

1. Viewpack

Documents:

4 HOWARD CT- HARDSCAPE.PDF
13 WARREN ST- REV 01-0557 ROTATE SHED PERGOLA.PDF
13 WARREN ST- REV 01-0558-GATE - FENCE.PDF
12 LINCOLN AVE - CABANA REVISIONS.PDF
12 LINCOLN AVE - GARAGE REVISIONS.PDF
25 UNION - HANDICAP RAMP.PDF
25 FEDERAL STREET - HVAC MINISPLIT.PDF
30 CLIFF RD- HOUSE LIFT AND FOUNDATION.PDF



Bartsch, David <db@david-bartsch.com>

Online Form Submittal: Waiver of the HDC 10 Day Hearing Requirement

1 message

noreply@civicplus.com <noreply@civicplus.com>
To: db@david-bartsch.com

Wed, Jul 22, 2020 at 5:30 PM

Waiver of the HDC 10 Day Hearing Requirement

I,

David Bartsch

AS AGENT FOR

Ian MacKenzie

STREET ADDRESS

4 Howard Court

MAP PARCEL

42.3.4 36 / 4

UNDERSTAND THAT THE
ABOVE REFERENCED
APPLICATION SUBMITTED
ON

7/22/2020

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY: SECTION 8 of the HDC enabling legislation: ... The Commission shall meet within ten (10) days of the receipt of an application for a certificate of appropriateness of permit for removal...

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

NAME INITIALS

DWB

DATE

7/22/2020

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 42-3.4 36 PARCEL N°: 4

Street & Number of Proposed Work: 4 HOWARD CT

Owner of record: IAN & CAROLYN MACKENZIE

Mailing Address: 211 E. 70TH ST APT 6A
NYC NY 10021

Contact Phone #: 212 753 4771 E-mail: IANMACKENZIE@earthlink.net

AGENT INFORMATION (if applicable)

Name: DAVID BARTSCH LANDSCAPE ARCHITECTURE

Mailing Address: 138 PRINCE ST
BOSTON MA 02113

Contact Phone #: 508 410 7979 E-mail: db@david-bartsch.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____

Must be acted on by: _____

Extended to: _____

Approved: _____ Disapproved: _____

Chairman: _____

Member: _____

Member: _____

Member: _____

Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: 25'x15' 1st floor 2nd floor
 Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
 Original Date: _____ (describe) _____
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other BOTH NATURAL FINISH

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: 3'-0" 6'-0"
 Type: TYPE 2 PICKET BOARD
 Length: 99' 134'

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways SHELL SURFACE 10'-6"x20' Walkways NATURAL STONE W/COBBLE Walls 82 L.F. @ 18" HT. TO MATCH EDGING; FLAGSTONES WALKS AT 35 INDIA ST.

* Note: Complete door and window schedules are required.

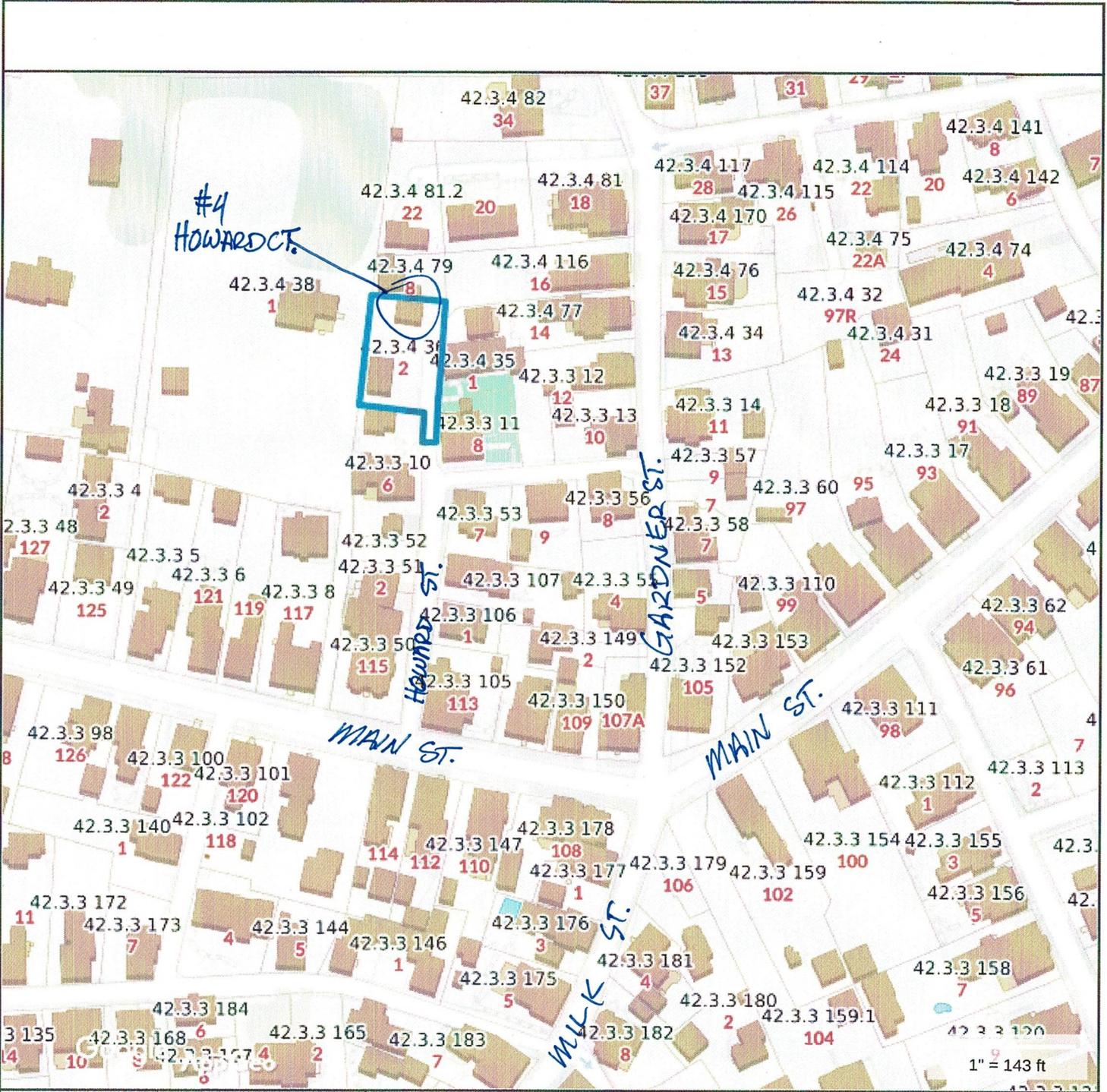
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence NATURAL Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 3 JULY 2020 Signature of owner of record David Bartsch for Ian & Carolyn Mackenzie Signed under penalties of perjury



Property Information
 Property ID 42.3.4 36
 Location 2 HOWARD CT.
 Owner ~~YEAGER DAVID J & ELISABETH M~~
 #4 HOWARD CT.
 IAN & CAROLYN Mackenzie


 MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT
 Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.
 Geometry updated 11/13/2018
 Data updated 11/19/2018

4 Howard Court – Images of proposed improvements – 3 July 2020



Stone walls to match 35 Inda St.



Paving to match 35 India St.



Paving to match 35 India St.



David Bartsch Landscape Architecture LLC
Site Planning and Design Project Management

138 Prince Street, Boston, MA 02113 (508) 410-7979 dbla-boston.com



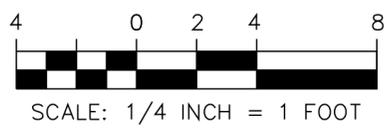
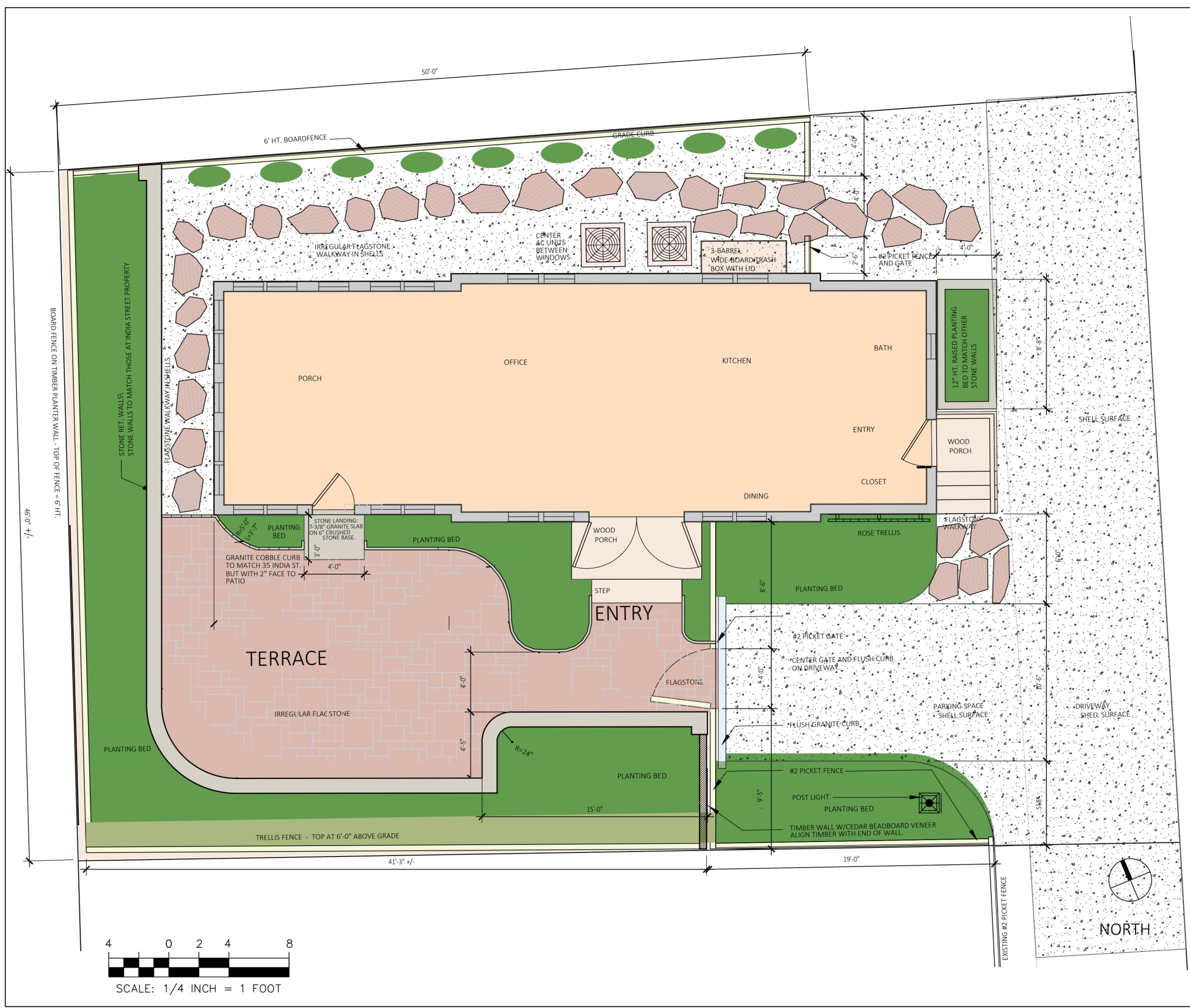
David Bartsch
Landscape Architecture LLC
138 Prince Street
Boston, MA 02113
(508) 410-7979
dbla-boston.com

REVISIONS
Drawings and Designs © 1999 - 2020 David Bartsch Landscape Architecture LLC (DBLA)
PROJECT NO. 2010
DRAWN / CHECKED
DATE 10 JULY 2020
SCALE 1/4"=1'-0"

PROJECT NO. 2010
DRAWN / CHECKED
DATE 10 JULY 2020
SCALE 1/4"=1'-0"

GODFREY CONSTRUCTION INC.
MacKENZIE PROPERTY, 4 HOWARD COURT, NANTUCKET
LAYOUT AND MATERIALS

SHEET
CD-1





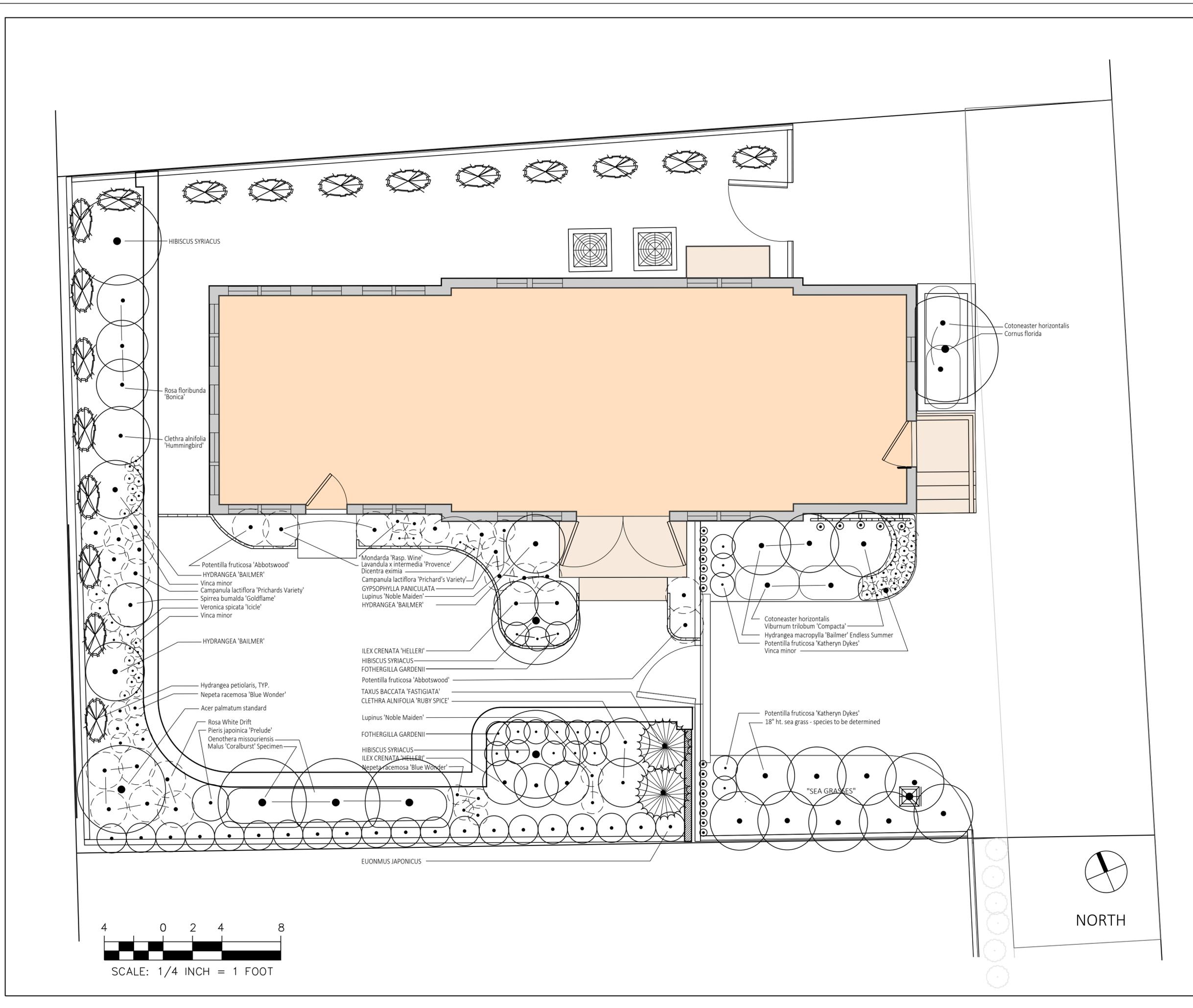
David Bartsch
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(508) 410-7979
dbla-boston.com

REVISIONS
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Landscape Architecture LLC (DBLA)

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2010
DRAWN / CHECKED
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SCALE
1/4" = 1'-0"

GODFREY CONSTRUCTION INC.
MacKENZIE PROPERTY, 4 HOWARD COURT, NANTUCKET
PLANTING

SHEET
CD-3



HIBISCUS SYRIACUS

Rosa floribunda
'Bonica'

Clethra alnifolia
'Hummingbird'

Potentilla fruticosa 'Abbotswood'
HYDRANGEA 'BAILMER'
Vinca minor
Campanula lactiflora 'Prichard's Variety'
Spiraea bumalda 'Goldflame'
Veronica spicata 'Icicle'
Vinca minor

HYDRANGEA 'BAILMER'

Hydrangea petiolaris, TYP.
Nepeta racemosa 'Blue Wonder'

Rosa White Drift
Pieris japonica 'Prelude'
Oenothera missouriensis
Malus 'Coralburst' Specimen

'Mondarda' Rasp. Wine'
Lavandula x intermedia 'Provence'
Dicentra eximia
Campanula lactiflora 'Prichard's Variety'
GYPSOPHYLLA PANICULATA
Lupinus 'Noble Maiden'
HYDRANGEA 'BAILMER'

ILEX CRENATA 'HELLERI'
HIBISCUS SYRIACUS
FOTHERGILLA GARDENII
Potentilla fruticosa 'Abbotswood'
TAXUS BACCATA 'FASTIGIATA'
CLETHRA ALNIFOLIA 'RUBY SPICE'

Lupinus 'Noble Maiden'
FOTHERGILLA GARDENII
HIBISCUS SYRIACUS
ILEX CRENATA 'HELLERI'
Nepeta racemosa 'Blue Wonder'

EUONMUS JAPONICUS

Cotoneaster horizontalis
Cornus florida

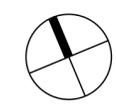
Cotoneaster horizontalis
Viburnum trilobum 'Compacta'
Hydrangea macrophylla 'Bailmer' Endless Summer
Potentilla fruticosa 'Katheryn Dykes'
Vinca minor

Potentilla fruticosa 'Katheryn Dykes'
18" ht. sea grass - species to be determined

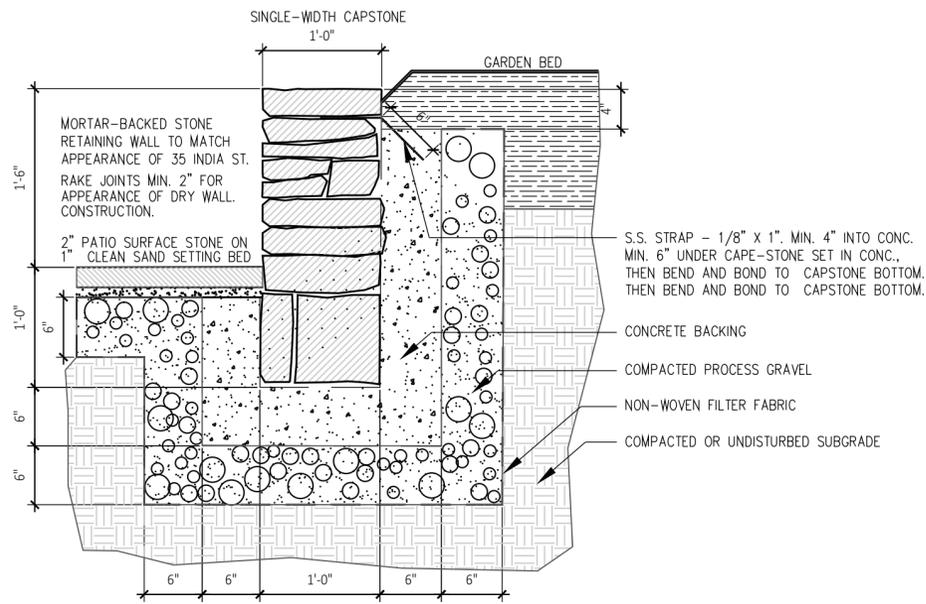
"SEA GRASSES"



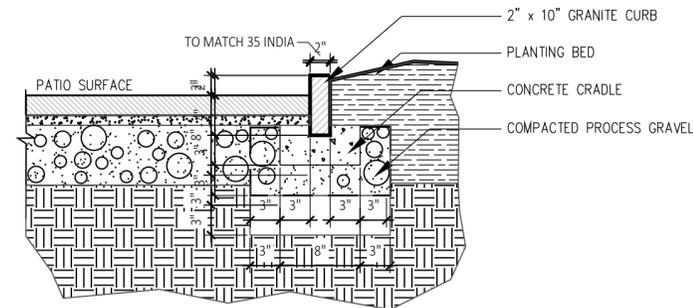
SCALE: 1/4 INCH = 1 FOOT



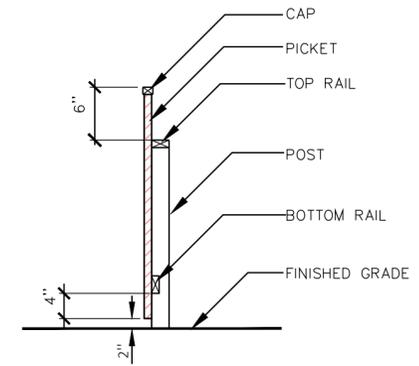
NORTH



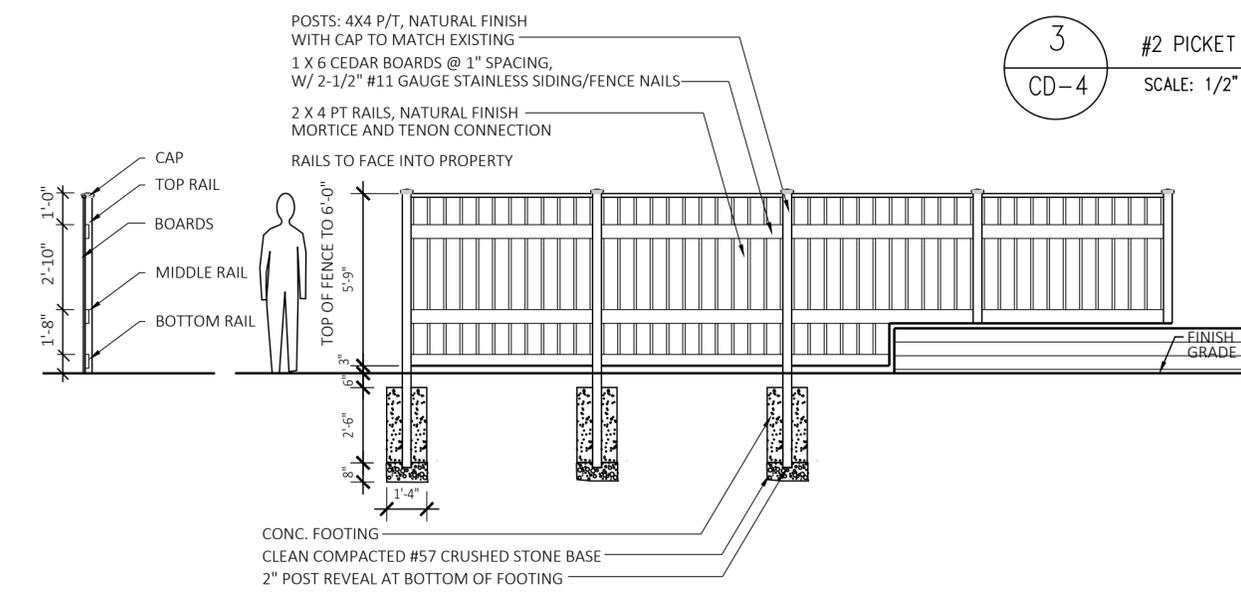
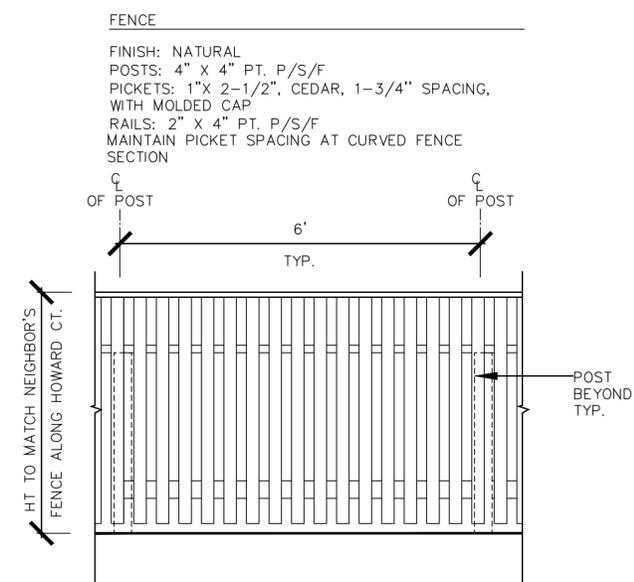
1 SECTION OF RETAINING WALL AND PATIO PAVEMENT
CD-4 SCALE: 1" = 1'-0"



2 SECTION OF PATIO CURB
CD-4 SCALE: 1" = 1'-0"



3 #2 PICKET FENCE SECTION AND ELEVATION
CD-4 SCALE: 1/2" = 1'-0"



4 SECTION AND ELEVATION OF 6' HIGH BOARD FENCE
CD-4 SCALE: 1" = 1'-0"



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REVISIONS
Drawings and Designs
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Landscape Architecture LLC (DBLA)

PROJECT NO.
2010
DRAWN / CHECKED
DATE
10 JULY 2020
SCALE
1/4"=1'-0"

GODFREY CONSTRUCTION INC.
MacKENZIE PROPERTY, 4 HOWARD COURT, NANTUCKET
CONSTRUCTION DETAILS

SHEET
CD-4

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 55 PARCEL N°: 43.3
Street & Number of Proposed Work: 13 WARREN STREET
Owner of record: OLWEN + DONALD PONGRACE
Mailing Address: 4150 FORDHAM ROAD NW
WASHINGTON DC 20016
Contact Phone #: 610 999 2525 E-mail: _____

AGENT INFORMATION (if applicable)

Name: ETHAN McMORROW DESIGNS
Mailing Address: PO Box 1052
NANTUCKET MA 02554
Contact Phone #: 228 0456 E-mail: ethan676.com@cast.net

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 2020-01-0557
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

ROTATE APPROVED SHED 90°
ADD PERGOLA

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

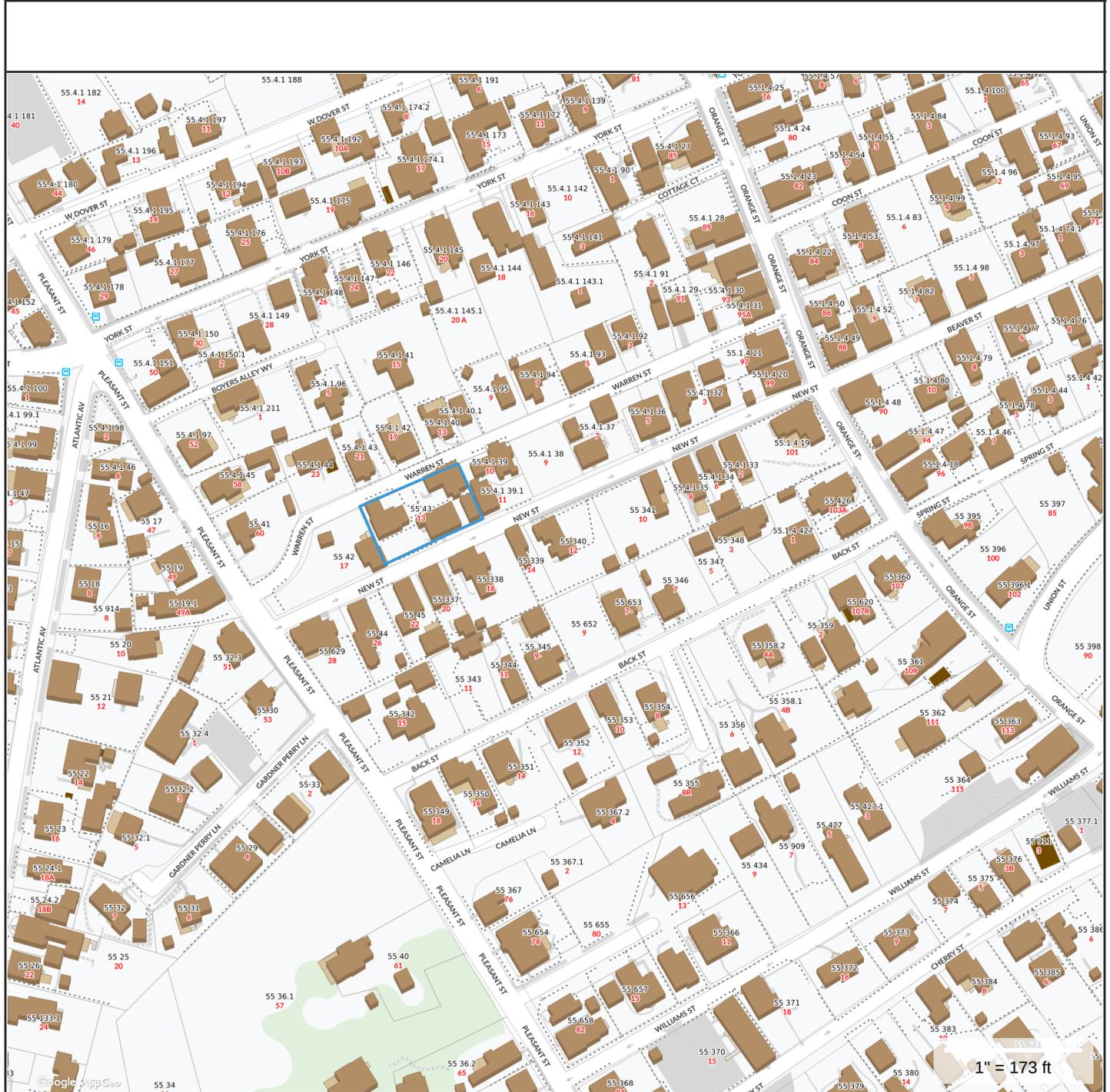
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 7-15-2020 Signature of owner of record _____ Signed under penalties of perjury



Property Information

Property ID 55 43.1
Location 13 NEW ST
Owner FELDBERG ELAINE Z



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
Data updated 11/19/2018

13 NEW ST

Location 13 NEW ST

Mblu 55 / / 43/1 /

Acct# 00003198

Owner FELDBERG ELAINE Z

Assessment \$2,243,000

PID 3198

Building Count 2

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2019	\$2,243,000	\$0	\$2,243,000

Owner of Record

Owner FELDBERG ELAINE Z
Co-Owner C/O REPO PRODUCTS
Address 4485 ATLANTA RD
 SMYRNA, GA 30080

Sale Price \$1,540,000
Certificate
Book & Page 00970/0028
Sale Date 07/29/2005
Instrument 00

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
FELDBERG ELAINE Z	\$1,540,000		00970/0028	00	07/29/2005
SEMPRINI WAYNE P & PAULETTE D	\$560,000		00750/0270	01	04/08/2002
DEY PENELOPE TR	\$0		00400/0030		10/23/1992

Building Information

Building 1 : Section 1

Year Built: 1965
Living Area: 1,976
Replacement Cost: \$2,089,580
Building Percent 90
Good:
Replacement Cost
Less Depreciation: \$1,880,600

Building Photo

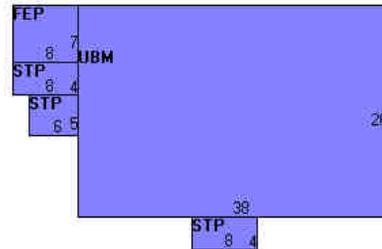
Building Attributes	
Field	Description
STYLE	Condominium
MODEL	Res Condo
Stories:	1.5

Grade	Good
Occupancy	1
Interior Wall 1:	Drywall/Sheet
Interior Wall 2:	
Interior Floor 1	Hardwood
Interior Floor 2	
Heat Fuel:	Oil
Heat Type:	Hot Water
AC Type:	None
Ttl Bedrms:	4 Bedrooms
Ttl Bathrms:	2 Full
Ttl Half Bths:	0
Xtra Fixtres	
Total Rooms:	5 Rooms
Bath Style:	Average
Kitchen Style:	Modern
Grade	Avg to Good
Stories:	1
Residential Units:	3
Exterior Wall 1:	Wood Shingle
Exterior Wall 2:	
Roof Structure	Gable/Hip
Roof Cover	Wood Shingle
Cmrc'l Units:	0
Res/Com Units:	0
Section #:	0
Parking Spaces	0
Section Style:	0
Foundation	
Security:	
Cmplx Cnd	
Xtra Field 1:	
Remodel Ext:	
Super	



(http://images.vgsi.com/photos/NantucketMAPphotos//\00\00\86\08.jpg)

Building Layout



(http://images.vgsi.com/photos/NantucketMAPphotos//Sketches/)

Building Sub-Areas (sq ft)		Legend	
Code	Description	Gross Area	Living Area
BAS	First Floor	988	988
FHS	Half Story, Finished	988	988
FEP	Porch, Enclosed, Finished	56	0
STP	Stoop	94	0
UBM	Basement, Unfinished	988	0
		3,114	1,976

Building 2 : Section 1

Year Built: 2004
Living Area: 432
Replacement Cost: \$372,034
Building Percent Good: 96
Replacement Cost Less Depreciation: \$357,200

Building Attributes : Bldg 2 of 2	
Field	Description

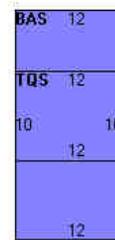
Building Photo

STYLE	Condominium
MODEL	Res Condo
Stories:	1.75
Grade	Avg to Good
Occupancy	1
Interior Wall 1:	Plastered
Interior Wall 2:	
Interior Floor 1	Hardwood
Interior Floor 2	
Heat Fuel:	Coal or Wood
Heat Type:	None
AC Type:	None
Ttl Bedrms:	00
Ttl Bathrms:	0
Ttl Half Bths:	1
Xtra Fixtres	
Total Rooms:	
Bath Style:	Average
Kitchen Style:	Modern
Grade	Avg to Good
Stories:	1
Residential Units:	3
Exterior Wall 1:	Wood Shingle
Exterior Wall 2:	
Roof Structure	Gable/Hip
Roof Cover	Wood Shingle
Cmrcd Units:	0
Res/Com Units:	0
Section #:	0
Parking Spaces	0
Section Style:	0
Foundation	
Security:	
Cmplx Cnd	
Xtra Field 1:	
Remodel Ext:	
Super	



(<http://images.vgsi.com/photos/NantucketMAPhotos//\00\01\32\90.jpg>)

Building Layout



(<http://images.vgsi.com/photos/NantucketMAPhotos//Sketches/3>)

Building Sub-Areas (sq ft)			<u>Legend</u>
Code	Description	Gross Area	Living Area
BAS	First Floor	312	312
TQS	Three Quarter Story	120	120
		432	432

Extra Features

Extra Features	<u>Legend</u>
No Data for Extra Features	

Land

Land Use

Use Code 1022
Description Condo House
Zone ROH
Neighborhood 550
Alt Land Appr Category No

Land Line Valuation

Size (Acres) 0
Frontage 0
Depth 0
Assessed Value \$0

Outbuildings

Outbuildings						<u>Legend</u>
Code	Description	Sub Code	Sub Description	Size	Value	Bldg #
FGR2	GARAGE-GOOD			323 S.F.	\$4,400	1
PAT1	PATIO-AVG			208 S.F.	\$800	2

Valuation History

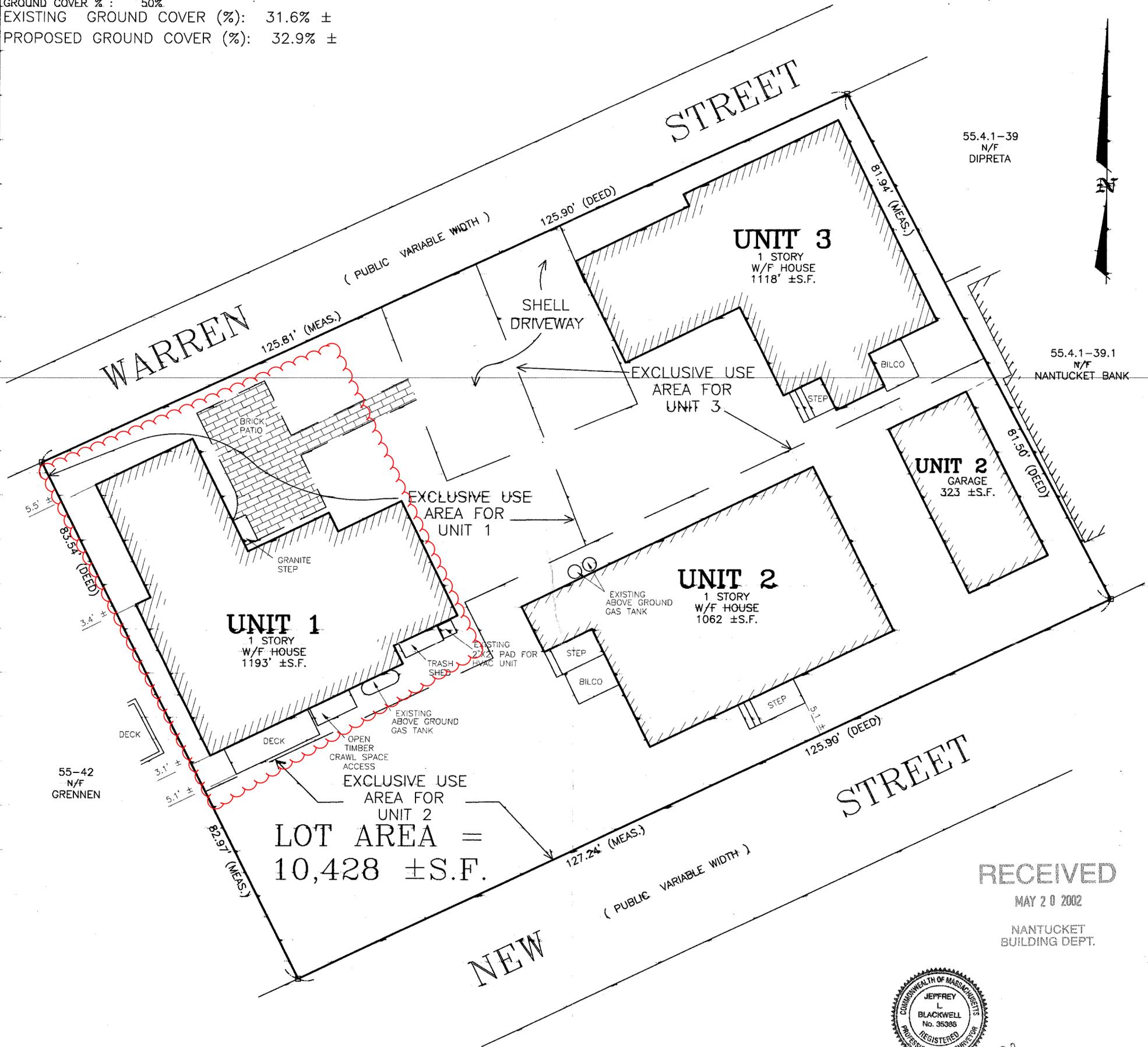
Assessment			
Valuation Year	Improvements	Land	Total
2018	\$1,965,200	\$0	\$1,965,200
2017	\$1,965,300	\$0	\$1,965,300
2016	\$1,892,200	\$0	\$1,892,200
2015	\$1,778,900	\$0	\$1,778,900
2014	\$1,778,900	\$0	\$1,778,900

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CURRENT ZONING CLASSIFICATION:
Residential Old Historic (R-OH)

MINIMUM LOT SIZE: 5000 S.F.
MINIMUM FRONTAGE: 50 FT.
FRONT YARD SETBACK: none
REAR/SIDE SETBACK: 5 FT.
GROUND COVER % : 50%
EXISTING GROUND COVER (%): 31.6% ±
PROPOSED GROUND COVER (%): 32.9% ±

ONLY ORIGINALLY STAMPED AND
ENDORSED COPIES OF THIS PLAN
SHALL BE ACKNOWLEDGED BY
THE CERTIFYING LAND SURVEYOR



RECEIVED
MAY 20 2002
NANTUCKET
BUILDING DEPT.



BUILDING LOCATION PLAN
OF LAND IN
NANTUCKET, MASS.

SCALE: 1" = 10' DATE: JULY 23, 2001
REV: MAY 13, 2002

OWNER: LAURIE H. DONOVAN, TRUSTEE of
WARREN STREET REALTY TRUST

DEED BOOK: 683, PG. 163 PLAN FILE: 47-B
UNIT No. 1 of the SHEARWATER CONDOMINIUM
LOCUS: #16 WARREN STREET

BLACKWELL and ASSOCIATES, Inc.
Professional Land Surveyors
20 TEASDALE CIRCLE
NANTUCKET, MASS. 02554
(508) 228-9026

GRAPHIC SCALE



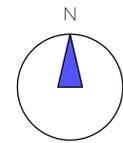
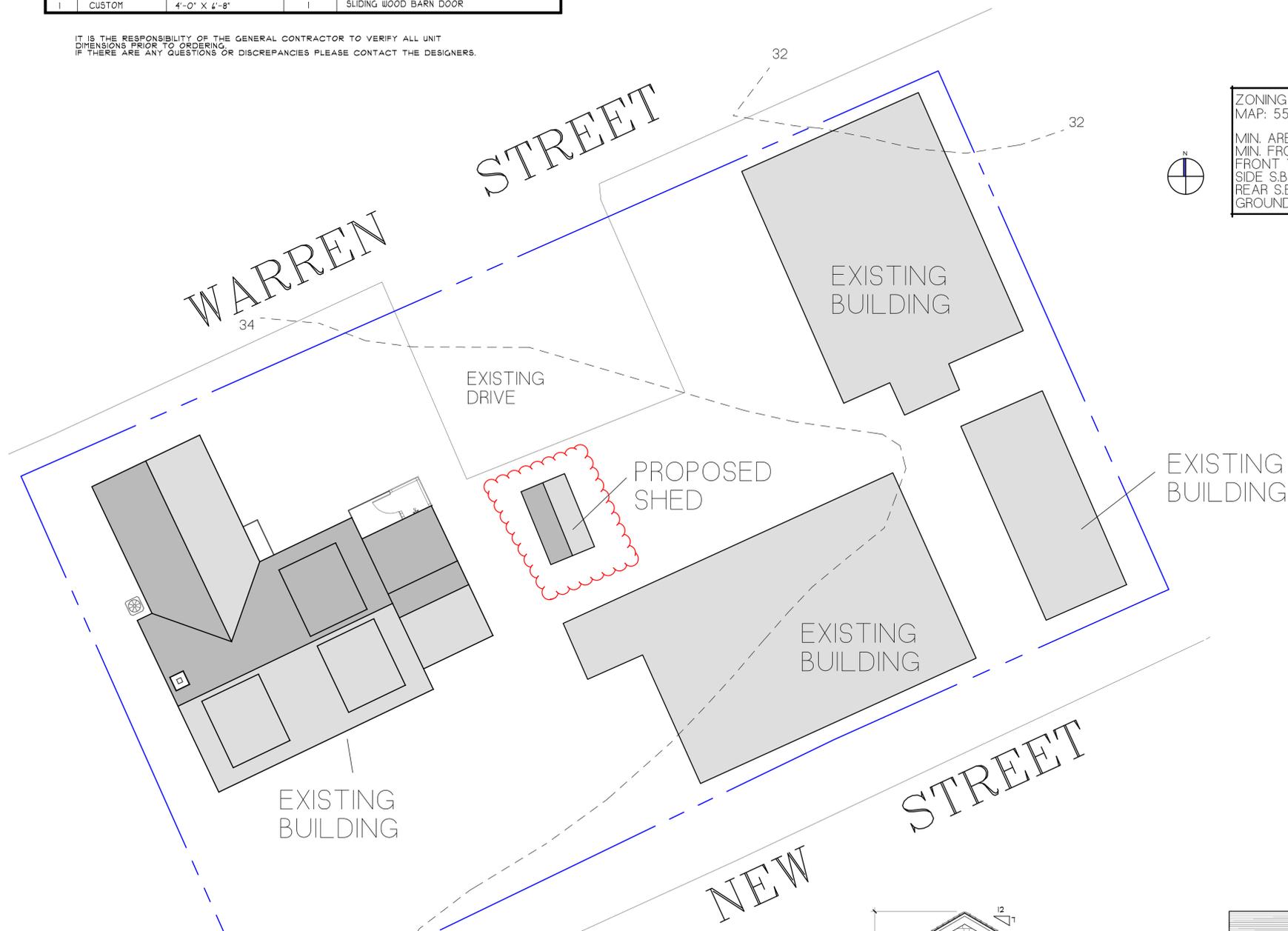
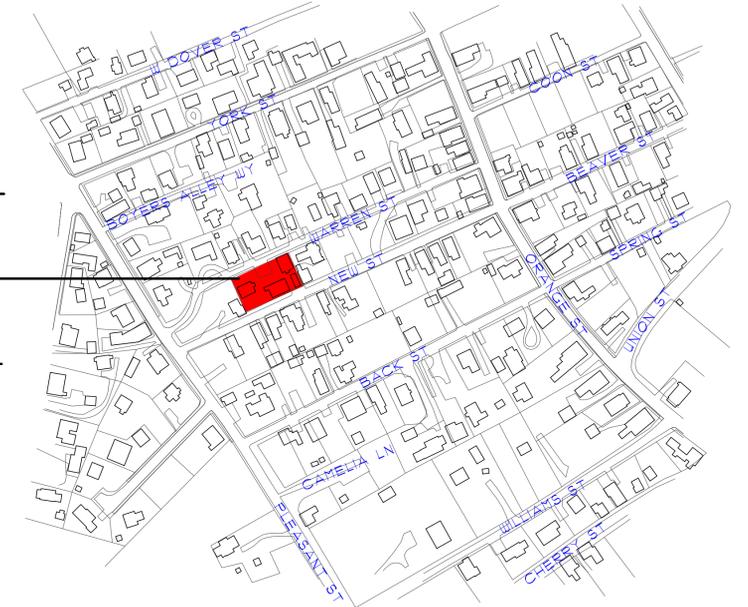
THIS PLOT PLAN WAS PREPARED FOR THE TOWN OF NANTUCKET BUILDING DEPARTMENT ONLY AND SHOULD NOT BE CONSIDERED A PROPERTY LINE SURVEY. THIS PLAN SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES, FENCES, HEDGES OR ANY ANCILLARY STRUCTURES ON THE PREMISES. THE PROPERTY LINES SHOWN RELY ON CURRENT DEEDS AND PLANS OF RECORD. THIS PLOT PLAN IS NOT A CERTIFICATION AS TO TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR RECORDS.

ASSESSOR MAP: . . 55 . . PARCEL: . . 43.3 . .

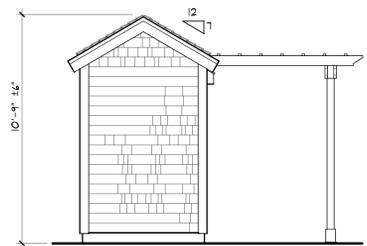
DOOR & WINDOW SCHEDULE				
SYM	MANUFACTURER	WINDOW SIZE	QTY.	REMARKS
A	EXISTING*	2'-3" X 2'-0"	1	4/4 D.H. (RE-USE EXISTING WINDOW)
I	CUSTOM	4'-0" X 4'-8"	1	SLIDING WOOD BARN DOOR

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL UNIT DIMENSIONS PRIOR TO ORDERING. IF THERE ARE ANY QUESTIONS OR DISCREPANCIES PLEASE CONTACT THE DESIGNERS.

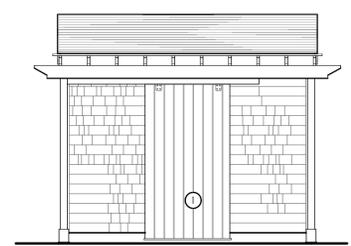
ZONING CLASSIFICATION: R.O.H.	
MAP: 55	PARCEL: 43.3
MIN. AREA:	5,000 sqft.
MIN. FRONTAGE:	50 ft.
FRONT YARD S.B.:	0 ft.
SIDE S.B.:	5 ft.
REAR S.B.:	5 ft.
GROUND COVER (%):	50%



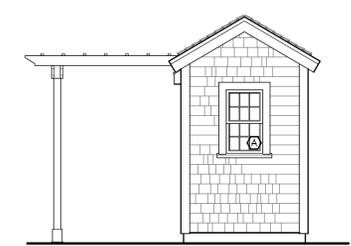
H.D.C. SITE PLAN
SCALE: 1/8"=1'-0"



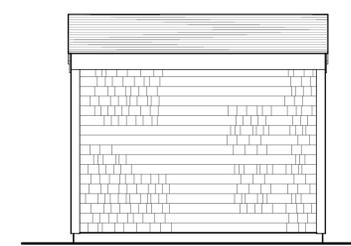
NORTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS:
1/16/2020: SHED PLANS
7/15/2020: SHED PLANS

NOTE:
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NOTE:
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NOTE:
ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN CHARGE.

COPYRIGHT NOTICE <small>These drawings are the property of Ethan McMorow Design & Assoc. Inc. and may not be used without the express written authorization from Ethan McMorow © Ethan McMorow Design & Associates Inc.</small>	PONGRACE RESIDENCE <small>DRAWN BY: ETHAN MCMORROW P.O. BOX 1032 NANTUCKET, MA 02554 PHONE 508-228-0456 email ethan@pconcat.net</small>		MAP: 55 PARCEL: 43.3 H.D.C. SITE PLAN ONLY		SHEET NO. s 2
	ADDRESS: 13 WARREN STREET NANTUCKET, MA 02554	DATE: 7/15/2020	SCALE: AS NOTED		

13. Pongrace, Olwen 01-0557	16 Warren Street	Shed	55-43.3	Ethan McMorrow
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver			
Alternates	Welch			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, and advisory comments.			
Representing	Katie Mitchell, for Ethan McMorrow			
Public	None			
Concerns (6:59)	<p>Pohl – Read HSAB comments: siting might be too close to street. Read Ms. Backus comments: no photos from street provided, windows and trim should match the house.</p> <p>Mitchell – Presented project.</p> <p>No concerns.</p>			
Motion	Motion to Approve as submitted. (Camp)			
Vote	Carried 5-0	Certificate #	HDC2020-01-0557	

14. Pongrace, Olwen 01-0558	16 Warren Street	Fence	55-43.3	Ethan McMorrow
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver			
Alternates	Welch			
Recused	None			
Documentation	Landscape design plans, site plan, photos, and advisory comments.			
Representing	Katie Mitchell, for Ethan McMorrow			
Public	None			
Concerns (7:03)	<p>Pohl – Read HSAB comments: no concerns though brick details and condo partitions (property lines) helpful. Read Ms. Backus comments: fence, gate, arbor details.</p> <p>Mitchell – Presented project.</p> <p>McLaughlin – The 6-foot fence should not be in front of the house.</p> <p>Camp – Confirmed there is no fencing along Warren Street.</p> <p>Pohl – Suggested 36” from the gate forward with 5&1 from gate back.</p>			
Motion	Motion to Approve through staff with the 5&1 fence to stop at the gate and with a Type II picket fence tying into the gate, per Exhibit A. (Oliver)			
Vote	Carried 5-0	Certificate #	HDC2020-01-0558	
	Break 7:10 to 7:17 p.m.			

15. Petrocelli, Brigitte 01-0532	2 North Beach Street	Gas fireplace vent	42.4.1-64	Steve Boucher
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver			
Alternates	Welch			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.			
Representing	Steve Boucher			
Public	None			
Concerns (7:17)	<p>Pohl – Read HSAB comments: unattractive and visible; there are options. Suggested painting the vent black.</p> <p>Boucher – Presented project; there is one at 59 Easton Street</p> <p>Oliver – It is visible but it’s on the back. Black would be better. We don’t know that the one at 59 Easton was approved.</p> <p>Coombs – She’s concerned the black won’t stay due to weather; suggested a faux chimney around it.</p> <p>McLaughlin – It’s just outside the OHD. He supports painting it black.</p> <p>Backus – It is in the OHD, right on the border.</p>			
Motion	Motion to Approve through staff with the stove pipe being painted black. (Camp)			
Vote	Carried 3-2//Coombs and Oliver opposed	Certificate #	HDC2020-01-0532	

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 55 PARCEL N°: 43.3
Street & Number of Proposed Work: 13 ~~WARREN~~ WARREN ST
Owner of record: OLWEN + DONALD PONGRACE
Mailing Address: 4150 FORDHAM RD NW
WASHINGTON DC 20016
Contact Phone #: 610 999 2529 E-mail: _____

AGENT INFORMATION (if applicable)

Name: ETHAN M'MORROW DESIGNS
Mailing Address: PO BOX 1052
NANTUCKET MA 02554
Contact Phone #: 228 0456 E-mail: ethan@76.comcast.net

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 6'-0" Sq. Footage 1st floor: 60 Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 10'-0" Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North -0- South -0- East -0- West -0-
Height of ridge above final finish grade: North 10'-9"± South 10'-9"± East 10'-9"± West 10'-9"±

Additional Remarks

REVISIONS*

- Historic Name: _____
- Original Date: _____ (describe)
- Original Builder: _____
- Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6'-8"± Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 7/12 TME Secondary Mass _____/12 _____ Dormer _____/12 _____ Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) TME

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side

Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other TO MATCH HOUSE
C. Dimensions: Fascia TME Rake TME Soffit (Overhang) TME Corner boards _____ Frieze _____
Window Casing TME Door Frame TME Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other RE-USE WINDOW FROM HOUSE
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front CUSTOM WOOD Rear _____ Side _____
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof NATURAL
Trim WHITE Sash WHITE Doors WHITE
Deck _____ Foundation NATURAL Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

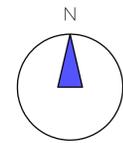
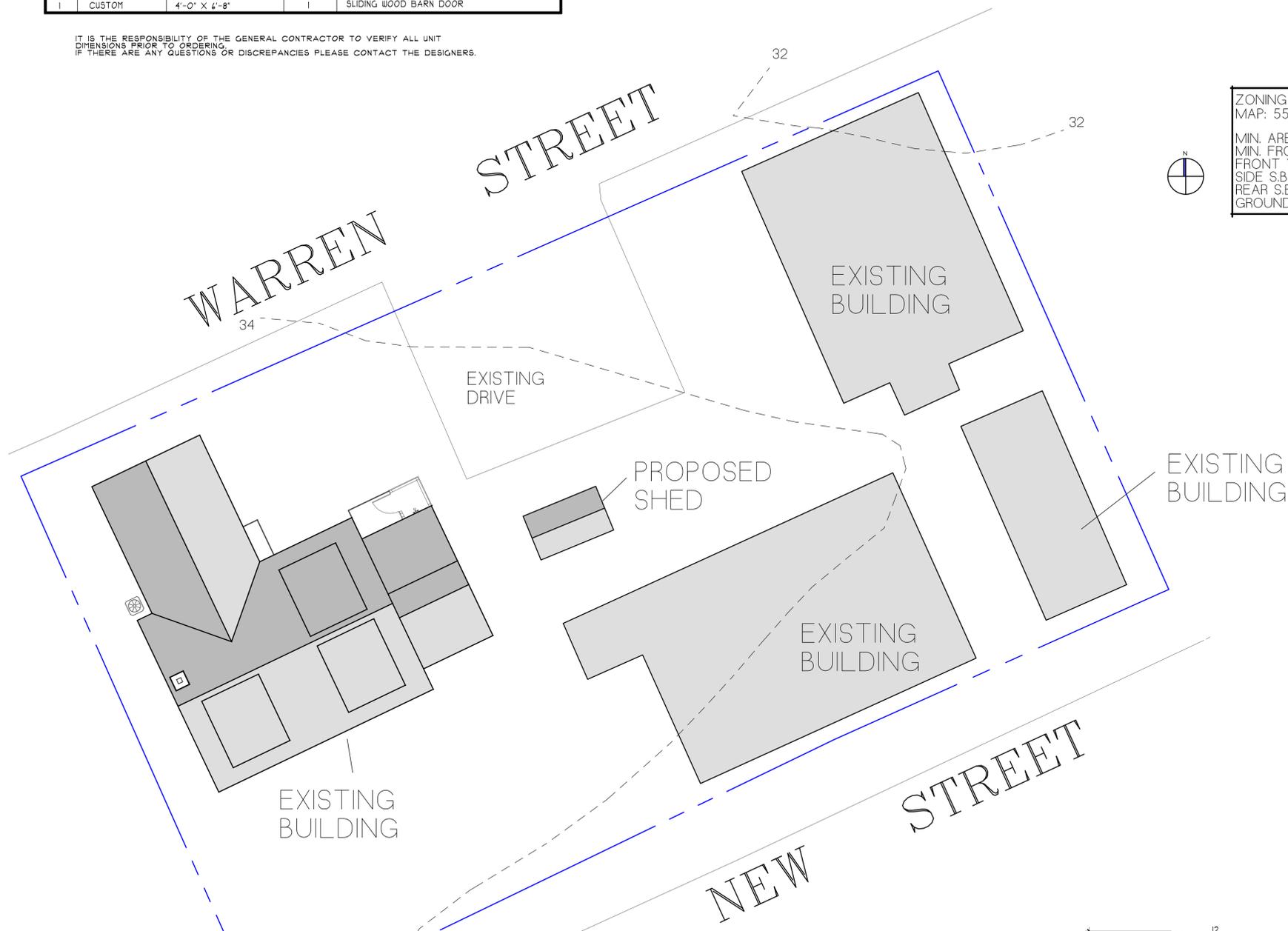
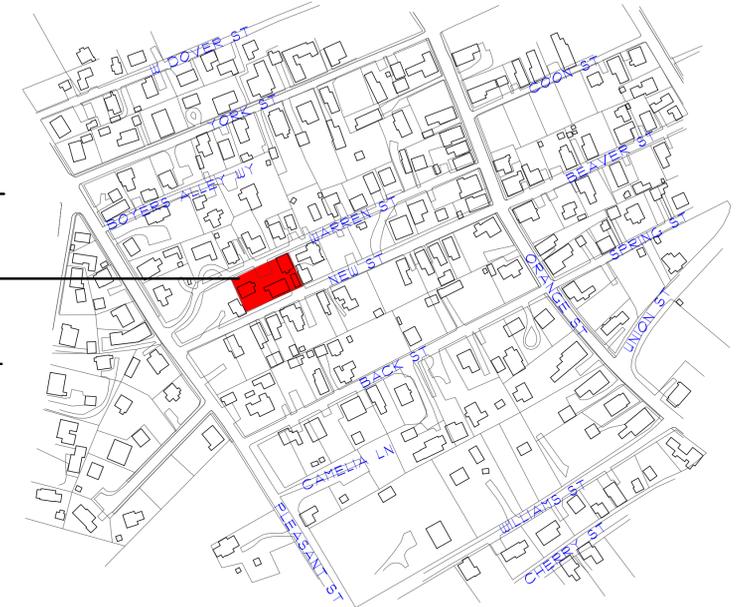
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 1-16-2020 Signature of owner of record _____ Signed under penalties of perjury

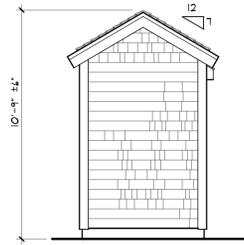
DOOR & WINDOW SCHEDULE				
SYM	MANUFACTURER	WINDOW SIZE	QTY.	REMARKS
A	EXISTING*	2'-3" X 2'-0"	1	4/4 D.H. (RE-USE EXISTING WINDOW)
I	CUSTOM	4'-0" X 4'-8"	1	SLIDING WOOD BARN DOOR

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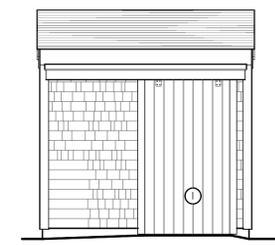
ZONING CLASSIFICATION: R.O.H.	
MAP: 55	PARCEL: 43.3
MIN. AREA:	5,000 sqft.
MIN. FRONTAGE:	50 ft.
FRONT YARD S.B.:	0 ft.
SIDE S.B.:	5 ft.
REAR S.B.:	5 ft.
GROUND COVER (%):	50%



H.D.C. SITE PLAN
SCALE: 1/8"=1'-0"



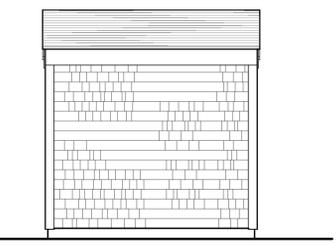
EAST ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION
SCALE: 1/4"=1'-0"

REVISIONS:
1/16/2020: SHED PLANS

NOTE:
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COPYRIGHT NOTICE <small>These drawings are the property of Ethan McMorow Design & Assoc. Inc. may not be used without the express written authorization from Ethan McMorow © Ethan McMorow Design & Associates Inc.</small>	PONGRACE RESIDENCE <small>DRAWN BY: ETHAN MCMOROW P.O. BOX 1032 NANTUCKET, MA 02554 PHONE 508-228-0456 email ethan@pconcat.net</small>		MAP: 55 PARCEL: 43.3 H.D.C. SITE PLAN ONLY		SHEET NO. s 2
	ADDRESS: 13 WARREN STREET NANTUCKET, MA 02554	DATE: 1/16/2020	SCALE: AS NOTED		

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 55 PARCEL N°: 43.3
 Street & Number of Proposed Work: 13 Warren St.
 Owner of record: Donald + Olwen Pongrace
 Mailing Address: 4150 Fordham Rd. NW
Washington, DC. 20016
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: KM Designs
 Mailing Address: 61 Old South Rd. #268
Nantucket, MA. 02554
 Contact Phone #: 508-221-6672 E-mail: Coastalgardens508@yahoo.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 2020-01-0558
 Pool (Zoning District _____) Roof Other Polygon

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
 Original Date: _____
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

Revisions:
-Addition of type II fence
-Addition of 12' 5&1 Fence
-Driveway Apron
-Type II gate

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height:	<u>36" / 48"</u>	<u>around 6'</u>
Type:	<u>II</u>	<u>5+1</u>
Length:	<u>72'+/-</u>	<u>12'+/-</u>

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways shell w/ cobble Walkways Brick Walls _____

* Note: Complete door and window schedules are required. apron

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____

Trim _____ Sash _____ Doors _____

Deck _____ Foundation _____ Fence Natural to Shutters _____
Weather

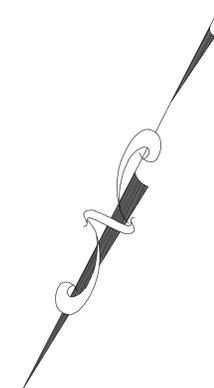
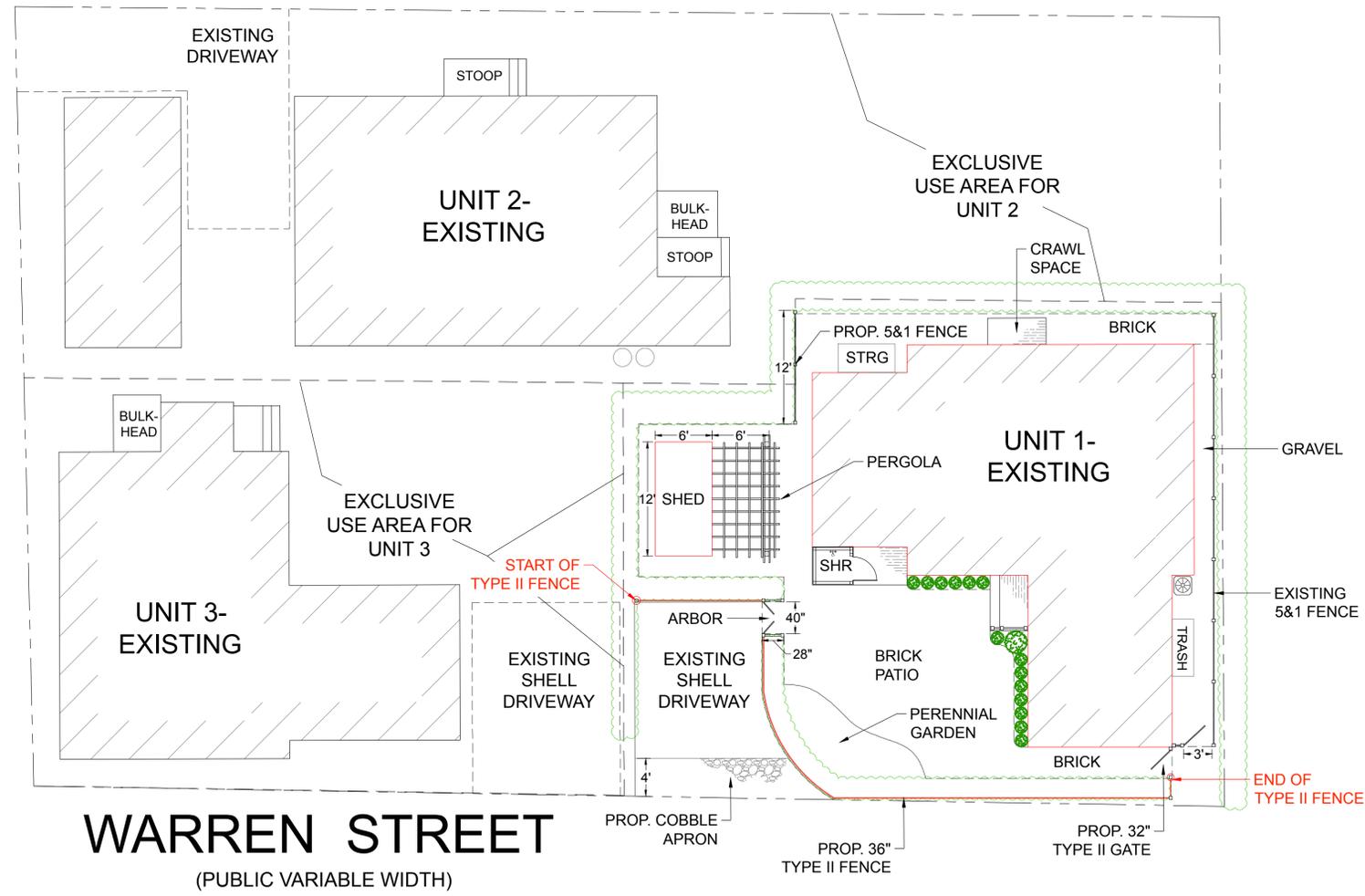
* Attach manufacturer's color samples if color is not from HDC approval list.

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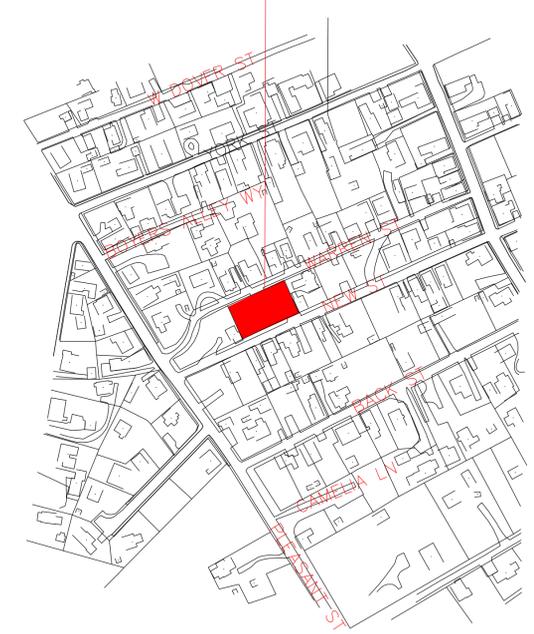
Date 7/10/2020 Signature of owner of record _____ Signed under penalties of perjury

NEW STREET

(PUBLIC VARIABLE WIDTH)



ZONING CLASSIFICATION: R.O.H.
 MAP: 55 PARCEL: 43.3
 MIN. AREA: 5,000 sqft.
 MIN. FRONTAGE: 50 ft.
 FRONT YARD S.B.: 0 ft.
 SIDE S.B.: 5 ft.
 REAR S.B.: 5 ft.
 GROUND COVER (%): 50%



NOTE:

ALL EXISTING BRICK (255 sqft) TO BE RE-PURPOSED ON SITE IN NEW DESIGN.

NOTE:

PRIVET LOCATED ALONG PROPOSED TYPE II FENCE TO BE REPLACED WITH NEW HEALTHY PRIVET-SINGLE ROW 2' OC.

NOTE:

PROPOSED TYPE II FENCE AND GATES TO BE NATURAL TO WEATHER (SEE ATTACHED PHOTO).

NOTE:

PROPOSED 5 & 1 PRIVACY FENCE TO BE NATURAL TO WEATHER WITH VERTICAL LATTICE.

NOTE:

EXISTING ARBOR (ROTTED, SEE PHOTO) TO BE REPLACED WITH MATCHING ARBOR AND 40" DOUBLE GATE, AND RELOCATED TO SOUTHWEST CORNER OF DRIVEWAY.

NOTE:

ALL SITE WORK SHOULD BE REVIEWED BY A CONTRACTOR AND/OR PROPERTY OWNER PRIOR TO CONSTRUCTION.

*REVISIONS: 7/12/2020

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NOTE:

THIS DRAWING DOES NOT CONSTITUTE A REGISTERED SURVEY AND IS FOR THE NANTUCKET HISTORIC DISTRICT COMMISSION USE ONLY. ALL SITE WORK SHOULD BE VERIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO AND DURING CONSTRUCTION.

61 OLD SOUTH RD
 P.M.B. 268
 NANTUCKET, MA.
 02554
 508.221.6672

13 WARREN STREET
 PROPOSED LANDSCAPE DESIGN

SCALE: 1/8" = 1'-0"
JOB: 13 WARREN ST.
DATE: 1/13/20

SHEET:

S.1





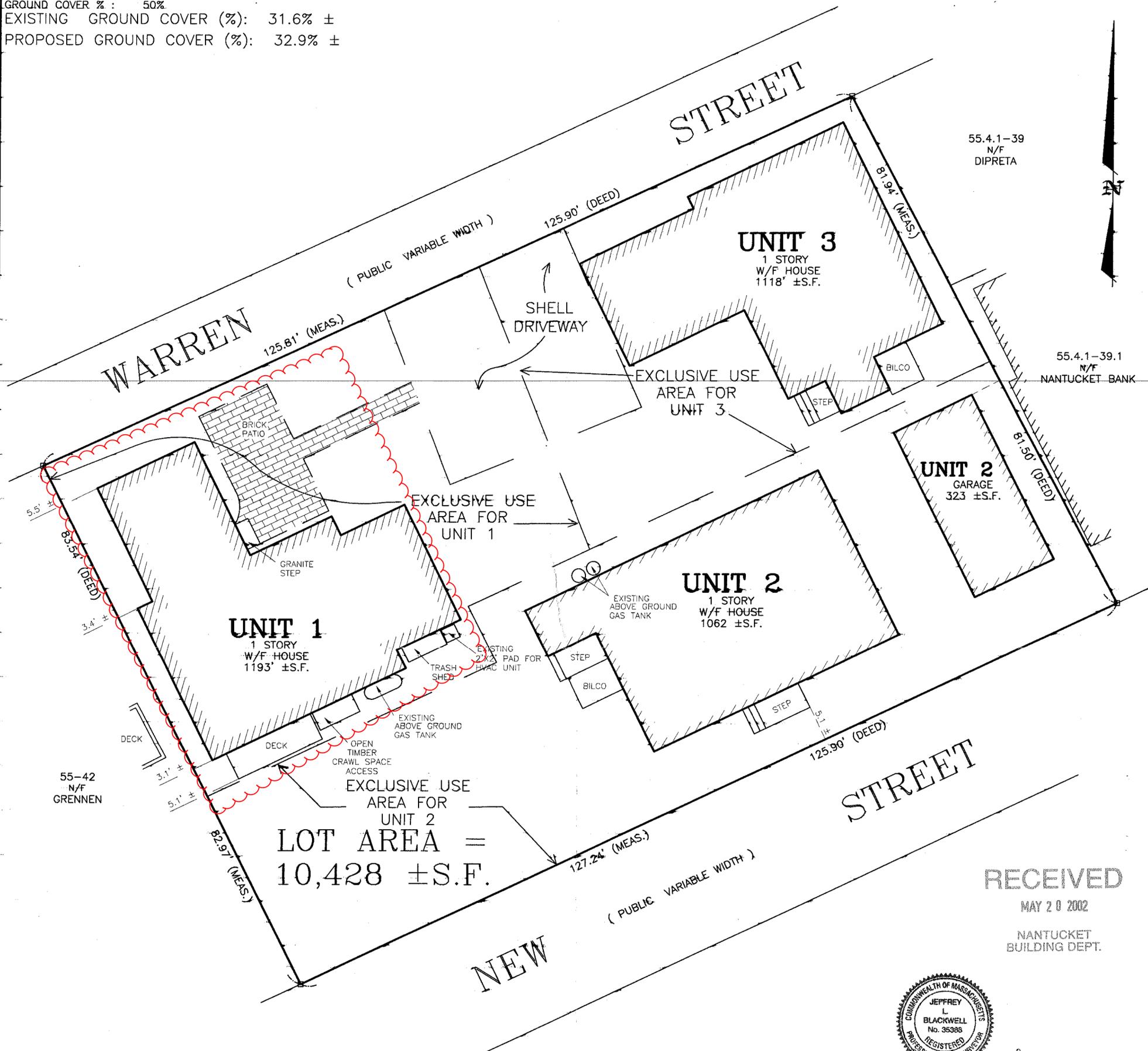


**Example of proposed fence-
(5 Warren St)**

CURRENT ZONING CLASSIFICATION:
Residential Old Historic (R-OH)

MINIMUM LOT SIZE: 5000 S.F.
MINIMUM FRONTAGE: 50 FT.
FRONT YARD SETBACK: none
REAR/SIDE SETBACK: 5 FT.
GROUND COVER % : 50%
EXISTING GROUND COVER (%): 31.6% ±
PROPOSED GROUND COVER (%): 32.9% ±

ONLY ORIGINALLY STAMPED AND
ENDORSED COPIES OF THIS PLAN
SHALL BE ACKNOWLEDGED BY
THE CERTIFYING LAND SURVEYOR



LOT AREA =
10,428 ± S.F.

RECEIVED
MAY 20 2002
NANTUCKET
BUILDING DEPT.



BUILDING LOCATION PLAN OF LAND IN NANTUCKET, MASS.

SCALE: 1" = 10' DATE: JULY 23, 2001
REV: MAY 13, 2002

OWNER: LAURIE H. DONOVAN, TRUSTEE of
WARREN STREET REALTY TRUST

DEED BOOK: 683, PG. 163 PLAN FILE: 47-B
UNIT No. 1 of the SHEARWATER CONDOMINIUM
LOCUS: #16 WARREN STREET

BLACKWELL and ASSOCIATES, Inc.
Professional Land Surveyors
20 TEASDALE CIRCLE
NANTUCKET, MASS. 02554
(508) 228-9026

GRAPHIC SCALE



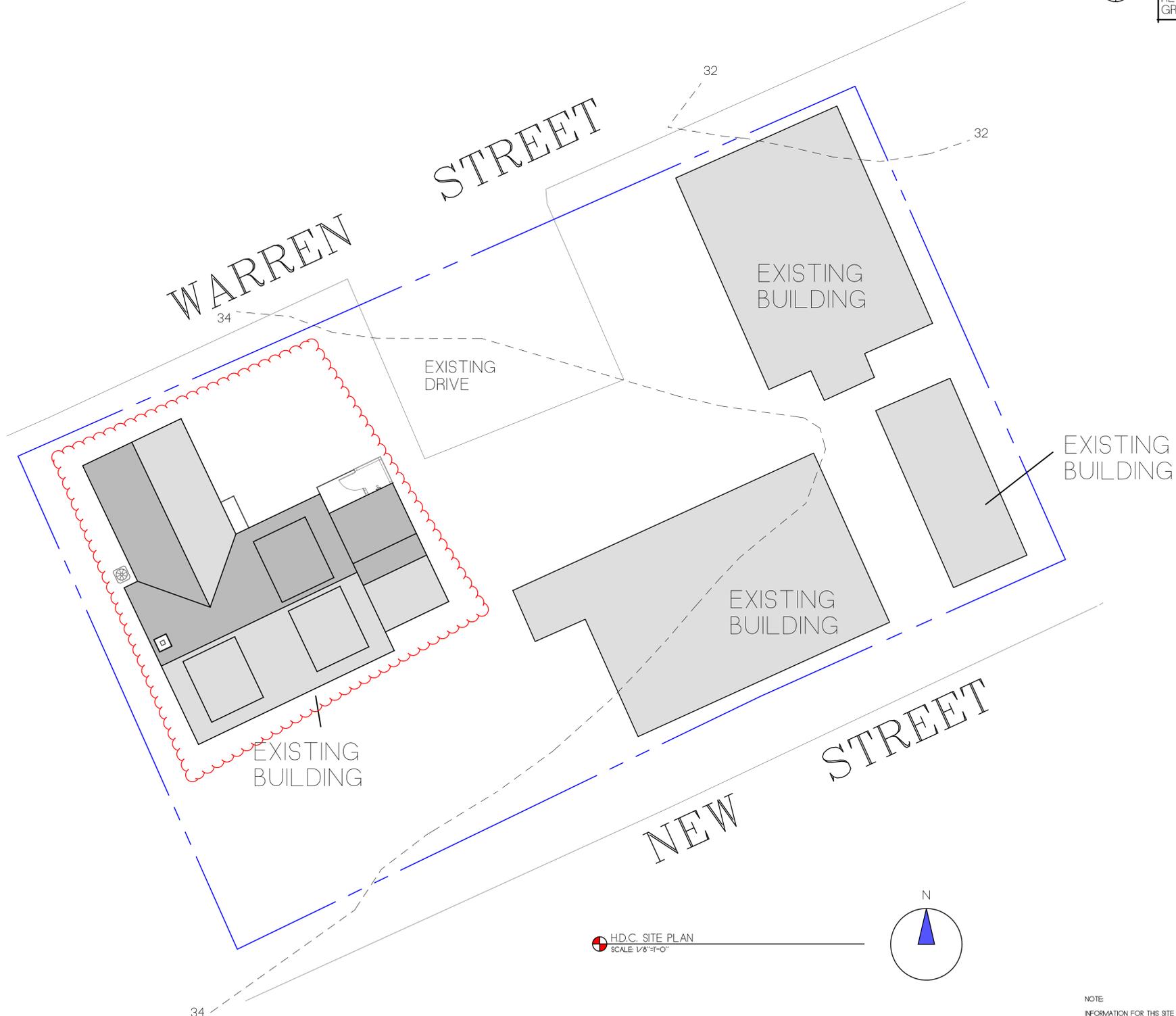
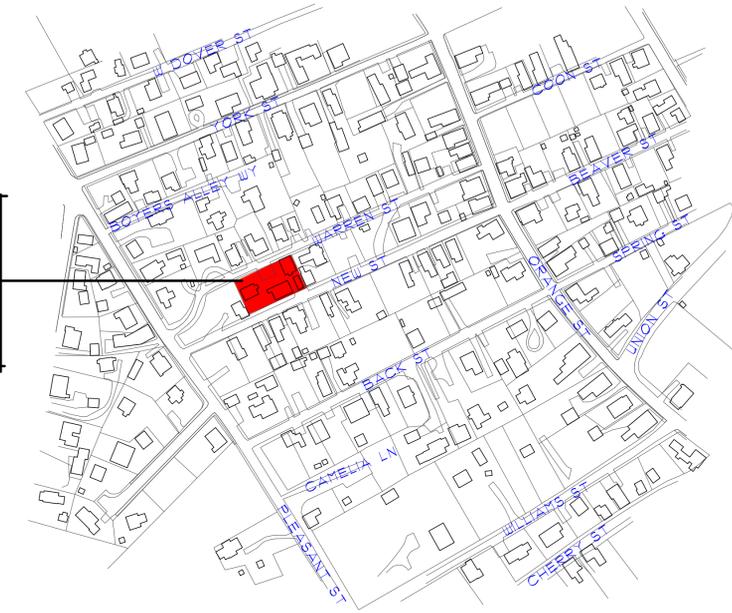
THIS PLOT PLAN WAS PREPARED FOR THE TOWN OF NANTUCKET BUILDING DEPARTMENT ONLY AND SHOULD NOT BE CONSIDERED A PROPERTY LINE SURVEY. THIS PLAN SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES, FENCES, HEDGES OR ANY ANCILLARY STRUCTURES ON THE PREMISES. THE PROPERTY LINES SHOWN RELY ON CURRENT DEEDS AND PLANS OF RECORD. THIS PLOT PLAN IS NOT A CERTIFICATION AS TO TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR RECORDS.

ASSESSOR MAP: . . 55 . . PARCEL: . . 43.3 . .

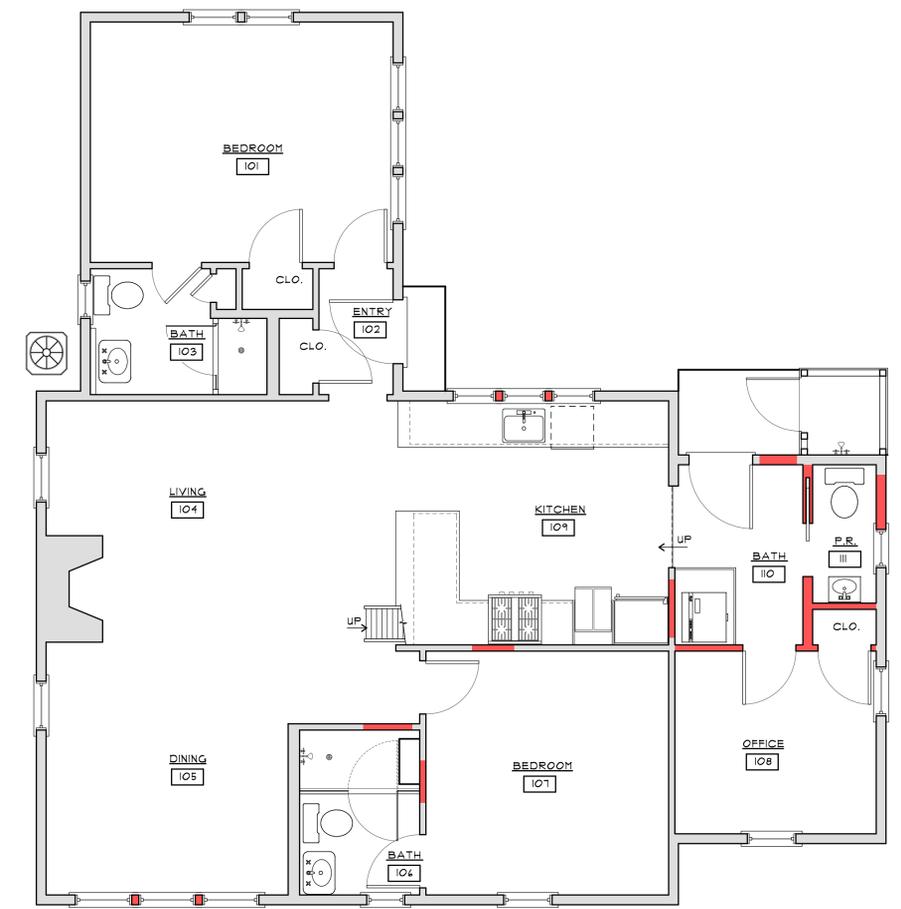
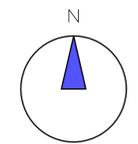
DOOR & WINDOW SCHEDULE				
SYM	MANUFACTURER	WINDOW SIZE	QTY.	REMARKS
A	BOSTON SASH	2'-3" X 2'-0"	3	4 LT. TO MATCH EXISTING UNIT UPPER SASH
B	BOSTON SASH	2'-0" X 3'-0"	1	4/4 D.H. (T.M.E.)
C	BOSTON SASH	1'-8" X 2'-0"	1	4 LT. FIXED UNIT
D	BOSTON SASH	2'-8" X 4'-4"	3	4/4 D.H.
E	BOSTON SASH	2'-0" X 3'-0"	1	4/4 D.H. (T.M.E.)
1	SIMPSON	3'-0" X 4'-8"	1	1/2 LT. 1 PNL. EXTERIOR DOOR
2	SIMPSON	3'-0" X 4'-8"	1	4 LT. 1 PNL. EXTERIOR DOOR

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL UNIT DIMENSIONS PRIOR TO ORDERING. IF THERE ARE ANY QUESTIONS OR DISCREPANCIES PLEASE CONTACT THE DESIGNERS.

ZONING CLASSIFICATION: R.O.H.
 MAP: 55 PARCEL: 43.3
 MIN. AREA: 5,000 sqft.
 MIN. FRONTAGE: 50 ft.
 FRONT YARD S.B.: 0 ft.
 SIDE S.B.: 5 ft.
 REAR S.B.: 5 ft.
 GROUND COVER (%): 50%



HDC SITE PLAN
SCALE 1/8"=1'-0"



FLOOR PLAN
SCALE 1/4"=1'-0" 1/80 SF.

KEY:
 NEW WALLS: [Red line]
 EXISTING WALLS: [Black line]

REVISIONS:
 11/21/2003: AS-BUILT MEASURING
 11/15/2019: PROGRESS PRINT
 11/20/2019: HDC PRINT

NOTE:
 INFORMATION FOR THIS SITE PLAN WAS TAKEN FROM THE NANTUCKET GIS MAPS AND A SUPPLIED SURVEY FROM THE LAND REGISTRATION OFFICE BY NANTUCKET SURVEYORS INC. DATED MAY 31 2002 THIS DRAWING DOES NOT CONSTITUTE A REGISTERED SURVEY AND IS FOR THE NANTUCKET HISTORIC DISTRICT COMMISSION USE ONLY. ALL SITE WORK SHOULD BE VERIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO AND DURING CONSTRUCTION.

NOTE:
 IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CAREFULLY REVIEW ALL WORKING DRAWINGS AND DETAILS FOR ACCURACY AND CONSISTENCY. THE DESIGNER & ENGINEER OF RECORD CANNOT BE HELD RESPONSIBLE FOR WORK INITIATED INCORRECTLY DUE TO MISUNDERSTANDING OR MISINTERPRETATION. IF THERE ARE ANY QUESTIONS AFTER THE STRUCTURAL DRAWINGS HAVE BEEN REVIEWED, PLEASE CALL THE ENGINEER OF RECORD BEFORE INITIATING ANY WORK.

NOTE:
 ALL SITE WORK SHOULD BE VERIFIED BY A REGISTERED LAND SURVEYOR PRIOR TO AND DURING CONSTRUCTION FOR PROPER LOCATION OF PROPERTY & SETBACK LINES.

NOTE:
 ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN CHARGE.

COPYRIGHT NOTICE <small>These drawings are the property of Ethan McMorris Design & Assoc., Inc. may not be used without the express written authorization from Ethan McMorris Design & Associates Inc.</small>	PONGRACE RESIDENCE DRAWN BY: ETHAN MCMORRIS		MAP: 55 PARCEL: 43.3 HDC SITE PLAN ONLY		SHEET NO. S 1
	F.O. BOX 1032 NANTUCKET, MA 02554 PHONE 508-228-0456 email ethan@7cconcat.net		ADDRESS: 13 WARREN STREET NANTUCKET, MA 02554	DATE: 11/20/2019	



NORTH ELEVATION
SCALE: 1/4"=1'-0"



WEST ELEVATION
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"



EAST ELEVATION
SCALE: 1/4"=1'-0"

NOTE:
IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO CAREFULLY REVIEW ALL WORKING DRAWINGS AND DETAILS FOR ACCURACY AND CONSISTENCY. THE DESIGNER / ENGINEER OF RECORD CANNOT BE HELD RESPONSIBLE FOR WORK INITIATED INCORRECTLY DUE TO MISUNDERSTANDING OR MISINTERPRETATION. IF THERE ARE ANY QUESTIONS AFTER THE STRUCTURAL DRAWINGS HAVE BEEN REVIEWED, PLEASE CALL THE ENGINEER OF RECORD BEFORE INITIATING ANY WORK.

NOTE:
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NOTE:
ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN CHARGE.

REVISIONS:
11/21/2003: AS-BUILT MEASURING
11/15/2019: PROGRESS PRINT
11/19/2019: PROGRESS PRINT
11/20/2019: HDC PRINT
1/09/2020: PROGRESS PRINT
1/11/2020: HDC REVISION

COPYRIGHT NOTICE <small>These drawings are the property of Ethan McMorow Design & Assoc., Inc. and may not be used without the express written authorization from Ethan McMorow Design & Associates Inc.</small>	PONGRACE RESIDENCE <small>DRAWN BY: ETHAN MCMORROW P.O. BOX 1292 NANTUCKET, MA 02554 PHONE 508-228-0456 email: ethan@emcd.com</small>	<small>MAP: 55 PARCEL: 43.3</small> ELEVATIONS		SHEET NO. a 2
		<small>ADDRESS:</small> 13 WARREN STREET NANTUCKET, MA 02554	<small>DATE:</small> 1/11/2020	

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 30 PARCEL N°: 183
 Street & Number of Proposed Work: 12 Lincoln Ave
 Owner of record: 12 Lincoln Ave Nonwee Trust
 Mailing Address: 12 Lincoln Ave
Nantucket, MA 02554
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Everettus
 Mailing Address: 8 Williams Ln
Nantucket, MA 02554
 Contact Phone #: 325-4995 E-mail: _____

FOR OFFICE USE ONLY	
Date application received: <u>7/28/20</u>	Fee Paid: \$ <u>50</u>
Must be acted on by: <u>9/26/20</u>	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No 2020-06-1969
 Pool (Zoning District _____) Roof Other CABANA REVISIONS
 Size of Structure or Addition: Length: NO CHANGE Ft. Footage 1st floor: NO CHANGE Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: N/A
 Original Date: _____ (describe)
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A
 REVISIONS* 1. East Elevation Door style revisions & revise roof trim details
 2. South Elevation
 3. West Elevation
 4. North Elevation Add two windows
 *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

NO CHANGE
 Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size): _____
 Siding: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
 Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
 Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
 Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall Natural Clapboard (if applicable) _____ Roof Natural
 Trim White Sash White Doors Gray
 Deck _____ Foundation Natural Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date: 7/28/20 Signature of owner of record _____ Signed under penalty of perjury _____



12 Lincoln Ave Nominee Trust

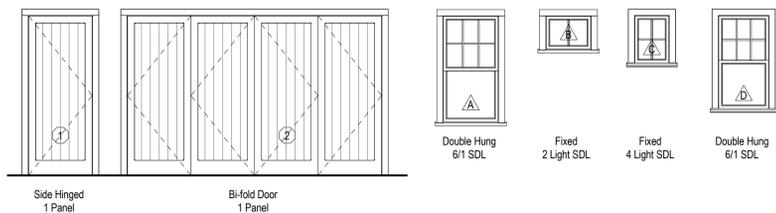
12 Lincoln Avenue
Nantucket, MA 02554

07.21.20



1 Locus Map
Not to Scale

HDC Submission



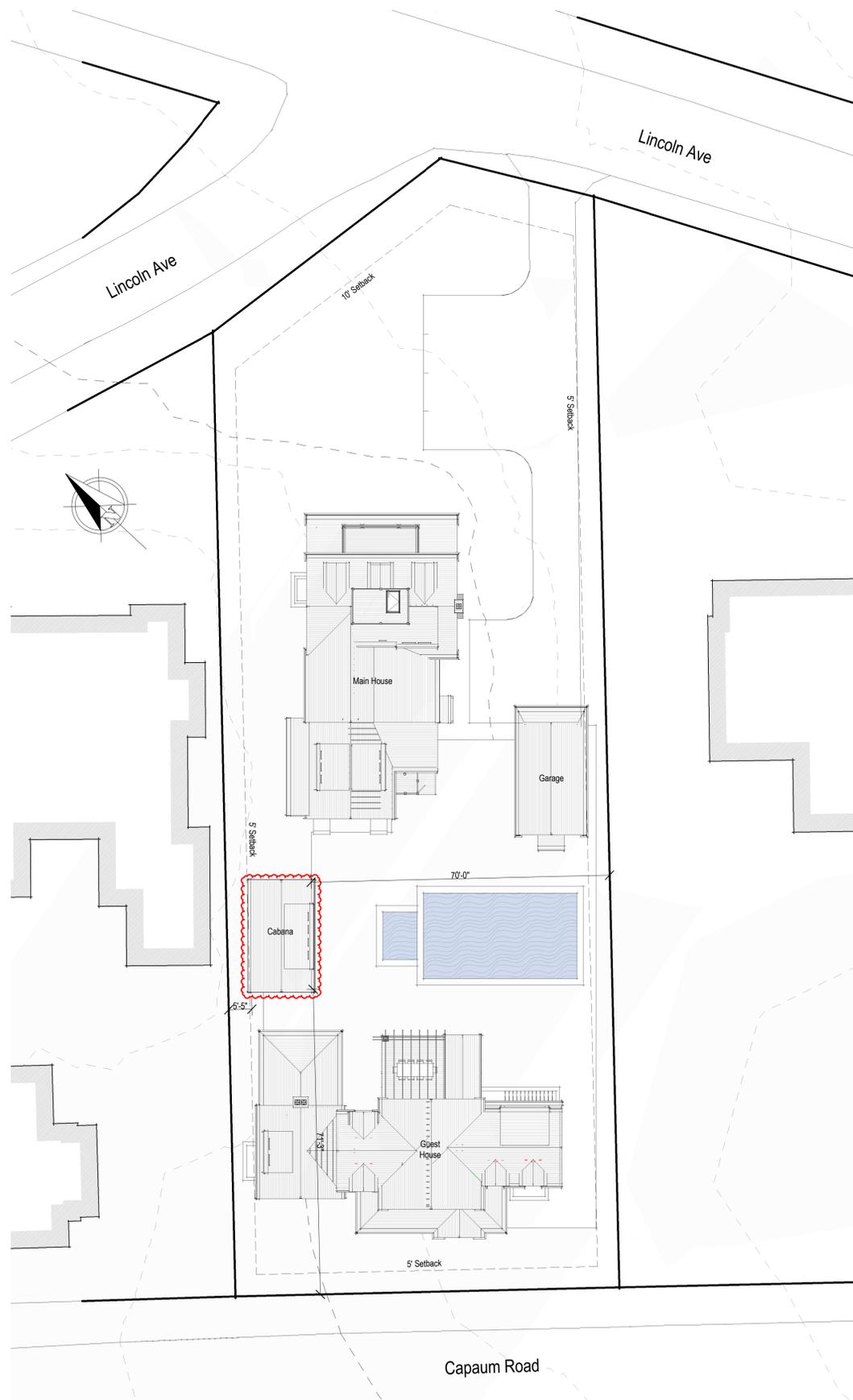
2 Window & Door Legend
1/4" = 1'-0"

WINDOW SCHEDULE							
WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
A	3	2'-9 3/4"	5'-1"	TBD			≥ 30
B	4	2'-4"	1'-8"	**			≥ 30
C	2	1'-10"	2'-4"	**			≥ 30
D	2	2'-7"	4'-5 3/4"				≥ 30

EXTERIOR DOOR SCHEDULE							
DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
1	2	3'-0"	7'-6"				
2	1	12'-0"	7'-6"	**			

WINDOW & DOOR NOTES

- Windows w/ DP Rating of 30 or Greater Required
- Refer To Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
- Contractor Shall Install Self Adhesive Flexible Window Flashing by Grade or Equal
- General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
- Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
- Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
- The Unit Measurements Given In this Document Are For A Guide Only



3 Site Plan
1/16" = 1'-0"

1925

12 Lincoln Ave
Nominee Trust
12 Lincoln Avenue
Nantucket, MA 02554



Cover Page

Site Information

Map & Parcel:	30 / 183
Current Zoning:	R-1
Minimum Frontage:	50'
Front Setback:	10'
Side/Rear Setback:	5'
Lot Size:	22,553 SF +/-
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% or 6,766 SF +/-
Existing G.C.:	1,400 SF +/-
Proposed G.C.:	1,457 SF +/-
Total Proposed G.C.:	4,008 SF +/-

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

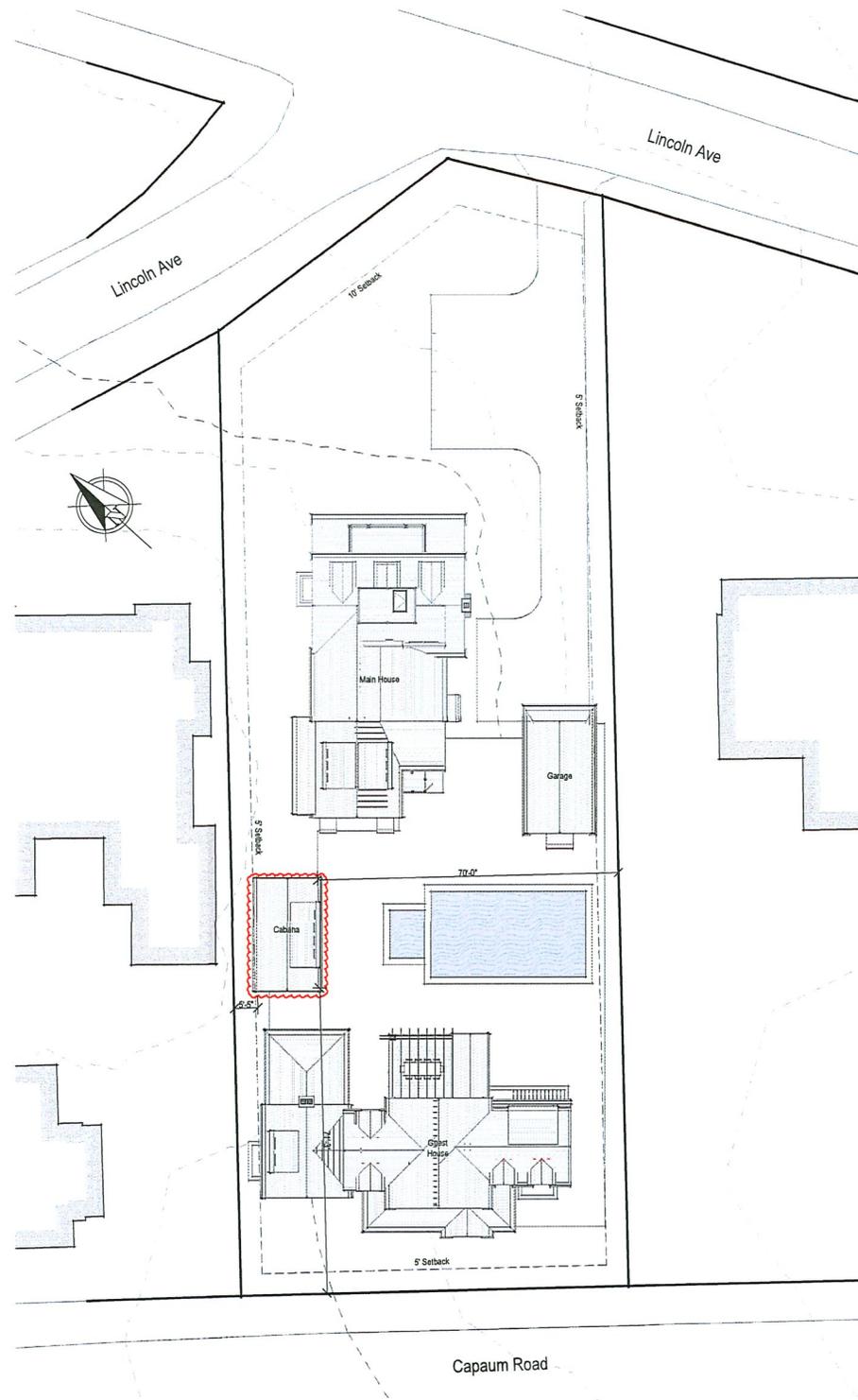
SHEET INDEX

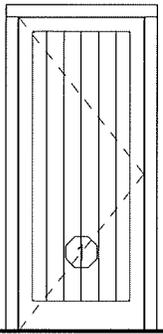
- G.1.1 Cover Page
- A.1.1 Plan & Elevations
- S.1.1 Framing Plans

Revisions

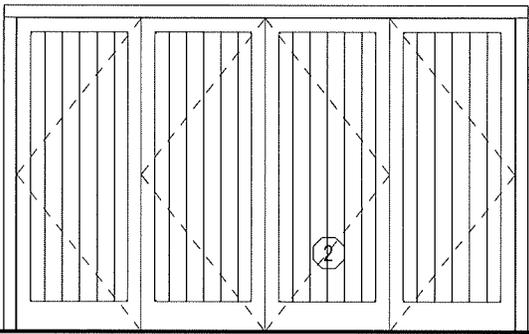
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G.1.1
1925

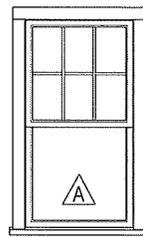




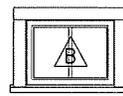
Side Hinged
1 Panel



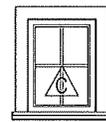
Bi-fold Door
1 Panel



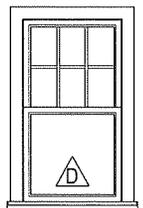
Double Hung
6/1 SDL



Fixed
2 Light SDL



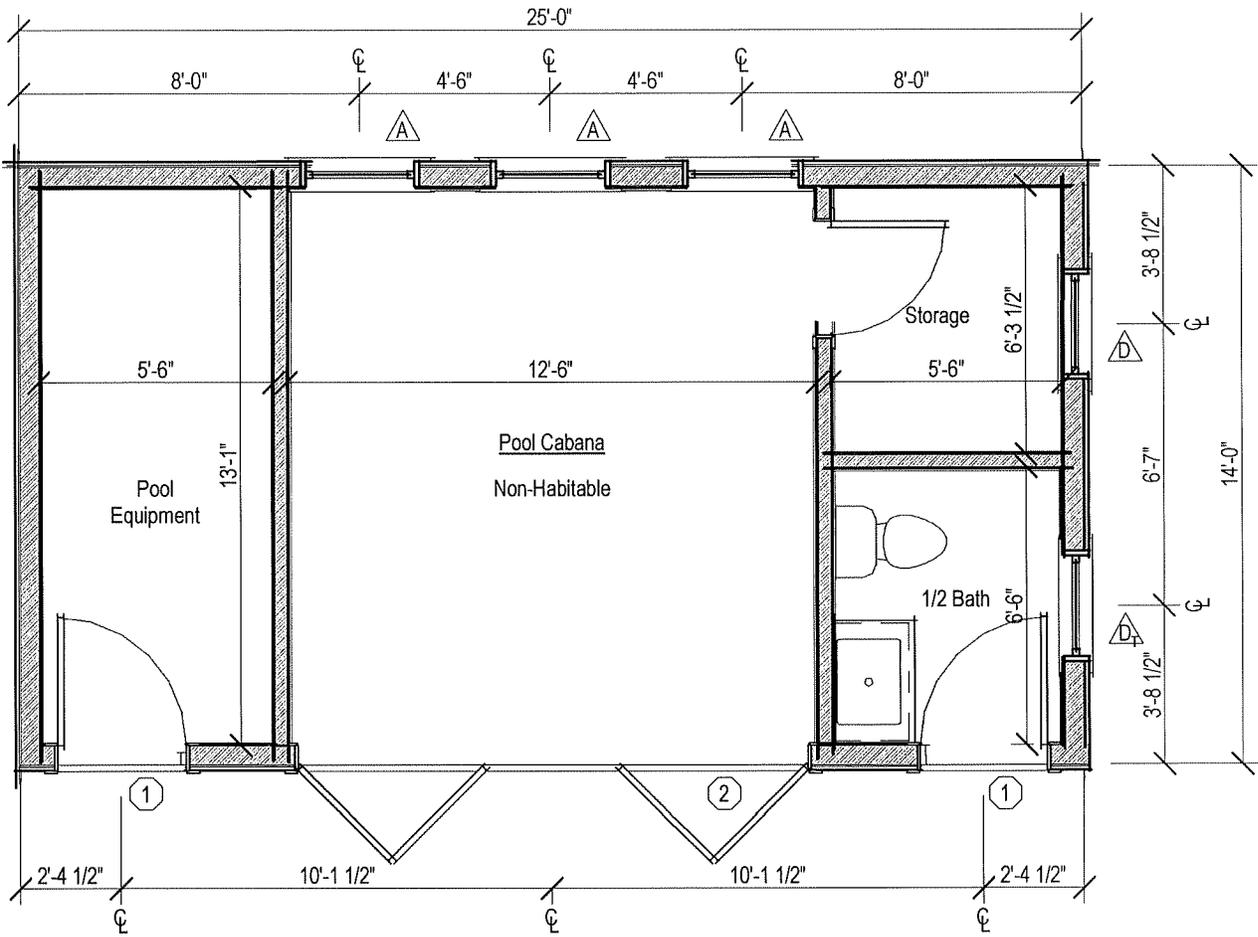
Fixed
4 Light SDL



Double Hung
6/1 SDL

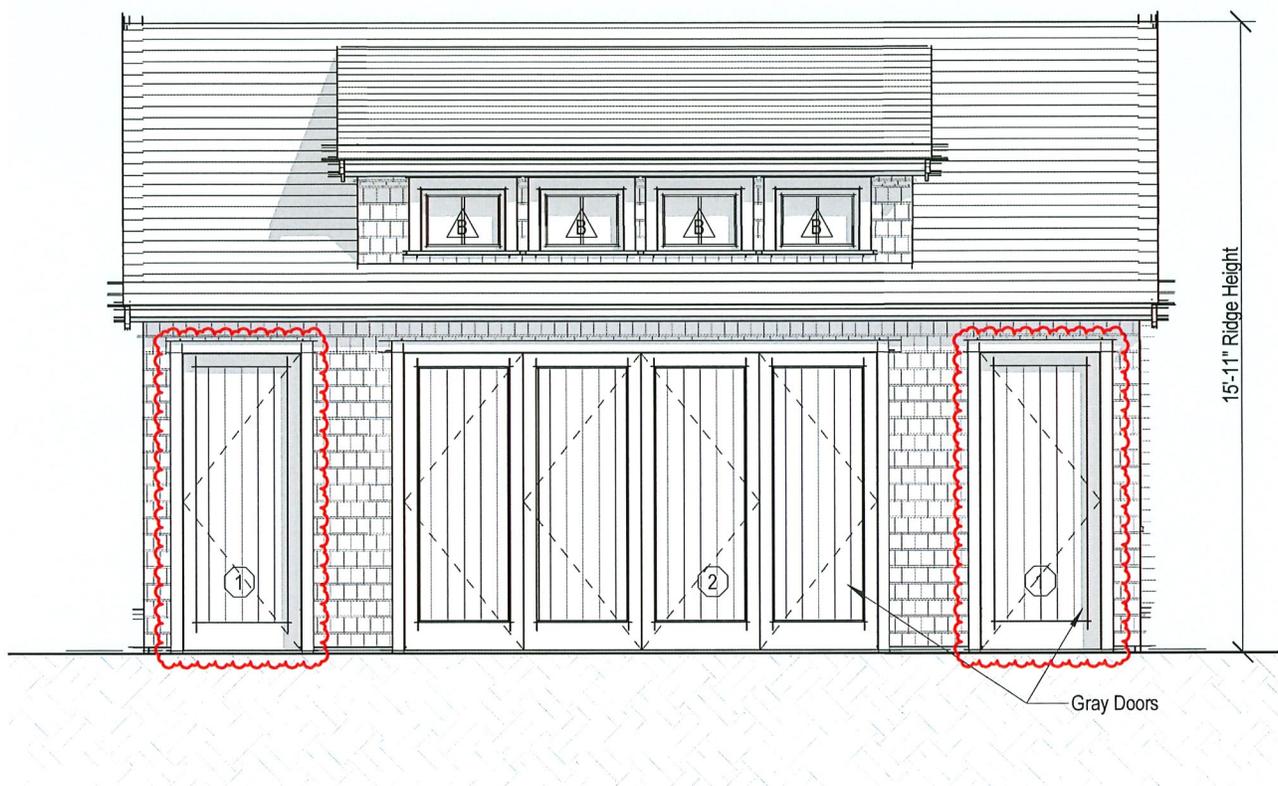
2 Window & Door Legend

1/4" = 1'-0"



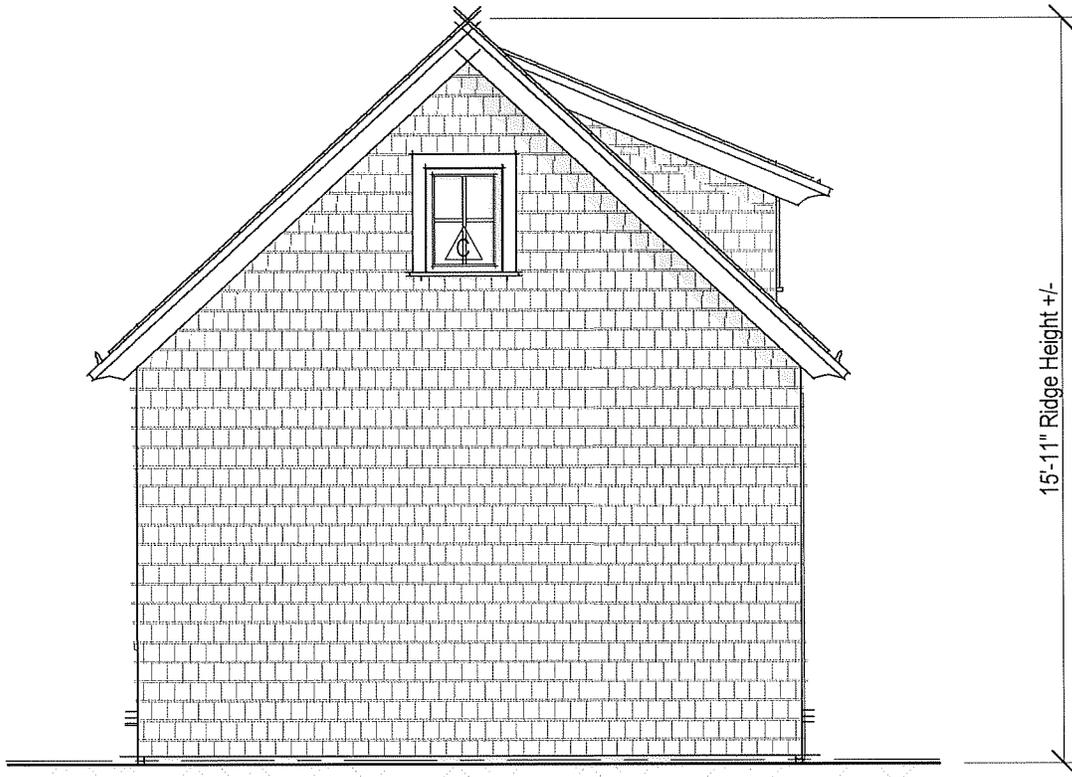
1 Floor Plan

1/4" = 1'-0"

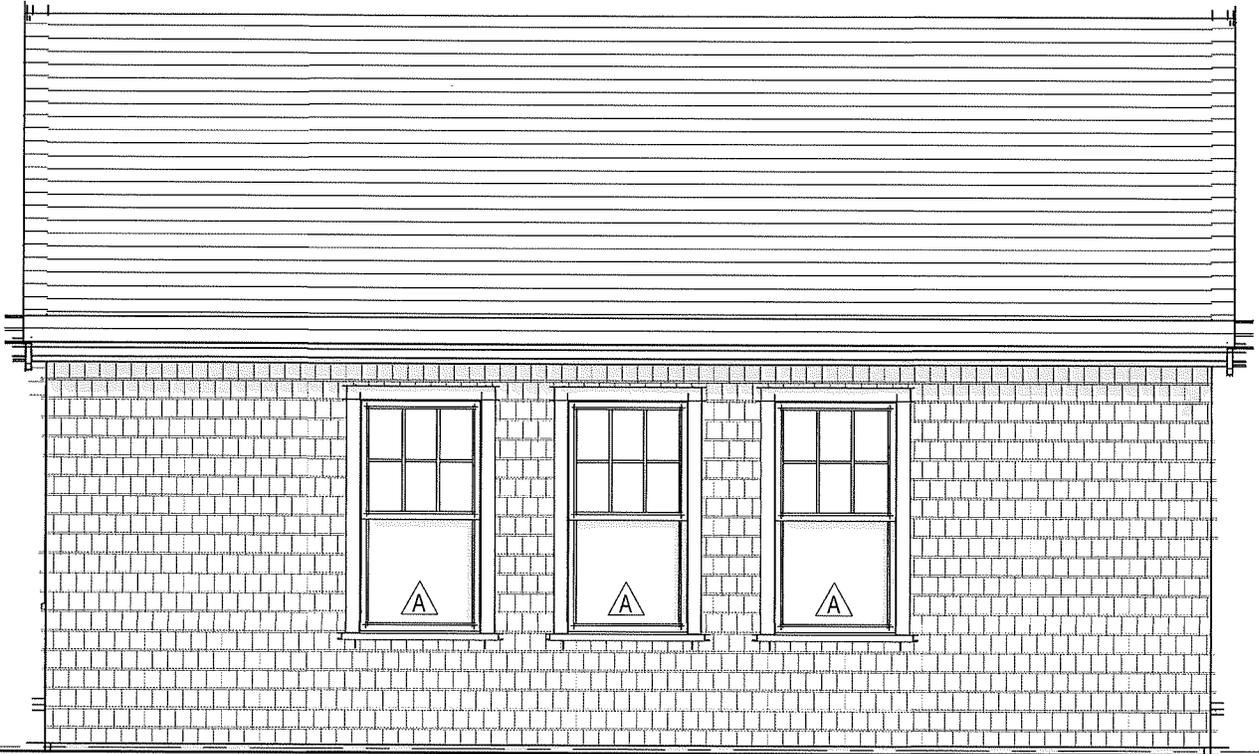


3 East Elevation
1/4" = 1'-0"

RECEIVED
JUL 28 2020
By _____

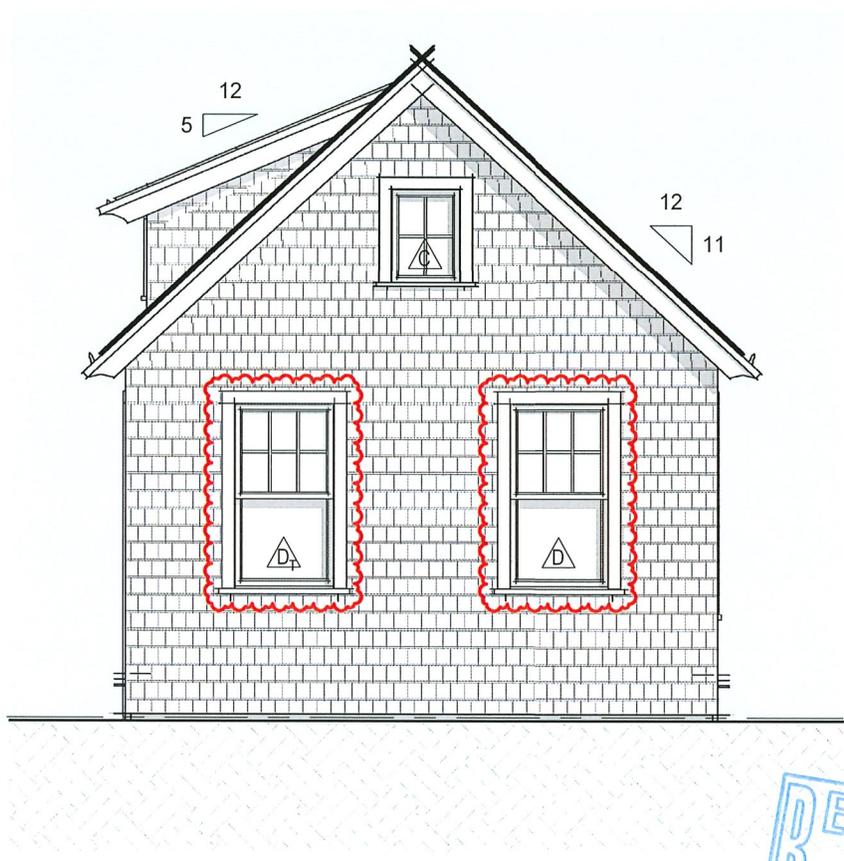


6 South Elevation
1/4" = 1'-0"



5 West Elevation

1/4" = 1'-0"



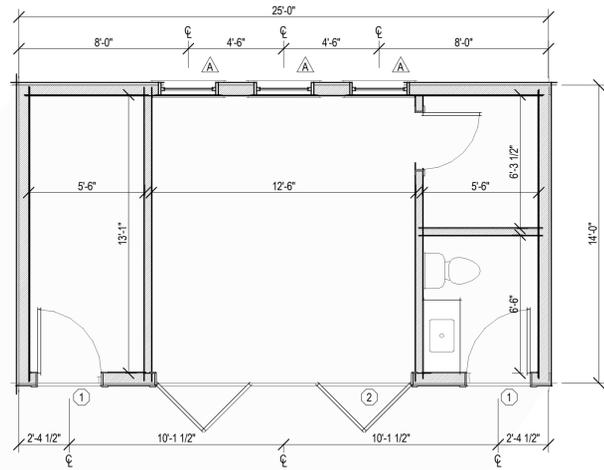
4 North Elevation
1/4" = 1'-0"

RECEIVED
JUL 28 2020
By _____

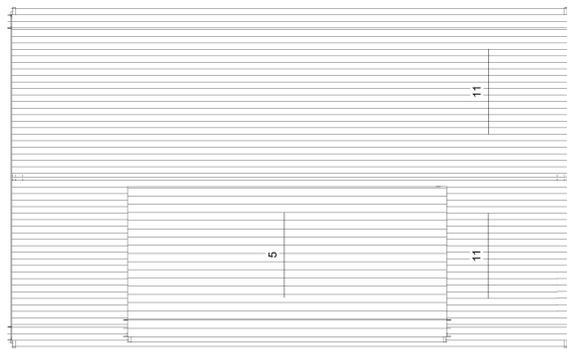
18. Thompson 05-1039	73 Baxter Road	Move/demo garage	49-27	Emeritus
Voting	Pohl, Coombs, McLaughlin, Camp, Welch			
Alternates	Oliver stepped out.			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (7:23)	<p>MacEachern – Presented project; doesn't think this has any historical significance; reusing it is not an option.</p> <p>Flynn – Read Ms. Backus' comments: circa 1920-1940; wants to know what's being proposed and why.</p> <p>Coombs – This has been in place since at least the 1940s; she doesn't understand why it has to be removed when it's grandfathered in. Does not support demolishing this; it has enough age and history to stay on lot.</p> <p>Camp – She'd like to see it remain on the property and be renovated. It has charm and character. Believes this is a Sears and Roebuck house.</p> <p>McLaughlin – The style of garage doors is post 1940s. It could be moved to the bottom right corner and saved.</p> <p>Welch – He thinks finding a home for this is beneficial.</p> <p>Pohl – If you move it 3 feet off the property line, you can put windows in. What's on the table now is the fact that if no one takes this, we'd be approving a demolition. Asked Mr. MacEachern to do more historical research.</p>			
Motion	Motion to Hold for more information. (Camp)			
Roll-call Vote	Carried 5-0//Welch, Coombs, Camp, McLaughlin, and Pohl-aye		Certificate #	
19. 12 Lincoln Ave, LLC 06-1069	12 Lincoln Avenue	Rev. 11-0147: cabana chngs	30-183	Emeritus
Voting	Coombs (acting chair), McLaughlin, Camp, Oliver, Welch			
Alternates	Pohl lost connectivity			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (7:35)	<p>MacEachern – Presented project; contends it's not visible due to location between two buildings.</p> <p>Flynn – Read Ms. Backus' comments: visible, not appropriate; east bi-fold doors not appropriate; west elevation, removed doors, and windows changed from 2-over-2 to 6-over-1.</p> <p>Oliver – She has no concerns. Our concern was always the open yard facing east might make the doors more visible. Her only concern would be visibility from the east.</p> <p>Welch – The pool and cabana are swapping with the same relationship; along the property line there will be windows instead of doors. He has no concerns. The height changes from 16'2" to 17'6"; that is a change we need to review.</p> <p>McLaughlin – The porthole windows in the doors should be square; with that change, he'd approve this.</p> <p>Camp – She thinks the proposed is okay; she prefers the porthole windows.</p>			
Motion	Motion to Approve through staff with the porthole windows to be square 4-light and the height to remain 16'2". (McLaughlin)			
Roll-call Vote	Carried 5-0//Camp, Oliver, Welch, McLaughlin, and Coombs-aye		Certificate #	HDC2020-06-1969
20. 78 Wauwinet LLC 06-1065	78 Wauwinet Road	New dwelling	14-18	Emeritus
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver			
Alternates	Welch			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (7:51)	<p>MacEachern – Presented project; any visibility would be from Fargo; from the water, only the third floor would be visible due to the dense vegetation; assured there won't be any clear cutting toward the water or Wauwinet Road.</p> <p>McLaughlin - South elevation, the gable roof over the door should be 7/12 pitch; meeting rails don't align.</p> <p>Oliver – Appreciates the traditional design. Doors and windows have no sizes. It would be helpful to have scale box on each elevation. Suggested having the garage considered in conjunction with the house.</p> <p>Camp – She's not sure about the visibility from the water; the 14/12 pitch on the south elevation 3rd-floor dormers is too steep; the fascia strip is overly ornate. The last house on Fargo is laid-back; she'd like this formality toned down.</p> <p>Coombs – The 3rd-floor doghouse dormers should be wider with the windows adjusted to fit; the bottom two panels of the sidelights should be wood panels. At 29'10" with a skirted roof walk, it looks too tall and too heavy. It's overly long at 110 feet; you are going to lose a huge amount of vegetation thus opening it to visibility. The south elevation should be simpler.</p> <p>Pohl – He feels this is a redesign; it flies in the face of the rural guidelines. He guarantees it will be visible from Wauwinet Road and the water, especially with all the details painted white. Thinks this would benefit from a view with height poles.</p>			
Motion	Motion to Hold for revisions. (Coombs)			
Roll-call Vote	Carried 5-0//Camp, Oliver, McLaughlin, Coombs, and Pohl-aye		Certificate #	

06.11.20

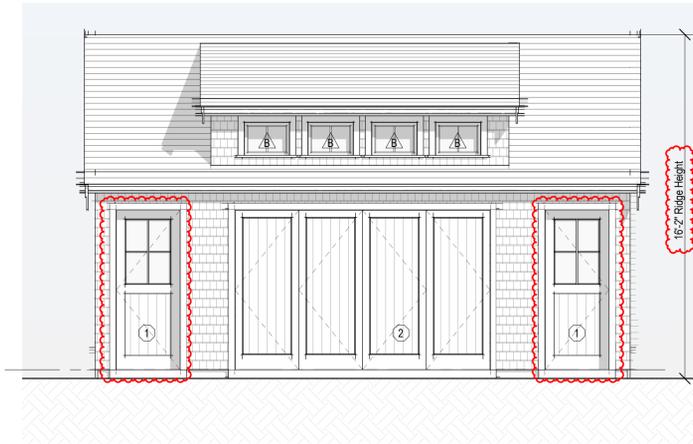
HDC Submission



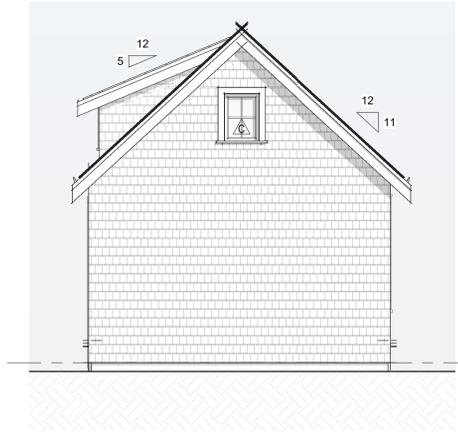
1 Floor Plan
1/4" = 1'-0"



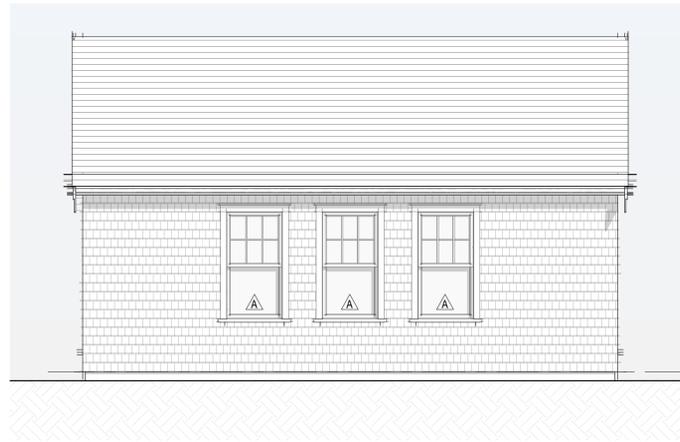
2 Roof Plan
1/4" = 1'-0"



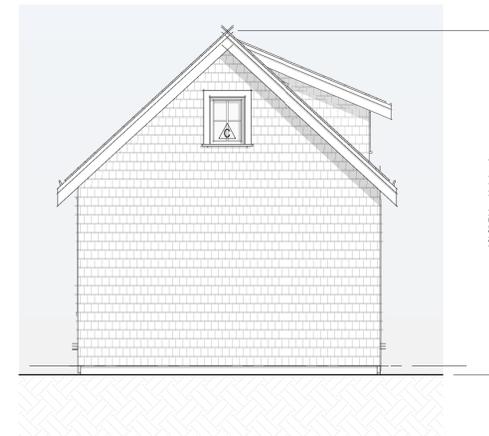
3 East Elevation
1/4" = 1'-0"



4 North Elevation
1/4" = 1'-0"



5 West Elevation
1/4" = 1'-0"



6 South Elevation
1/4" = 1'-0"

1925

12 Lincoln Ave
Nominee Trust
12 Lincoln Avenue
Nantucket, MA 02554



Plan & Elevations

Site Information

Map & Parcel:	30 / 183
Current Zoning:	R-1
Minimum Frontage:	50'
Front Setback:	10'
Side/Rear Setback:	5'
Lot Size:	22,553 SF +/-
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% or 6,766 SF +/-
Existing G.C.:	1,480 SF +/-
Proposed G.C.:	1,457 SF +/-
Total Proposed G.C.:	4,008 SF +/-

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Page
- A.1.1 Plan & Elevations
- S.1.1 Framing Plans

Revisions

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A.1.1
1925

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 30 PARCEL N°: 183
 Street & Number of Proposed Work: 12 Lurdu Ave.
 Owner of record: 12 Lurdu Ave. lbm wee trust
 Mailing Address: 12 Lurdu Ave.
Nantucket, MA 02554
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Emeritus
 Mailing Address: 8 Williams Ln.
Nantucket, MA 02554
 Contact Phone #: 325-4995 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 07-1327
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length NO CHANGE Sq. Footage 1st floor: NO CHANGE Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: N/A **REVISIONS*** 1. East Elevation
 Original Date: _____ (describe) 2. South Elevation
 Original Builder: _____ 3. West Elevation
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation Change 6 light door to 8 light

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

NO CHANGE
Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall Natural Clapboard (if applicable) _____ Roof Natural
 Trim White Sash White Doors Folger Blue & Gray
 Deck _____ Foundation Natural Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 7/28/20 Signature of owner of record _____ Signed under penalties of perjury



REQUIRED WITH ALL APPLICATIONS:

- | | | |
|------------------|----|--|
| <u> X </u> | 1. | Completed Application Form: Description of ALL work must be indicated on application form. |
| <u> X </u> | 2. | Property Owner's Signature: Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided. |
| <u> X </u> | 3. | Application Fee: See back of application for fee schedule or call the office. |
| <u> X </u> | 4. | Locus Map (4 copies): Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) http://www.mapgeo.com/NantucketMA/ . |
| <u> X </u> | 5. | Site Plan (4 Copies): must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and placement of HVAC units, electrical boxes, fuel tanks, etc. |
| <u> X </u> | 6. | 8-1/2" x 11" Copies of ALL Application Materials: Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12) , collated and stapled. |
| <u> n/a </u> | 7. | Photographs: Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address. |
| <u> X </u> | 8. | Electronic submission: All documents submitted to the HDC office must also be converted to Adobe Acrobat format http://www.adobe.com/pdf/ ; this is free software that may have come pre-loaded on your computer. Electronic copies can also be created using the scanner located in the Department of Inspectional Services. |

REQUIRED WHERE APPLICABLE:

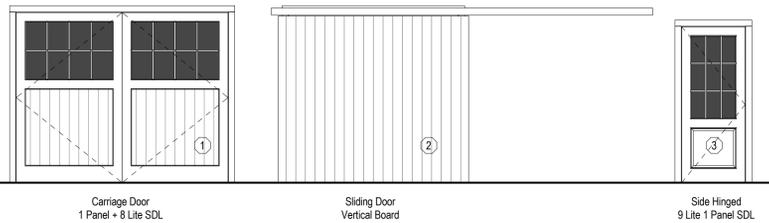
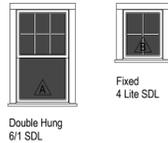
- | | | |
|--|----|---|
| <u> n/a </u> | 1. | Supplemental Information for Historic Buildings: It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application. |
| <u> X </u> | 2. | Exterior Elevations and Floor Plans (4 copies): Must be 1/4-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. All changes from approved or existing design must be clouded on drawings. All material MUST BE LEGIBLE , collated and stapled. Reduced sets should maintain a font size of 12. |
| <u> n/a </u> | 3. | As-Built Plans (1 copy): of existing elevations |
| <u> n/a </u> | 4. | Hardscaping Plans (4 copies): To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE , collated and stapled. |
| <u> n/a </u> | 5. | Topographic Map: Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan). |
| <u> X </u> | 6. | Door and Window Schedule (4 copies): Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number. |
| <u> JH </u>
(initial to indicate read and understand) | 7. | I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., <u>NOT</u> DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS. |
| <u> n/a </u> | 8. | Abutter Notification Materials – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet. |
| <u> n/a </u> | 9. | Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc. |

12 Lincoln Ave Nominee Trust

12 Lincoln Avenue
Nantucket, MA 02554



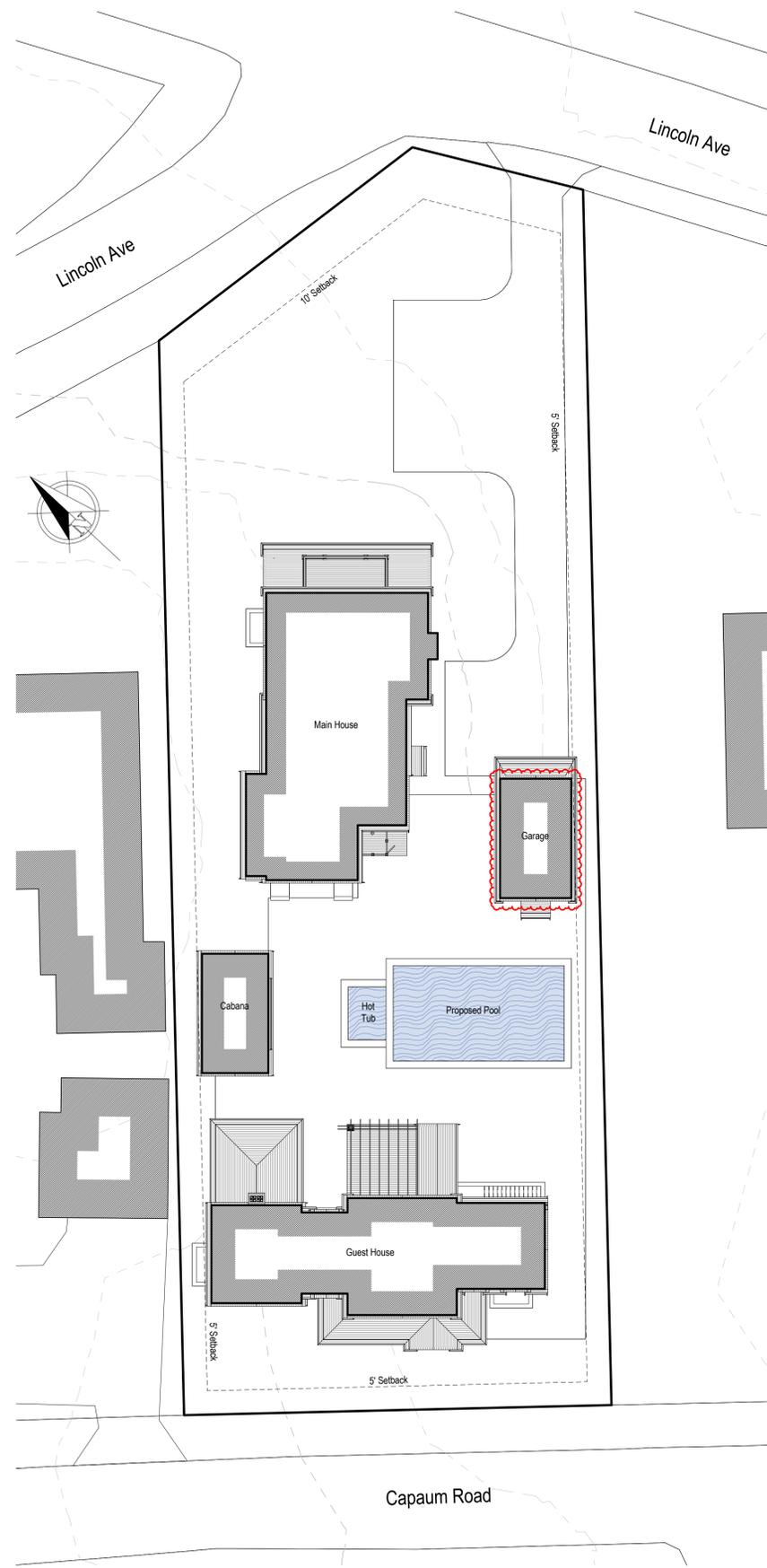
Locus Map



WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
A	3	2'-8 1/4"	4'-5 3/4"	TBD	TBD		≥ 30
B	4	2'-1"	2'-5"	TBD	TBD		≥ 30

DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	MODEL	DESCRIPTION	DP RATING
1	1	10'-0"	8'-0"	Custom	Custom		≥ 30
2	1	8'-0"	8'-0"	Custom	Custom		≥ 30
3	1	3'-0"	7'-4"	TBD	TBD		≥ 30

- WINDOW & DOOR NOTES**
- Windows w/ DP Rating of 30 or Greater Required
 - Refer To Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
 - Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
 - Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
 - Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
 - The Unit Measurements Given In This Document Are For A Guide Only



Site Plan

1/16" = 1'-0"

1925

12 Lincoln Ave
Nominee Trust
12 Lincoln Avenue
Nantucket, MA 02554



Cover Sheet

Site Information

Map & Parcel:	30 / 183
Current Zoning:	R-1
Minimum Frontage:	50'
Front Setback:	10'
Side/Rear Setback:	5'
Lot Size:	22,553 SF +/-
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% or 6,766 SF +/-
Existing G.C.:	1,400 SF +/-
Proposed G.C.:	1,758 SF
Total Proposed G.C.:	3,922 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- S.1.3 Unnamed
- G.1.1 Cover Sheet
- A.2.1 Floor Plan & Exterior Elevations
- S.1.1 Foundation & Framing Plans

Revisions

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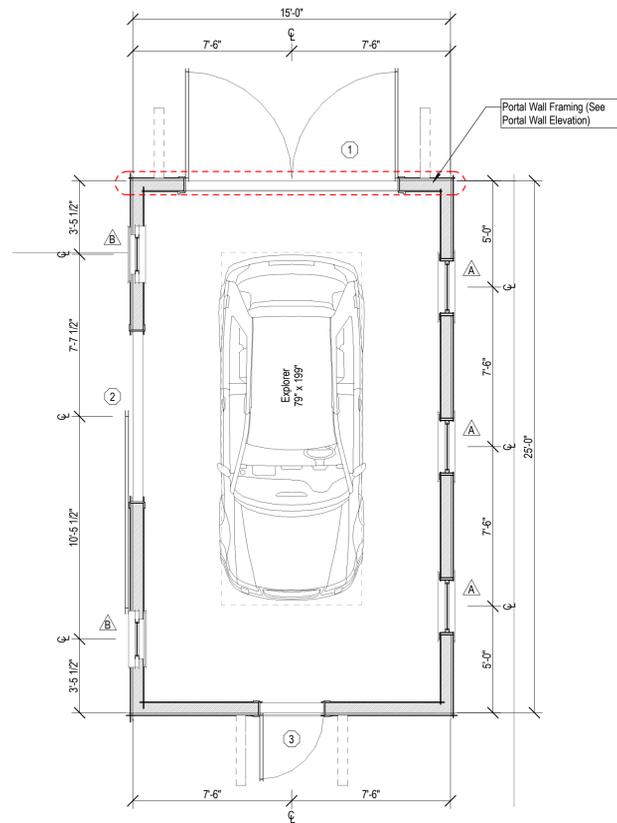
G.1.1
1925

07.28.20

HDC Submission

07.28.20

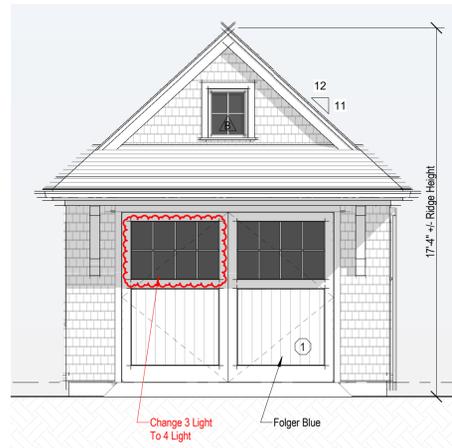
HDC Submission



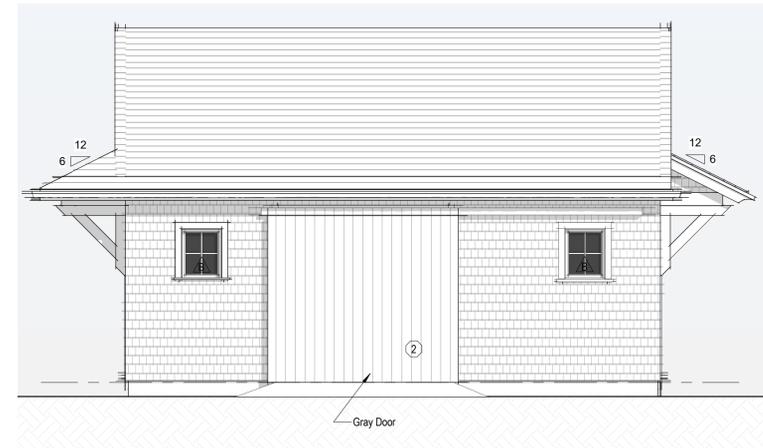
1 Proposed Floor Plan
1/4" = 1'-0"



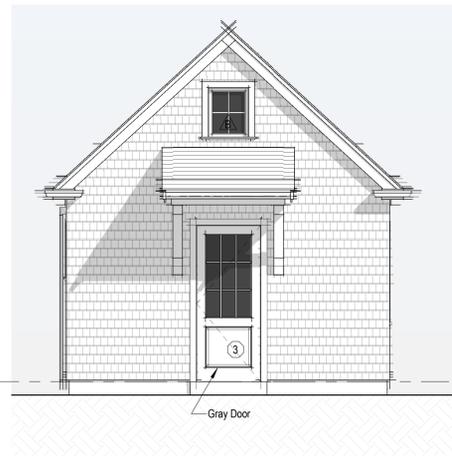
Previously Approved North Elevation
3/16" = 1'-0"



2 Proposed North Elevation
1/4" = 1'-0"



3 Proposed West Elevation
1/4" = 1'-0"



4 Proposed South Elevation
1/4" = 1'-0"



5 Proposed East Elevation
1/4" = 1'-0"

1925

12 Lincoln Ave
Nominee Trust
12 Lincoln Avenue
Nantucket, MA 02554



Floor Plan & Exterior Elevations

Site Information

Map & Parcel:	30 / 183
Current Zoning:	R-1
Minimum Frontage:	50'
Front Setback:	10'
Side/Rear Setback:	5'
Lot Size:	22,553 SF +/-
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% or 6,766 SF +/-
Existing G.C.:	1,480 SF +/-
Proposed G.C.:	1,758 SF
Total Proposed G.C.:	3,922 SF

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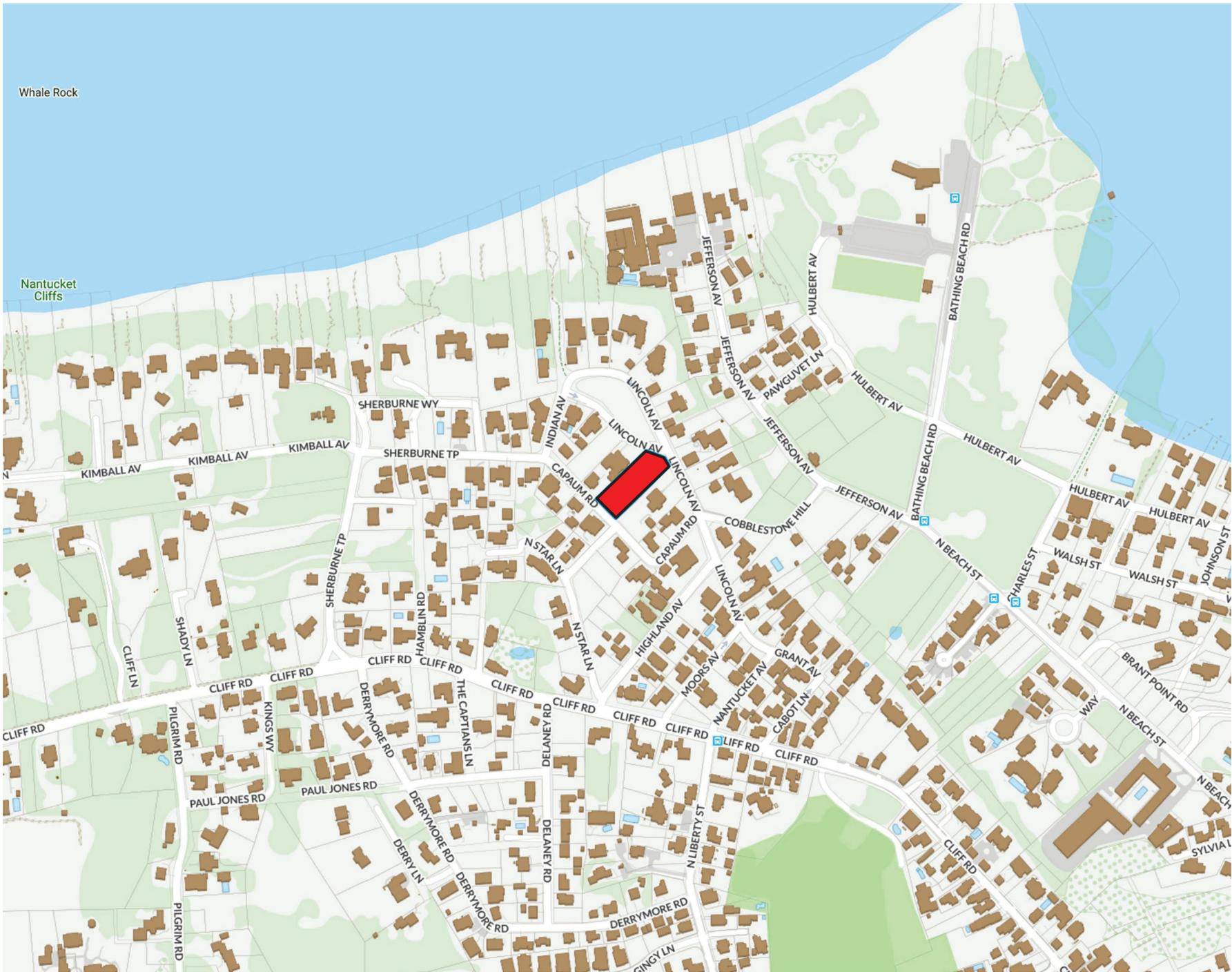
SHEET INDEX

S.1.3	Unnamed
G.1.1	Cover Sheet
A.2.1	Floor Plan & Exterior Elevations
S.1.1	Foundation & Framing Plans

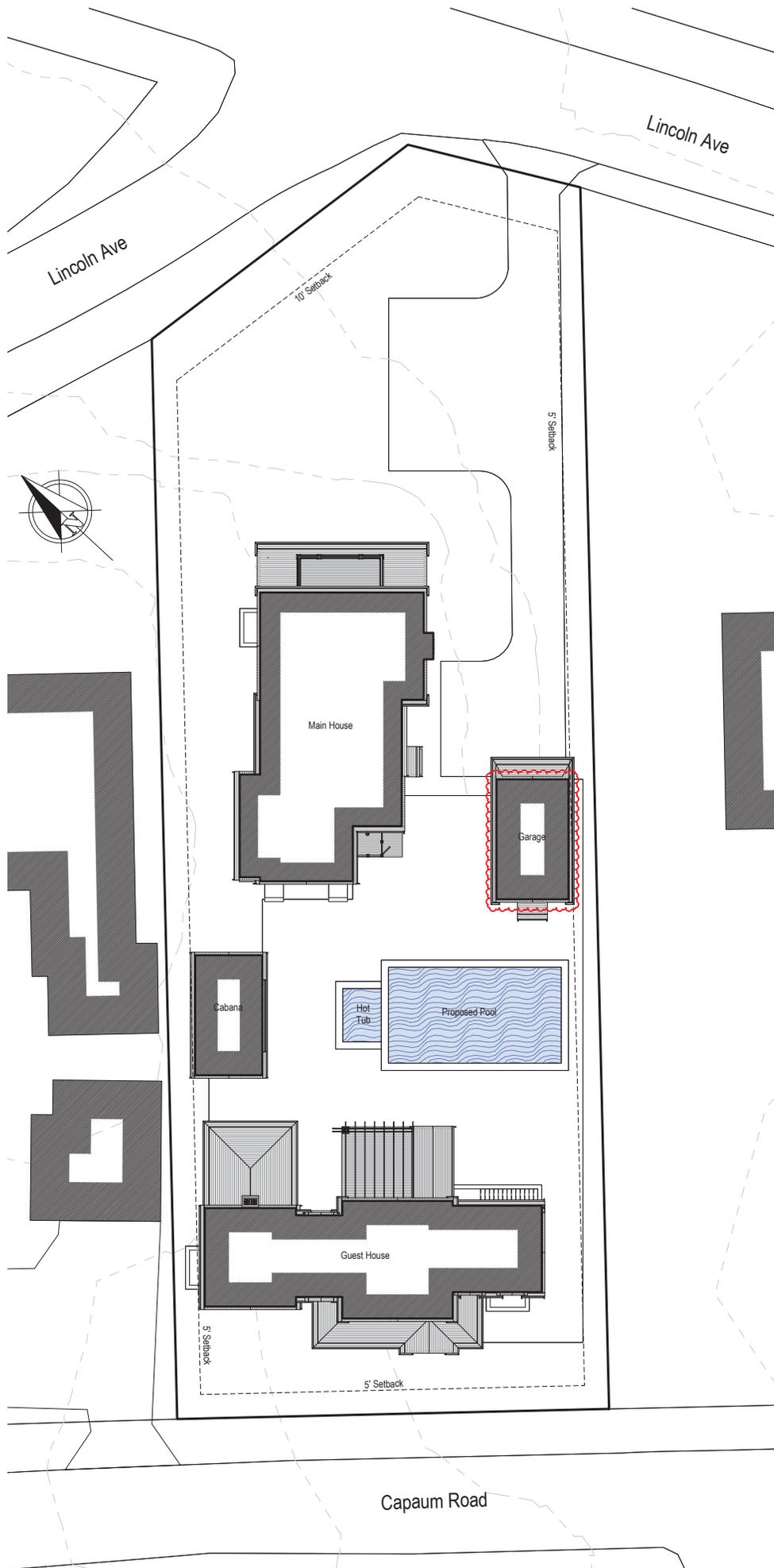
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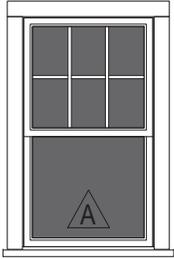
A.2.1
1925



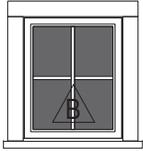
Locus Map



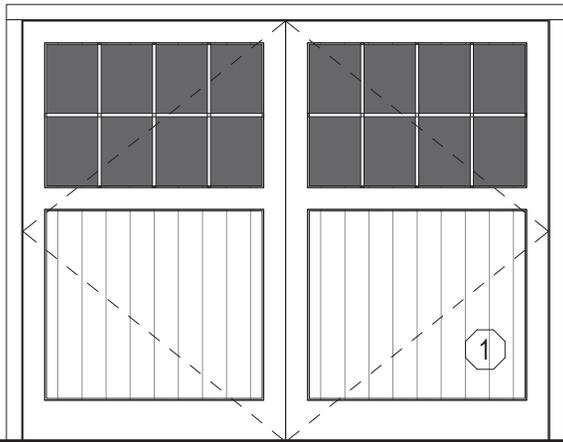
Site Plan
1/16" = 1'-0"



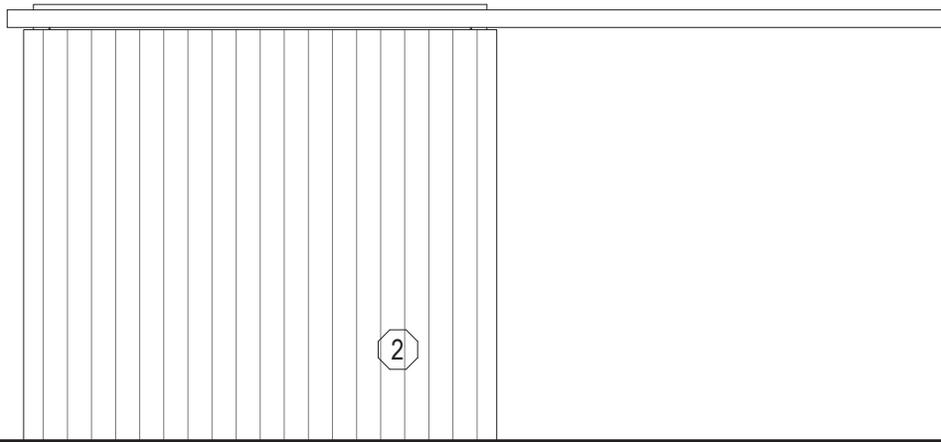
Double Hung
6/1 SDL



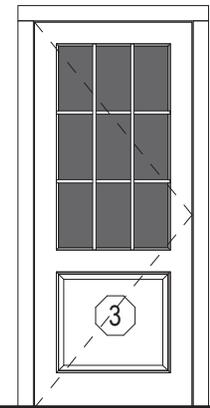
Fixed
4 Lite SDL



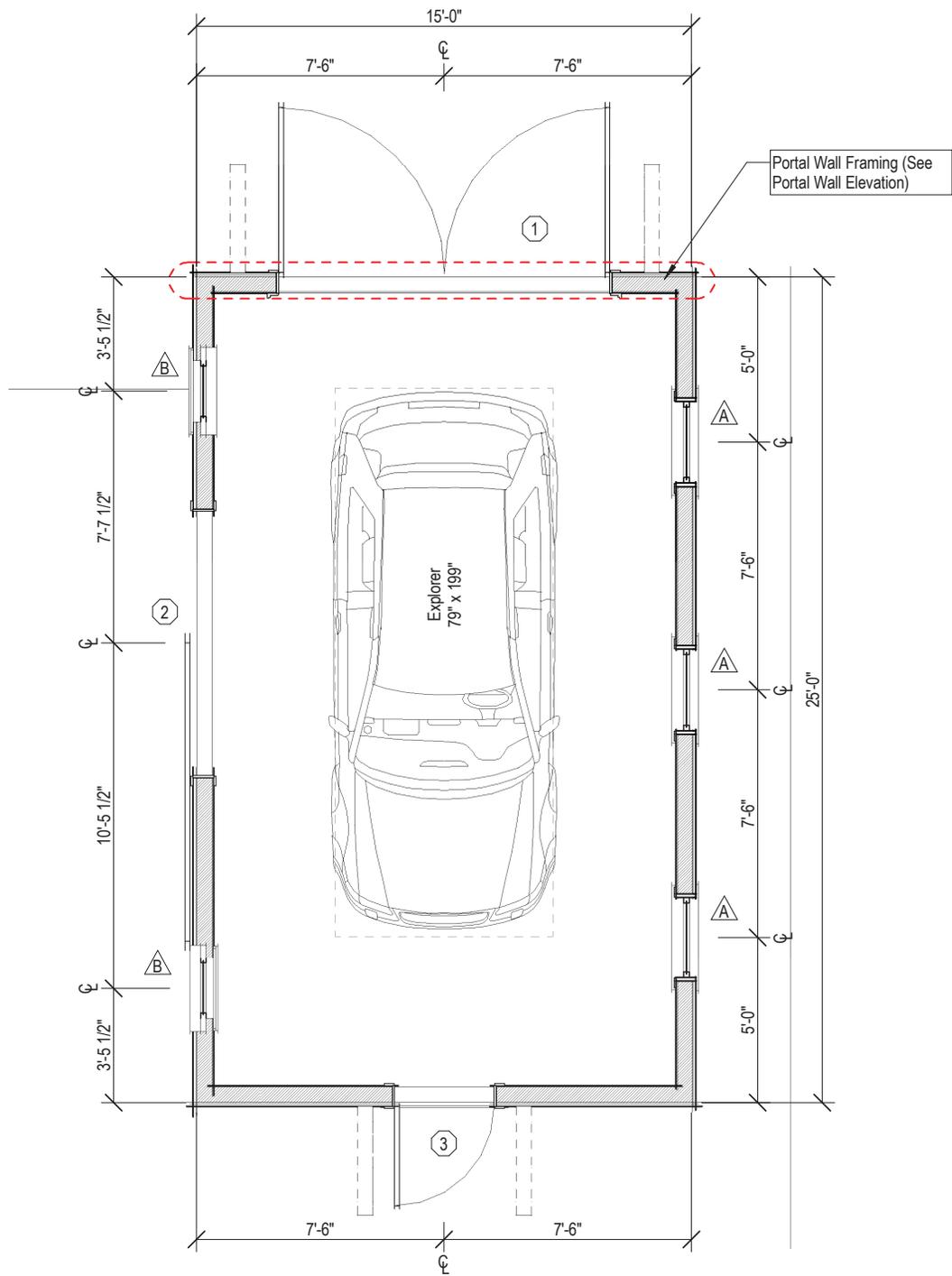
Carriage Door
1 Panel + 8 Lite SDL



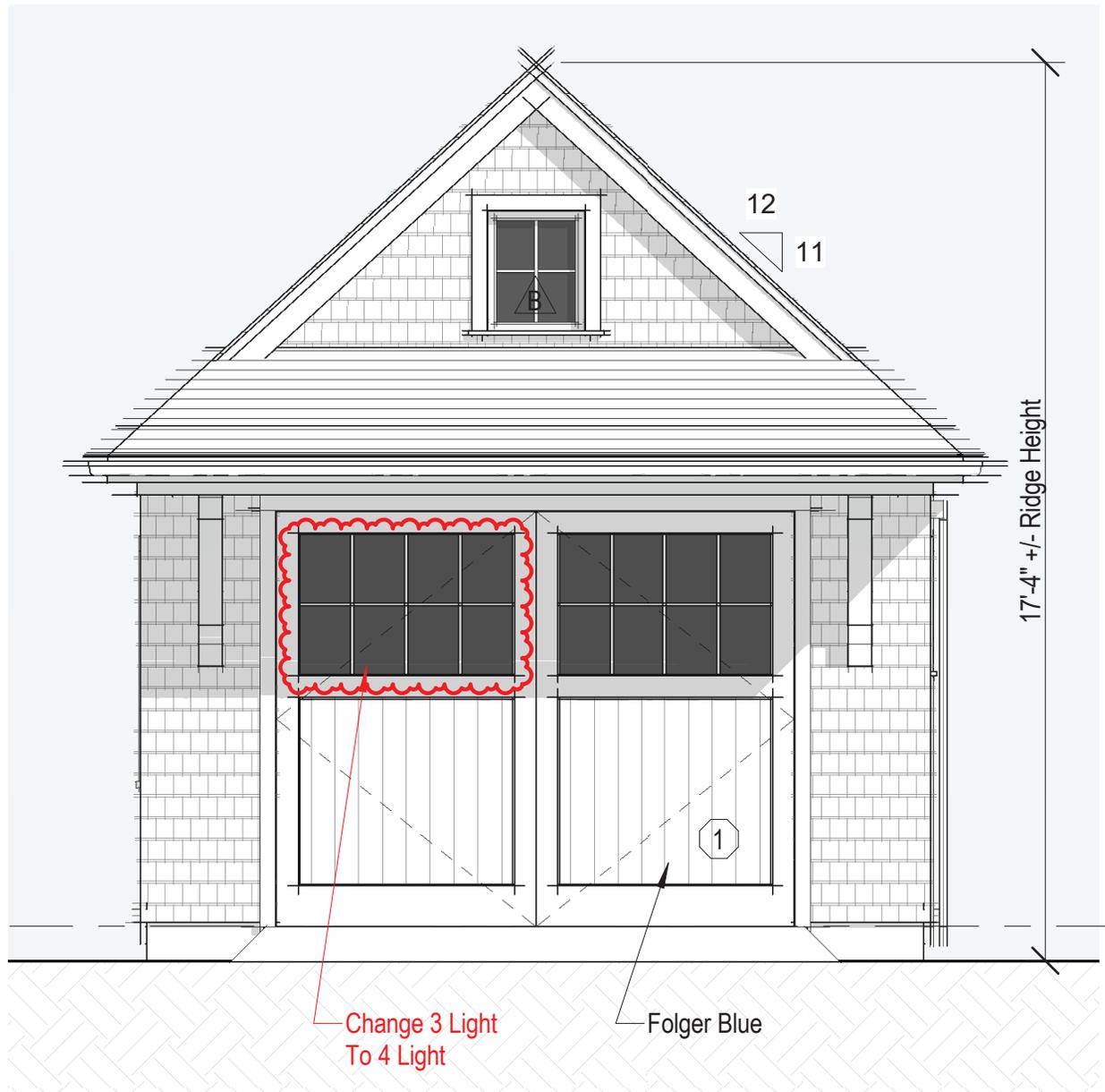
Sliding Door
Vertical Board



Side Hinged
9 Lite 1 Panel SDL

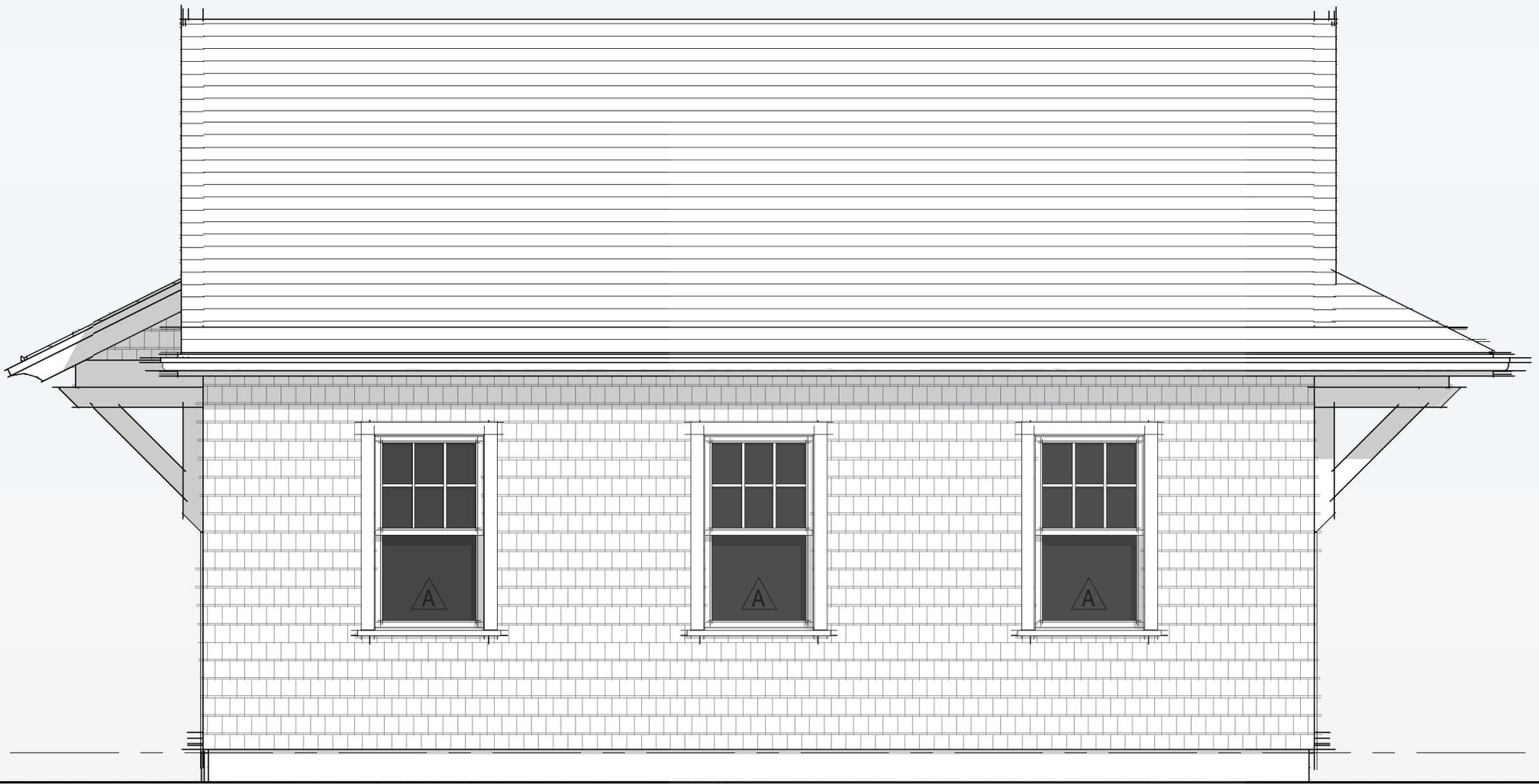


1 Proposed Floor Plan
1/4" = 1'-0"

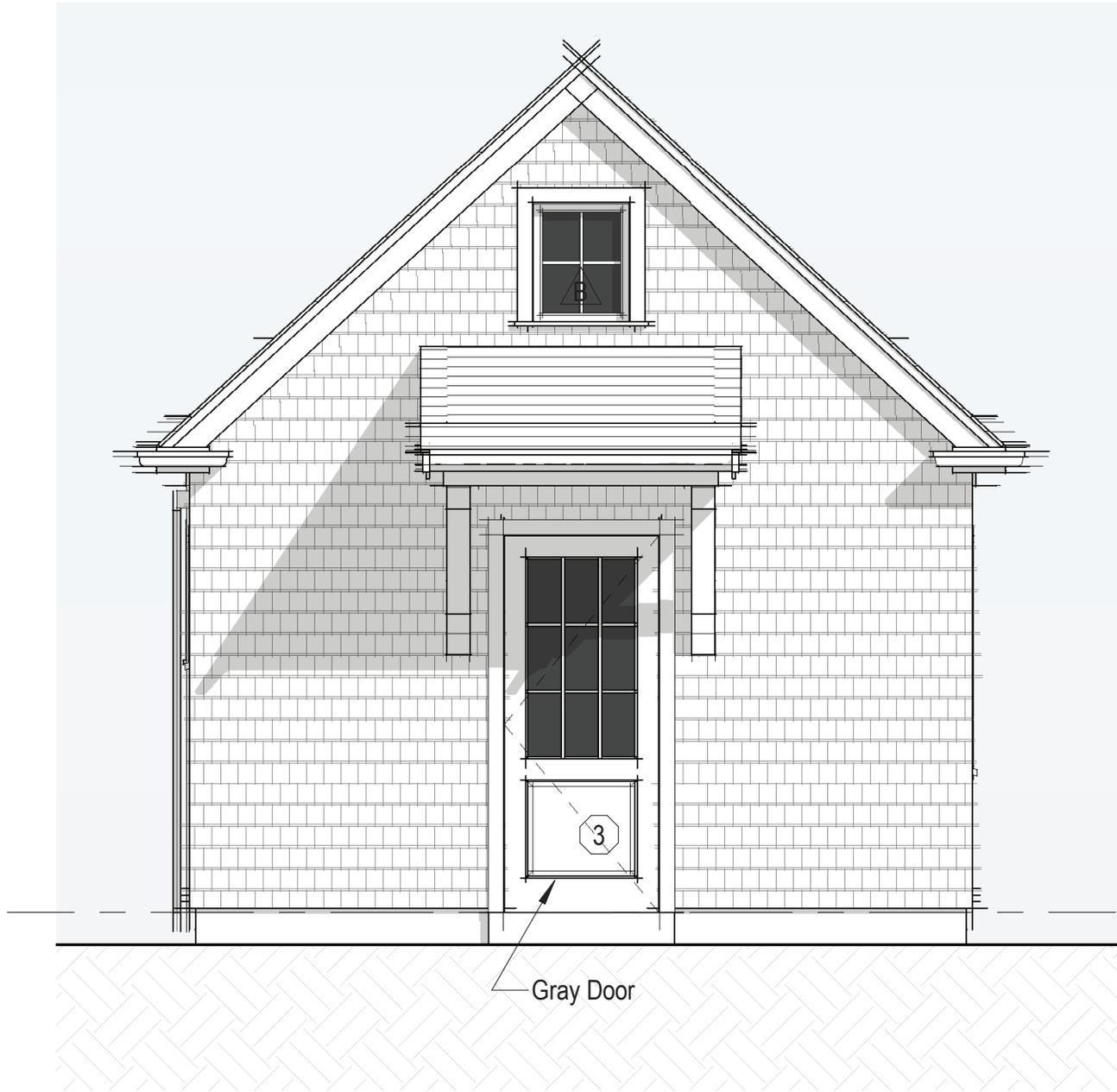


2 Proposed North Elevation

1/4" = 1'-0"



5 Proposed East Elevation
1/4" = 1'-0"



4 Proposed South Elevation

1/4" = 1'-0"



3 Proposed West Elevation

1/4" = 1'-0"



HISTORIC DISTRICT COMMISSION

REGULAR MEETING

2 Fairgrounds Road
Nantucket, Massachusetts 02554
www.nantucket-ma.gov

Commissioners: Raymond Pohl (Chair), Diane Coombs (Vice-chair), John McLaughlin, Abigail Camp, Vallorie Oliver,
Associate Commissioners: Stephen Welch, Terence Watterson, Jessie Dutra

~~ MINUTES ~~

Tuesday, July 21, 2020

*This meeting was held via remote participation using ZOOM and YouTube,
Pursuant to Governor Baker's March 12, 2020 Order Regarding Open Meeting Law*

Called to order at 4:32 p.m. and announcements by Mr. Pohl

Staff in attendance: Cathy Flynn, Land Use Specialist; Holly Backus, Preservation Planner
Attending Members: Pohl, Coombs, Camp, Oliver, Welch, Dutra
Absent Members: McLaughlin, Watterson
Late Arrivals: Camp, 4:36 p.m.; Dutra, 6:07 p.m.; Camp lost connection between 7:06 and 8:02 p.m.
Early Departures: None

Motion to Approve the Agenda. (Coombs)

Roll-call Vote Carried // Oliver, Camp, Welch, Coombs, and Pohl-aye

I. PUBLIC COMMENT

Kevin Kuester, Sign Advisory Committee (SAC) – We reviewed the application for entry to Sand Piper Place. Hardscaping rocks had been approved, which were also free-standing signs; we had received complaints about those. Richmond Development will submit an application for revisions to the HDC approval for the rock signs.

II. CONSENT

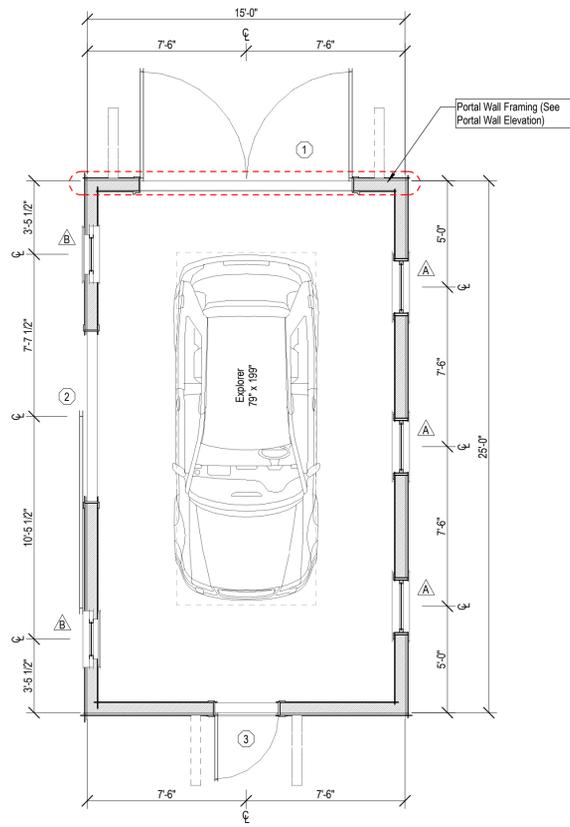
	Property owner name	Street Address	Scope of work	Map/Parcel	Agent
1.	Antone Fernandes 06-1155	35 Tennessee Avenue	Deck	59.4-247	Self
2.	John Galiner 07-1294	34 Washing Pond Road	Rev. 06-1134: wndw/drmr	31.13.3	Sophie Metz
3.	William Hunter 07-1313	3 Sleetwing Circle	Rev. 01-0500: fence chg	74-27	NAG
4.	John Fox 07-1301	72 Pochick Avenue	Deck/patio	79-154	Val Oliver
5.	T&R Realty Trust 07-1283	134 Old South Road	Rev. 03-0818: cell tower	67-38	Dan Bilezikian
6.	4 Shawkemo Rd RT 07-1337	4 Shawkemo Road	Paint chimney grey	43-91	Botticelli & Pohl
7.	Scott Valero 07-1321	9 Exeter Street	Omit shwr enclosure	76.4.1-410.1	Self
8.	Joe Saluti 07-1319	174 Cliff Road	Shed	41-63	Emeritus
9.	Ian MacTaggart 07-1335	1 Brooks Farm Road	Move/demo 448 sf cabana	41-222.8	M. Cutone Architecture
10.	Vilma Vadoklis 07-1340	2 Nanina Drive	Shed	67-592	JB Studio
11.	Vilma Vadoklis 07-1347	2 Nanina Drive	Extend deck	67-592	JB Studio
12.	Vilma Vadoklis 07-1331	2 Nanina Drive	Driveway	67-592	JB Studio
13.	Derrymore Invest. 07-1322	12 Derrymore Road	Rev. 72936: drmr/wind	41-241	Workshop/APD
14.	Paul Stewart Trust 07-1343	61 Madaket Road	Roof change	41-201	James Lydon
15.	12 Lincoln Ave NT 07-1327	12 Lincoln Avenue	Garage door clr chg	30-183	Emeritus
16.	Melanie Brundle 07-1338	21 Kendrick Street	Rev. 75272: wind change	76.4.1-1	Sanne Payne
17.	18 Orange, LLC 07-1342	18 Orange Street	Demo blkhd, add wndw well	42.3.2/15	Emeritus
18.	Stephen Frohwein 07-1284	32 North Liberty Street	Demo/move shed	41-159	Emeritus

Voting Coombs (acting chair), Camp, Welch
Alternates None
Recused Pohl, Oliver
Documentation None
Representing None
Public None
Concerns No concerns.
Motion **Motion to Approve. (Camp)**
Roll-call Vote Carried 3-0//Camp, Welch, and Coombs-aye

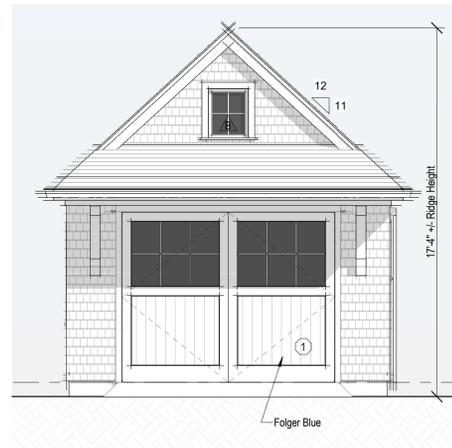
Certificate # **HDC2020-(as noted)**

07.13.20

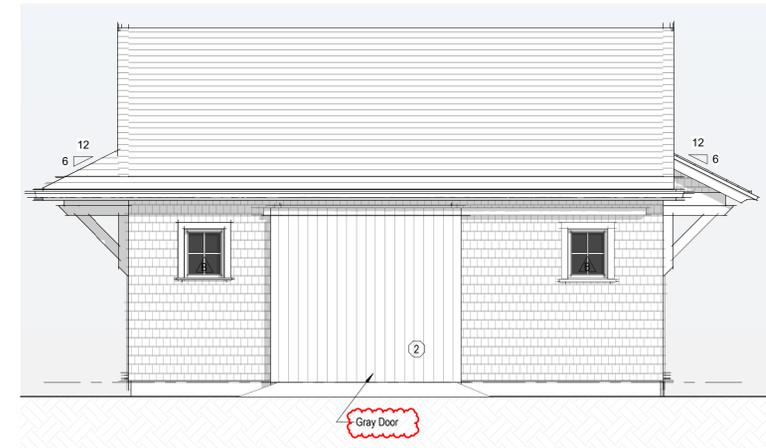
HDC Submission



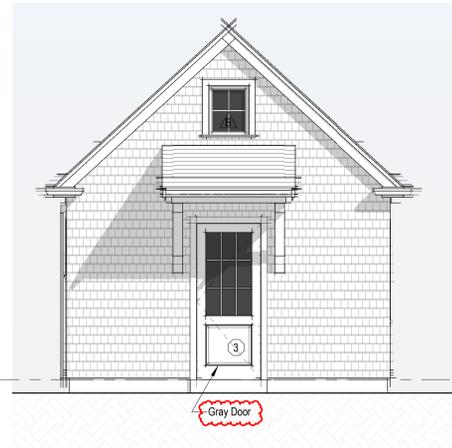
1 Proposed Floor Plan
1/4" = 1'-0"



2 Proposed North Elevation
1/4" = 1'-0"



3 Proposed West Elevation
1/4" = 1'-0"



4 Proposed South Elevation
1/4" = 1'-0"



5 Proposed East Elevation
1/4" = 1'-0"

1925
12 Lincoln Ave
Nominee Trust
12 Lincoln Avenue
Nantucket, MA 02554



Floor Plan & Exterior Elevations

Site Information

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Revisions

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A.2.1
1925

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.
NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application.
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This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 42.3.2 PARCEL N^o: 218
Street & Number of Proposed Work: 25 UNION ST
Owner of record: STEPHEN DIDRIKSEN REAL
Mailing Address: 25 UNION ST
NANTUCKET
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: THORPEWILL DESIGN, LLC
Mailing Address: 48 DULLES RD
NANTUCKET, MA 02854
Contact Phone #: 228-9161 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other: NEW HANDICAP RAMP AND STEPS, ENTRY DECK
- Size of Structure or Addition: Length: 49 Sq. Footage 1st floor: _____ Decks/Patio: Size: 8x10 1st floor 2nd floor
Width: 4 Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS: 1. East Elevation ADD L SHAPED RAMP AT
Original Date: _____ (describe) 2. South Elevation BACK OF PORCH AREA TO
Original Builder: _____ 3. West Elevation NEW FLUSH ENTRY DECK @ NORTH
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation ADD STEPS ABOVE EXISTING
1x4 PT AND 1x1 PT DECKING
POSTS BALUSTERS
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 1/12 Secondary Mass 1/12 Dormer 1/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewalk: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other P.T.
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

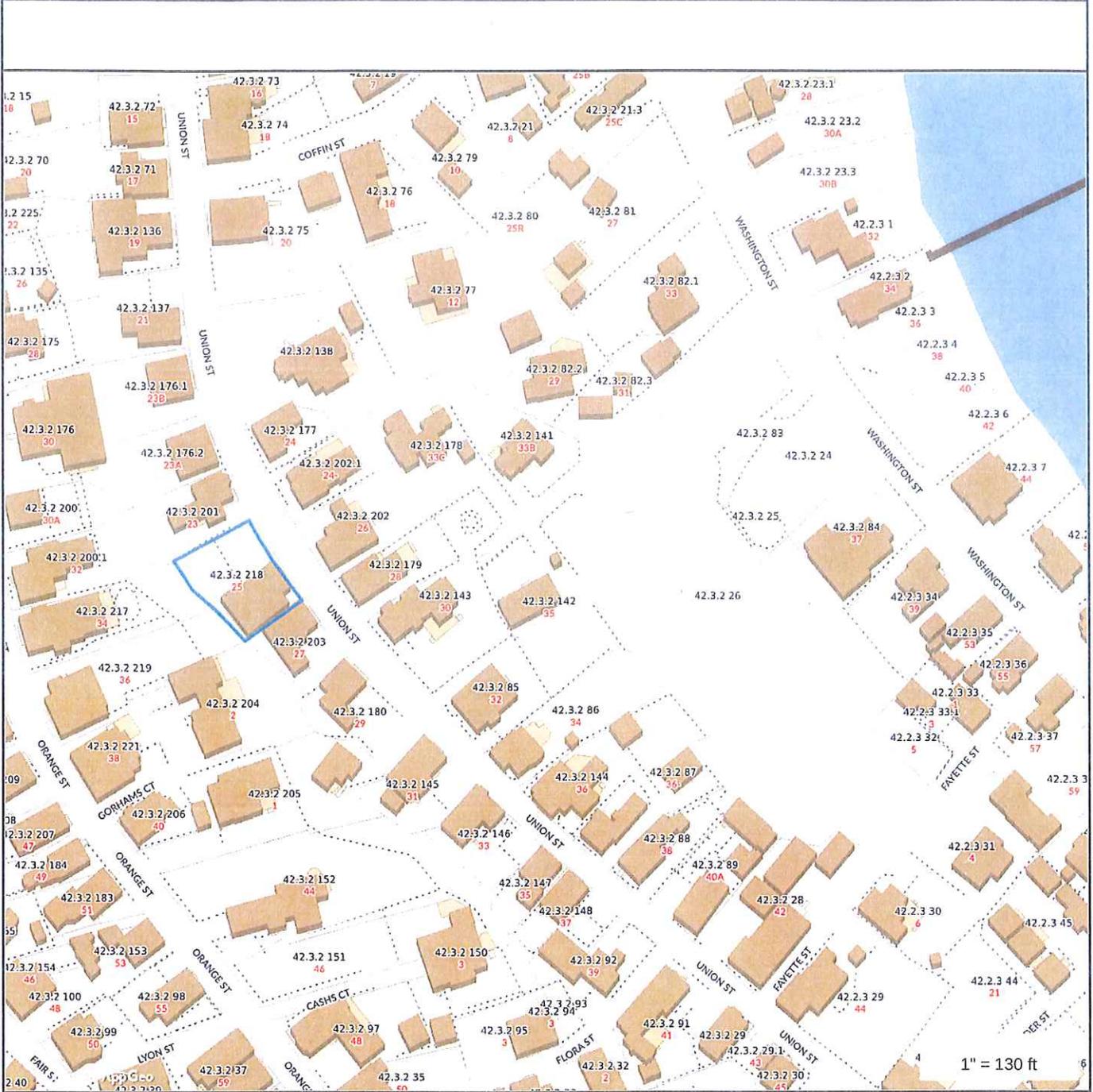
Fence: Height: _____
Type: _____
Length: _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim PT NTW Sash _____ Doors _____
Deck P.T NTW Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.



1" = 130 ft

Property Information

Property ID 42.3.2.218
 Location 25 UNION ST
 Owner DIDRIKSEN STEPHEN P ETAL



MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT

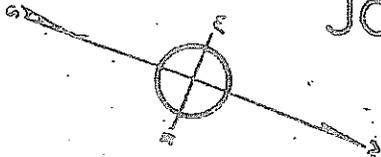
Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
 Data updated 11/19/2018

LAND IN NANTUCKET - SURVEYED FOR:
JOSEPHINE W. CASSIDY

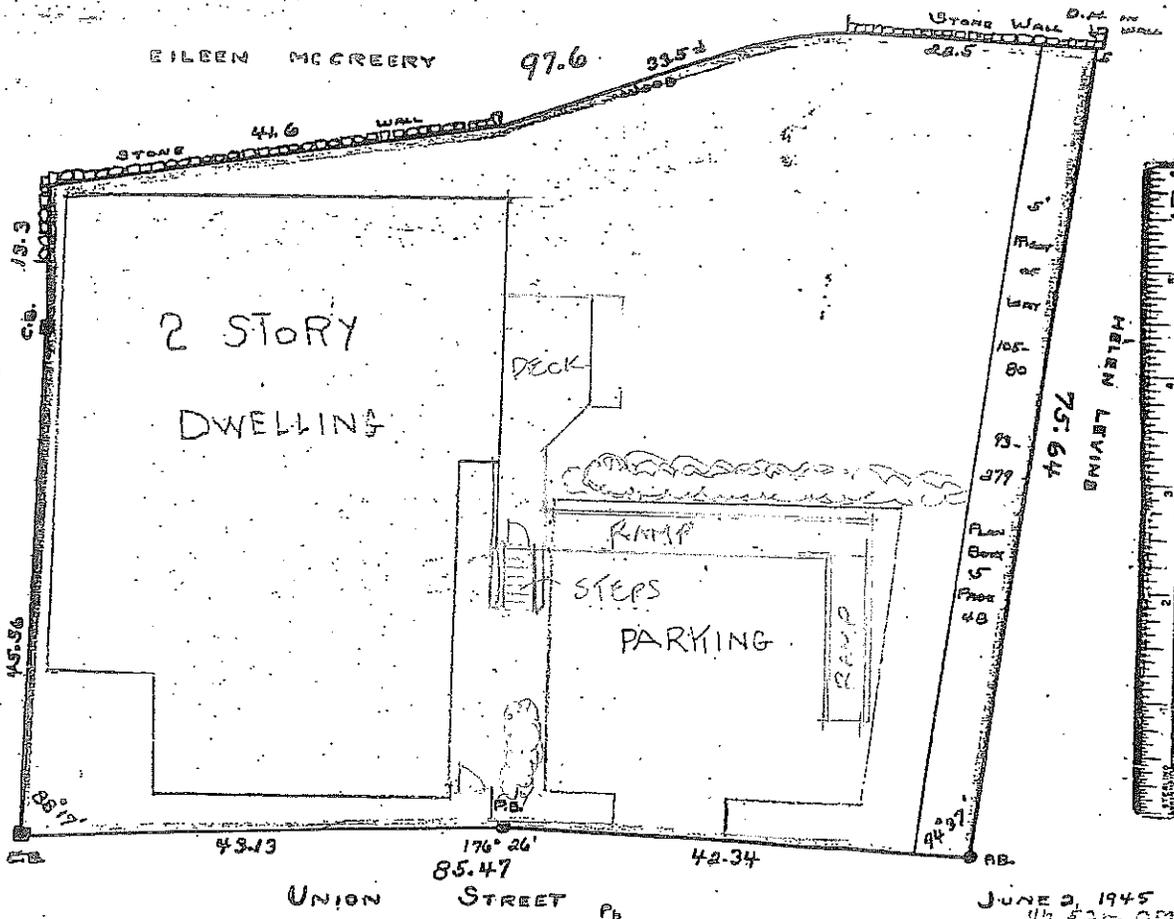
MAY 1945 SCALE 10"=1' JOSIAH & BARRETT, SURV.

MARY A. BALL

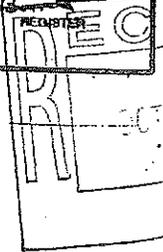


ISABEL M. DOOLER 58.86
 KARL G. SHARPE, TRUSTEE 15.3

EILEEN MCCREERY 97.6



JUNE 9, 1945
 RECEIVED AND ENTERED WITH
 NANTUCKET COUNTY DEEDS BOOK OF
 PLANS NO. 12 PAGE 28
 ATTEST *Josiah & Barrett* REGISTER





25 UNION ST





LARGE SHRUBS
TO BE REMOVED





GATE AT SIDEWALK - NEW STEPS
TO BE BUILT ABOVE EXISTING



LOCATION OF ENTRY DECK

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 42.4.2 PARCEL N^o: 29
Street & Number of Proposed Work: 20 S. Water Street
Owner of record: Town of Nantucket
Mailing Address: 16 Broad Street
Nantucket MA 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Lauren Sinatra
Mailing Address: 2 Fairgrounds Rd.
Nantucket MA 02554
Contact Phone #: 508-325-5379 E-mail: LSinatra@
nantucket-ma.gov

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other: Minisplit HVAC System (Condenser + Screening)
Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____

Original Date: _____

Original Builder: _____

Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____

Trim _____ Sash _____ Doors _____

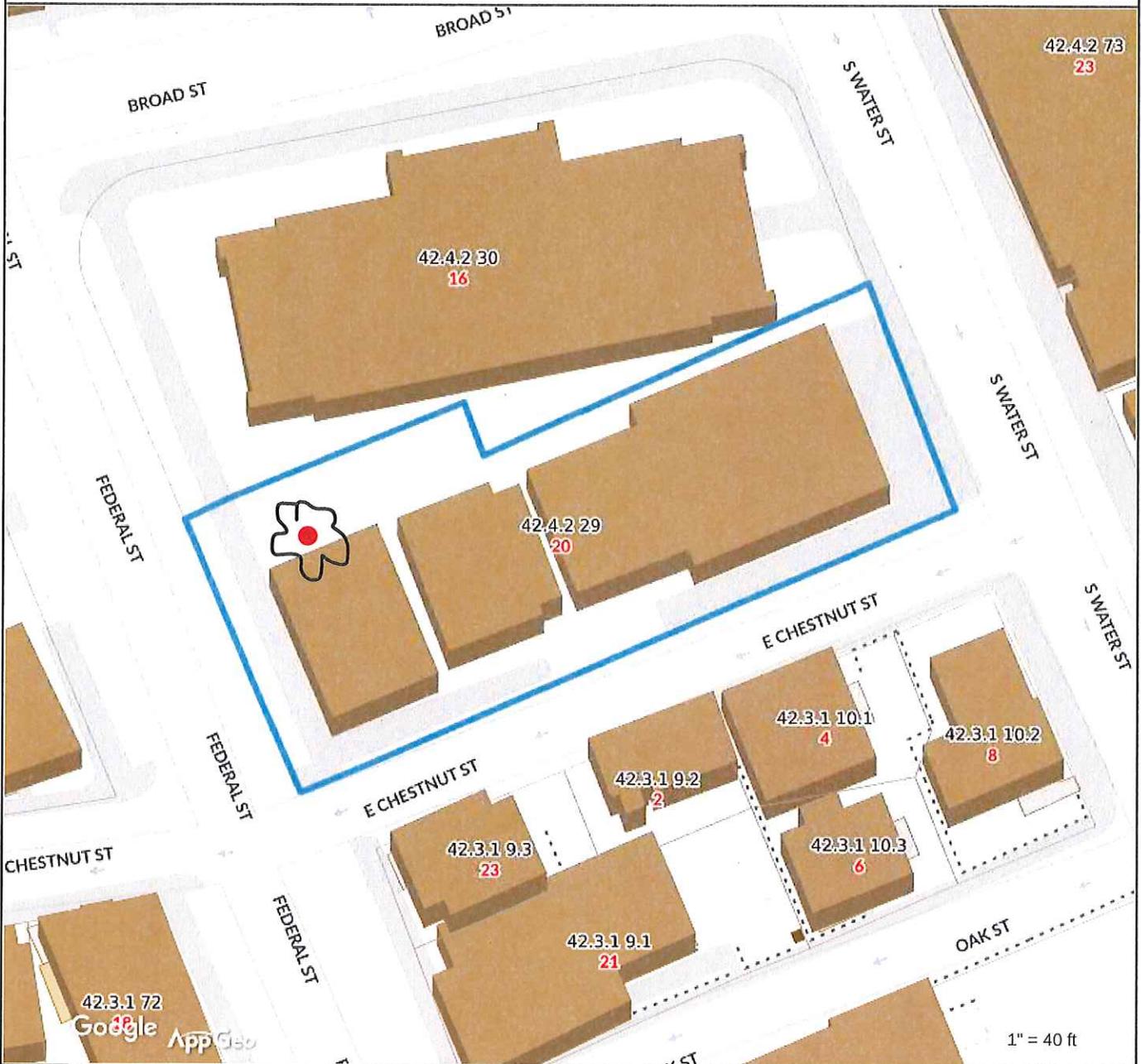
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date _____ Signature of owner of record _____ Signed under penalties of perjury _____

Visitor Services Building: New Minisplit System



Property Information

Property ID 42.4.2 29
 Location 20 S WATER ST
 Owner NANTUCKET TOWN OF



**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
 Data updated 11/19/2018

**Cedar enclosure
to hide linesets**

**Cedar enclosure
to hide
Condenser**





XAMPLE PHOTO:

imilar Condenser to be mounted on Wooden Platform Base and enclosed in **SQUARE** Lattice (not Diamond as depicted).



Inverter Driven Heat Pump

36,000 BTU Multi Zone System

Job Name _____
 Location _____
 Engineer _____
 Submitted To _____
 Submitted By _____
 Reference _____

Date _____
 Approval _____
 Construction _____
 Unit No _____
 Drawing No _____

PRODUCT FEATURES

- Operate as few as one indoor unit or all indoor units
- Mix & match from 4 indoor unit styles
- Blue-fin condenser coil coating
- Base pan heater



Heating down to -15°F outdoor temperatures

MODEL NUMBERS

System	36RLXFZH		
Outdoor Unit	AOU36RLXFZH		
Indoor Unit	Non-Ducted	Ducted	Mix

EFFICIENCIES

SEER		20	18	19
EER		13	12	12.5
HSPF		10.3	9.3	9.8
COP	kW/kW	4	3.88	3.94
	Btu/hW	13.6	13.2	13.4

OUTDOOR TEMPERATURE OPERATION RANGE

Cooling	*F(*C)	14 to 115 (-10 to 46)
Heating		-15 to 75 (-26 to 24)

CAPACITIES

Total Capacity Range		27,000 to 39,000 Btu/h	
Cooling	Rated	35200	
	Min.-Max.	12,000-39,000	
Heating	Rated	36400	
	Min.-Max.	12,000-42,000	

LINESET REQUIREMENTS

Connection Method	Flare		
Liquid	in (mm)	Ø1/4 (Ø6.35) × 4	
Gas		Ø3/8 (Ø9.52) × 3 + Ø1/2 (Ø12.70) × 1	
Pre-Charge Length	ft (m)	164 (50)	
Maximum Length		230 (70)	
Maximum Length Each		82 (25)	
Minimum Length		49 (15)	
Minimum Length Each		16 (5)	
Max. Height Diff.		49 (15)	

OUTDOOR DIMENSIONS & WEIGHT

Net (H x W x D)	in	39-5/16 × 38-3/16 × 14-9/16
	mm	998 × 970 × 370
Gross (H x W x D)	in	45-3/4 × 45-1/4 × 18-13/16
	mm	1,162 × 1,150 × 478
Net Weight	lb (kg)	205 (93)
Gross Weight		229 (104)

SOUND PRESSURE

Outdoor Unit	Cooling	dB (A)	53
	Heating		55

Warranty Information



7 Year Compressor, 5 Year Parts out-of-the-box Warranty



10 Year Compressor, 10 Year Parts Warranty when registered within 30 days of installation in a residence



12 Year Compressor, 12 Year Parts Warranty when registered within 30 days of installation in a residence, and installed by a Fujitsu Elite contractor

FAN DATA

Outdoor Unit	Cooling	CFM (m3/h)	2,472 (4,200)
Airflow Rate	Heating		2,472 (4,200)

CONNECTABLE INDOOR UNIT

TYPE	Slim Duct (ARU)
	Wall Mount (ASU)
	Compact Cassette (AAU)
NUMBER	Floor Mount (AGU)
	2 to 4



Outdoor Unit ETL#: 91987

Effective Date: 10/22/2019

Version 36RLXFZH -2019A

Due to continuous product improvements, specifications are subject to change without notice. Please log in to the Fujitsu Portal for the most up-to-date documentation <https://portal.fujitsugeneral.com>

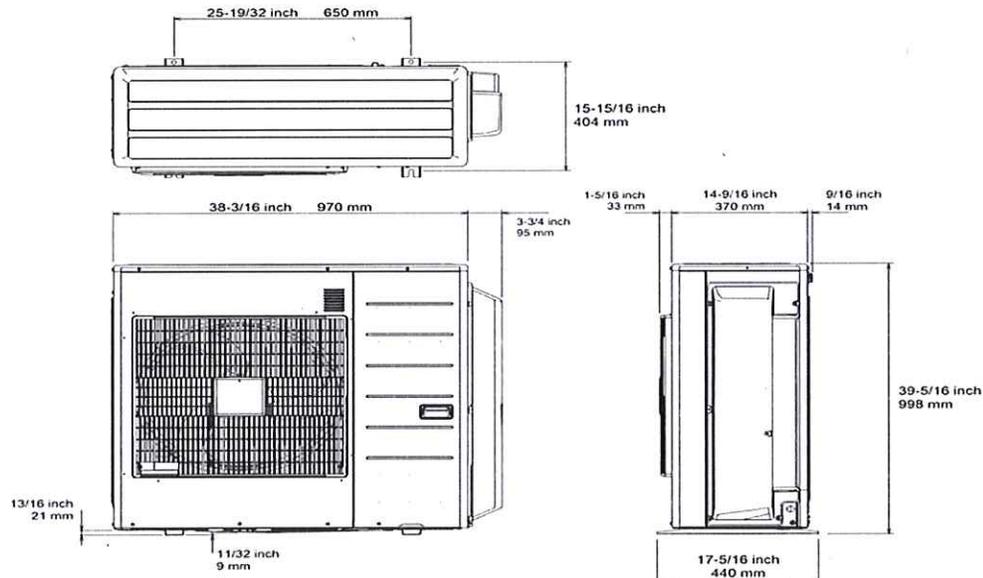
Inverter Driven Heat Pump

36,000 BTU Multi Zone System

REFRIGERANT				
Type				R410A
Charge	lb oz			8 lb 13 oz
	g			4000
Oil Type				RB68
ELECTRICAL SPECIFICATIONS		Non-Ducted	Ducted	Mix
Voltage/Frequency/Phase		1Ø 208/230 V 60 Hz		
Voltage Range		187-264V		
Rated Current (A)	Cooling	11.9	12.9	12.4
	Heating	11.8	12.1	11.8
Maximum Operating Current		A		26
Starting Current				12.9
MCA				31.5
Maximum Circuit Breaker				40
Rated Input Power (kW)	Cooling	2.7	2.93	2.81
	Heating	2.67	2.74	2.7
Max. Input Power (kW)	Cooling	3.47	3.53	3.5
	Heating	3.29	3.35	3.32

DIMENSIONS

Units: In. (mm)



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Note: Specifications are based on the following conditions:
 Cooling: Indoor temperature of 80°F (26.7°C) DB/67°F (19.4°C) WB, and outdoor temperature of 95°F (35°C) DB/75°F (23.9°C) WB. Heating: Indoor temperature of 70°F (21.1°C) DB/60°F (15.6°C) WB, and outdoor temperature of 47°F (8.3°C) DB/43°F (6.1°C) WB. Pipe length: 25ft. (7.5m), Height difference: 0ft. (0m) (Outdoor unit - Indoor unit).

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 4299 PARCEL N°: 30
 Street & Number of Proposed Work: 30 CLIFF RD
 Owner of record: JOHN A CONNELLEY 1994 REV TRUST
 Mailing Address: PO BOX 675
REDONK, CT. 06890
 Contact Phone #: (332) 241-2100 E-mail: johnpconel@gmail.com

AGENT INFORMATION (if applicable)

Name: VAL OWEN DESIGN INC.
 Mailing Address: PO BOX 3057
NANTUCKET, MA 02584
 Contact Phone #: (603) 325-4919 E-mail: owenval@me.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 25' Sq. Footage 1st floor: 1409 1/2 Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 23' Sq. Footage 2nd floor: 825 1/2 Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North N/C South N/C East N/C West N/C

Height of ridge above final finish grade: North 2 1/4' South 2 1/4' East 2 1/4' West 2 1/4'

Additional Remarks: (SEE DOCUMENTS ATTACHED)

Historic Name: INFORMATION VARIES REVISIONS* 1. East Elevation (HOUSE PRESENTLY - ON PART OF OTHER)
 Original Date: _____ (describe) 2. South Elevation (1) LIFT HOUSE: ADD FOUNDATION -
 Original Builder: _____ 3. West Elevation CRAWL FRONT AND BASEMENT RE-FOUNDATION
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation (2) FELLUP STAIRS - RE-DO
(3) APPROX. LIFT (28 1/2')

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8 1/2' Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass _____ /12 Secondary Mass _____ /12 Dormer _____ /12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

NO CHANGE

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 7/20/20 Signature of owner of record _____ Signed under penalties of perjury _____



3044FF RD.
 NEWFARMATION

THIS CHECKLIST IS TO BE SUBMITTED WITH ALL HDC APPLICATIONS

Rev Jan 2020

REQUIRED WITH ALL APPLICATIONS:

- 1. **Completed Application Form:** Description of ALL work must be indicated on application form.
- 2. **Property Owner's Signature:** Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
- 3. **Application Fee:** See back of application for fee schedule or call the office.
- 4. **Locus Map (4 copies):** Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) <https://www.nantucket-ma.gov/151/GIS-Maps>
- 5. **Site Plan (4 Copies):** must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and *placement of HVAC units, electrical boxes, fuel tanks, etc.*
- 6. **8-1/2" x 11" Copies of ALL Application Materials:** Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12), collated and stapled.
- 7. **Photographs:** Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
- 8. **Electronic submission:** All documents submitted to the HDC office must be emailed to hdcsubmissions@nantucket-ma.gov.

REQUIRED WHERE APPLICABLE:

- 1. **Supplemental Information for Historic Buildings:** It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application.
- 2. **Exterior Elevations and Floor Plans (4 copies):** Must be Y.-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. *All changes from approved or existing design must be clouded on drawing.* All material MUST BE LEGIBLE, collated and stapled. Reduced sets should maintain a font size of 12.
- 3. **As-Built Plans (1copy):** of existing elevations
- 4. **Hardscaping Plans (4 copies):** To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE, collated and stapled.
- 5. **Topographic Map:** Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).
- 6. **Door and Window Schedule (4 copies):** Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
- 7. **I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.**
- 8. **Abutter Notification Materials** – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet.
- 9. **Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc.**

(initial to indicate read and understand)

ASPER HOLD



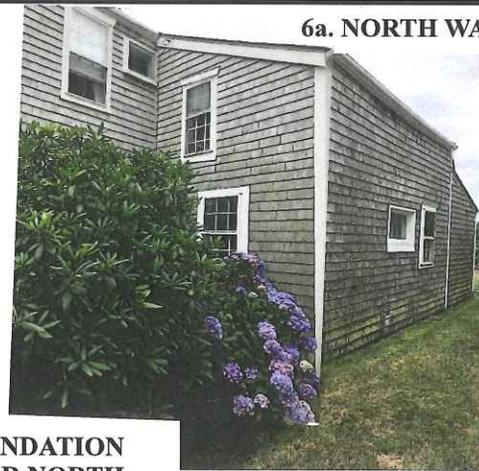
5. NW CORNER



6. NORTH WALL



6b. NORTH WALL



6a. NORTH WALL



1. FRONT-FACING CLIFF (EAST)



1.



2. (SE) CORNER FOUNDATION

FRONT YARD SETBACK: none SEE PLAN
REAR/SIDE SETBACK: 5 FT. SEE PLAN
GROUND COVER % : 40% 13.4% ±

41-29
N/F
TOWN OF NANTUCKET
#48 CLIFF ROAD

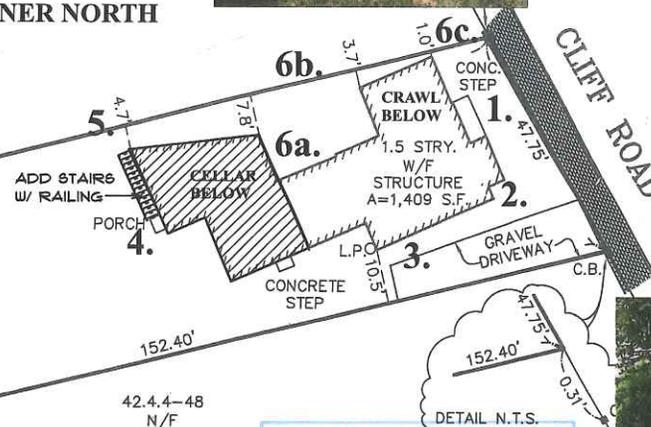


4. REAR (WEST)



6c. FOUNDATION CORNER NORTH

TRUST
9 L.C.C.
(LOT 3)
ROAD



42.4.4-48
N/F
DEBORAH A. WASIL
NO RECORD PLAN #28
CLIFF ROAD

DETAIL N.T.S.

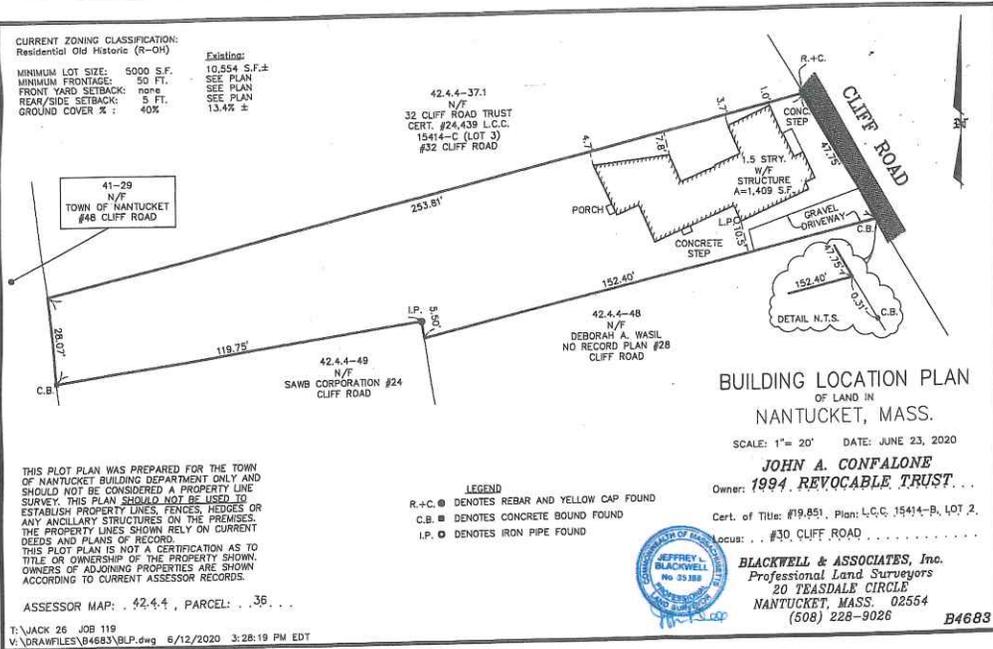
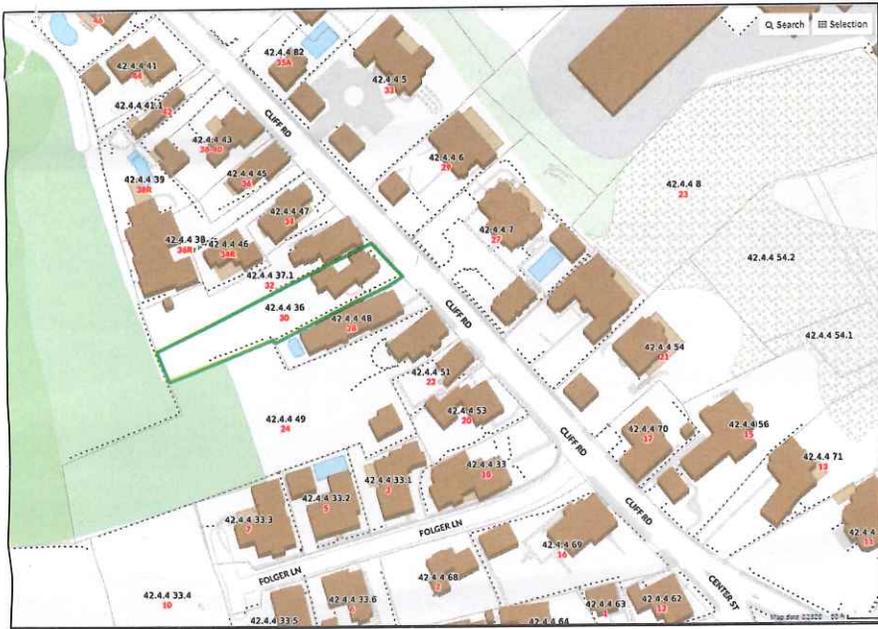
3. LEFT (SOUTH)



RECEIVED
JUL 20 2020
By

JOHN A. CONFALONE
1994 REV TRUST
30 CLIFF RD-LIFT HOUSE @ 8=+/-"
ADD NEW FOUNDATION

7/24/20



RECEIVED
JUL 20 2020
By _____

JOHN A. CONFALONE 1994 REV TRUST
30 CLIFF RD
LIFT HOUSE @ 8=+/-"
ADD NEW FOUNDATION

7/24/20

30 CLIFF ROAD

A Brief History

By: Jane Crowley Quirk
July 2020

30 Cliff Road, Nantucket, is currently owned by the John A. Confalone 1994 Revocable Trust and has been in the Confalone/Crowley/Quirk family for 60 years. The house was purchased by John Confalone (uncle to Jane Crowley Quirk) in 1960 from Elizabeth Jellis. At the time, Mrs. Jellis owned both 30 and 32 Cliff Road; she resided at 32 Cliff Road while 30 Cliff Road was unoccupied. Mrs. Jellis, along with her husband, Arthur Jellis, (who passed away in 1947) were the former owners of Sea Cliff Inn, located at 31 Cliff Road. Mr. Confalone had met Mr. and Mrs. Jellis in the 1940's when he worked at Sea Cliff Inn as an accountant, and kept in touch with them over the years. When he learned that Mrs. Jellis was interested in selling 30 Cliff Road in the late 1950's, he decided to buy it as a summer house for his family.

Mrs. Jellis became a close friend of the Confalone/Crowley family over the years, and provided some history of the house. 30 Cliff Road was once a part of Sea Cliff Inn (when the Jellises owned the Inn) and was used as a guest house by the Inn. Apparently, Mr. Jellis (who was British) named the house "Baldock" after a town in England just north of London, and the name has been retained as a tribute to the Jellises. While the age of the house is not known, a few anecdotes suggest that it was built sometime in the late 1800's.

After the house was purchased by Mr. Confalone, new cedar shake siding was installed. When the old siding was being removed, the carpenters found several pieces of old newsprint in the walls which may have been used for insulation, with 1887 dates on them. While it is not known if this newsprint was placed when the house was originally built or sometime later when it was re-sided, it is probably safe to assume that the house was built before 1890.

Also, it was learned from a woman named Miss Pope, a contemporary and friend of Mrs. Jellis who also lived on Cliff Road, that she recalled that part of the building at 30 Cliff Road had been located in the downtown area of Nantucket and was moved up to Cliff Road. Miss Pope remembered the move happening "when she was a girl", so it likely occurred around the turn of the century.

The Architecture of Historic Nantucket

by Clay Lancaster



Chestnut Street

The street extending the single block from Centre to Federal, and lying between Broad and India, was laid out in 1719 in the Wescoe Acre Lots district and called Chestnut Street.¹ By this title it was listed in the Isaac Coffin Survey of 1799. All early buildings on Chestnut were destroyed in the Great Fire of 1846.

Note

¹ Henry Barnard Worth, *Nantucket Lands and Land Owners*, Nantucket Historical Association, Vol. II, Bulletin No. 5, 1906 (reissued 1926), p. 248.

Historic Buildings

- 1 Built after 1846 Fire. 2½-story shingle, end chimneys (that on west side new), gable toward street, 3-bayed façade, 6/6-paned windows, distyle Greek Doric portico. Much renovated.
- 2 Built after 1846 Fire, Greek Revival style. 2½-story shingle on brick basement, end chimneys, 5-bayed façade, recessed center doorway, 6/6-paned windows. Box dormer new.
- 3 Built after 1846 Fire, Greek Revival. 1¾-story shingle on brick basement, ridge chimney, front gable, 4 windows 1st story, 3 above, 6/6-paned, entrance east side.
- 5 Built after 1846 Fire, Greek Revival style. 2½-story clapboard on brick basement, chimneys on roof slope, pilasters at corners supporting encircling entablature, fan in pediment on west side, 5-bayed façade, 6/6-paned windows. House plan is parallelogram because of lot shape. Shop front west end. Dormers modern.

Cliff Road

Isaac Coffin described this road in 1799 as beginning at Chester Street, passing by a number of houses no longer in existence, "and so to Western Shearpen."¹ The western shearing pen was at Maxcy's Pond, midway between Capaum and the upper end of Hummock Pond. The road was called North Street up through the first third of the twentieth century, after which its geographic location suggested its present designation of Cliff Road. At its beginning are a number of dwellings built in the 1700s, including three mid-century lean-tos (12 and 20 Cliff Road and 86 North Centre) and seven later ridge-chimney types (2, 3, 5, 6, 9, 16, and 17), the upper three being typical Nantucket houses. Number 5, before additions, was an engaging little cottage (*Fig. 123*). Residences beyond belong to the early- to mid-nineteenth century, the majority being Greek Revival in style. At the west corner of North Liberty Street stands the Josiah Coffin lean-to of 1723-24, one of the best preserved, best restored, and most distinguished of early Nantucket houses (*Figs. 19-20*).

Note

¹ Henry Barnard Worth, *Nantucket Lands and Land Owners*, Nantucket Historical Association, Vol. II, Bulletin No. 5, 1906 (reissued 1928), p. 269.

Historic Buildings

- 2 Late 18th-century type. 2½-story clapboard front, shingle sides, ridge chimney, 3-bayed façade, later pilastered Greek Revival doorway with sidelights, 6/6-paned windows. Additions north side and rear.
- 3 Built mid- to late-18th century, center-chimney type. 2½-story shingle, ridge chimney, 5-bayed façade, later 6/6-paned windows, center door sheltered by enclosed entrance pent.
- 5 1¾-story shingle, ridge chimney, originally 3-bayed façade (south section) with 2-bay extension having shed roof on north end, had 12/12-paned windows. Roof extended over entire building and windows changed to 6/6-paned sashes. (old photo Miller R. Hutchison II Collection, N. H. A.)
- 6 Built 1795 for Isaiah Folger. Originally 2½-story shingle, ridge chimney, 2- or 3-bayed façade, extension north side with shed roof. Extensively altered and enlarged mid-19th century and given center hallway and end chimneys. Present doorway and fenestration modern. (Mr. & Mrs. Paul V. Hoadley)
- 9 Originally typical Nantucket house. 2½-story shingle, very high brick basement, ridge chimney,

- roof walk, had 4-bayed façade. Modern portico and stoop, doorway with sidelights, dormers, bay window and 2/2-paned windows.
- 10 Greek Revival style. 2-story shingle, hip roof with end chimneys, 5-bayed façade, pilastered doorway with sidelights, 6/6-paned windows.
- 12 Built 2nd quarter 18th century, lean-to half-house. Early addition north side. 2½-story shingle on rock foundations, ridge chimney, 3-bayed façade, 6/6-paned windows (later), rear heightened. New porch, front dormer, enclosed porch south side. (N. H. A. *Photo Albums*, Book 1, p. /13/)
- 16 Typical Nantucket house. 2½-story shingle on brick basement, ridge chimney, 4-bayed façade, 12/12-paned windows, later pilastered Greek Revival doorway, stoop with double steps, new dormers.
- 17 Was typical Nantucket house. 2½-story shingle, ridge chimney, 4-bayed façade. Pilastered Greek Revival doorway shifted to north bay of front, later 2/2 paned windows (formerly had 12/12 and 6/6.)
- 18 1¾-story clapboard front, shingle sides, ridge chimney, roof walk, 4-bayed façade, Federal framed doorway with sidelights, 6/6-paned windows, front porch with parapet.
- 20 Mid-18th century lean-to house, faces south. 2½-story shingle, ridge chimney, 3-bayed façade, later 6/6-paned windows. Extended west side for larger stairhall. Additions at rear.
- 21 Built early 19th century. 2-story shingle, end chimneys, 5-bayed façade, center door, late 2/2-paned windows.
- 22 1¾-story shingle on brick basement, ridge chimney, 3-bayed façade, 6/6-paned windows. New box dormer.
- 24 Early 19th century typical Nantucket house. 2½-story shingle on high brick basement, ridge chimney, 4-bayed façade, doorway with transom, high stoop with stairs both sides, 6/6-paned windows.
- 28 Greek Revival period. 1¾-story shingle, chimney on roof slope, shafts at corners, entablature along flanks, 3-bayed façade with gable, 6/6-paned windows. New porch, side dormers.
- 29 Greek Revival style. 1¾-story shingle, had end chimneys, pilasters at corners supporting entablature across front, 5-bayed façade, center pilastered doorway with sidelights, 6/6-paned windows. Modern Dutch dormers and wing on north side.
- 30 1¾-story shingle, ridge chimney. Bay window added and other changes.
- 36 Greek Revival style. 1¾-story shingle, ridge chimney (replaced), shafts at corners, 3-bayed façade, pilastered doorway, 6/6-paned windows. Late front dormer.
- 38 Greek Revival style. 1¾-story shingle, ridge chimney (rebuilt), pilasters at corners, entablature along flanks, 3-bayed façade with 2 windows in gable, pilastered doorway, 6/6-paned windows. Later wing north side and dormers.
- 41 Originally similar to 38 Cliff Road. Added to and altered. Owned by painter Eastman Johnson. (James Hunt Barker)
- 44 Originally 1¾-story shingle, ridge chimney, 3-bayed façade with front gable, Greek Revival pilastered doorway, 6/6-paned windows. Extended south end.
- 46 2½-story shingle, ridge chimney, presently 6-bayed façade, parts of Greek Revival doorway, added to and altered.
- 49 Greek Revival style. 1¾-story shingle, ridge chimney, shafts at corners, 3-bayed façade with gable, pilastered doorway with sidelights, 6/6-paned windows (2 in second story). (N. H. A. *Photo Albums*, Book 1, p. /13/)
- 51 1¾-story shingle, ridge chimney, 3-bayed façade, Greek Revival doorway, modern 12/12-paned windows, box dormer.
- 60 Built 1723-24 for Maj. Josiah Coffin for son of same name, faces south, lean-to house. 2½-story shingle, reduplicated articulation of ridge chimney, front cornice with modillions (omitted over windows, lacking space), 5-bayed façade, center batten door with transom, 12/12-paned windows 1st story, 8/12-paned windows 2nd story except 4/6 over door. (H. C. Forman, *Early Nantucket*, pp. /252/-/253/; M. M. Coffin, *H. A. B. S.* #911; H. B. Worth, *Nantucket Lands*, 1881 photo facing p. 237; G. A. Fowlkes, *Mirror of Nantucket*, pp. 35-37; *Proceedings*, 1904, p. 21; E. U. Crosby, *Ninety Five Per Cent*, photo p. 50; A. E. Poor, *Colonial Architecture*, pl. 63-labeled "Nantucket, North Street"; R. Pratt, *Golden Treasury*, pp. 138-139)

Massachusetts Cultural Resource Information System

Scanned Record Cover Page

Inventory No: NAN.1496
Historic Name:
Common Name:
Address: 30 Cliff Rd
City/Town: Nantucket
Village/Neighborhood: Nantucket
Local No: 4244-036, NC5-20
Year Constructed: c 1820
Architect(s):
Architectural Style(s): No style
Use(s): Secondary Dwelling House; Single Family Dwelling House
Significance: Architecture; Recreation
Area(s): NAN.C: Nantucket Historic District
NAN.D: Nantucket Historic District
Designation(s): Nat'l Historic Landmark (11/13/1966); Nat'l Register
District (11/13/1966); Local Historic District (06/04/1970)
Building Materials(s): Roof: Asphalt Shingle
Wall: Wood; Wood Shingle
Foundation: Brick



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Commonwealth of Massachusetts
Massachusetts Historical Commission
220 Morrissey Boulevard, Boston, Massachusetts 02125
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BUILDING/STRUCTURE INVENTORY FORM
NANTUCKET ISLAND ARCHITECTURAL
AND CULTURAL RESOURCES SURVEY
NANTUCKET HISTORIC DISTRICT COMMISSION
NANTUCKET, MASSACHUSETTS

SURVEY/
FILM ROLL #: NC5-20
MAP/PARCEL#: 4244-036
1496

Recorded by: ANR

Date: 06/11/89

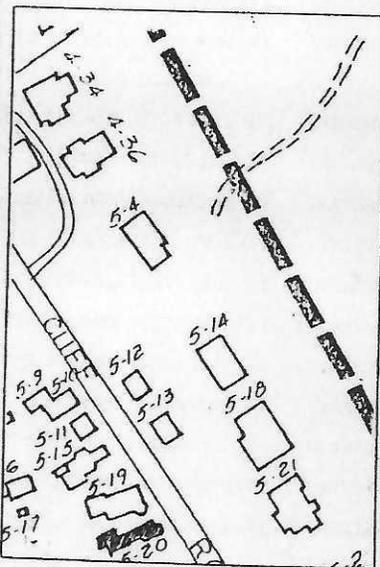
Organization: AGS

IDENTIFICATION

1. Street Name & No.: 30 CLIFF RD
2. Building Name: N/A
3. Ownership: Private
4. Present Owner: CONFALONE, JOHN A
5. Ownership History:
Unknown
6. Use: Original: Dwelling Present: Dwelling
Seasonal/Year-Round: Seasonal
7. Accessibility to Public: Visible from Public Road? Yes
Interior: N/A

Handwritten: [Box] Arrow

8. MAP -- 3 X 2"



GENERAL SETTING AND ORIENTATION OF BUILDING

10. Lot Size: 1/2 Acre or less
11. Approximate Frontage (ft.): 40
12. Setback from Street (ft.): 20 feet or less
13. Orientation to Street Address: Gabled
14. Surroundings: Scattered Buildings, Residential
15. Related Outbuildings and Property: N/A
16. Other Notable Features:
9/6 windows with splayed lintils on rear elevation

DESCRIPTION

17. Foundation: Brick
18. Structural System: Woodframe
19. Exterior Wall Material, Front Facade: Shingles-Weathered
20. Exterior Wall Material, Side Elevations: Shingles-Weathered
21. Exterior Wall Material, Rear Elevation: Shingles-Weathered
22. Number of Stories: 2
23. Roof Shape: Gable
24. Roofing Material: Composition Shingle
25. Roof Features: Dormers/Front Facade
26. Dormer Roof(s): Gable
27. Chimney Material: N/A
28. Chimney Position: N/A
29. Number of Chimneys: N/A
30. Chimney Features: N/A
31. Front/Primary Door Location: Off Center
32. Front/Primary Door Frame Features: Flush Frame, Hood with brackets
33. Number of Bays: 3
34. Window Frame Type: Flush
35. Window Sash Type(s) - Front Facade: 2/2

36. Porch: N/A
37. Signage: N/A
38. Details: Corner boards-plain
39. Condition: Good
40. Integrity: N/A
41. Alterations:
bay window added. Lancaster classified this house as Federal style (1780-1830's) evidenced by 9/6 windows on rear facade, splayed lintils, and that the house faces south.

SIGNIFICANCE

42. Role the Building Plays: National Register: Contributing

43. Date of Initial Construction: C.1820

Source: A.G. Souza Associates Date

Architect: Unknown Builder: Unknown

44. Building Type: Additive

45. Architectural Style: Federal

46. Historical and Architectural Importance:
Unknown

47. Sources: Assessors Records, Lancaster pg.172,
Sanborn Maps, Helen Winslow Chase Research