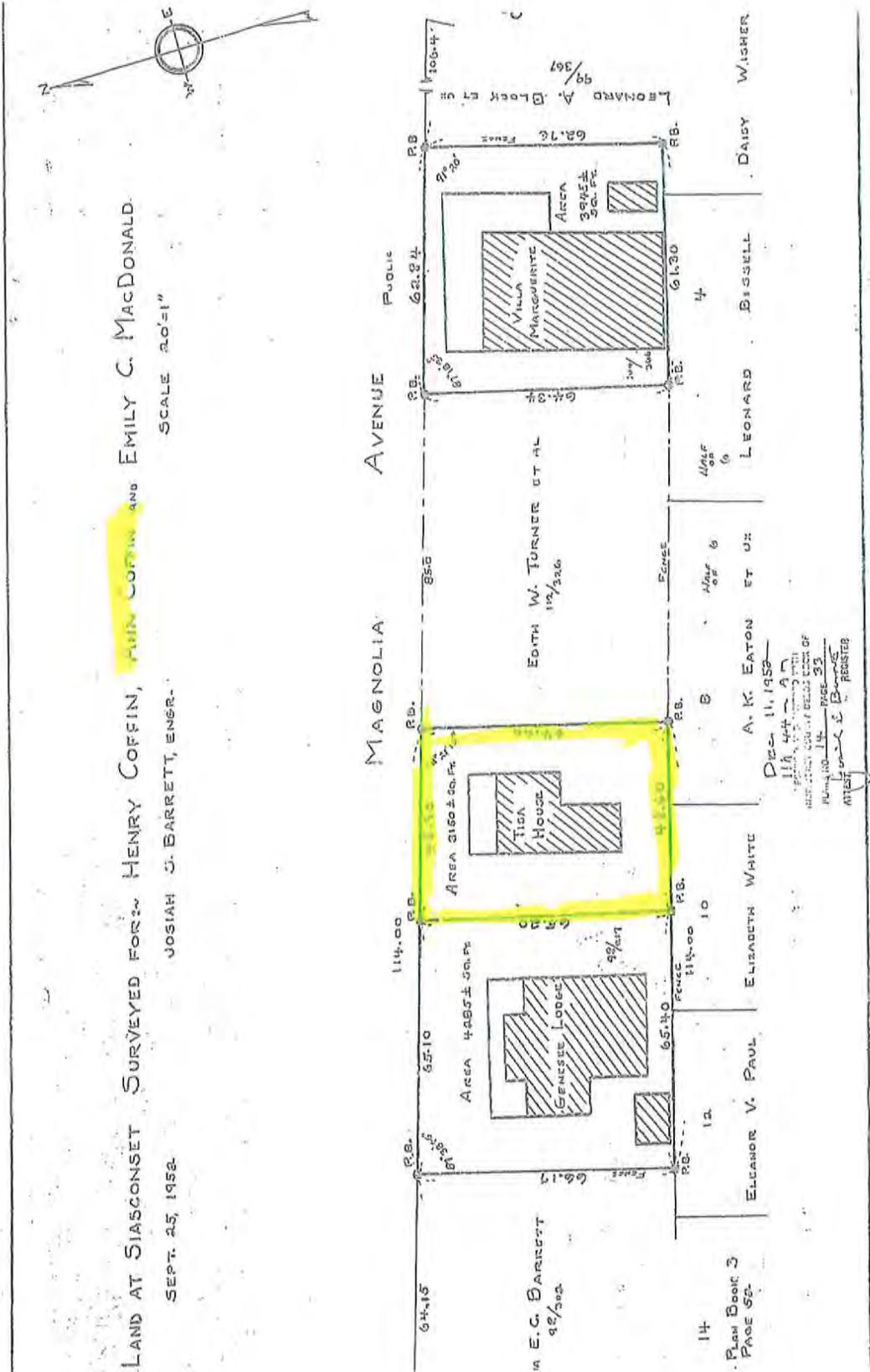
1952 SUBDIVISION OF COFFIN PROPERTY – PLAN 14, PAGE 33

Result of probate settlement – 6 Magnolia Avenue was conveyed to Ann Coffin from estate of Henry Coffin by 1953. The footprint is substantially the same as shown on the 1923 and 1949 Sanborn Maps with the addition of the front porch and the lot size reduced to the current size of the lot and separated from 8 Magnolia Avenue. Established lot size of 3150± SF from the previous lot size of 3000 SF.

1952

LAND AT SIASCONSET SURVEYED FOR: HENRY COFFIN, ANN COFFIN AND EMILY C. MACDONALD.
 JOSIAH J. BARRETT, ENGR. SCALE 20' = 1"

SEPT. 25, 1952



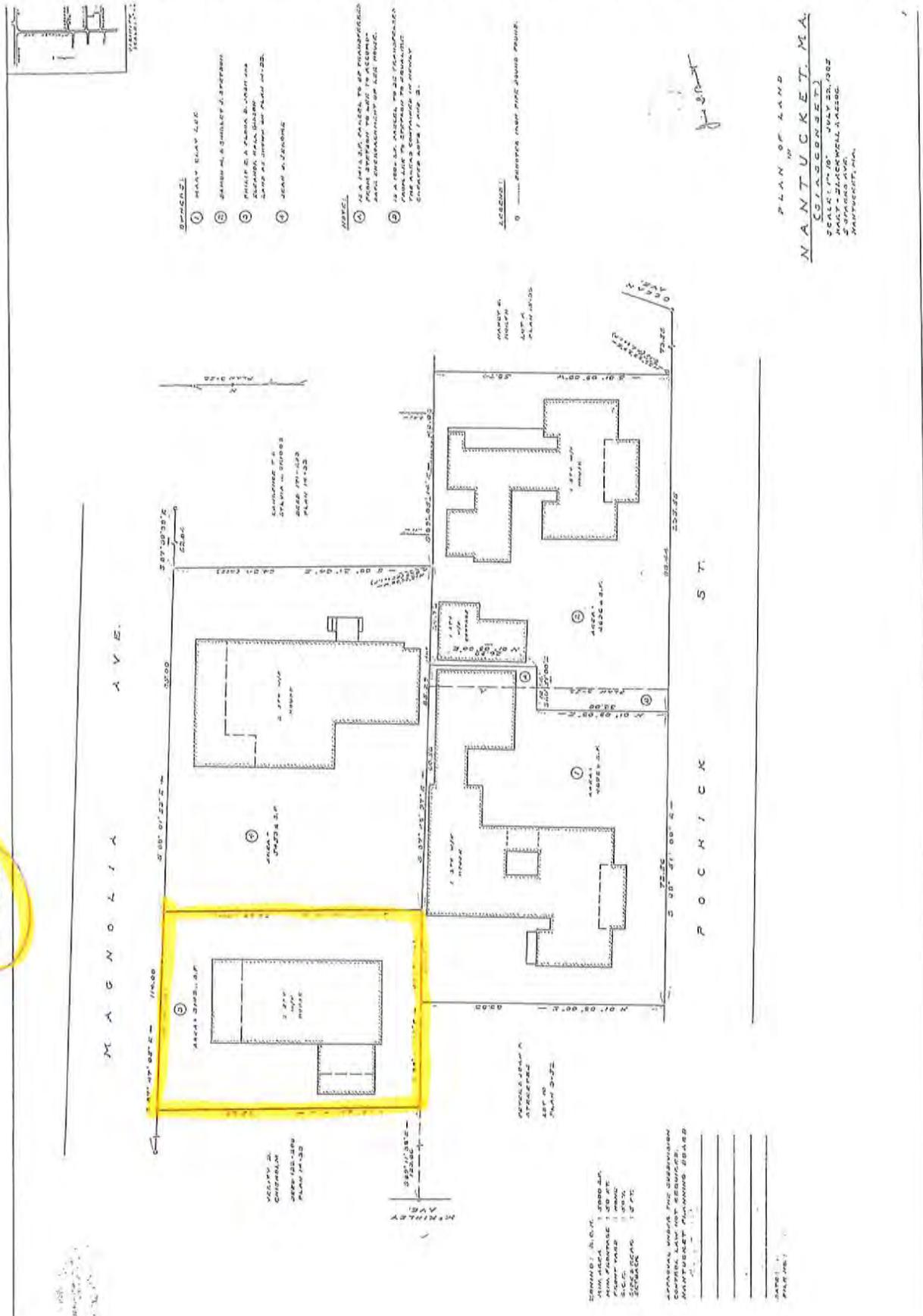
Dec 11, 1959
 114 448 5 AM
 RECORDED IN THE OFFICE OF THE CLERK OF
 THE SUPERIOR COURT OF THE COUNTY OF
 MICHIGAN NO. 14 PAGE 33
 ATTEST
 J. BARRETT & BROS.

14
 PLAN BOOK 3
 PAGE 52

1985 SUBDIVISION OF 4 PROPERTIES – PLAN FILE 20-B, LOT 3

Realignment of property lines among 2 lots on Pochick Street and verification of lot lines for 2 lots on Magnolia Avenue. Re-established lot size of 6 Magnolia Avenue as 3,149+ SF. The Plan also shows the expanded/altered structure substantially as configured presently.

1985



- REMARKS:**
1. RE-ESTABLISH LOT LINE
 2. RE-ESTABLISH LOT LINE
 3. RE-ESTABLISH LOT LINE
 4. RE-ESTABLISH LOT LINE
- NOTES:**
1. ALL DIMENSIONS TO BE VERIFIED FROM SURVEY TO THE RECORD PLAN.
 2. ALL DIMENSIONS TO BE VERIFIED FROM SURVEY TO THE RECORD PLAN.
- LEGEND:**
1. EXISTING LOT LINE
 2. PROPOSED LOT LINE

PLAN OF LAND
 NANTUCKET, MA
 COLLINGWOOD
 SCALE 1/4" = 1'-0"
 JULY 23, 1985
 1985 SUBDIVISION OF 4 PROPERTIES
 NANTUCKET, MA

CONTRACT NO. 1985-001
 ENGINEER
 ARCHITECT
 SURVEYOR
 PLANNING BOARD

Line No.	NAME AND ADDRESS OF PERSONS ASSESSED AND DESCRIPTION OF PARCEL	LAND Exclusive of Buildings		BUILDINGS Exclusive of Land		TOTAL VALUE of each Parcel	TAX	
		AREA	VALUE	DESCRIPTION	VALUE			
1	Coffin Ernest R., Siasconset Massachusetts Lots 32 & 33, King St. Lots 56 & 57, Front " 56 & 57, Rear	6,780	350	Dwelling	3,000	350 5,480	13.30	
		5,580	450		"		1,000	208.24
2	'Sconset Pl. Bk. 2, Pg. 88, Plainfield New Street	17 ac	600	Shop Garage	500	600 700	22.80	
		15,196	700		200		26.60	
3	Coffin, Ernest A. & Lillian M., Siasconset Massachusetts Gay Street Lots 46-47, King St.	5,400	1,100	Dwelling	2,800	3,900 200	148.20	
		7,320	200					7.60
4	Coffin, Ernest, Martindale & George, Marion Folger, Lillian Tierney, Marguerite Johnson Lots 50 Sankaty 51 Avenue 52 New Street, Lot 53 (send bill to Ernest Coffin Siasconset, Mass)	3,900	200			1,400	53.20	
		4,800	200					
		4,800	250					
		4,000	250					
		4,000	250					
5		54	4,000					
		55	4,000					
6	Coffin, Frederick C. & Emma M., Off Atlantic Ave., Nantucket, Mass.	Off Atlantic Ave.	11,680	250	Dwelling Building	2,500	2,800	106.40
						50		
7	Coffin, Henry & Anne M., Siasconset, Mass. Pl. 2408-	Madaket, Lot 1-7, inc.	50,000	300		300 200	11.40	
		17-23, inc., Blk. 28 Lot 24, Bl. 28,	2,500	200				7.60
8	Coffin, Henry Siasconset Massachusetts	5/6 Sheep Com.	1 ac	10	Dwelling	2,500	3,590 1,400	38
		Magnolia Ave., " St.	7,266	1,090		"		1,100
9	Coffin, Henry, Anne and Emily Coffin MacDonald Magnolia Ave. Madaket 8-16, Blk. 28	4,280	650	Dwelling	2,500	3,150 950	119.70	
		10,500	200		"		750	36.10

1	1983	" 56-57- Rear	11,170	330	"	1,000.		
		Siasconset Pl. Bk. 2, Pg. 68, Plainfield New Street	17 ac. 15,196	600 700	Shop Garage	500. 200.		
2							600. 700.	22.80 26.60
3		COFFIN, Ernest R. & Lillian M., Siasconset Massachusetts	Gay Street Lots 46-47, King St.	5,400 7,320	1,100 200	Dwelling	2,800. 3,900. 200.	148.20 7.60
4		COFFIN, Ernest B. Siasconset Massachusetts	Lots 43, 44, 45, King Street	11,120	680		680.	25.84
5		COFFIN, Ernest, Martindale, George, Marion Folger, Lillian Tierney Marguerite Johnson	Sankaty Ave. - Lots 50 " 51 " 52 New Street " 53 " 54 " 55	3,900 4,800 4,800 4,000 4,000 4,000	200 200 250 250 250 250		1,400.	53.20
6								
7		COFFIN, Frederick C. & Emma M. Off Atlantic Ave., Nantucket, Mass.	Off Atlantic Ave.	11,680.	250	Dwelling Building	2,500. 50. 2,800.	106.40
8		COFFIN, Henry Siasconset Massachusetts	5/6 Sheep Common Magnolia Ave. Magnolia Street	1 ac. 7,268 3,000	10 1,090 300	Dwelling Dwelling	10. 2,500. 1,400.	136.42 53.20
9		COFFIN, Henry & Anne M. Siasconset Massachusetts	Madaket, Lot 1-7 inc. 17-23, inc., Blk. 28 Lot 24, Blk. 28, Pl. 24	50,000 2,500	300 200		300. 200.	11.40 7.60
10		COFFIN, Henry, Anne, and Emily Coffin Siasconset Massachusetts	MacDonald Magnolia Ave. Madaket 8-16, Blk. 28 North Pasture	4,280 10,500 17 ac. 35 ac. 177,294 35 ac. 177,294	650 200 100 2910	Dwelling Dwelling 7 1/2 Bld - 1 Bld - 7 Bld - 1 Bld - 1 Shop - 1 Garage	2,500. 750. 100. 16,900 25,810.	3,150. 950. 119.70 36.10 3.80 980.78
		TOTALS		8,910			25,810.	980.78

1954 REAL ESTATE VALUATION LIST

Line No.	NAME AND ADDRESS OF PERSONS ASSESSED AND DESCRIPTION OF PARCEL	LAND Exclusive of Buildings		BUILDINGS Exclusive of Land		TOTAL VALUE	
		AREA	VALUE	DESCRIPTION	VALUE	of each Parcel	TAX
1	CLARKSON, John & Fannie Milk street Nantucket, Mass. Milk street	3,420	350	Dwelling Building	1,600. 150.	2,100.	79.80 79.80
2	CLARKSON, John Milk street Nantucket, Mass. Burnt Swamp	1 ac 5,000	50			50.	1.90 1.90
3	COCHRAN, Dorothea L. 25 Hussey street Nantucket, Mass. Lots 6-7, Sherburne Turnpike, L.C. 9009A	131,600	5,200	Dwelling " #2 DWG. & Gar. Bath House Dwelling	1,800. 1,800. 2,350. 100. 5,000.	11,250.	427.50 427.50
1	Hussey street L. C. Pl. 17817A Rear	6,000 7,500	1,020 530	Dwelling 2-car garage	5,000. 400.	6,950.	264.10 264.10
4	COCHRAN, Joseph W. Hussey street Nantucket, Mass. L.C. Pl. 14833B, Lot A	8 ac.	200			200.	7.60 7.60
5	CODY, Joseph M. & Elizabeth T. Union street Nantucket, Mass. Lot 8, Woodbury Lane, Book Pl. 14 page 23	9,990	500			500.	19.00 19.00
7	COFFIN, Alfred B., Jr. Main street Nantucket, Mass. East Lincoln Ave., Lot 6	5,000	150			150.	5.70 5.70
	COFFIN, Anne Siasconset Massachusetts Magnolia Ave.	3,000	300	Dwelling	1,100.	1,400.	53.20 53.20
	COFFIN, Charles Clark Milk street Low Beach Pl 5004						

1956

2	Washington St. Main St.	4800 2900	770 3480	Dwelling 300 Dwelling 300 Dwelling 400 Dwelling 400 Dwelling 800 Stores 6000	1570 9480	62 80 379 20	62.80 379.20
3	Clarkson, John Burnst Swamp Burnst Swamp Vesper Lane	1 ac 27,000 2 ac	50 200	Dwellings 500	550 200	22 00 8 00	22.00 8.00
4	Clarkson, John & Fannie Milk St. Milk St.	3420	350	Dwelling Bldg. 1600 150	2100	84 00	21.00
5	Clarkson, Violet Burnt Swamp 4 York Lane	4300	50	Dwelling 650	700	28 00	28.00
6	Clark, Robert W. & Yvette D. State Rd., Secn. State Rd. Secn.	77,000	550	Building 200 Dwelling & Shop 750 Greenhouse 300 Bldg. 400	2200	88 00	77.00
7	Cochran, Joseph W. Hussey St. Pl. 14873B Lot A	8 ac	200		200	8 00	8.00
8	Gody, Joseph M. & Elizabeth A. Nobadeer Way Lot 15 Pl. 16514F Nobadeer Way	15,000	200	Dwelling 2000	2200	88 00	88.00
9	Coffin, Anne, Magnolia A.e. Magnolia A.e.	3000	300	Dwelling 1100	1400	56 00	56.00
10	Coffin, Charles Clark Milk St. Sh.1 Low Beach Pl. 5004 Lot 4A Low Beach upland Lots 13, 14, 16, 17, 45, 47, 52, 53, 54, 55, 56, 57, 63, 67.	90 ac. 25 ac. 12 ac.	1100 250 60		1100 250 60	44 00 10 00 2 00	44.00 10.00 2.00
TOTALS		138 ac. 124,620	2760 8,760	D-14 B-4 Stores - 2	19,650 19,650	28,410 28,410	1136 40

1964

1	Mad. Lot 1 Pl. 15459-F Cert. 3516 Hagedorn, Mary O. & Parfit, Dorothea A. 1730 Lasuen Rd. Santa Barbara, Cal.	3 ac.	250			2,550	315.90	315.90
2	Quident Lots 1 & 3 Pl. 9168-C Lot 21 Pl. 11019-H Lot B Pl. 11232-C Quident Land unreg. Plainfield	7 ac.	700			250	13.50	13.50
3	Hagglund, Robert & Sousa, Carlton R. 21 Manner Ave. Natick, Mass.	8,000 21,000 35 ac. 8,000	100 300 1,500 100			700	37.80	37.80
4	43 Centre St.	3,660	950	Dwelling	3,200	4,150	224.10	224.10
5	Hale, Josephine A. c/o Hale Brothers Co. Jefferson, Mass.	Lots 413-416 Sec. B. M.P.	6,000	100		100	5.40	5.40
6	Hall, David & Kathryn H. 41 Forest St. Wellesley Hills, Mass.	Hinckley Lane & Cliff Rd. Hinckley Lane Lot H	7,000	350	Dwel & Gar.	2,500	2,850	153.90
7	Hall, Edwin M. & Zoe B. RFD 1 Box 259 Arnold, Md.	Lot A Shell St.	4,016	500	Dwelling	1,300	1,800	97.20
8	Hall, Genevieve B. 79 West 12th St. New York Cityll,	Lot 4 Pl. 14902-T Squam Cert. 4060 Pleasant St. Lot 1	8 ac. 20,000 2,115	800 300	Dwelling Garage	2,500 400	3,300 700	178.20 37.80
9	Hall, Harry E. 6 Manning Drive Barrington, R.I.	Lots 39,40, Blk 56 Sec. 3 M.T.	4,000	150		150	8.10	8.10
10	Hall, Nancy L. 438 Little Tor Rd. New City, N.Y.	Magnolia Ave.	3,000	300	Dwelling	1,300	1,600	86.40
TOTALS		92,200 95,539 95,539	8750 8,750	Dwell 5 Gar. 1 Gar & Apt. 1	15,200	23,950	2,293.30	1,293.30

Nantucket
NAME OF CITY OR TOWN

1944 VALUATION LIST—REAL ESTATE

Example

28

NAME AND ADDRESS OF PERSON ASSESSED GIVE STREET AND NUMBER	TAX	LAND, EXCLUSIVE OF BUILDINGS			BUILDINGS, EXCLUSIVE OF LAND, AND OTHER THINGS ERECTED ON LAND OR AFFIXED THERETO		TOTAL VALUE OF EACH PARCEL OF REAL ESTATE		
		DESCRIPTION OF EACH PARCEL OF LAND OWNED BY EACH PERSON BY NAME, LOCATION, OR LOT NUMBER-BLOCK-PLAN	AREA OF EACH PARCEL ACRES	SO. FEET	VALUE OF LAND	DESCRIPTION OF EACH BY ITS USE As to Dwelling, specify Number of Stories, Single, Double, or Number of Apartments		VALUE OF BUILDINGS	
Coffin, Albert R.	51.30	Prospect Street		6000	600	Dwelling	1800	2400	
		Prospect Street		4510	250	Garage	150	400	
		Grove Lane		21780	50			50	
Coffin A. Byron	.90	Tuckernuck		63600	20			20	
		Madaket		5000	30			30	
Coffin, Ann M.	144.00	Magnolia Avenue		4280	650	Dwelling	2500	3150	
		Madaket		10500	200	Dwelling	650	850	
		Main Street - Siasconset	40		1800	Club House	2000	4000	
		Golf Club				Barn	200		
Coffin, Bertha A.	74.70	Sankaty Avenue		9720	750	Dwelling	1800	4150	
						Barn & Bldgs.	700		
						Garage	900		
Coffin, Charles B.	1.80	Miacomet	15		100			100	
Coffin, Edith E.	126.90	Darling Street		13447	1750	Dwelling	3800	7050	
						3 car garage	450		
						3 car garage	450		
						2 car garage	300		
						2 car garage	300		
Coffin, Edna	37.80	Joy Street		10950	500	Dwelling	1600	2100	
Coffin, Edward F.	102.60	Shell Street		20653	1700	Dwelling	2100	4900	
						Stable & Bldg.	1100	200	
					2	200			200
					2	200			200
					4	400			400

Example

19 55 REAL ESTATE VALUATION LIST

Line No.	NAME AND ADDRESS OF PERSONS ASSESSED AND DESCRIPTION OF PARCEL	LAND Exclusive of Buildings		BUILDINGS Exclusive of Land		TOTAL VALUE		TAX
		AREA	VALUE	DESCRIPTION	VALUE	of each Parcel		
1	COFFIN, Henry Siasconset 5/6 Sheep Common	1 ac.	10			10	40	40 ✓
2	COFFIN, Henry & Anne M. Siasconset Madaket Lot 1-7, inc. Lot 17-23, inc., Blk. 28 Lot 24, Block 28, Plan 2408	50,000 2,500	300 200			300 200	12 00 8 00	12.00 ✓ 8.00 ✓
3	COFFIN, Henry, Anne, and Emily Coffin Siasconset MacDonald Magnolia Ave. Madaket 8-16, Blk. 28 North Pasture Blk. 27, Lots 8-16, L. C. Pl. 2408	4,280 10,500 17 ac. 10,500	650 200 100 200	Dwelling "	2,500 750	3,150 950 100 200	126 00 38 00 4 00 8 00	126.00 ✓ 38.00 ✓ 4.00 ✓ 8.00 ✓
4								
5	COFFIN, Henry, Jr., & Florence M., Siasconset Siasconset	60 ac. 487 ac.	2,400 4,850	Dwelling, #1 " 2 2 Barns & Building	1,800 1,600 2,000	12,650	506 00	506.00 ✓
6	Mowing Land Pasture, L. C. Pl. 4839-B, Lot A	4 ac. 105 ac.	200 1,050			200 1,050	8 00 42 00	8.00 ✓ 42.00 ✓
7	COFFIN, Henry, Jr. Siasconset Main St., Siasconset, Golf Club	40 ac.	1,800	Club House Barn	2,000 200	4,000	160 00	160.00 ✓
8	COFFIN, Herbert H. Beaver Street Beaver Street	3,940	350	Dwelling	1,900	2,250	90 00	90.00 ✓
9	COFFIN, James P., Elizabeth D., Edward F., Phoebes H. Small Plainfield,	3 ac.						

6 MAGNOLIA AVENUE

RECEIVED
FEB 03 2020
From Linda Miller

NORTH ELEVATION – FRONT VIEW FROM MAGNOLIA AVENUE

ORIGINAL CENTER LARGE DORMER WAS REMOVED AND TWO FLANKING DORMERS WERE ADDED – RESULTING IN A MAJORITY OF THE FRONT ROOF STRUCTURE BEING REMOVED AND REPLACED

FRONT PORCH NOT ORIGINAL TO THE STRUCTURE – REAR ADDITION/DORMERS/PORCH WERE ADDED AFTER 1957 AND BY 1975- ASSESSOR'S INFORMATION CLEARLY SHOWS THAT HERE HAD STILL BEEN NO CHANGES MADE TO THE STRUCTURE UNTIL AFTER 1964, ASSESSMENTS REMAINED RELATIVELY UNCHANGED UP TO THAT POINT

AERIAL FROM 1975 SHOWS NEW WOOD REFLECTION ON THE ROOF/DORMERS/REAR ADDITION

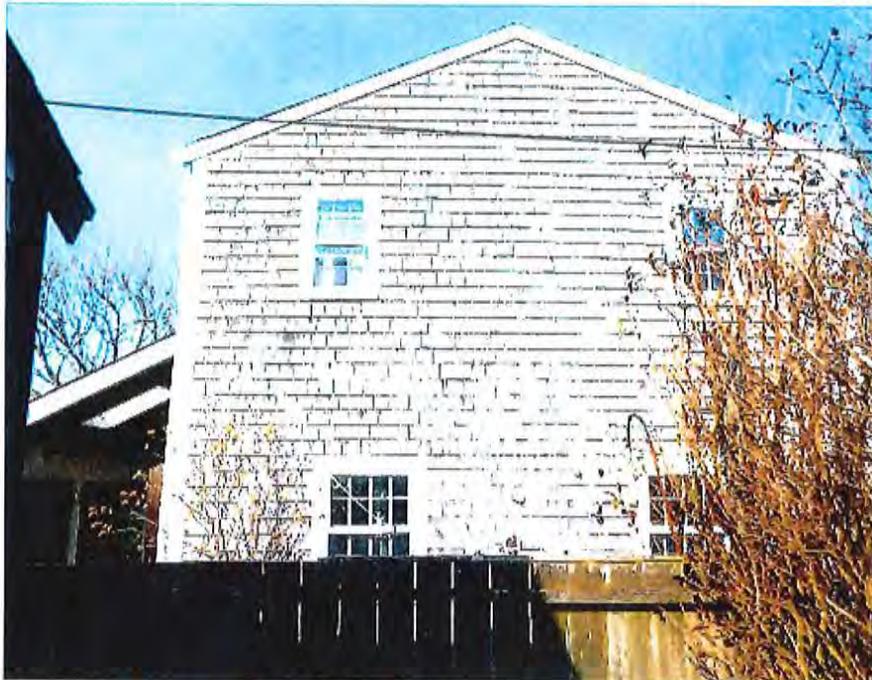
ROOF PEAK VISIBLE IN THE CENTER IS THE NEWER REAR ADDITION THAT REMOVED THE REAR PORTION OF THE ROOF AND ROOFED OVER THAT REAR GAMBREL ROOF PORTION LEAVING ONLY A SMALL PORTION OF THE FRONT ROOF SECTION LEFT UNCHANGED



SOUTH ELEVATION – REAR

VIEW FROM THE PROPERTY AT 9 POCHICK STREET

BY 1975 THE PREVIOUS 1-STORY SMALL ADDITION WAS REMOVED AND REPLACED WITH A LARGER 2-STORY ADDITION CENTRALLY LOCATED OFF THE REAR OF THE FRONT PORTION BUT CONSTRUCTED OVER THE TOP OF THE FRONT GAMBREL REAR SECTION OF THE ROOF. THE ADDITION OF THIS SUBSTANTIAL 2-STORY SECTION OBLITERATED THE REAR WALL OF THE GAMBREL WITH A STANDARD GABLE FORM TALLER THAN THE FRONT GAMBREL SECTION.



SOUTH AND EAST ELEVATIONS

REAR 2-STORY ADDITION THAT REPLACED THE SMALL 1-STORY ORIGINAL REAR EL



EAST ELEVATION – SIDE

THE REAR ADDITIONS IMPACT ON THE FRONT SECTION IS VISIBLE FROM THE RIDGE SOUTH. HEIGHT OF THE REAR ADDITION IS VISIBLE ABOVE THE RIDGE.

ONLY A SMALL PORTION OF THE ORIGINAL ROOF REMAINS TO THE LEFT AND RIGHT OF THE NEWER DORMERS

REAR PORTION OF THE GAMBREL WAS FLATTENED OUT AND SUBSUMED BY THE GABLE ROOF STRUCTURE OF THE REAR ADDITION.

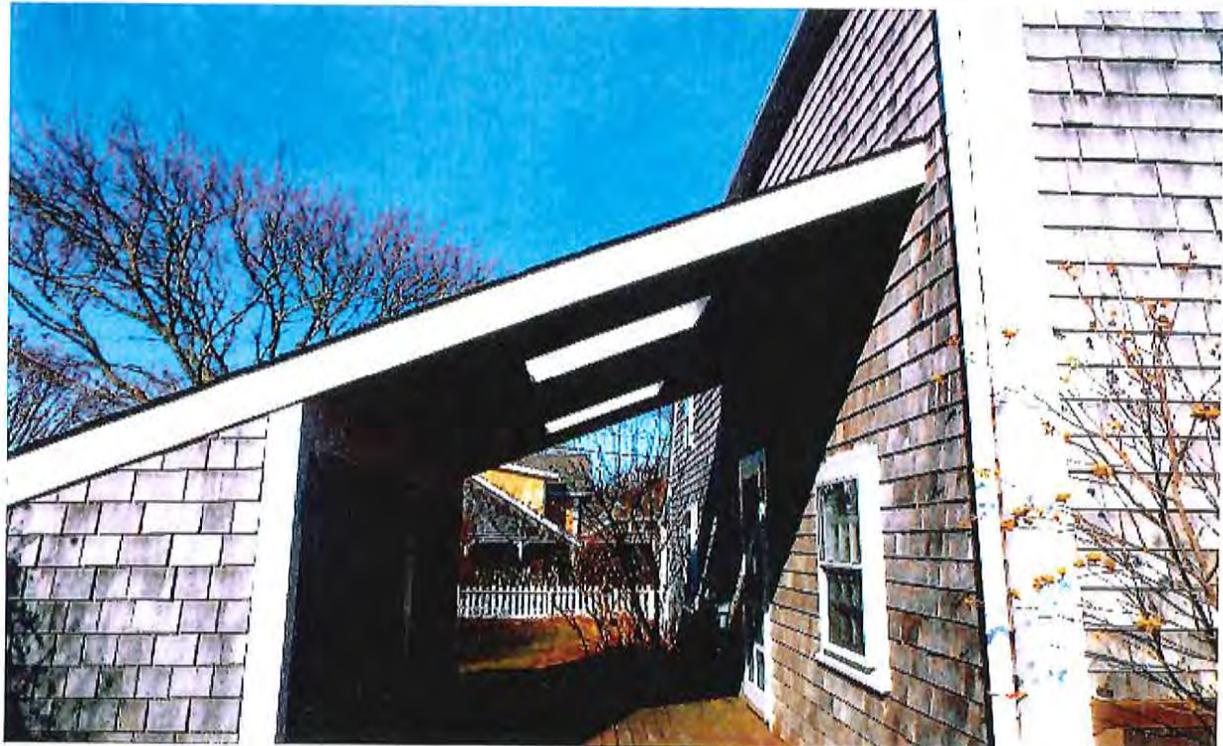
AT SOME POINT THE EXTERIOR CHIMNEY, NOTED ON THE SANBORN MAPS ON THIS NE CORNER HAD BEEN REMOVED. NO CHIMNEY IS ON THE STRUCTURE PRESENTLY.





WEST ELEVATION – SIDE

INTEGRATION OF THE REAR ADDITION WITH THE REMAINDER OF THE FRONT GAMBREL IS CLEARLY VISIBLE. SIDE PORCH ADDITION AND STORAGE AREAS ADDED AT THE SAME TIME AS THE OTHER ADDITIONS.



VIEW FROM BETWEEN 9 & 5 POCHICK STREETS

LOOKING AT THE 1910 NHA PHOTOGRAPH 9 POCHICK STREET, THE FORMER 1 ½-STORY SMALL DWELLING THAT IS SHOWN ON THE 1904 AND 1909 SANBORN MAPS IS VISIBLE OVER THE BACK FENCE AND SHED (STILL ON THAT LOT).

IT HAS A DIFFERENT RIDGE FORM AND DORMER. THIS STRUCTURE WAS REMOVED AND REPLACED BY 1923 WITH THE LARGER DWELLING CLOSER TO THE NORTHERLY FRONT YARD LOT LINE.

IT ALSO APPEARS TO BE SUBSTANTIALLY SHORTER WITH A RIDGE THAT RUNS EAST AND WEST. WHEREAS THE CURRENT REAR ADDITION RIDGE RUNS NORTH AND SOUTH.







SHED ADDITION ON THE DWELLING ON 9 POCHICK STREET THAT – LOOKING SOUTH



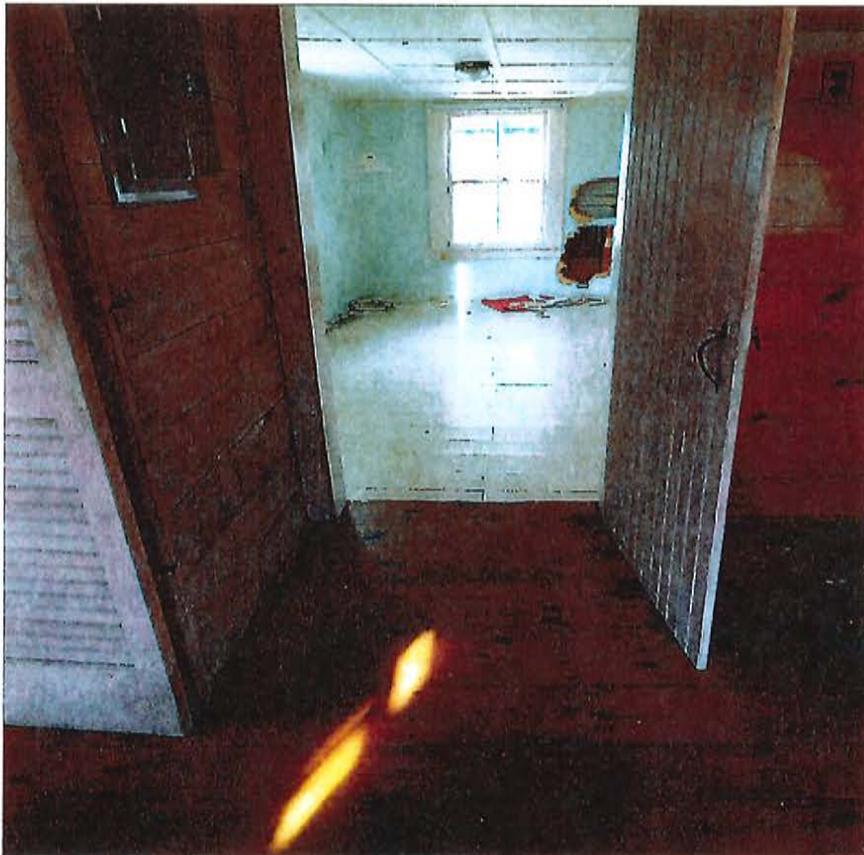
6 MAGNOLIA AVENUE - INTERIOR

RECEIVED
FEB 03 2020
LW

FRONT SECTION OF GAMBREL PORTION - ONLY 1 ROOM ON FIRST FLOOR OF GAMBREL



VIEW FROM REAR ADDITION INTO THE FRONT SECTION



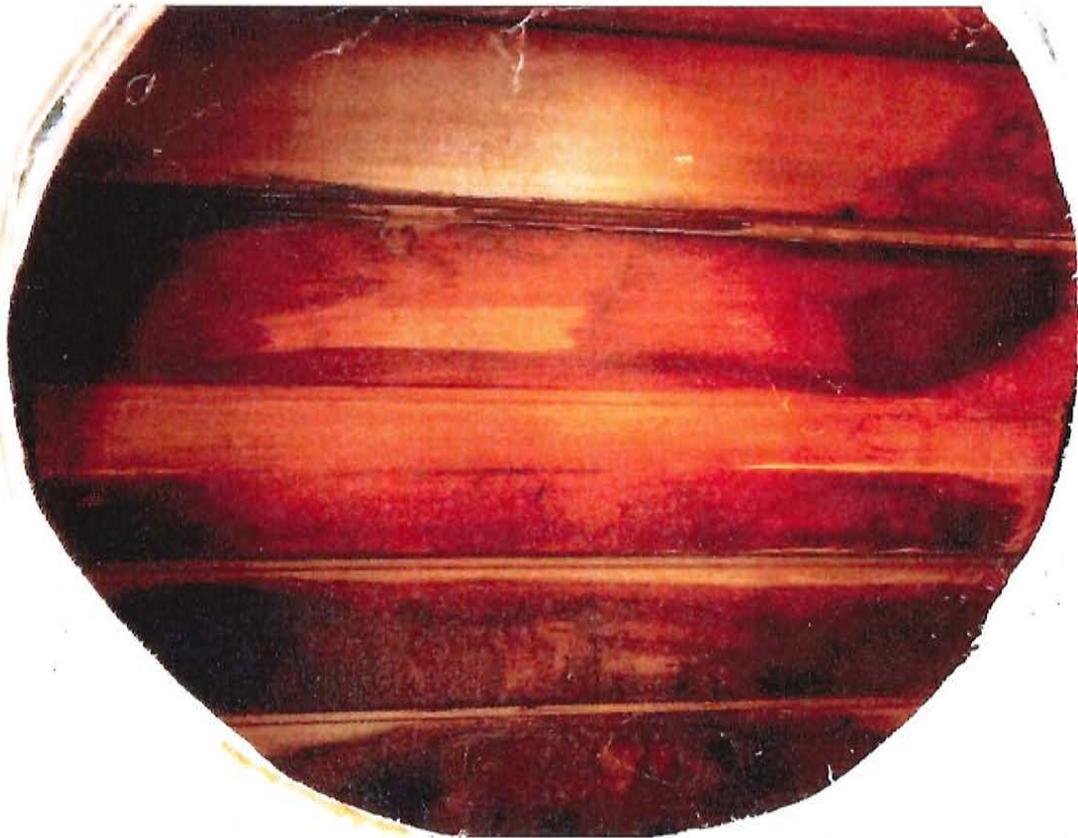
CHANGE IN THE FLOORS BETWEEN GAMBREL AND REAR ADDITION



MORE RECENT DROPPED CEILING



INSIDE FRONT WALL OF GAMBREL SECTION – NEWER MILLED WOOD AND STUDS



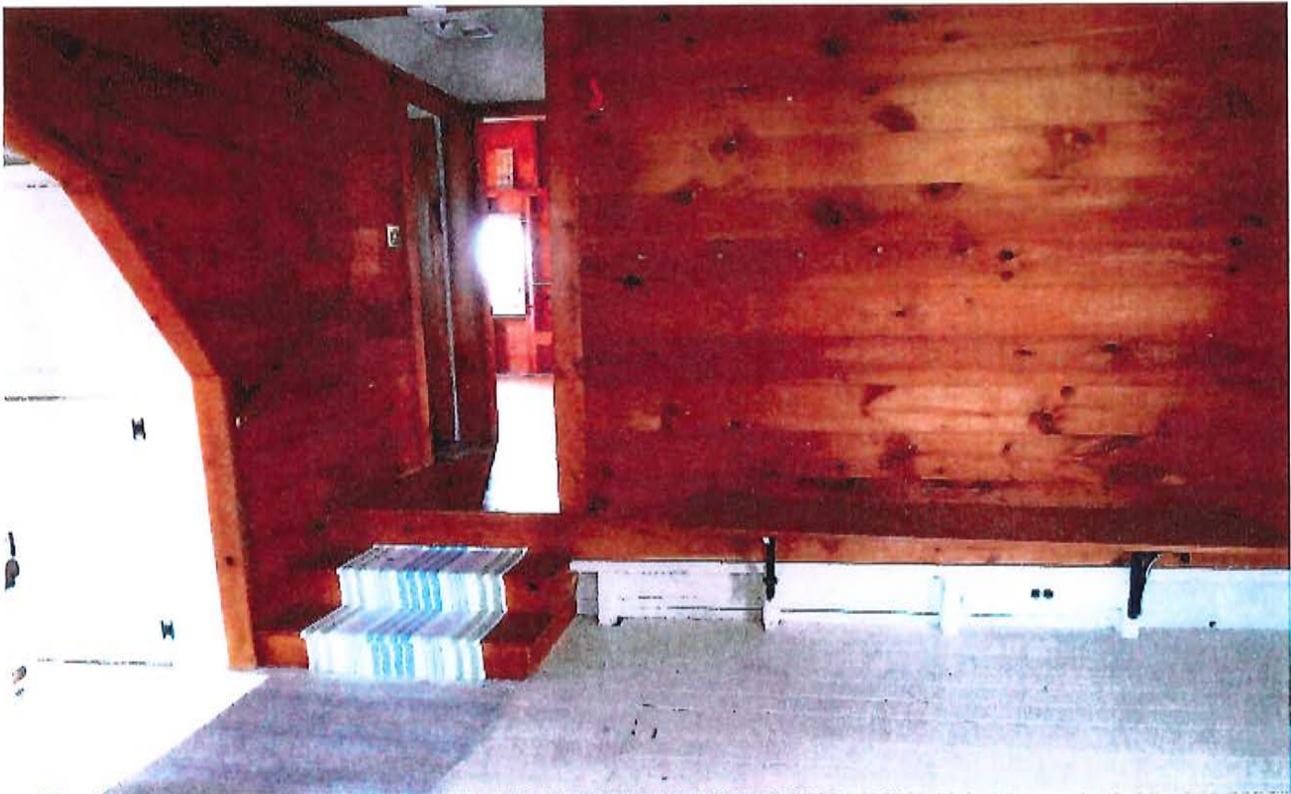
FRONT DORMERS – WALL BOARDS CONSISTENT UNTIL ABOVE THEM ON CEILING – NO HAND HEWN – WINDOWS NOT ORIGINAL BUT PLACED WHEN ADDITION/DORMERS BUILT



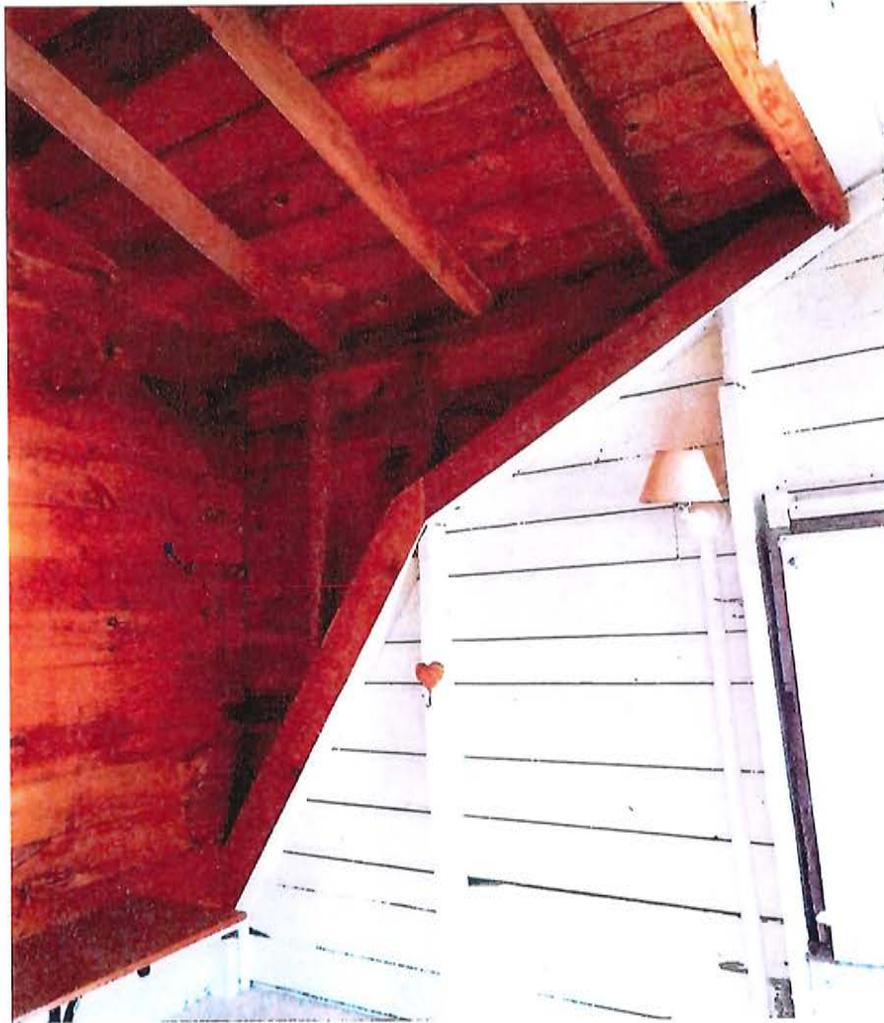
EAST WALL – NOT AN ORIGINAL WINDOW

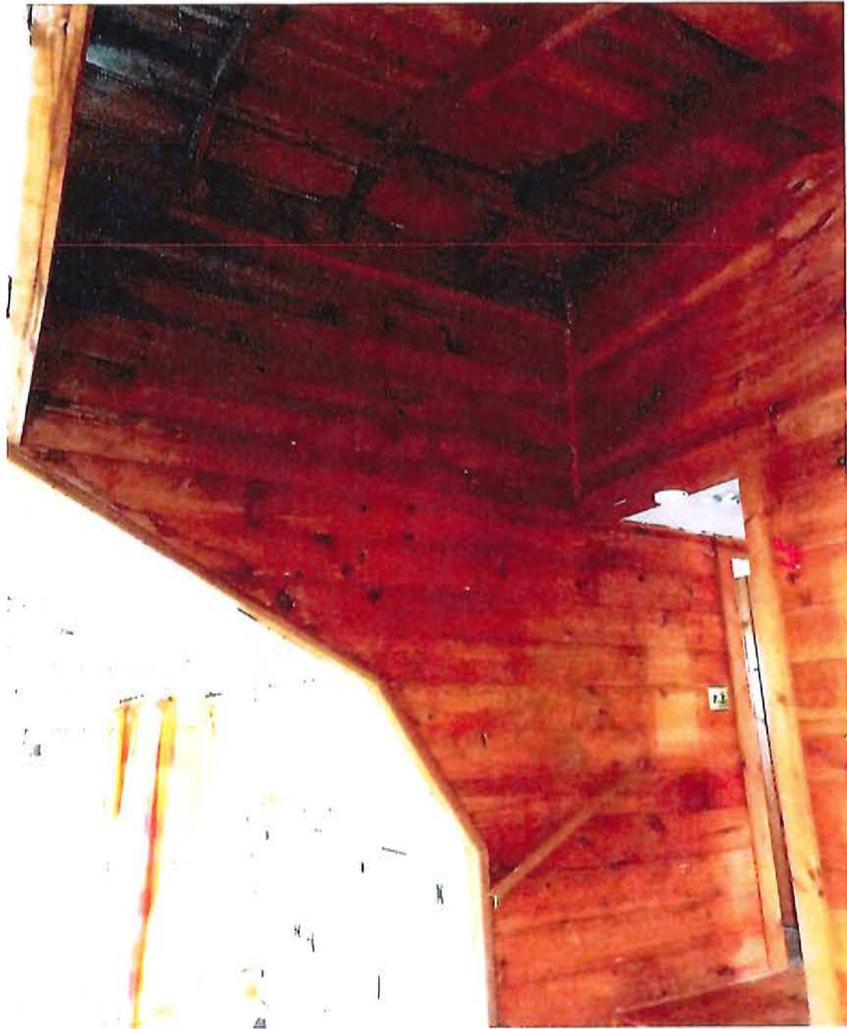


**REAR 2-STORY ADDITION CLEARLY VISIBLE – REAR OF THE GAMBREL ROOF REMOVED
CHANGE IN ELEVATION OF THE FLOOR SYSTEMS TO MEET CODE ON CEILING HEIGHTS**

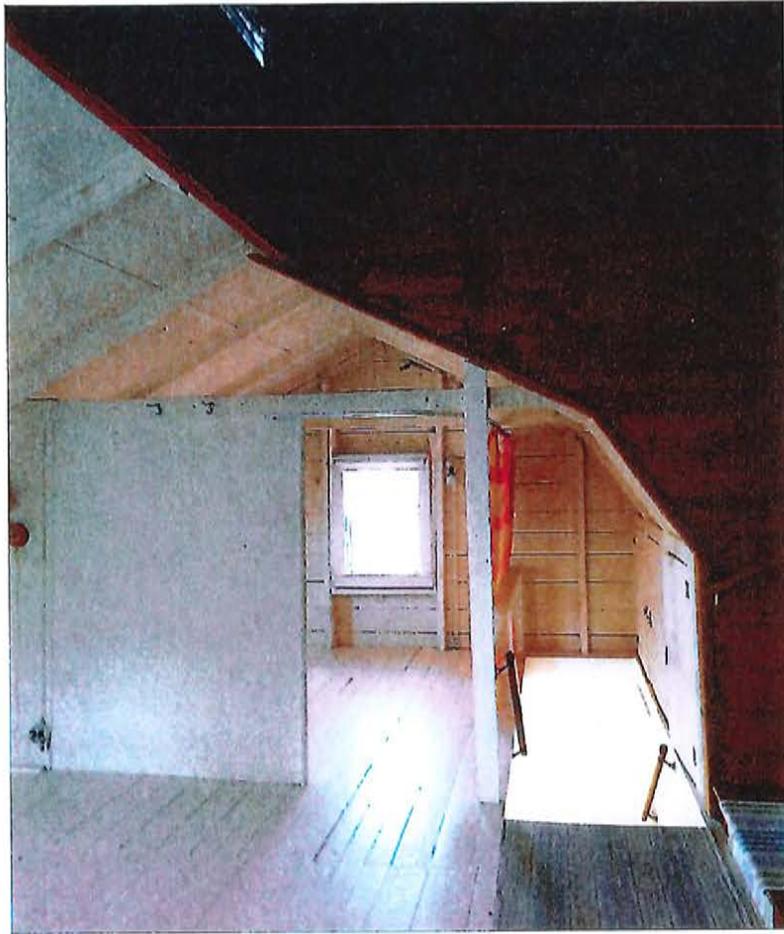


NEWER ROOF OVER





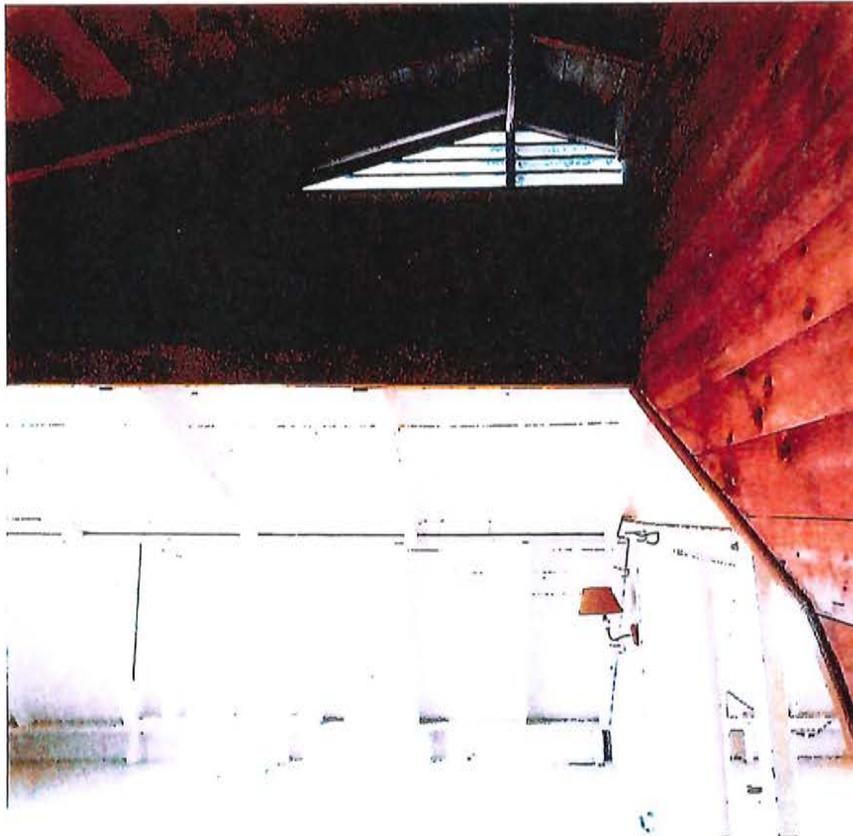
LOOKING TOWARDS EAST WALL – INTERIOR WALL IS WHERE THE ORIGINAL DORMER WAS
LOCATED AND REMOVED



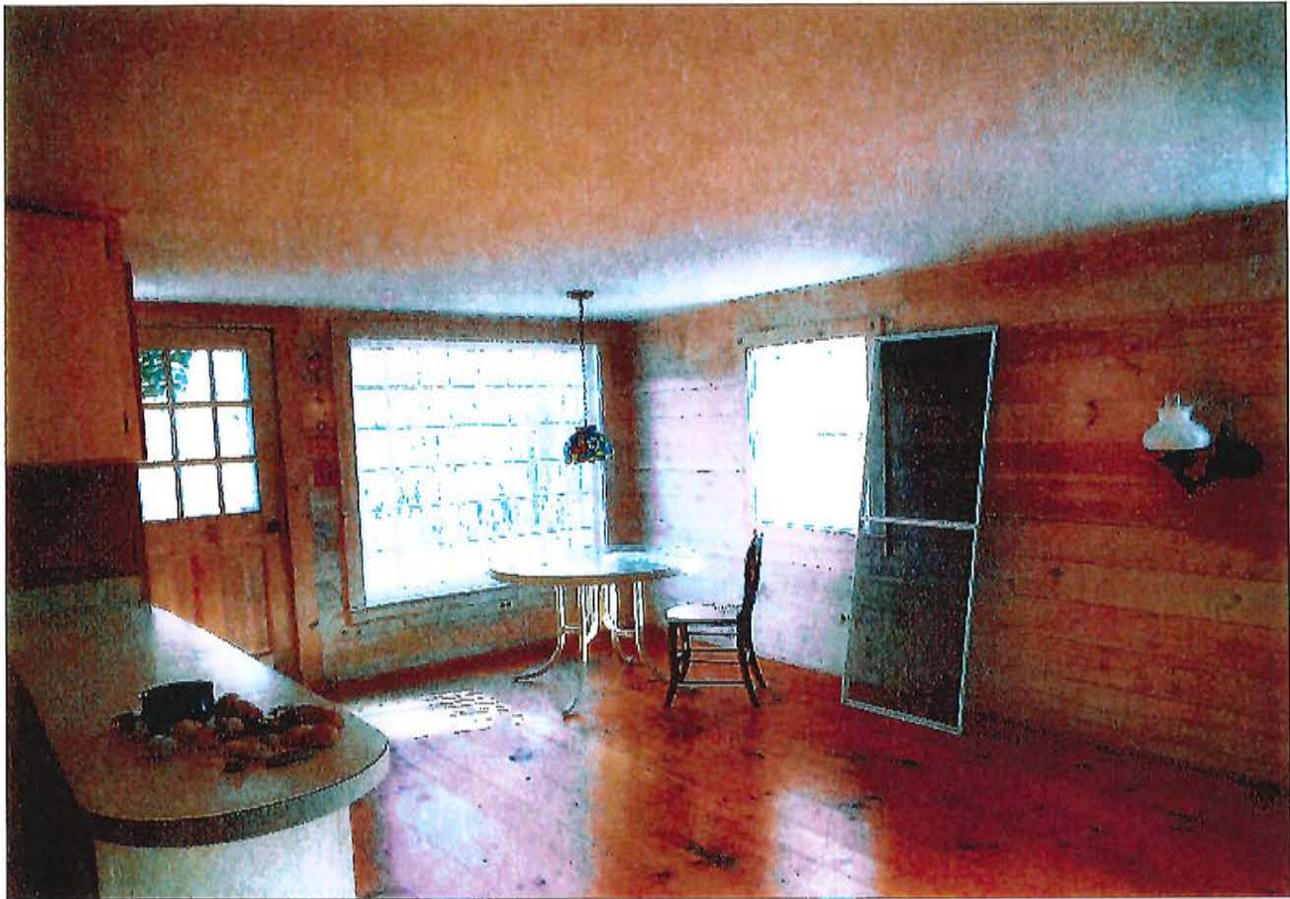
LOOKING FROM REAR ADDITION INTO FRONT GAMBREL



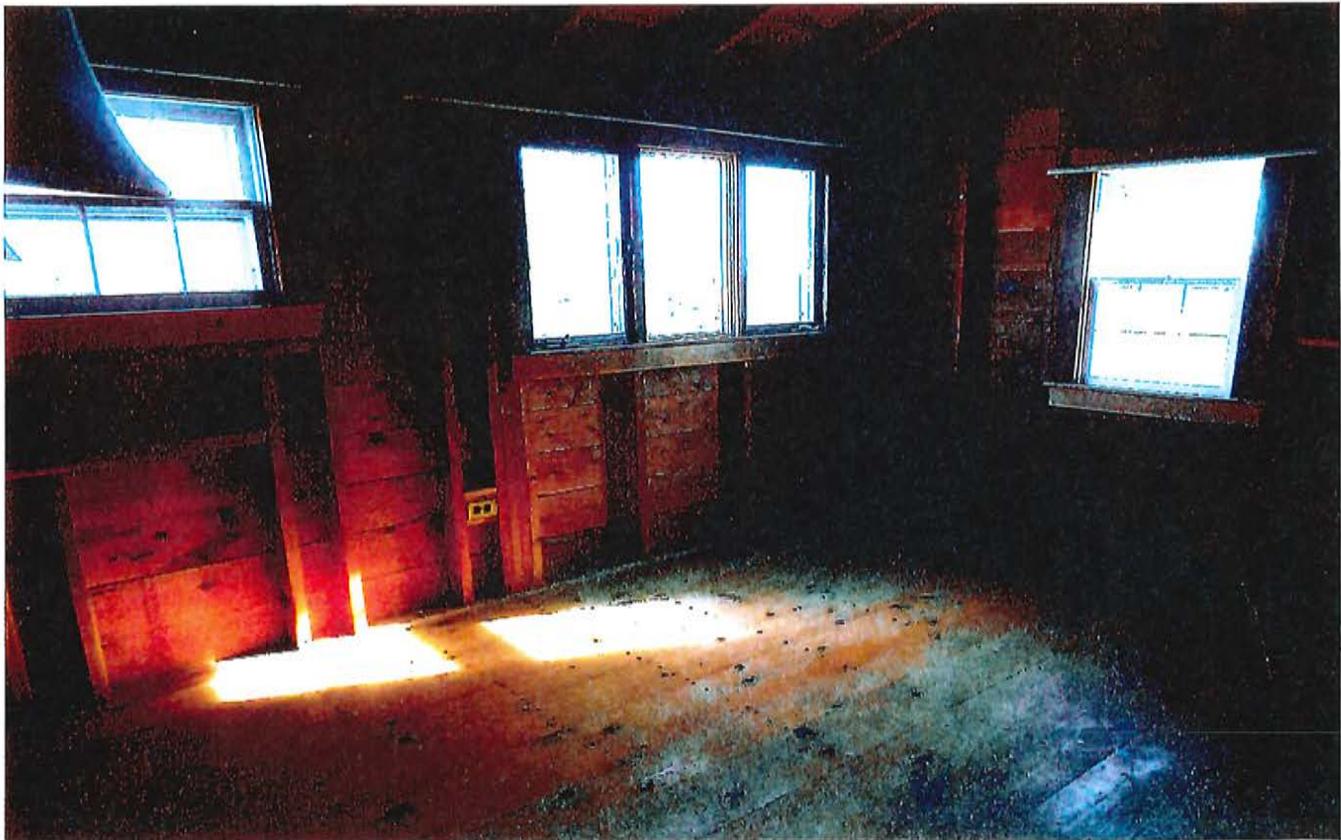
ROOF PEAK OVER THE FRONT GAMBREL ROOF



REAR ADDITION FIRST FLOOR – KITCHEN AND BATHROOMS ONLY IN REAR SECTION



REAR ADDITION SECOND FLOOR



WINDOWS

ONLY 1 PANE APPEARS TO HAVE OLDER GLASS. OTHER PANES APPEAR TO BE MODERN FACTORY GLASS

MIXTURE OF WINDOWS. 6/6 DO NOT APPEAR TO BE ORIGINAL. 2/2 ARE OLDER BUT THE OBLIQUE PICTURE OF THE FRONT OF THE HOUSE ON THE NHA 1900 PHOTOGRAPH APPEAR TO HAVE MORE PANES.

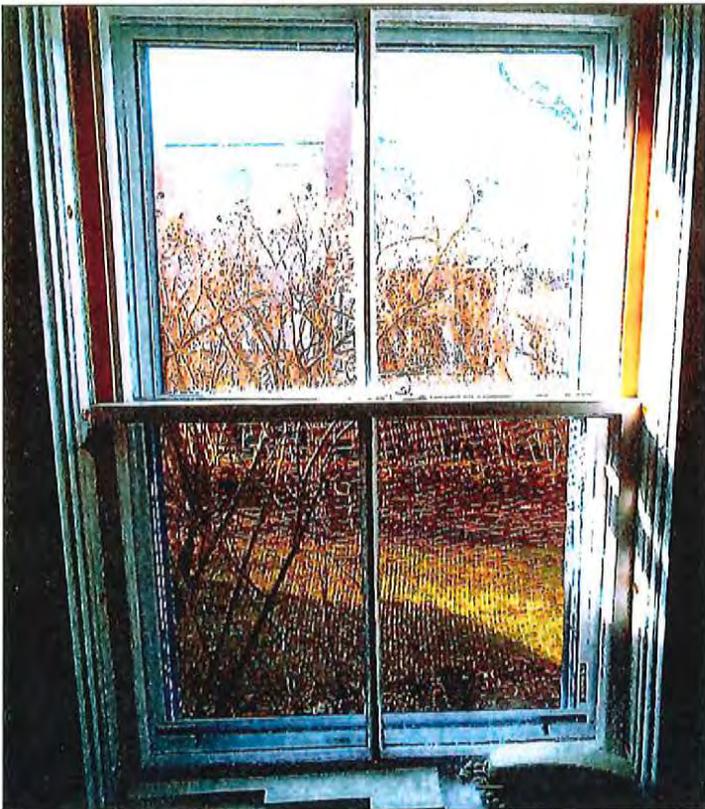
EAST ELEVATION WINDOW FIRST FLOOR GAMBREL – NOT APPEAR TO BE ORIGINAL – MUNTINS ARE THICKER/REGULAR WITH ALUMINUM STORM



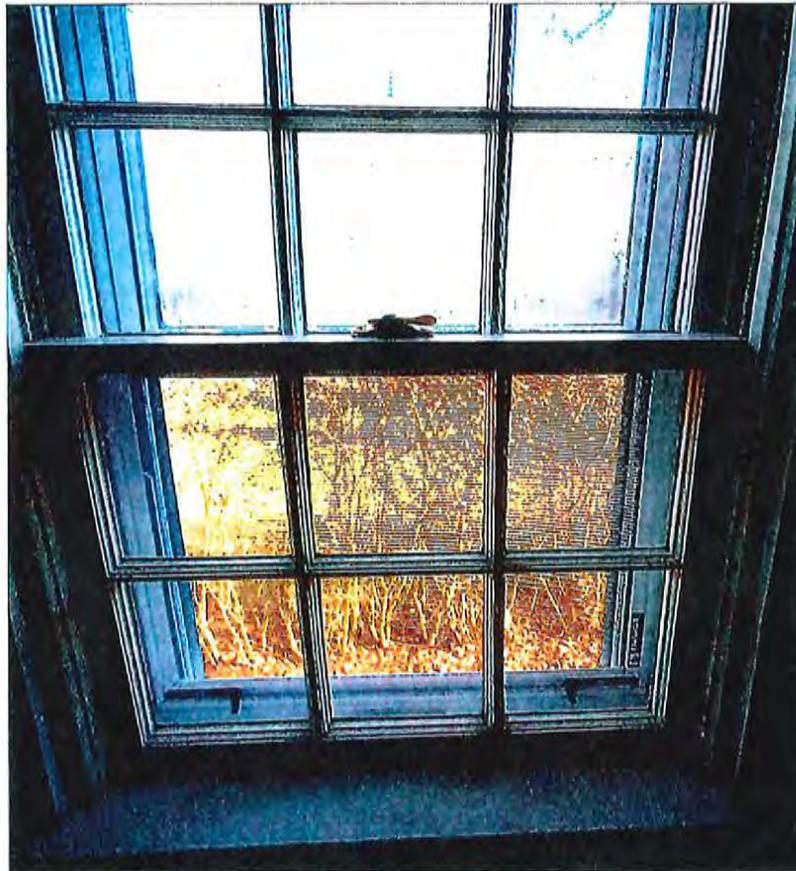
FRONT WINDOWS



WEST FACING WINDOW FIRST FLOOR GAMBREL SECTION



WINDOW FACING EAST ON SECOND FLOOR OF GAMBREL SECTION - NOT ORIGINAL – WEST FACING WINDOW MATCHES AND IS NOT ORIGINAL



NONE OF THE WINDOWS IN REAR 2-STORY ADDITION ARE OLDER WINDOWS REPURPOSED



HDC File



HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road
Nantucket, Massachusetts 02554

Telephone: 508.325.7587

COMMISSIONERS

Ray Pohl
Chairman

Diane Coombs
Vice-Chairman

Abigail Camp

John McLaughlin

Val Oliver

ASSOCIATE COMMISSIONERS

Jesse Dutra

T.J. Watterson

Stephen Welch

STAFF

Cathy Flynn
Land Use Specialist
cflynn@nantucket-ma.gov

15 July 2020

Dear Select Board,

On behalf of the Nantucket Historic District Commission (HDC), I am writing in response to the appeal filed for the demolition COA #HDC2020-01-0471 and New Dwelling, COA #HDC2020-01-0470 at 6 Magnolia Avenue, Road. The Commissioners discussed both applications over the course of three hearings (January 14, 2020, February 4, 2020 and February 18, 2020).

Thorough historical documentation was provided by the applicant. This detailed information reinforced the Commissioners decision to preserve a portion of the existing front façade while keeping the essence of the streetscape. As customary with many renovations and additions on island, it was suggested to leave the historical structure intact so that the structure could be lifted, and a new foundation set underneath, thus avoiding any type of demolition. As opposed to moving the structure off site which constitute a demo and rebuild. There was no mention having the retained facade "floating in air". Just an explanation on how to accomplish that goal. With a comprehensive demo plan provided by the applicant, the board made the motion to have the three historical sides remain on site as a structure.

While not in favor of a total demo, that feeling was carried over during the review process of the "new dwelling". With that being said, the discussions between both the HDC and the applicant were regarded as an addition. Any concerns the Commission had relating to the massing, fenestration and site placement were successfully addressed. Ultimately, the board was satisfied with the program presented and an approval was granted as submitted.

Respectfully submitted,

Cathy Flynn
Land Use Specialist
Planning and Land Use Service Department
Town of Nantucket

34. Sharp, Randy	01-0474	76 Polpis Road	Garage	43-177	Thornewill Design
Voting	Pohl, McLaughlin, Oliver, Watterson, Dutra				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Carrie Thornewill, Thornewill Design – Presented project; white garage doors.				
Public	None				
Concerns (7:44)	No concerns.				
Motion	Motion to Approve as submitted with white garage doors. (Oliver)				
Vote	Carried unanimously		Certificate #	HDC2020-01-0474	
35. Spencer, Steven	01-0471	6 Magnolia Avenue	Demo existing structure	73.3.1-57	Thornewill Design
Voting	Pohl, McLaughlin, Oliver, Watterson, Dutra				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, engineer's report, historic documentation, and advisory comments.				
Representing	<p>Luke Thornewill, Thornewill Design – The gambrel appears in the rear of the property in 1916; structure moved forward in 1923 and rear ell attached. Engineer analyzed this; demolition is because little original fabric would remain. According to the engineer's report, without significant support, it couldn't be moved.</p> <p>Carrie Thornewill, Thornewill Design – The 1923 ell "bastardizes" the back wall of the original gambrel.</p>				
Public	None				
Concerns (7:46)	<p>Pohl – Read SAB comments: not in favor of total demolition. Read Ms. Backus comments: assessor puts this at circa 1916, could be older.</p> <p>Discussion about the historic value of the structure.</p> <p>Oliver – She doesn't think she can approve a total demolition; we should keep something of the original gambrel. If we open the door for total demos and rebuilding, we are turning Nantucket into Disney Land. The engineer is hired by so his results are skewed toward the client.</p> <p>Dutra – Understand what Ms. Oliver is saying.</p> <p>Watterson – He agrees with Ms. Oliver; okay with removing the rear ell. He could support holding the rebuild to the dimensional proportions of the main mass.</p> <p>McLaughlin – Due to the age, a demolition is questionable. Better to move than demolish.</p> <p>Pohl – He agrees with Ms. Oliver in saving the historic fabric. If we approve a like-kind rebuild, there are no exemptions with the building code; the new structure would have to meet code and would become taller; we would need a living record of the interior space so first floor and ridge relationships to grade stay the same.</p>				
Motion	Motion to Hold until we look at the new dwelling. (Dutra)				
Vote	Carried unanimously		Certificate #		
36. Spencer, Steven	01-0470	6 Magnolia Avenue	New Dwelling	73.3.1-57	Thornewill Design
Voting	Pohl, McLaughlin, Oliver, Watterson, Dutra				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, and advisory comments.				
Representing	<p>Luke Thornewill, Thornewill Design – Presented project.</p> <p>Carrie Thornewill, Thornewill Design – This would be a rebuild of the historic house with cathedral ceilings, so the height wouldn't change from the original. Would keep the oversized 9 lights of the existing front door.</p>				
Public	None				
Concerns (8:07)	<p>Pohl – Read HSAB comments: save historic house. Read Ms. Backus comments.</p> <p>Oliver – Appreciates the idea. However, pitching saving the house and moving it forward doesn't work. The proposed addition is "eating" the front house; the 2nd-floor walls are very tall and could be shorter. The front house should be the existing house. She could not vote for this approach.</p> <p>Dutra – The addition swallowing the house is a good description. Gets the idea of the addition; but it should come down to 1.5 stories. He'd support trying to preserve the old building.</p> <p>Watterson – He has trouble with the massing of the addition being so large in proportion to the main mass. Okay with the width but about 3 feet should come out of the ridge height.</p> <p>McLaughlin – The proportions of the addition's gambrel roof are off. Front door shouldn't be a 15-light.</p> <p>Pohl – Agrees with what's been said; particularly the fact the addition outmatches the main mass.</p>				
Motion	Motion to Hold for revisions. (Dutra)				
Vote	Carried unanimously		Certificate #		

17. Spencer, Steven	01-0471	6 Magnolia Avenue	Demo existing structure	73.3.1-57	Thornewill Design
Voting	Pohl, McLaughlin, Oliver, Watterson, Dutra				
Alternates	Welch & Camp read back in.				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, correspondence, and historic documentation.				
Representing	Carrie Thornewill, Thornewill Design Luke Thornewill, Thornewill Design Steven Spencer, owner Linda Williams				
Public	None				
Concerns (6:56)	<p>Spencer – Based upon previous comments, we’ve come up with a new proposal; explained their evaluation of the property indicated the existing structure had been significantly altered.</p> <p>Williams – Reviewed the history of the structure as detailed in the historic packet. There was a gambrel structure on this lot in the 1920s which did not have the existing roof line; believes all sides and the roof have been moved or replaced since the mid-1960s. This has been moved at least once.</p> <p>Thornewill – Believes a lot of original sheathing was rotten; even covered sheathing is not original. Feels that the groundcover isn’t any greater than for any other lot.</p> <p>Pohl – Read into the record letters of concerns from Rob Benchley and Angus MacLeod.</p> <p>Dutra – Confirmed that the structure didn’t move after 1923. Not in favor of a demolition of the gambrel. Mr. MacLeod’s points are valid that something nice can be done with this to carry the character of the 1916 structure even without the historic fabric; it is not structurally unstable.</p> <p>Oliver – Questions the survey; it seems each one says contributing. We are holding the Codfish Park house because we want to confirm why it is being noted as contributing. The information is very helpful. Would like the front element to retain its present façade and character. Something of the front mass should be saved.</p> <p>Watterson – Agrees the front gambrel should be preserved.</p> <p>McLaughlin – Wants to see the next application.</p> <p>Pohl – The fate of the front gambrel is tied to what’s being added on and he wants to see the new proposal. The gambrel form is to scale and really attractive and the board would like to see that retained.</p>				
Motion	Motion to Hold until after review of the new addition. (Dutra)				
Vote	Carried 5-0		Certificate #		
18. Spencer, Steven	01-0470	6 Magnolia Avenue	New dwelling	73.3.1-57	Thornewill Design
Voting	Pohl, McLaughlin, Oliver, Watterson, Dutra				
Alternates	Welch & Camp read back in.				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, correspondence, and advisory comments.				
Representing	Carrie Thornewill, Thornewill Design Luke Thornewill, Thornewill Design Steven Spencer, owner Linda Williams				
Public	None				
Concerns (7:20)	<p>Thornewill – Presented the revised project.</p> <p>Pohl – Read into the record letters of concerns from Rob Benchley, Rita Carr, and Mary Wilkes.</p> <p>Dutra – Huge improvement from first submittal; happy how the gambrel forward is more complementary. The rear addition is still much larger and should be minimized in any way such as reduce the height. In the previous submittal the east and west elevation gambrel looked better but with the gambrel forward would be better on the dormers.</p> <p>Oliver – Thinks Mr. Dutra’s suggestion would make it look wider. Appreciates the changes. Changing to 2-over-2 is a concern; there’s something about the scale of having smaller panes especially facing the street.</p> <p>Watterson – In general the redesign “nails it.” The original mass might be subordinate but maintains the history and streetscape. Agrees with Ms. Oliver about the windows especially facing the street.</p> <p>McLaughlin – Noted a typographical error. Discussion about saving the front gambrel.</p> <p>Pohl – In every other historic district, if you have an old building, the new part shouldn’t look like the existing. What will really help is a perspective view. We’re all favorably inclined to what is proposed and looking for minor tweaks to fenestration. We need more information on the front part of the building in order to rule on saving versus dismantling versus razing.</p>				
Motion	Motion to Hold for revisions. (McLaughlin)				
Vote	Carried 5-0		Certificate #		

5.	Spencer, Steven	01-0471	6 Magnolia Avenue	(Partial) Demo dwelling	73.3.1-57	Thornewill Design
Voting	Pohl, Oliver, Welch, Dutra					
Alternates	Welch and Camp, read back in, but Camp stepped out					
Recused	None					
Documentation	Architectural elevation plans, site plan, photos, Town Warrant Article 62, correspondence, and historic documentation.					
Representing	Luke Thornewill, Thornewill Design Carrie Thornewill, Thornewill Design Steven Spencer, owner					
Public	None					
Concerns (6:30)	<p>C Thornewill – Reviewed changes made per previous concerns. Between 1923 and 1949 there was a tiny building on the lot; 1949 shows a building with a porch; dormers and some windows are circa 1960s.</p> <p>Welch – Based upon the demolition plan, reviewed what is being retained and what is being removed.</p> <p>Spencer – Stated the streetscape will be maintained as this is a rebuild from scratch using the existing windows and doors on the historic part.</p> <p>Oliver – If we start to allow people to just rebuild because it’s easier, we may as well be all replicas like Disney Land; the owner knew he was buying an older structure. She would like to see at least the barn structure remain.</p> <p>Dutra – He would prefer to retain as much as possible as shown in the drawings.</p> <p>Welch – This is circa 1920-1930 structure, which doesn’t mean we are going to disallow a demolition; it comes down to who lived there and who built it, etc.</p> <p>Pohl – This is small enough that the original structure could be saved and some of the fabric retained; some windows being saved are 1960s and could be eliminated.</p> <p>Thornewill – The cost and complexity of lifting and supporting off the foundation could be prohibitive; there is a precedent for taking this apart in panels and setting those panels aside for reassembly.</p> <p>Welch – If we allow disassembling, rather than cutting up in panels, he’d prefer the boards be numbered left to right, top to bottom, take the sheathing off and put it back together the way it was built. Cutting up the panels and putting together pieces would impact its structural integrity. He’s looking forward to the surveys being updated; that would make this so much easier. This is the type of thing to be hammered out regarding Article 62. If we approve this demolition, we need to layout the particulars; using a skill saw to cut up walls isn’t maintaining the historic fabric.</p> <p>Dutra – In 1909, a building was on this property; in 1923, this building appeared on the front of the property. He prefers the demolition plan as outlined; to be on the safe side, we can request the three walls be retained.</p> <p>Oliver – Center Street opened a can of worms HDC won’t live down; this furthers that. We are here to save our history; that is why Article 62 was submitted. This is a bad road to go. We have no one to authenticate the information submitted at the last hearing by Linda Williams; cited an example from 27 North Liberty Street where the photo circulated turned out not to be the structure being applied for.</p> <p>Pohl – Another option is to keep the sides intact and set them aside. The original roof is already mostly gone and can’t be saved. Engineers over-engineer to prevent something from falling down; they will always say to remove old fabric. We can write a letter exempting them from some of the building code such as using 2X4 and less insulation.</p> <p>Further discussion the method of how to dismantle this structure in a way that best preserves historic fabric.</p>					
Motion	Motion to Approve the demolition plan through staff with the front three historical sides to remain on site as a structure. (Dutra)					
Vote	Carried 4-0		Certificate #	HDC2019-01-0471		
6.	Spencer, Steven	01-0470	6 Magnolia Avenue	New dwelling (addition)	73.3.1-57	Thornewill Design
Voting	Pohl, Camp, Oliver, Welch, Dutra					
Alternates	Welch and Camp, read back in.					
Recused	None					
Documentation	Architectural elevation plans, site plan, photos, historic documentation.					
Representing	Luke Thornewill, Thornewill Design Carrie Thornewill, Thornewill Design Steven Spencer, owner					
Public	None					
Concerns (7:07)	<p>C Thornewill – Presented revised project as an addition.</p> <p>Dutra – No concerns.</p> <p>Welch – Nice design and an improvement with a 1920s look but plans to vote no due to proximity to the street.</p> <p>Camp – Asked how close to the street it will be. (4 feet) The new massing dominates the old mass.</p> <p>Oliver – She’s okay with it.</p> <p>Pohl – Compared to the existing addition, this is will be less prominent; it won’t be evident.</p>					
Motion	Motion to Approve as submitted. (Oliver)					
Vote	Carried 3-2//Camp & Welch opposed		Certificate #	HDC2019-01-0470		