

1. Viewpack

Documents:

73 BAXTER RD - GARAGE - OB SUB 08 25 2020.PDF  
10 BEACH ST - NEW DWELLING - OB SUB 08 25 2020.PDF

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

**Failure to submit the required documents below for an Old Business meeting MAY result in delays.**

X	HDC case number: (ex HDC2020-xx-xxxx), if applicable <b>HDC2020-07-1292</b>
X	<u>Copy of Minutes</u> (application item circled)
X	<u>Reduced (8 1/2 x 11) copy of application</u>
X	<u>Locus Map</u> : 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) <ul style="list-style-type: none"> <li>Ⓐ Site Plan</li> <li>Ⓑ North Elevation</li> <li>Ⓒ South Elevation</li> <li>Ⓓ East Elevation</li> <li>Ⓔ West Elevation</li> <li>Ⓕ Window/Door Schedule</li> </ul>
X	<u>One set reduced plans: 8 1/2 x 11</u>
X	<u>Electronic Submission</u> : ALL documents MUST BE scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

**\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

### **Affidavit Certifying Completeness of Application**

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: \_\_\_\_\_ Date: 08.20.20

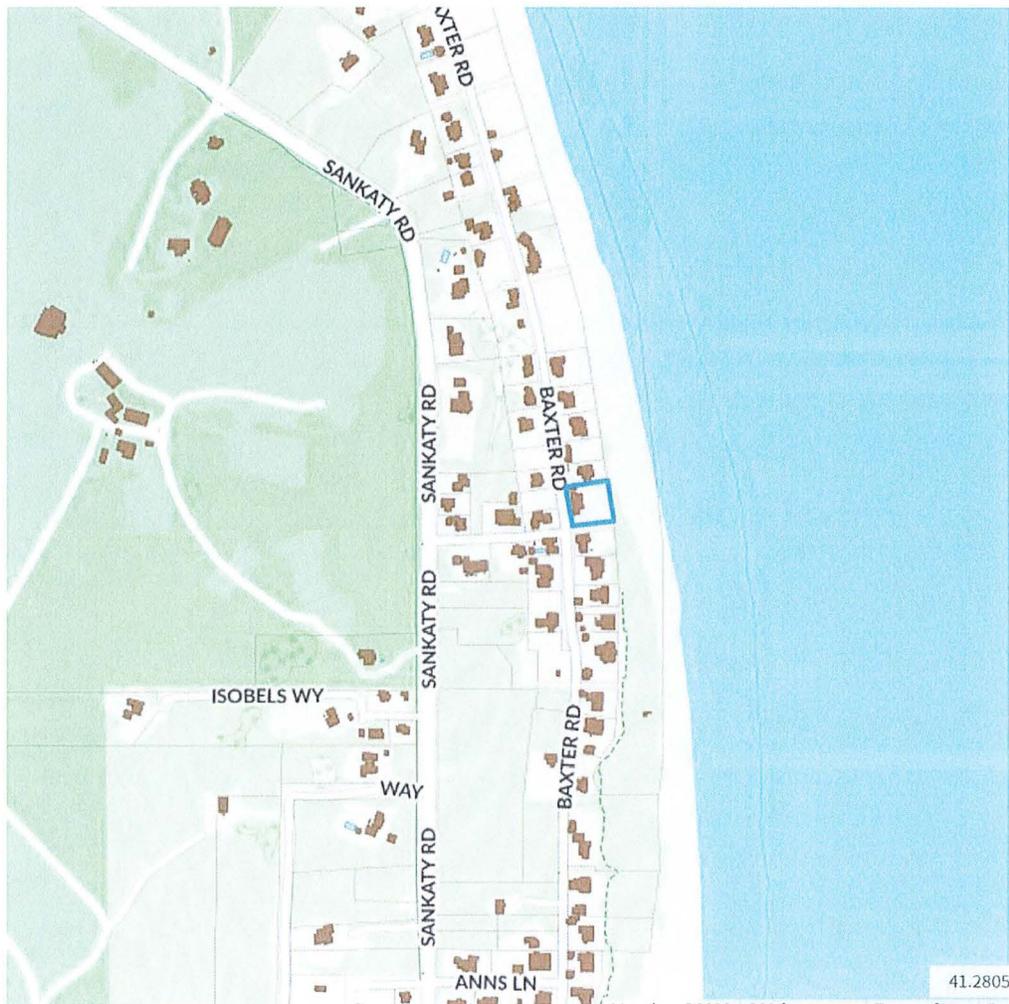
7. Brian Harris 06-1162	50 Weweeder Avenue	Cabana	79/15	M. Cutone Architecture
Voting	Coombs, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Mark Cutone, Mark Cutone Architecture			
Public	None			
Concerns (6:21)	<p><b>Cutone</b> – Presented the project; dropped the pitch to match the house and thus reduce the height.</p> <p><b>Oliver</b> – Likes the new arrangement; however, the siding should be all shingle, not mixed material; simple is better. Suggested the pool turn 90 degrees.</p> <p><b>Welch</b> – He'd be okay if the siding were all vertical board; agrees simpler is better. The retainage will be at the pool with the step down to the left. No other concerns.</p>			
Motion	<b>Motion to Approve through staff with the horizontal board to be vertical. (Welch)</b>			
Roll-call Vote	Carried unanimously//Oliver, Welch, and Coombs-aye		Certificate #	<b>HDC2020-06-1162</b>

8. Richard Chesley 02-0732	32 West Chester Street	New Dwelling	42.4.3/31	BPC
Voting	Coombs, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, and advisory comments.			
Representing	Joe Paul, BPC			
Public	None			
Concerns (6:27)	<p><b>Paul</b> – Reviewed changes made per previous concerns; feels some HSAB comments were left over from their last hearing.</p> <p><b>Backus</b> – Read HSAB comments; they felt the concerns regarding the retaining walls and massing weren't addressed. This is visible across the Lily Pond. The 2<sup>nd</sup>-floor balcony should not have both balusters and crossbucks.</p> <p><b>Welch</b> – East elevation, this has a "squat" presentation; suggested a 9/12 pitch and corner boards on the main mass. North elevation, the eave height between the main and secondary masses would diverge with the change with the main-mass pitch; that would address his concerns about lack of change between the main and secondary masses. He's no longer concerned about the retainage as he was initially.</p> <p><b>Oliver</b> – Agrees that the front door be a 2-panel with 6 lights. Agrees about adding corner boards on the front mass and rear. Her main concern is visibility of the west and south elevations; there is a lot of fenestration on the south. The railing should be simple: all balusters or shingled. South elevation needs some sort of mitigation because it will be visible across the pond; the French doors should be more traditional with kick panels. The massing is fine.</p>			
Motion	<b>Motion to Hold for minor revisions. (Welch)</b>			
Roll-call Vote	Carried unanimously//Oliver, Welch, and Coombs-aye		Certificate #	

9. Thompson 07-1292	73 Baxter Road	Garage	49/27	Emeritus
Voting	Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (6:44)	<p><b>MacEachern</b> – Reviewed changes made per previous concerns.</p> <p><b>Camp</b> – This is getting better. Her concern is what faces Baxter Road; feels the gable is forced and should come down as a shed roof with a broke back; suggested attaching to the house with a traditional breezeway.</p> <p><b>Oliver</b> – She likes Ms. Camp's idea of an open breezeway. This is a good direction.</p> <p><b>Welch</b> – The concept of the connector would help the overhangs, which otherwise look out of proportion. Don't overpower the dormer: smaller windows work in keeping this subsidiary. Likes the gable forward to maintain the existing street view.</p> <p><b>Coombs</b> – She'd like to see the garage reused; it's part of the history of the house. Likes Ms. Camp's idea of attaching it and getting rid of the doors.</p>			
Motion	<b>Motion to Hold for revisions. (Camp)</b>			
Roll-call Vote	Carried unanimously//Oliver, Welch, Camp, and Coombs-aye		Certificate #	

# *Thompson Residence, Garage*

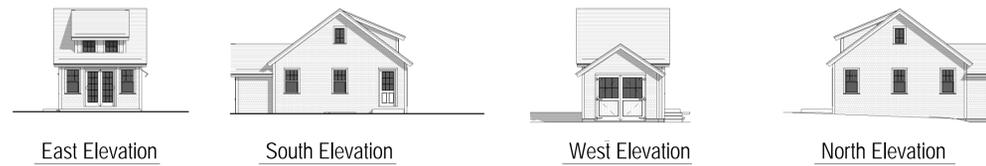
73 Baxter Road  
Nantucket, MA 02554



Locus Map

# Thompson Residence, Garage

73 Baxter Road  
Nantucket, MA 02554



**2018**  
Thompson Residence,  
Garage  
73 Baxter Road  
Nantucket, MA 02554



## Cover Sheet

### Site Information

Map & Parcel:	49 / 27
Current Zoning:	SR 20
Minimum Frontage:	75
Front Setback:	30'
Side/Rear Setback:	10'
Lot Size:	22,392 sf
Min. Lot Size:	20,000 sf
Allowable G.C.:	12.5% or 2,799 sf
Existing G.C.:	1,918
Proposed G.C.:	570 sf
Total Proposed G.C.:	2,488 sf

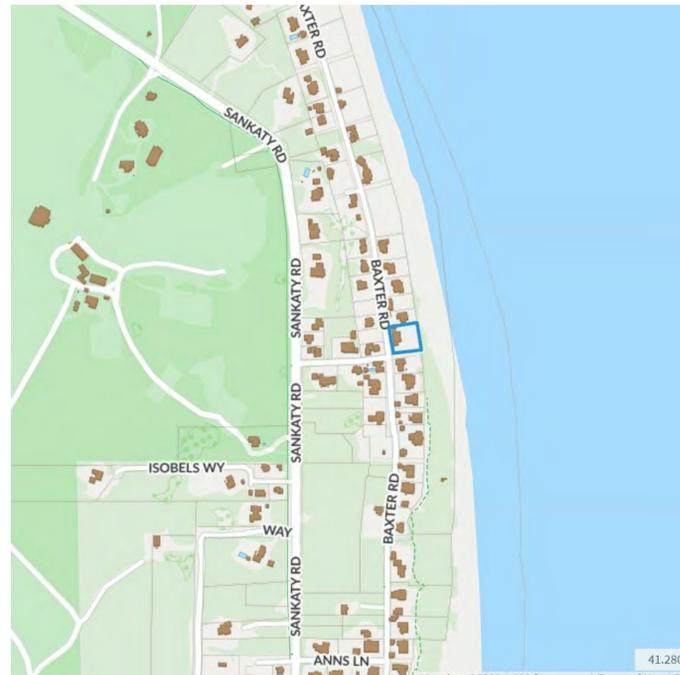
Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

### SHEET INDEX

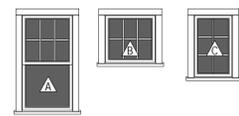
- G.1.1 Cover Sheet
- A.101 Floor Plans
- A.201 Exterior Elevations

08.20.20

HDC Submission



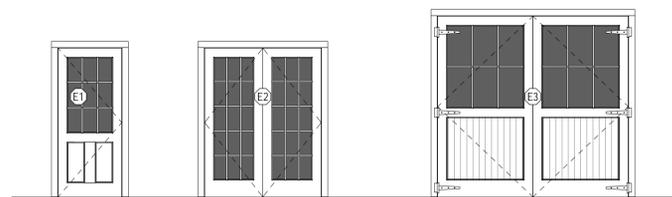
Locus Map



Double Hung 6/1 SDL  
Fixed 6 Lite SDL  
Fixed 6 Lite SDL

### Window Legend

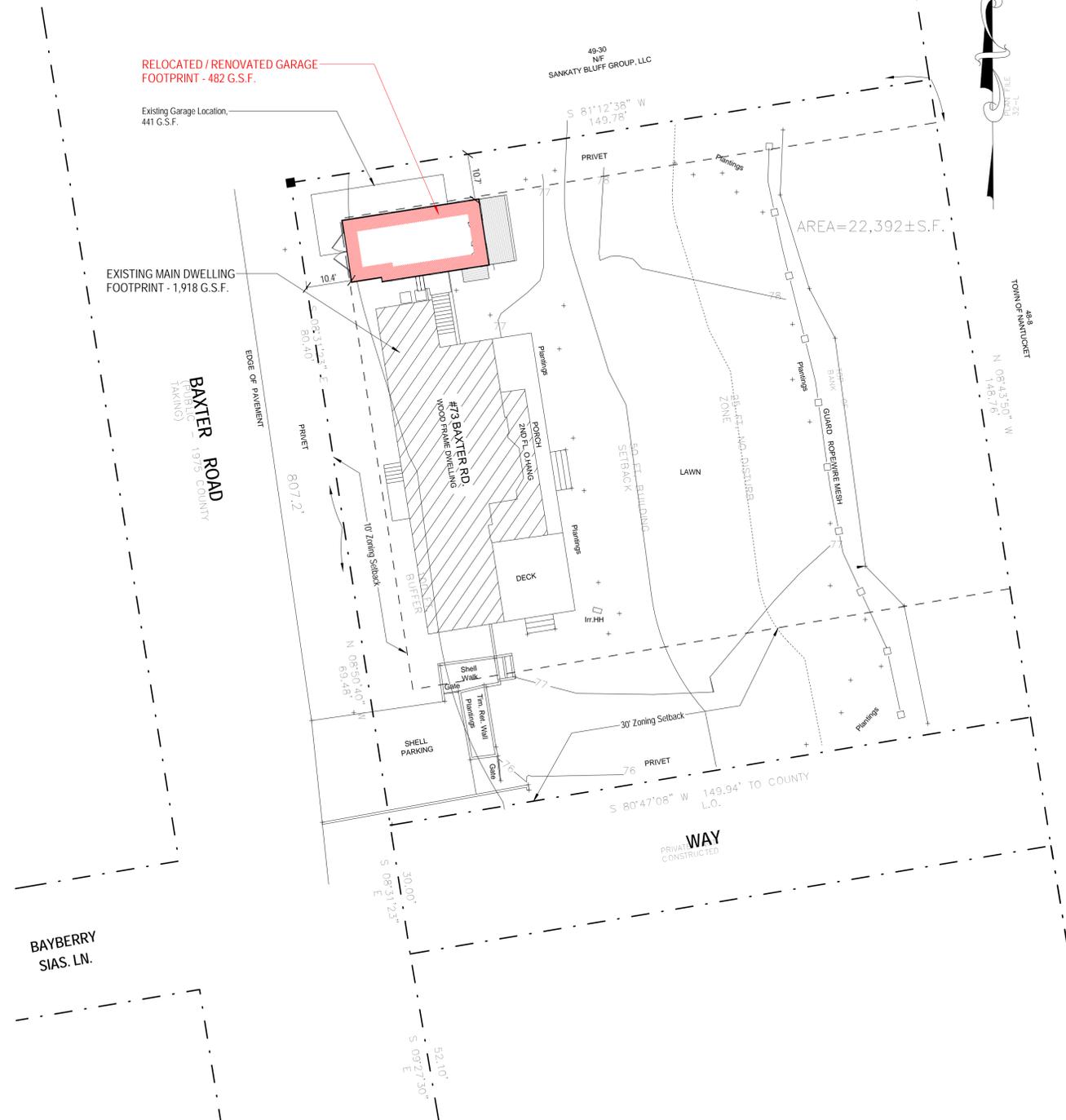
1/4" = 1'-0"



Two Panel 9 Lite SDL  
Double French Door 15 Lite SDL  
Garage Carriage Doors Solid 'V' Groove w/ 6 Lite SDL

### Door Legend

1/4" = 1'-0"



### Site Plan

1/16" = 1'-0"

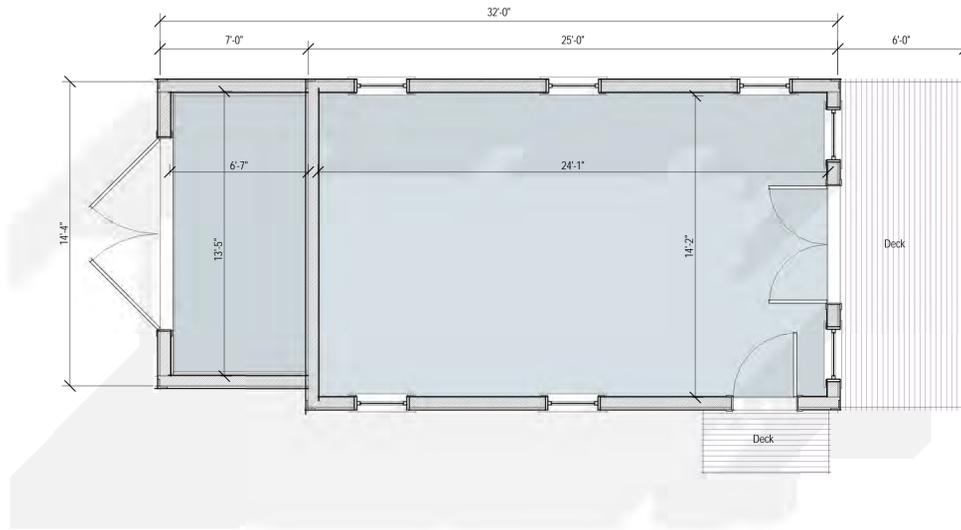
### Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.  
DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

**G.1.1**  
**2018**

08.20.20

HDC Submission



1 Garage First Floor Plan  
1/4" = 1'-0"



2 Garage Roof Plan  
1/4" = 1'-0"

2018

Thompson Residence,  
Garage

73 Baxter Road  
Nantucket, MA 02554



Floor Plans

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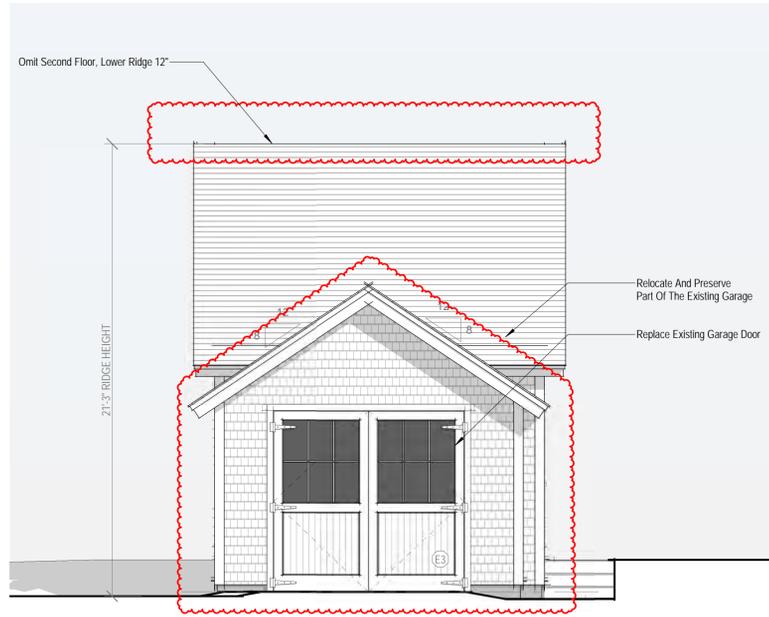
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- A.201 Exterior Elevations

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A.101  
2018

08.20.20



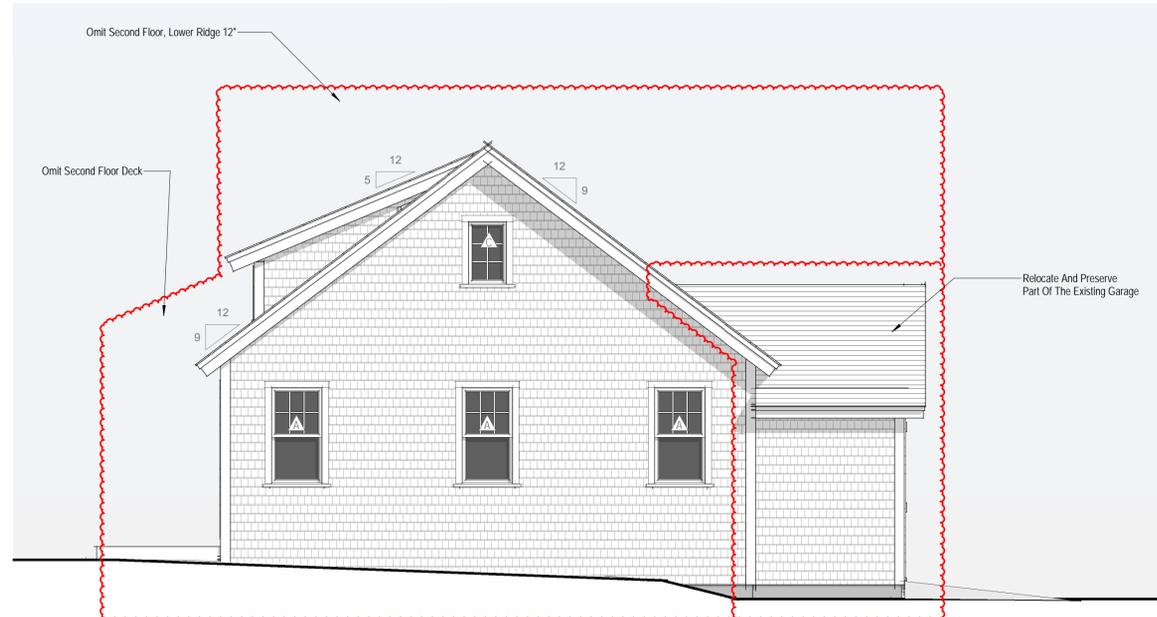
1 Garage West Elevation - Proposed  
1/4" = 1'-0"



Ex. West Elevation



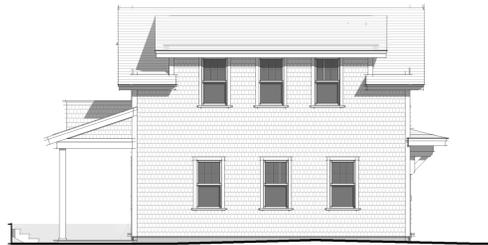
Ex. North Elevation



2 Garage North Elevation - Proposed  
1/4" = 1'-0"



Garage Westt, Prev. HDC



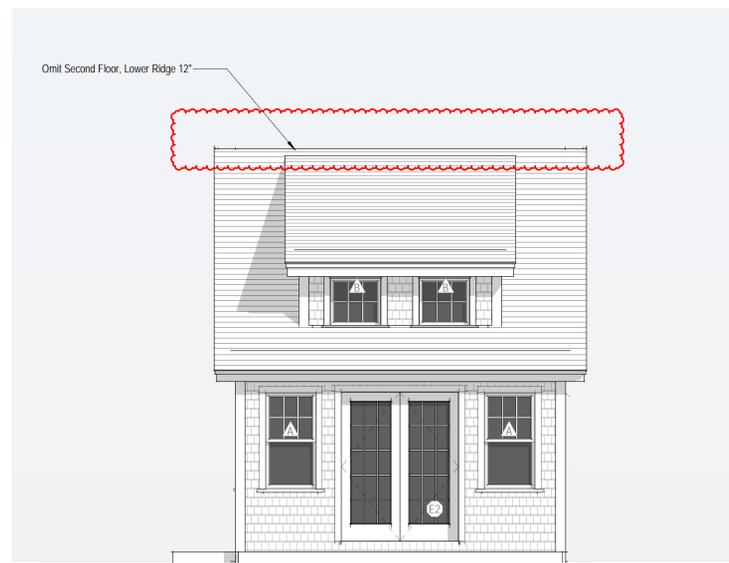
Garage Northt, Prev. HDC



Garage South, Prev. HDC



Garage East, Prev. HDC



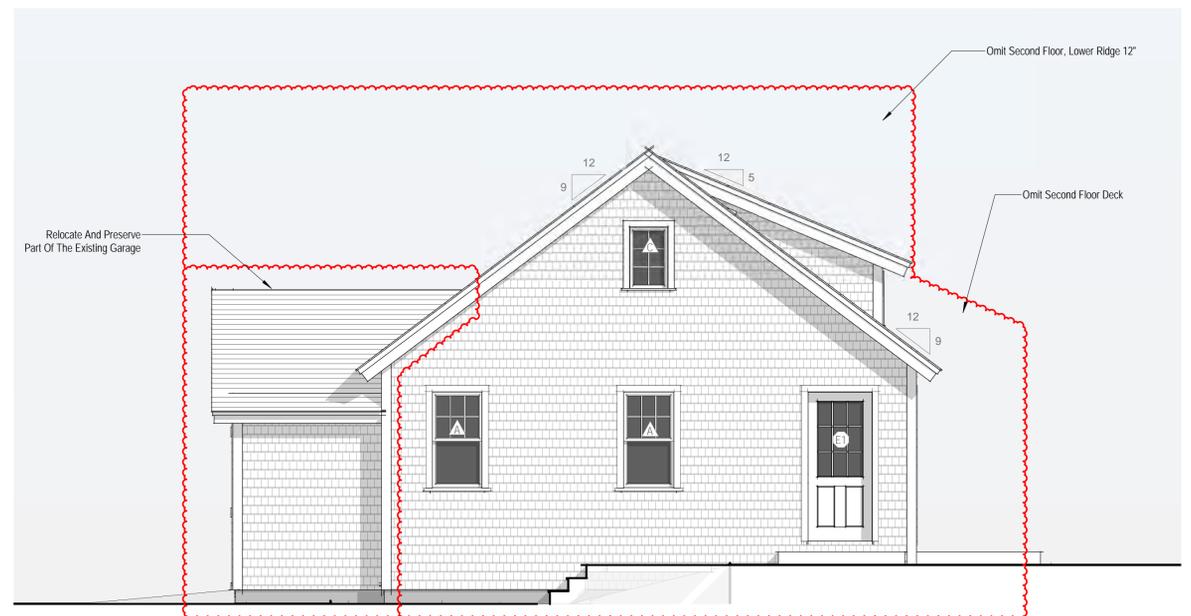
3 Garage East Elevation - Proposed  
1/4" = 1'-0"



Ex. East Elevation



Ex. South Elevation



4 Garage South Elevation - Proposed  
1/4" = 1'-0"

2018  
Thompson Residence,  
Garage  
73 Baxter Road  
Nantucket, MA 02554



Exterior Elevations

Site Information

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- A.201 Exterior Elevations

HDC Submission

Revisions

Revision 1	Date 1
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A.201  
2018

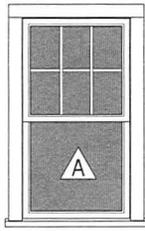


West Elevation, Combined

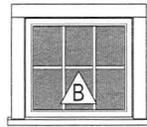
1/8" = 1'-0"



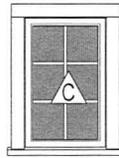
West 3D View Combined



Double Hung  
6/1 SDL



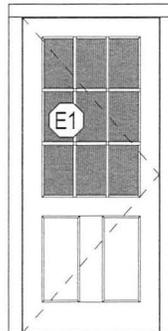
Fixed  
6 Lite SDL



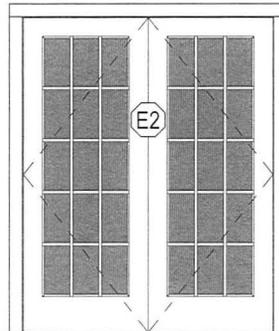
Fixed  
6 Lite SDL

## Window Legend

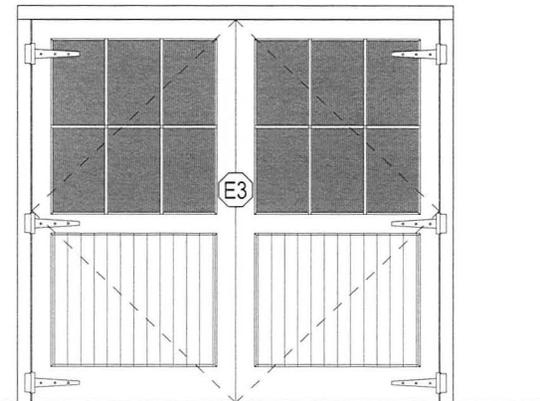
1/4" = 1'-0"



Two Panel  
9 Lite SDL



Double French Door  
15 Lite SDL



Garage Carriage Doors  
Solid 'V' Groove w/ 6 Lite SDL

## Door Legend

1/4" = 1'-0"



48-8  
TOWN OF NANTUCKET

N 08°43'50" W  
148.76'

AREA = 22,392 ± S.F.

48-30  
NF  
SANKATY BLUFF GROUP, LLC

S 81°12'38" W  
149.78'

PRIVET

LAWN

25-FT. NO-DISTURB  
ZONE

50 FT. BUILDING  
SETBACK

30' Zoning Setback

S 80°47'08" W 149.94'  
TO COUNTY  
L.O.

PRIVATE  
WAY  
CONSTRUCTED

RELOCATED / RENOVATED GARAGE  
FOOTPRINT - 482 G.S.F.

Existing Garage Location,  
441 G.S.F.

EXISTING MAIN DWELLING  
FOOTPRINT - 1,918 G.S.F.

10.7'

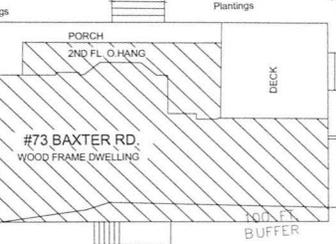
10.4'

S 08°31'23" E  
80.40'

807.2'

EDGE OF PAVEMENT

**BAXTER ROAD**  
(PUBLIC - 1975 COUNTY  
TAKING)



10 FT. BUFFER

10' Zoning Setback

Sheet Pile Wall

Tim. Ret. Wall

Plantings

Gate

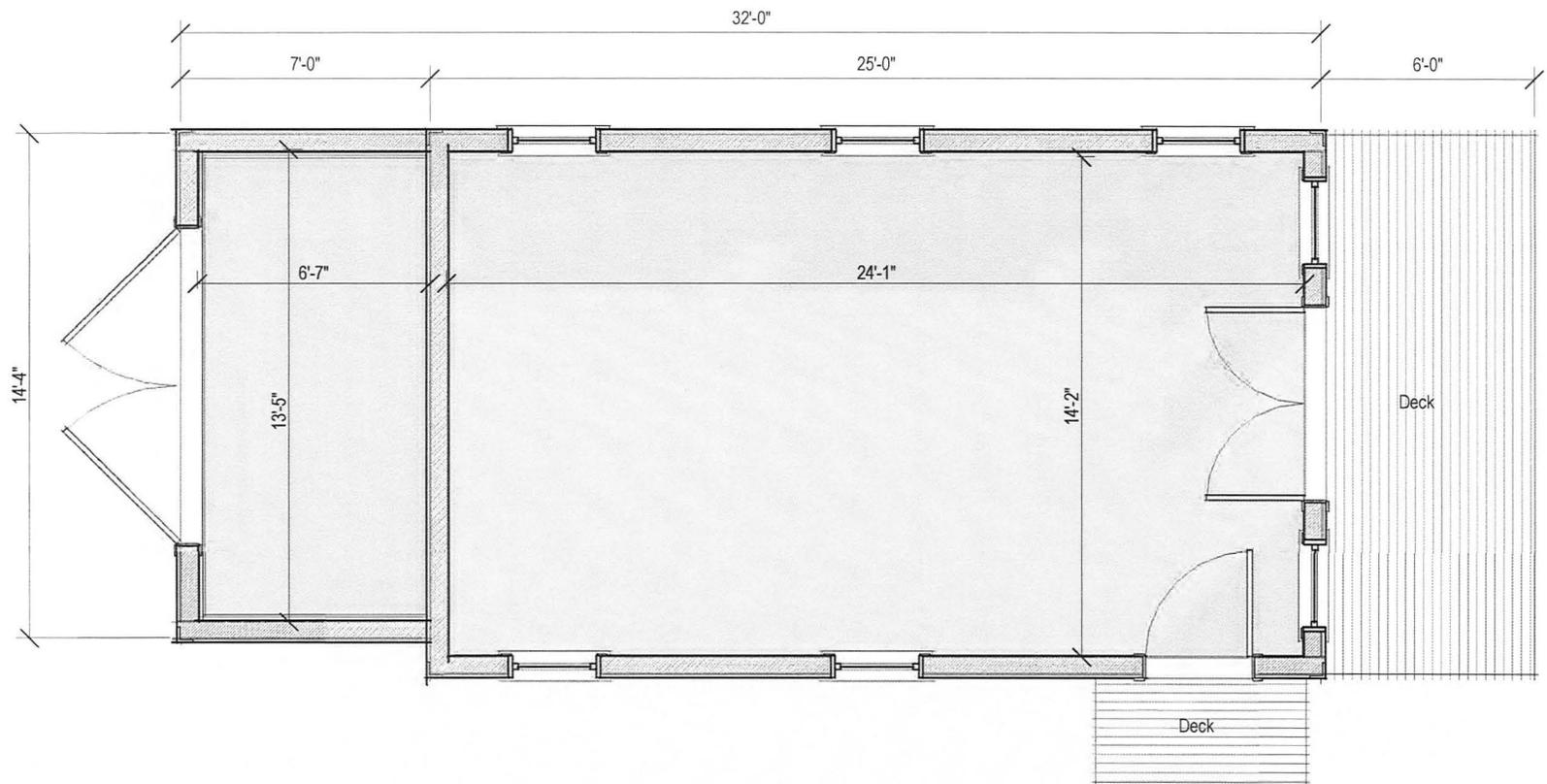
SHELL  
PARKING

S 08°31'23" E  
30.00'

S 09°27'30" E  
52.10'

BAYBERRY  
SIAS. LN.

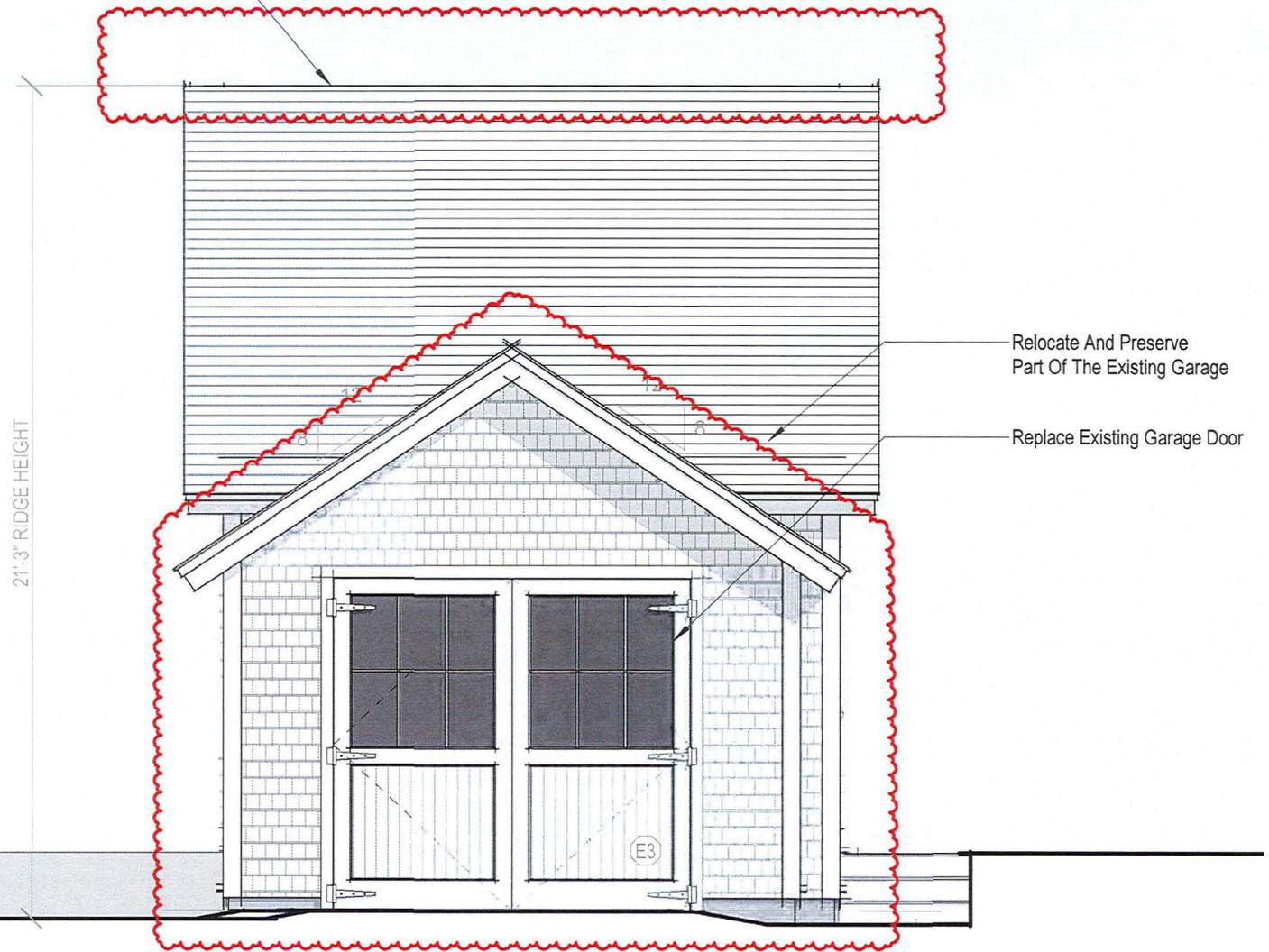
Site Plan



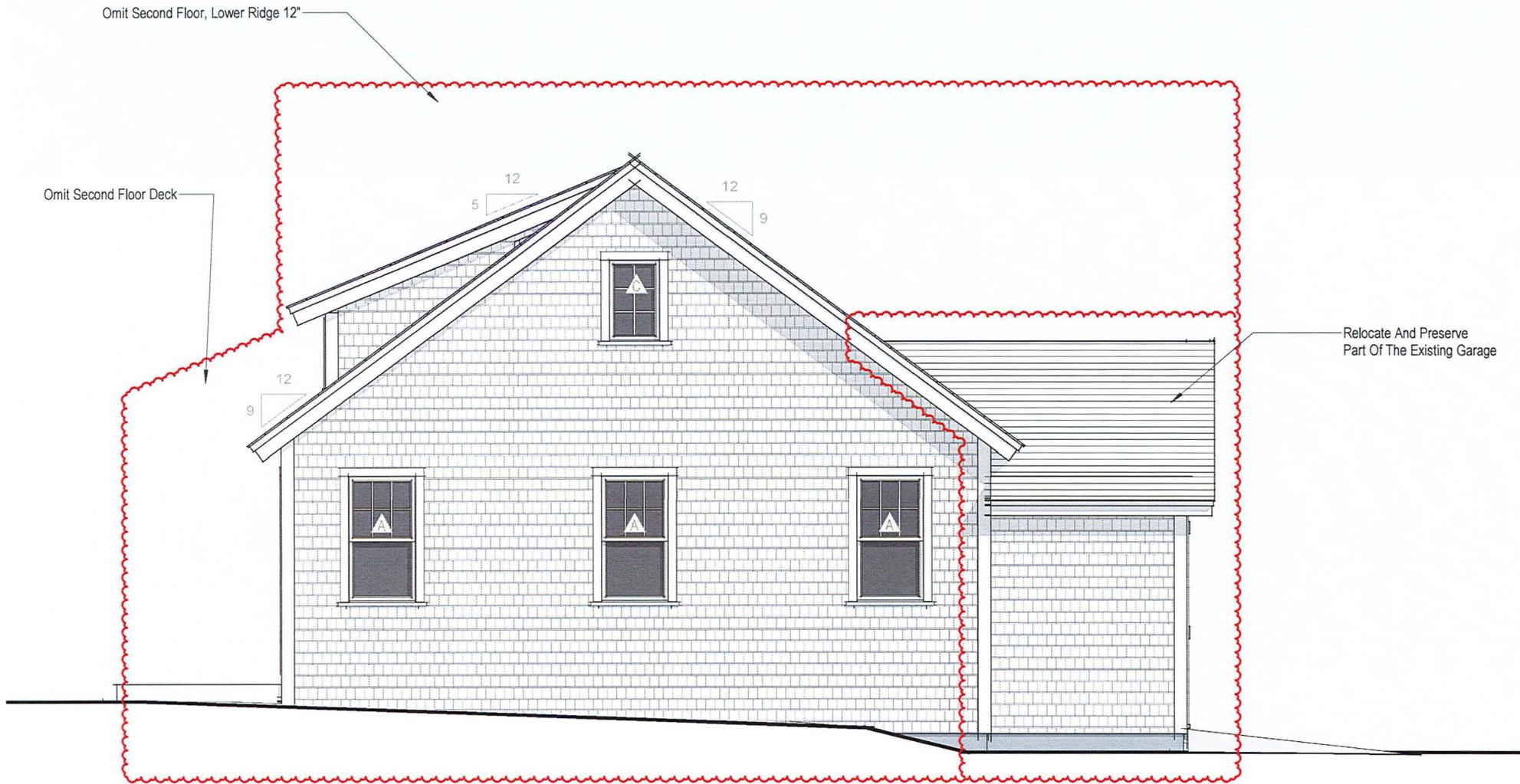
**1** Garage First Floor Plan  
1/4" = 1'-0"

07.07.20

Omit Second Floor, Lower Ridge 12"



1 Garage West Elevation - Proposed  
1/4" = 1'-0"

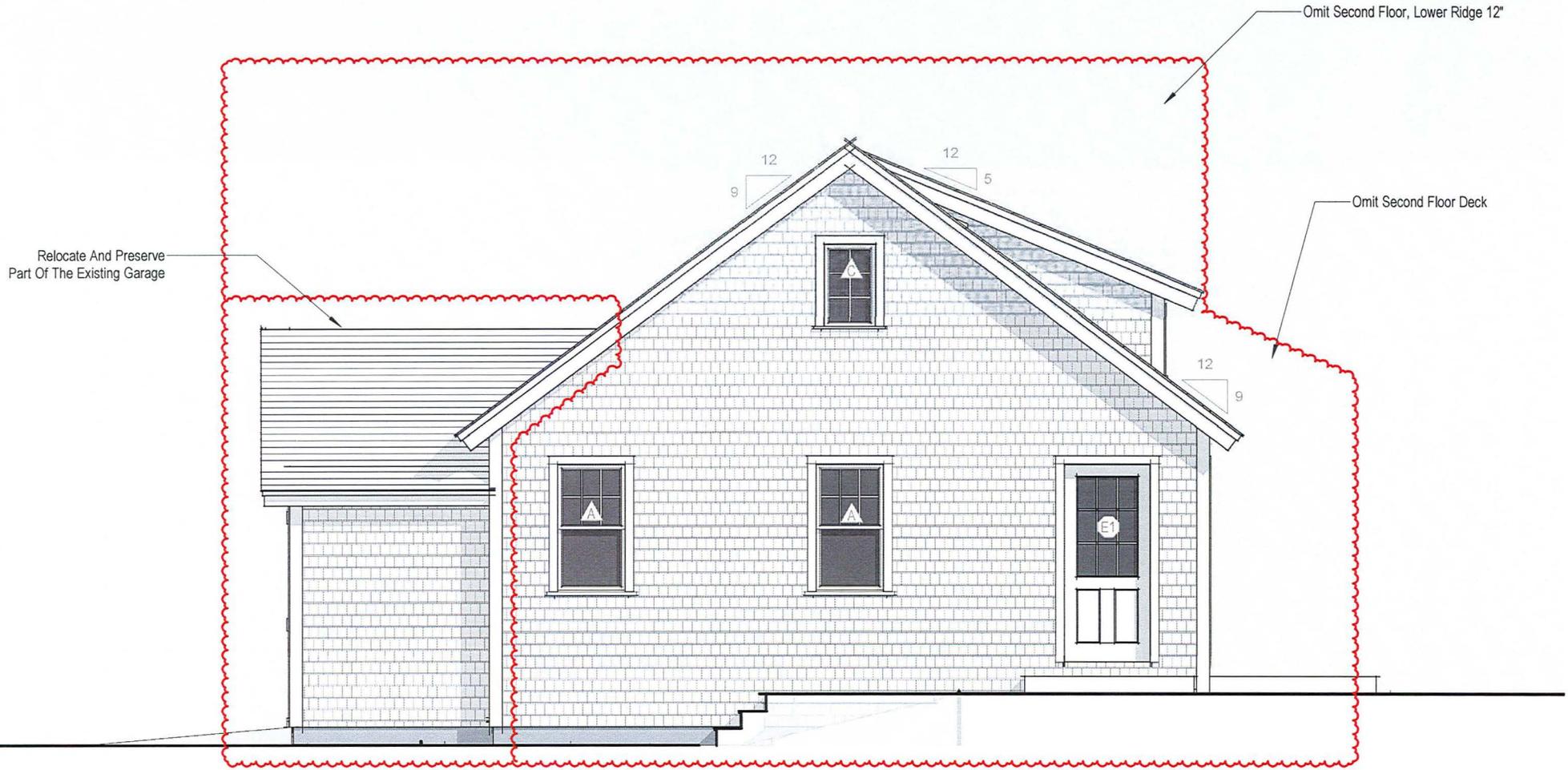


**2** Garage North Elevation - Proposed  
 1/4" = 1'-0"

Omit Second Floor, Lower Ridge 12"



**3** Garage East Elevation - Proposed  
1/4" = 1'-0"



**4** Garage South Elevation - Proposed  
1/4" = 1'-0"

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

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X	<u>Electronic Submission</u> : ALL documents <b>MUST BE</b> scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

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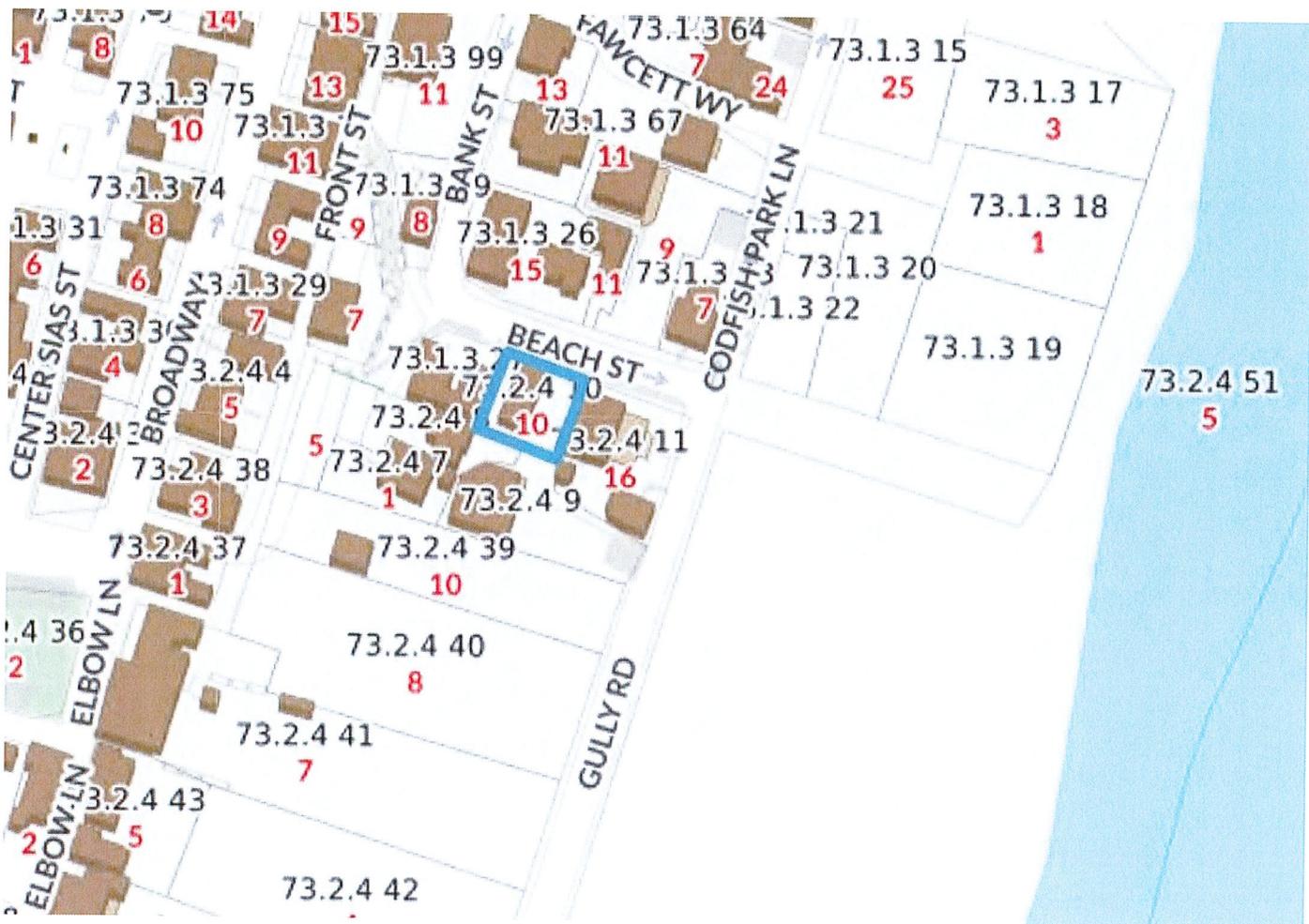
I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: \_\_\_\_\_ Date: 08.20.20

# Wilner Residence

10 Beach St

Nantucket, MA 02554



LOCUS MAP

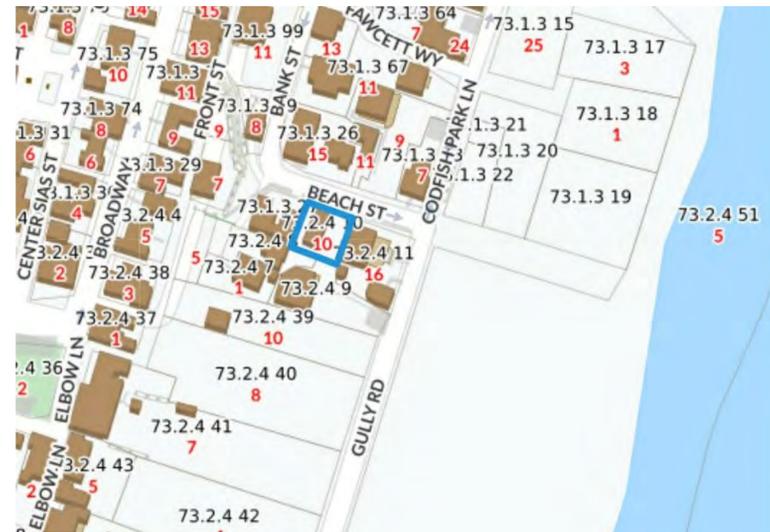
Not to Scale

<b>6. Sheila Wilner Trust 01-0547</b>		<b>10 Beach Street</b>	<b>New dwelling</b>	<b>73.2.4-10</b>	<b>Emeritus</b>
Voting	Pohl, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, correspondence, and advisory comments.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (7:10)	<p><b>MacEachern</b> – Reviewed changes made per previous concerns; asked commissioners to review recent approvals in Codfish Park. Doesn't think he can bring the plate height or ridge height down and more.</p> <p><b>Backus</b> – There was no SAB meeting but read into the record statements from some SAB members: changes superficial; current design pays no respect to history of Codfish Park and should incorporate current structure.</p> <p><b>Welch</b> – Too large and overpowers the site; 1¾ structure inappropriate; needs simplification; in this location it's too homogenous to the point it won't fit in; still uncomfortable talking about this design without having resolved the demolition/move-off. The wall above the 1<sup>st</sup> floor is very tall.</p> <p><b>Oliver</b> – She doesn't feel comfortable without resolving the demolition. The changes look positive. Concurs with Mr. Welch; this is a modern structure and lacks the additive "carbuncles" of Codfish Park.</p> <p><b>Camp</b> – Nothing to add; she agrees.</p> <p><b>Pohl</b> – Like the SAB comment about salvaging the doorway. Agrees with what's been said.</p>				
Motion	<b>Motion to Hold to track the demolition/move-off. (Welch)</b>				
Roll-call Vote	Carried 4-0//Oliver, Camp, Welch, and Pohl-aye			Certificate #	
<b>7. Nantucket Island Res 06-1267</b>		<b>29 Broad Street</b>	<b>Railings</b>	<b>42.4.2-38</b>	<b>Linda Williams</b>
Voting	Pohl, Coombs, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, and historic documentation.				
Representing	Linda Williams				
Public	None				
Concerns (7:24)	<p><b>Williams</b> – Suggest portion of railing (as seen from Ash Street) next to brick to go to red and the piece off the right go to grey; they know they have to deal with the two huge condensers on Centre Street.</p> <p><b>Oliver</b> – She doesn't want to see the railing different colors; it's white now and thinks it best to keep it that. Agrees with the Centre Street railing matching the existing fire escape.</p> <p><b>Camp</b> – The white stands out; she likes the plan where railing disappears into the building. We'd all like to see the J.C. House return to the 1880s wrought iron; the next best thing is to let it fade into the background.</p> <p><b>Welch</b> – It needs visual cloaking so it's almost not there; his problem is that the metal railing is so perfect – no inclusions or dents in the material. Up close it looks like metal and that is troublesome in the old historic district (OHD). The railing visible from Ash Street will be hard to ascertain details if it's painted red. Grey on the abutting section helps to cloak the fact there are no imperfections. Anything above the eave should be painted red. The railing on Centre Street should be largely similar to existing.</p> <p><b>Coombs</b> – Likes the proposal which blends the Ash Street railing into the building; white is too obvious. Okay with the old fire escapes on Centre Street.</p> <p><b>Pohl</b> – The red and grey will serve to downplay the railing.</p> <p><b>Flynn</b> – She would have to pull the file to double check that the as-built fee was paid.</p>				
Motion	<b>Motion to Approve through staff as proposed at the table; the railing on Centre Street to match the details and color of the fire escape; and with the as-built fee paid. (Coombs)</b>				
Roll-call Vote	Carried 5-0//Camp, Oliver, Welch, Coombs, and Pohl-aye			Certificate #	<b>HDC2020-06-1267</b>

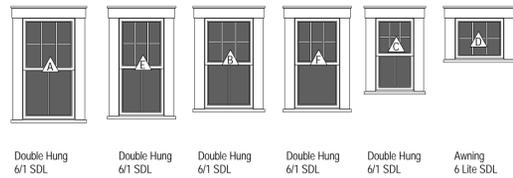
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# Wilner Residence

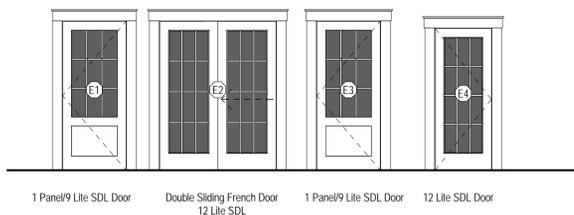
10 Beach St  
Nantucket, MA 02554



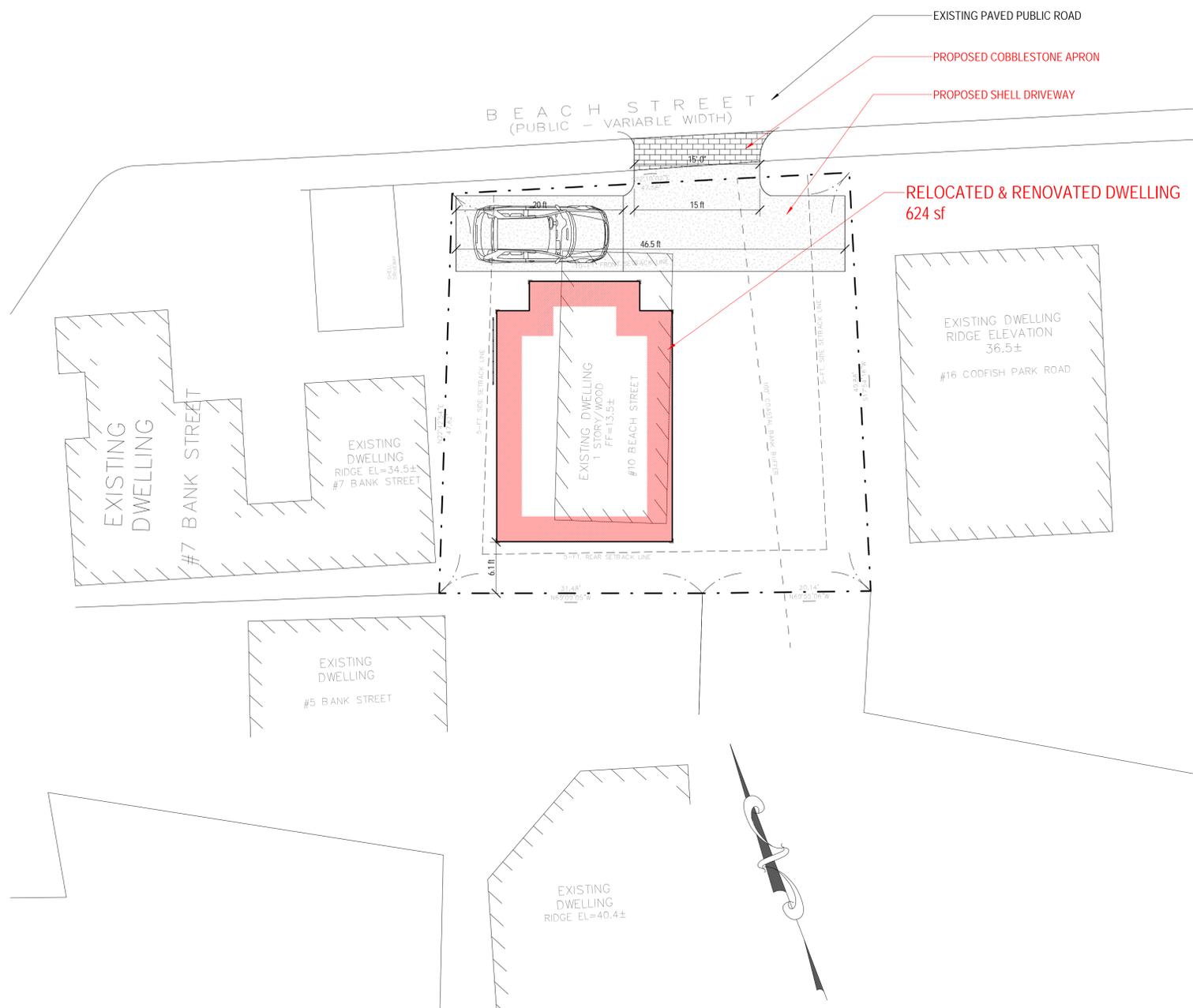
LOCUS MAP  
Not to Scale



Window Legend  
1/4" = 1'-0"



Door Legend  
1/4" = 1'-0"



SITE  
1/8" = 1'-0"

## 1912 Wilner Residence

10 Beach St  
Nantucket, MA 02554



### COVER SHEET

#### Site Information

Map & Parcel:	73.2.4 / 10
Current Zoning:	SOH
Minimum Frontage:	50'
Front Setback:	0'
Side/Rear Setback:	5'
Lot Size:	2,419 sf
Min. Lot Size:	5,000 sf
Allowable G.C.:	50% or 1,209 sf
Existing G.C.:	427 sf
Proposed G.C.:	624 sf
Total Proposed G.C.:	624 sf

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

#### Revisions

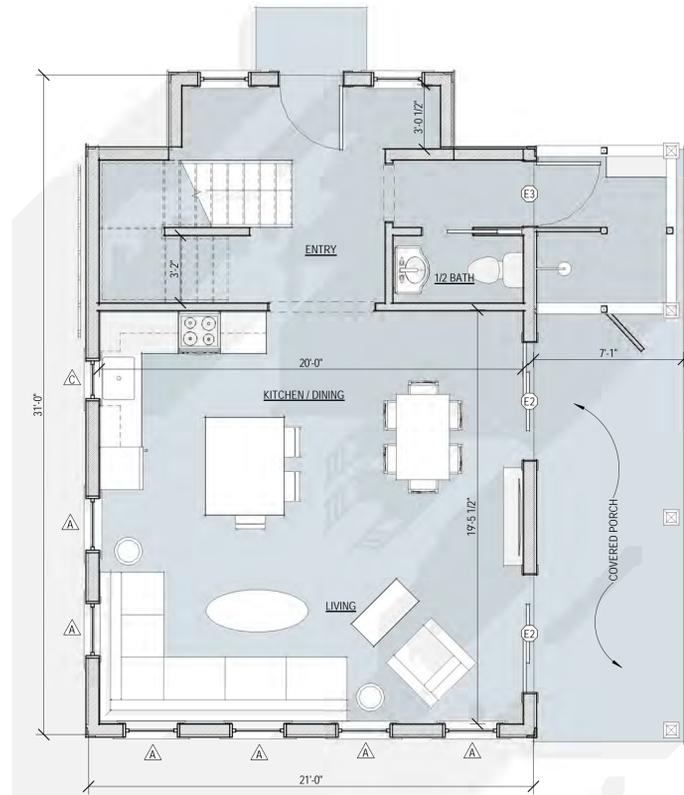
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# G.101 1912

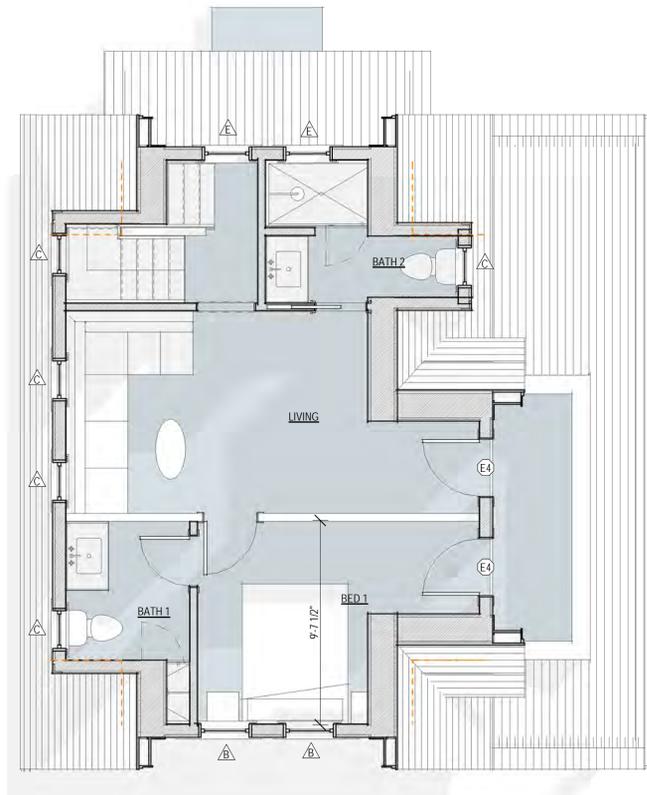
HDC Submission

08.20.20

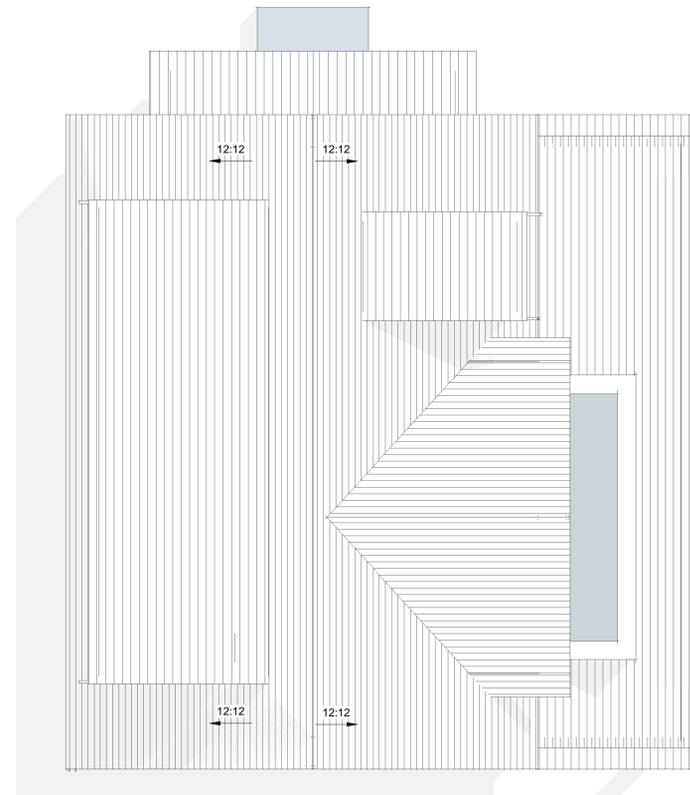
HDC Submission



1 First Floor Plan  
1/4" = 1'-0"



2 Second Floor  
1/4" = 1'-0"



3 Roof Plan  
1/4" = 1'-0"

# 1912

Wilner Residence

10 Beach St  
Nantucket, MA 02554



## FLOOR PLANS & ROOF PLAN

### Site Information

Map & Parcel:	73.2.4 / 10
Current Zoning:	SOH
Minimum Frontage:	50'
Front Setback:	0'
Side/Rear Setback:	5'
Lot Size:	2,419 sf
Min. Lot Size:	5,000 sf
Allowable G.C.:	50% or 1,209 sf
Existing G.C.:	427 sf
Proposed G.C.:	624 sf
Total Proposed G.C.:	624 sf

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

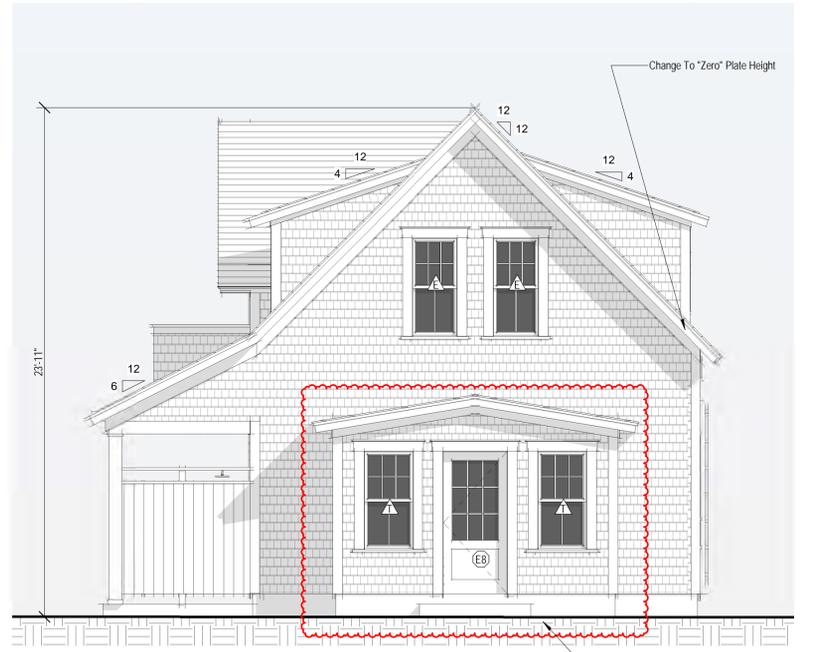
### Revisions

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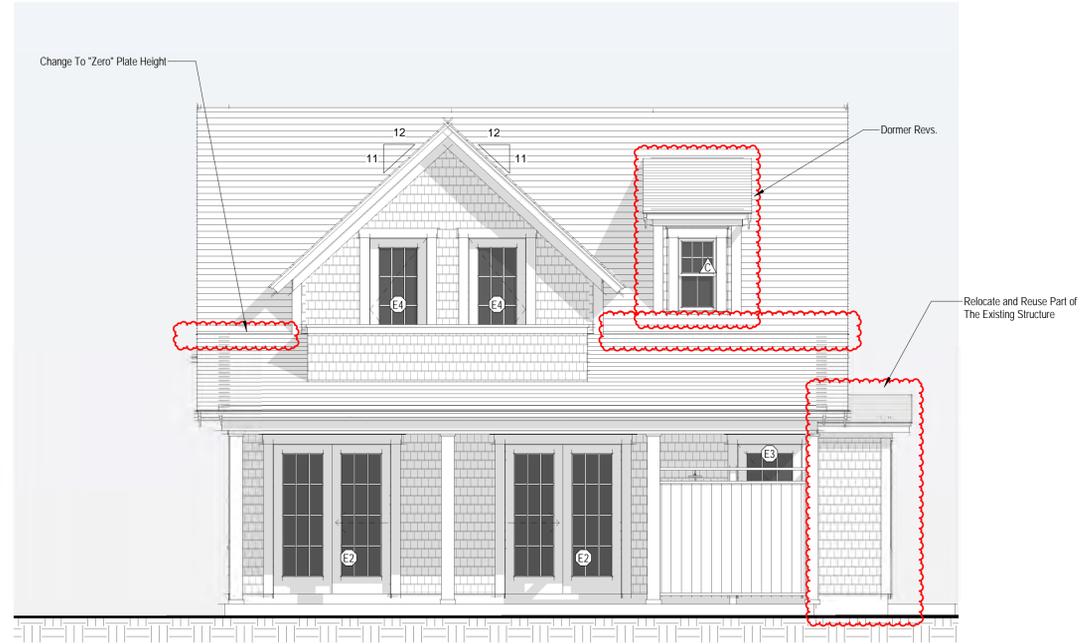
A.101  
1912

08.20.20

HDC Submission



1 North Elevation  
1/4" = 1'-0"



2 East Elevation  
1/4" = 1'-0"



Previously Proposed North Elevation  
1/8" = 1'-0"



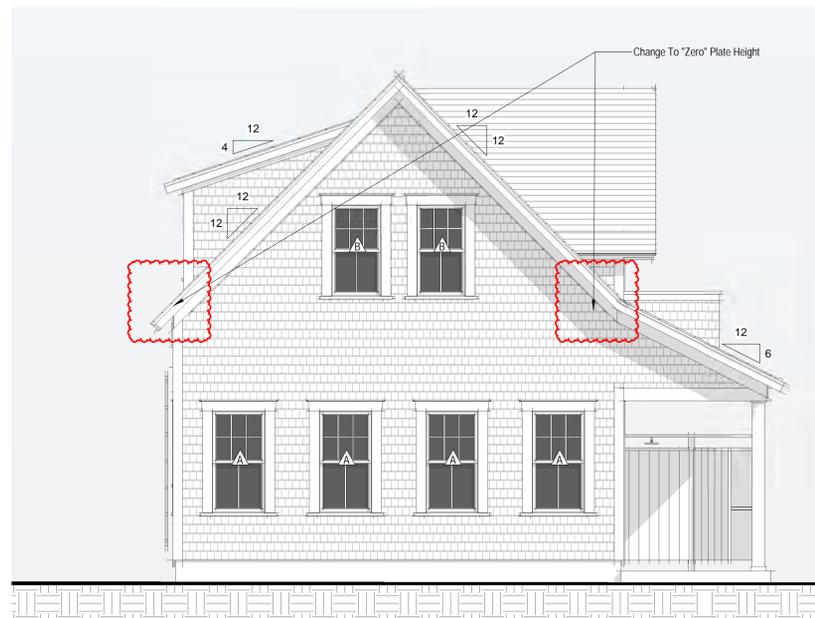
Previously Proposed East Elevation  
1/8" = 1'-0"



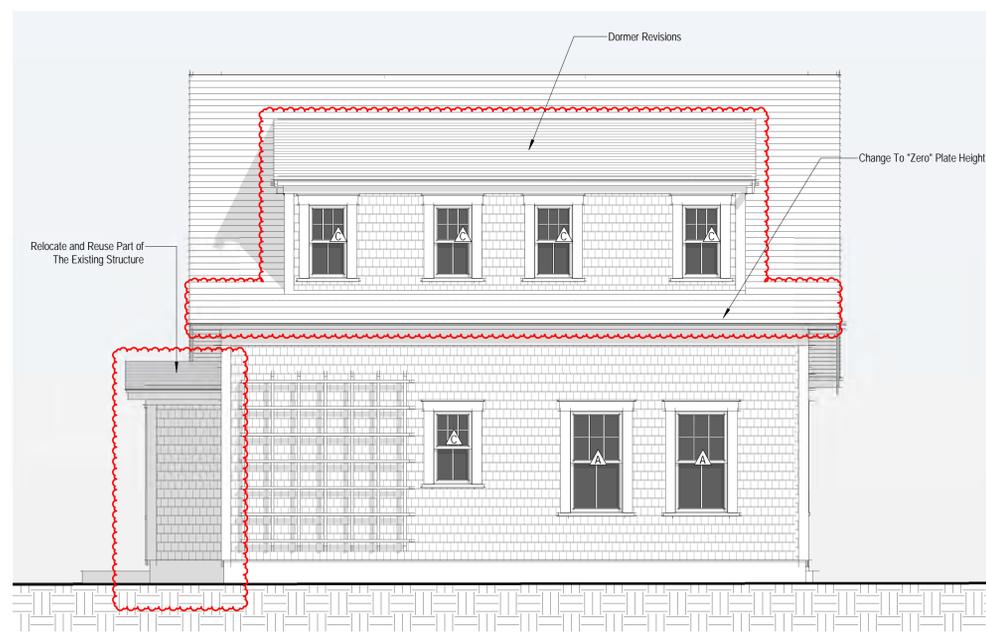
Previously Proposed South Elevation  
1/8" = 1'-0"



Previously Proposed West Elevation  
1/8" = 1'-0"



3 South Elevation  
1/4" = 1'-0"



4 West Elevation  
1/4" = 1'-0"

1912  
Wilner Residence

10 Beach St  
Nantucket, MA 02554



EXTERIOR ELEVATIONS

Site Information

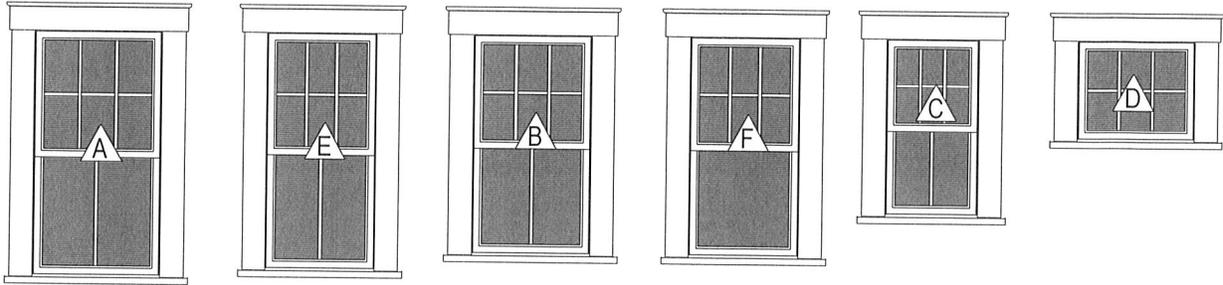
Map & Parcel:	73.2.4 / 10
Current Zoning:	SOH
Minimum Frontage:	50'
Front Setback:	0'
Side/Rear Setback:	5'
Lot Size:	2,419 sf
Min. Lot Size:	5,000 sf
Allowable G.C.:	50% or 1,209 sf
Existing G.C.:	423 sf
Proposed G.C.:	624 sf
Total Proposed G.C.:	624 sf

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

Revisions  
Revision 1 Date 1

THESE DRAWINGS AND THE SCALE PROPERTY OF EMERITUS DEVELOPMENT AND SHALL NOT BE REPRODUCED OR IN ANY MANNER WITHOUT WRITTEN PERMISSION OF EMERITUS DEVELOPMENT. THESE DRAWINGS HAVE BEEN WORKED UP BY THE ARCHITECT AND SHALL BE FORWARDED TO THE PERMITTING AGENCY FOR REVIEW AND APPROVAL.

A.201  
1912

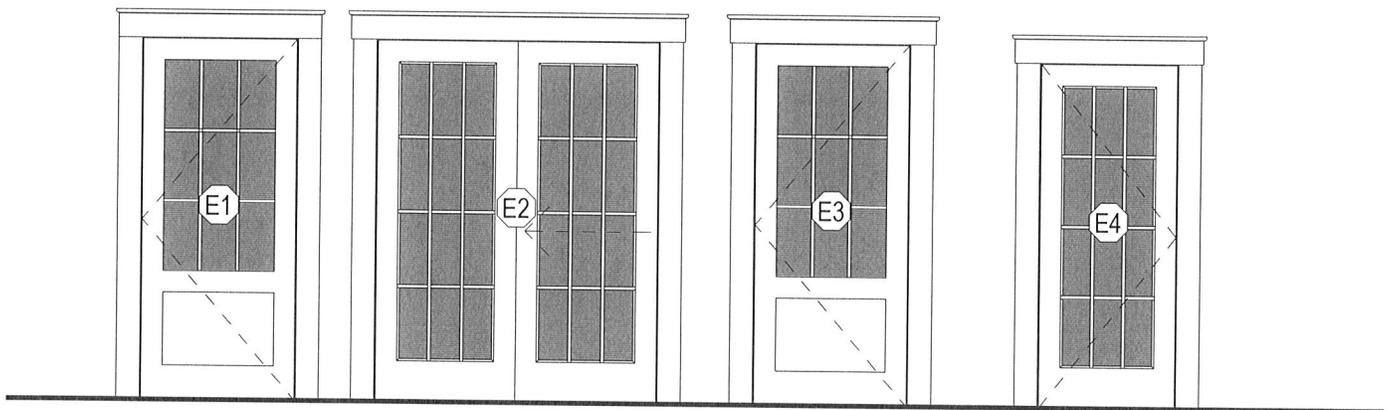


Double Hung  
6/1 SDL

Awning  
6 Lite SDL

## Window Legend

1/4" = 1'-0"



1 Panel/9 Lite SDL Door

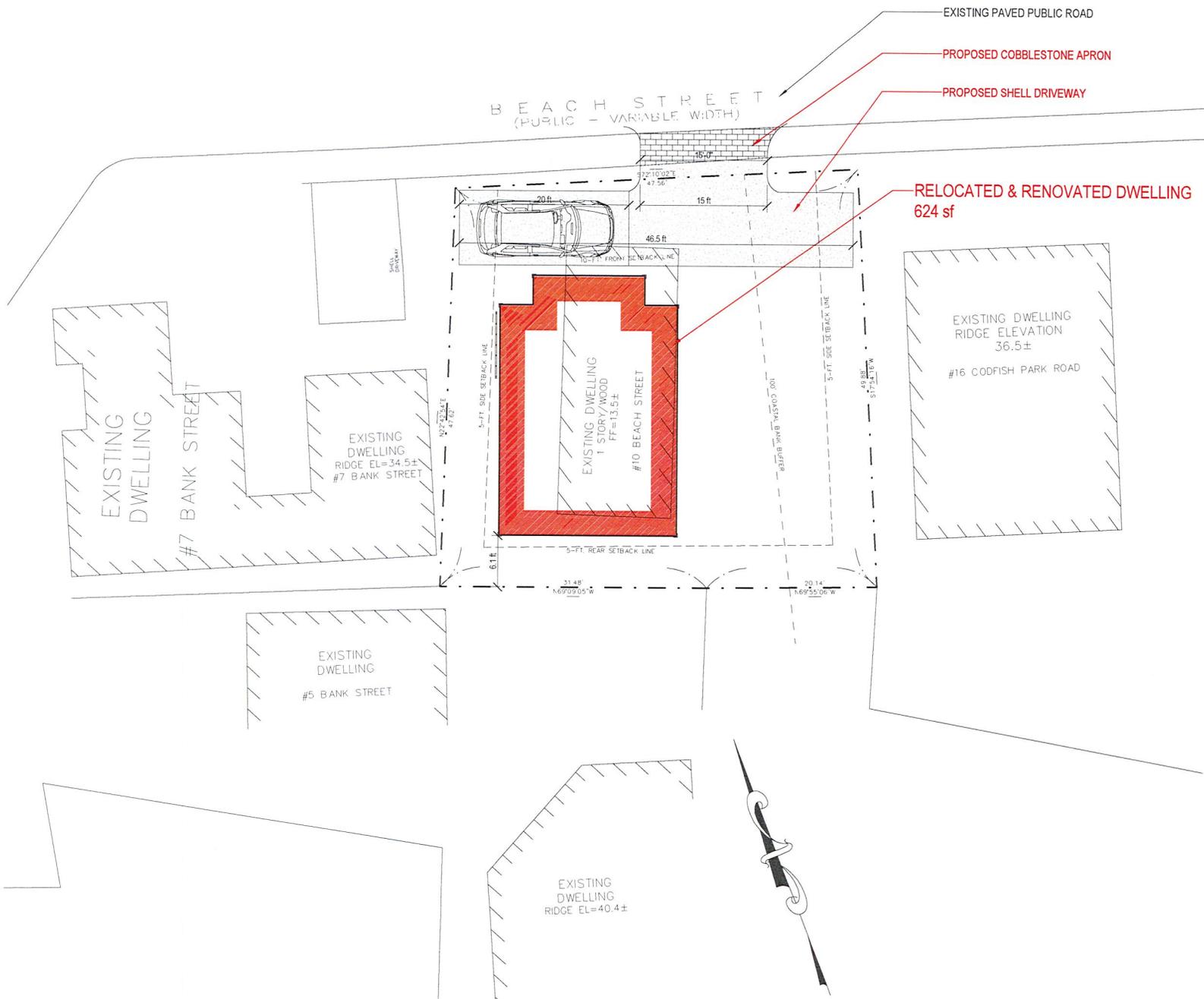
Double Sliding French Door  
12 Lite SDL

1 Panel/9 Lite SDL Door

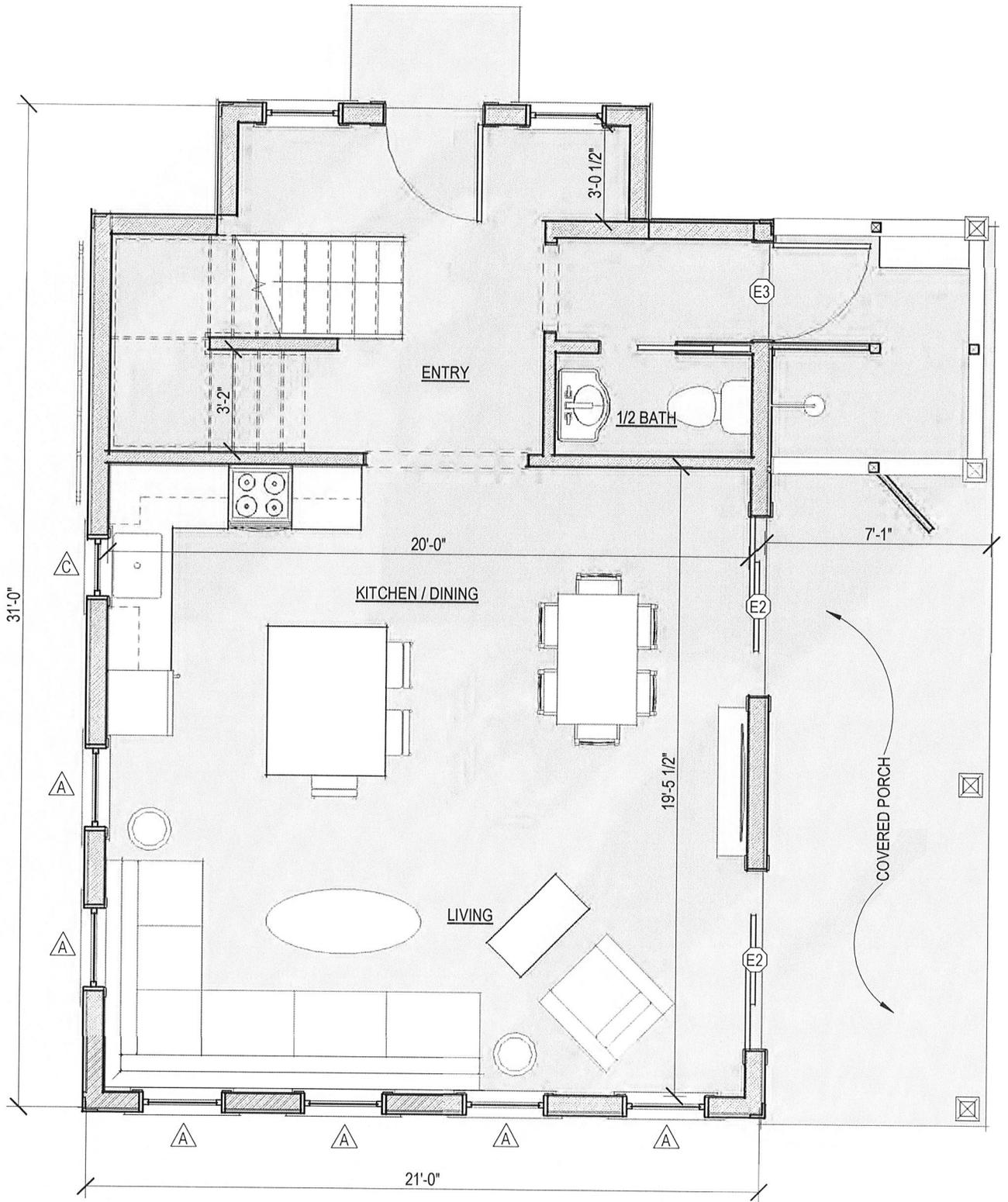
12 Lite SDL Door

## Door Legend

1/4" = 1'-0"

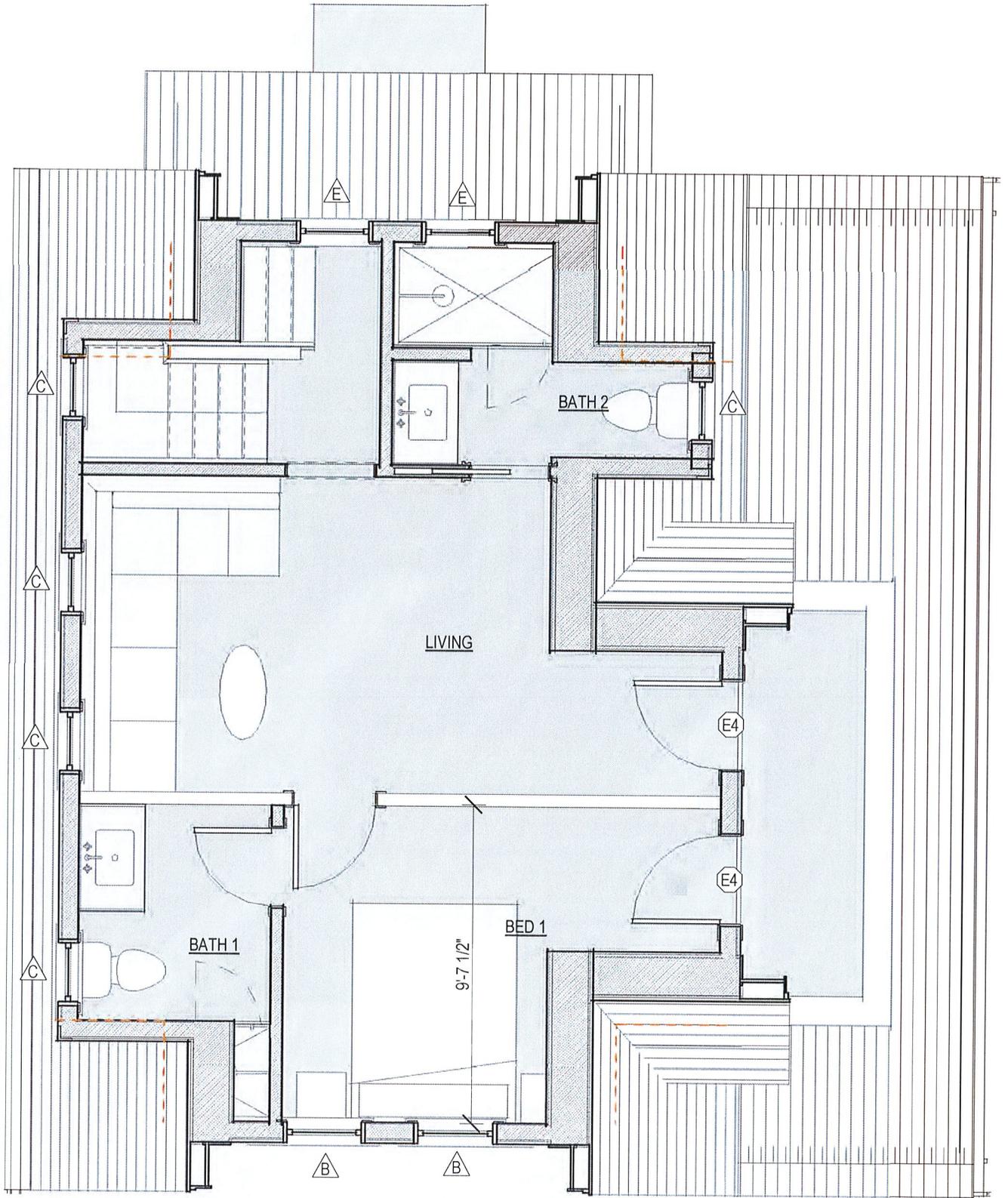


**SITE**  
1/8" = 1'-0"

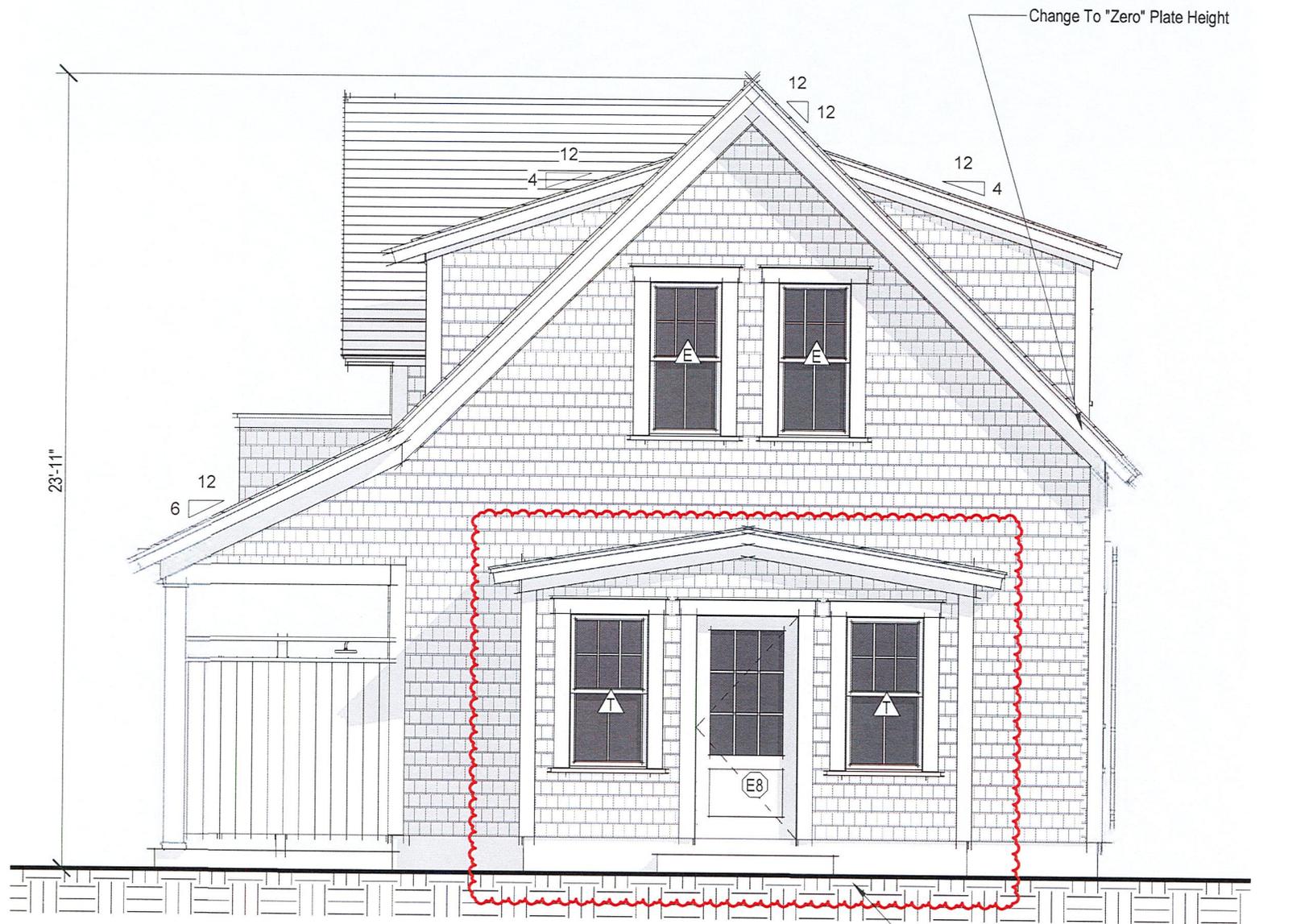


# 1 First Floor Plan

1/4" = 1'-0"

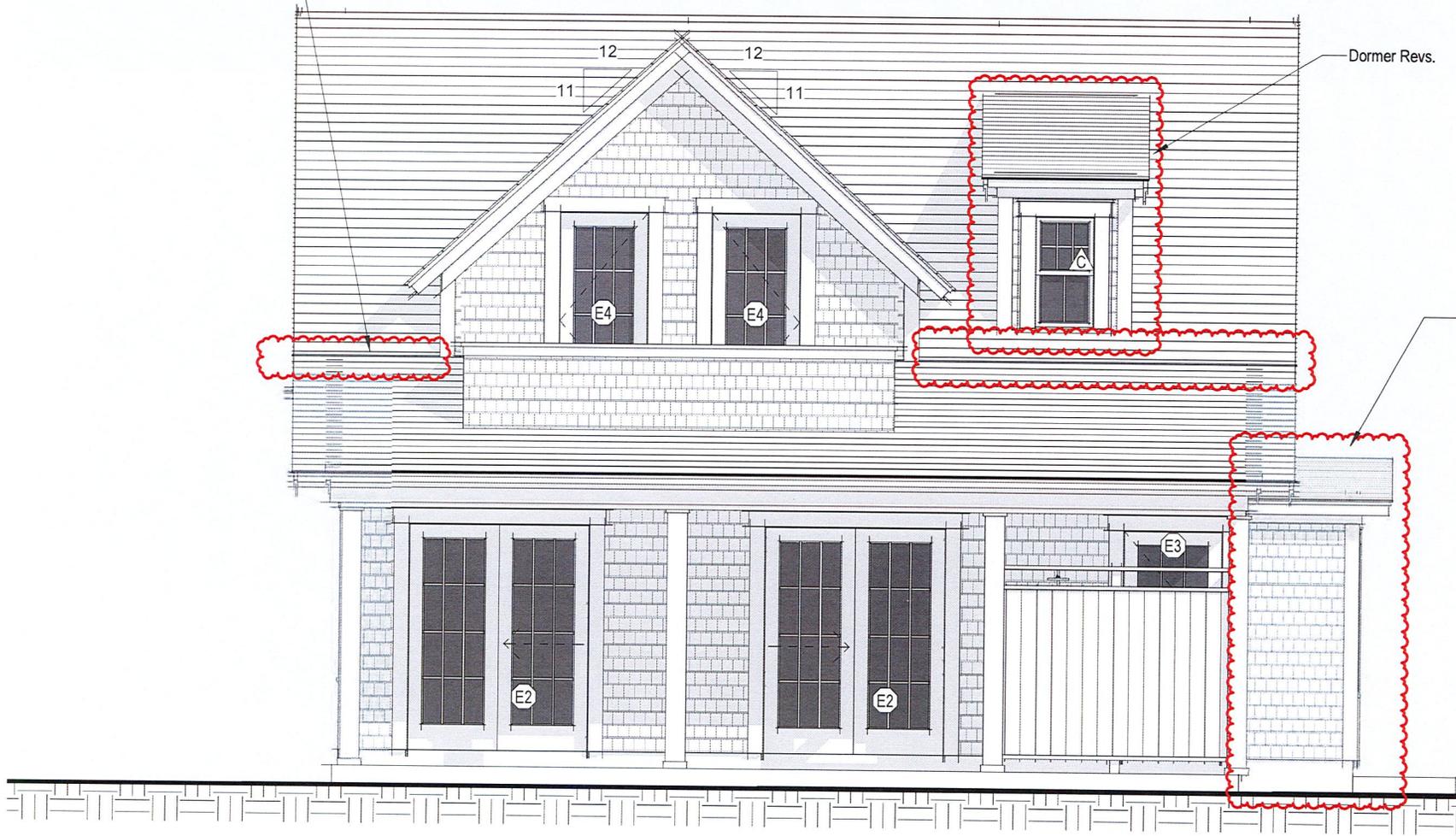


**2** Second Floor  
1/4" = 1'-0"



**1** North Elevation  
 1/4" = 1'-0"

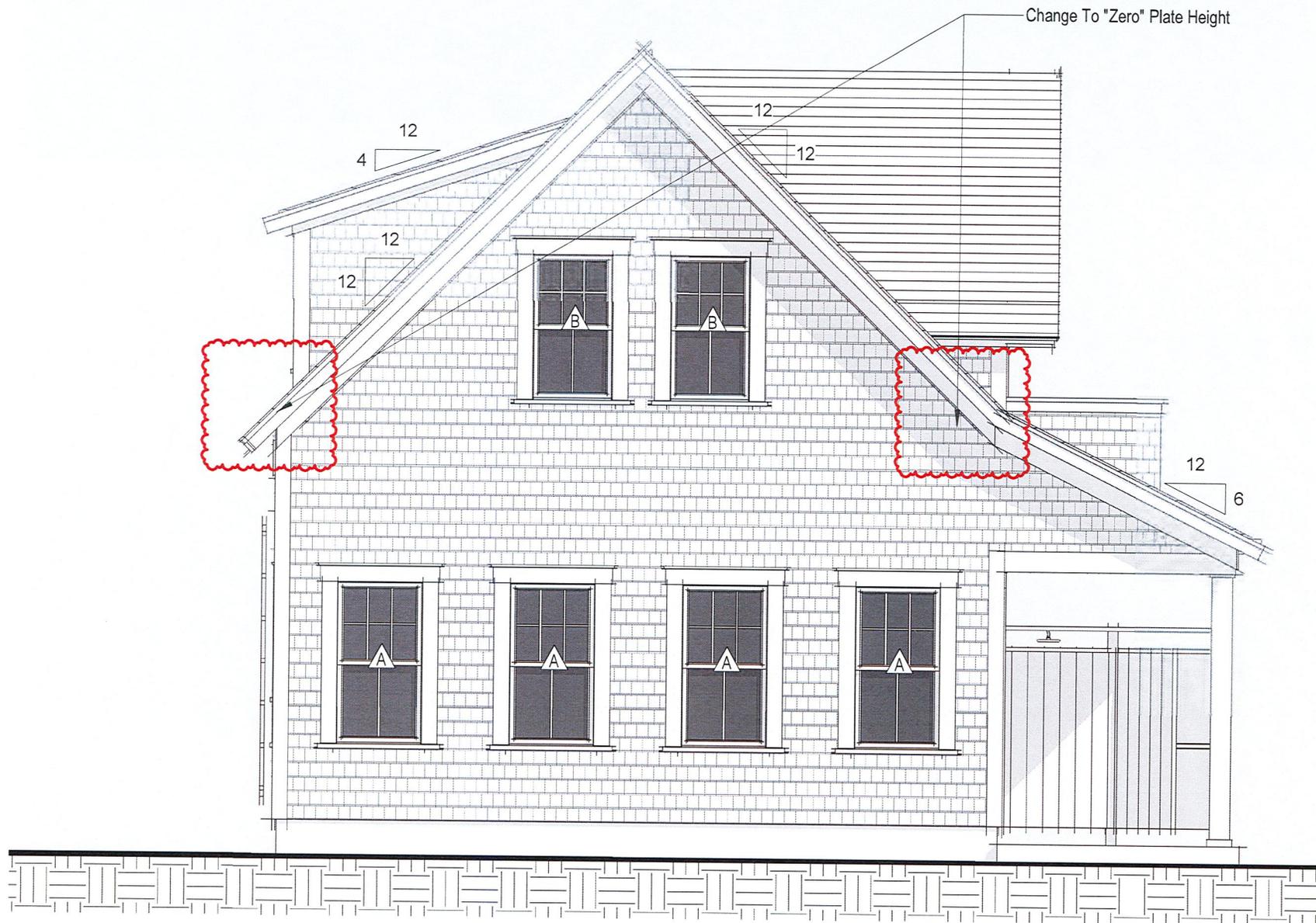
Change To "Zero" Plate Height



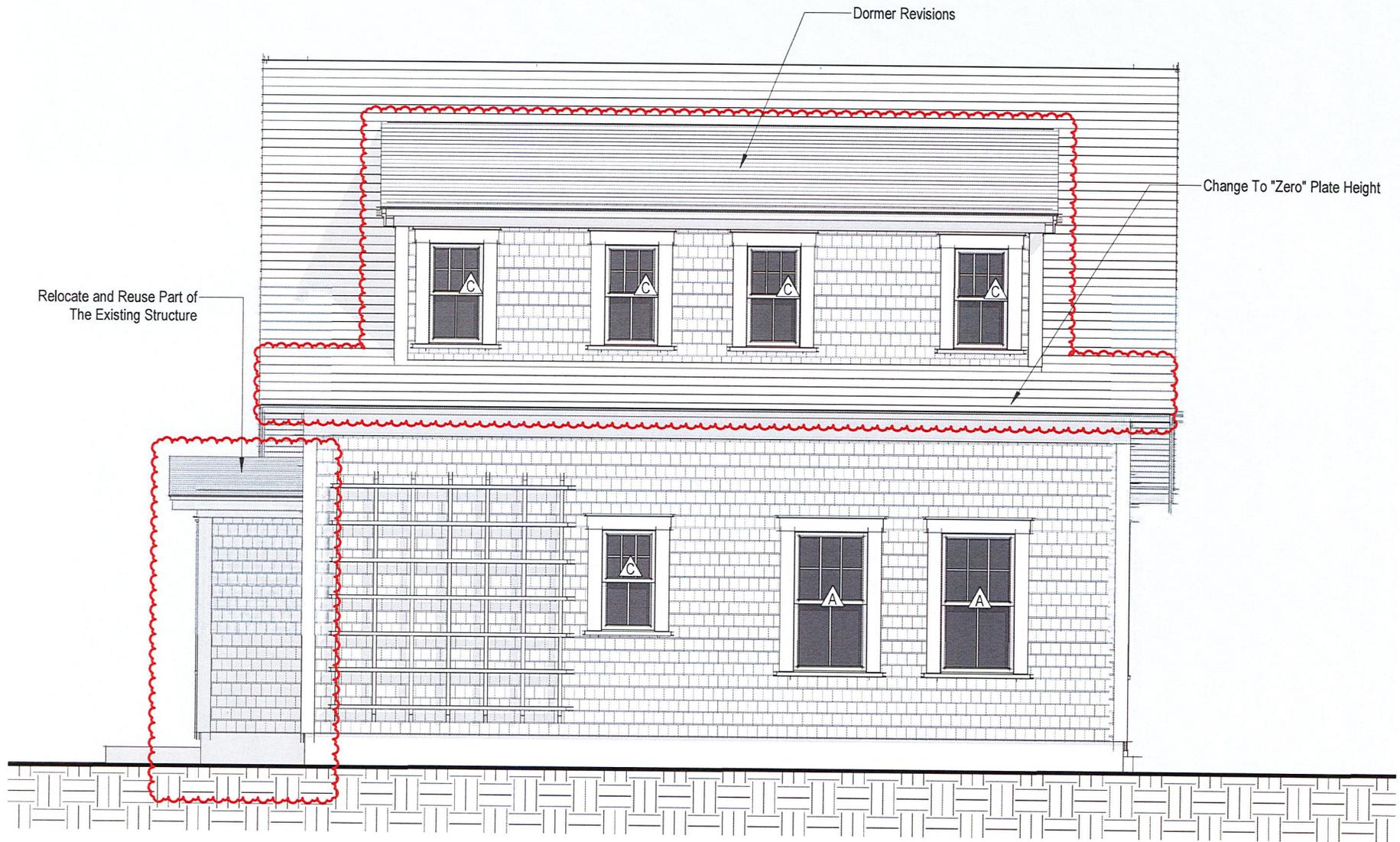
Dormer Revs.

Relocate and Reuse Part of  
The Existing Structure

2 East Elevation  
1/4" = 1'-0"



**3** South Elevation  
1/4" = 1'-0"



**4** West Elevation  
1/4" = 1'-0"