

1. No Meeting Agenda

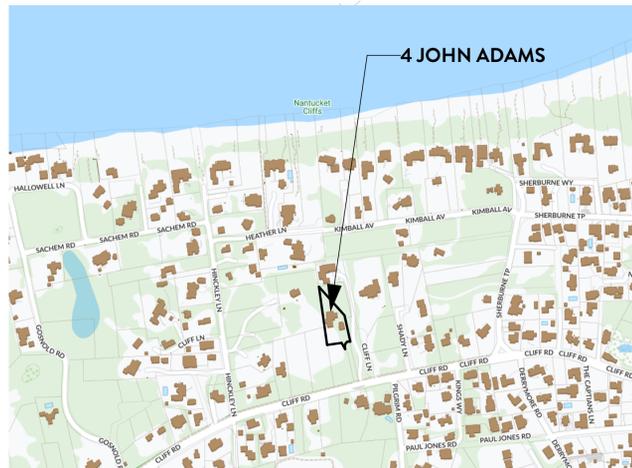
There is no agenda available for this meeting. Please view the minutes.

1.1. Old Business For 8/25/20

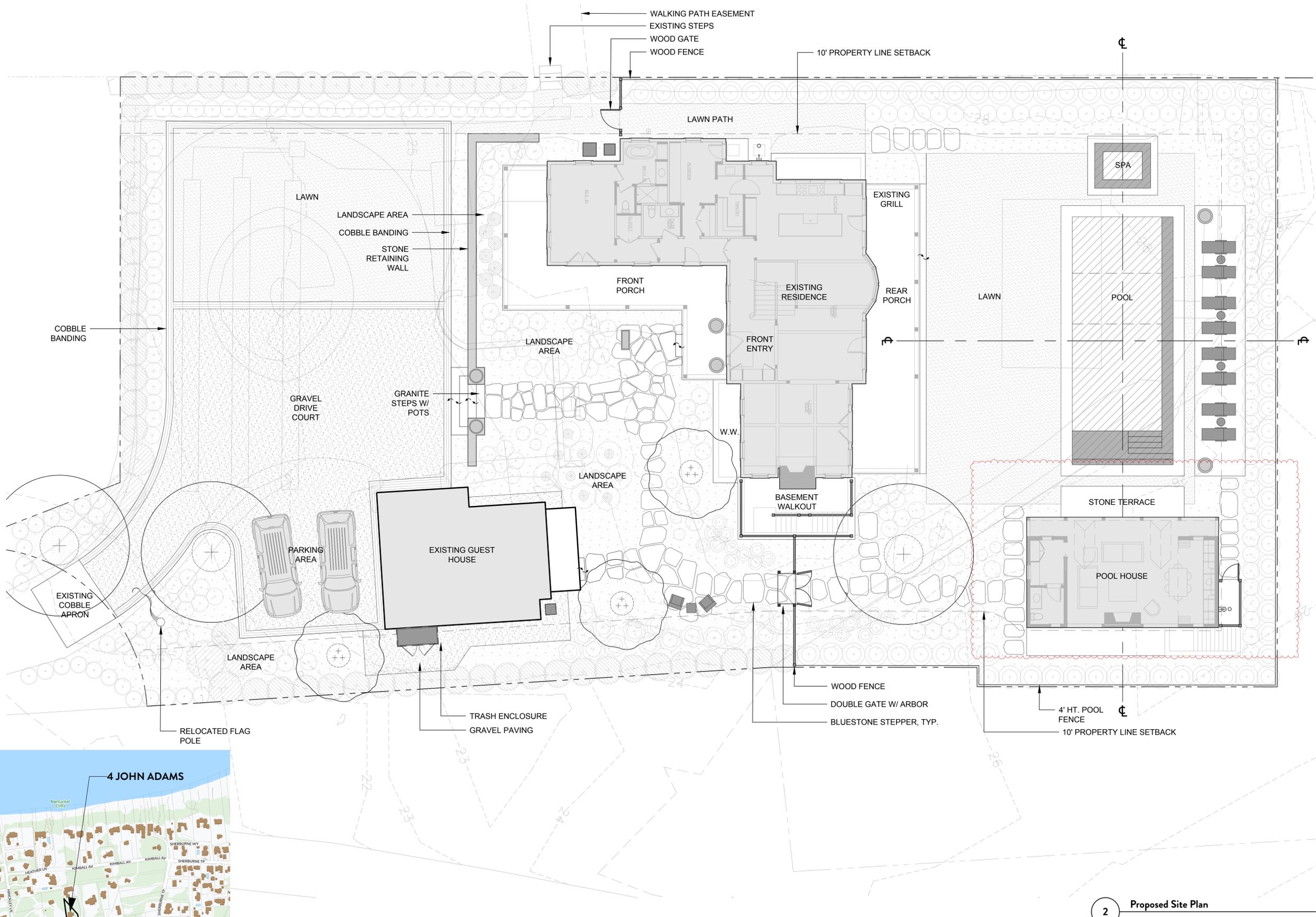
Documents:

4 JOHN ADAMS LANE - CABANA - OB SUB 08 25 2020.PDF
5 N LIBERTY ST - DOOR REPLACEMENT - OB SUB 08 25 2020.PDF
5 S WATER ST - SECOND THIRD FL ADD.PDF
10 BEACH PICS FROM OB 7 28 20.PDF
10 BEACH ST - HISTORICAL INFO.PDF
10 BEACH ST - NEW DWELLING - OB SUB 08 25 2020.PDF
10 BEACH ST- DEMO DWELLING OB SUB FROM 3-17-20.PDF
24 BARTLETT FARM RD - POOL - OB SUB 08 25 2020.PDF
32 N LIBERTY ST - LETTER FROM OWNER 08 25 2020.PDF
32 N LIBERTY ST - NEW ADDITION - OB SUB 08 25 2020.PDF
32 WEST CHESTER ST - NEW DWELLING - OB SUB 08 25 2020.PDF
50 WEEWEEDER AVE - POOL - OB SUB 08 25 20.PDF
60 WALSH ST - NEW GYM REC BARN - OB SUB 08 25 2020.PDF
73 BAXTER RD - GARAGE - OB SUB 08 25 2020.PDF
73 BAXTER RD - MOVE DEMO GARAGE - OB SUB 08 25 2020.PDF
73 BAXTER RD - MOVE DEMO GARAGE PICTURES - 08 25 2020.PDF
81 CLIFF ROAD - ADDITION - OB SUB 08 25 2020.PDF
287 HUMMOCK POND RD - MOVE TO 289 HPR AND ADDITION - OB SUB
FOR 08 25 2020.PDF
287 HUMMOCK POND ROAD - MOVE GARAGE ON LOT AND MODIFY
EXTERIOR.PDF

4. Mark Wendling	07-1397	4 John Adams Lane	Pool, spa, patio, & fence	30/628	Botticelli & Pohl
Voting	Coombs (acting chair), Camp, Oliver, Welch				
Alternates	None				
Recused	Pohl				
Documentation	Landscape design plans, site plan, and photos.				
Representing	Lisa Botticelli, Botticelli & Pohl				
Public	None				
Concerns (5:19)	Botticelli – Presented project; believes it will not be visible; 18X40 pool. Oliver – This property is down a long, shared driveway. No concerns.				
Motion	Motion to Approve as submitted. (Welch)				
Roll-call Vote	Carried 4-0//Camp, Oliver, Welch, and Coombs-aye			Certificate #	HDC2020-07-1397
5. Mark Wendling	07-1396	4 John Adams Lane	Hardscaping – paving & walls	30/628	Botticelli & Pohl
Voting	Coombs (acting chair), Camp, Oliver, Welch				
Alternates	None				
Recused	Pohl				
Documentation	Landscape design plans, site plan, and photos.				
Representing	Lisa Botticelli, Botticelli & Pohl				
Public	None				
Concerns (5:19)	Botticelli – Presented project; believes it will not be visible. Welch – Clarified the material for the retaining walls. Asked if it's fixed-cut veneer. No concerns. Oliver – No concerns. Camp – She doesn't want the wall to look like stone stuck into concrete.				
Motion	Motion to Approve as submitted. (Oliver)				
Roll-call Vote	Carried 4-0//Camp, Welch, Oliver, and Coombs-aye			Certificate #	HDC2020-07-1396
6. Mark Wendling	07-1395	4 John Adams Lane	Cabana	30/628	Botticelli & Pohl
Voting	Coombs (acting chair), Camp, Oliver, Welch				
Alternates	None				
Recused	Pohl				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Lisa Botticelli, Botticelli & Pohl				
Public	None				
Concerns (5:28)	Botticelli – Presented project; there are going to be design changes and she wants to prove it will not be visible. Oliver – No concerns; hopes it can't be seen because she doesn't see the need for dormers on an open structure. She would prefer shingle siding. Welch – Agrees with Ms. Oliver. Camp – Agrees with what's been said. Asked about the siding. If she knew this related right to the main house; she'd be more comfortable with the details. Coombs – Doesn't like the dormers; agrees about it being shingled.				
Motion	Motion to Hold for revisions. (Welch)				
Roll-call Vote	Carried 4-0//Camp, Oliver, Welch, and Coombs-aye			Certificate #	
7. 60 Walsh St LLC	08-1512	60 Walsh Street	New barn/gym	29/85.2	Botticelli & Pohl
Voting	Coombs (acting chair), Camp, Oliver, Welch				
Alternates	None				
Recused	Pohl				
Documentation	Architectural elevation plans, site plan, photos, and advisory comments.				
Representing	Lisa Botticelli, Botticelli & Pohl				
Public	None				
Concerns (5:32)	Botticelli – Presented project; batten board will be natural to weather. Would prefer an approval without the cupola and with siding to be shingled until it's all framed in. Suggested a barn door over the garage door. Backus – Read HSAB comments: white vertical batten boards, overhead garage door, rear deck, large panes, sliding doors; recommend a view. Camp – There are no barns down there and the cupola is inappropriate; should be shingled versus batten; likes the innovative windows. Welch – Agrees with Ms. Camp. Suggested the cupola and wall finishes could be approved without those without prejudice until everything is framed in or we could view it; though it could be hard to know how it will look without the structure in place. If the cupola is going to be retained, a view would be helpful. The structures address the setback at an oblique angle. Oliver – Her concern is visibility from Brant Point Road; from Walsh, it's behind another building. Agrees with what's been said about the cupola, siding and garage doors. Coombs – Agrees about the siding and cupola. Looking at the site plan, the barn and the buildings are right on the front, side, and rear set-back lines. She'd like to view this with a height pole for the barn.				
Motion	Motion to View with a height pole and hold for revisions. (Camp)				
Roll-call Vote	Carried 4-0//Oliver, Welch, and Coombs-aye			Certificate #	



1 Locus Map



2 Proposed Site Plan

BOTTICELLI & POHL

DATE	REVISIONS

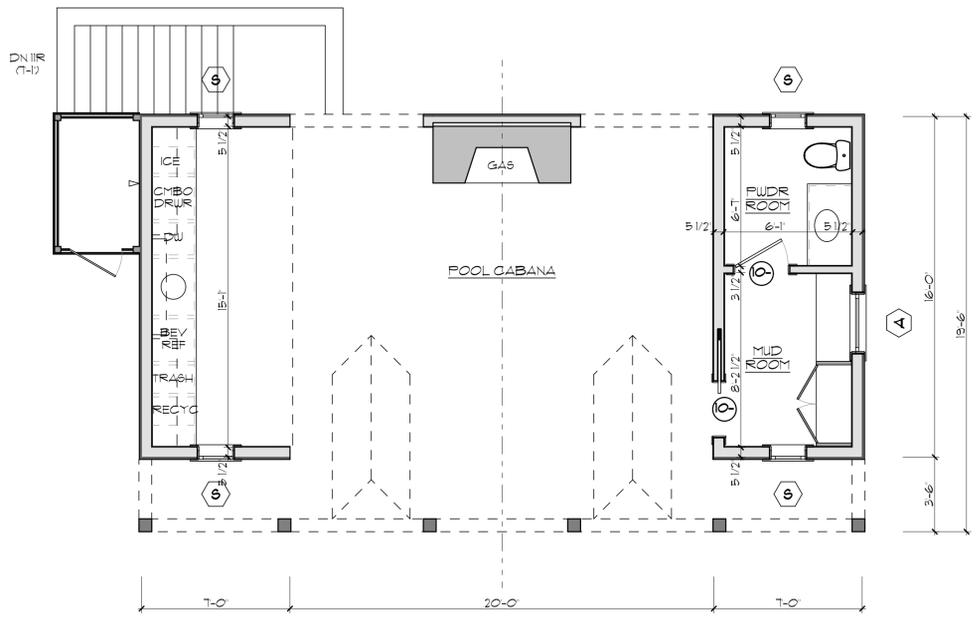
Site Plan

Renovations at
4 John Adams Lane
Nantucket, MA 02554

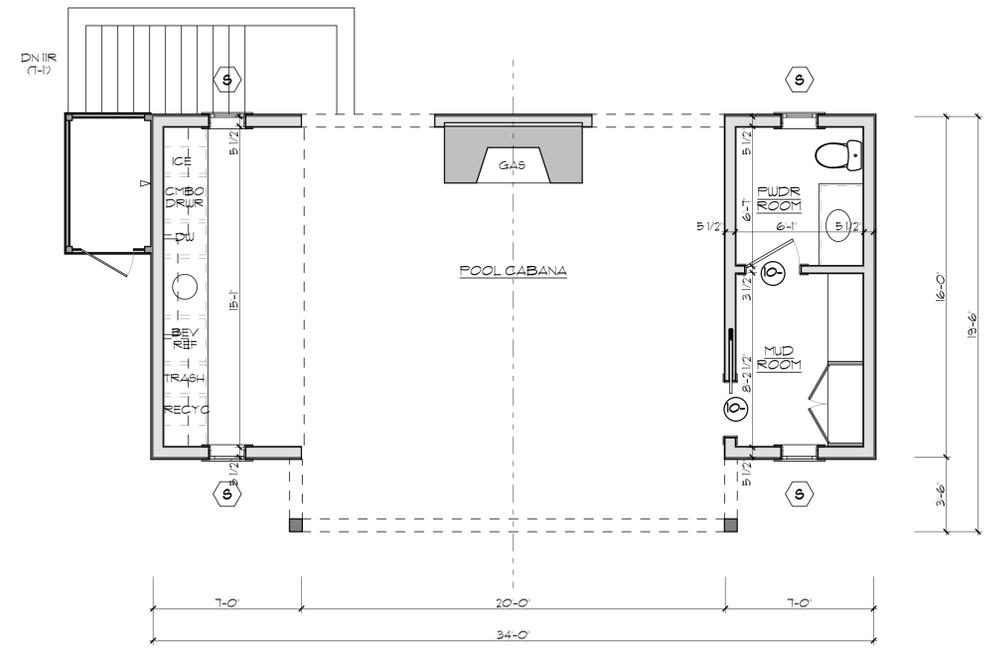
MAP NO: 30 ZONING INFO: R20 REVISED: June 23, 2020
 PARCEL NO: 628 PROJECT NO: 45
 All drawings and designs contained are the sole property of Botticelli & Pohl, P.C.
 No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.

ID#
L-1.1

DATE	REVISIONS



2 PREVIOUSLY SUBMITTED FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
 Scale: 1/4" = 1'-0"



PREV. SUBMITTED EAST ELEVATION
Scale: 1/8" = 1'-0"

Pool Cabana at
4 John Adams Lane
Nantucket, MA
Window & Exterior Door Schedule

H.D.C. Submission: 2020-7-28
Rev. 2020-8-13

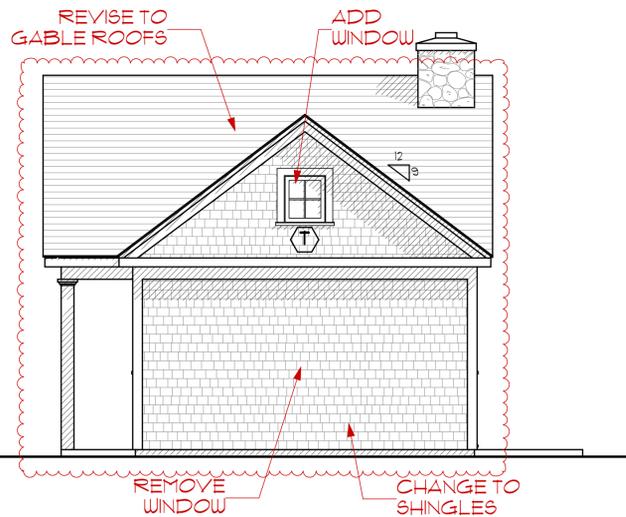
Window Schedule									
No.	Qn.	Type	Manuf.	Unit Size	Rough Opening	Model	Lights	Comments	
F	1	Fixed	Andersen	2'-1 1/2" x 3'-8 1/2"	TBD		5		
S	4	Fixed	Andersen	1'-8 1/2" x 4'-0"	1'-8" x 4'-0 1/2"	CN14	6		
T	2	Fixed	Andersen	2'-0 1/8" x 2'-4 3/8"	2'-0 3/8" x 2'-4 7/8"	CI25	4		

Door Schedule									
No.	Qn.	Type	Manuf.	Unit Size	Rough Opening		Lights	Comments	
C-1	1	Crawl Space Door	TBD	3'-0" x 6'-0"	TBD		0		

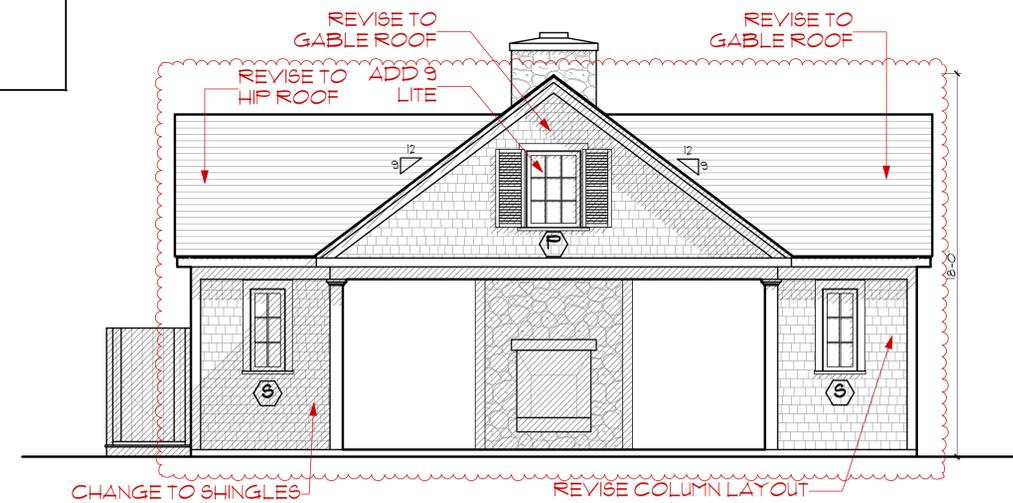
Notes:
 1. All windows will be Andersen 400 Series windows as per above schedule, double glazed, Low-E4 glass, 8DL with 3/4" muntins per light pattern above.
 2. All glazing to come with compliance sticker as required by local building codes.
 3. Door manufacturer TBD, double glazed, Low-E4 glass, 8DL with 3/4" muntins per light pattern above.
 4. All glazing to come with compliance sticker as required by local building codes.
 5. Mill shop will provide shop drawings for all window and door units to architect for approval prior to commencing construction.
 6. Provide all windows, including sidelights, transoms, and fixed windows, with mahogany half screens with Phifer BetterVue screen or similar where applicable.
 7. Provide tempered glass in all locations required by code.



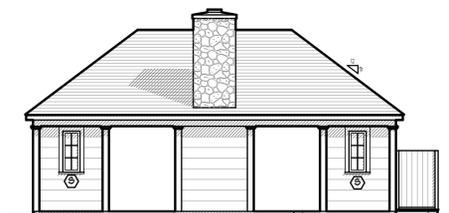
PREV. SUBMITTED SOUTH ELEVATION
Scale: 1/8" = 1'-0"



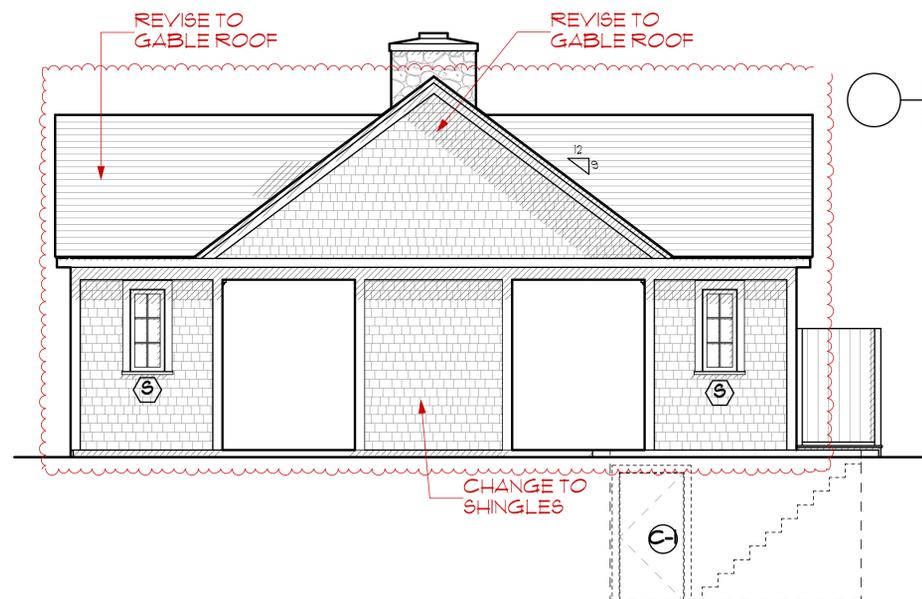
2 PROPOSED EAST ELEVATION
Scale: 1/4" = 1'-0"



1 PROPOSED SOUTH ELEVATION
Scale: 1/4" = 1'-0"



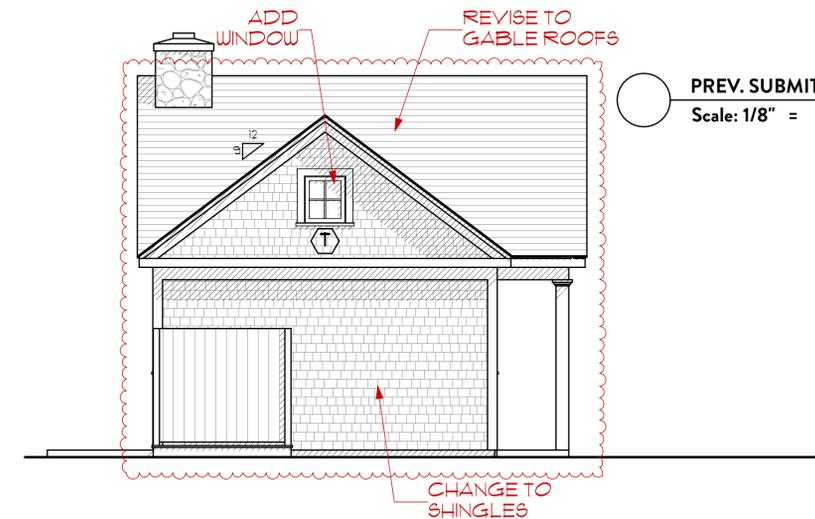
PREV. SUBMITTED NORTH ELEVATION
Scale: 1/8" = 1'-0"



3 PROPOSED NORTH ELEVATION
Scale: 1/4" = 1'-0"



PREV. SUBMITTED WEST ELEVATION
Scale: 1/8" = 1'-0"



4 PROPOSED WEST ELEVATION
Scale: 1/4" = 1'-0"

DATE	REVISIONS

Pool Cabana Exterior Elevations

BOTTICELLI & POHL

17. Wayne L Rogers Trust 08-1522	5 North Liberty Street	Door replacement	42.3.4/7	NAG
Voting	Pohl, Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.			
Representing	Steve Theroux, Nantucket Architectural Group			
Public	None			
Concerns (7:29)	<p>Backus – Circa 1930; theater 1940 through 1960s; recommends approval. Read HSAB comments.</p> <p>Theroux – Presented project; owner wants the Dutch door and front door to match</p> <p>Oliver – The 9-light Dutch door is okay, but she doesn't support a 9-light front door.</p> <p>Camp – She supports this.</p> <p>Coombs – A 9-light Dutch door would have to be the same width as the front door.</p> <p>Welch – A Dutch door on the left with current proportions is way out of whack; it won't look like the "new spec" drawing. It needs to be wider or it'll look strange. Suggested, a different configuration than 9 lights in both doors; a 12-light would pick up the existing fenestration.</p>			
Motion	Motion to Hold for revisions with actual drawings of the size and configuration both doors. (Camp)			
Roll-call Vote	Carried 5-0//Coombs, Welch, Oliver, Camp, and Pohl-aye		Certificate #	

18. Town of Nantucket 08-1510	34 Washington Street	New Harbormaster bldg.	42.2.3/2	Charles Gibson
Voting	Pohl, Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.			
Representing	Charles Gibson			
Public	None			
Concerns (7:43)	<p>Backus – Read HSAB comments. Circa 1980s; design needs to fit guidelines.</p> <p>Gibson – In 1977 when the pier was built, there was a small structure. Can't do any further renovations to the existing structure. Presented project.</p> <p>Oliver – Simple is better. Asked if the 6-light windows are operable (not in the toilet spaces). The 6-light and single pane stacked windows could be 6-over-1 double hung; that would be more in keeping with Town. The 6-light proportions could have one more row of vertical panes to be 8-lights. Suggested eliminating the banding. West elevation is the best visual. We try to keep the simulated-divided lights (SDL) out of downtown. Suggested a shingled ramp with handrails on the interior. On the application it says the roof shingle is "weathered" but has no brand or type; clarified what was meant by weathered trim and sandtone sash.</p> <p>Welch – Clean up the fenestration and eliminate the band. The corner boards are undersized; should be 1X8. He thinks the tower, with woven corners and cleaned up fenestration without the band, would have a chance. Noted there are true-divided light (TDL) options to SDLs that are wind-rated; Andersen architectural simulated TDL windows might work. Suggested the porch railing be different from the ramp. A shingle flare would be useful but suggested it be placed higher than the band as shown. The proposed fenestration isn't in keeping with the historic area.</p> <p>Camp – She likes it; reminds her of a building in Newport. The banding could be flared around the windows. Doesn't mind the proposed window configuration. Likes the chimney but wishes the louver weren't necessary. The little windows should be more vertical.</p> <p>Coombs – This is 33.35 feet high; doesn't know that a building this large is necessary. Agrees with Ms. Oliver about the windows. Would prefer TDL in the historic area. North elevation, the five doors are a lot. This is a very formal building. Would like to see more proposals for window configurations; this is an important, working building in a very visible location.</p> <p>Pohl – 33.35 is ridge elevation above sea level; the ridge height of the tower is 29'11". Agrees about reducing the trim; suggested reducing the casing on the north elevation doors. On the tower, the band between 1st & 2nd floor could be a shingle flare. South elevation, there is a lot of shingle wall and there will be vertical board beneath; would like that expanse of shingle broken up somehow. Asked for a color sample of the sandtone.</p>			
Motion	Motion to Hold for revisions. (Coombs)			
Roll-call Vote	Carried 5-0//Camp, Welch, Oliver, Coombs, and Pohl-aye		Certificate #	

19. Ryan Sillery 08-1471	11 Finback Lane	New Dwelling	66/512	Brook Meerbergen
Voting	Pohl, Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Brook Meerbergen			
Public	None			
Concerns (8:15)	<p>Meerbergen – presented project.</p> <p>No concerns.</p>			
Motion	Motion to Approve as submitted. (Oliver)			
Roll-call Vote	Carried 5-0//Welch, Camp, Coombs, Oliver, and Pohl-aye		Certificate # HDC2020-08-1471	

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 42.34 PARCEL N°: 7
 Street & Number of Proposed Work: 5 N. LIBERTY ST.
 Owner of record: WAYNE L ROGERS TRUST
 Mailing Address: 5 N. LIBERTY ST
NANTUCKET MA.
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: NANTUCKET ARCHITECTURE CORP
 Mailing Address: PO BOX 1814
NANTUCKET MA
 Contact Phone #: 228 5629 X 2 E-mail: _____
WWW.NANTUCKETARCHITECTURE.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other: DOOR REPLACEMENT
 Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
 Original Date: _____ (describe) 2. South Elevation REPLACE TWO DOORS ON SOUTH ELEV.
 Original Builder: _____ 3. West Elevation
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation
 *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size): _____
 Siding: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
 Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
 Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
 Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

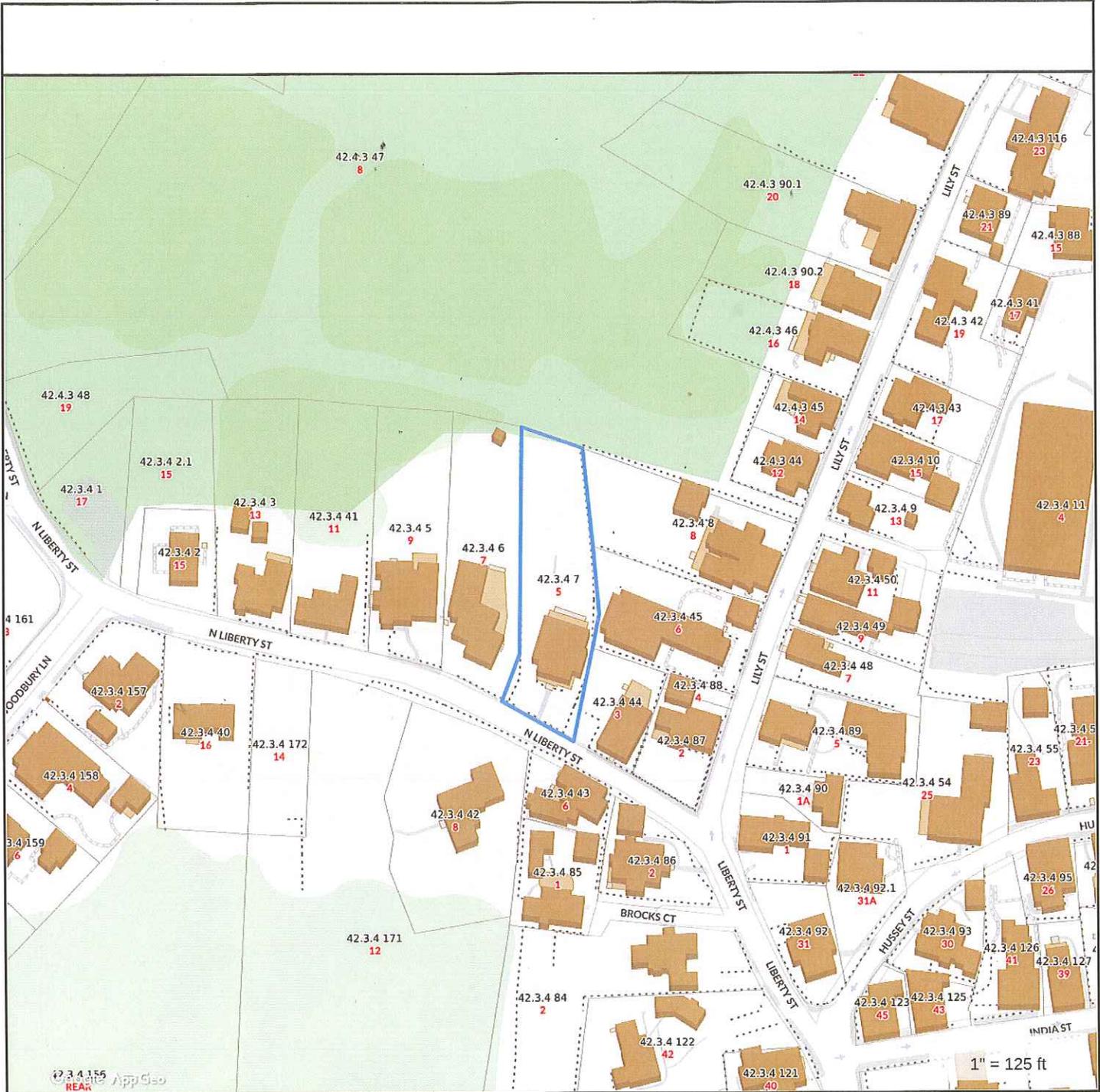
Sidewall WH Clapboard (if applicable) _____ Roof EXIST
 Trim WHITE Sash EXIST Doors _____
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 8/1/2020 Signature of owner of record _____

Signed under penalties of perjury



Property Information	
Property ID	42.3.4.7
Location	5 N LIBERTY ST
Owner	ROGERS WAYNE L TRST


MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT
 Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.
 Geometry updated 11/13/2018
 Data updated 11/19/2018

1" = 125 ft



2013 00000055
 Bk: Pg: 0 Page: 0
 Doc: PLAN 09/26/2013 03:38 PM

NANTUCKET REGISTRY
 OF DEEDS
 Date: 09/25/2013
 Time: 3:36 PM
 Plan No: 2013-55
 Registrar: *Demetri H. Fournier*
 Assistant: _____

Sheet 1 of 1

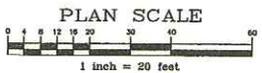
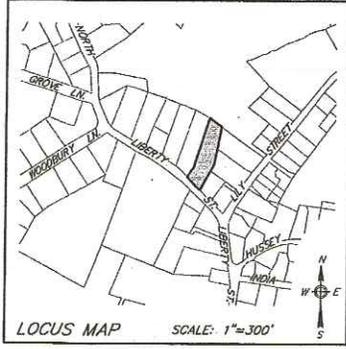
RESERVED FOR REGISTRY USE

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMANCE WITH THE RULES AND REGULATIONS OF THE REGISTRY OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS.

I CERTIFY THAT THE PROPERTY LINES SHOWN ON THIS PLAN ARE THE LINES DIVIDING EXISTING OWNERSHIPS, AND THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED, AND THAT NO NEW LINES FOR DIVISION OF EXISTING OWNERSHIP OR FOR NEW WAYS ARE SHOWN.

9/24/13
 ALAN M. GRADY
 No. 37732
 PROFESSIONAL
 LAND SURVEYOR
 ALAN M. GRADY, PLS
 MASSACHUSETTS REG.
 NO. 37732

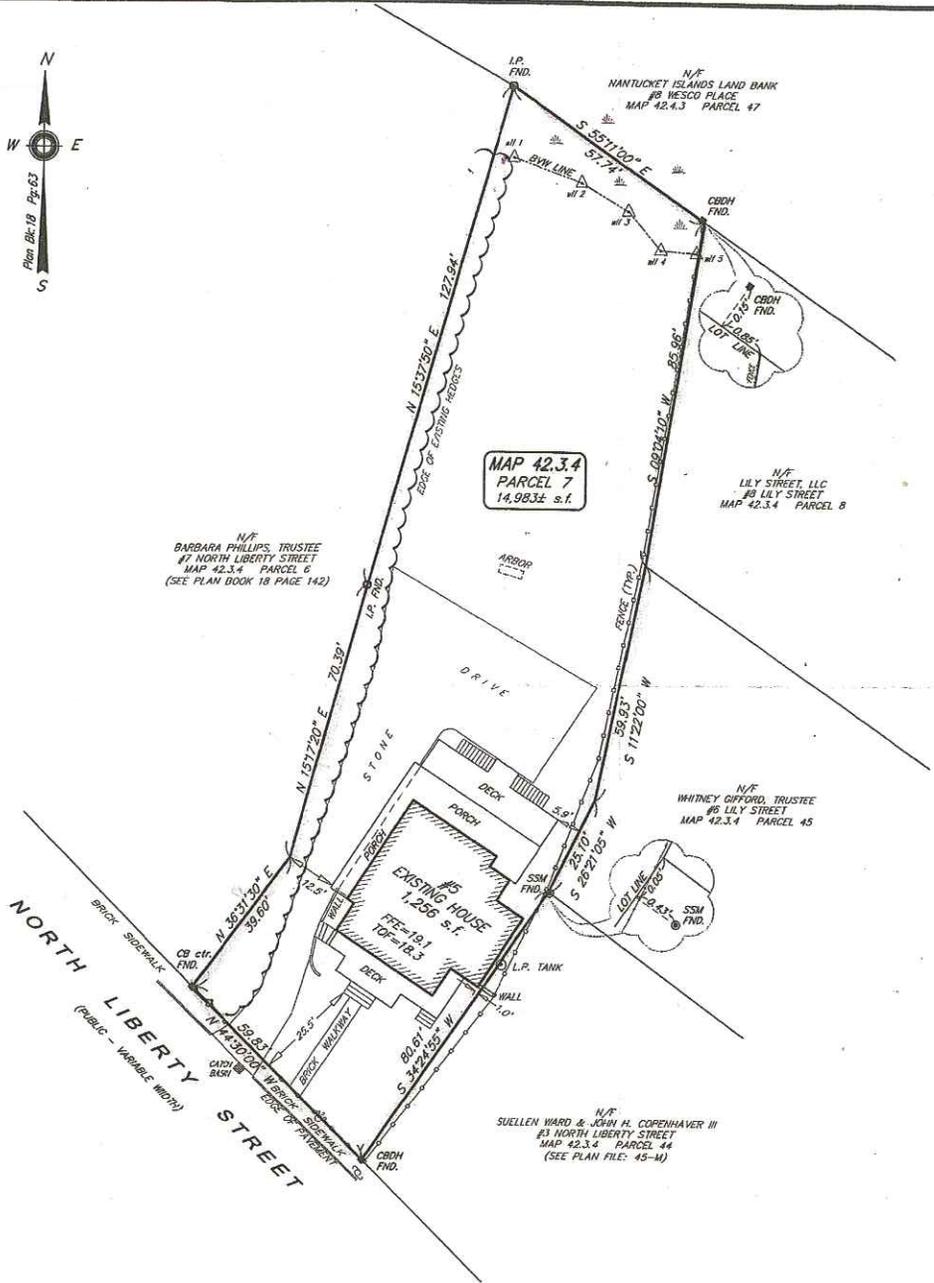
PLAN OF LAND
 IN
 NANTUCKET, MASS.
 OWNED BY
 JOHN A. DUNNING &
 ACKLEN R. DUNNING
 #5 NORTH LIBERTY STREET
 PREPARED BY
 BRACKEN ENGINEERING, INC.
 19 OLD SOUTH ROAD
 NANTUCKET, MA 02554
 tel: (508) 325-0044
 fax: (508) 833-2282
 SCALE: 1" = 40' SEPT. 24, 2013



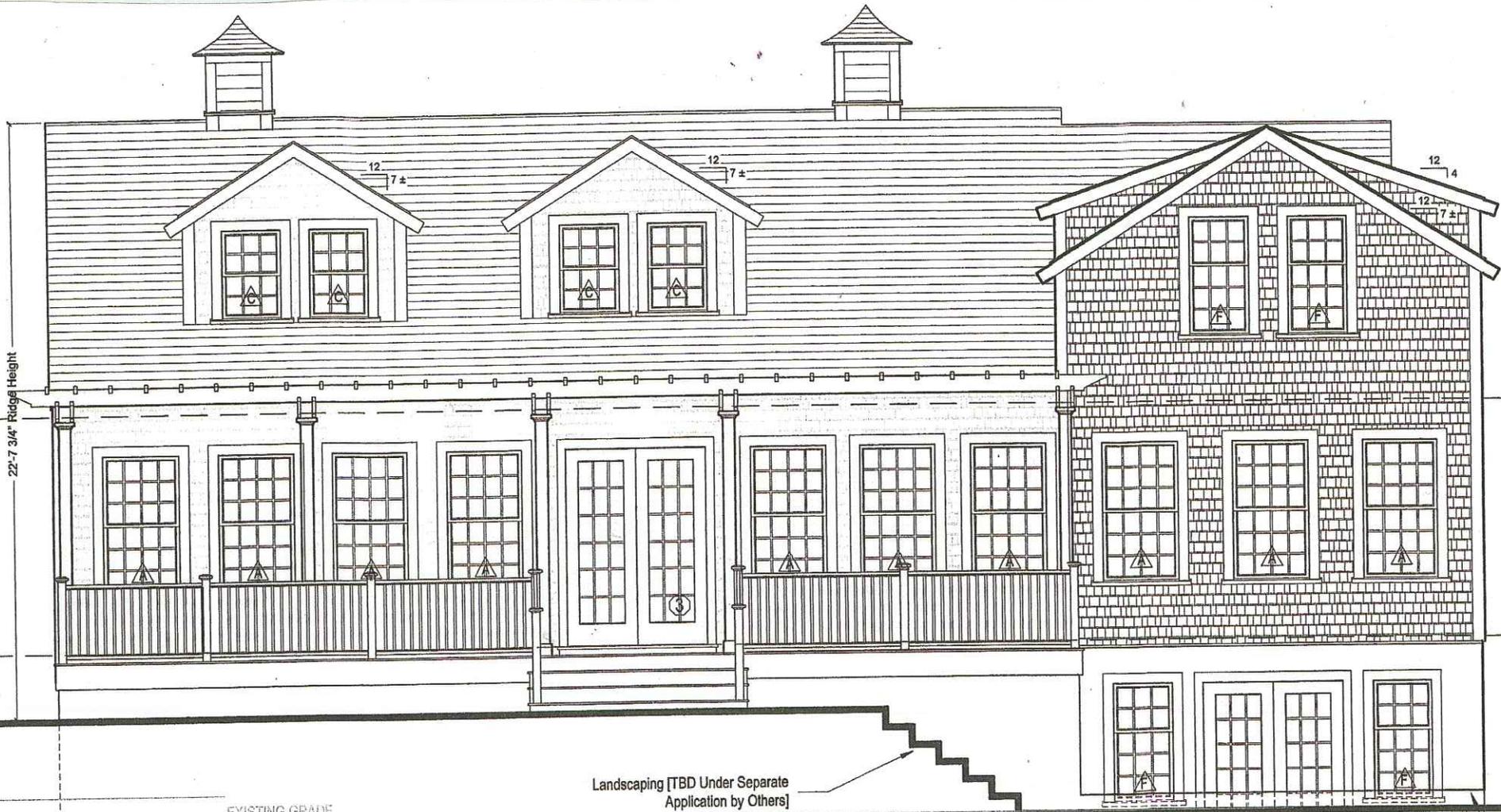
Notes

- LOCUS: #5 NORTH LIBERTY STREET MAP 42.3.4 PARCEL 7
- OWNER: JOHN A. DUNNING and ACKLEN R. DUNNING 230 NORTH OCEAN BLVD. DELRAY BEACH, FL 33483
- DEED REF: Bk:1133 Pg:342(REFERS TO PLAN BOOK 18 PAGE 63)
- ALSO SEE BOUNDARY LINE AGREEMENT IN BOOK 131 PAGE 51.(MARGINAL REFERENCE ALSO TO PLAN BOOK 18 PAGE 63)
- SEVERAL DEEDS IN THE LOCUS CHAIN OF TITLE (BK 653 PGS 128 & 130, AND BK 162 PG 226) REFER TO LOT 4 IN PLAN BOOK 18 PAGE 142. SAID PLAN ATTEMPTED TO SHOW THE LOCUS AND DIVIDE ADJACENT LAND TO THE WEST. HOWEVER, THE PLAN DOES NOT TAKE THE ABOVE REFERENCED BOUNDARY LINE AGREEMENT INTO ACCOUNT. PLAN ALSO CONTAINS MATHEMATICAL ERRORS WITH RESPECT TO THE WESTERLY LINE OF THE LOCUS.
- LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP COMMUNITY PANEL No. 250230-0011-D dated 07/02/1992.
- LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.
- ZONE: ROH

	REQUIRED
LOT AREA:	5,000 s.f.
FRONTAGE:	50'
FRONT YARD:	0'
SIDE YARD:	5'
REAR YARD:	5'
COVERAGE:	50% (MAX)



5:\ntucket Drawings\Nantucket\North Liberty Street\15 North Liberty Street\15 North Liberty Street - Ex. Conting

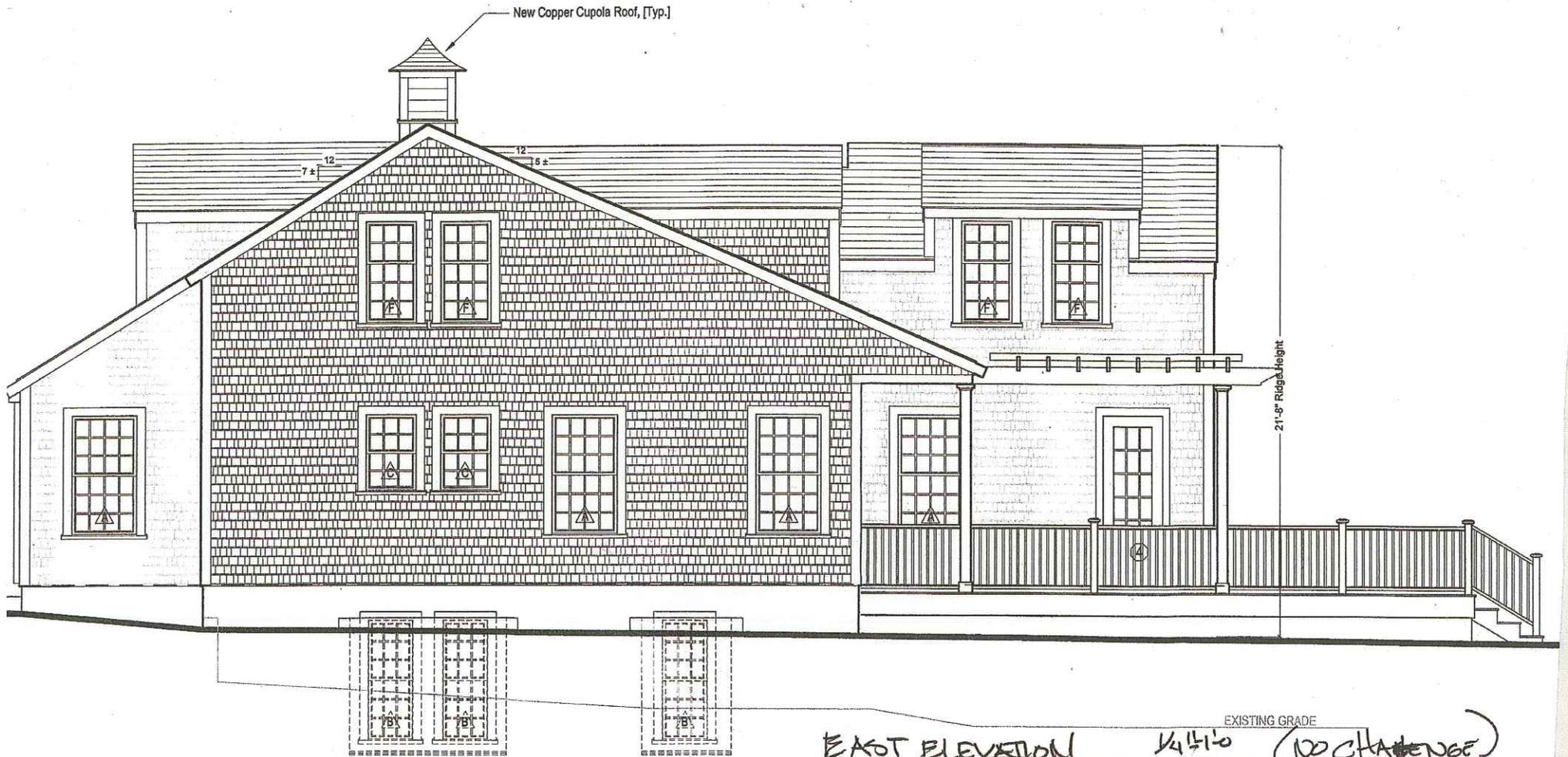


22'-7 3/4" Ridge Height

EXISTING GRADE

Landscaping [TBD Under Separate Application by Others]

NORTH ELEVATION 1/4"=1'-0" (NO CHANGE)

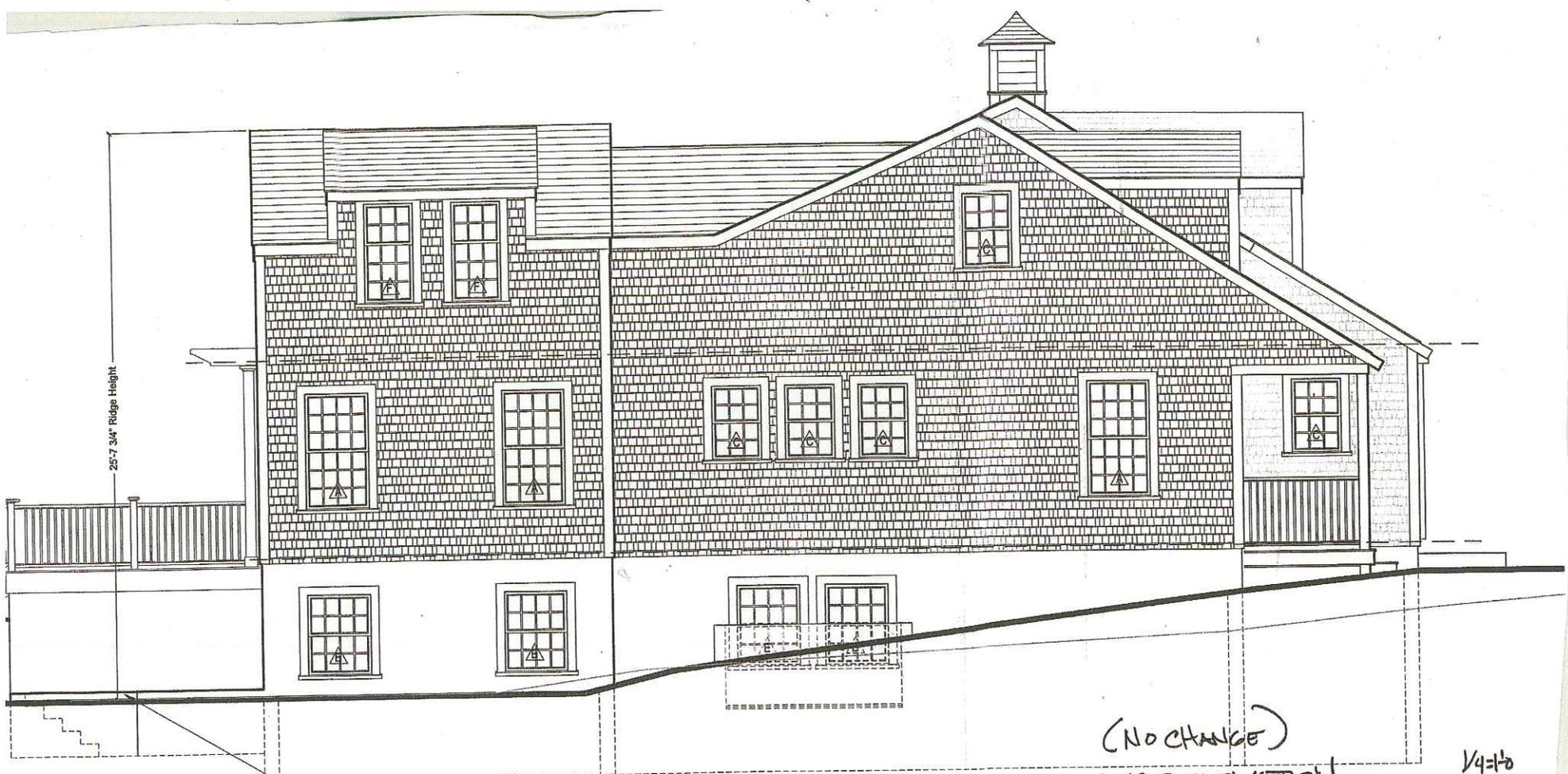


New Copper Cupola Roof, [Typ.]

21'-0" Ridge Height

EXISTING GRADE

EAST ELEVATION 1/4/10 (100 CHALLENGE)



Stone Retaining Wall [Stone TBD Under
Separate Application by Others]

(NO CHANGE)
WEST ELEVATION

1/4=10



(A)

PROPOSED 9 LIGHT DOOR
 3'-0" x 7'-6 1/2" BOTH DOORS
 SAME SIZE



EXISTING GRADE

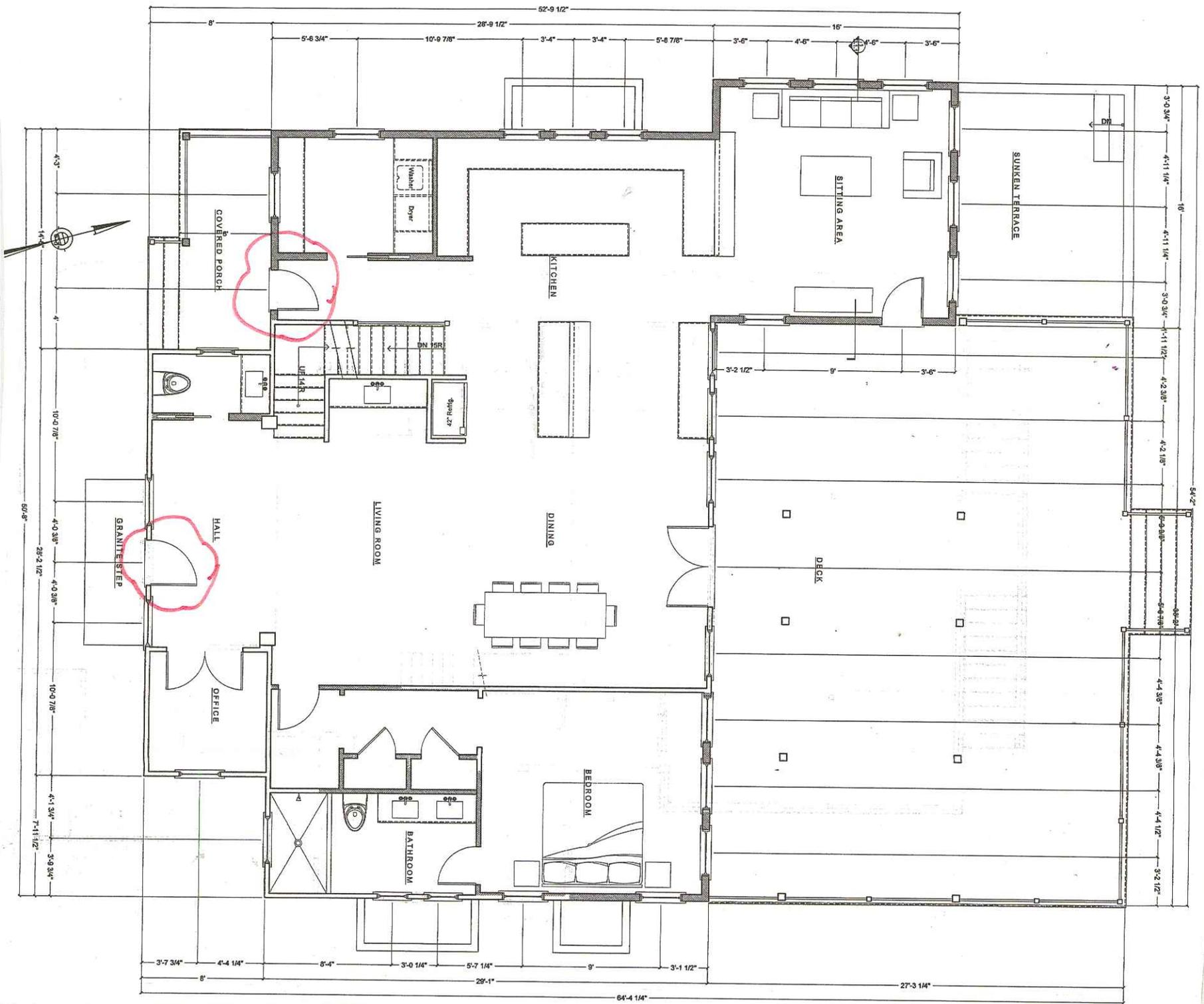
21'-4 1/4" Ridge Height

(B)

PROPOSED 12 LIGHT DOOR
3'-0" x 7'-6 1/2" BOTH DOORS
SAME SIZE

SOUTH ELEVATION

1/4" = 1'-0"



64'-4 1/4"

27'-3 1/4"

8"

3'-7 3/4"

4'-4 1/4"

5'-4"

3'-0 1/4"

5'-7 1/4"

9"

3'-1 1/2"

29'-1"

8"

5'-7 1/4"

3'-1 1/2"

3'-7 3/4"

4'-4 1/4"

5'-4"

3'-0 1/4"

5'-7 1/4"

9"

3'-1 1/2"

29'-1"

8"

5'-7 1/4"

3'-1 1/2"

3'-9 3/4"

7'-11 1/2"

10'-0 7/8"

4'-1 3/4"

28'-2 1/2"

60'-8"

4'-0 3/8"

4'-0 3/8"

10'-0 7/8"

4'-0 3/8"

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10'-0 7/8"

4'-0 3/8"

28'-2 1/2"

60'-8"

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5'-6 3/4"

10'-9 7/8"

3'-4"

3'-4"

5'-8 7/8"

3'-6"

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4'-6"

3'-6"

52'-9 1/2"

8"

5'-6 3/4"

10'-9 7/8"

3'-4"

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5'-8 7/8"

3'-6"

4'-6"

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52'-9 1/2"

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5'-8 7/8"

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4'-6"

4'-6"

3'-6"

52'-9 1/2"

8"

5'-6 3/4"

10'-9 7/8"

3'-4"

3'-7 3/4"

4'-4 1/4"

5'-4"

3'-0 1/4"

5'-7 1/4"

9"

3'-1 1/2"

29'-1"

8"

5'-7 1/4"

3'-1 1/2"

27'-3 1/4"

64'-4 1/4"

8"

5'-7 1/4"

3'-1 1/2"

27'-3 1/4"

27'-3 1/4"

27'-3 1/4"

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27'-3 1/4"

27'-3 1/4"

2

BUILDING/STRUCTURE INVENTORY FORM
NANTUCKET ISLAND ARCHITECTURAL
AND CULTURAL RESOURCES SURVEY
NANTUCKET HISTORIC DISTRICT COMMISSION
NANTUCKET, MASSACHUSETTS

SURVEY/
FILM ROLL #: CR5-33
MAP/PARCEL#: 4234-7

Recorded by: AH

Date: 08/08/89

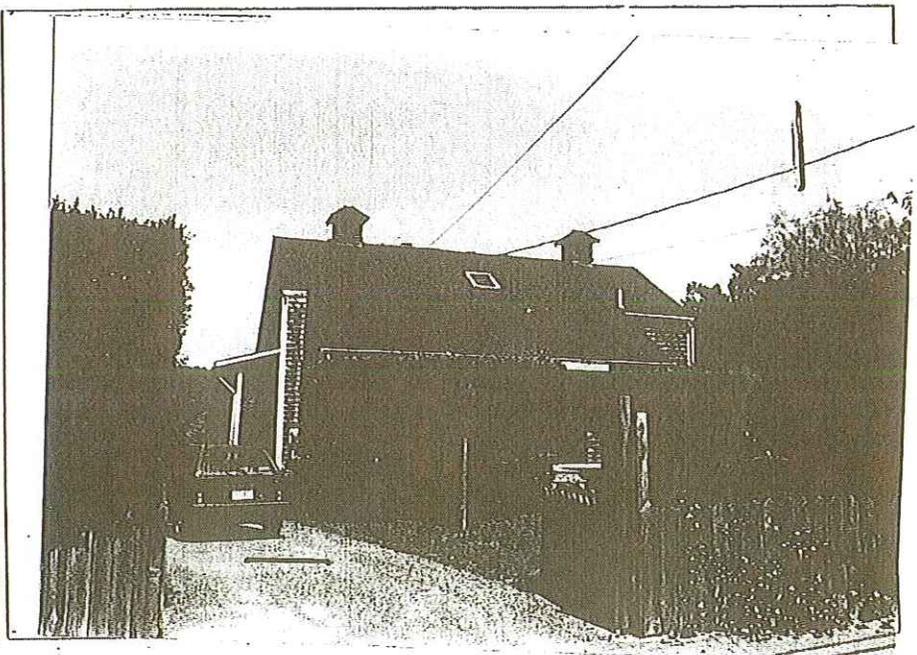
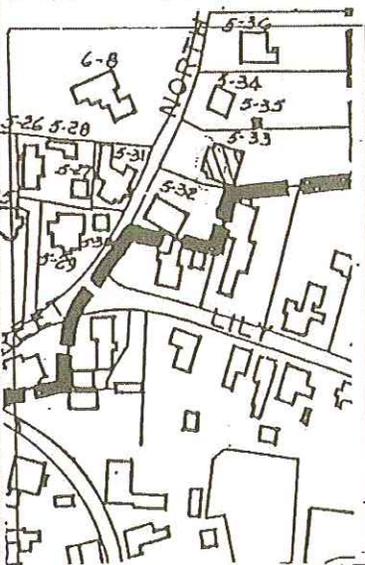
Organization: AGS

IDENTIFICATION

1. Street Name & No.: 5 NORTH LIBERTY ST
2. Building Name: N/A
3. Ownership: Private
4. Present Owner: DUNNING, JOHN A & ACKLEN, R.
5. Ownership History:
Unknown

6. Use: Original: Garage Present: Dwelling
Seasonal/Year-Round: Unknown
7. Accessibility to Public: Visible from Public Road? Yes
Interior: N/A

8. MAP -- 3 X 2"



GENERAL SETTING AND ORIENTATION OF BUILDING

10. Lot Size: N/A
11. Approximate Frontage (ft.): N/A
12. Setback from Street (ft.): 20 or less feet
13. Orientation to Street Address: Ridge Parallel
14. Surroundings: Scattered Buildings, Residential, Old Historic District
15. Related Outbuildings and Property: Fence, Deck, Parking, Privet Hedge
16. Other Notable Features:
N/A

DESCRIPTION

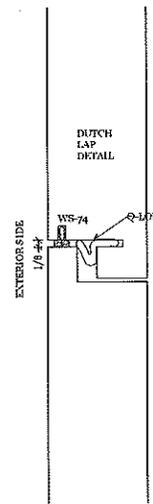
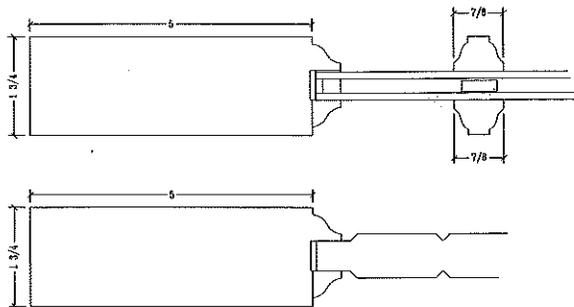
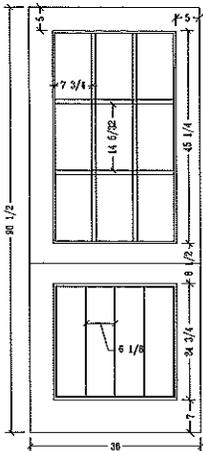
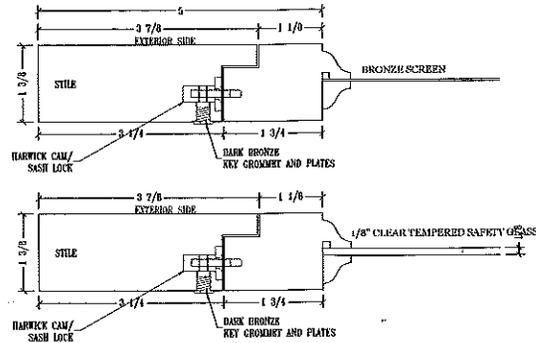
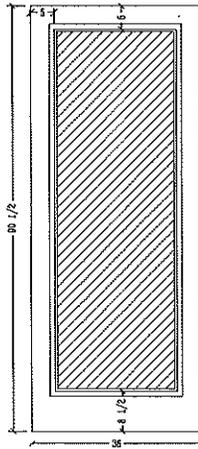
17. Foundation: Concrete
18. Structural System: Woodframe
19. Exterior Wall Material, Front Facade: Shingles-Weathered
20. Exterior Wall Material, Side Elevations: Shingles-Weathered
21. Exterior Wall Material, Rear Elevation: Shingles-Weathered
22. Number of Stories: 1 3/4
23. Roof Shape: Gable
24. Roofing Material: Composition Shingle
25. Roof Features: Skylight, Cupola
26. Dormer Roof(s): N/A
27. Chimney Material: N/A
28. Chimney Position: N/A
29. Number of Chimneys: N/A
30. Chimney Features: N/A
31. Front/Primary Door Location: Off Center
32. Front/Primary Door Frame Features: Flush Frame
33. Number of Bays: N/A
34. Window Frame Type: Flush
35. Window Sash Type(s) - Front Facade: N/A

36. Porch: N/A
37. Signage: N/A
38. Details: Corner boards-plain, Entry Stairs with Balustrade
39. Condition: Good
40. Integrity: N/A
41. Alterations:
N/A

SIGNIFICANCE

- 42. Role the Building Plays: National Register: Contributing
- 43. Date of Initial Construction: Circa 1930
Source: Sanborn Maps, Aerial Photo 1938
Architect: Unknown Builder: Unknown
- 44. Building Type: Additive, Side Gabled
- 45. Architectural Style: N/A
- 46. Historical and Architectural Importance:
Used as a Theater "Barn Stages" starting around 1940,
through 1960's (Mrs. Hussey)

- 47. Sources: Sanborn Maps 1923, 1923/49,
Nantucket Historical Association Photos,
P2398,
Aerial Photo 1938



DRAWINGS ARE SOLE PROPERTY OF
 CREEKSIDE MILLWORK, LLC.
 Manufactured by:
CREEKSIDE MILLWORK, LLC
 7180 Route 94, Arcade, NY 14009

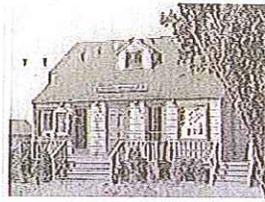
NAME: MANUCKEY-5 NORTH LIBERTY
 SCALE: 1"=10" | DATE: 8/5/20

DWG-1



Inquirer and Mirror calendar page photograph, by Louis David.

1950's



Scans collection

Inquirer and Mirror calendar page photograph, by Louis David...

SC944

1950s

Creator

- Davidson, Louis (browse 14 records)

Preferred citation

Courtesy of the Nantucket Historical Association

Administrative/biographical history

This calendar page is from the North Liberty Street Blue File.

Scope and content

Inquirer and Mirror calendar page photograph, by Louis Davidson, of 5 North Liberty Street, known as Barn Stages. The poster on the front of the house advertises the play Yes My Darling Daughter.

Hierarchy

[Collection] Scans collection

↳ [Item SC944] [notitle], 1950s

Subject - name

- North Liberty Street (browse 118 records)

Subject - topical

- Theaters (browse 108 records)
- Houses (browse 5371 records)

Share:

EXIST NORTH



EXIST NORTH



EXIST SOUTH



EXIST SOUTH 2



OLD B17

HDC Minutes for February 18, 2020, adopted Apr. 21

Rev

13. South Water Assoc. 02-0629 5 South Water Street Second/third floor addition 42.3.1-270-75 Emeritus

Voting Pohl, Coombs, Camp, Welch, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.
 Representing Matt MacEachern, Emeritus Development
 Public None
 Concerns (8:11) **MacEachern** – Reviewed changes made per previous concerns; working on a 3D model.
Coombs – This is the old Hardees building. Doesn't see the necessity for this large a building next to small buildings at nearly 34' tall; it needs to be kept simple and single story. It would be lovely somewhere else.
Welch – This is an improvement over what exists, but it overwhelms the site. There is room to simplify the massing so that it reads as two structures, which is more what it was when it was Hardees and the Firestone shop. The Easy Street side mutated into a country-store front. There's a lot of square-footage of decks for downtown. On the South Water Street side, no skirt on the roof walk. He'd like to see the 3D model of structure at the next hearing.
Camp – South Water Street side is too busy and overly fenestrated. What she likes about the existing is the mass of shingles with no fenestration; it's so simple. Some of it is successful; it should be toned down.
Dutra – Going in the right direction; agrees about simplifying it. Take out some height especially on the west elevation where the big mass is overpowering. Would be okay with the little middle balcony but not along the Pacific Building side. He'd like to see this design compared to the buildings around it.
Pohl – Agrees with what's been said. West elevation could have flat cornerboards instead of pilasters. The south elevation reflects a lot of elements of the Killen Real Estate Building, which is too much; he'd like to see this side greatly simplified. It's really attractive with the low wrap-around porch.

Motion **Motion to Hold for revisions. (Camp)**
 Vote Carried 5-0 Certificate #

14. Wilner, Sheila Tr. 01-0548 10 Beach Street Move off- demo dwelling 73.2.4-10 Emeritus

Voting Pohl, Camp, Oliver, Welch, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and historic documentation.
 Representing Matt MacEachern, Emeritus Development
 Public None
 Concerns (8:23) **Pohl** – This is a case where we should look at this and the new dwelling at the same time.
MacEachern – He talked to neighbors and they don't have a high opinion of this. He'll talk to the Land Bank.
Oliver – She'd love to see this reused in the area; this is listed as contributing.
Camp – She's not a fan of demolishing this; but what takes this place should be in the same vein.
Dutra – No concerns with a demolition; it looks like a camper.

Motion **Motion to Hold to track with the new dwelling. (Welch)**
 Vote Carried 5-0 Certificate #

15. Wilner, Sheila Tr. 01-0547 10 Beach Street New dwelling 73.2.4-10 Emeritus

Voting Pohl, Camp, Oliver, Welch, Dutra
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, correspondence, and advisory comments.
 Representing Matt MacEachern, Emeritus Development
 Public None
 Concerns (8:23) **MacEachern** – Reviewed changes made per previous concerns.
Oliver – Appreciates many changes but she's concerned with the height; the newer building in front is odd for Codfish Park and shouldn't be complimented. This is almost 2 full stories; the 2nd-floor knee walls should come down and the decks shingled to simplify it. She hates to see Codfish Park being gentrified one building at a time. This goes almost from setback to setback. The house is adorable but wonders how it would feel on that site.
Camp – East elevation has too many front doors. This is too "frou-frou" for Codfish Park. No windows on west elevation line up.
Dutra – Likes the north and south elevations though two windows on the north would be good; bigger windows would make this look smaller. Suggested a single set of French doors on the balcony.
Welch – This is inappropriate design: too large; 1 3/4 story; house on the corner is an appropriate model. Part of the charm of the area is the different designs and styles: most are simple some are quirky; it would be better to go that way versus a mini trophy house. Suggested ways to bring the scale down. This is not Codfish Park to him. There's a little well on this.

Motion **Motion to Hold for revisions. (Welch)**
 Vote Carried 5-0 Certificate #

Mixed Use Structure Alterations & Addition

5 South Water Street Nantucket, MA 02554

1850
Mixed Use Structure
Alterations & Addition
5 South Water Street
Nantucket, MA 02554



Cover Sheet

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.1.3 Third Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- A.2.3 Exterior Elevations
- A.2.4 Exterior Elevations



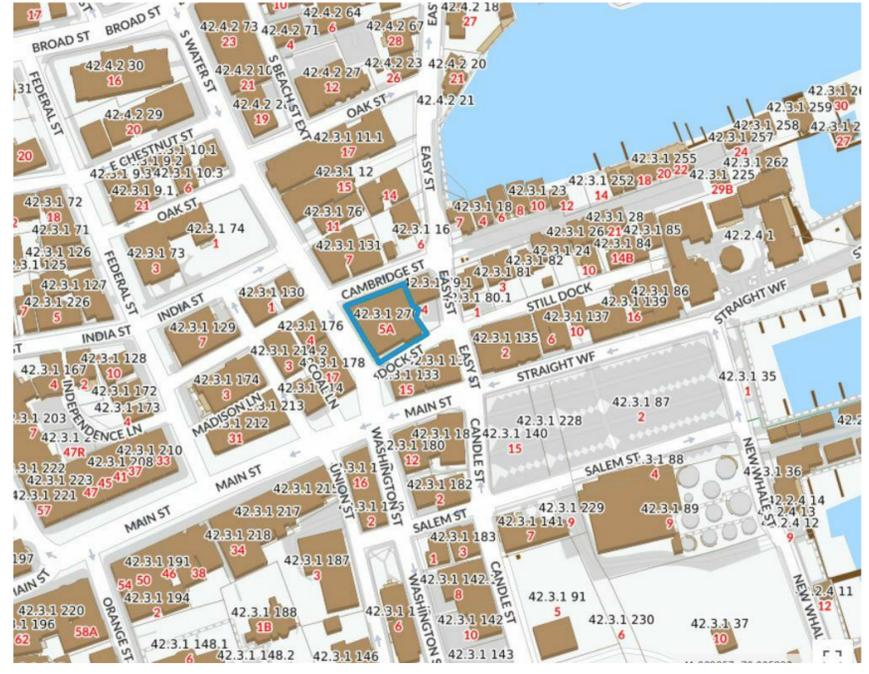
South Elevation

West Elevation

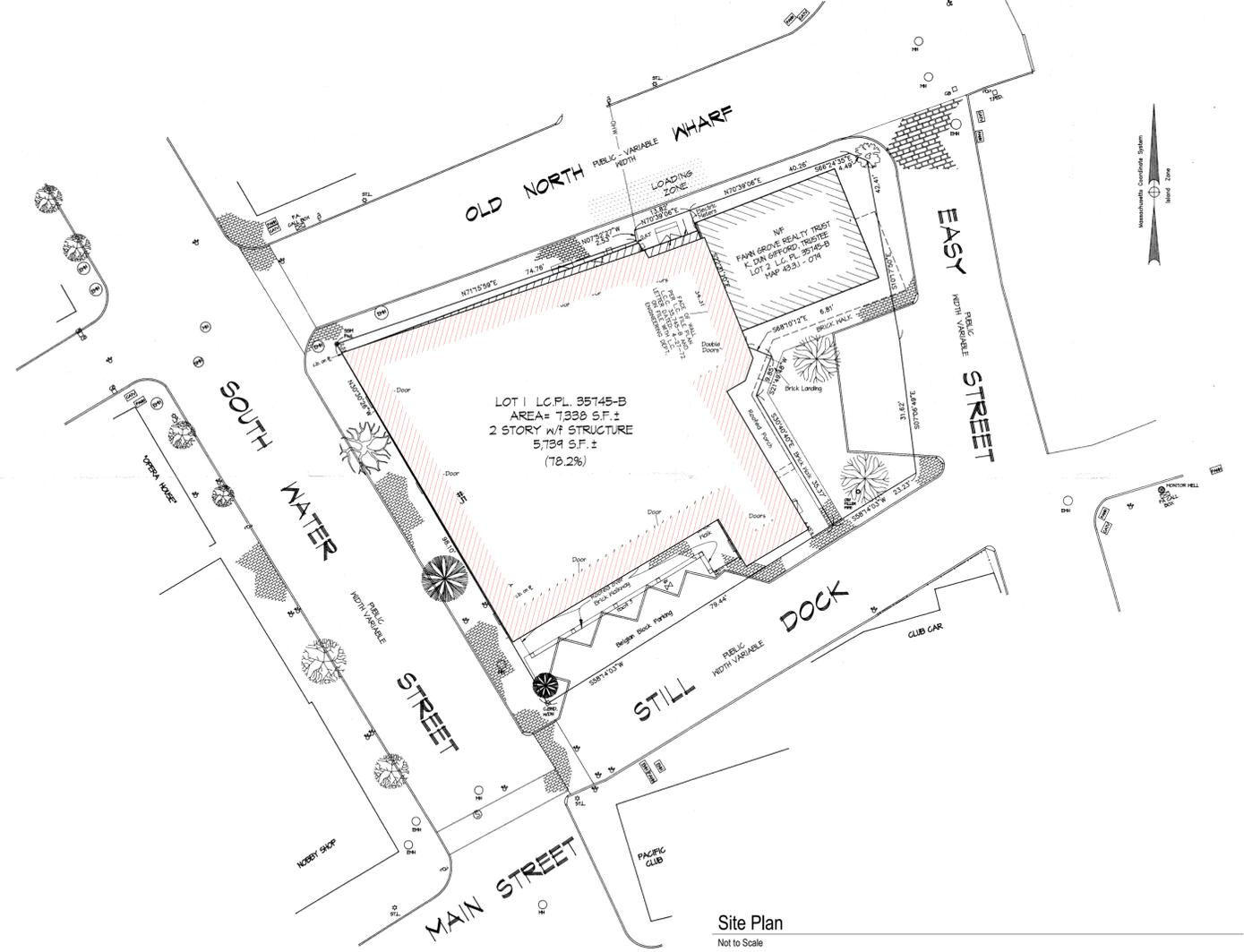


North Elevation

East Elevation



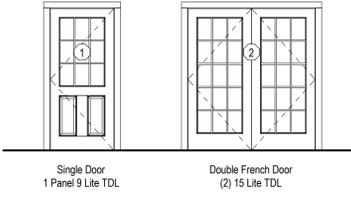
Locus Map



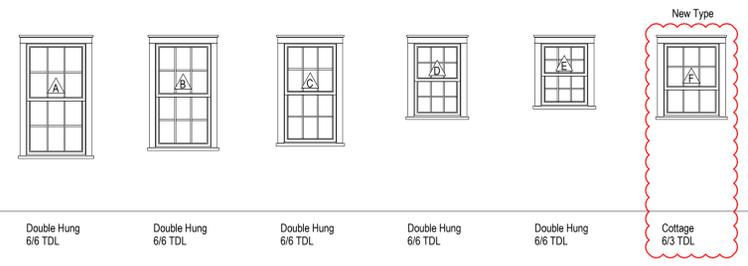
Site Plan
Not to Scale

02.27.20

HDC Submission



Door Legend
1/4" = 1'-0"



Window Legend
1/4" = 1'-0"

Revisions

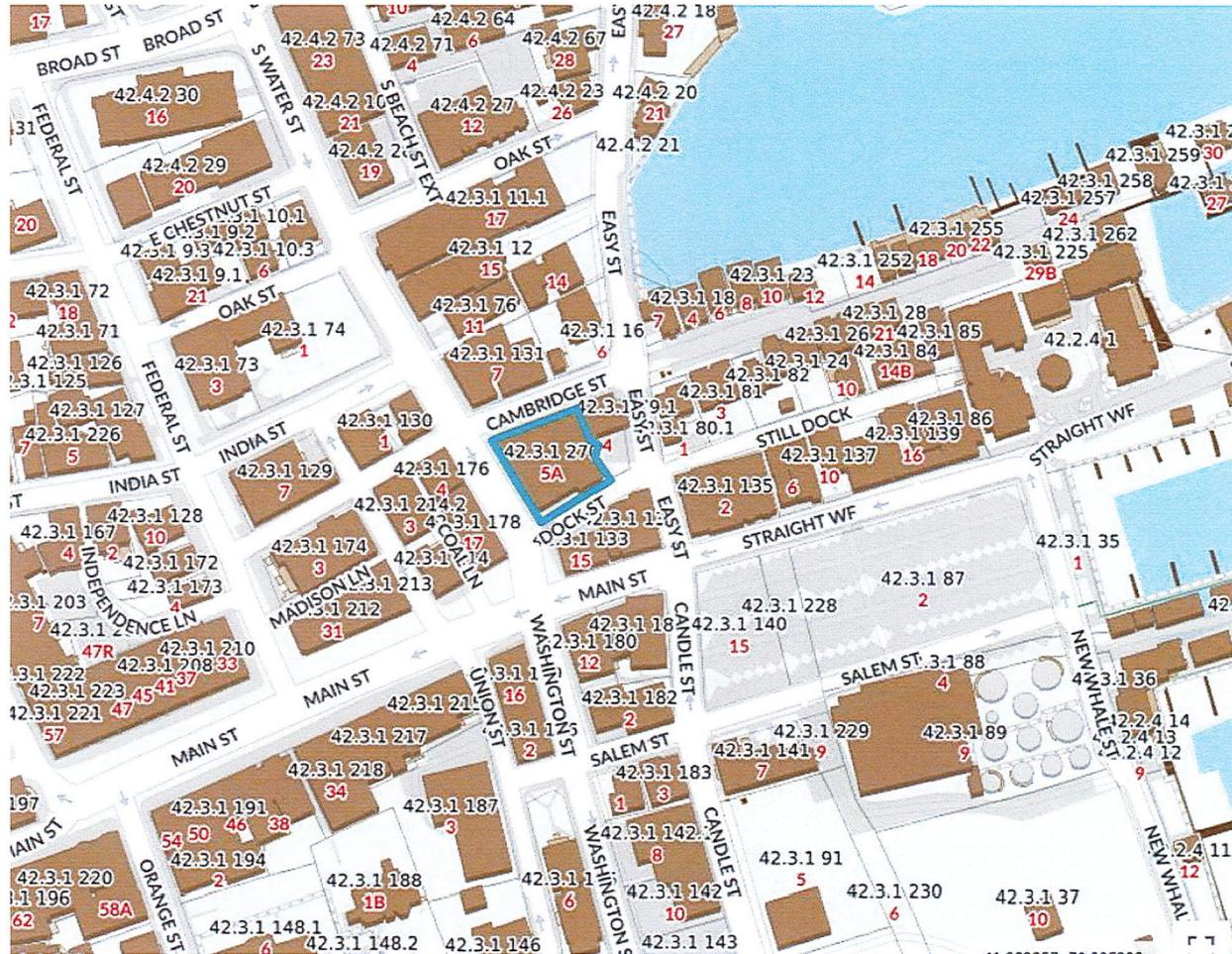
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G.1.1
1850

Mixed Use Structure Alterations

5 South Water Street Nantucket, MA 02554

02.27.20



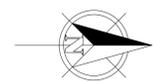
Locus Map

02.27.20

HDC Submission



First Floor - Proposed
1/4" = 1'-0"



1850
 Mixed Use Structure
 Alterations & Addition
 5 South Water Street
 Nantucket, MA 02554



First Floor Plan

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.1.3 Third Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- A.2.3 Exterior Elevations
- A.2.4 Exterior Elevations

Revisions

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A.1.1
1850

02.27.20

HDC Submission



Second Floor - Proposed
1/4" = 1'-0"

1850
 Mixed Use Structure
 Alterations & Addition
 5 South Water Street
 Nantucket, MA 02554



Second Floor Plan

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

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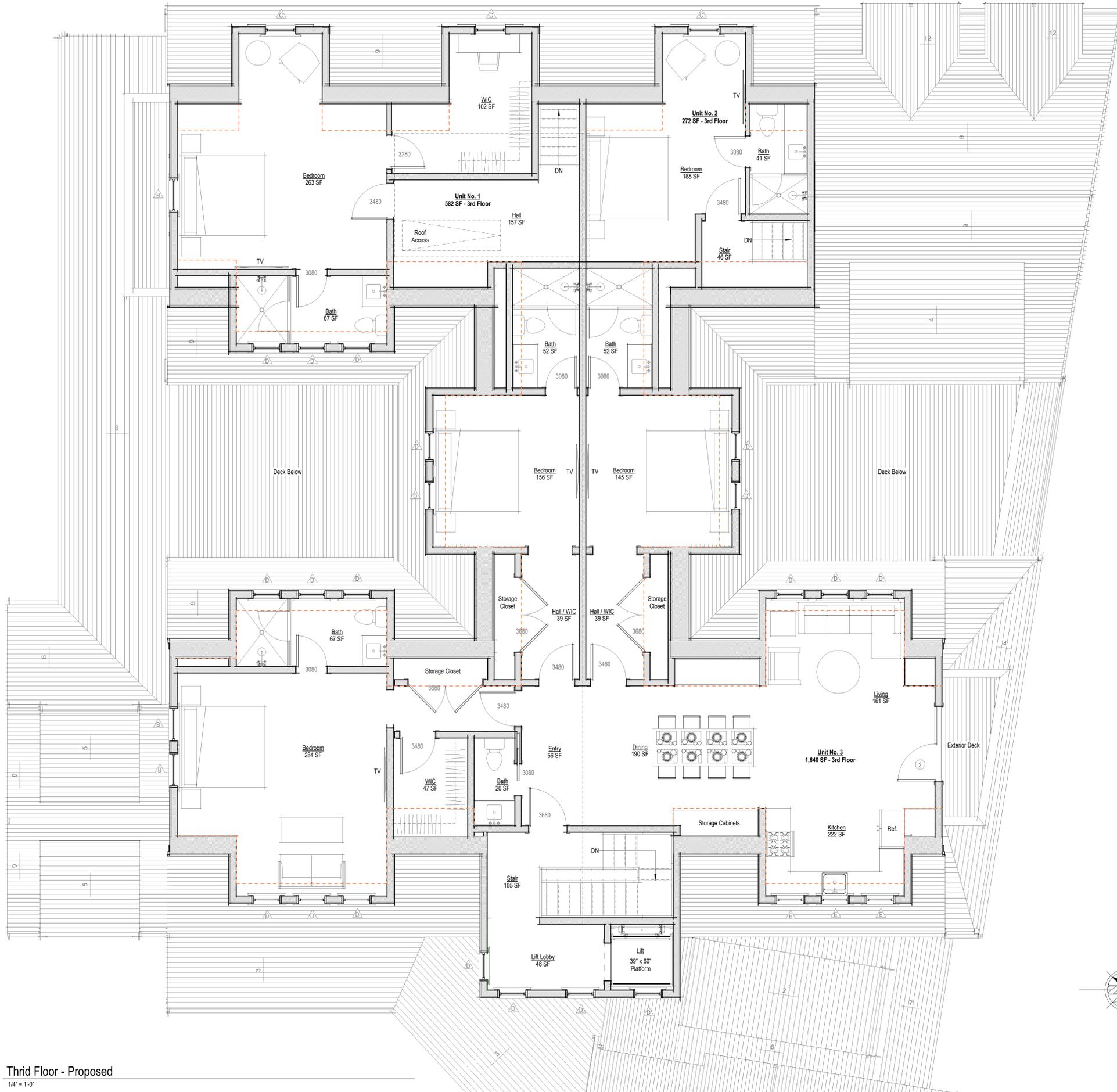
Revisions

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A.1.2
1850

02.27.20

HDC Submission



Thrid Floor - Proposed
1/4" = 1'-0"

1850
 Mixed Use Structure
 Alterations & Addition
 5 South Water Street
 Nantucket, MA 02554



Third Floor Plan

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

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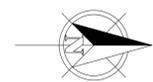
SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 First Floor Plan
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- A.1.3 Third Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- A.2.3 Exterior Elevations
- A.2.4 Exterior Elevations

Revisions

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A.1.3
1850



02.27.20

HDC Submission

1850

Mixed Use Structure
Alterations & Addition
5 South Water Street
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

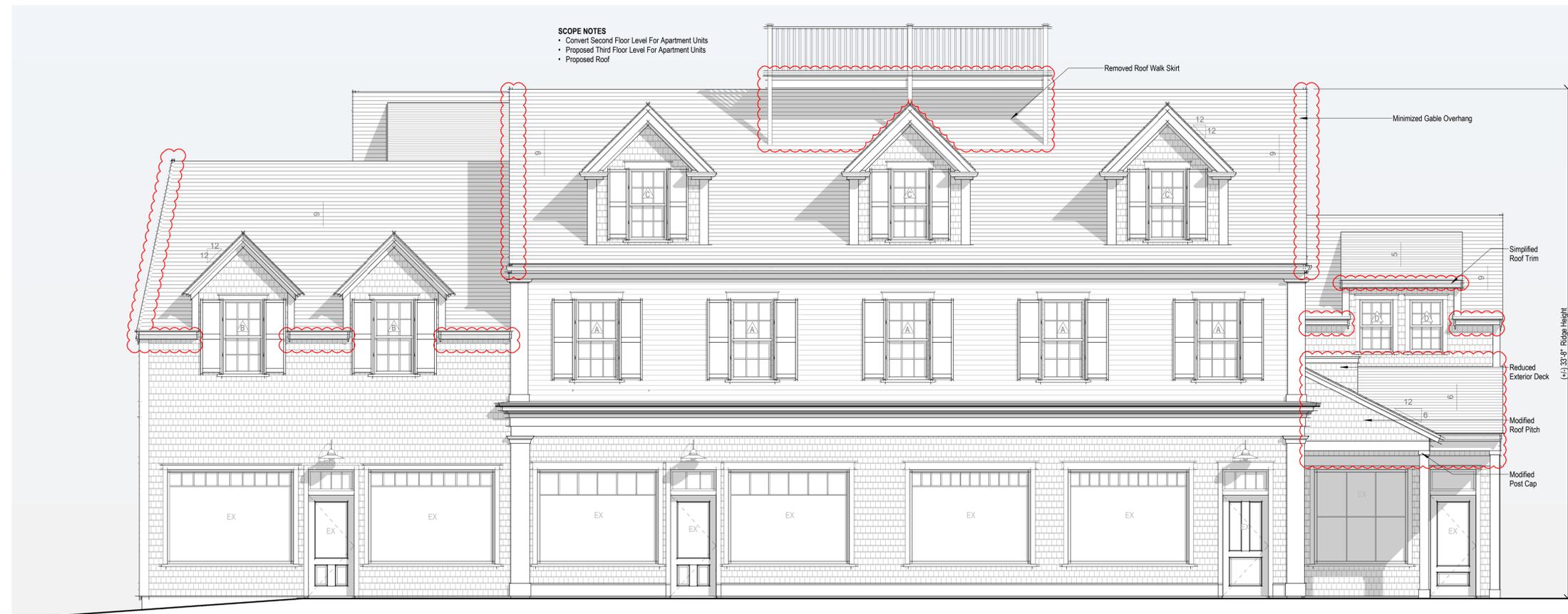
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- G.1.1 Cover Sheet
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.1.3 Third Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- A.2.3 Exterior Elevations
- A.2.4 Exterior Elevations



West Elevation - Previously Submitted HDC

1/8" = 1'-0"



West Elevation - Proposed

1/4" = 1'-0"

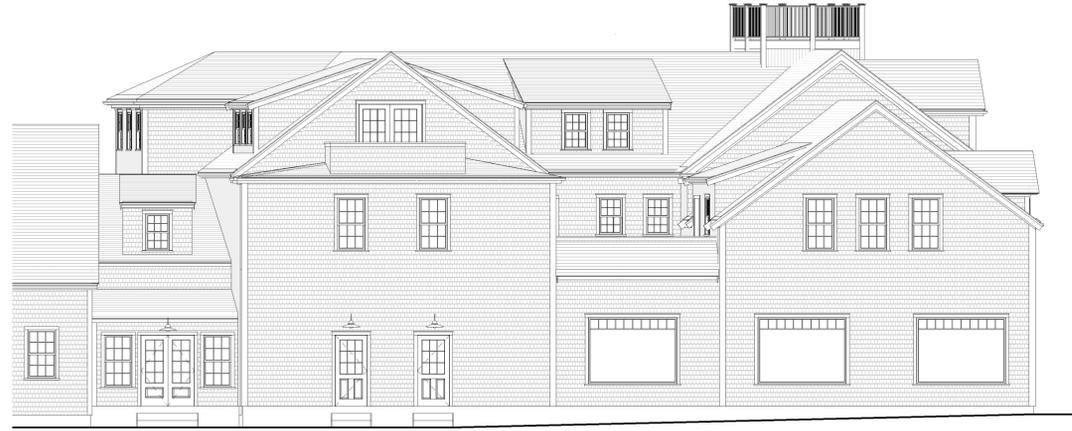
Revisions

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A.2.1
1850

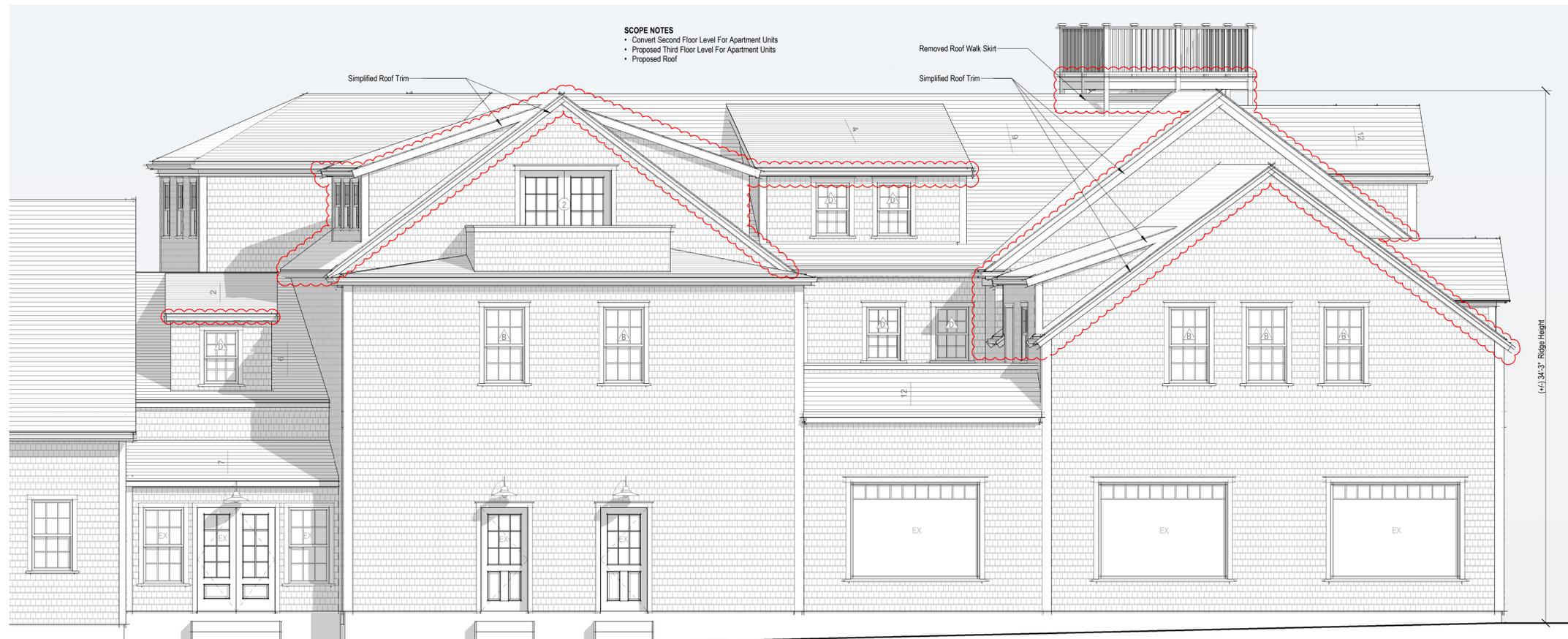
02.27.20

HDC Submission



North Elevation - Previously Submitted HDC

1/8" = 1'-0"



North Elevation - Proposed

1/4" = 1'-0"

1850

Mixed Use Structure
Alterations & Addition

5 South Water Street
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

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- A.2.3 Exterior Elevations
- A.2.4 Exterior Elevations

Revisions

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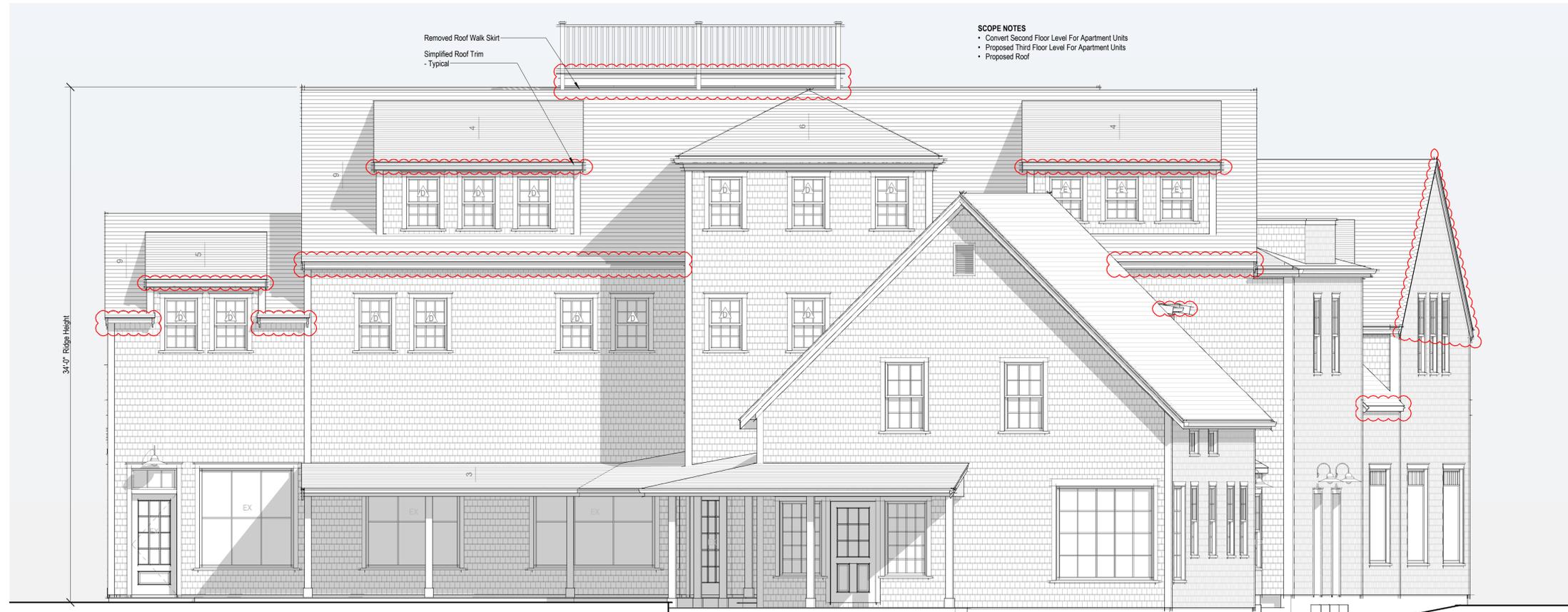
A.2.2
1850

02.27.20

HDC Submission



East Elevation - Previously Submitted HDC
1/8" = 1'-0"



East Elevation - Proposed
1/4" = 1'-0"

1850
Mixed Use Structure
Alterations & Addition
5 South Water Street
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
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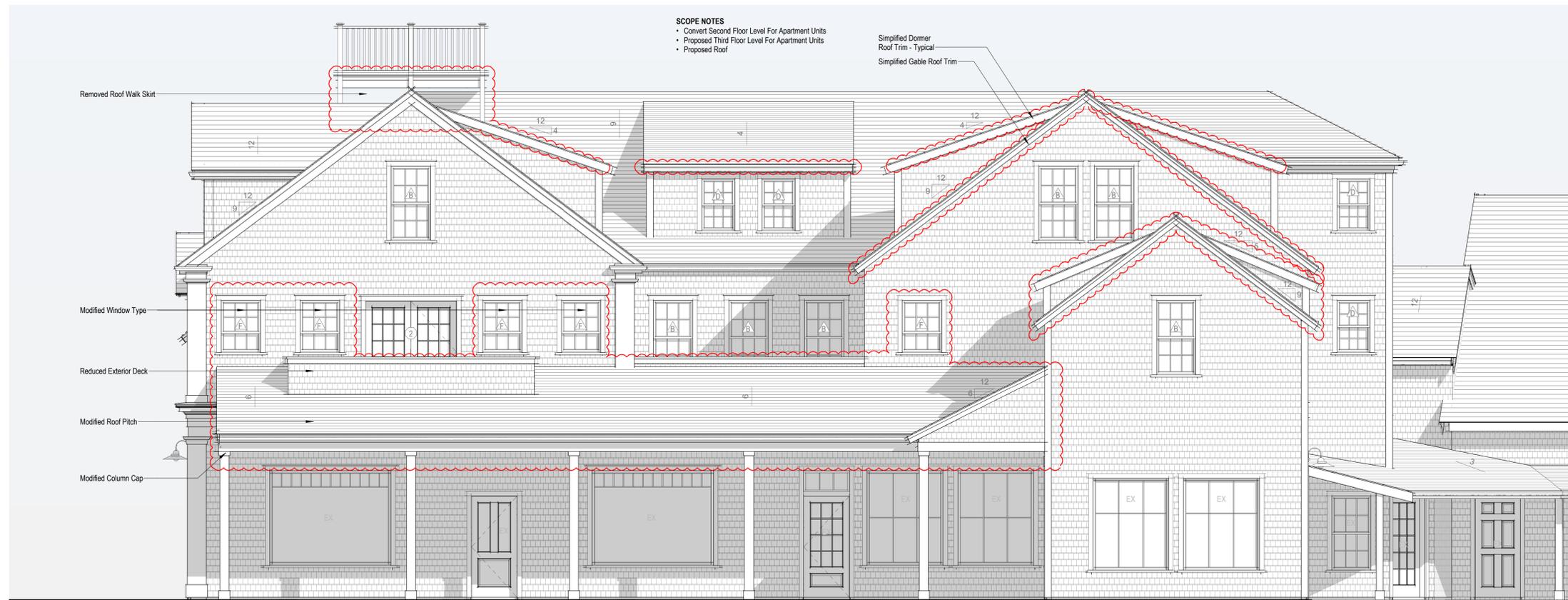
A.2.3
1850

02.27.20

HDC Submission



South Elevation - Previously Submitted HDC
1/8" = 1'-0"



South Elevation - Proposed
1/4" = 1'-0"

1850
Mixed Use Structure
Alterations & Addition
5 South Water Street
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

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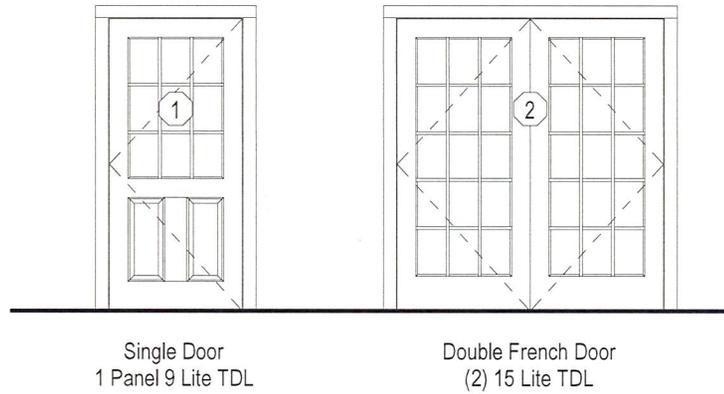
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A.2.4
1850

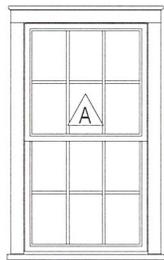


Single Door
1 Panel 9 Lite TDL

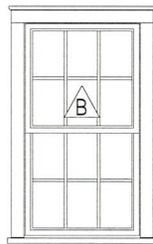
Double French Door
(2) 15 Lite TDL

Door Legend

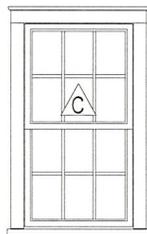
1/4" = 1'-0"



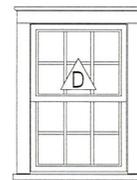
Double Hung
6/6 TDL



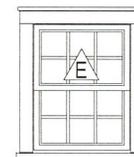
Double Hung
6/6 TDL



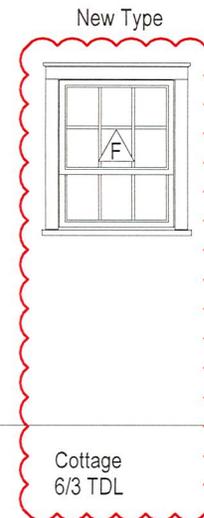
Double Hung
6/6 TDL



Double Hung
6/6 TDL



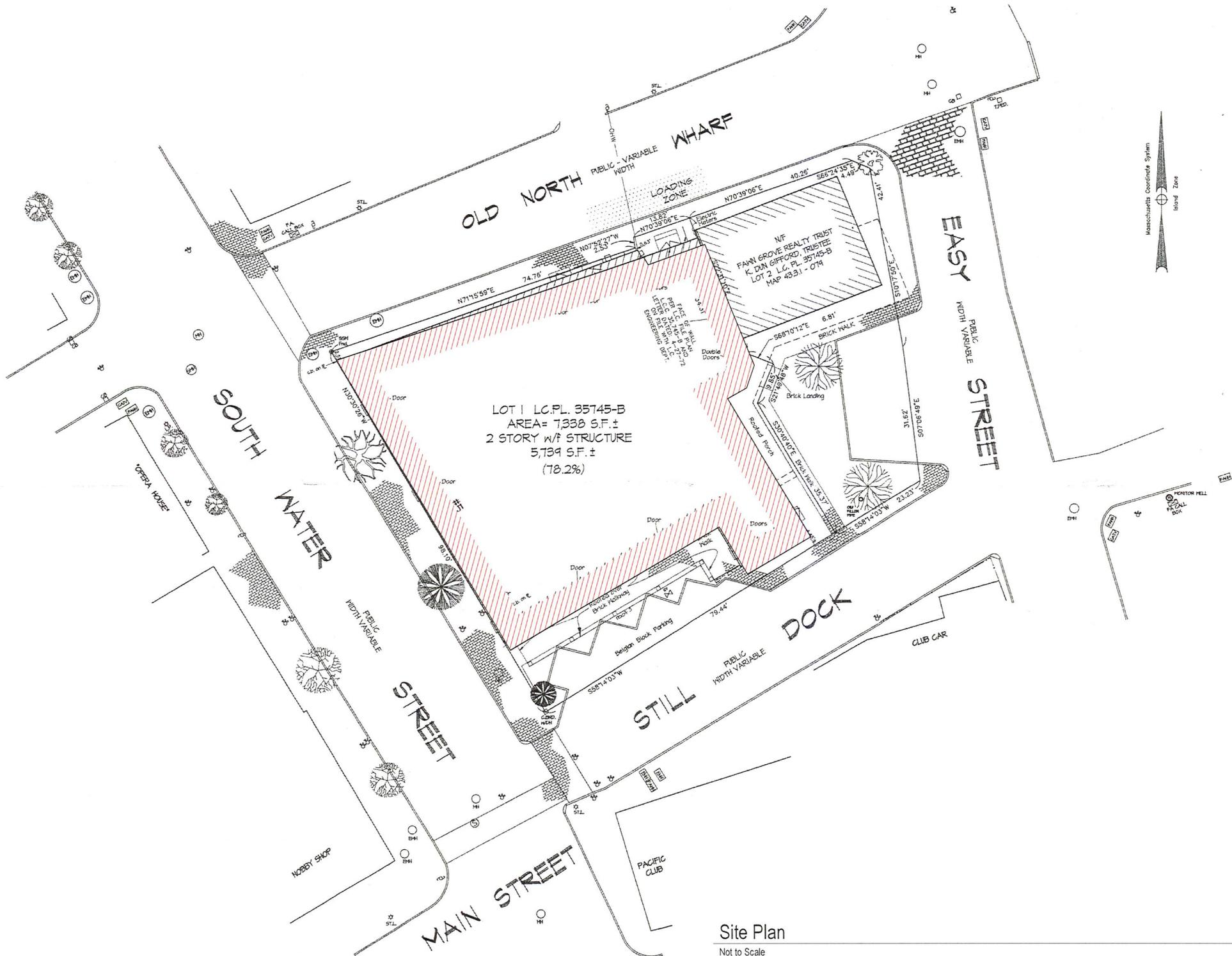
Double Hung
6/6 TDL



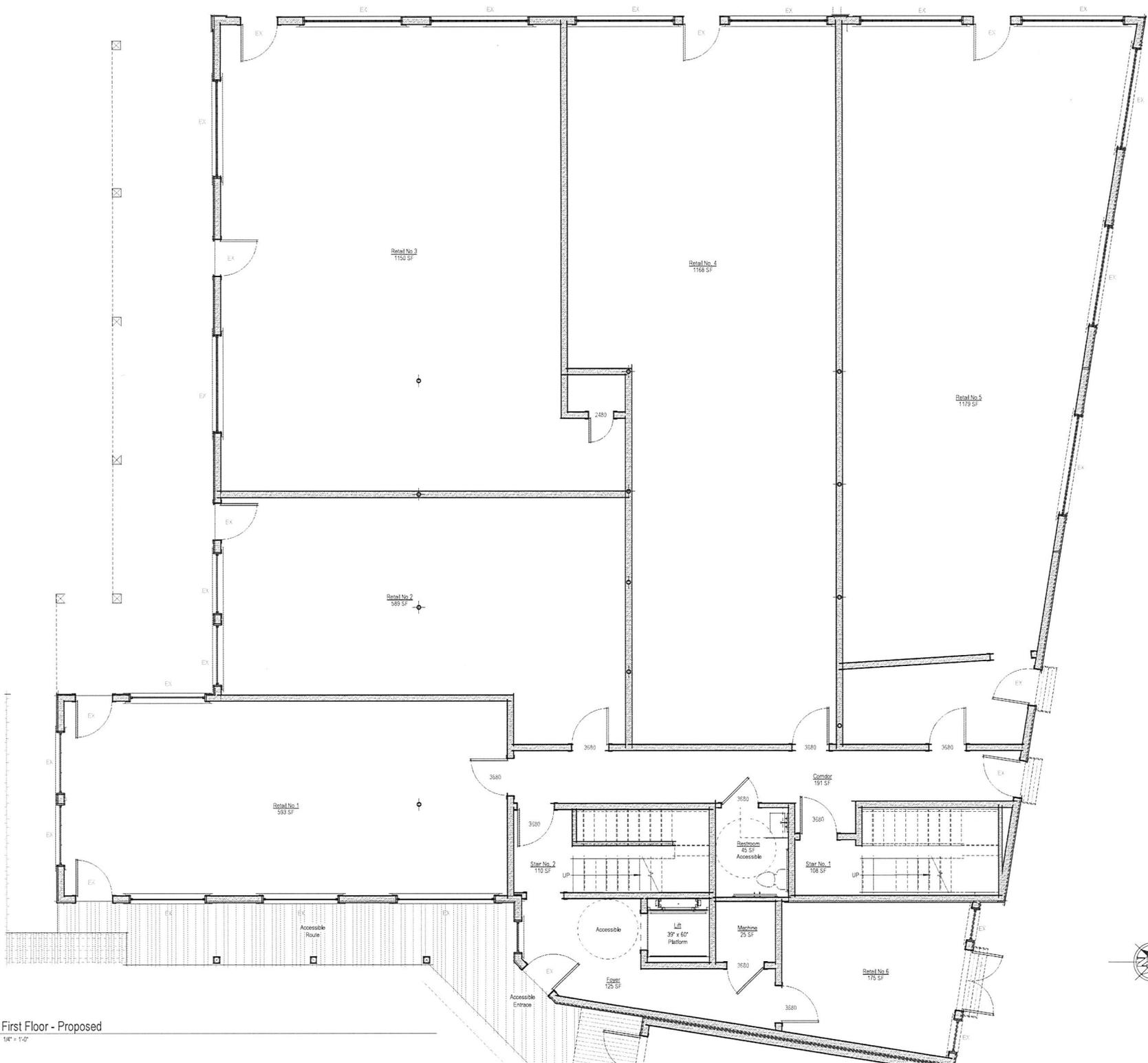
Cottage
6/3 TDL

Window Legend

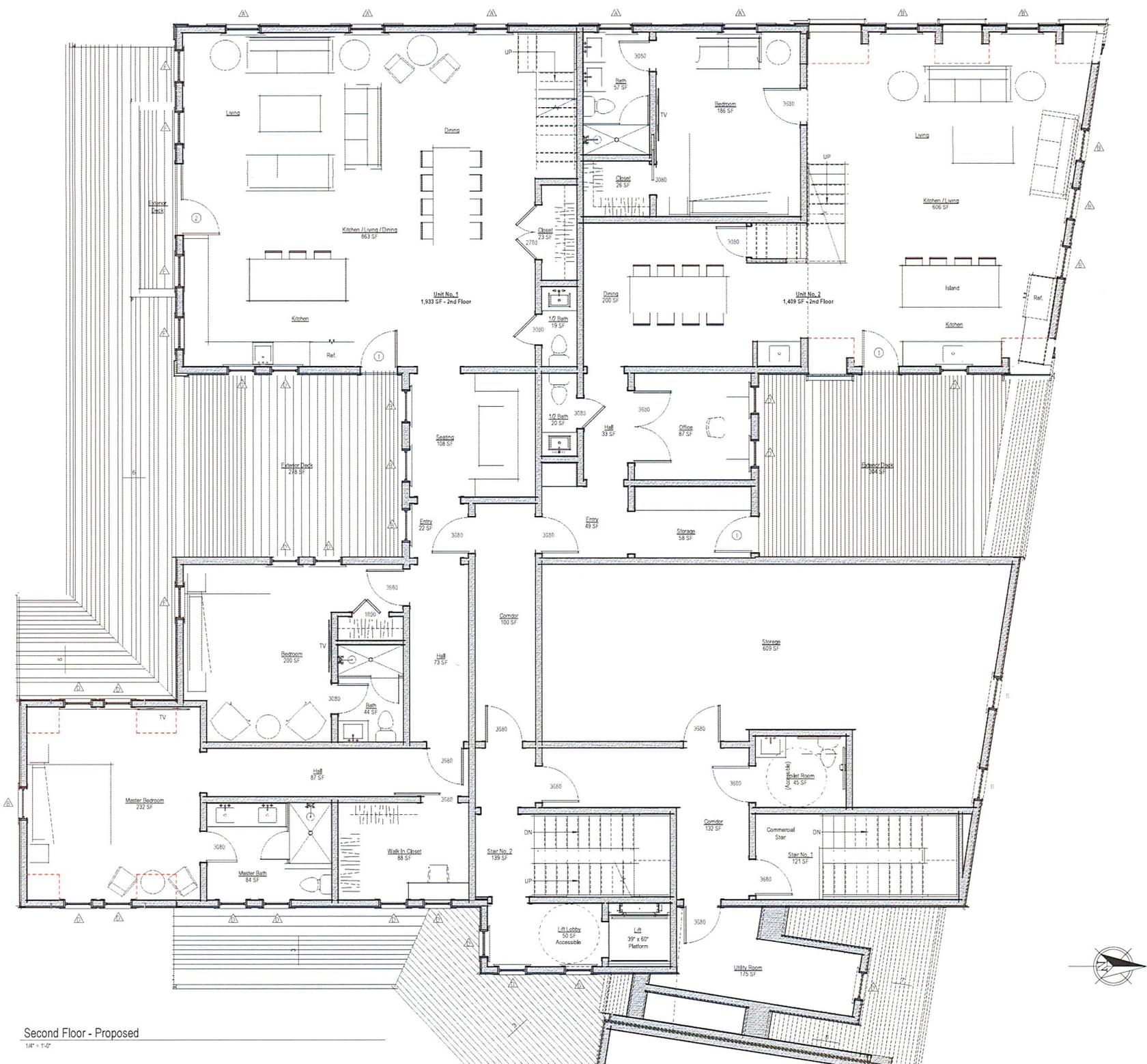
1/4" = 1'-0"



Site Plan
 Not to Scale



First Floor - Proposed
 1/4" = 1'-0"

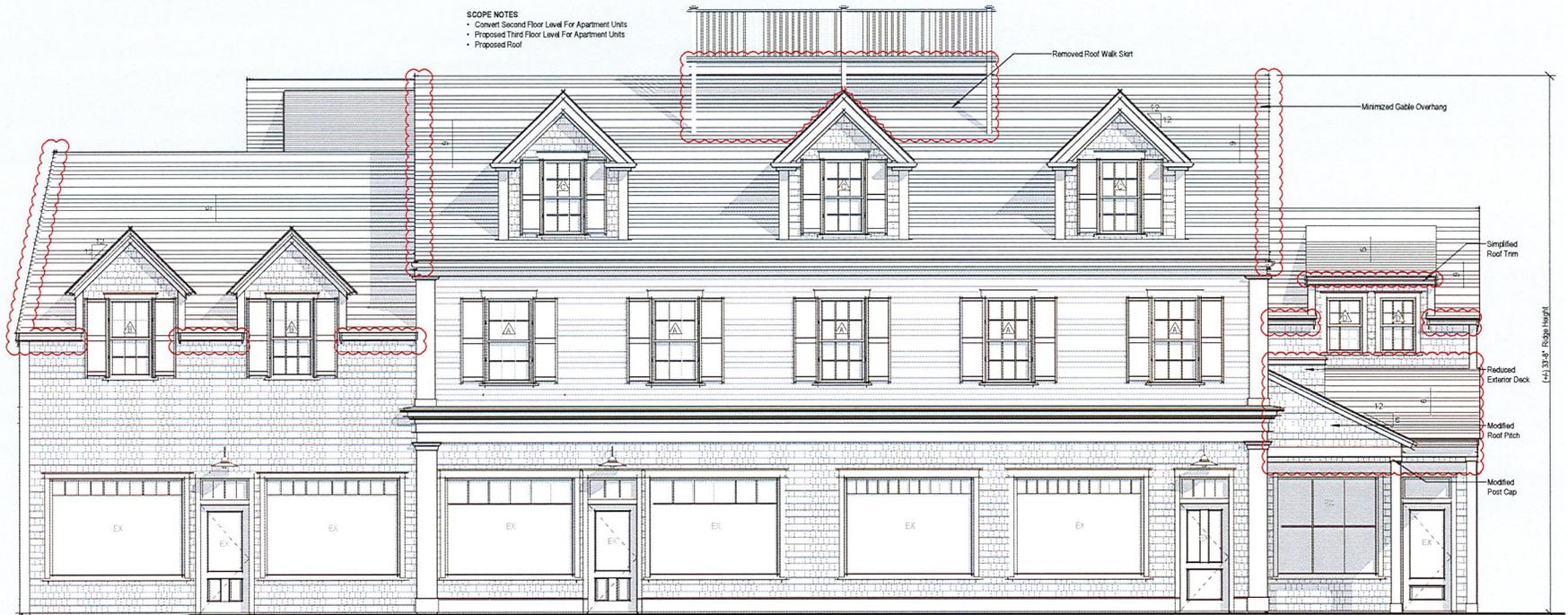


Second Floor - Proposed
 1/4" = 1'-0"





West Elevation - Previously Submitted HDC
 1/8" = 1'-0"

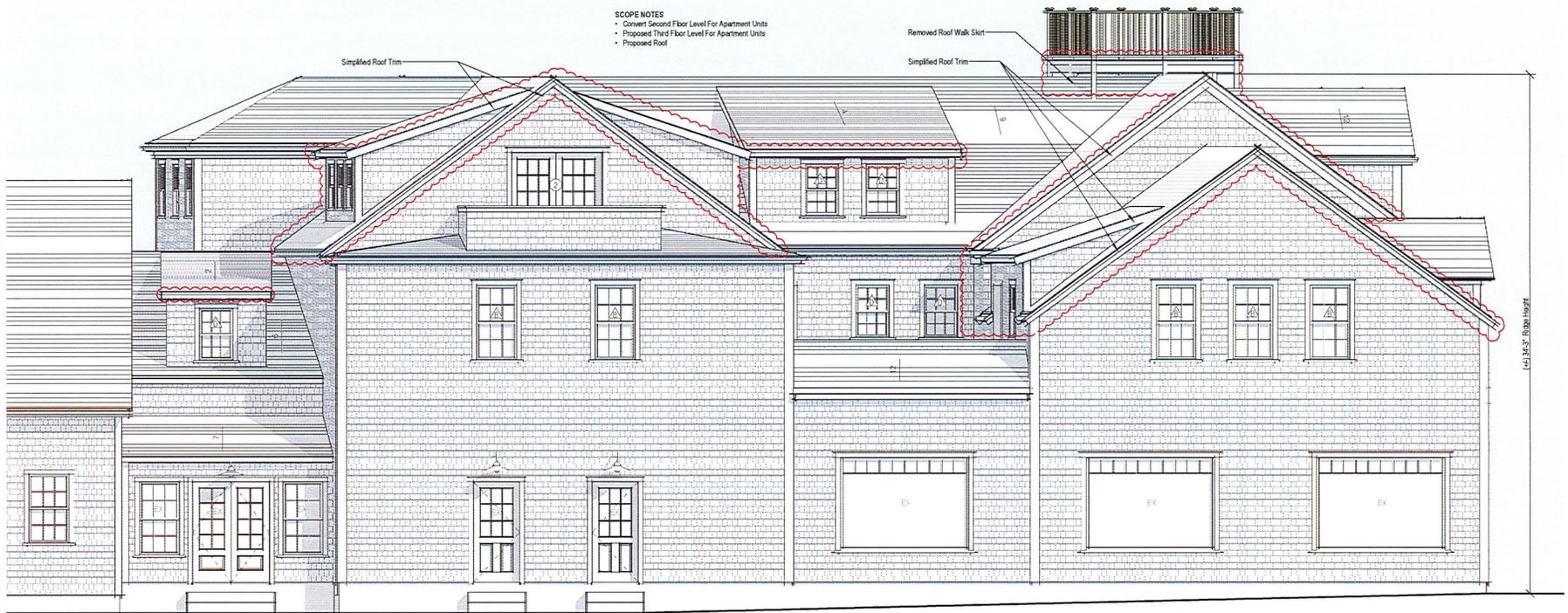


West Elevation - Proposed
 1/8" = 1'-0"



North Elevation - Previously Submitted HDC

1/8" = 1'-0"



- SCOPE NOTES
- Convert Second Floor Level For Apartment Units
 - Proposed Third Floor Level For Apartment Units
 - Proposed Roof

North Elevation - Proposed

1/4" = 1'-0"



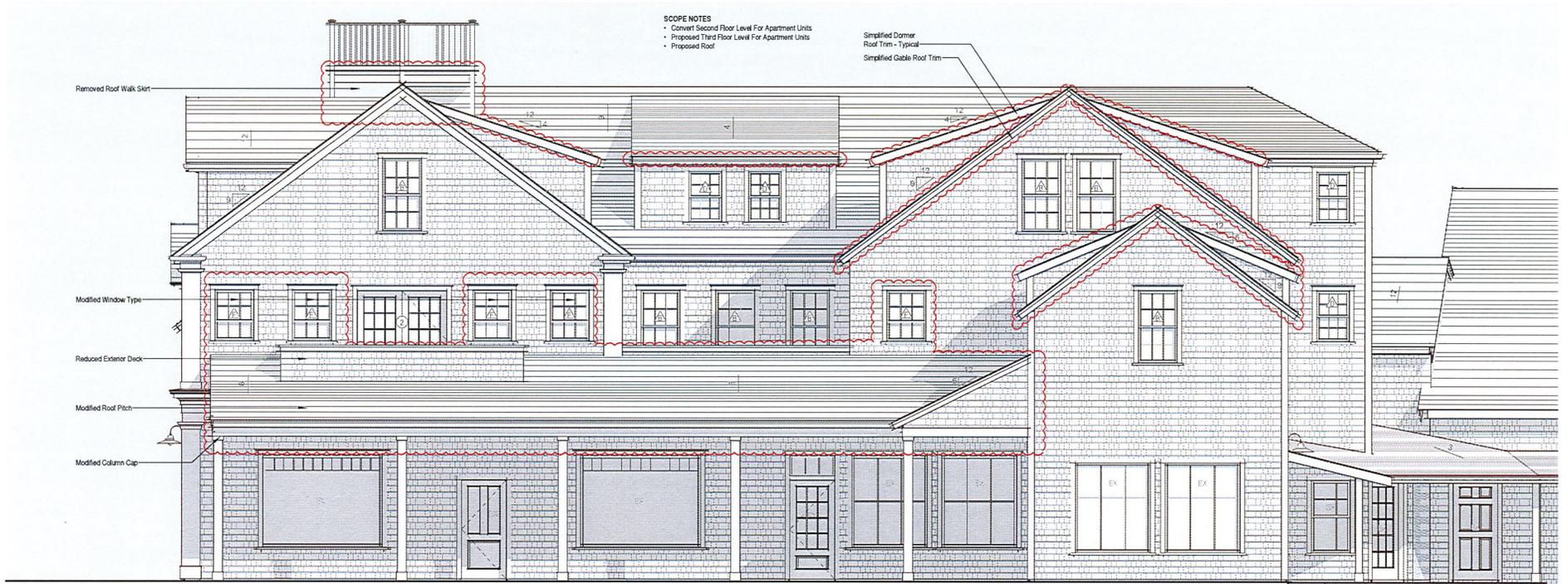
East Elevation - Previously Submitted HDC
 1/8" = 1'-0"



East Elevation - Proposed
 1/8" = 1'-0"



South Elevation - Previously Submitted HDC
1/8" = 1'-0"



South Elevation - Proposed
1/4" = 1'-0"

10 BEACH STREET



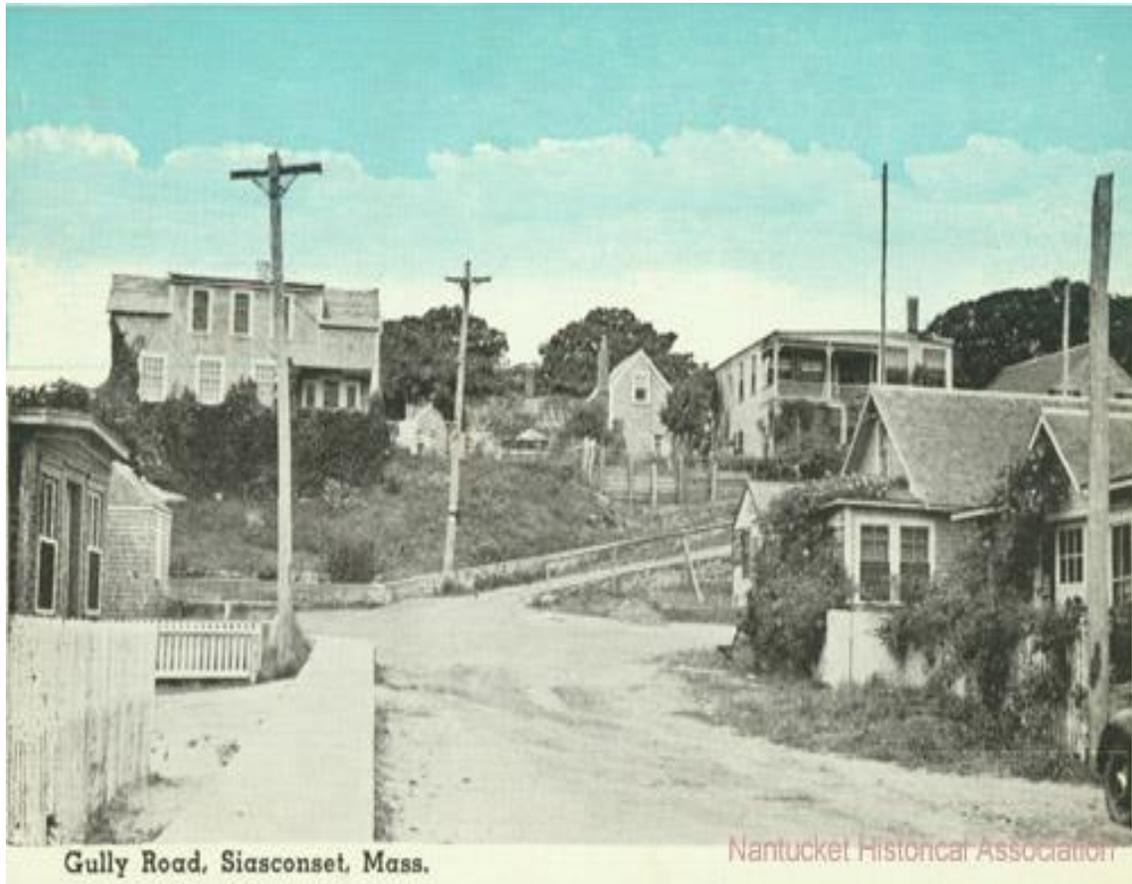
1920 – 10 BEACH FRONT/AWNING VISIBLE ON THE LEFT



1930



Nantucket Historical Association



Gully Road, Siasconset, Mass.

Nantucket Historical Association

1930



1940



1945



1946



1961



Date August 6, 1961 **Notes** Constance Haroldson standing in front of the **Codfish Park** cottage named Pomptonian. They were from Pompton Lakes, NJ!!!

1966



First Surfboard on Nantucket, 1932.

Constance Viola Greene Haroldson (1906-1996?) posing with a surfboard on Siasconset beach. 1932.



1950 – CONSTANCE’S DAUGHTER IN FRONT YARD



Notes Jackie Haroldson Seidel standing in a **Codfish Park** yard.

Greene-Haroldson-Seidel

My family originally came to Nantucket in the mid-1920s out of necessity—they needed work! They came to visit my grandmother's aunt who had married a Nantucket man and lived in Codfish Park. They rented a small shack and found various jobs to maintain a family of nine. A few of the jobs were: spraying for mosquitoes, picking cranberries, rolling tennis courts, caddying, lighting the gas lamps, working at the Dine-A-Mite restaurant, carpentry, painting, cleaning the Casino, shucking scallops, cooking and serving the wealthy people up bank.

I first arrived in 'Sconset when I was two months old. It was and always has been a special place for me. It's obvious from my many photos that the beach was our hub of activity. We always knew to leave the beach for lunch when the fire bell rang. On Sundays my mother held Sunday School on the beach for a group of us, and in the evening we had a contest to see who could see the moon first.

Later in the day we would spend hours playing jacks or marbles on the sidewalk or at the square waiting for the mail. In the evening we would often walk to Sankaty and got to climb to the top sometimes.



Me, Jackie Haroldson-Seidel, as a child



Mother at the beach with an early surfboard, 1927



My mother, Constance Viola Greene Haroldson (Green), in front of our Codfish Park cottage, Pomptonian, 1961

Photo by DeWain Bannum



Mother and Father

"Here we are just home from blueberrying. On the way we picked vegetables from a farmer's garden."



Codfish Park neighbors

↪ *table of contents* ©

more Greene-Haroldson-Seidels ↪

1920



Nantucket Historical Association

1940



1957



1870



1880





1885



Nantucket Historical Association

Notes

View toward water shows people enjoying beach at Siasconset. People stand on the beach and sit beneath shade awnings for sun protection. Some beach attire may be seen. This view is of **Codfish Park** and bath houses.

1890



From: Mary Bergman
Sent: Tuesday, July 7, 2020 9:08 AM
To: Holly Backus <hbackus@nantucket-ma.gov>
Cc: Rita Carr <rcarr@nantucketpreservation.org>
Subject: 10 Beach, More History

Hi Holly,

I have done a little more research into the history of 10 Beach, if it is still up for consideration for demolition. (As much as I can without the Registry of Deeds being open.) As you know, I strongly urge against the demolition of this structure. Few remaining examples of Codfish Park's early cottage architecture exist, and they should be preserved.

The history of each structure in Codfish Park is complicated by the fact that the Siasconset Bathing Beach Trust held the land that is Codfish Park from 1885 until 1993. Some owners were able to record their land in the 1960s, but others did not until recently. In the case of 10 Beach, See Book 1249, Page 153 (in 2010) when the land was formerly released from the Siasconset Beach trust to the Seidels.

Constance Viola Green Haroldson purchased 10 Beach in 1942 from William Jernegan (Book 109, Page 539). When Haroldson purchased the property, there was no clear title. Jernegan had a Land Court case to register the land in 1923(case 9499).

William Jernegan owned the William Jernegan Ice Company that operated out of 3 New Street. That building later became the Srail Club, of which Jernegan was a member. The Srail Club was a men's social club established to create comradery between year-round and summer men. You can read more about it on the NHA's Sconset 02564 exhibit website (<https://nha.org/digitalexhibits/sconset02564/timeline/srail-club.html>).

Attached is a picture of William's son, Horace Jernegan, at the ice house. (Since the NHA image database is still down I'm limited in what I can find.)

I include this information on the Jernegens to highlight the importance of Codfish Park as a community where Nantucket's working people once lived.

The development of Codfish Park is particularly interesting. First simple fish shacks were built on public land, these shacks then modified into cottages. The neighborhood developed in a do-it-yourself manner, without city planners or architects. Perhaps what makes Codfish Park special can best be seen in this May 29, 1915 article in the I&M:

"Could there be anything more interesting than the development of Codfish Park. It is a most entertaining study in village enlargement, which hamlets in the far western mining districts would take off their hats to. No civil engineers have yet been called in; no landscape gardeners have yet been required; no architects of high technique have been employed; no highfalutin specialists of any sort have entered the evolution of the Park. Yet each year the new coming is confronted with remarkable and unexpected changes. This year opens with several cases of slat fences enclosing the adjacent door-years. We see, also, the handiwork of the house painter in some sections. In other places may be seen little spots under cultivation for flowers, climbers and shrubs. (This is a growing feature everywhere about 'Sconset.) We find one or more new mansions completed or in process of construction. Here there is a little touch of special architectural features and there are to be noted utility and convenience with any ideas of architectural harmony left out of the question. Poultry culture is a prominent feature. In the line of town history, it may be stated that Manuel Thomas, at No. 13 Atlantic boulevard, owns and occupies the first dwelling ever placed in the Park, while his garage, at No. 9 same thoroughfare, was originally Capt. George Coffin's fish-house, and was the first building ever erected on the Park lands, having been moved from the bank, above, when Nature started to enlarge 'Sconset's territorial area by building the Park. Close students of nature find much to entertain them in watching the Park panorama, whose every inhabitant appears happy. The only bit of discord that has yet been announced is just a slight feeling of resentment where one has

built a new mansion which practically eliminates his western neighbor's ocean view. That, however, is a mere detail, and no serious consequences likely to follow.”

(PS I'm pretty sure “mansion” is being used in a tongue-in-cheek way.)

So as to the question of when 10 Beach was built... See the attached 2020 google map and the 1949 Sanborn map. I've pointed on the Sanborn map where I think it was—let me know what you think. Compare it to the 1923 map, also attached. It's tough to tell all the little shacks/cottages apart, and the NHA image database is still down. We know that Jackie Seidel's parents had the Pomptonian cottage, the same one that's there today, on the lot by 1942 (I&M article, attached).

All of this is to say that Codfish Park is an important historic neighborhood that developed in its own unique way. This small scale and character of the remaining structures should be preserved, less its charm be forever lost.

I will certainly send along any additional photos I can get once the NHA database is up.

With thanks,

Mary

Mary Bergman
Executive Director



During the economically

Codfish Park notes:

December 26, 1908:

“Did you chance to see the unusual display in Codfish Park last Sunday? The ladies of the hamlet below 'Sconset bank took advantage of the weather and did their washing a day ahead this week, and lots of “bunting” was flung out to the ocean breezes on the Sabbath.”

Saturday, Jan 16, 1909:

Antone Swasey “None Such” “Never In” and “Dreamland.”

Antone Swasey—president of the Portuguese benevolent society “is doing an artistic job of painting on the fish market of Manuel Thomas at 'Sconset, which all are invited to inspect.”

Saturday, April 17, 1909:

“Several residents of Codfish park are essaying to make lawns about their little homes. Their zeal is truly laudable.”

June 5, 1909:

“Edward Swain is making his property very attractive. He has a prominent site on Chitterling Road in Codfish Park, and has painted the residence, stable, fences, etc., in a shade that is very harmonious with the surrounding landscape. Besides, Mr. Swain has a good lawn started, and about his house are growing rose bushes and flowering plants. Mr. Swan’s place is a credit to Sconset and stands out particularly attractive in the park. Another public benefactor is William Brownell, who has an estate on the Breeches terrace in Codfish Park. Mr. Brownell has a very attractive lawn started right on the beach, which is the envy of his immediate neighbors on Fin lane, several of whom are endeavoring to enlarge the oasis. It is a satisfaction to chronicle these efforts at village improvement and to see that civic pride is not wholly foreign to our soil; and it will be a pleasure to see evidences of public spirit manifesting itself in other sections of the village.”

June 12, 1909

Manuel Thomas is having some painting done about his property on Scales street, Codfish park.

Charles C. Taber house burned in 1909.

Sat. October 15, 1910:

“It is many moons since Codfish Park has been so devoid of residents. The regular denizens are having their annual outings.

T.F. Galvin’s place is being made even more attractive than heretofore by the addition of more hedgerows and other plants. Lewis Henry arrived Wednesday...

Sat. May 20, 1911:

Stillman C. Cash is erecting another dwelling on Foothill avenue, Codfish park. The park is already quite densely populated. Since the cement walk was laid on Breeches terrace, there have been rumors that residents of Fin ave and Skate street will apply to the next annual meeting for an appropriation to improve those ways. Codfish park is growing faster than any other section of Siasconset in the way of building operations, and the architectural features are crude and varied.

Sat. June 10, 1911:

Have you noticed the good work committeeman Manuel Thomas has been doing on Cement Promenade, Codfish Park. He has done all he can to grass-border the promenade, even to watering the thirsty soil with a watering pot. He is conscientious in full measure.

Codfish Park is undergoing a spring house-cleaning. A lot of the unsightly rubbish and litter that have disfigured the park system have been removed and buried, and the work still goes on. If the residents of Ward 1 will form a civic league and make the places, and terraces, and lanes, and alleyways, and avenues, and roads, and boulevards, cleanly, then they will accomplish great and glorious good, and bank-edgers will rejoice.

Oct 14, 1911:

“...and Codfish park looks lonesome. All the residents on Fin road have folded their tents and left in the early dawn, one having had the temerity to fail to pay Stillman Cash and Samuel P. Pitman for chickens rendered. The terraces and places are deserted, and the beads of the lights through the little windows of the mansions in the park are missed.

May 25, 1912:

George Shellfield Davis is contributing to the Codfish Park architecture a hip-roof igloo.

June 15, 1912:

The usual peaceful atmosphere of Codfish Park was somewhat disturbed by a neighborhood quarrel Wednesday evening, which fortunately did not assume serious proportions. For a time the circumambient air was rent with sound waves bearing opprobrious epithets and threats. It proved hot air. It is said 'twas some sudsy for a few moments.

October 12, 1912:

Stillman C. Cash has moved his fish-house from the shore, across the beach to a site on the Atlantic boulevard, Codfish park.

April 12, 1913:

This land comprises what is today known as "Codfish Park," below 'Sconset bank, where there are numerous fish-houses and miniature dwellings which have been erected by squatters. In front of the section known as Evergreen Park, line of posts have been set out from the bank to the high water mark, and there seems to be some doubt about the property rights in that section, which cannot be determined until after the land deeded to the town by Henry Coffin has been surveyed.

August 30, 1913:

A bit of a disagreement among the colored residents of "Codfish Park" at Siasconset resulted in Eva Brown swearing out a warrant against Mamie Kelly, alleging assault, and also one against Jennie Morse, alleging that the latter assisted in the assault. After listening to the testimony, the court found the defendants guilty and fined Mamie \$20 and Jennie \$15.

May 23, 1914:

The lodging house at No. 2 Michaelo road, Codfish park, has been named "The Naples."

June 13, 1914:

John Thomas has enlarged his house on Quahaug lane, Codfish park.

October 3, 1914:

Codfish Park is losing its air of activity, and the "stately lingerie," flipping, flapping beside the more plebeian gingham has largely faded from the landscape in that section of rub and scrub and soap-suds. Yet there are still a few lights twinkling through the little window panes o' evenin's.

Oct. 17, 1914:

A son—9 pounds avoirdupois—was born on the 8th instant to Mr. and Mrs. Weston Esau, at their home, Gill place, Codfish park.

May 29, 1915:

Could there be anything more interesting than the development of Codfish Park. It is a most entertaining study in village enlargement, which hamlets in the far western mining districts would take off their hats to. No civil engineers have yet been called in; no landscape gardeners have yet been required; no architects of high technique have been employed; no highfalutin specialists of any sort have entered the evolution of the Park. Yet each year the new coming is confronted with remarkable and unexpected changes. This year opens with several cases of slat fences enclosing the adjacent door-years. We see, also, the handiwork of the house painter in some sections. In other places may be seen little spots under cultivation for flowers, climbers and shrubs. (This is a growing feature everywhere about 'Sconset.) We find one or more new mansions completed or in process of construction. We find one or more new mansions completed or in process of construction. Here there is a little touch of special architectural features and there are to be noted utility and convenience with any ideas of architectural harmony left out of the question. Poultry culture is a prominent feature. In the line of town history,

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May 5, 1917:

George S. Davis is building a cottage in "Codfish Park" for Larry Welch.

Oct 19, 1918:

Codfish Park continues its pace towards real urban conditions, and now one discovers in a pilgrimage through its terraces and ways pretentious door-steps of cement, green lawns, pretty little window boxes, and a two-story dwelling in course of construction.

May 15, 1920:

Street lights in Codfish Park! An established fact. And, too, a substantial fence of turned palings, encircling a pretentious home garden plot, is another recent development in that busy quarter, where two automobiles are now housed, one having a regular constructed garage for its home. Codfish Park, at its present rate of progress will be a dream, and Ken. Webb, the movie man, should not forget it when casting about for another 'Sconset panorama to film. The beautifiers are setting the native populace an example that could be followed to advantage.

June 5, 1920:

A week or two since this column recorded the fact that automobiles were owned and operated by residents of Codfish Park, and were housed there. These machines negotiate the bluff from the park via Hairpin Curve without difficulty. Machines have been seen several times recently near the old bath-house site, reached via a road leading north from Brinton road. And it was only last week the writer saw a truck-load of lumber, unloading at the foot of the Middle Gulley. Then the driver essayed to drive his car up the steep cobbled way to Front Street, but failed to get over the top, so backed down, went along Atlantic avenue, and went up Hairpin Curve without further incident. It may not be a far cry to the time when the town road, laid out a few years ago across the beach, between Brinton road to the line of the Evergreen Park property, will be improved, and can be seen flitting the entire length of the beach. Who can tell?

September 16, 1922:

An old platform—the nucleus of a shack that never was built—north of Ocean Way, Codfish Park, was sold at auction Wednesday, by auctioneer Johnson, for \$42 to John Dean. A small bath-house went for \$10 to Victor Alio.

Some little interest was exhibited in the sale of three small cottages in Codfish Park, Wednesday morning, and auctioneer Johnson did not have to exert himself for bids. The property was of the estate of the late Charles C. Taber, and Victor Alio, Antoine Santos and John P. Taber were the purchasers, the sale prices being \$450, \$525 and \$540 respectively.

June 6, 1925:

As to "Codfish Park," there are some thirty-eight squatters with buildings erected on land which was placed in trust for the inhabitants of Nantucket by Henry Coffin in 1884, with the stipulation that no buildings other than bath-houses should ever be erected thereon.

One by one, the buildings in Codfish Park have multiplied until now there are some thirty-eight buildings occupying land which was reserved as park land by the grantor forty years ago. It hardly seems probable that the town will order all of these buildings removed, yet they have no right there. Some of them are fish-houses; others are dwellings; some are business places. Were they to be removed where would the buildings be put? Where would the residents of Codfish Park go? That would really be a problem for 'Sconset? But at present it does not look as though Codfish Park would be bothered. The main thing which the town wants, done is to prevent the springing up of another colony of buildings on any other land which has been set off for the public in trust. And it looks as though the bluff and the beach north of Codfish Park would within a few months be secure in its trust through registration in the Land Court.

Codfish Park compared to a Hooverville, May 12, 1934

July 27, 1935: In the part known as Codfish Park shacks of various types were built, the owners becoming "squatters" just "as were the original settlers" says Roland B. Hussey, an authority on the village, in his story of its growth.

In 1886, a large portion of the new beach was dedicated to the public use by Henry Coffin, who gave three trustees the power to regulate and administrate the same.

March 13, 1937: For nearly two centuries the Legislature and the Courts of the State of Massachusetts kept a strict hands off policy in regards to Nantucket lands and land owners. Of course, with the inception of the Land Court in 1891, a new system of registering land began on Nantucket. This Land Court has held several hearings on Nantucket in regards to lands in Codfish Park (so-called) and Polpis. In both cases, adverse possession has played an important role in the decisions.

January 22, 1938: It was discovered that many little dwellings and buildings in that part of the village of Siasconset called Codfish Park, enjoyed a certain exemption from taxation and this property promptly disappeared from the tax roll.

Jan 2, 1943: A lengthy conference was held with Grace M. Henry, town attorney, in relation to the section below 'Sconset bank commonly called Codfish Park. The land is now held under trusteeship from a grant made by the late Henry Coffin and it has for many years been occupied by squatters, who maintain small dwellings, fish houses, and other buildings there.

If the trustees would relinquish certain rights to the Town and the section could pass through the Land Court, the property could become taxable, whereas at present the town has no revenue therefrom.

November 13, 1954: A letter was received from Mrs. Richard Mauldin, a resident of Codfish Park, 'Sconset, asking the Selectmen if it would be possible for her to purchase the property in the area owned by the late Linda Arey. Secretary Glidden declared the buildings "Below the bank" are actually personal property, as the owners do not own the land on which the buildings are located. Chairman Hardy said he feels the Town should try and get it straightened out, to which the others agreed, referring the question to the Town Counsel.

1991 ATM—should Codfish park trust be dissolved and people be allowed to register their land? Town votes yes but has to go to further decision. People had been paying taxes on land. 40 or so parcels were registered, but 13 were unregistered as of 1990.

No name storm—1992. 9 million worth of damage to Codfish Park

Cathy Flynn

From: Holly Backus
Sent: Thursday, July 09, 2020 9:45 AM
To: Cathy Flynn; Kadeem McCarthy
Subject: Fwd: 10 Beach, More History
Attachments: image001.png; ATT00001.htm; horace jernagen .png; ATT00002.htm; NantucketOct1923Oct1949Sheet24 10 beach.pdf; ATT00003.htm; 10 Beach on Map.png; ATT00004.htm; NantucketOct1923Sheet24.pdf; ATT00005.htm; The Inquirer and Mirror _ Saturday, August 01, 1942 _ 2 10 beach.pdf; ATT00006.htm

Can this email and photos be put into a PDF as additional information for 10 Beach Street (SAB & HDC packet)??

THANK YOU!!!!

Holly E. Backus
Preservation Planner
Local Hazard Mitigation Plan Coordinator
Town of Nantucket
hbackus@nantucket-ma.gov
Check out our Community Resilience Planning @ www.resilientack.org

Sent from my iPad.

Begin forwarded message:

From: Mary Bergman <mbergman@nantucketpreservation.org>
Date: July 7, 2020 at 9:08:43 AM EDT
To: Holly Backus <hbackus@nantucket-ma.gov>
Cc: Rita Carr <rcarr@nantucketpreservation.org>
Subject: 10 Beach, More History

Hi Holly,

I have done a little more research into the history of 10 Beach, if it is still up for consideration for demolition. (As much as I can without the Registry of Deeds being open.) As you know, I strongly urge against the demolition of this structure. Few remaining examples of Codfish Park's early cottage architecture exist, and they should be preserved.

The history of each structure in Codfish Park is complicated by the fact that the Siasconset Bathing Beach Trust held the land that is Codfish Park from 1885 until 1993. Some owners were able to record their land in the 1960s, but others did not until recently. In the case of 10 Beach, See Book 1249, Page 153 (in 2010) when the land was formerly released from the Siasconset Beach trust to the Seidels.

Constance Viola Green Haroldson purchased 10 Beach in 1942 from William Jernegan (Book 109, Page 539). When Haroldson purchased the property, there was no clear title. Jernegan had a Land Court case to register the land in 1923(case 9499).

William Jernegan owned the William Jernegan Ice Company that operated out of 3 New Street. That building later became the Srail Club, of which Jerengan was a member. The Srail Club was a men's social club established to create comradery between year-round and summer men. You can read more about

it on the NHA's Sconset 02564 exhibit website
(<https://nha.org/digitalexhibits/sconset02564/timeline/srail-club.html>).

Attached is a picture of William's son, Horace Jernegan, at the ice house. (Since the NHA image database is still down I'm limited in what I can find.)

I include this information on the Jernegens to highlight the importance of Codfish Park as a community where Nantucket's working people once lived.

The development of Codfish Park is particularly interesting. First simple fish shacks were built on public land, these shacks then modified into cottages. The neighborhood developed in a do-it-yourself manner, without city planners or architects. Perhaps what makes Codfish Park special can best be seen in this May 29, 1915 article in the I&M:

"Could there be anything more interesting than the development of Codfish Park. It is a most entertaining study in village enlargement, which hamlets in the far western mining districts would take off their hats to. No civil engineers have yet been called in; no landscape gardeners have yet been required; no architects of high technique have been employed; no highfalutin specialists of any sort have entered the evolution of the Park. Yet each year the new coming is confronted with remarkable and unexpected changes. This year opens with several cases of slat fences enclosing the adjacent door-years. We see, also, the handiwork of the house painter in some sections. In other places may be seen little spots under cultivation for flowers, climbers and shrubs. (This is a growing feature everywhere about 'Sconset.) We find one or more new mansions completed or in process of construction. Here there is a little touch of special architectural features and there are to be noted utility and convenience with any ideas of architectural harmony left out of the question. Poultry culture is a prominent feature. In the line of town history, it may be stated that Manuel Thomas, at No. 13 Atlantic boulevard, owns and occupies the first dwelling ever placed in the Park, while his garage, at No. 9 same thoroughfare, was originally Capt. George Coffin's fish-house, and was the first building ever erected on the Park lands, having been moved from the bank, above, when Nature started to enlarge 'Sconset's territorial area by building the Park. Close students of nature find much to entertain them in watching the Park panorama, whose every inhabitant appears happy. The only bit of discord that has yet been announced is just a slight feeling of resentment where one has built a new mansion which practically eliminates his western neighbor's ocean view. That, however, is a mere detail, and no serious consequences likely to follow."

(PS I'm pretty sure "mansion" is being used in a tongue-in-cheek way.)

So as to the question of when 10 Beach was built... See the attached 2020 google map and the 1949 Sanborn map. I've pointed on the Sanborn map where I think it was—let me know what you think. Compare it to the 1923 map, also attached. It's tough to tell all the little shacks/cottages apart, and the NHA image database is still down. We know that Jackie Seidel's parents had the Pomptonian cottage, the same one that's there today, on the lot by 1942 (I&M article, attached).

All of this is to say that Codfish Park is an important historic neighborhood that developed in its own unique way. This small scale and character of the remaining structures should be preserved, less its charm be forever lost.

I will certainly send along any additional photos I can get once the NHA database is up.
With thanks,
Mary

Mary Bergman
Executive Director

NANTUCKET PRESERVATION TRUST

11 Centre Street

PO Box 158

Nantucket, MA 02554

508.228.1387

mbergman@nantucketpreservation.org

Become a [MEMBER](#) and support our work!

This email was scanned by Bitdefender



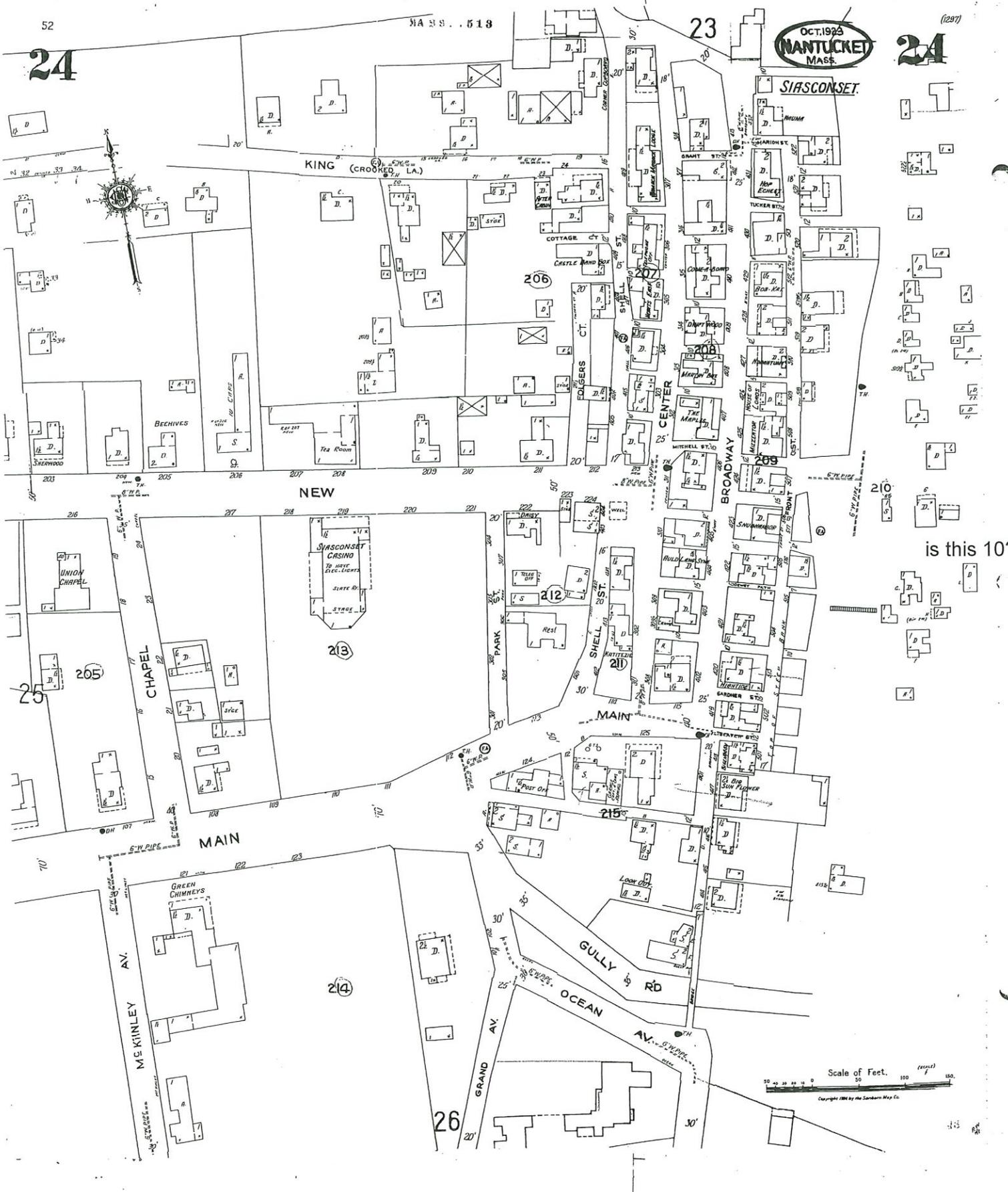
During the econon

24

24

OCT. 1923
NANTUCKET
MASS.

SIASCONSET.



is this 10?

Scale of Feet.

Copyright 1923 by the Sanborn Map Co.

King St

Cen

Front St

Park Rd

Liam Welch Gallery



Folgers Ct

Shell St

Broadway

Bank St

Jefferson St

Jackson St

Fawcett Way

Bank St

Codfish Park Rd

Front St

Beach St

es
rice



Siasconset Market

Center St

Broadway

Gully Rd

Gully Rd



Siasconset Playground

Google

24



OCT. 1923
NANTUCKET
MASS.

24

(1297)



Scale of Feet.
Copyright 1923 by the Southern Map Co.

Sconset Notes

Cadet Walter Folger spent a four-day furlough with his mother last week.

Mrs. James Hutton arrived Monday and has opened her summer home in 'Sconset.

Mrs. Philip Glazier, of South Glastonbury, Conn., has arrived at her 'Sconset cottage this week.

Miss Mondor, of Norton, Mass., and two friends are house guests of Mrs. James Freeman, on Broadway.

Wilson Barrett, of Rutherford, N. J., is to arrive this Saturday to be at his summer home on Main street.

Mrs. Braff entertained fifteen guests Sunday, at Tom Nevers Head, with one of Jim Coffin's famous clam bakes.

Mr. and Mrs. Raymond Hanlon, of Boston, are arriving Friday to spend the rest of the summer at their home on Sankaty Road.

Mr. and Mrs. H. H. Knapp, Jr., and daughter, of Tenafly, N. J., arrived Saturday, for two weeks' vacation. They are in "Daisy Cot."

Mr. and Mrs. Brynjulf Haroldson and daughter Jacqueline, of Pompton Lakes, N. J., are at their cottage on the beach, "The Pomptonian."

Mrs. Joseph Drake Potter and son arrived at their cottage in 'Sconset this week. They are a month late in arrival this season, due to illness.

Mr. and Mrs. Edward J. Amery and daughters, Paula, Marlene and Sandra and son Edward, of Lynn, are at their cottage on the beach for the summer.

Mr. and Mrs. W. E. Woodruff, of Wilkes-Barre, Penn., arrived Tuesday evening for the rest of the summer. They are at their cottage on Broadway.

Leonard Frisbie, of New York city, is the guest of Mr. and Mrs. H. J. Marshall, who are spending the month of August in "Svargaloka," Elbow Lane.

Mr. and Mrs. P. A. Williams, Jr., and daughter Rosemary, arrived Monday night to spend their vacation with Mr. Williams' parents at the "Home Buoy" on the beach.

Miss Janet Gorton, Miss Rita Wheelwright, Mrs. Alice D. Bancroft and Miss Helen Banker are house guests of Miss Julia Banker, at "Snug Harbor," on Broadway.

"Tiny" gave a moving picture entertainment at "Moby Dick" one evening this week, the proceeds of which were donated to the Hospital. "Tiny" is always doing something like that to help a good cause along.

Mrs. Florence M. Knowles, treasurer of the County Savings Bank, Chelsea, Mass., who, with her daughter, Miss Winifred, have been guests of the Eben Hutchinsons at "The Crow's Nest", Siasconset, have returned to the mainland.

Lieut. John C. Lathrop had a five-day leave, which he spent with his parents, at the "Bend of the Road." He is has been stationed at Little Creek, Va., leaving last week for Brooklyn, N. Y., where he is now stationed at the Armed Guard School.

Thursday, July 30th, was Henry Ford's 79th birthday and Philip A. Williams, of 'Sconset, sent him his usual message of well wishes. It was 38 years ago that Mr. Ford made Mr. Williams his first New England representative and a friendship has continued between the two men ever since.

Two of the young men who spent their summers in 'Sconset and are now in their country's service are Stanley W. and George W. Greene.

Stanley is now at the Army Radio

OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

X	HDC case number: (ex HDC2020-xx-xxxx), if applicable HDC2020-01-0547
X	<u>Copy of Minutes</u> (application item circled)
X	<u>Reduced (8 1/2 x 11) copy of application</u>
X	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) a) Site Plan b) North Elevation c) South Elevation d) East Elevation e) West Elevation f) Window/Door Schedule
X	<u>One set reduced plans</u> : 8 1/2 x 11
X	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

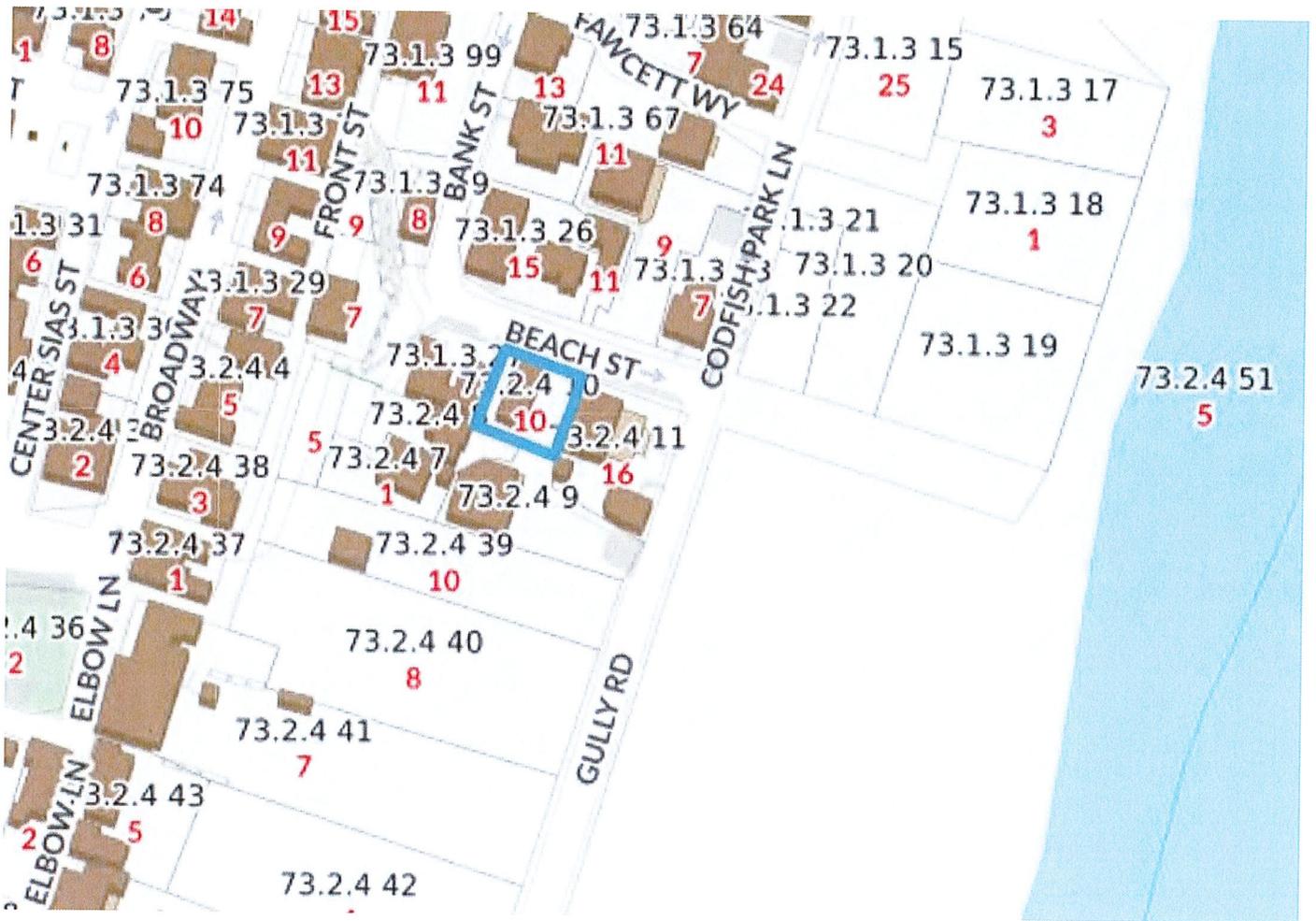
I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: _____ Date: 08.20.20

Wilner Residence

10 Beach St

Nantucket, MA 02554



LOCUS MAP

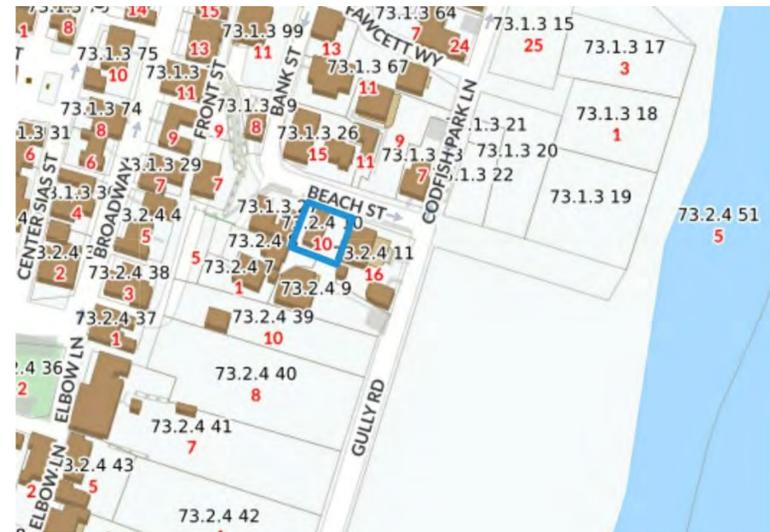
Not to Scale

6. Sheila Wilner Trust	01-0547	10 Beach Street	New dwelling	73.2.4-10	Emeritus
Voting	Pohl, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, correspondence, and advisory comments.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (7:10)	<p>MacEachern – Reviewed changes made per previous concerns; asked commissioners to review recent approvals in Codfish Park. Doesn't think he can bring the plate height or ridge height down and more.</p> <p>Backus – There was no SAB meeting but read into the record statements from some SAB members: changes superficial; current design pays no respect to history of Codfish Park and should incorporate current structure.</p> <p>Welch – Too large and overpowers the site; 1¾ structure inappropriate; needs simplification; in this location it's too homogenous to the point it won't fit in; still uncomfortable talking about this design without having resolved the demolition/move-off. The wall above the 1st floor is very tall.</p> <p>Oliver – She doesn't feel comfortable without resolving the demolition. The changes look positive. Concurs with Mr. Welch; this is a modern structure and lacks the additive "carbuncles" of Codfish Park.</p> <p>Camp – Nothing to add; she agrees.</p> <p>Pohl – Like the SAB comment about salvaging the doorway. Agrees with what's been said.</p>				
Motion	Motion to Hold to track the demolition/move-off. (Welch)				
Roll-call Vote	Carried 4-0//Oliver, Camp, Welch, and Pohl-aye			Certificate #	
7. Nantucket Island Res	06-1267	29 Broad Street	Railings	42.4.2-38	Linda Williams
Voting	Pohl, Coombs, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, and historic documentation.				
Representing	Linda Williams				
Public	None				
Concerns (7:24)	<p>Williams – Suggest portion of railing (as seen from Ash Street) next to brick to go to red and the piece off the right go to grey; they know they have to deal with the two huge condensers on Centre Street.</p> <p>Oliver – She doesn't want to see the railing different colors; it's white now and thinks it best to keep it that. Agrees with the Centre Street railing matching the existing fire escape.</p> <p>Camp – The white stands out; she likes the plan where railing disappears into the building. We'd all like to see the J.C. House return to the 1880s wrought iron; the next best thing is to let it fade into the background.</p> <p>Welch – It needs visual cloaking so it's almost not there; his problem is that the metal railing is so perfect – no inclusions or dents in the material. Up close it looks like metal and that is troublesome in the old historic district (OHD). The railing visible from Ash Street will be hard to ascertain details if it's painted red. Grey on the abutting section helps to cloak the fact there are no imperfections. Anything above the eave should be painted red. The railing on Centre Street should be largely similar to existing.</p> <p>Coombs – Likes the proposal which blends the Ash Street railing into the building; white is too obvious. Okay with the old fire escapes on Centre Street.</p> <p>Pohl – The red and grey will serve to downplay the railing.</p> <p>Flynn – She would have to pull the file to double check that the as-built fee was paid.</p>				
Motion	Motion to Approve through staff as proposed at the table; the railing on Centre Street to match the details and color of the fire escape; and with the as-built fee paid. (Coombs)				
Roll-call Vote	Carried 5-0//Camp, Oliver, Welch, Coombs, and Pohl-aye			Certificate #	HDC2020-06-1267

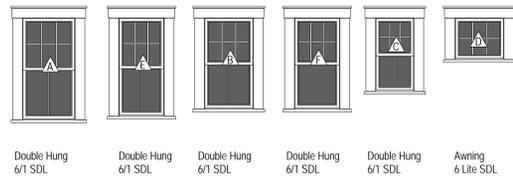
08.20.20

Wilner Residence

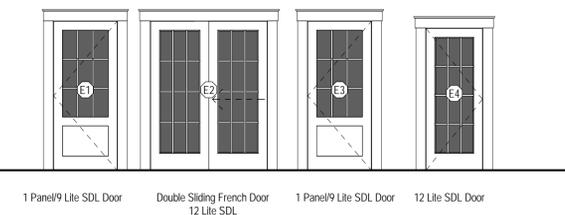
10 Beach St
Nantucket, MA 02554



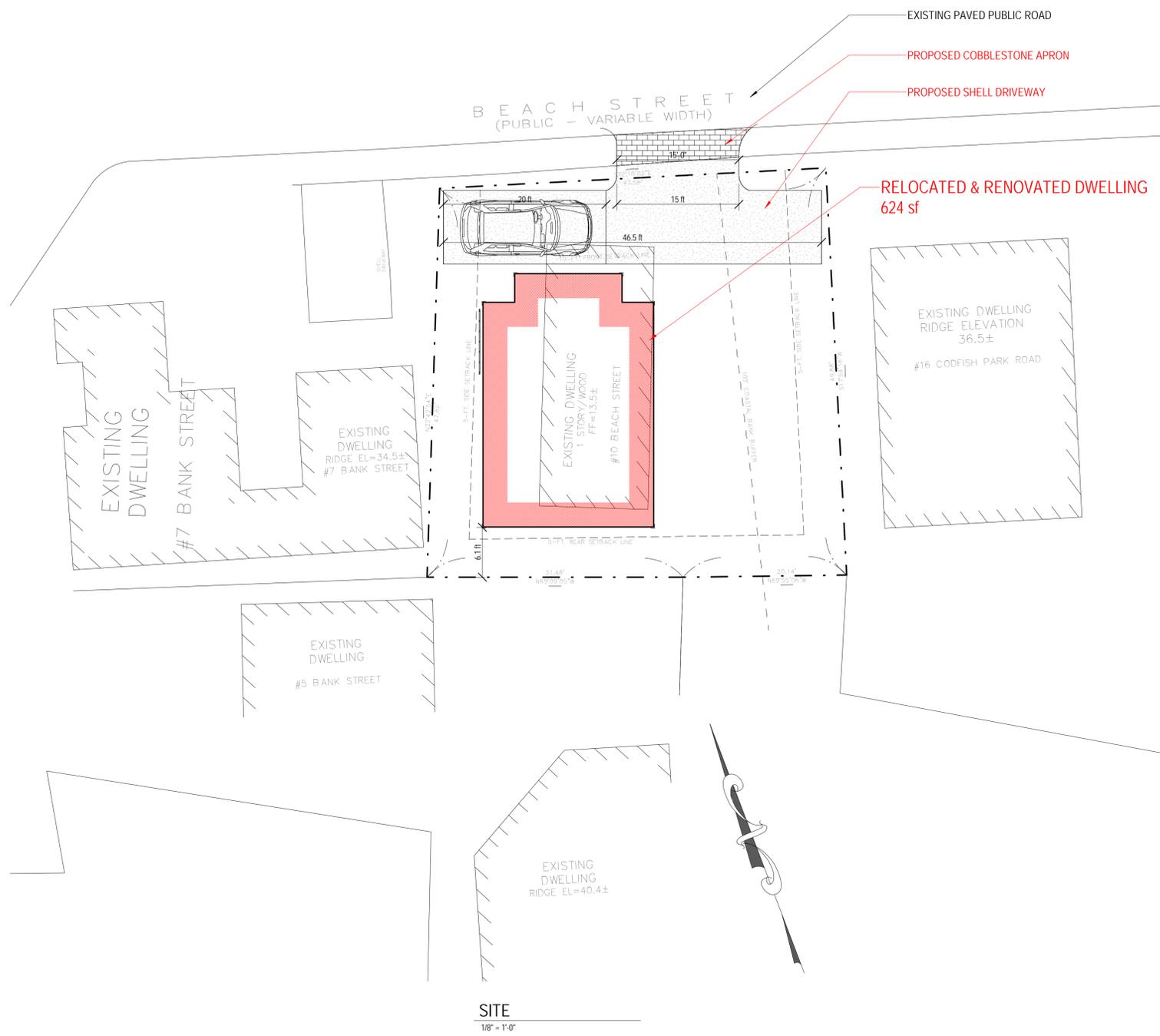
LOCUS MAP
Not to Scale



Window Legend
1/4" = 1'-0"



Door Legend
1/4" = 1'-0"



1912

Wilner Residence

10 Beach St
Nantucket, MA 02554



COVER SHEET

Site Information

Map & Parcel:	73.2.4 / 10
Current Zoning:	SOH
Minimum Frontage:	50'
Front Setback:	0'
Side/Rear Setback:	5'
Lot Size:	2,419 sf
Min. Lot Size:	5,000 sf
Allowable G.C.:	50% or 1,209 sf
Existing G.C.:	427 sf
Proposed G.C.:	624 sf
Total Proposed G.C.:	624 sf

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

Revisions

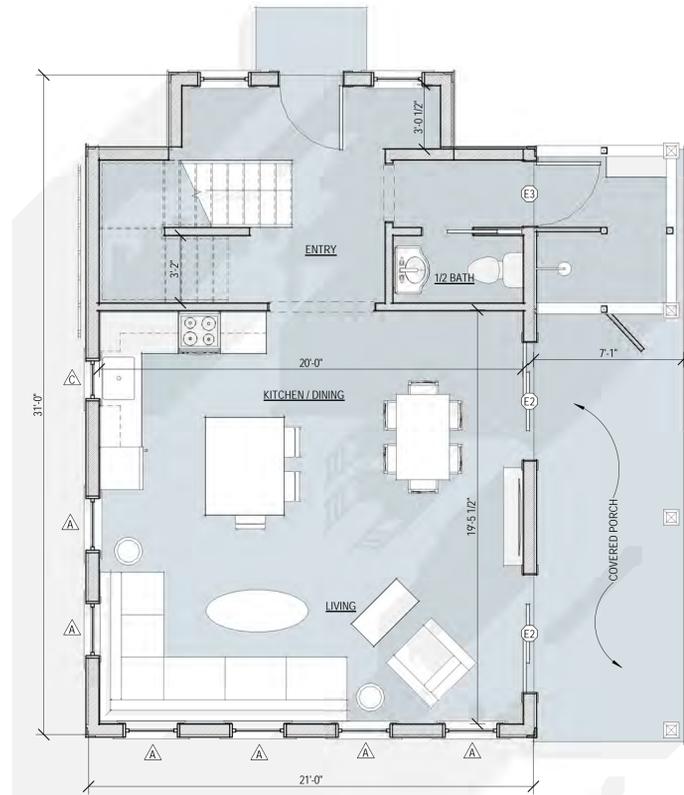
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G.101 1912

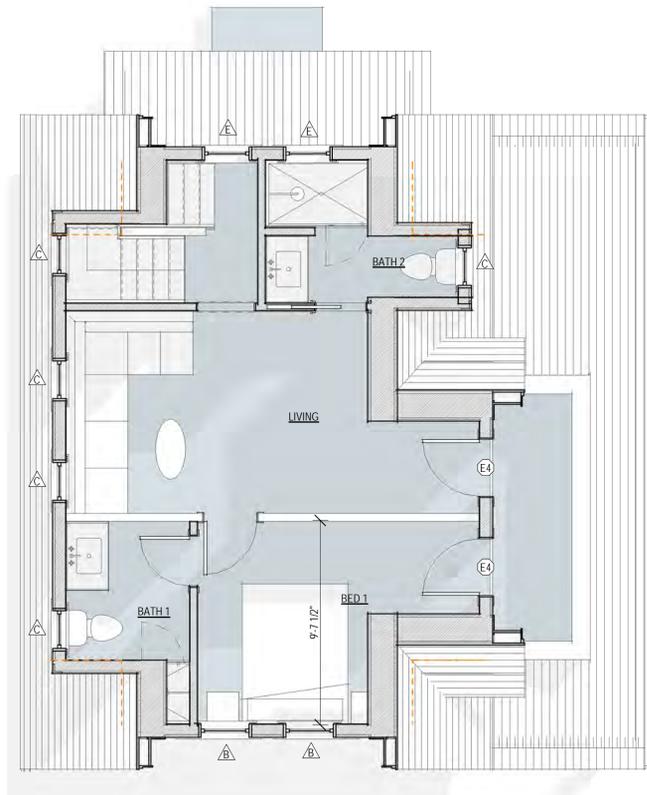
HDC Submission

08.20.20

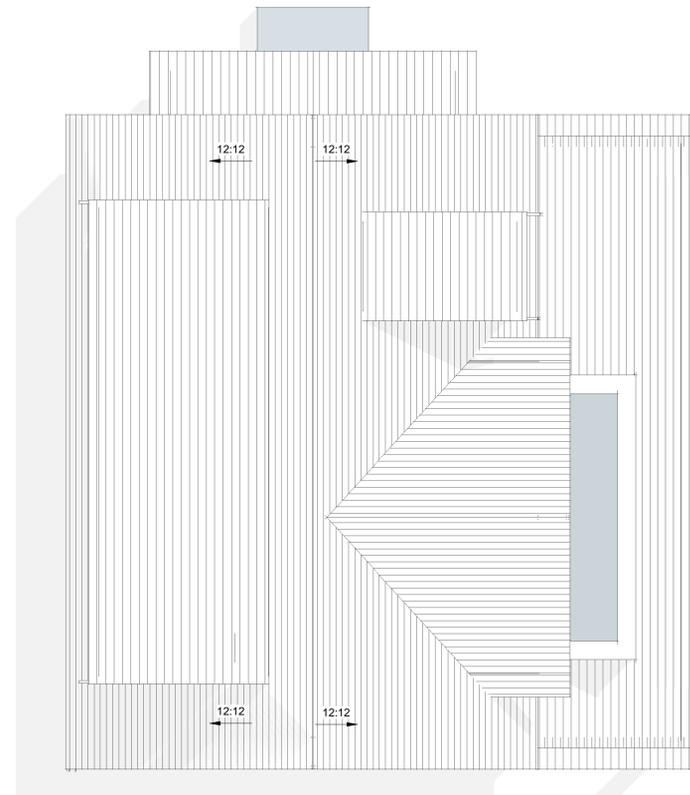
HDC Submission



1 First Floor Plan
1/4" = 1'-0"



2 Second Floor
1/4" = 1'-0"



3 Roof Plan
1/4" = 1'-0"

1912

Wilner Residence

10 Beach St
Nantucket, MA 02554



FLOOR PLANS & ROOF PLAN

Site Information

Map & Parcel:	73.2.4 / 10
Current Zoning:	SOH
Minimum Frontage:	50'
Front Setback:	0'
Side/Rear Setback:	5'
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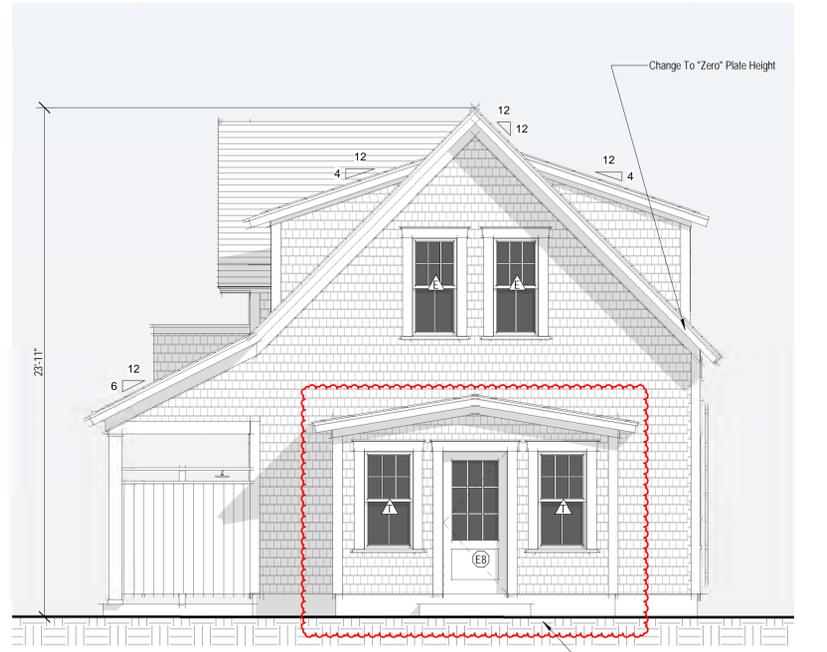
Revisions

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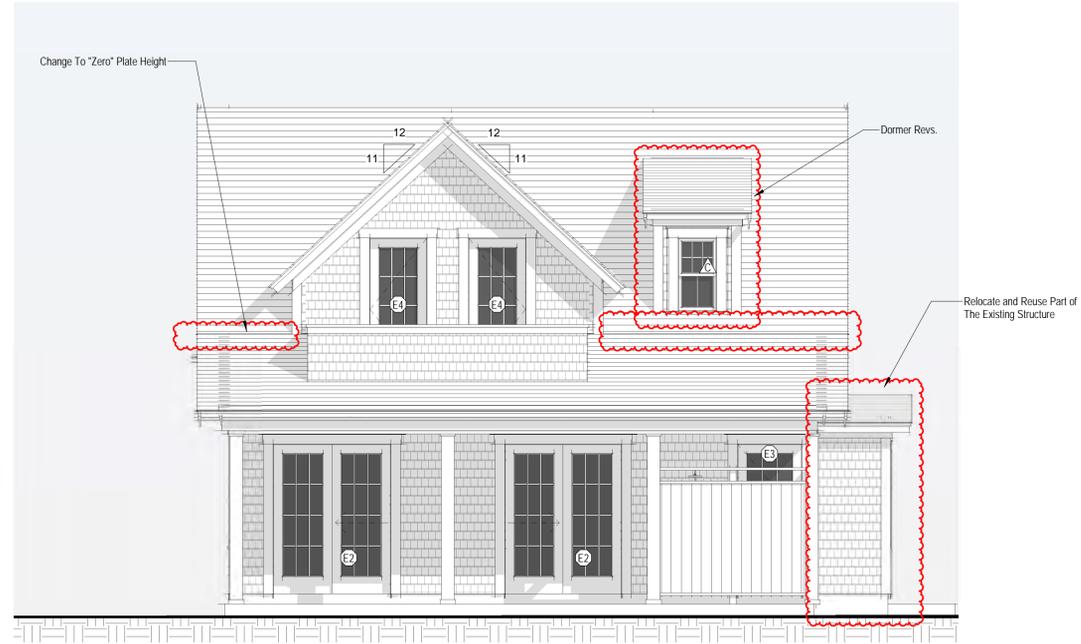
A.101
1912

08.20.20

HDC Submission



1 North Elevation
1/4" = 1'-0"



2 East Elevation
1/4" = 1'-0"



Previously Proposed North Elevation
1/8" = 1'-0"



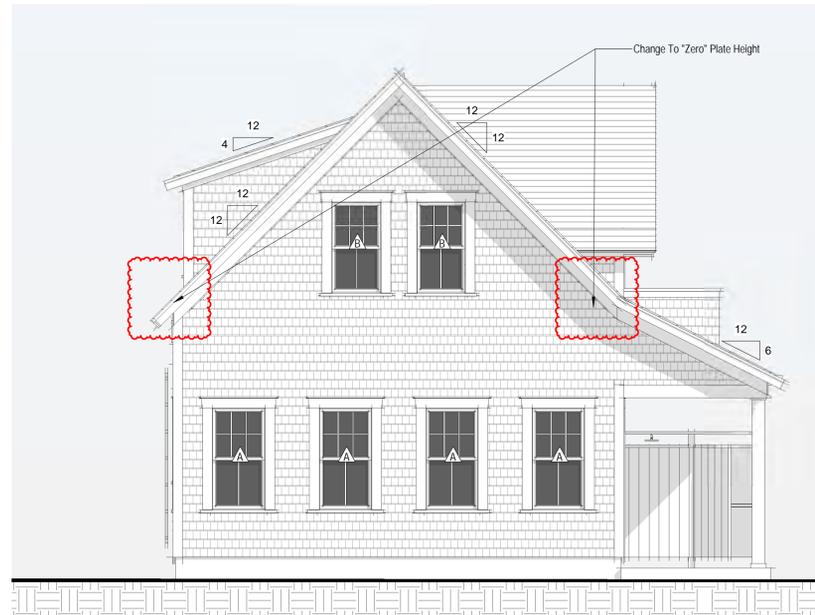
Previously Proposed East Elevation
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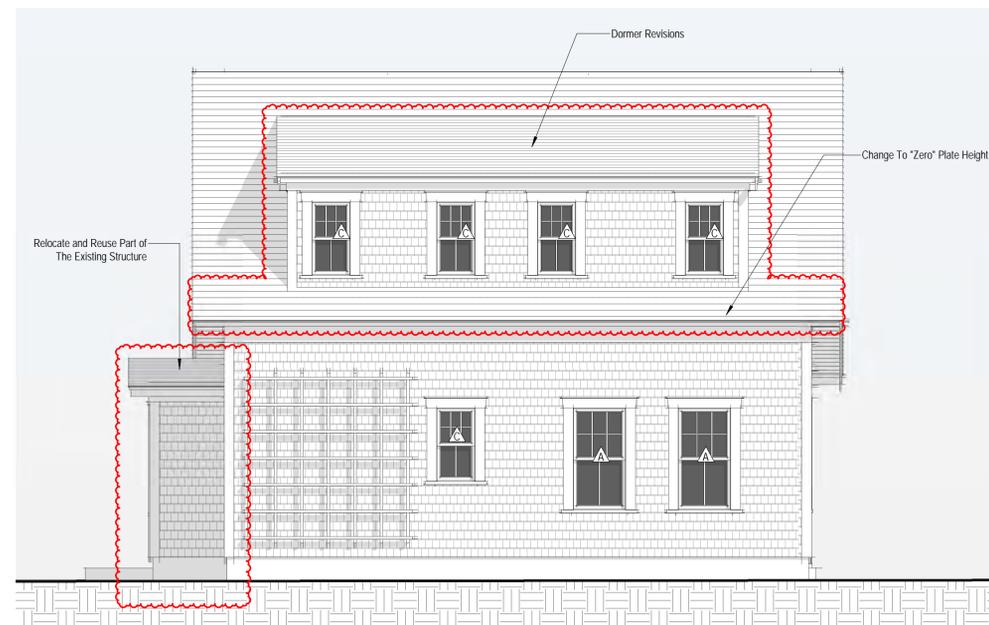
Previously Proposed South Elevation
1/8" = 1'-0"



Previously Proposed West Elevation
1/8" = 1'-0"



3 South Elevation
1/4" = 1'-0"



4 West Elevation
1/4" = 1'-0"

1912
Wilner Residence

10 Beach St
Nantucket, MA 02554



EXTERIOR ELEVATIONS

Site Information

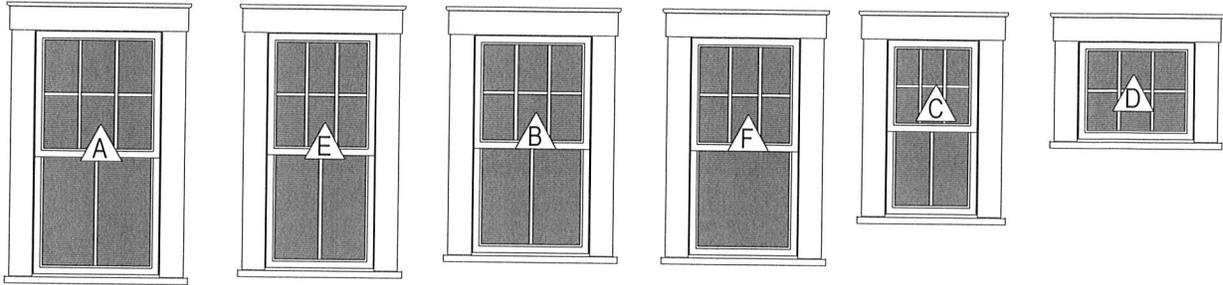
Map & Parcel:	73.2.4 / 10
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Revisions
Revision 1 Date 1

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A.201
1912

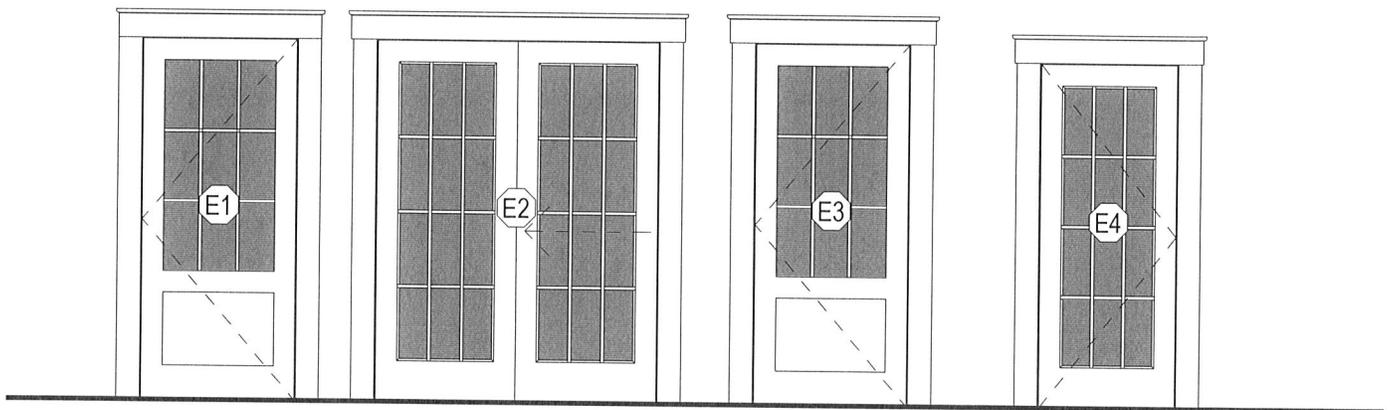


Double Hung
6/1 SDL

Awning
6 Lite SDL

Window Legend

1/4" = 1'-0"



1 Panel/9 Lite SDL Door

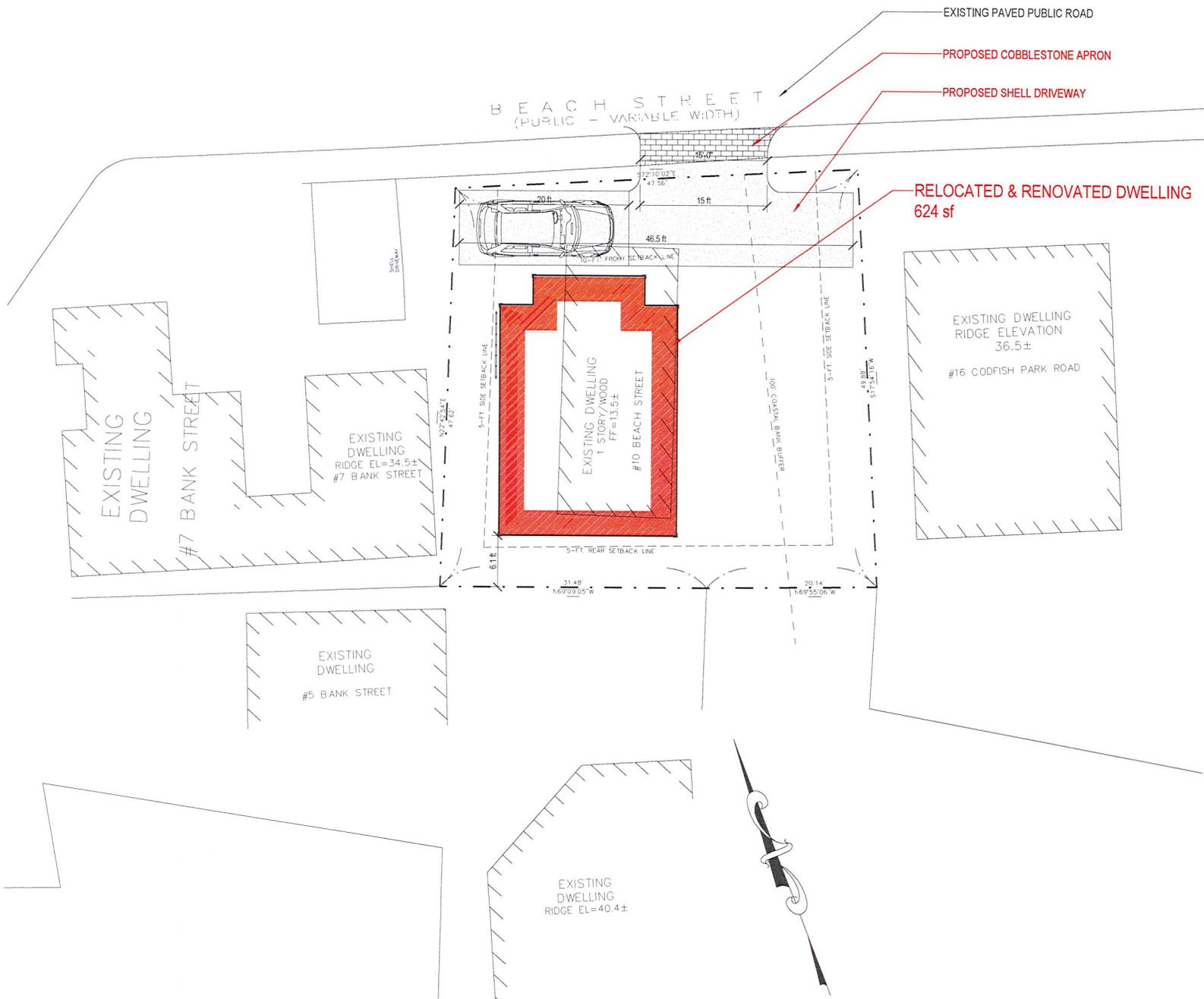
Double Sliding French Door
12 Lite SDL

1 Panel/9 Lite SDL Door

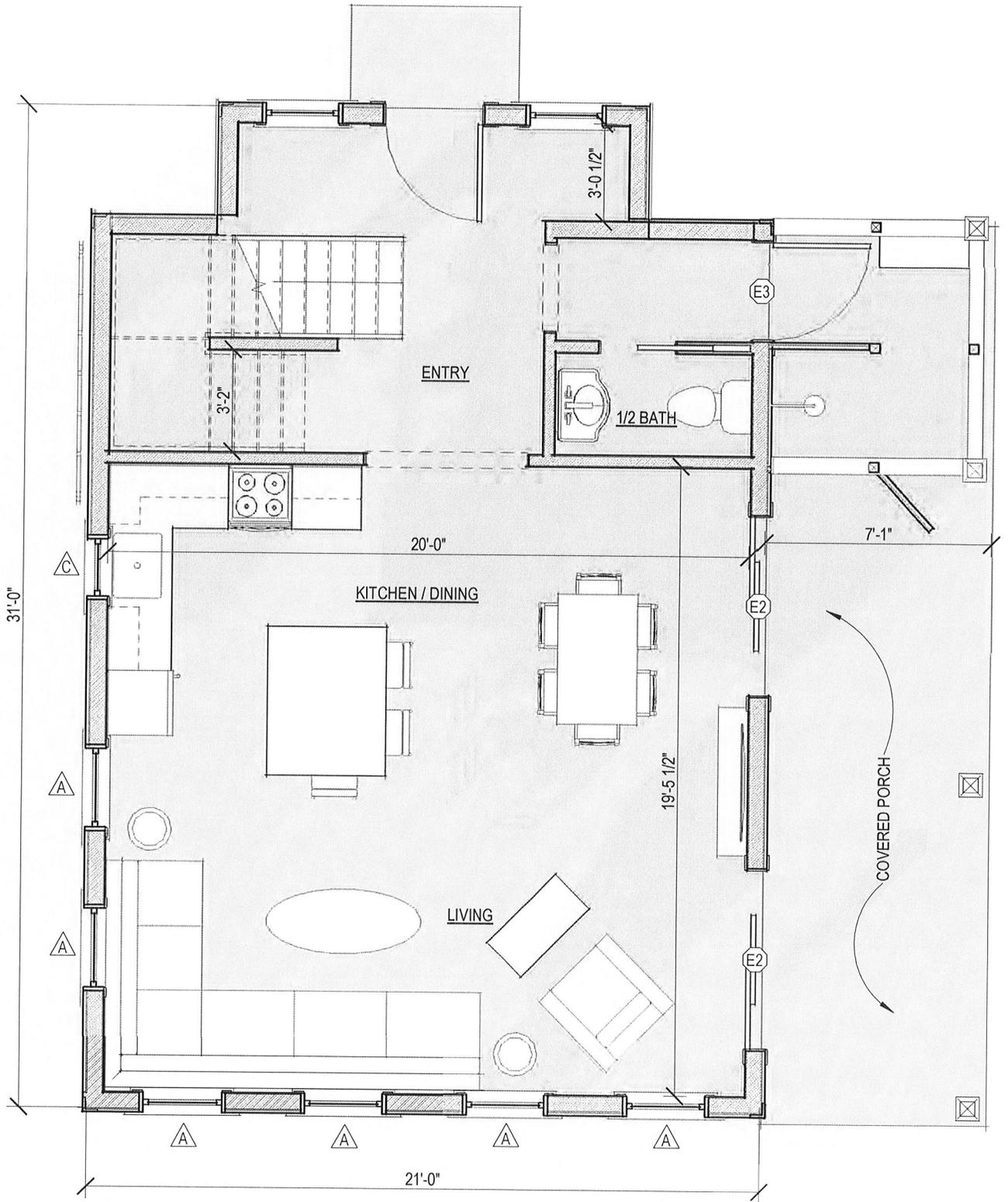
12 Lite SDL Door

Door Legend

1/4" = 1'-0"

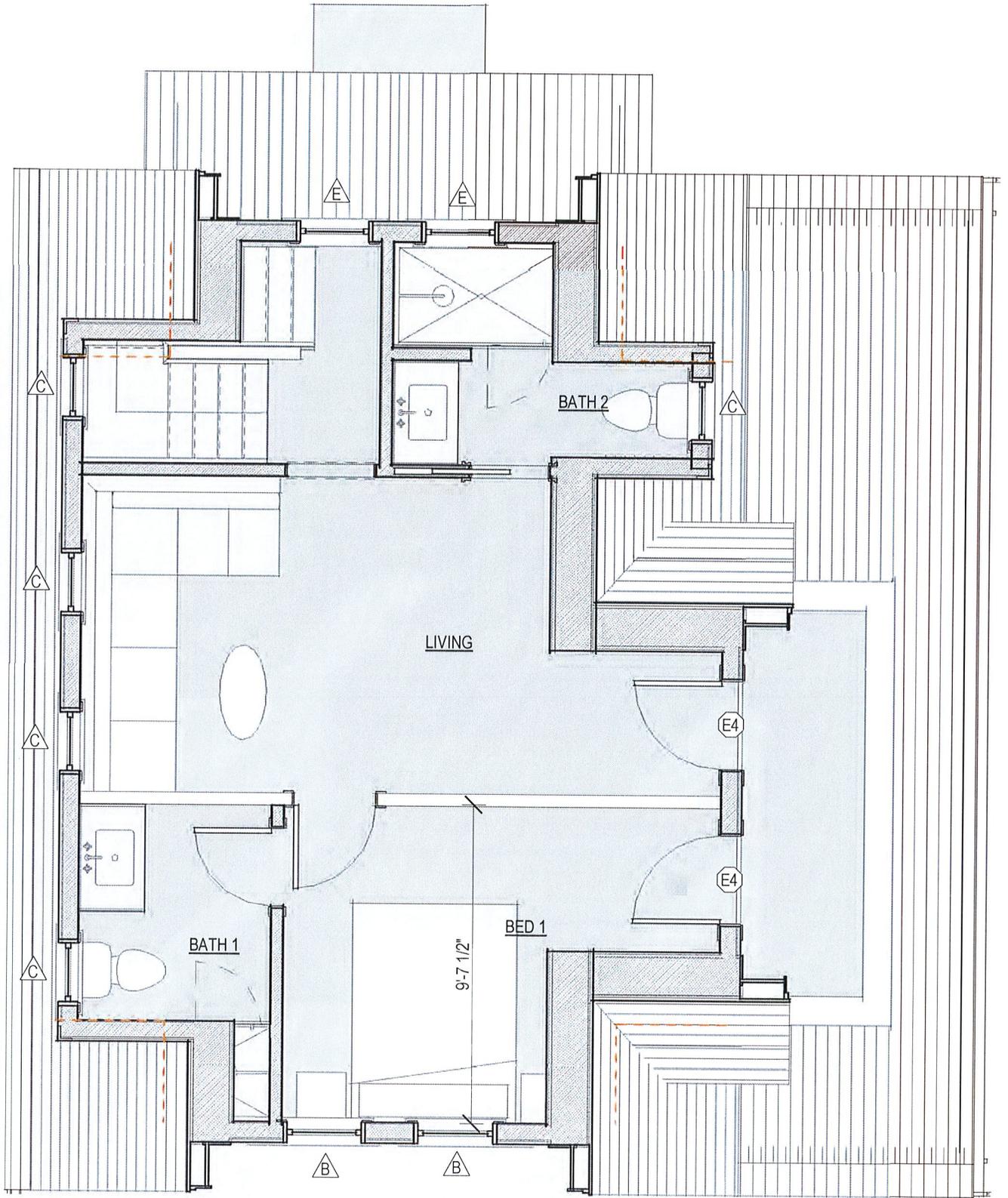


SITE
1/8" = 1'-0"



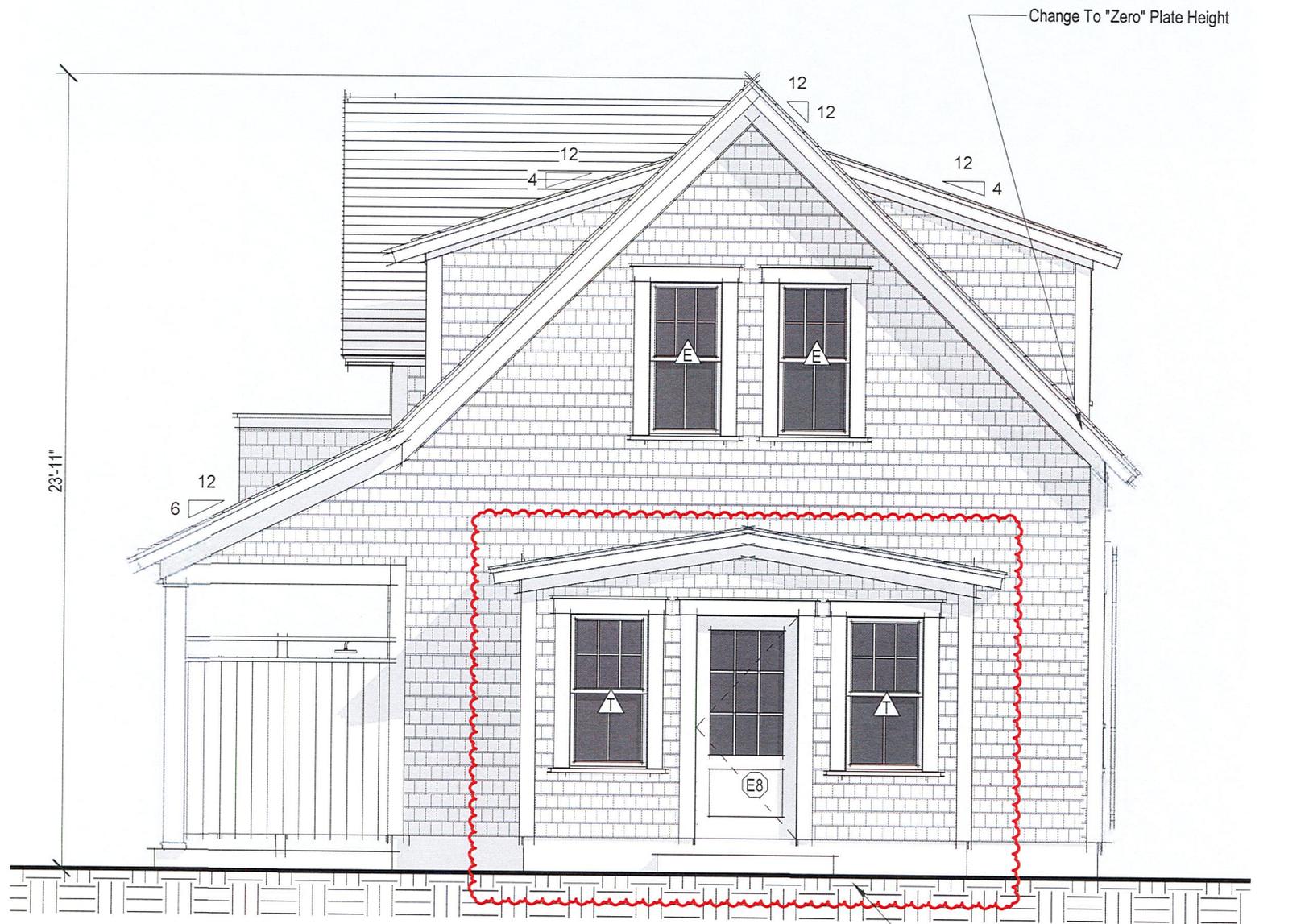
1 First Floor Plan

1/4" = 1'-0"



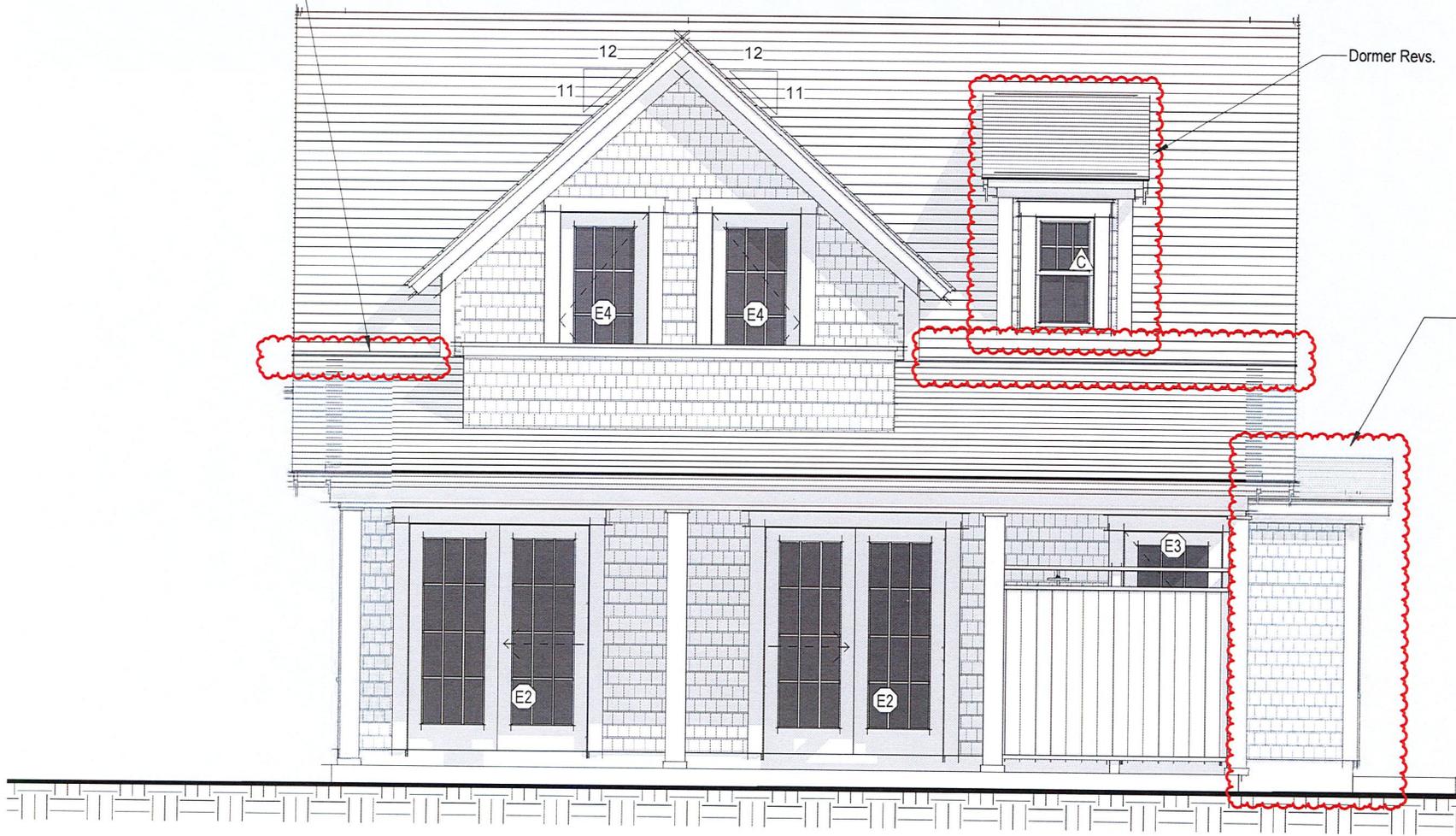
2 Second Floor

1/4" = 1'-0"

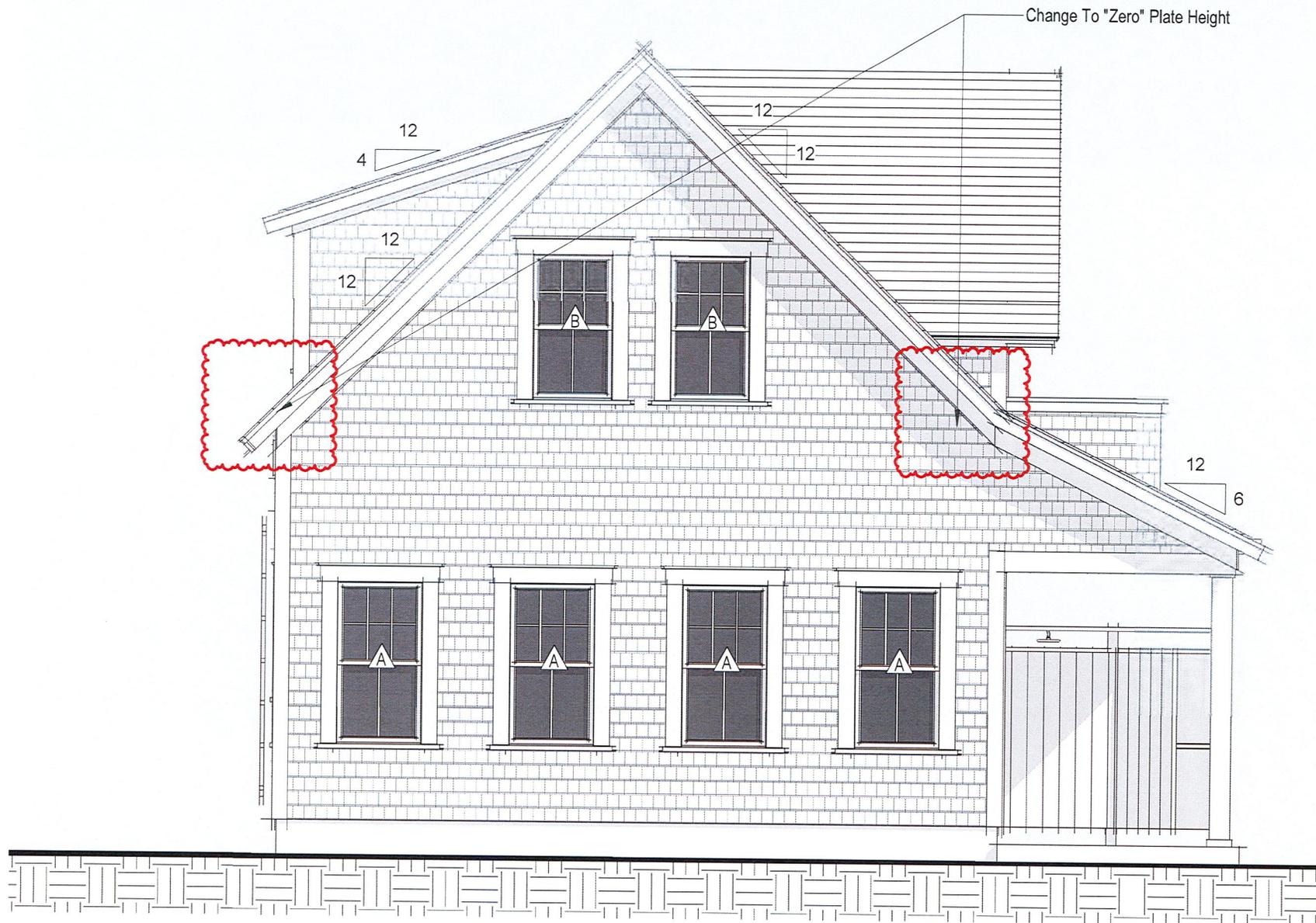


1 North Elevation
 1/4" = 1'-0"

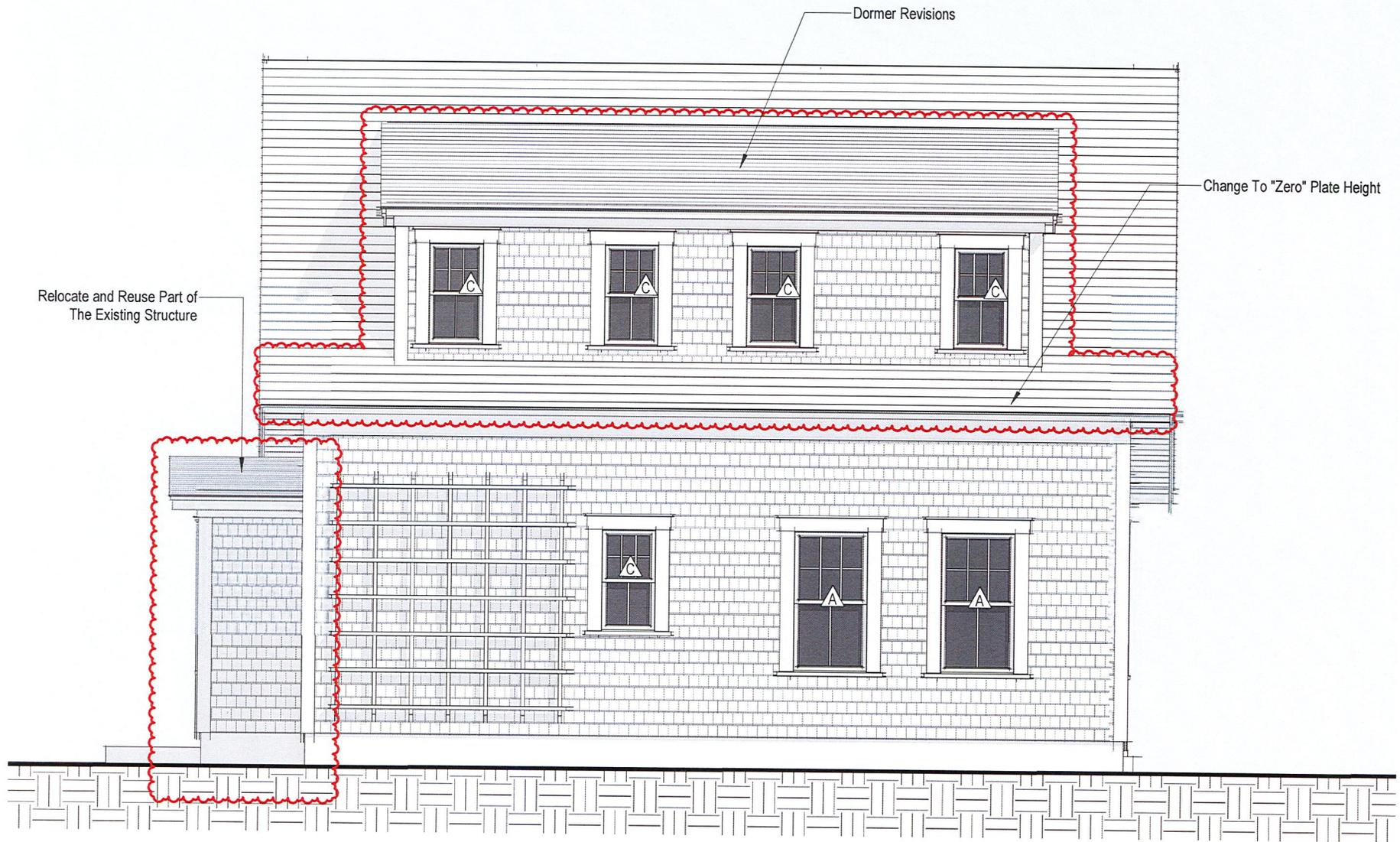
Change To "Zero" Plate Height



2 East Elevation
1/4" = 1'-0"



3 South Elevation
1/4" = 1'-0"



4 West Elevation
1/4" = 1'-0"

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 73.2.4 PARCEL N°: 10
 Street & Number of Proposed Work: 10 BEACH ST.
 Owner of record: WILKIE SHELIA & ROBERT TR.
 Mailing Address: 10 BEACH ST
NANTUCKET MA 02554
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EMERITUS
 Mailing Address: 8 WILLIAMS LN
NANTUCKET MA
 Contact Phone #: 325 4995 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other MOVE OFF / DEMO EXISTING STRUCTURE
 Size of Structure or Addition: Length: 32' Sq. Footage 1st floor: 427 Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 13' Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: N/A
 Original Date: 1,940
 Original Builder: U/K
 Is there an HDC survey form for this building attached? Yes N/A

REVISIONS*

1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns / Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 07.22.20

Signature of owner of record _____

Stamp under signature of agent _____



NORTH



EAST



SOUTH



NORTH-EAST STREET VIEW



NORTH-WEST STREET VIEW

12" = 1'-0"

Zoning Information

Map & Parcel: 73.2.4 / 10
Current Zoning: SR-1
Minimum Frontage: 50'
Front Setback: 5'
Side/Rear Setback: 5'

Move-Off/ Demo HDC Application

01.22.20

10 BEACH ST

Location 10 BEACH ST

Mblu 7324/ / 10/ /

Acct# 00011968

Owner SEIDEL C JACQUELINE

Assessment \$1,036,200

PID 11968

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2019	\$105,500	\$930,700	\$1,036,200

Owner of Record

Owner SEIDEL C JACQUELINE
Co-Owner
Address 23 PINE CREST DRIVE
 NANTUCKET, MA 02554

Sale Price \$0
Certificate
Book & Page 01249/0153
Sale Date 10/12/2010
Instrument 99

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
SEIDEL C JACQUELINE	\$0		01249/0153	99	10/12/2010
SEIDEL C JACQUELINE	\$0		00252/ 262	99	07/11/1986

Building Information

Building 1 : Section 1

Year Built: 1940
Living Area: 416
Replacement Cost: \$150,763
Building Percent Good: 70
Replacement Cost Less Depreciation: \$105,500

Building Attributes	
Field	Description
Style	Bungalow
Model	Residential

Grade:	Average
Stories:	1 Story
Occupancy	1
Exterior Wall 1	Wood Shingle
Exterior Wall 2	
Roof Structure:	Flat
Roof Cover	Rolled Compos
Interior Wall 1	Drywall/Sheet
Interior Wall 2	
Interior Flr 1	Pine/Soft Wood
Interior Flr 2	
Heat Fuel	Coal or Wood
Heat Type:	None
AC Type:	None
Total Bedrooms:	1 Bedroom
Total Bthrms:	1
Total Half Baths:	0
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	Old Style
Kitchen Style:	Old Style

Building Photo



(<http://images.vgsi.com/photos/NantucketMAPhotos//\00\01\81/>)

Building Layout



(<http://images.vgsi.com/photos/NantucketMAPhotos//Sketches/1>)

Building Sub-Areas (sq ft)			<u>Legend</u>
Code	Description	Gross Area	Living Area
BAS	First Floor	416	416
		416	416

Extra Features

Extra Features	<u>Legend</u>
No Data for Extra Features	

Land

Land Use

Use Code	1010
Description	Single Fam M01
Zone	SR1

Land Line Valuation

Size (Acres)	0.05
Frontage	0
Depth	0

10 BEACH ST

Location 10 BEACH ST

Mblu 7324/ / 10/ /

Acct# 00011968

Owner SEIDEL C JACQUELINE

Assessment \$1,036,200

PID 11968

Building Count 1

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Model	Residential

Grade:	Average
Stories:	1 Story
Occupancy	1
Exterior Wall 1	Wood Shingle
Exterior Wall 2	
Roof Structure:	Flat
Roof Cover	Rolled Compos
Interior Wall 1	Drywall/Sheet
Interior Wall 2	
Interior Flr 1	Pine/Soft Wood
Interior Flr 2	
Heat Fuel	Coal or Wood
Heat Type:	None
AC Type:	None
Total Bedrooms:	1 Bedroom
Total Bthrms:	1
Total Half Baths:	0
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	Old Style
Kitchen Style:	Old Style

Building Photo



(<http://images.vgsi.com/photos/NantucketMAPhotos//\00\01\81/>)

Building Layout



(<http://images.vgsi.com/photos/NantucketMAPhotos//Sketches/1>)

Building Sub-Areas (sq ft)			<u>Legend</u>
Code	Description	Gross Area	Living Area
BAS	First Floor	416	416
		416	416

Extra Features

Extra Features	<u>Legend</u>
No Data for Extra Features	

Land

Land Use

Use Code	1010
Description	Single Fam M01
Zone	SR1

Land Line Valuation

Size (Acres)	0.05
Frontage	0
Depth	0

Neighborhood 250
Alt Land Appr No
Category

Assessed Value \$930,700

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Assessment			
Valuation Year	Improvements	Land	Total
2018	\$98,300	\$698,000	\$796,300
2017	\$87,300	\$558,400	\$645,700
2016	\$72,800	\$558,400	\$631,200
2015	\$105,500	\$587,000	\$692,500
2014	\$105,500	\$670,800	\$776,300

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Neighborhood 250
Alt Land Appr No
Category

Assessed Value \$930,700

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Assessment			
Valuation Year	Improvements	Land	Total
2018	\$98,300	\$698,000	\$796,300
2017	\$87,300	\$558,400	\$645,700
2016	\$72,800	\$558,400	\$631,200
2015	\$105,500	\$587,000	\$692,500
2014	\$105,500	\$670,800	\$776,300

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GENERAL SETTING AND ORIENTATION OF BUILDING

10. Lot Size: N/A
11. Approximate Frontage (ft.): N/A
12. Setback from Street (ft.): 10 feet or less
13. Orientation to Street Address: Gabled
14. Surroundings: Scattered Buildings, Residential
15. Related Outbuildings and Property: Fence
16. Other Notable Features:
N/A

DESCRIPTION

17. Foundation: Cobblestone
18. Structural System: Woodframe
19. Exterior Wall Material, Front Facade: Shingles-Weathered
20. Exterior Wall Material, Side Elevations: Shingles-Weathered
21. Exterior Wall Material, Rear Elevation: Shingles-Weathered
22. Number of Stories: 1
23. Roof Shape: Gable
24. Roofing Material: Composition Shingle
25. Roof Features: N/A
26. Dormer Roof(s): N/A
27. Chimney Material: N/A
28. Chimney Position: N/A
29. Number of Chimneys: N/A
30. Chimney Features: N/A
31. Front/Primary Door Location: Center
32. Front/Primary Door Frame Features: Flush Frame
33. Number of Bays: N/A
34. Window Frame Type: Flush
35. Window Sash Type(s) - Front Facade: 2/2
36. Porch: N/A
37. Signage: N/A
38. Details: Corner boards-plain
39. Condition: Good
40. Integrity: N/A
41. Alterations:
N/A

BUILDING/STRUCTURE INVENTORY FORM
 NANTUCKET ISLAND ARCHITECTURAL
 AND CULTURAL RESOURCES SURVEY
 NANTUCKET HISTORIC DISTRICT COMMISSION
 NANTUCKET, MASSACHUSETTS

SURVEY/
 FILM ROLL #: SC8-19
 MAP/PARCEL #: 7313-10

Recorded by: AH

Date: 09/22/89

Organization: AGS

IDENTIFICATION

1. Street Name & No.: 10 BEACH STREET
2. Building Name: N/A
3. Ownership: Private
4. Present Owner: SEIDEL, C JACQUELINE
5. Ownership History:
Unknown
6. Use: Original: Dwelling Present: Dwelling
Seasonal/Year-Round: Seasonal
7. Accessibility to Public: Visible from Public Road? Yes
Interior: N/A

8. MAP -- 3X2'



SIGNIFICANCE

- 42. Role the Building Plays: National Register: Contributing
- 43. Date of Initial Construction: Circa 1930
Source: Sanborn Maps, Aerial Photo 1938
Architect: Unknown Builder: Unknown
- 44. Building Type: Box, Gable Front
- 45. Architectural Style: N/A
- 46. Historical and Architectural Importance:
Unknown

- 47. Sources: Sanborn Maps 1923, 1923/49,
Aerial Photo 1938

POPULATION: 3,646 in Winter; 14,000 in Summer.

Prevailing Winds:—S.W. in Summer; N.W. in Winter.

PAVING:—Practically all streets are paved.

GRAVEL:—Fully laid.

WATER FACILITIES

Privately owned. Supply obtained from 121 wells of an average depth of 80'. Filtered pumping system. Two 400 gallon per minute pumps... One 40,000 gallon storage tank... Average daily consumption 1,000,000 gallons in summer.

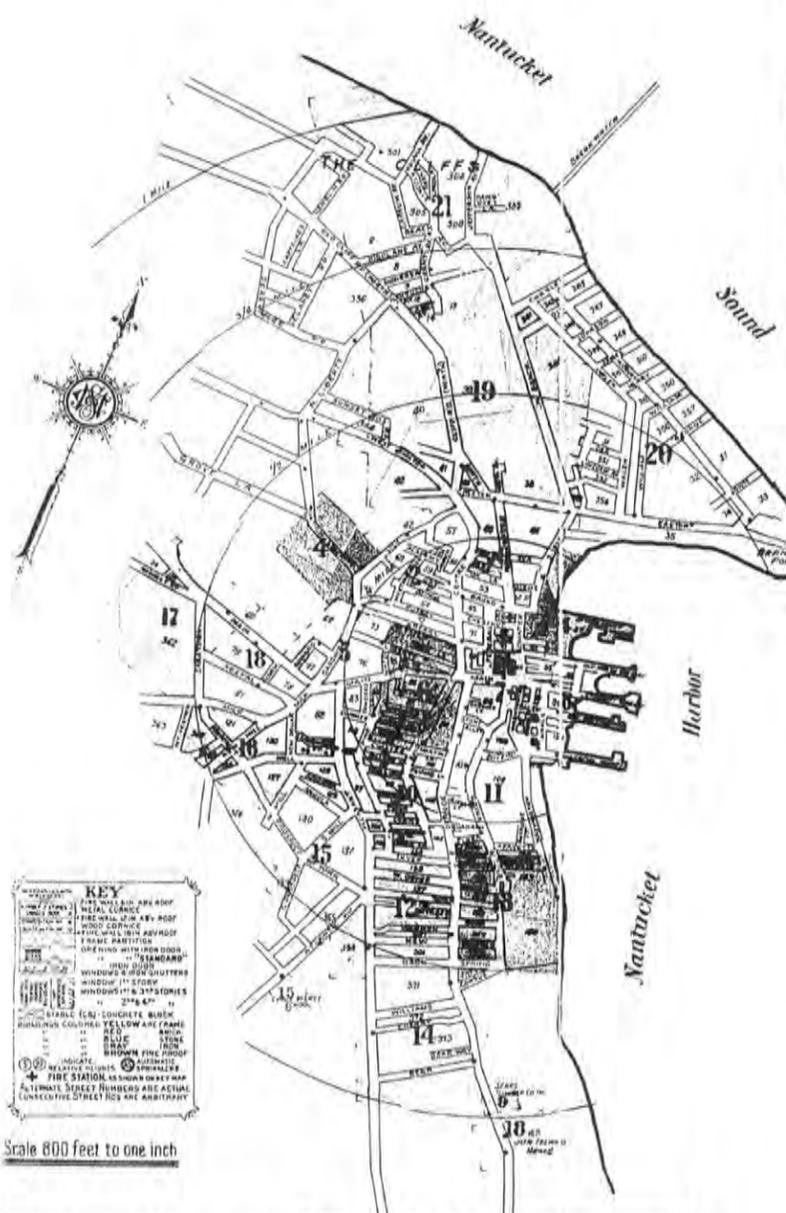
FIRE DEPARTMENT

Partly paid and partly free. 8 assistant chiefs and 98 men, partly paid. 2 stations, partly equipped. Fire alarm system in Nantucket, 48 lines. Fire alarm installation located in Central fire station, a brick building, housing fire alarm system at Nantucket, 12 lines.

REGULATORY BOARD ORDINANCE

Ordinance prohibiting placing or retaining with wooden shingles within 10 feet radius of Public National Bank and within 10 feet radius of Post Office at Nantucket, adopted 1935.

NANTUCKET INCLUDING Siasconset and Waquoit NANTUCKET COUNTY MASSACHUSETTS SANBORN MAP COMPANY OCT. 1923 Copyright 1924 by the Sanborn Map Co.



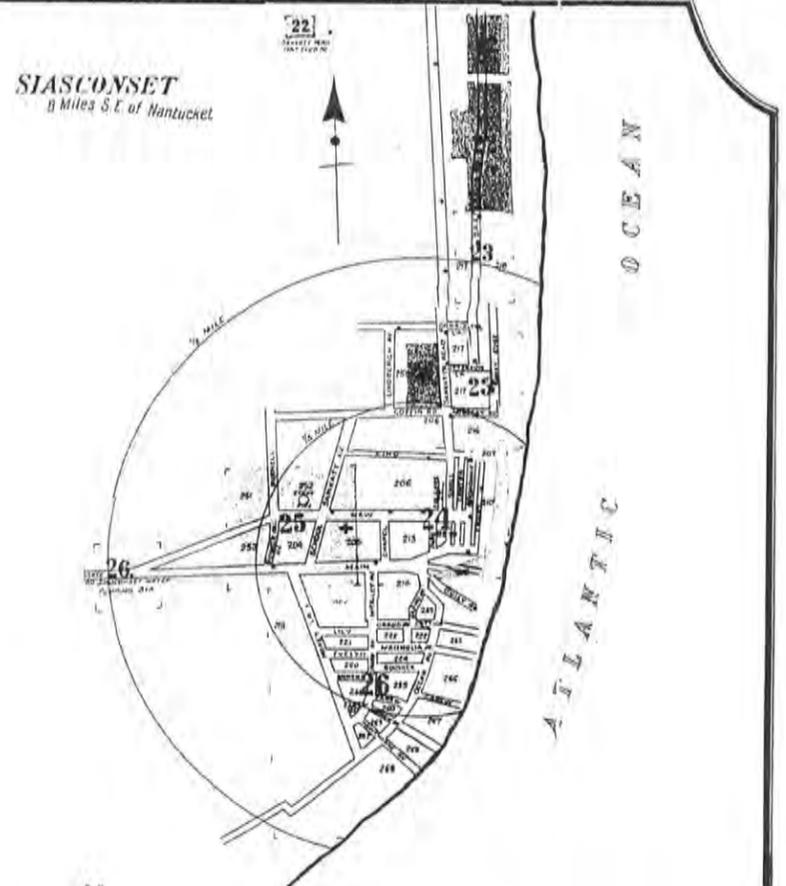
KEY: Symbols for various features like fire stations, schools, churches, and public buildings.

CORRECTION RECORD table with columns for No., Date of Correction, Attached by, and Date Attached.

All information contained in this map, covering properties that might be related to National Defense activities, is to be treated as strictly confidential...

ADD'L INDEX, OCT., 1936 table listing streets and their corresponding map sheet numbers.

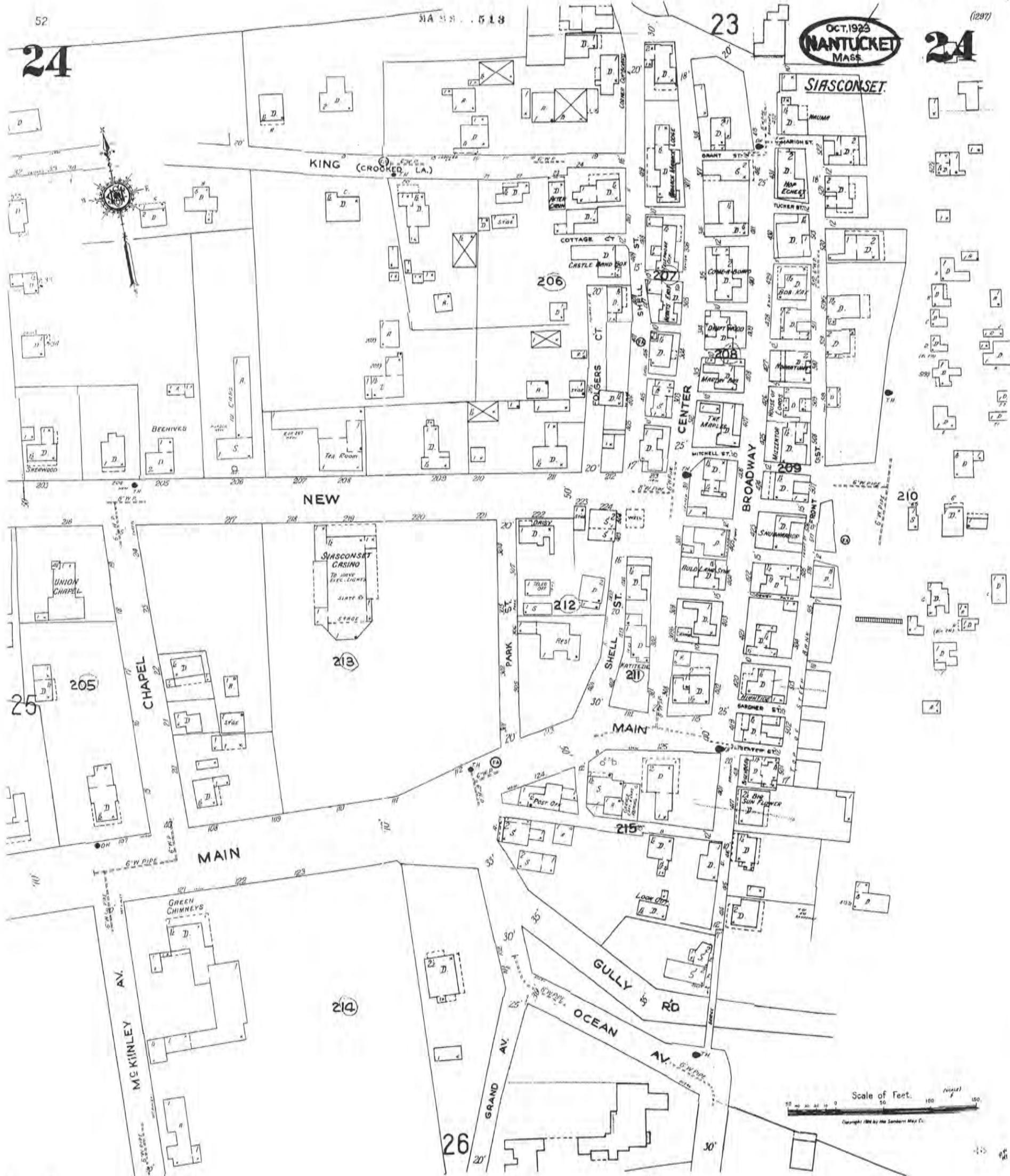
ADDITIONAL INDEX, OCTOBER, 1940 table listing various buildings and landmarks with their map sheet numbers.



Large index table listing streets in Siasconset and their corresponding map sheet numbers, including entries like 'Cedar, at Siasconset' and 'Main, at Siasconset'.

24

24



Scale of Feet.

0 50 100 150

Copyright 1923 by the Sanborn Map Co.

HDC Minutes for June 23, 2020, adopted Aug. 3

15. TLJ Properties **06-1110** 24 Bartlett Farm Road Pool 65-86 Emeritus
 Voting Pohl, Coombs, McLaughlin, Camp, Dutra
 Alternates None
 Recused (Oliver stepped out)
 Documentation Landscape design plans, site plan, and photos.
 Representing Matt MacEachern, Emeritus Development
 Public None
 Concerns (7:24) **MacEachern** – Presented project.
Pohl – We aren't going to approve a pool without knowing how it will be screened; it doesn't need a fence, which would help screen it, but it's on a corner lot.
Camp – Would like to view this.
 Motion **Motion to View and Hold for the landscaping plan. (Camp)**
 Roll-call Vote Carried 5-0//Coombs, Dutra, Camp, McLaughlin, and Pohl-aye Certificate #

16. Bradley Humphries **06-1105** 10A Gray Avenue Pool/hardscape/grill area 67-178.2 Jesse Dutra
 Voting Coombs (acting chair), McLaughlin, Camp, Oliver
 Alternates None
 Recused Pohl, Dutra
 Documentation Landscape design plans, site plan, and photos.
 Representing Jesse Dutra, Waterscapes
 Public None
 Concerns (7:27) **Dutra** – Presented project; pool is 16X32; there is an owner's easement along the north side.
Camp – She thinks it will be okay though it looks a nice tight design.
McLaughlin – No comments.
Oliver – No concerns; doesn't think it will be visible.
 Motion **Motion to Approve. (Camp)**
 Roll-call Vote Carried 4-0//Camp, Oliver, McLaughlin, and Coombs-aye Certificate # **HDC2020-06-1105**

17. Nancy Digiulio **06-1181** 35 Dartmouth Street Metal roof shingles 76.4.2-304 East Coast Metal Roof
 Voting Pohl, Coombs, McLaughlin, Camp, Oliver
 Alternates Dutra
 Recused None
 Documentation Architectural design plans, site plan, and photos.
 Representing Paul Lechiara, East Coast Metal
 Public None
 Concerns (7:32) **Lechiara** – Presented project; he can mail samples.
Oliver – Looks okay in the picture but would like to see an actual sample.
Pohl – Mail a sample to Ms. Flynn, who will ensure the commissioners see it. The photo looks like grey asphalt, but we need to see how it behaves in the sunlight.
 Motion **Motion to Hold for a roofing sample board. (Oliver)**
 Roll-call Vote Carried 5-0//Camp, Coombs, McLaughlin, Oliver, and Pohl-aye Certificate #

18. Nant Elec/Nat Grid **06-1176** 32 Bunker Road Commercial Storage Bldg 78/27 Bowditch & Dewey
 Voting Pohl, Coombs, McLaughlin, Camp, Oliver
 Alternates Dutra
 Recused None
 Documentation Architectural design plans, site plan, and photos.
 Representing Joshua Smith, Bowditch & Dewey
 Steve Holdgate, National Grid
 Public None
 Concerns (7:37) **Smith** – Presented project; colors to match the existing building.
Camp – This is a utilitarian building and not very high, though some greenery would help a lot.
Coombs – Appreciates proposed color and height; could put planters along the side.
Oliver – No concerns.
Holdgate – The site is to store utility equipment we use. Some equipment has been moved from the site.
McLaughlin – No comments.
 Motion **Motion to Approve. (Oliver)**
 Roll-call Vote Carried 5-0//Camp, Coombs, McLaughlin, Oliver, and Pohl-aye Certificate # **HDC2020-06-1176**

OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

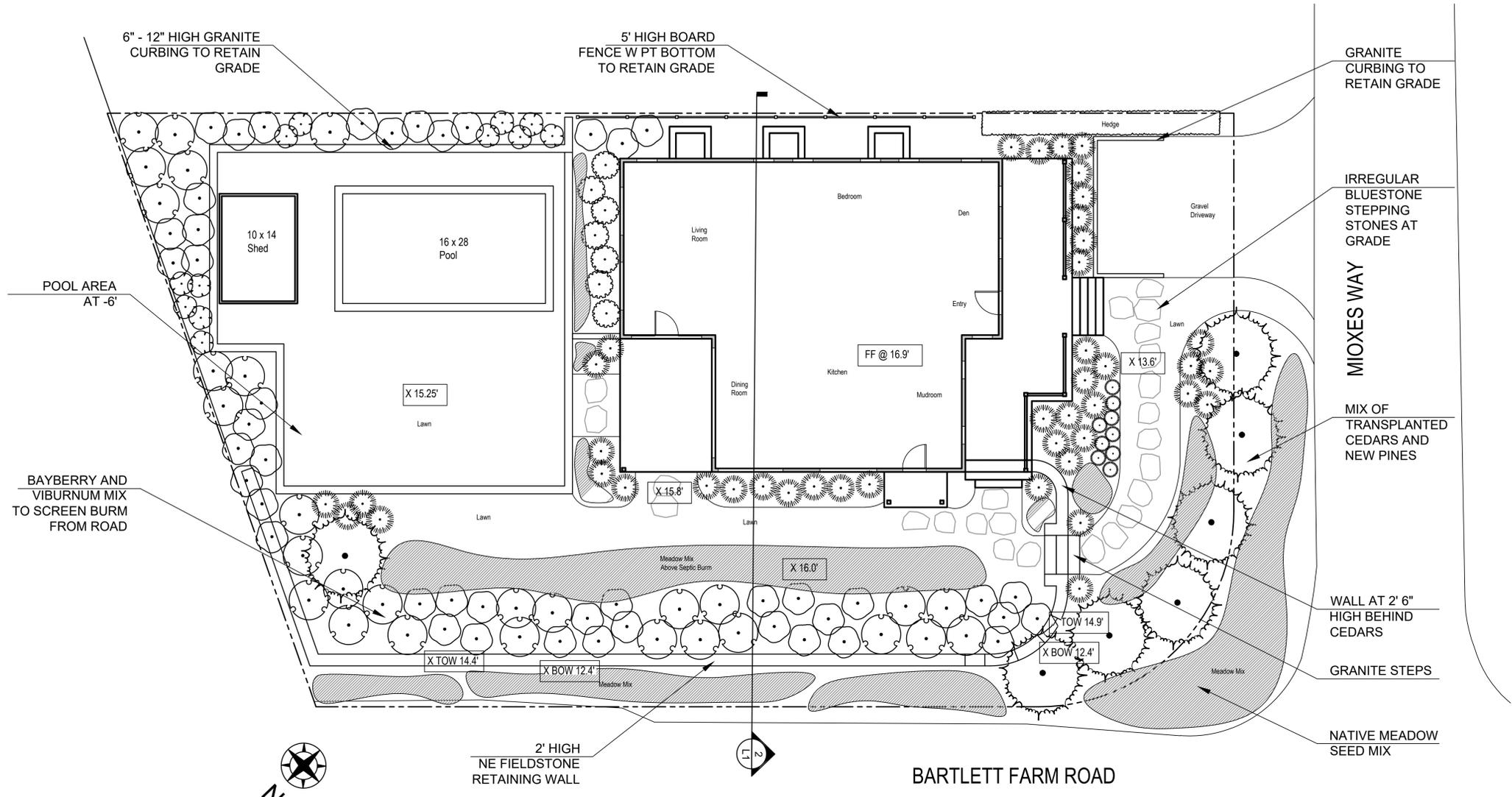
X	HDC case number: (ex HDC2020-xx-xxxx), if applicable HDC2020-06-1110
X	<u>Copy of Minutes</u> (application item circled)
X	<u>Reduced (8 1/2 x 11) copy of application</u>
X	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) <ul style="list-style-type: none"> a Site Plan b North Elevation c South Elevation d East Elevation e West Elevation f Window/Door Schedule
X	<u>One set reduced plans</u> : 8 1/2 x 11
X	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

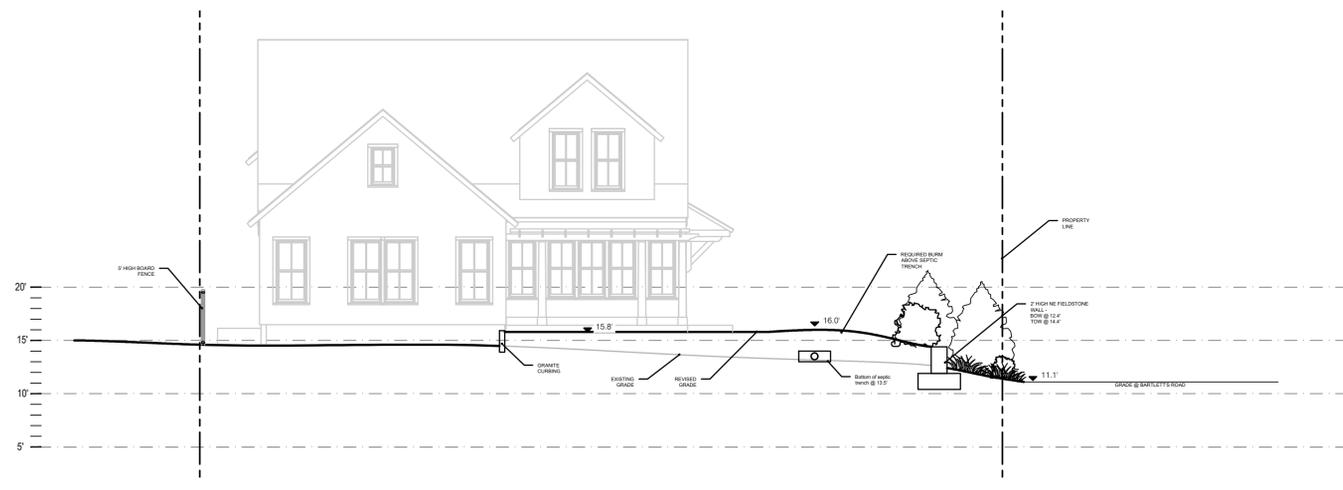
Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

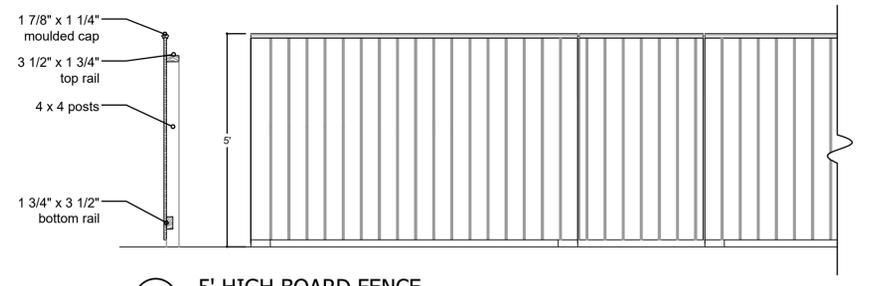
Signature: _____ Date: 07.08.20



1 LANDSCAPE PLAN
SCALE: 1/8" = 1' - 0"



2 LANDSCAPE GRADING SECTION
SCALE: 1/8" = 1' - 0"



3 5' HIGH BOARD FENCE
SCALE: 1/4" = 1' - 0"



SURVEYOR
Nantucket Engineering
508.825.5053

ARCHITECT
Emeritus
508.325.4995

GENERAL NOTES
Drawing are based on plans provided by architects and surveyor. Please notify designer of any discrepancies.

24 Bartlett Farm
Nantucket, MA

DATE: 7/22/20
SCALE: Various
DRAWN BY: Julie Jordan
MAP/PARCEL: 65/86
ZONING: RC2
REVISION:

L1
SITE PLAN

P.O. BOX 3153
NANTUCKET, MA 02583
508.325.4080
www.juliejordin.com

Initial Concept 7.22.2020

Kadeem McCarthy

From: Anton Dimov <ADimov@emeritusdevelopment.com>
Sent: Thursday, August 20, 2020 9:00 AM
To: Anton Dimov
Subject: FW: HDC - 32 North Liberty

From: LAURA ZIMMERMANN <laurafrohwein@me.com>
Date: August 6, 2020 at 4:42:12 PM EDT
To: Matthew MacEachern <Matt@emeritusdevelopment.com>
Cc: Steve Frohwein <stevefrohwein@gmail.com>
Subject: HDC - 32 North Liberty

HDC,

I'd like to address you all, members of the HDC, after viewing the meeting and hearing your comments of our purposed renovation of 32 North Liberty when it was presented by Matt MacEachern on July 21st.

I will preface my thoughts by saying that I have had the experience of renovating two homes in Atlanta before, both of which required approval by the HDC. I understand and fully respect the purpose of the HDC. Before the HDC was established in our area, many home renovations were intrusive and detracted from the aesthetic and historic values of the district, which was very disappointing to us and like-minded neighbors. Steve and I worked closely with Matt MacEachern to ensure that our renovation would not fit into that category. You all did not agree. My husband bought our home in January 2004, almost 17 years ago. He bought it from someone who had owned it for 10 years prior. We know that it had previously been owned by Goldy, as many islanders have shared that information and their memories with us. Goldy's granddaughter walked by last summer and we shared a conversation. She said she and her husband were married in the side courtyard. I invited her in, and she walked through the house, reminiscing. It has now been almost 30 years since Goldy owned our home.

One board member posed the question as to why Steve bought this home in 2004, instead of a bigger house. Steve bought the home in January 2004 for his partner, Ellen, who was raised in Randolph, MA. She loved Nantucket. She also had Stage IV

breast cancer. Ellen spent the last two years of her life updating her beloved 32 North Liberty. She passed away in early 2006.

Steve 'inherited' a large family when he married me, becoming a stepfather to four children, which now includes our first grandchild. And hopefully, our family will continue to grow. So clearly, our needs have changed.

Life has presented many challenges through our years together, as I'm sure it has for all of you. I'm a breast cancer survivor since 2011, Steve has survived Hodgkin Lymphoma since 2015, and our 34 year old son-in-law was just diagnosed with a brain tumor on July 18th, after his first child was born 2 months prematurely on July 8th.

I was told that the HDC isn't interested in these details, but I feel compelled to reach out to each of you on a personal level. Our dream, which we have been working and saving diligently to achieve, is to retire full time on Nantucket.

Matt has revised the plans, addressing your concerns of our initial plan. I appreciate his dedication and hard work, and I feel his revisions maintain the exterior architectural features which are visible from public view, which I believe is your utmost concern.

Thank you for your reconsideration of our new plans. I am hopeful that you will find these changes acceptable.

Regards,

Laura Frohwein

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 159
 Street & Number of Proposed Work: 32 N Liberty St
 Owner of record: Stephen Frohwein
 Mailing Address: 32 N Liberty Street
Nantucket, MA 02554
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Emeritus
 Mailing Address: 8 Williams Ln
Nantucket, MA 02554
 Contact Phone #: 325-4995 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 22 ft Sq. Footage 1st floor: 550 Decks/Patio: Size: +/- 20sf 1st floor 2nd floor
 Width: 26 ft Sq. footage 2nd floor: 550 Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North +/- 6" South +/- 6" East +/- 6" West +/- 6"
 Height of ridge above final finish grade: North +/- 20' 10" South +/- 20' 10" East +/- 20' 10" West +/- 20' 10"

Additional Remarks

Historic Name: n/a
 Original Date: 1840
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

REVISIONS*

1. East Elevation New addition, add pent roof
2. South Elevation New addition
3. West Elevation New addition, add pent roof, new ODS
4. North Elevation Fenestration changes, add pent roof and ODS

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed +/- 8" Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) red brick Other _____

Roof Pitch: Main Mass 12/12 Secondary Mass 12/12 Dormer 4/12 Other pent roof 3/12

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer n/a Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) n/a Corner boards 5/4x6 Frieze 1x4

Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type n/a Material _____

Hardscape materials: Driveways n/a Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall natural Clapboard (if applicable) n/a Roof asphalt black
 Trim white Sash white Doors front existing, patio white
 Deck natural Foundation natural Fence n/a Shutters black-exis

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 6.29.20 Signature of owner of record _____ Signed under penalties of perjury

4. Stephen Frohwein **07-1285** 32 North Liberty Street Addition 41-159 Emeritus

Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.
 Representing Matt MacEachern, Emeritus Development
 Public None
 Concerns (5:31) **MacEachern** – Presented project; circa 1907.

Backus – Based upon National Historic Landmark (NHL) data circa 1835 and 1840; recommend every effort used to create an addition sensitive to the existing structure and secondary in scale. Read HSAB comments: addition overwhelms and dominates original structure; should have same windows and pitch; 2nd-floor connector too high; additions should a be lower ell off the rear; no east elevation pent roof and large added chimney; lower plate and eave.

Camp – Agrees with HSAB: should be diminutive to historic massing; should be a turned gable pushed back from street; the addition should telescope back.

Oliver – Agrees with Ms. Camp and HSAB. It seems it has the same knee-wall height as the main structure; that should drop down much more. The new chimney is way bigger than main house existing chimney.

Coombs – The addition is too tall and too big; it should drop down. Current additions are all 1 story and keep the main house important. The addition chimney should be finished off the same as the existing. East elevation porch doesn't fit this style of the house. South elevation is not sensitive to the old house.

Welch – Agree with HSAB and staff's comments. Suggested an addition off the south would be better than this ambitious addition to the west which isn't historical. To get 2nd-floor space, it would have to be smaller. Regarding the ell concept, that would expand the foot print and retain the bay window; it would be a shame to lose that window.

Pohl – Agrees with his fellow board members, HSAB, and Ms. Backus.

Motion **Motion to Hold for revision. (Welch)**

Roll-call Vote Carried 5-0//Oliver, Coombs, Camp, Welch, and Pohl-aye. Certificate #

5. Kathleen Krall **06-1252** 15 Masaquet Avenue Demo-move MH 80-141 Botticelli & Pohl

Voting Coombs (acting chair), Camp, Oliver, Welch
 Alternates None
 Recused Pohl
 Documentation Architectural elevation plans, site plan, photos, and historic documentation.
 Representing Lisa Botticelli, Botticelli & Pohl
 Public None
 Concerns (5:49) **Botticelli** – Presented project.

Backus – Non-contributing, circa 1982 according to NHL.
 No comments.

Motion **Motion to Approve as a move off or demolition. (Camp)**

Roll-call Vote Carried 4-0//Camp, Oliver, Welch, and Coombs-aye Certificate # **HDC2020-06-1252**

6. Kathleen Krall **06-1254** 15 Masaquet Avenue Demo-move garage 80-141 Botticelli & Pohl

Voting Coombs (acting chair), Camp, Oliver, Welch
 Alternates None
 Recused Pohl
 Documentation Architectural elevation plans, site plan, photos, and historic documentation.
 Representing Lisa Botticelli, Botticelli & Pohl
 Public None
 Concerns (5:54) **Botticelli** – Presented project; addition built in 1983.

No concerns.

Motion **Motion to Approve as a move off or demolition. (Oliver)**

Roll-call Vote Carried 4-0//Welch, Oliver, Camp, and Coombs-aye Certificate # **HDC2020-06-1254**

7. Kathleen Krall **06-1255** 15 Masaquet Avenue New dwelling 80-141 Botticelli & Pohl

Voting Coombs (acting chair), Camp, Oliver, Welch
 Alternates None
 Recused Pohl
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Lisa Botticelli, Botticelli & Pohl
 Public None
 Concerns (5:56) **Botticelli** – Presented project; visibility is of the north elevation.

Oliver – No concerns with massing or the details.

Welch – Appreciates that the north isn't a gable parallel to the street. Asked depth of 2nd-floor deck; looks appropriate.

Camp – Asked why the front door isn't centered in the main mass; it's the only thing off balance.

Coombs – The front door feels wide.

Motion **Motion to Approve as submitted. (Oliver)**

Roll-call Vote Carried 4-0//Welch, Camp, Oliver, and Coombs-aye Certificate # **HDC2020-06-1255**

OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

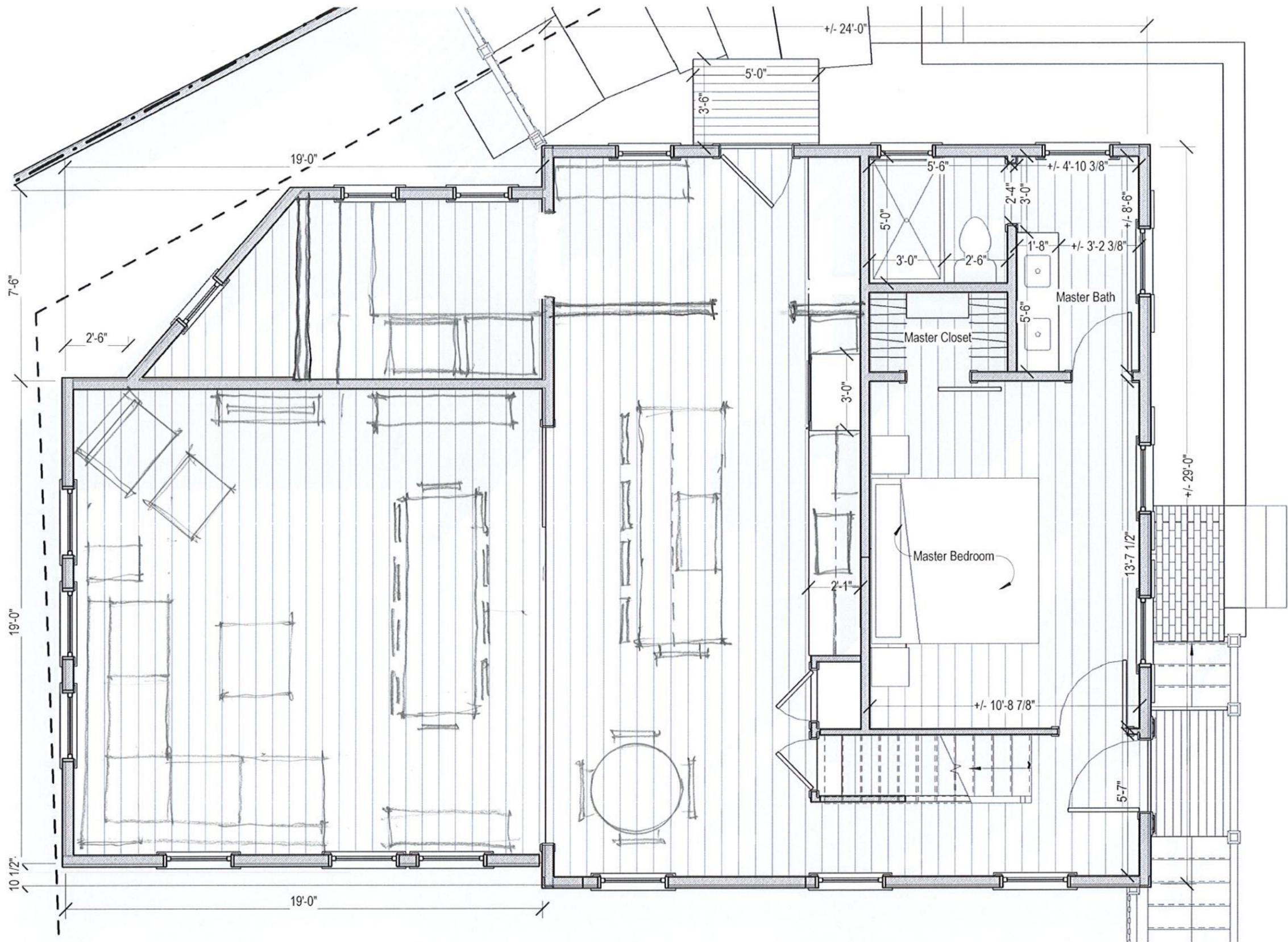
	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 ½ x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 ½ x 11
	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

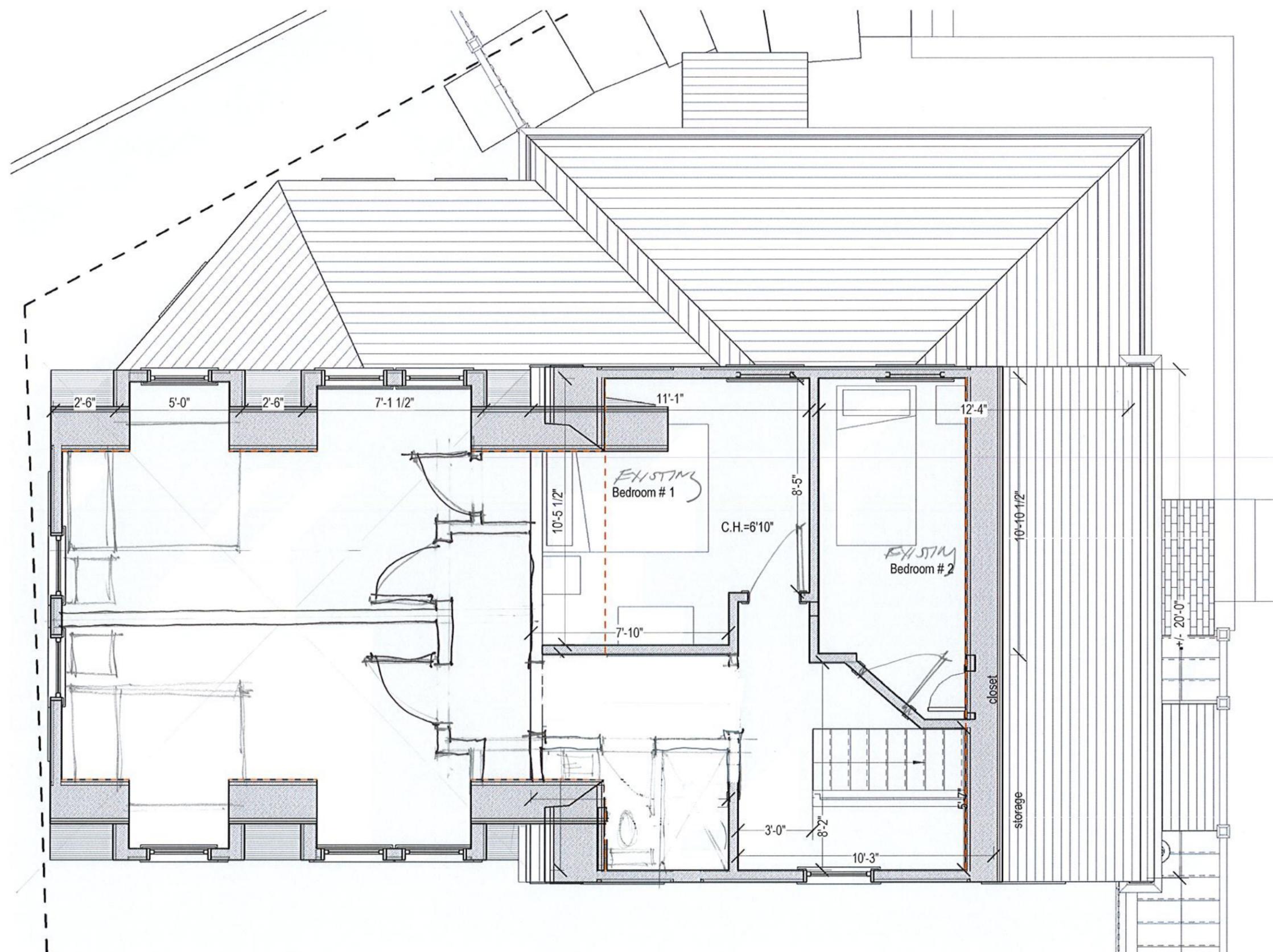
Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: Anton Dimov Date: _____



1 First Floor - Proposed
 1/4" = 1'-0"



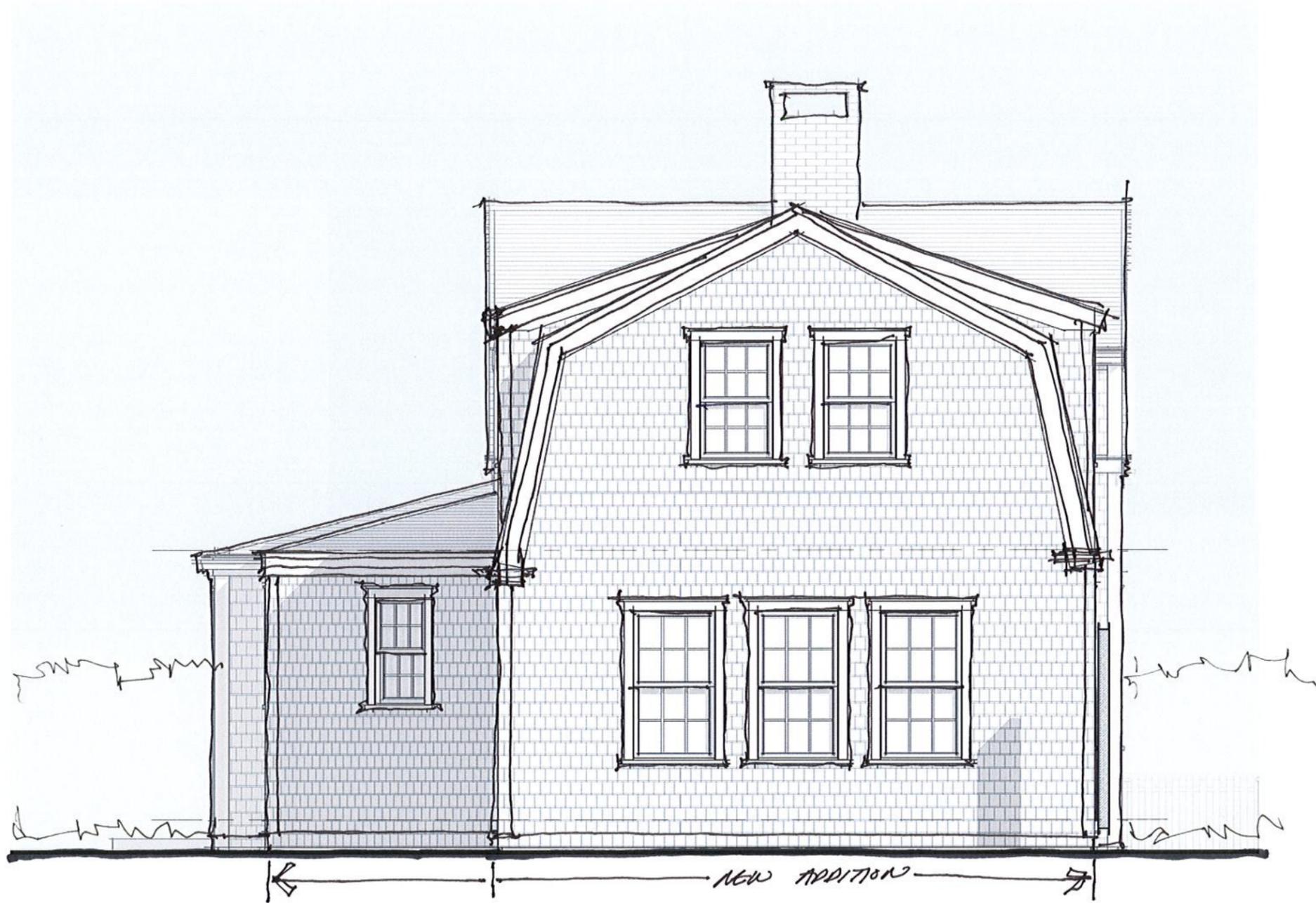
1 Second Floor - Proposed
 1/4" = 1'-0"



1 East Elevation
1/4" = 1'-0"



1 South Elevation
1/4" = 1'-0"



1 West Elevation
1/4" = 1'-0"



1 North Elevation
1/4" = 1'-0"

Historic District Commission

OLD BUSINESS CHECKLIST

Chesley



Planning and Land Use Services

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

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<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	<u>Sign in submission at Front Desk</u>
✓	<u>HDC case number:</u> (ex HDC2020-xx-xxxx), if applicable 05-0895 02-0732
✓	<u>Copy of Minutes</u> (application item circled)
✓	<u>Reduced (8 1/2 x 11) copy of application</u>
✓	<u>Locus Map:</u> 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
ND	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
✓	Four (4) Large sets of plans <u>at 3/16" or 1/4" scale</u> (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
✓	<u>One set reduced plans:</u> 8 1/2 x 11
	<u>Electronic Submission:</u> Each of the foregoing documents (including this checklist) MUST BE scanned to a single PDF file and emailed to hdcsubmissions@nantucket-ma.gov .
✓	<u>Signed Affidavit:</u> see reverse side

Historic District Commission
OLD BUSINESS CHECKLIST

** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.

Affidavit Certifying Completeness of Old Business submission

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for an Old Business submission have been met.

Signature:  _____ Date: 8/19/2020

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference. The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 42.43 PARCEL N°: portion of 51
Street & Number of Proposed Work: 32 W Chester on Westcott Pl.
Owner of record: Chesley, Richard + Dianna
Mailing Address: 2035 N Orleans St Unit M1
Chicago IL 60614
Contact Phone #: 773-2722 E-mail: _____

AGENT INFORMATION (if applicable)

Name: BPC
Mailing Address: 17 Brook St
Nantucket MA 02554
Contact Phone #: 773 2722 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: 1632 Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. Footage 2nd floor: 1244 Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 0-12" South 0-12" East 0-12" West 0-12"
Height of ridge above final finish grade: North 29'2" South 29'2" East 29'2" West 26'

Additional Remarks

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

Historic Name: _____

Original Date: _____

Original Builder: _____

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8-12" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) Water Struck - Painted - gray Other _____
Roof Pitch: Main Mass 10/12 Secondary Mass 10+6/12 Dormer 6/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake 1x6 Soffit (Overhang) _____ Corner boards 1x6 Frieze _____
Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round _____ Square 8"

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer Andersen

Doors* (type and material): TDL SDL Front 4x4 Rear _____ Side 15x4

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall natural Clapboard (if applicable) _____ Roof Black
Trim light gray Sash Black Doors Black
Deck _____ Foundation natural Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 2/2/2010

Signature of owner of record [Signature]

Signed under penalties of perjury

Proposed HDC Minutes August 10, 2020

7. Brian Harris 06-1162 50 Weweeder Avenue Cabana 79/15 M. Cutone Architecture

Voting Coombs, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Mark Cutone, Mark Cutone Architecture
 Public None
 Concerns (6:21) **Cutone** – Presented the project; dropped the pitch to match the house and thus reduce the height.
Oliver – Likes the new arrangement; however, the siding should be all shingle, not mixed material; simple is better. Suggested the pool turn 90 degrees.
Welch – He'd be okay if the siding were all vertical board; agrees simpler is better. The retainage will be at the pool with the step down to the left. No other concerns.
 Motion **Motion to Approve through staff with the horizontal board to be vertical. (Welch)**
 Roll-call Vote Carried unanimously//Oliver, Welch, and Coombs-aye Certificate # **HDC2020-06-1162**

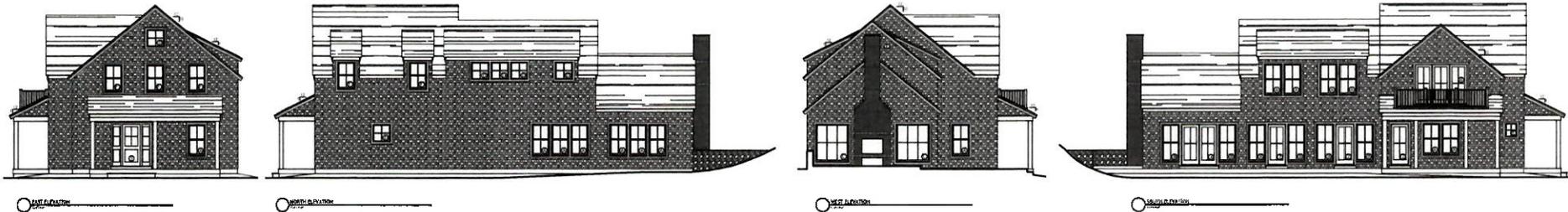
8. Richard Chesley 02-0732 32 West Chester Street New Dwelling 42.43/31 BPC

Voting Coombs, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.
 Representing Joe Paul, BPC
 Public None
 Concerns (6:27) **Paul** – Reviewed changes made per previous concerns; feels some HSAB comments were left over from their last hearing.
Backus – Read HSAB comments; they felt the concerns regarding the retaining walls and massing weren't addressed. This is visible across the Lily Pond. The 2nd-floor balcony should not have both balusters and crossbucks.
Welch – East elevation, this has a "squat" presentation; suggested a 9/12 pitch and corner boards on the main mass. North elevation, the eave height between the main and secondary masses would diverge with the change with the main-mass pitch; that would address his concerns about lack of change between the main and secondary masses. He's no longer concerned about the retainage as he was initially.
Oliver – Agrees that the front door be a 2-panel with 6 lights. Agrees about adding corner boards on the front mass and rear. Her main concern is visibility of the west and south elevations; there is a lot of fenestration on the south. The railing should be simple: all balusters or shingled. South elevation needs some sort of mitigation because it will be visible across the pond; the French doors should be more traditional with kick panels. The massing is fine.
 Motion **Motion to Hold for minor revisions. (Welch)**
 Roll-call Vote Carried unanimously//Oliver, Welch, and Coombs-aye Certificate #

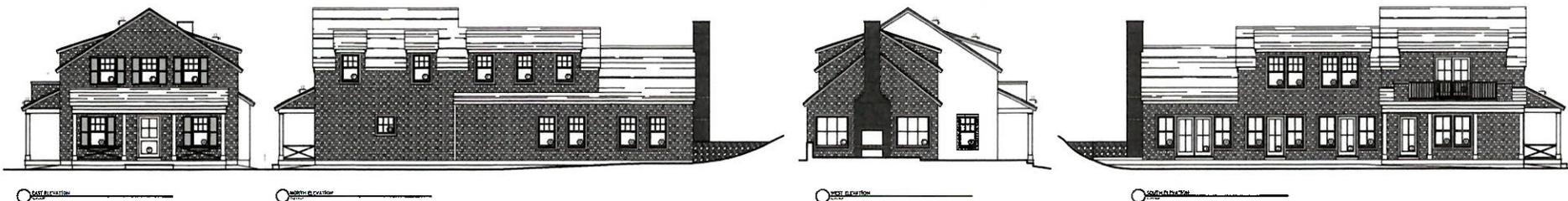
9. Thompson 07-1292 73 Baxter Road Garage 49/27 Emeritus

Voting Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Matt MacEachern, Emeritus Development
 Public None
 Concerns (6:44) **MacEachern** – Reviewed changes made per previous concerns.
Camp – This is getting better. Her concern is what faces Baxter Road; feels the gable is forced and should come down as a shed roof with a broke back; suggested attaching to the house with a traditional breezeway.
Oliver – She likes Ms. Camps idea of an open breezeway. This is a good direction.
Welch – The concept of the connector would help the overhangs, which otherwise look out of proportion. Don't overpower the dormer: smaller windows work in keeping this subsidiary. Likes the gable forward to maintain the existing street view.
Coombs – She'd like to see the garage reused; it's part of the history of the house. Likes Ms. Camp's idea of attaching it and getting rid of the doors.
 Motion **Motion to Hold for revisions. (Camp)**
 Roll-call Vote Carried unanimously//Oliver, Welch, Camp, and Coombs-aye Certificate #

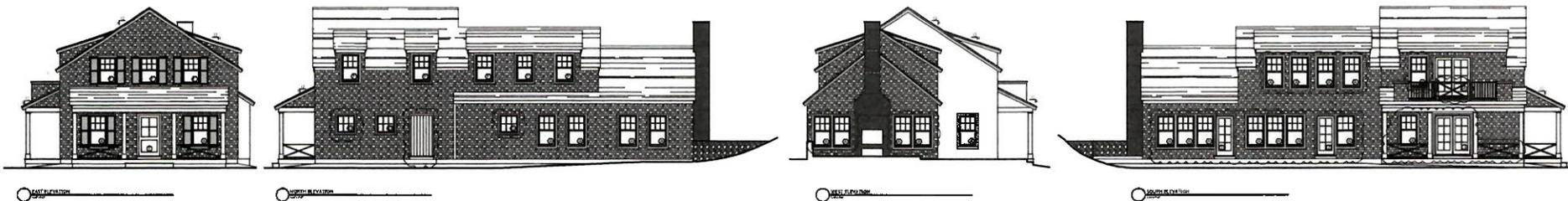
2/19/2020 HDC



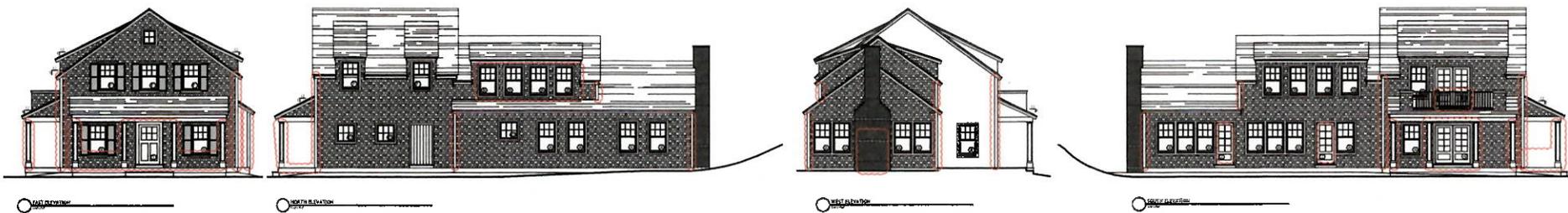
6/11/2020 HDC



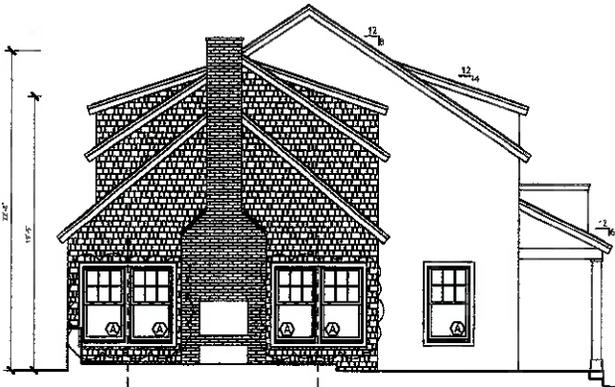
8/5/2020 HDC



CURRENT



PREVIOUS



WEST ELEVATION
17'-0" x 11'-0"



SOUTH ELEVATION
17'-0" x 11'-0"

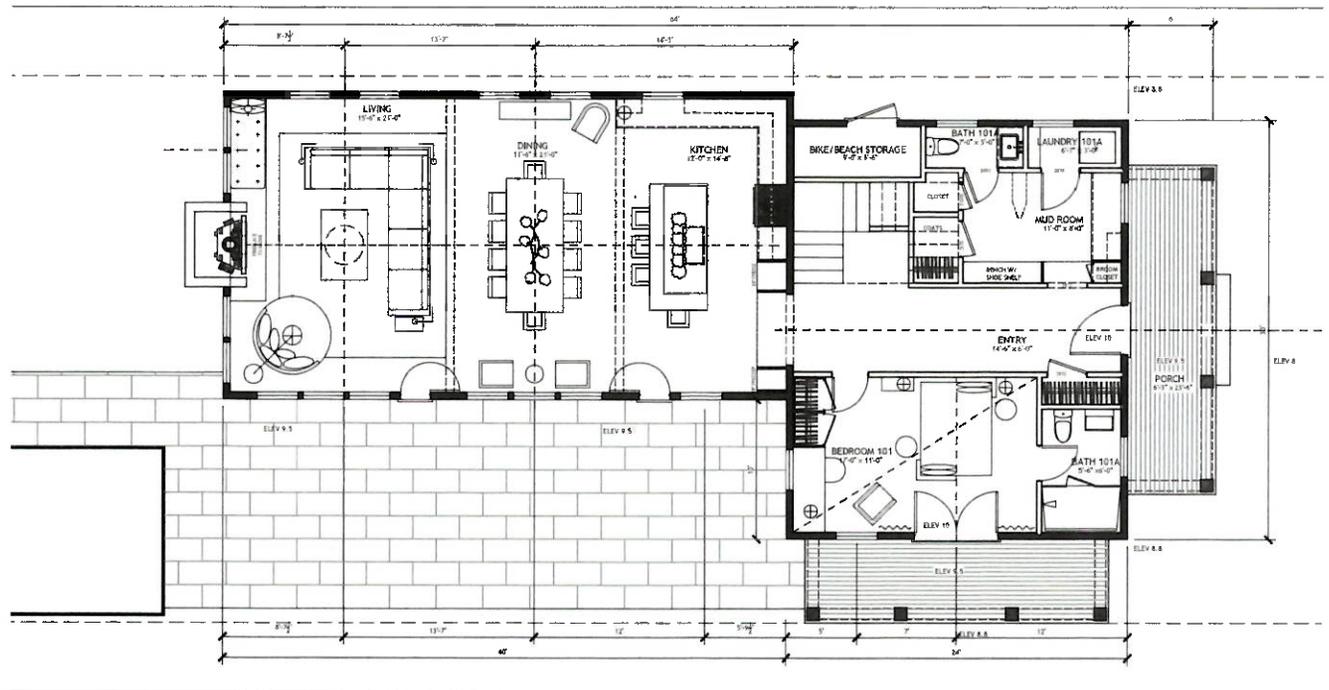


WEST ELEVATION
17'-0" x 11'-0"

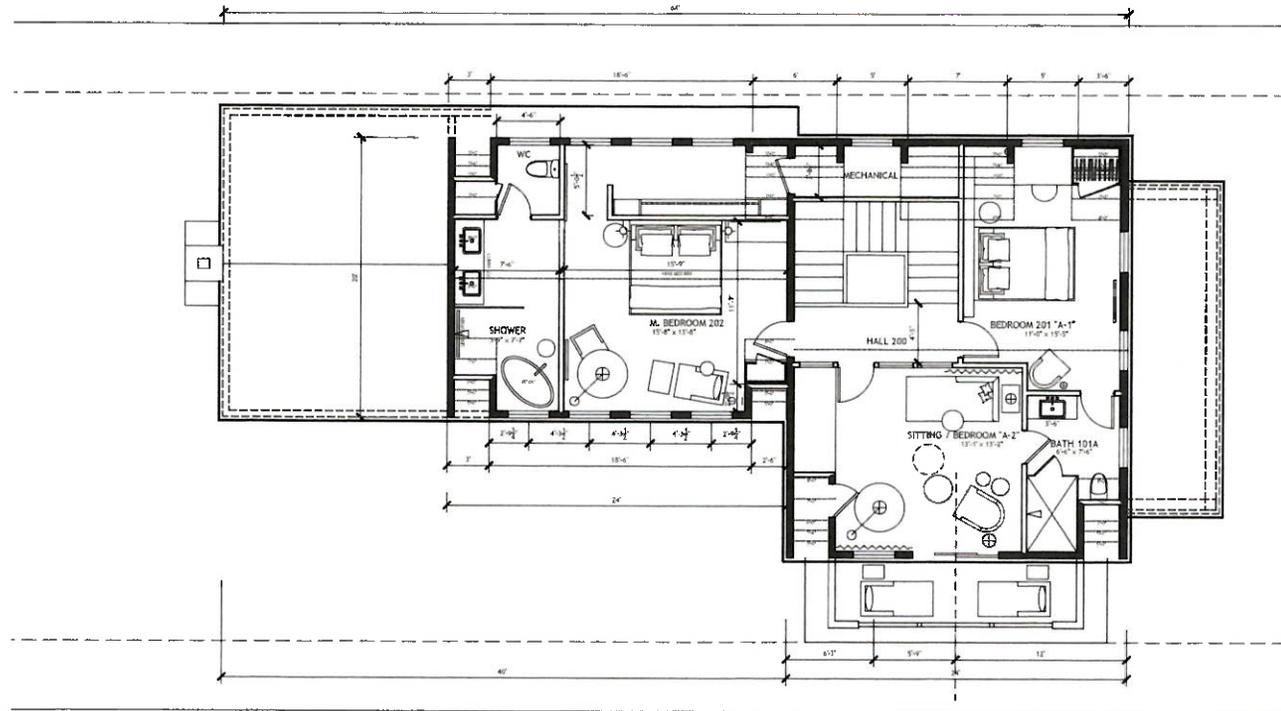


SOUTH ELEVATION
17'-0" x 11'-0"

PROPOSED




FIRST FLOOR - CURRENT "B" - 1601 SF
 1/4" = 1'-0"




SECOND FLOOR - CURRENT "A" - 1200 SF
 1/4" = 1'-0"



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-8527

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

OLD BUSINESS CHECKLIST

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

<input checked="" type="checkbox"/>	HDC case number: (ex HDC2020-xx-xxxx) if applicable
<input checked="" type="checkbox"/>	Copy of Minutes (application item circled)
<input checked="" type="checkbox"/>	Reduced (8 ½ x 11) copy of application
<input checked="" type="checkbox"/>	Locus Map: 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
<input type="checkbox"/>	Four (4) copies of additional information requested by Commission- if applicable (ex pictures, FEMA flood Certificate, etc)
<input checked="" type="checkbox"/>	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
<input checked="" type="checkbox"/>	One set reduced plans: 8 ½ x 11
<input checked="" type="checkbox"/>	Electronic Submission: ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.

Affadavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: _____

Date: _____

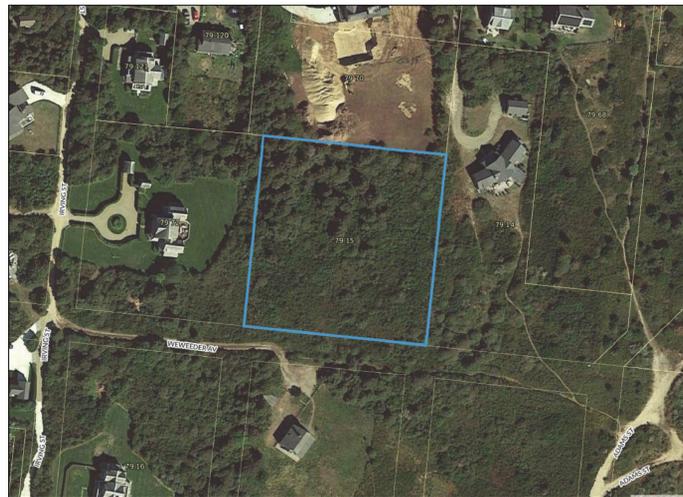
8/14/20

11. Richmond Meadows II 02-0623	2 Orchid Place	Aluminum handrails	68-337	KOH Architecture
Voting	Pohl, Coombs, Oliver, Welch			
Alternates	Camp stepped off			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Dinah Klamert, KOH Architecture			
Public	None			
Concerns (8:21)	<p>Klamert – The only difference is the house trim is white.</p> <p>Oliver – Keep it simple and go white on white to blend into the house.</p> <p>Welch – Asked if there will be other railings (one more on the other side of the site). As long as there won't be one at every building, he's okay with Ms. Oliver's proposal.</p> <p>Coombs – Feels the railings should all be one subdued color rather than matching the building.</p> <p>Pohl – Agrees with Ms. Coombs; black rail with grey posts is pretty neutral.</p>			
Motion	Motion to Approve through staff with grey posts and black rail. (Coombs)			
Roll-call Vote	Carried 4-0//Welch, Oliver, Coombs, and Pohl-aye		Certificate #	HDC2020-02-0623
12. Brian Harris 06-1164	50 Weeweeder Avenue	New dwelling	79-15	M. Cutone Architecture
Voting	Pohl, Coombs, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Mark Cutone, Mark Cutone Architecture			
Public	None			
Concerns (8:28)	<p>Cutone – Reviewed changes made per previous concerns; also held for a view with poles.</p> <p>Oliver – Northwest and southeast elevations look like a hotel; this is long and looking at it on an angle doesn't help.</p> <p>Welch – Whatever height we settle on, he would like the application revised to reflect the final reduction of the ridge height. Northwest elevation, the transition from 4-bay to 1-story is atypical and elongated; to the right, that bumpout addition seems disproportionate as well. West elevation, the long stretch on an angle. It's like a federal was added onto with a different type of structure. South elevation, this reverts to a contemporary Nantucket building. Southeast elevation, the rendering alludes to the disparity in the structure.</p> <p>Coombs – Feels this building is just too big; it's way beyond what's normally in a rural beach-side area. The architecture doesn't work together and is not appropriate in this location.</p> <p>Pohl – The angles aren't helping; the geometry is splayed out. The rendering of the northwest really shows the long, uninterrupted 1.5 story ridge lines. The more it can come down and the more the perceived length can be reduced will help.</p>			
Motion	Motion to Hold for revisions. (Oliver)			
Roll-call Vote	Carried 4-0//Welch, Coombs, Oliver, and Pohl-aye		Certificate #	
13. Brian Harris 06-1163	50 Weeweeder Avenue	Barn	79-15	M. Cutone Architecture
14. Brian Harris 06-1162	50 Weeweeder Avenue	Cabana	79-15	M. Cutone Architecture
15. Brian Harris 06-1165	50 Weeweeder Avenue	Pool- hardscape	79-15	M. Cutone Architecture
Voting	Pohl, Coombs, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	None			
Representing	Mark Cutone, Mark Cutone Architecture			
Public	None			
Concerns	Not opened at this time.			
Motion	Motion to Hold to track with the main house. (Oliver)			
Roll-call Vote	Carried 4-0//Welch, Coombs, Oliver, and Pohl-aye		Certificate #	

HARRIS - 50 WEWEEDER AVENUE



LOCUS PLAN: NTS



AERIAL VIEW: NTS



BLUESTONE PATIO MATERIAL



SITE PLAN: 1" = 20'-0"



2 BROAD STREET
NANTUCKET, MA 02554
508.228.2728
MARKCUTONE.COM

SURVEYOR

SITE DESIGN ENGINEERING
11 CUSHMAN STREET
MIDDLEBORO, MA 02346
508.967.0673

STRUCTURAL DESIGN

CAPE STRUCTURAL CONSULTANTS
P.O. BOX 798
FALMOUTH, MA 02541
508.457.6794

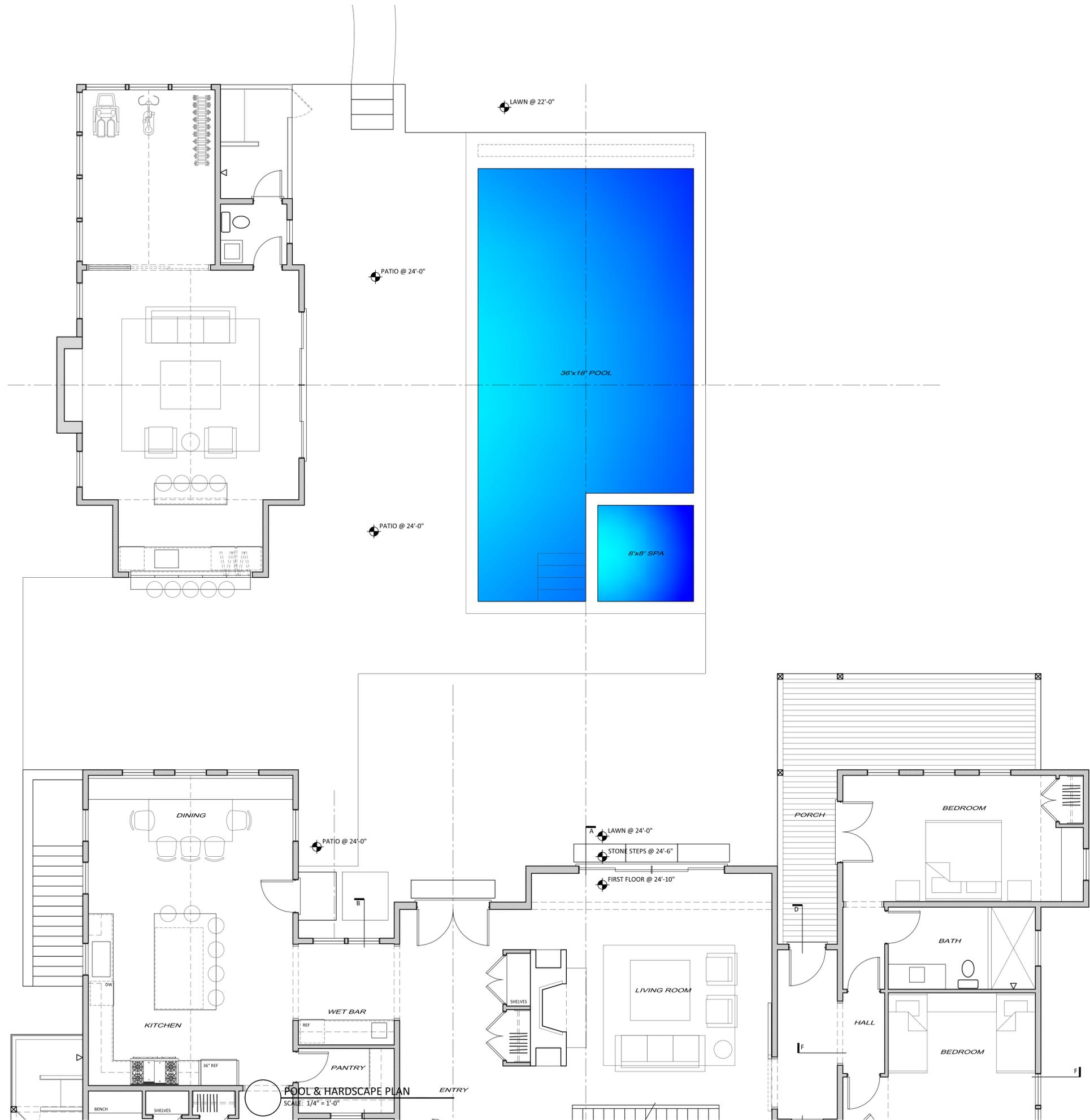
**POOL & HARDSCAPE
HDC - 3**

HARRIS
50 WEWEEDER AVENUE
NANTUCKET, MA 02554
MAP: 79 - PARCEL: 15

COVER SHEET

C1.4

14 AUGUST 2020



POOL & HARDSCAPE PLAN
SCALE: 1/4" = 1'-0"



2 BROAD STREET
NANTUCKET, MA 02554
508.228.2728
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SURVEYOR

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**POOL & HARDSCAPE
HDC - 3**

HARRIS
50 WEWEEDER AVENUE
NANTUCKET, MA 02554
MAP: 79 PARCEL: 15

POOL PLAN

A7.0

14 AUGUST 2020

Proposed HDC Minutes for August 18, 2020

4. Mark Wendling	07-1397	4 John Adams Lane	Pool, spa, patio, & fence	30/628	Botticelli & Pohl
Voting	Coombs (acting chair), Camp, Oliver, Welch				
Alternates	None				
Recused	Pohl				
Documentation	Landscape design plans, site plan, and photos.				
Representing	Lisa Botticelli, Botticelli & Pohl				
Public	None				
Concerns (5:19)	<p>Botticelli – Presented project; believes it will not be visible; 18X40 pool. Oliver – This property is down a long, shared driveway. No concerns.</p>				
Motion	Motion to Approve as submitted. (Welch)				
Roll-call Vote	Carried 4-0//Camp, Oliver, Welch, and Coombs-aye			Certificate #	HDC2020-07-1397
5. Mark Wendling	07-1396	4 John Adams Lane	Hardscaping – paving & walls	30/628	Botticelli & Pohl
Voting	Coombs (acting chair), Camp, Oliver, Welch				
Alternates	None				
Recused	Pohl				
Documentation	Landscape design plans, site plan, and photos.				
Representing	Lisa Botticelli, Botticelli & Pohl				
Public	None				
Concerns (5:19)	<p>Botticelli – Presented project; believes it will not be visible. Welch – Clarified the material for the retaining walls. Asked if it's fixed-cut veneer. No concerns. Oliver – No concerns. Camp – She doesn't want the wall to look like stone stuck into concrete.</p>				
Motion	Motion to Approve as submitted. (Oliver)				
Roll-call Vote	Carried 4-0//Camp, Welch, Oliver, and Coombs-aye			Certificate #	HDC2020-07-1396
6. Mark Wendling	07-1395	4 John Adams Lane	Cabana	30/628	Botticelli & Pohl
Voting	Coombs (acting chair), Camp, Oliver, Welch				
Alternates	None				
Recused	Pohl				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Lisa Botticelli, Botticelli & Pohl				
Public	None				
Concerns (5:28)	<p>Botticelli – Presented project; there are going to be design changes and she wants to prove it will not be visible. Oliver – No concerns; hopes it can't be seen because she doesn't see the need for dormers on an open structure. She would prefer shingle siding. Welch – Agrees with Ms. Oliver. Camp – Agrees with what's been said. Asked about the siding. If she knew this related right to the main house; she'd be more comfortable with the details. Coombs – Doesn't like the dormers; agrees about it being shingled.</p>				
Motion	Motion to Hold for revisions. (Welch)				
Roll-call Vote	Carried 4-0//Camp, Oliver, Welch, and Coombs-aye			Certificate #	
7. 60 Walsh St LLC	08-1512	60 Walsh Street	New barn/gym	29/85.2	Botticelli & Pohl
Voting	Coombs (acting chair), Camp, Oliver, Welch				
Alternates	None				
Recused	Pohl				
Documentation	Architectural elevation plans, site plan, photos, and advisory comments.				
Representing	Lisa Botticelli, Botticelli & Pohl				
Public	None				
Concerns (5:32)	<p>Botticelli – Presented project; batten board will be natural to weather. Would prefer an approval without the cupola and with siding to be shingled until it's all framed in. Suggested a barn door over the garage door. Backus – Read HSAB comments: white vertical batten boards, overhead garage door, rear deck, large panes, sliding doors; recommend a view. Camp – There are no barns down there and the cupola is inappropriate; should be shingled versus batten; likes the innovative windows. Welch – Agrees with Ms. Camp. Suggested the cupola and wall finishes could be approved without those without prejudice until everything is framed in or we could view it; though it could be hard to know how it will look without the structure in place. If the cupola is going to be retained, a view would be helpful. The structures address the setback at an oblique angle. Oliver – Her concern is visibility from Brant Point Road; from Walsh, it's behind another building. Agrees with what's been said about the cupola, siding and garage doors. Coombs – Agrees about the siding and cupola. Looking at the site plan, the barn and the buildings are right on the front, side, and rear set-back lines. She'd like to view this with a height pole for the barn.</p>				
Motion	Motion to View with a height pole and hold for revisions. (Camp)				
Roll-call Vote	Carried 4-0//Oliver, Welch, Camp, and Coombs-aye			Certificate #	

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 29 PARCEL N°: 85.2
 Street & Number of Proposed Work: 60 Walsh Street
 Owner of record: Nantucket 62 Walsh LLC
 Mailing Address: 37 Centre Street
Nantucket, MA 02554
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Botticelli + Pohl
 Mailing Address: 11 Old South Road
Nantucket, MA 02554
 Contact Phone #: 228-5455 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other Gym

Size of Structure or Addition: Length: 68'-2" Sq. Footage 1st floor: 1432 Decks/Patio: Size: 16'-6" x 3'-6" 1st floor 2nd floor
 Width: 28'-0" Sq. footage 2nd floor: _____ Size: 17'-0" x 8'-0" 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North N/A South N/A East N/A West N/A
 Height of ridge above final finish grade: North 24'-1" South 24'-1" East 24'-1" West 24'-1"

Additional Remarks

Historic Name: _____

Original Date: _____

Original Builder: _____

Is there an HDC survey form for this building attached? Yes N/A

REVISIONS*

1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 18" Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 10 /12 Secondary Mass 10 /12 Dormer _____ /12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar White Cedar, Shakes, etc.) _____

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) Copper

Leaders (material and size): Copper 3"φ

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other Batten Board on Main Mass

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) _____ Corner boards 5/4x6 Frieze _____

Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer LePage

Doors* (type and material): TDL SDL Front French/metal Rear Overhead/metal Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall Shingle Natural / Batten white Clapboard (if applicable) _____ Roof Natural

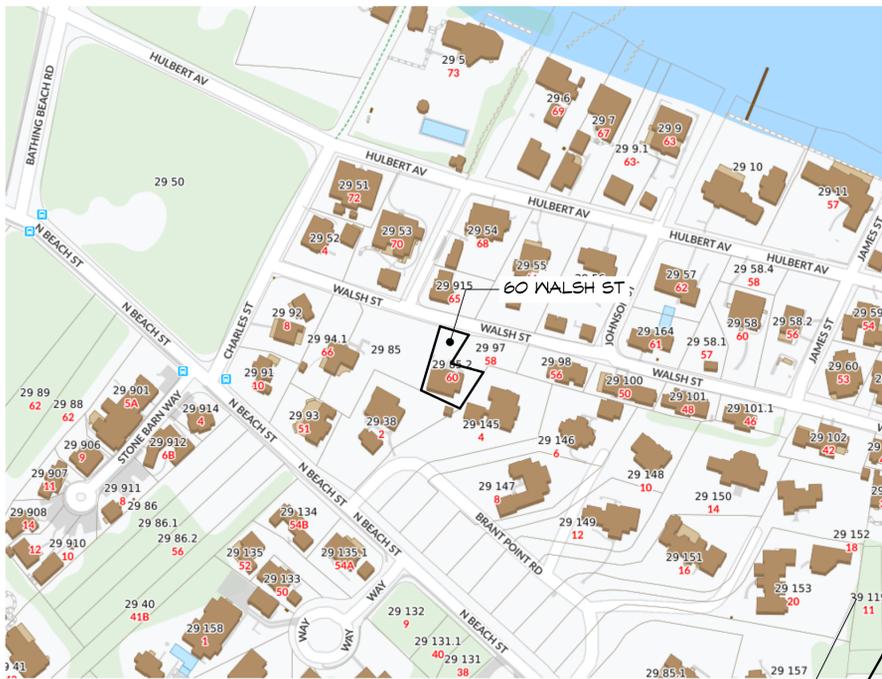
Trim White Sash Benjamin Moore Onyx Doors Benjamin Moore Onyx

Deck Natural Foundation Natural Fence _____ Shutters _____

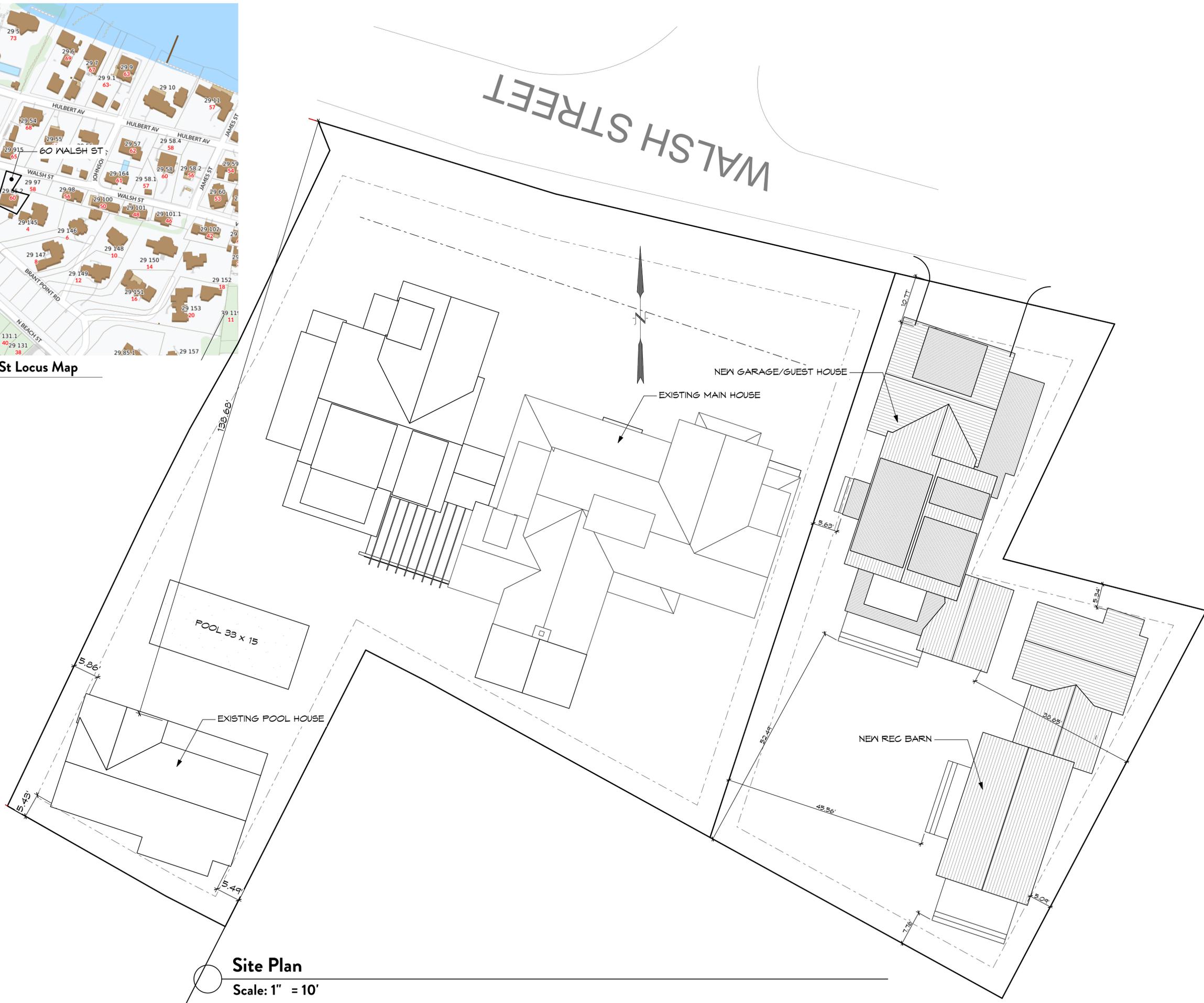
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 7/28/20 Signature of owner of record _____ Signed under penalties of perjury



60 Walsh St Locust Map



Site Plan

Scale: 1" = 10'

DATE	REVISIONS

Site Plan

Garage/Guest House
60 Walsh St
Nantucket, MA 02554

MAP NO: 29 ZONING INFO: R-1 REVISION: 7/23/20
PARCEL NO: 85.2 PROJECT NO: 17
All drawings and designs contained are the sole property of Battistelli & Pohl, P.C.
No publication or use of these documents is permitted without prior approval from Battistelli & Pohl, P.C.



2 North Elevation
SCALE: 1/4" = 1'-0"



1 West Elevation
SCALE: 1/4" = 1'-0"



Prev Sub North
SCALE: 1' = 1'-0"



Prev Sub West
SCALE: 1' = 1'-0"

REVISIONS	DATE

North & West Elevations

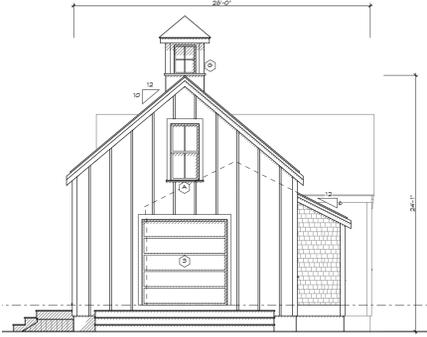
Rec Barn 60 Walsh St Nantucket, MA Window & Exterior Door Schedule								HDC Submission: 1/28/20, 8/19/20 Old Bus. Building Dept. Sub. Rev:
Window Schedule								
No.	Qn	Type	Manuf.	Model #	Frame Size	Rough Opening	Lights	Comments
A	3	Double Hung	LePage	XL 2875	35 5/8" x 66 1/8"	36 5/8" x 69 3/8"	2 over 2	V.G. = 21 1/2" x 28 3/8"
D	6	Double Hung	LePage	XL 2875	35 5/8" x 61 3/8"	36 5/8" x 61 3/8"	2 over 2	V.G. = 21 1/2" x 24 3/8"
F	1	Casement	LePage	WCH-2216	78" x 37"	78" x 37 1/2"	4	V.G. = 21 1/8" x 28"
H	2	Fixed Casement	Hopes	N/A	6'-6" x 8'-0"	TBD	6	Provide shop clips for review
Door Schedule								
No.	Qn	Type	Manuf.	Model #	Door Size	Rough Opening	Lights	Comments
1	1	Sliding French Doors	Hopes	N/A	(4) 4'-0" x 8'-0"	TBD	4	Provide shop clips for review
2	1	Outswing Shed Doors	Custom	N/A	(2) 3'-0" x 6'-6"	TBD	N/A	6" diagonal in-groove doors-see elevations
3	1	Sliding Barn Doors	Custom	Custom	8'-0" x 8'-0"	TBD	8 EA	Provide shop clips for review
Notes:								
1. All windows will be LePage (LON) wood double glazed 1/8" Puddy exterior SDL & 1/8" Davis interior SDL with bronze spacer bars & muntin configuration as shown on drawings. DP 30 rated Min U-value = .33								
All glazing to come with compliance sticker as required by local building codes or manuf. affidavit verifying compliance w/ design pressure ratings & U-values.								
2. All French doors will be by Hopes, wood double glazed 1/8" Puddy ext. SDL & 1/8" Ogee int. SDL w/ bronze spacer bars & muntin configuration as shown on drawings. DP 30 rated Min U-value = .33.								
All glazing to come with compliance sticker as required by local building codes or manuf. affidavit verifying compliance w/ design pressure ratings & U-values.								
3. Window and door glass to be Lou E-366 Argon filled double pane by Cardinal Corp.								
4. Mill shop will provide shops drawings for all window and door units to architect for approval prior to placing window and door order.								
5. Provide all windows, including sidelights, transoms, and fixed windows, with mahogany screen panels. Provide custom mahogany storm/screen combo doors for all exterior doors.								
6. Provide tempered glass in all locations required by code.								

Rec Barn
60 Walsh St
Nantucket, MA 02554
MAP NO: 29 ZONING INFO: R-1
PARCEL NO: 85.2 PROJECT NO: 17
REVISED: 7/28/20
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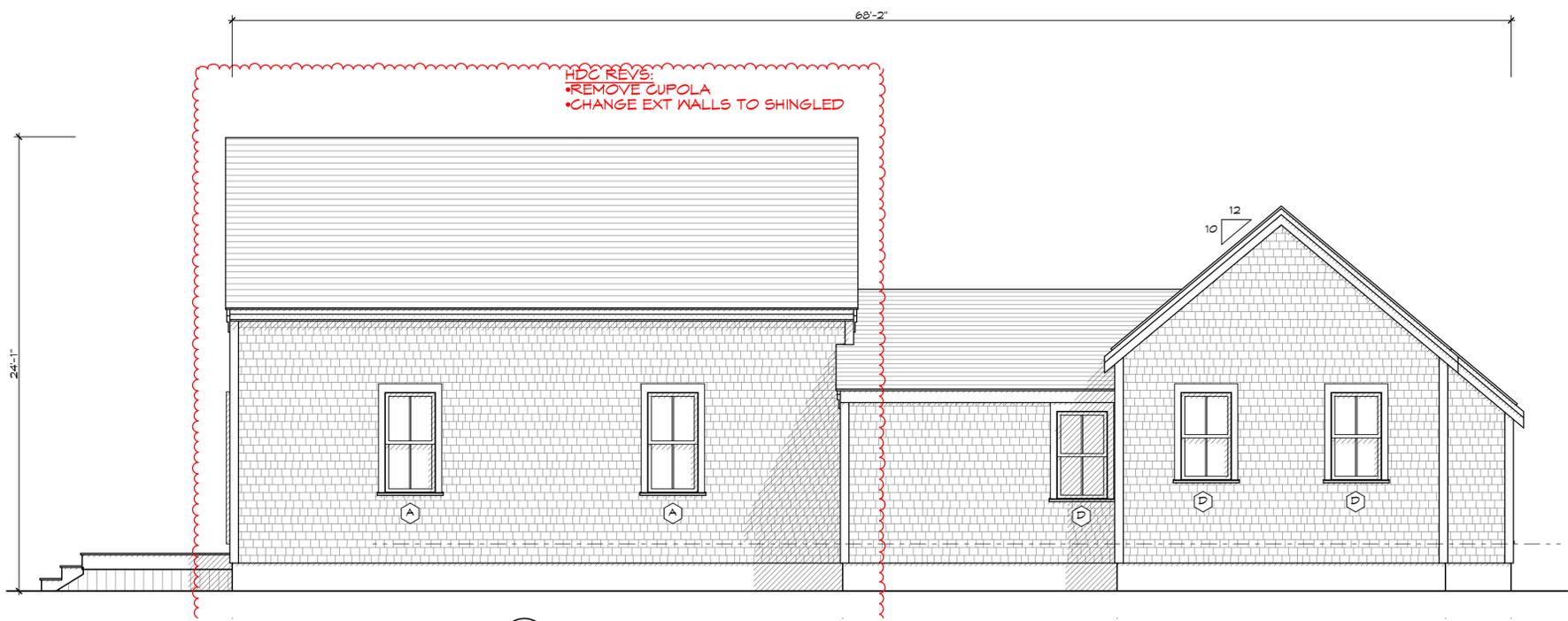


HDC REVS:
 • REMOVE CUPOLA
 • CHANGE EXT WALLS TO SHINGLED
 • REVISE OVERHEAD DOORS TO SLIDING BARN DOORS

2 South Elevation
 SCALE: 1/4" = 1'-0"



Prev Sub South
 SCALE: 1' = 1'-0"



HDC REVS:
 • REMOVE CUPOLA
 • CHANGE EXT WALLS TO SHINGLED

1 East Elevation
 SCALE: 1/4" = 1'-0"



Prev Sub East
 SCALE: 1' = 1'-0"

DATE	REVISIONS

South & East Elevations

Rec Barn
 60 Walsh St
 Nantucket, MA 02554
 MAP NO: 29 ZONING INFO: R-1
 PARCEL NO: 85.2 PROJECT NO: 17 REVISED: 7/28/20
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OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting MAY result in delays.

X	HDC case number: (ex HDC2020-xx-xxxx), if applicable HDC2020-07-1292
X	<u>Copy of Minutes</u> (application item circled)
X	<u>Reduced (8 ½ x 11) copy of application</u>
X	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) <ul style="list-style-type: none"> Ⓐ Site Plan Ⓑ North Elevation Ⓒ South Elevation Ⓓ East Elevation Ⓔ West Elevation Ⓕ Window/Door Schedule
X	<u>One set reduced plans: 8 ½ x 11</u>
X	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: _____ Date: 08.20.20

7. Brian Harris 06-1162	50 Weweeder Avenue	Cabana	79/15	M. Cutone Architecture
Voting	Coombs, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Mark Cutone, Mark Cutone Architecture			
Public	None			
Concerns (6:21)	<p>Cutone – Presented the project; dropped the pitch to match the house and thus reduce the height.</p> <p>Oliver – Likes the new arrangement; however, the siding should be all shingle, not mixed material; simple is better. Suggested the pool turn 90 degrees.</p> <p>Welch – He'd be okay if the siding were all vertical board; agrees simpler is better. The retainage will be at the pool with the step down to the left. No other concerns.</p>			
Motion	Motion to Approve through staff with the horizontal board to be vertical. (Welch)			
Roll-call Vote	Carried unanimously//Oliver, Welch, and Coombs-aye		Certificate #	HDC2020-06-1162

8. Richard Chesley 02-0732	32 West Chester Street	New Dwelling	42.4.3/31	BPC
Voting	Coombs, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, and advisory comments.			
Representing	Joe Paul, BPC			
Public	None			
Concerns (6:27)	<p>Paul – Reviewed changes made per previous concerns; feels some HSAB comments were left over from their last hearing.</p> <p>Backus – Read HSAB comments; they felt the concerns regarding the retaining walls and massing weren't addressed. This is visible across the Lily Pond. The 2nd-floor balcony should not have both balusters and crossbucks.</p> <p>Welch – East elevation, this has a "squat" presentation; suggested a 9/12 pitch and corner boards on the main mass. North elevation, the eave height between the main and secondary masses would diverge with the change with the main-mass pitch; that would address his concerns about lack of change between the main and secondary masses. He's no longer concerned about the retainage as he was initially.</p> <p>Oliver – Agrees that the front door be a 2-panel with 6 lights. Agrees about adding corner boards on the front mass and rear. Her main concern is visibility of the west and south elevations; there is a lot of fenestration on the south. The railing should be simple: all balusters or shingled. South elevation needs some sort of mitigation because it will be visible across the pond; the French doors should be more traditional with kick panels. The massing is fine.</p>			
Motion	Motion to Hold for minor revisions. (Welch)			
Roll-call Vote	Carried unanimously//Oliver, Welch, and Coombs-aye		Certificate #	

9. Thompson 07-1292	73 Baxter Road	Garage	49/27	Emeritus
Voting	Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (6:44)	<p>MacEachern – Reviewed changes made per previous concerns.</p> <p>Camp – This is getting better. Her concern is what faces Baxter Road; feels the gable is forced and should come down as a shed roof with a broke back; suggested attaching to the house with a traditional breezeway.</p> <p>Oliver – She likes Ms. Camp's idea of an open breezeway. This is a good direction.</p> <p>Welch – The concept of the connector would help the overhangs, which otherwise look out of proportion. Don't overpower the dormer: smaller windows work in keeping this subsidiary. Likes the gable forward to maintain the existing street view.</p> <p>Coombs – She'd like to see the garage reused; it's part of the history of the house. Likes Ms. Camp's idea of attaching it and getting rid of the doors.</p>			
Motion	Motion to Hold for revisions. (Camp)			
Roll-call Vote	Carried unanimously//Oliver, Welch, Camp, and Coombs-aye		Certificate #	

Thompson Residence, Garage

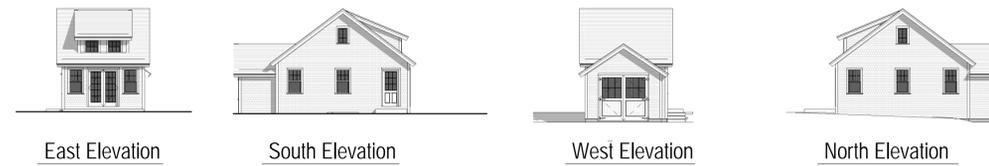
73 Baxter Road
Nantucket, MA 02554



Locus Map

Thompson Residence, Garage

73 Baxter Road
Nantucket, MA 02554



2018
Thompson Residence,
Garage
73 Baxter Road
Nantucket, MA 02554



Cover Sheet

Site Information

Map & Parcel:	49 / 27
Current Zoning:	SR 20
Minimum Frontage:	75
Front Setback:	30
Side/Rear Setback:	10'
Lot Size:	22,392 sf
Min. Lot Size:	20,000 sf
Allowable G.C.:	12.5% or 2,799 sf
Existing G.C.:	1,918
Proposed G.C.:	570 sf
Total Proposed G.C.:	2,488 sf

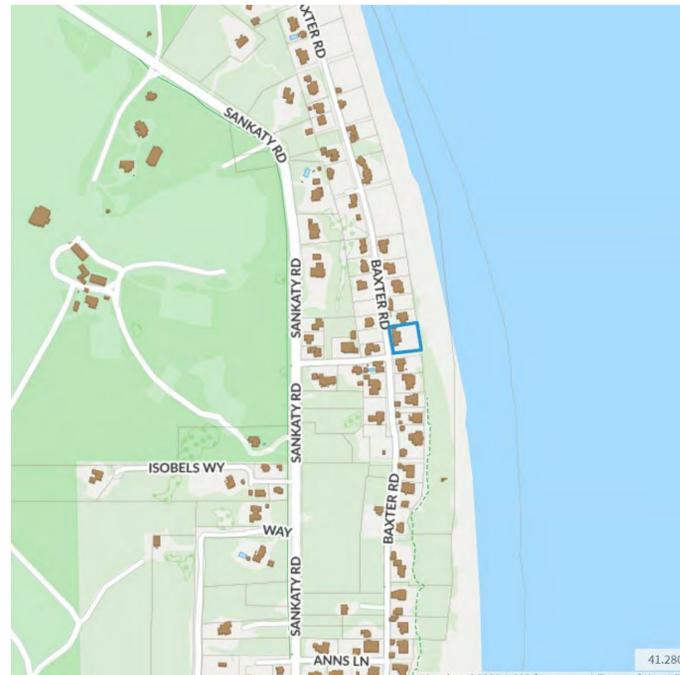
Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

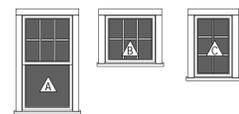
- G.1.1 Cover Sheet
- A.101 Floor Plans
- A.201 Exterior Elevations

08.20.20

HDC Submission



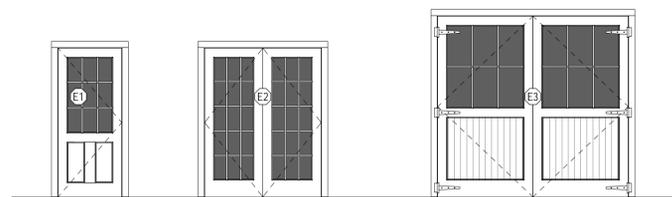
Locus Map



Double Hung 6/1 SDL
Fixed 6 Lite SDL
Fixed 6 Lite SDL

Window Legend

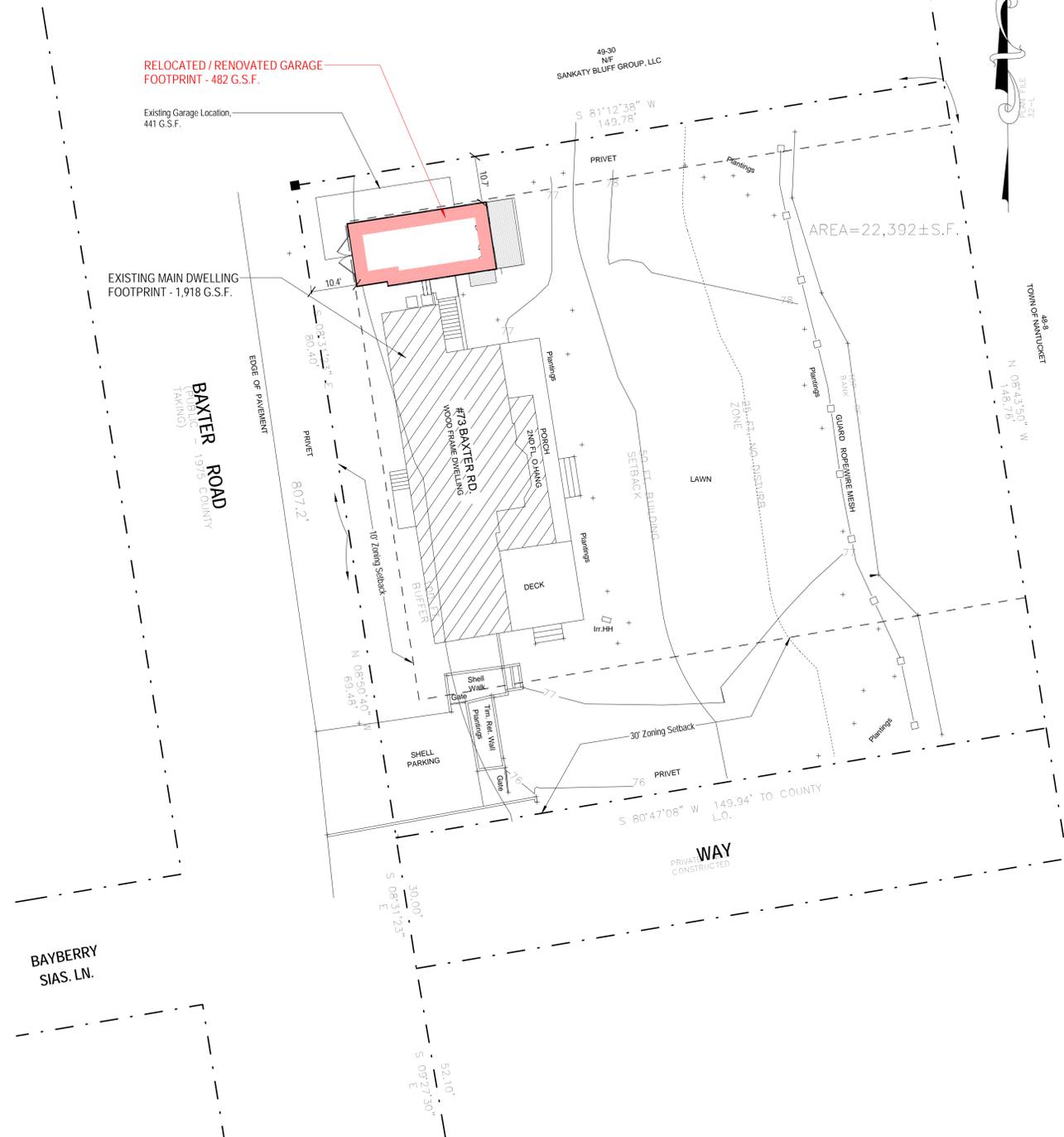
1/4" = 1'-0"



Two Panel 9 Lite SDL
Double French Door 15 Lite SDL
Garage Carriage Doors Solid 'V' Groove w/ 6 Lite SDL

Door Legend

1/4" = 1'-0"



Site Plan

1/16" = 1'-0"

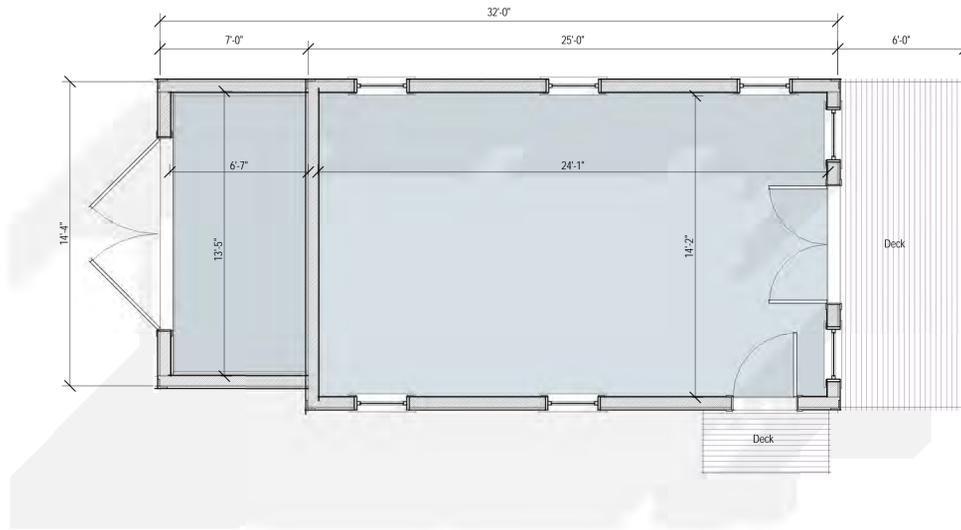
Revisions

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G.1.1
2018

08.20.20

HDC Submission



1 Garage First Floor Plan
1/4" = 1'-0"



2 Garage Roof Plan
1/4" = 1'-0"

2018

Thompson Residence,
Garage

73 Baxter Road
Nantucket, MA 02554



Floor Plans

Site Information

Map & Parcel:	49 / 27
Current Zoning:	SR 20
Minimum Frontage:	75
Front Setback:	30
Side/Rear Setback:	10
Lot Size:	22,392 sf
Min. Lot Size:	20,000 sf
Allowable G.C.:	12.5% or 2,799 sf
Existing G.C.:	1,918
Proposed G.C.:	570 sf
Total Proposed G.C.:	2,488 sf

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

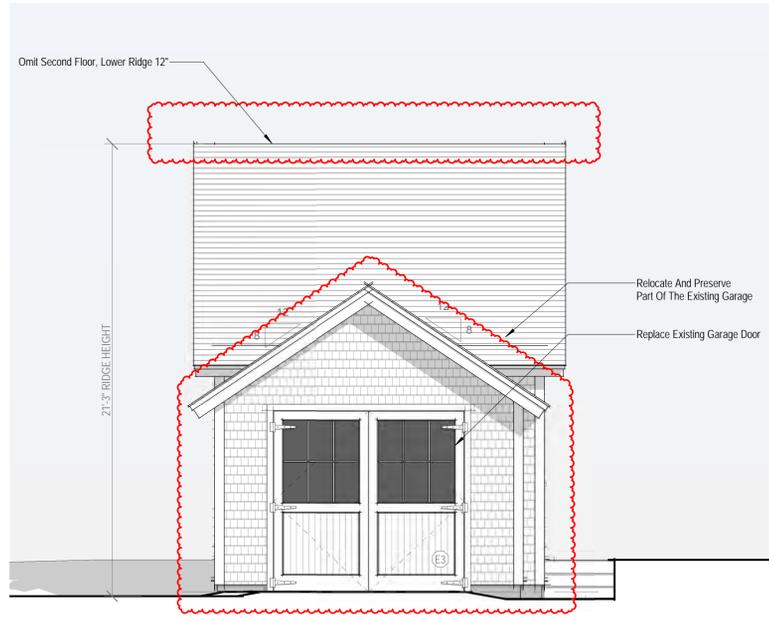
- G.1.1 Cover Sheet
- A.101 Floor Plans
- A.201 Exterior Elevations

Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.
DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

A.101
2018

08.20.20



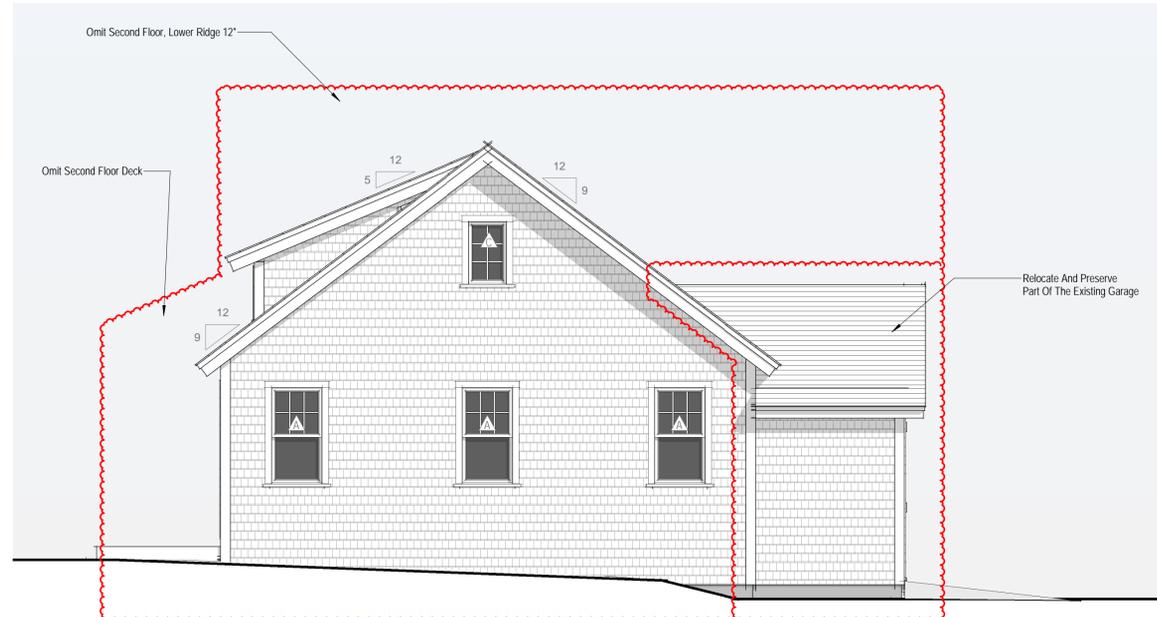
1 Garage West Elevation - Proposed
1/4" = 1'-0"



Ex. West Elevation



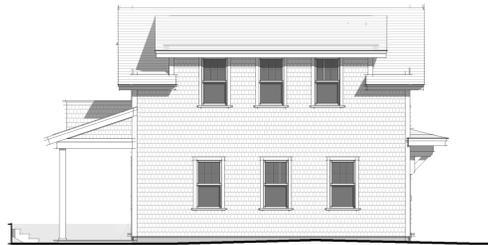
Ex. North Elevation



2 Garage North Elevation - Proposed
1/4" = 1'-0"



Garage Westt, Prev. HDC



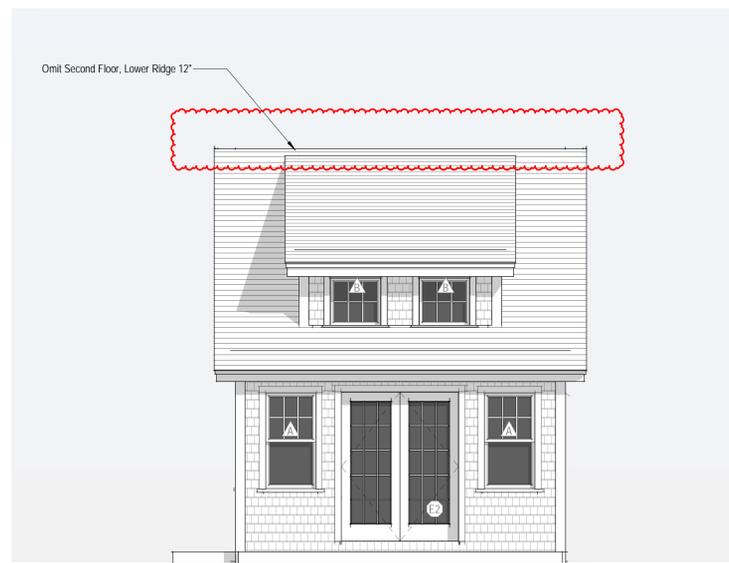
Garage Northt, Prev. HDC



Garage South, Prev. HDC



Garage East, Prev. HDC



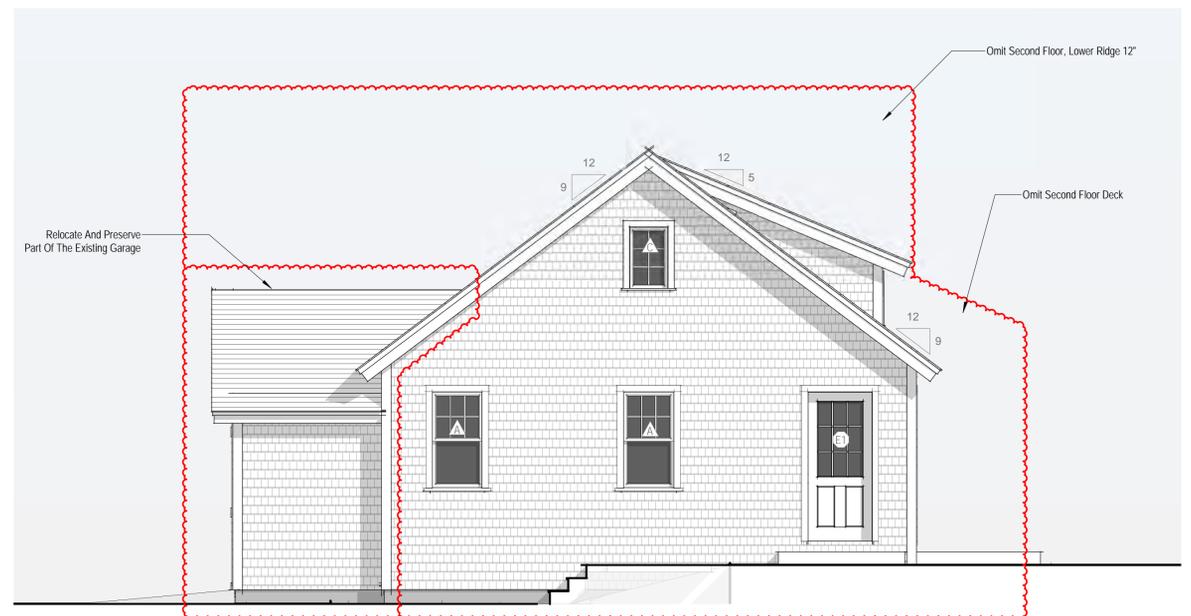
3 Garage East Elevation - Proposed
1/4" = 1'-0"



Ex. East Elevation



Ex. South Elevation



4 Garage South Elevation - Proposed
1/4" = 1'-0"

2018
Thompson Residence,
Garage
73 Baxter Road
Nantucket, MA 02554



Exterior Elevations

Site Information

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SHEET INDEX

- G.1.1 Cover Sheet
- A.101 Floor Plans
- A.201 Exterior Elevations

HDC Submission

Revisions

Revision 1	Date 1
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THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD. DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

A.201
2018

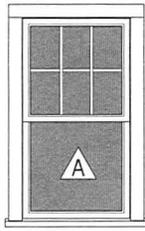


West Elevation, Combined

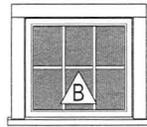
1/8" = 1'-0"



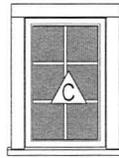
West 3D View Combined



Double Hung
6/1 SDL



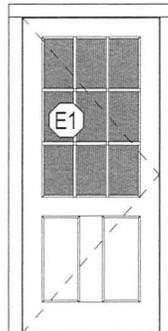
Fixed
6 Lite SDL



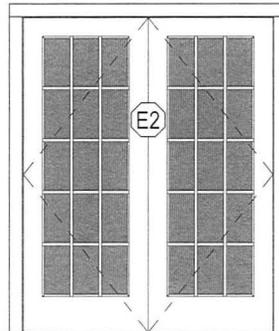
Fixed
6 Lite SDL

Window Legend

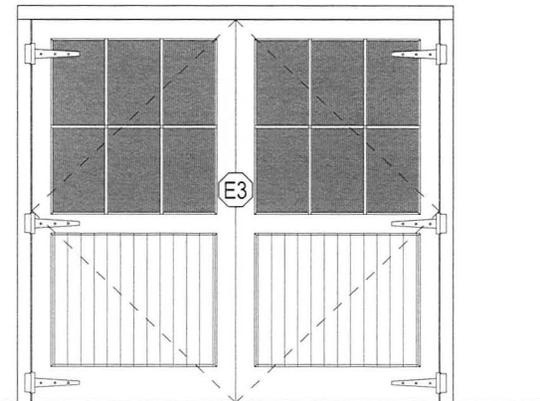
1/4" = 1'-0"



Two Panel
9 Lite SDL



Double French Door
15 Lite SDL



Garage Carriage Doors
Solid 'V' Groove w/ 6 Lite SDL

Door Legend

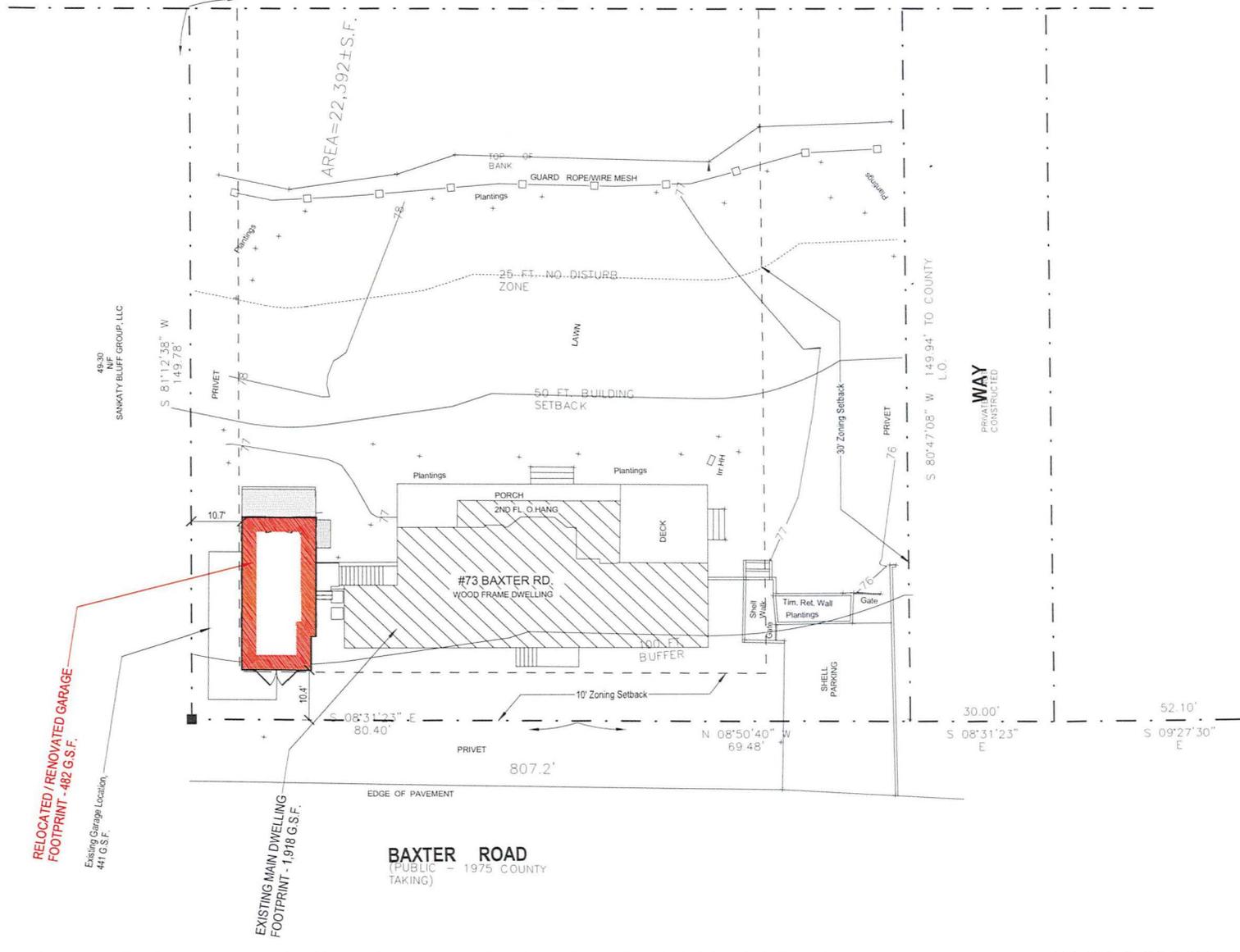
1/4" = 1'-0"



48-8
TOWN OF NANTUCKET

N 08°43'50" W
148.76'

AREA = 22,392 ± S.F.



RELOCATED / RENOVATED GARAGE
FOOTPRINT - 482 G.S.F.

Existing Garage Location,
441 G.S.F.

EXISTING MAIN DWELLING
FOOTPRINT - 1,918 G.S.F.

BAXTER ROAD
(PUBLIC - 1975 COUNTY
TAKING)

BAYBERRY
SIAS. LN.

Site Plan

48-30
NF
SANKATY BLUFF GROUP, LLC

S 81°12'38" W
149.78'

PRIVET

LAWN

25-FT. NO-DISTURB
ZONE

50-FT. BUILDING
SETBACK

30' Zoning Setback

S 80°47'08" W 149.94' TO COUNTY
L.O.

PRIVATE
WAY
CONSTRUCTED

S 08°31'23" E
80.40'

PRIVET
807.2'

N 08°50'40" W
69.48'

S 08°31'23" E
30.00'

S 09°27'30" E
52.10'

SHELL
PARKING

Sheet
Pile
Wall

Tim. Ret. Wall

Plantings

Gate

100 FT.
BUFFER

#73 BAXTER RD.
WOOD FRAME DWELLING

PORCH

2ND FL. O. HANG

DECK

Plantings

Plantings

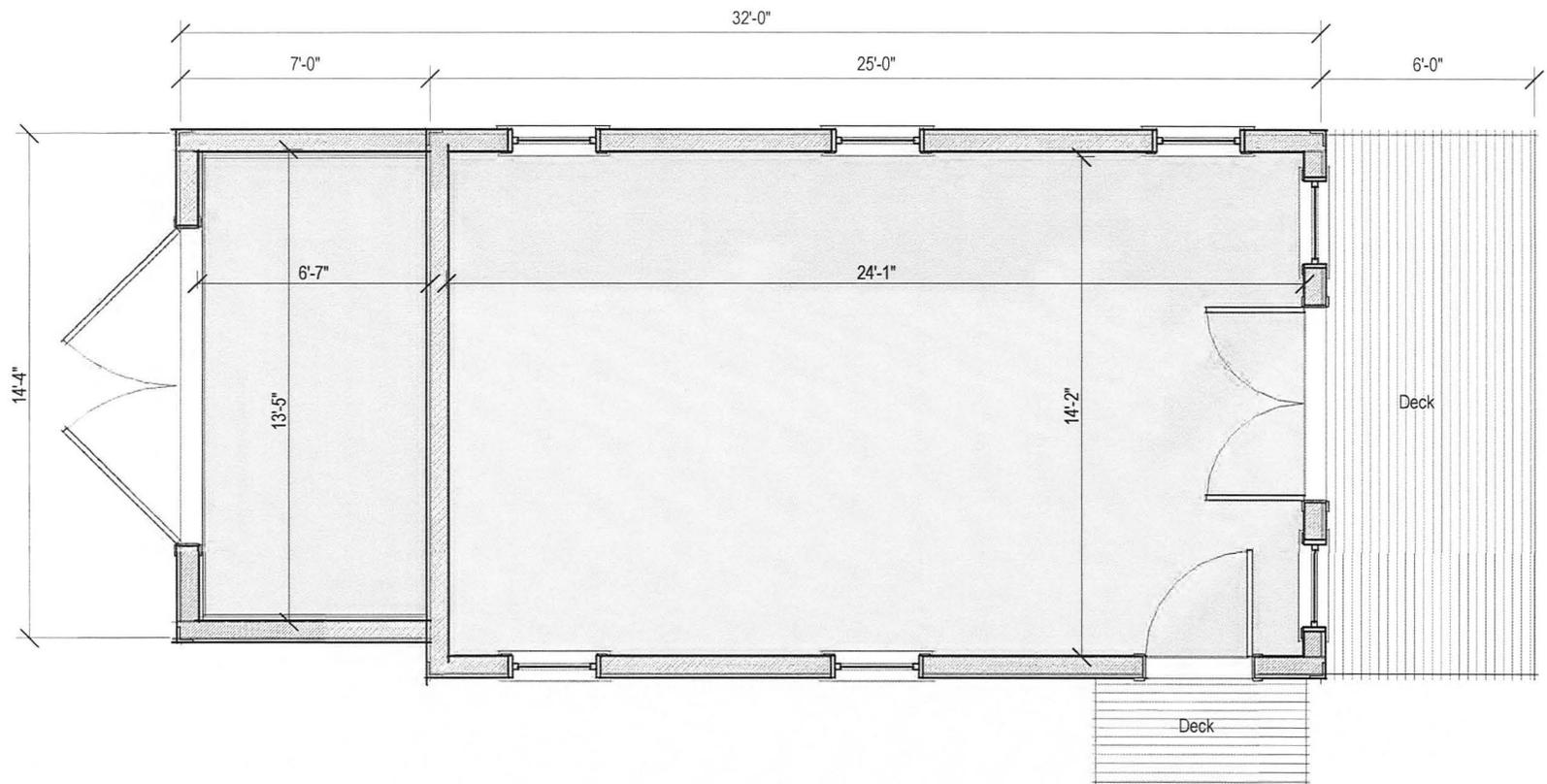
IN HH

Plantings

TOP OF
BANK

GUARD ROPE/WIRE MESH

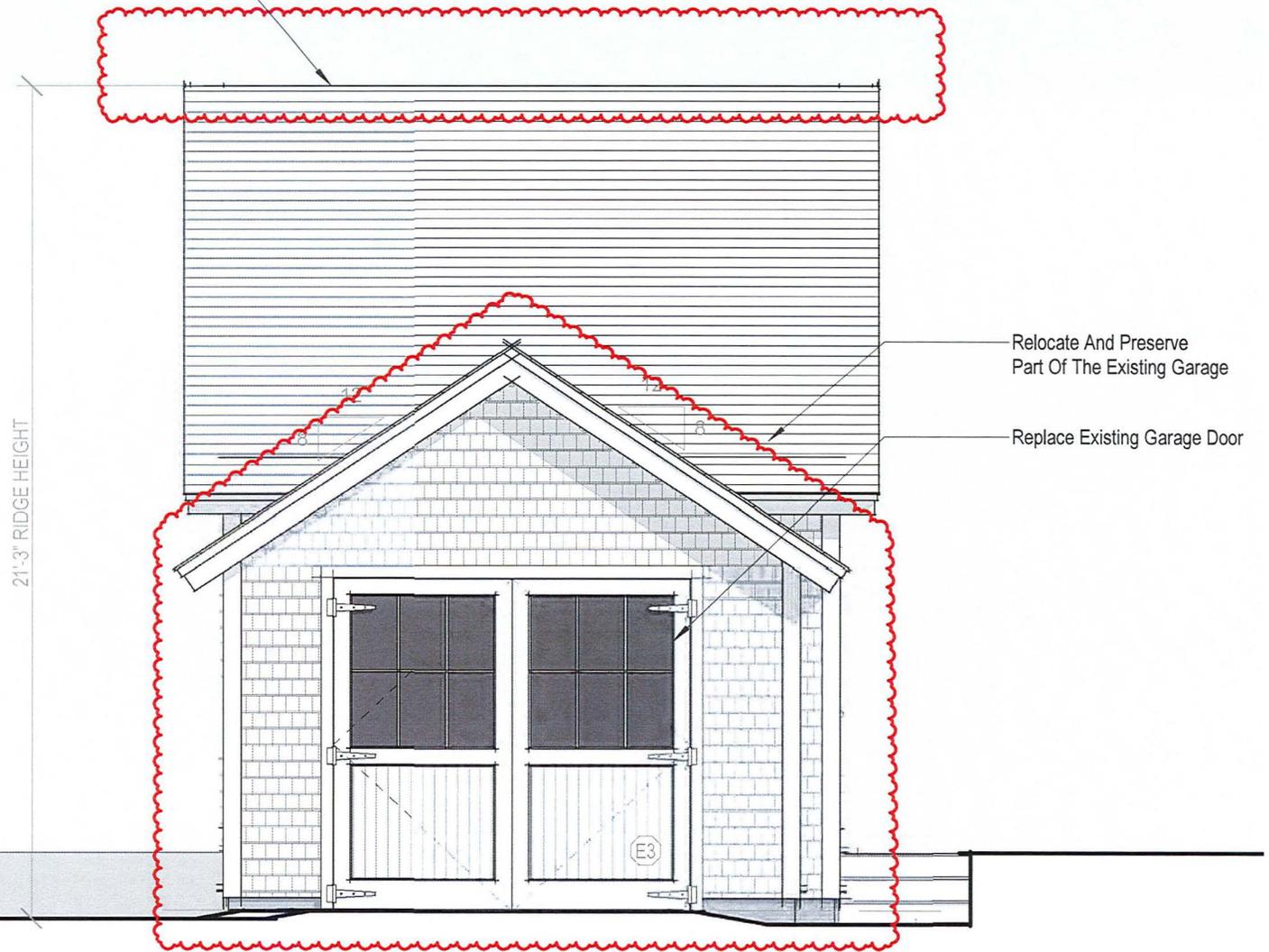
adjacent



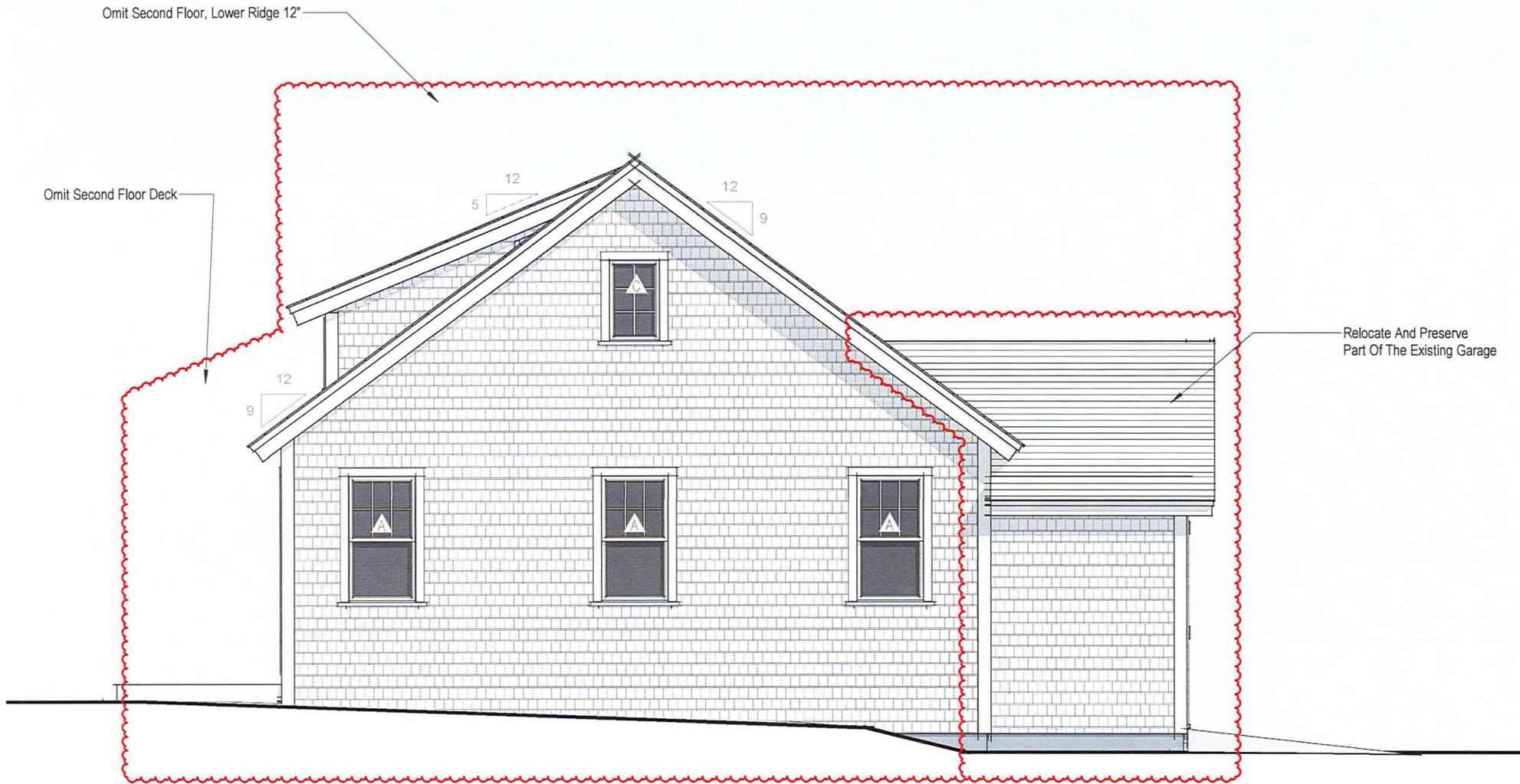
1 Garage First Floor Plan
1/4" = 1'-0"

07.07.20

Omit Second Floor, Lower Ridge 12"



1 Garage West Elevation - Proposed
1/4" = 1'-0"

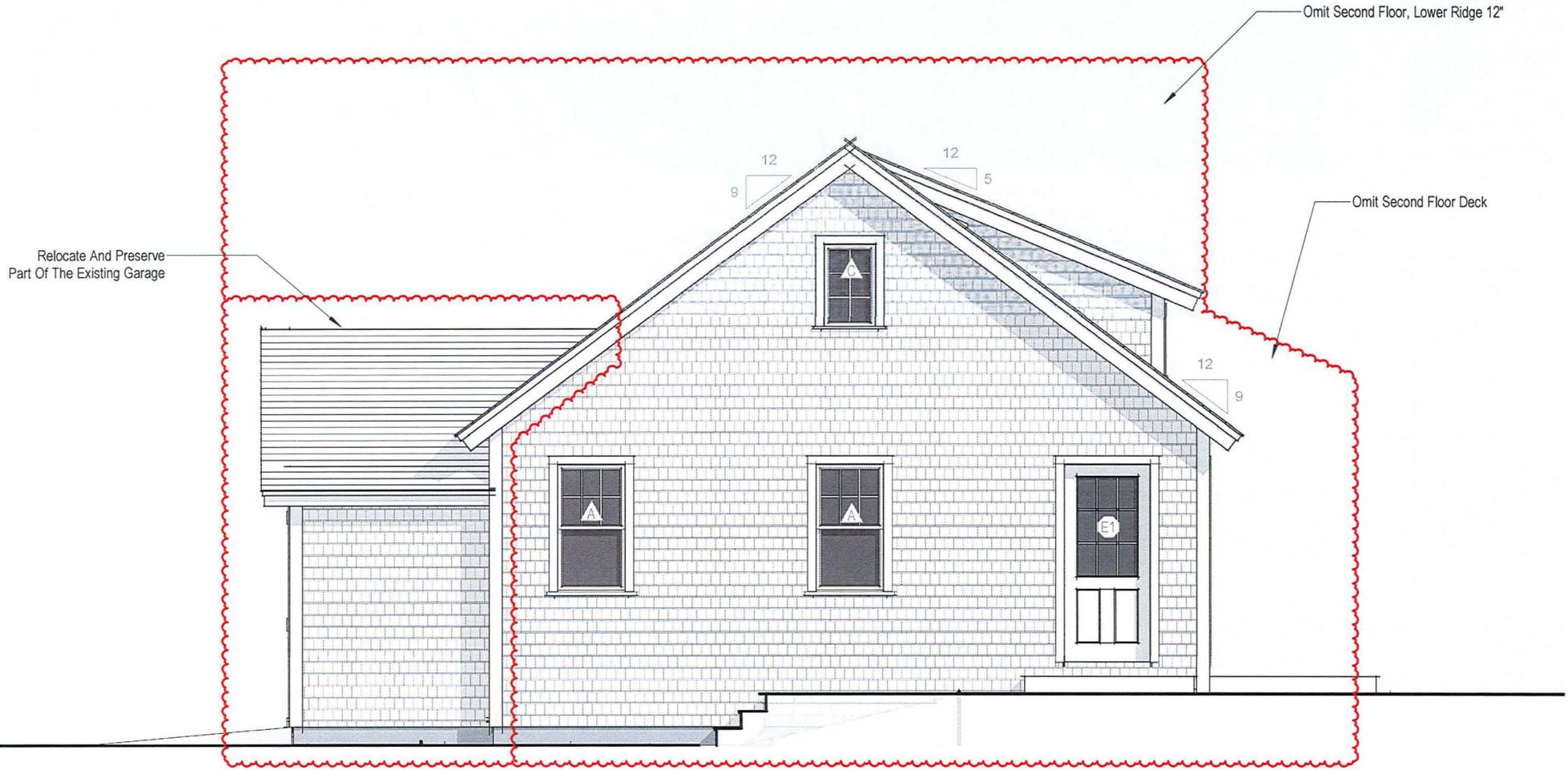


2 Garage North Elevation - Proposed
 1/4" = 1'-0"

Omit Second Floor, Lower Ridge 12"



3 Garage East Elevation - Proposed
1/4" = 1'-0"



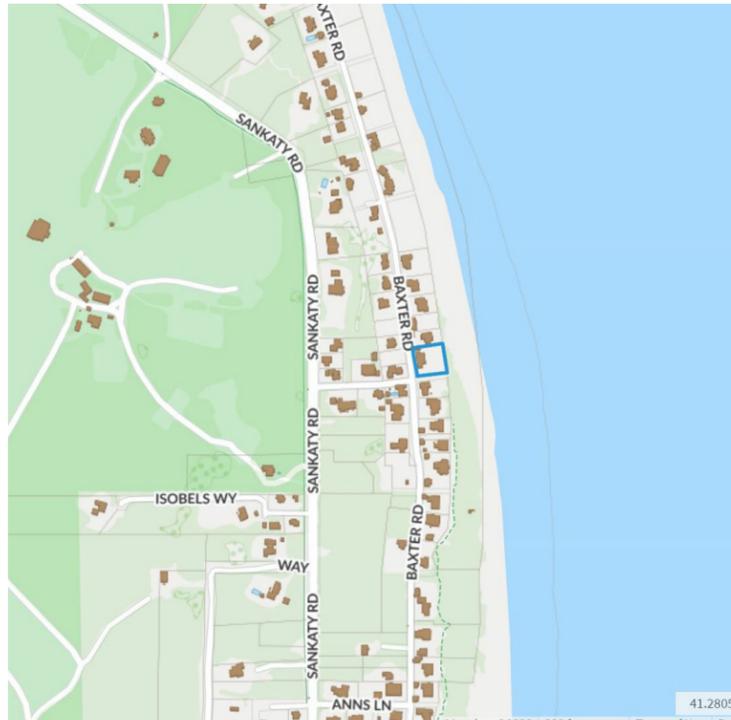
4 Garage South Elevation - Proposed
1/4" = 1'-0"

Proposed HDC Minutes for August 3, 2020

6.	Will Folberth 06-1121	58 Walsh Street	New dwelling	29/97	Sanne Payne
Voting	Pohl, Coombs, Camp, Oliver				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, correspondence, advisory comments, and surveyor confirmation of flood-zone height.				
Representing Public	Sanne Payne None				
Concerns (5:26)	<p>Backus – Read letter of concerns from owners at 4 Brant Point, a letter of rebuttal from the owner, and comments from HSAB members. She feels this is too tall and has too much fenestration.</p> <p>Oliver – Agrees with HSAB and the neighbor; in the first hearing she said it lacked hierarchy and needs a main mass with additions trailing off; should eliminate the flat-façade balcony and shingle the 2nd-floor French door deck. Asked about doing something different with the skirting; there is too much verticality. It's not as much the height as it is the massing and hierarchy.</p> <p>Camp – She has been confused by this from the beginning; what the neighbor has to say is important. This design is cookie-cutter; it needs some drastic changes. The 1st-floor balcony is oversized, and the roof walk looks like a crown.</p> <p>Coombs – Agrees with what's been said. She feels this needs a redesign. This is inappropriate for the area and doesn't fulfil the HDC mission of protecting the sense of historic places and the OHD.</p> <p>Pohl – He agrees with what's been said as well; he feels HSAB comments are spot on.</p> <p>Payne – We have taken to heart the neighbor's concerns about fill.</p>				
Motion	Motion to Hold for revisions. (Camp)				
Roll-call Vote	Carried 4-0//Oliver, Coombs, Camp, and Pohl-aye			Certificate #	
7.	Nant. Boys & Girls Club 06-1145	69 Sparks Avenue	New dwelling	55/139.2	Emeritus
Voting	Pohl, Coombs, Oliver, Dutra				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing Public	Matt MacEachern, Emeritus Development None				
Concerns (5:41)	<p>MacEachern – Reviewed changes made per previous concerns; south elevation faces Sparks Avenue; natural trim and black sash.</p> <p>Oliver – South elevation, preferred the 2-dormer version.</p> <p>Dutra – Likes the revisions. He prefers the 3 dormers on the south elevation. The old roof pitch did not make it look as wide.</p> <p>Coombs – South elevation, likes the 3-dormer version. Agrees about the old pitch making it look not so wide.</p> <p>Pohl – He liked the steeper roof pitch, but the current proposal is approvable.</p>				
Motion	Motion to Approve as submitted. (Oliver)				
Roll-call Vote	Carried 4-0//Dutra, Coombs, Oliver, and Pohl-aye			Certificate #	HDC2020-006-1145
8.	Thompson 05-1039	73 Baxter Rd	Demo-move garage	49/27	Emeritus
Voting	Pohl, Coombs, Camp, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, historical documentation, and advisory comments.				
Representing Public	Matt MacEachern, Emeritus Development None				
Concerns (5:50)	<p>MacEachern – This has been tracking with the new design; garage appears to be a Sears kit; estimate to move it is \$100,000, which seems excessive. He doesn't feel this is a significant historic structure. There is a precedent for secondary structures on the road which in some cases are larger and more predominant than the main house.</p> <p>Backus – SAB was concerned about what would replace it in relation to the historic structure and would like this reused.</p> <p>Camp – The design of the proposed is very important and shouldn't overwhelm the main structure; she wants to ensure we don't get a 2-story garage replacing this.</p> <p>Welch – He feels it is important to reuse this structure and would like it relocated; regarding other community or local significance, he doesn't see that and would allow it to be moved off. He doesn't support a demolition.</p> <p>Coombs – She doesn't think this should be demolished; Sears & Roebuck buildings were very popular on the Island in the 1930s and 1940s but have been systematically destroyed; that is an interesting era of our history. This has possibilities in this location and being added onto. It looks to be in good shape.</p> <p>Pohl – Two members would not approve a demolition but okay with moving on site or off site as long as it's retained.</p>				
Motion	Motion to Hold for additional research into where it might be moved. (Coombs)				
Roll-call Vote	Carried 4-0//Welch, Camp, Coombs, and Pohl-aye			Certificate #	

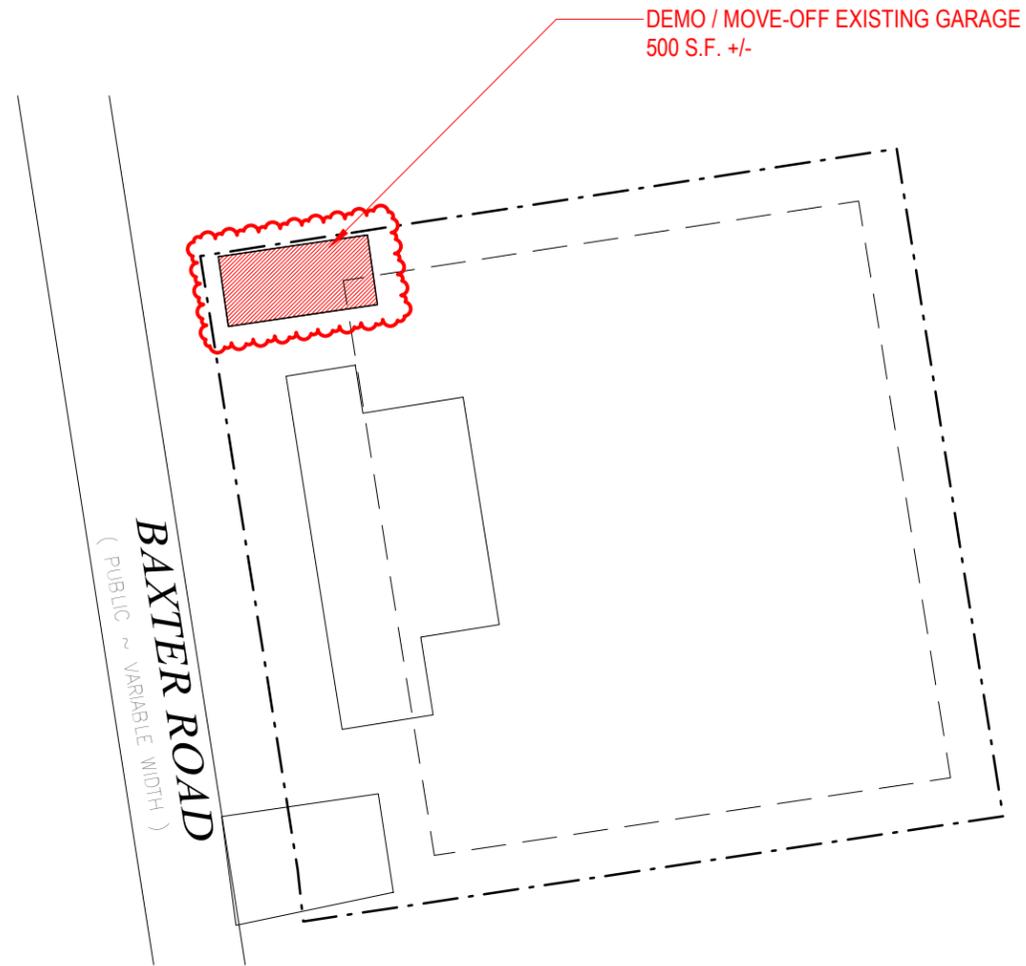
Thompson Residence, Garage

73 Baxter Rd
Nantucket, MA 02554



Locus Map

12" = 1'-0"



Ex. South Elevation



Ex. East Elevation



Ex. West Elevation



Ex. North Elevation

G.1.0

Thompson Residence, Garage

73 Baxter Rd
Nantucket, MA 02554

Zoning Information

Map & Parcel:	49 / 27
Current Zoning:	SR 20
Minimum Frontage:	75'
Front Setback:	30'
Side/Rear Setback:	10'

Garage Move-Off/Demo HDC Submission

05.26.20



8 Williams Lane Nantucket, MA
02554
P. 508.325.4995
F. 508.325.6980
www.emeritusdevelopment.com

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 49 PARCEL N^o: 27
 Street & Number of Proposed Work: 73 Baxter Rd
 Owner of record: Thompson
 Mailing Address: 73 Baxter Rd
Nantucket, MA 02554
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Emeritos
 Mailing Address: 8 Williams Ln
Nantucket, MA 02554
 Contact Phone #: 325-4995 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other Move-off/Demo Existing Garage

Size of Structure or Addition: Length: 33 ft Sq. Footage 1st floor: 500 Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 15 ft Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: n/a **REVISIONS*** 1. East Elevation
 Original Date: _____ (describe) 2. South Elevation
 Original Builder: _____ 3. West Elevation
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____

Trim _____ Sash _____ Doors _____

Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 5.26.20 Signature of owner of record _____ Signed under penalties of perjury



HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road
Nantucket, Massachusetts 02554

Telephone: 508.325.7587
Email: hdcsubmissions@nantucket-ma.gov

COMMISSIONERS

Ray Pohl
Chairman

Diane Coombs
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

STAFF

Cathy Flynn
Land Use Specialist
cflynn@nantucket-ma.gov

Waiver of the HDC 10 Day Hearing Requirement

I Emeritus

AS AGENT FOR Thompson

STREET ADDRESS 73 Baxter Rd

MAP/PARCEL 49 / 27

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON
05.26.20

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

SECTION 8 of the HDC enabling legislation: ... The Commission shall meet within ten (10) days of the receipt of an application for a certificate of appropriateness or permit for removal...

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

05.26.20
Signature _____ Date _____



2 Fairgrounds Road, Nantucket, Massachusetts 02554
 Telephone: 508.325.7587, Fax: 508.228.7298
www.nantucket-ma.gov/Pages/NantucketMA_HistDist/index
CHECKLIST FOR HDC APPLICATIONS

REQUIRED WITH ALL APPLICATIONS:

- | | | |
|------------------|----|--|
| <u> X </u> | 1. | Completed Application Form: Description of ALL work must be indicated on application form. |
| <u> X </u> | 2. | Property Owner's Signature: Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided. |
| <u> X </u> | 3. | Application Fee: See back of application for fee schedule or call the office. |
| <u> X </u> | 4. | Locus Map (4 copies): Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) http://www.mapgeo.com/NantucketMA/ . |
| <u> X </u> | 5. | Site Plan (4 Copies): must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and placement of HVAC units, electrical boxes, fuel tanks, etc. |
| <u> X </u> | 6. | 8-1/2" x 11" Copies of ALL Application Materials: Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12) , collated and stapled. |
| <u> X </u> | 7. | Photographs: Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address. |
| <u> X </u> | 8. | Electronic submission: All documents submitted to the HDC office must also be converted to Adobe Acrobat format http://www.adobe.com/pdf/ ; this is free software that may have come pre-loaded on your computer. Electronic copies can also be created using the scanner located in the Department of Inspectional Services. |

REQUIRED WHERE APPLICABLE:

- | | | |
|--------------------|----|---|
| <u> N/A </u> | 1. | Supplemental Information for Historic Buildings: It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application. |
| <u> X </u> | 2. | Exterior Elevations and Floor Plans (4 copies): Must be ¼-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. All changes from approved or existing design must be clouded on drawings. All material MUST BE LEGIBLE , collated and stapled. Reduced sets should maintain a font size of 12. |
| <u> n/a </u> | 3. | As-Built Plans (1 copy): of existing elevations |
| <u> n/a </u> | 4. | Hardscaping Plans (4 copies): To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE , collated and stapled. |
| <u> N/A </u> | 5. | Topographic Map: Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan). |
| <u> X </u> | 6. | Door and Window Schedule (4 copies): Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number. |
| <u> X </u> | 7. | I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., <u>NOT</u> DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS. |
| <u> N/A </u> | 8. | Abutter Notification Materials – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet. |
| <u> n/a </u> | 9. | Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc. |

(initial to indicate read and understand)



8 Williams Lane
Nantucket, MA 02554
Phone: 508.325.4995
emeritusltd.com

Historical Records

73 Baxter, Siasconset, MA 02564

The following includes:

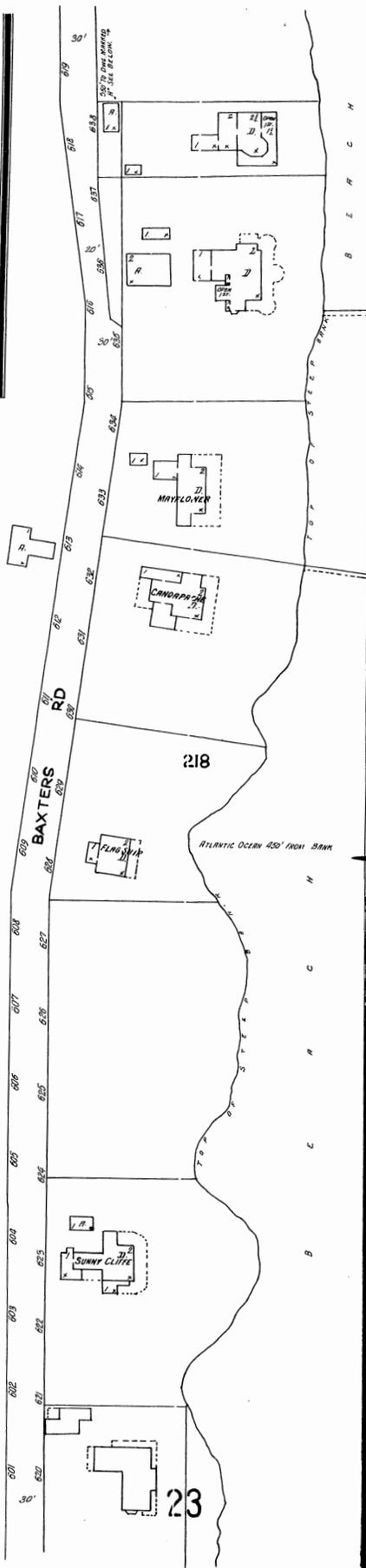
- Sanborn Map 1923
- Sanborn Map 1949
- Historic Aerial 1938
- Nantucket Historical Association Photograph 1992

22



Located 1 Mile N. of Siasconset Sq.

217



22

(1297)

SANKATY HEAD LIGHT HO.
70' HIGH
BUILT 1850.

OCT. 1923
NANTUCKET
MASS.

SIASCONSET

217



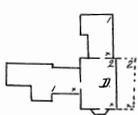
218



1725' TO GROUP OF IS. BELOW



ATLANTIC OCEAN 350' FROM BANK



250

23

THE HOLLOW BY THE FLORE

TINY TIM

MICHELLE AND CATFIRE

COFFIN RD

206

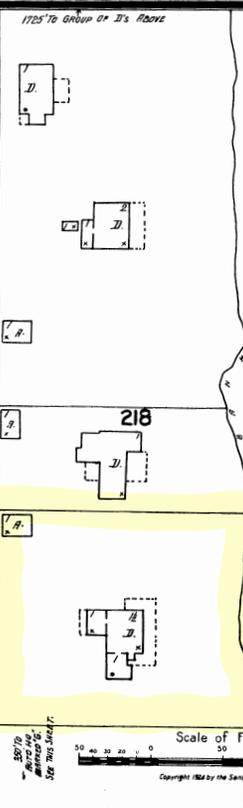
23

SANKATY HEAD RD

BAXTERS RD

ATLANTIC OCEAN 450' FROM BANK

217

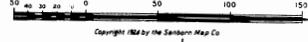


218

1725' TO GROUP OF IS. ABOVE

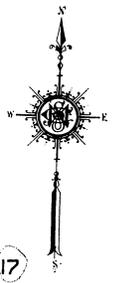
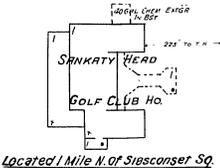
ATLANTIC OCEAN 450' FROM BANK

Scale of Feet.

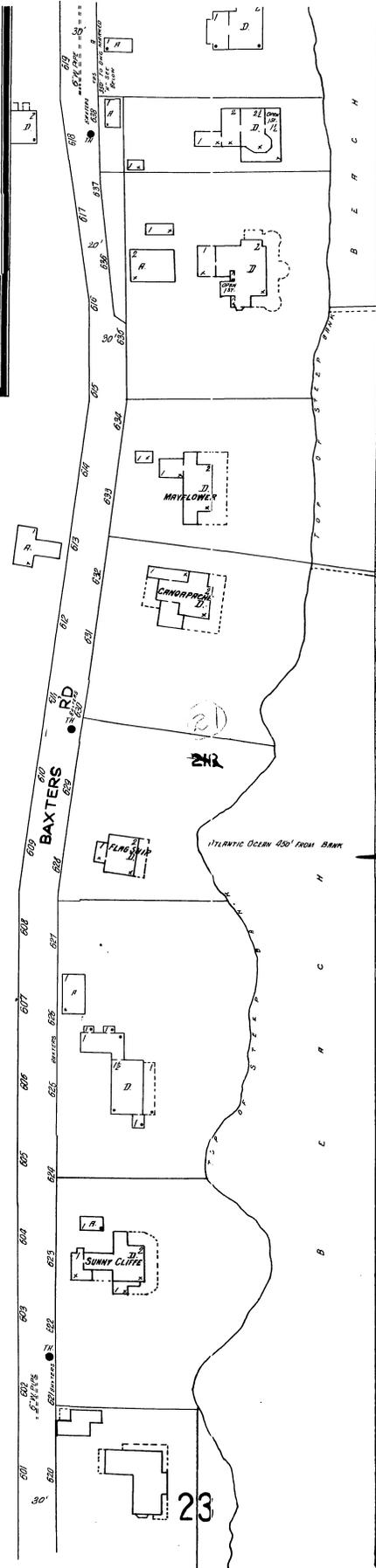


Copyright 1924 by the Sanborn Map Co.

50
22



217



ASS. 513

20' To BR. DL. No. 10' x 1'

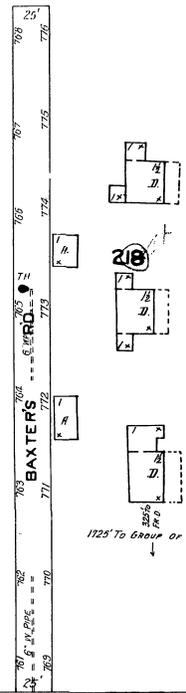
SANKATY HEAD LIGHT HO.
70' High.
BUILT 1350.

OCT. 1923
NANTUCKET
MASS.

SIASCONSET

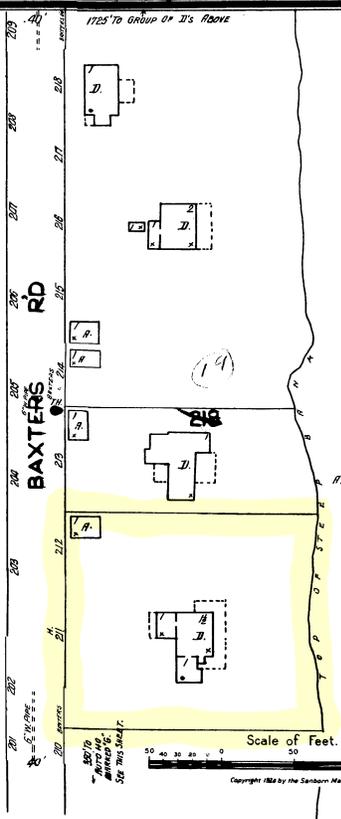
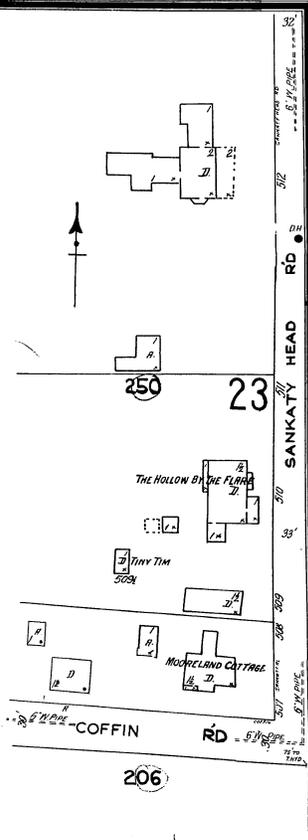
(1297)
22

217



ATLANTIC OCEAN 350' FROM BANK

1725' To Group of D's. Below



ATLANTIC OCEAN 450' FROM BANK

20' To BR. DL. No. 10' x 1'

Scale of Feet.

Copyright 1923 by the Siasconset Map Co.

123
257

+ 73 Baxter Road, Nantucket, MA

go



← purchase image and/or print

aerials 2016

1938 2014

topos 2012

atlases 2010

compare 2009

overlays 2008

measure 2005



2003

1995

1994

1971

1969

1938





18. Thompson	05-1039	73 Baxter Road	Move/demo garage	49-27	Emeritus
Voting	Pohl, Coombs, McLaughlin, Camp, Welch				
Alternates	Oliver stepped out.				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (7:23)	<p>MacEachern – Presented project; doesn't think this has any historical significance; reusing it is not an option.</p> <p>Flynn – Read Ms. Backus' comments: circa 1920-1940; wants to know what's being proposed and why.</p> <p>Coombs – This has been in place since at least the 1940s; she doesn't understand why it has to be removed when it's grandfathered in. Does not support demolishing this; it has enough age and history to stay on lot.</p> <p>Camp – She'd like to see it remain on the property and be renovated. It has charm and character. Believes this is a Sears and Roebuck house.</p> <p>McLaughlin – The style of garage doors is post 1940s. It could be moved to the bottom right corner and saved.</p> <p>Welch – He thinks finding a home for this is beneficial.</p> <p>Pohl – If you move it 3 feet off the property line, you can put windows in. What's on the table now is the fact that if no one takes this, we'd be approving a demolition. Asked Mr. MacEachern to do more historical research.</p>				
Motion	Motion to Hold for more information. (Camp)				
Roll-call Vote	Carried 5-0//Welch, Coombs, Camp, McLaughlin, and Pohl-aye			Certificate #	

19. 12 Lincoln Ave, LLC	06-1069	12 Lincoln Avenue	Rev. 11-0147: cabana chngs	30-183	Emeritus
Voting	Coombs (acting chair), McLaughlin, Camp, Oliver, Welch				
Alternates	Pohl lost connectivity				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (7:35)	<p>MacEachern – Presented project; contends it's not visible due to location between two buildings.</p> <p>Flynn – Read Ms. Backus' comments: visible, not appropriate; east bi-fold doors not appropriate; west elevation, removed doors, and windows changed from 2-over-2 to 6-over-1.</p> <p>Oliver – She has no concerns. Our concern was always the open yard facing east might make the doors more visible. Her only concern would be visibility from the east.</p> <p>Welch – The pool and cabana are swapping with the same relationship; along the property line there will be windows instead of doors. He has no concerns. The height changes from 16'2" to 17'6"; that is a change we need to review.</p> <p>McLaughlin – The porthole windows in the doors should be square; with that change, he'd approve this.</p> <p>Camp – She thinks the proposed is okay; she prefers the porthole windows.</p>				
Motion	Motion to Approve through staff with the porthole windows to be square 4-light and the height to remain 16'2". (McLaughlin)				
Roll-call Vote	Carried 5-0//Camp, Oliver, Welch, McLaughlin, and Coombs-aye			Certificate #	HDC2020-06-1969

20. 78 Wauwinet LLC	06-1065	78 Wauwinet Road	New dwelling	14-18	Emeritus
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver				
Alternates	Welch				
Recused	None				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (7:51)	<p>MacEachern – Presented project; any visibility would be from Fargo; from the water, only the third floor would be visible due to the dense vegetation; assured there won't be any clear cutting toward the water or Wauwinet Road.</p> <p>McLaughlin - South elevation, the gable roof over the door should be 7/12 pitch; meeting rails don't align.</p> <p>Oliver – Appreciates the traditional design. Doors and windows have no sizes. It would be helpful to have scale box on each elevation. Suggested having the garage considered in conjunction with the house.</p> <p>Camp – She's not sure about the visibility from the water; the 14/12 pitch on the south elevation 3rd-floor dormers is too steep; the fascia strip is overly ornate. The last house on Fargo is laid-back; she'd like this formality toned down.</p> <p>Coombs – The 3rd-floor doghouse dormers should be wider with the windows adjusted to fit; the bottom two panels of the sidelights should be wood panels. At 29'10" with a skirted roof walk, it looks too tall and too heavy. It's overly long at 110 feet; you are going to lose a huge amount of vegetation thus opening it to visibility. The south elevation should be simpler.</p> <p>Pohl – He feels this is a redesign; it flies in the face of the rural guidelines. He guarantees it will be visible from Wauwinet Road and the water, especially with all the details painted white. Thinks this would benefit from a view with height poles.</p>				
Motion	Motion to Hold for revisions. (Coombs)				
Roll-call Vote	Carried 5-0//Camp, Oliver, McLaughlin, Coombs, and Pohl-aye			Certificate #	

OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 1/2 x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 1/2 x 11
	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: _____ Date: _____













Historic District Commission OLD BUSINESS CHECKLIST



81 City

Planning and Land Use Services

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

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<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	<u>Sign in submission at Front Desk</u>
✓	HDC case number: (ex HDC2020-xx-xxxx), if applicable 05-0895 07-1392
✓	<u>Copy of Minutes</u> (application item circled)
✓	<u>Reduced (8 1/2 x 11) copy of application</u>
✓	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
NA	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
✓	Four (4) Large sets of plans <u>at 3/16" or 1/4" scale</u> (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
✓	<u>One set reduced plans</u> : 8 1/2 x 11
	<u>Electronic Submission</u> : Each of the foregoing documents (including this checklist) MUST BE scanned to a single PDF file and emailed to hdcsubmissions@nantucket-ma.gov .
✓	<u>Signed Affidavit</u> : see reverse side

Historic District Commission
OLD BUSINESS CHECKLIST

** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.

Affidavit Certifying Completeness of Old Business submission

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for an Old Business submission have been met.

Signature:  _____ Date: 8/19/2020

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 30 PARCEL N°: 165
Street & Number of Proposed Work: 81 Cliff Rd
Owner of record: Cliff Lane 81 LLC
Mailing Address: 81 Cliff Ln
Nantucket MA 02554
Contact Phone #: 228-2722 E-mail: _____

AGENT INFORMATION (if applicable)

Name: BPC
Mailing Address: 12 BOAK ST
Nantucket MA 02554
Contact Phone #: 228-2722 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
Size of Structure or Addition: Length: 40' Sq. Footage 1st floor: 732 Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 23 Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 0-18" South 6-18" East 0-18" West 0-18"
Height of ridge above final finish grade: North 20' South 20' East 20' West 20'

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS*:**
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8-18" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 10/12 Secondary Mass 4/12 Dormer 4/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer Velux Rough Opening 24x36 Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Match existing Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear 15 L Side 9 L

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall natural Clapboard (if applicable) _____ Roof natural
Trim white Sash white Doors Front & 9 L = Hamilton Blue
Deck natural Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 7/22/2020

Signature of owner of record _____

Signed under penalties of perjury

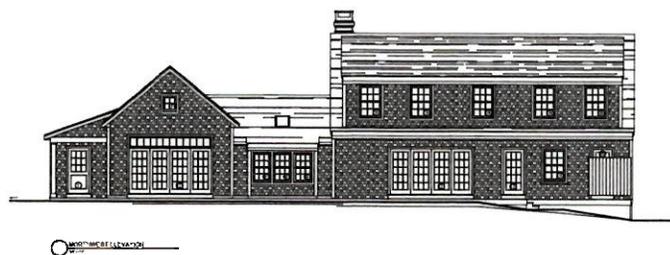
Proposed HDC Minutes for August 6, 2020

10. Allie Shieffelin 07-1372						23 Starbuck Road	Addition	60/107	Thornewill Design
Voting	Pohl, Coombs, Camp, Oliver, Welch								
Alternates	None								
Recused	None								
Documentation	Architectural elevation plans, site plan, and photos.								
Representing	Luke Thornewill, Thornewill Design								
Public	None								
Concerns (2:04)	<p>Thornewill – Presented project; front door moved to the side.</p> <p>Oliver – A lot of this is an improvement; the one-story elements help ground it.</p> <p>No concerns.</p>								
Motion	Motion to Approve as submitted. (Oliver)								
Roll-call Vote	Carried unanimously//Coombs, Camp, Welch, Oliver, and Pohl-aye						Certificate #	HDC2020-07-1372	
11. Cliff Ln 81, LLC 07-1392						81 Cliff Road	Addition	30/165	BPC
Voting	Pohl, Coombs, Camp, Oliver, Welch								
Alternates	None								
Recused	None								
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.								
Representing	Joe Paul, BPC								
Public	None								
Concerns (2:08)	<p>Paul – Presented project; no grade changes to the front and large trees will remain.</p> <p>Camp – You could add more windows in the front elevation dormer to expand its size.</p> <p>Oliver – Agrees with Ms. Camp about the dormer being a little bigger; the proportions on the small windows are too horizontal. Appreciates the other changes.</p> <p>Coombs – Agrees with Ms. Oliver and Ms. Camp about the front dormer. Gable front right, the triple-ganged windows should be larger.</p> <p>Welch – Nothing to add.</p> <p>Pohl – Nothing to add.</p>								
Motion	Motion to Hold for revisions. (Coombs)								
Roll-call Vote	Carried unanimously//Oliver, Welch, Coombs, Camp, and Pohl-aye						Certificate #		
12. Town of Nantucket 07-1384						10 Surfside Road	Parking Lot Change	55/137	SMRT Architects
Voting	Coombs (acting chair), Camp, Oliver, Welch								
Alternates	None								
Recused	None								
Documentation	Landscape design plans, site plan, and photos.								
Representing	John McMeeking, SMRT Architects								
Public	Diane O'Neil, Facilities manager Nantucket Public Schools								
Concerns (2:17)	<p>McMeeking – Presented project; materials remain the same; the elm tree will remain; there is thought of making the exit onto Sparks Avenue, right turn only.</p> <p>Backus – This has been vetted through the NP&EDC.</p> <p>O'Neil – This came about as a result of the 24 Surfside Road property transfer; the town wants to make a turn lane at the corner of Surfside and Sparks. The High School is completely out of space to eliminate this lot and create parking elsewhere.</p> <p>Oliver – Thinks the access on Sparks Avenue will be just as much a traffic issue as the current access due to the backup caused by Williams Street spilling into Sparks.</p> <p>Welch – Asked if the new concrete paving shown for the proposed parking and the current exit is to be sidewalk (yes). Agrees with Ms. Oliver's concerns with respect to creating a problem; at this point there is only one way in on a highly trafficked road, and he thinks we're just flip-flopping it. For him there is the idea of a bigger-picture solution. He's fine with this but not thrilled about the impact on traffic.</p> <p>Camp – Agrees with Mr. Welch and Ms. Oliver that this is trading problems. She would prefer they restore that corner and put parking elsewhere on the property; the sidewalks are terrible, and the traffic is congested.</p> <p>Coombs – Agrees with Ms. Camp about parking being moved; the proposed empties across from Williams Street. Would like it noted what vegetation is being removed.</p>								
Motion	Motion to Approve as submitted. (Oliver)								
Roll-call Vote	Carried 3-1//Camp-aye; Welch, Oliver, and Coombs-aye						Certificate #	HDC2020-07-1384	

EXISTING

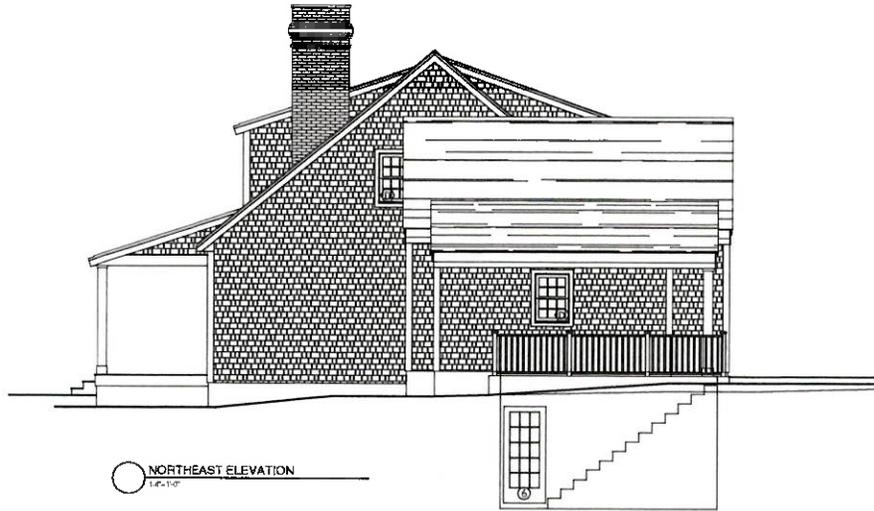
PREVIOUS

PROPOSED





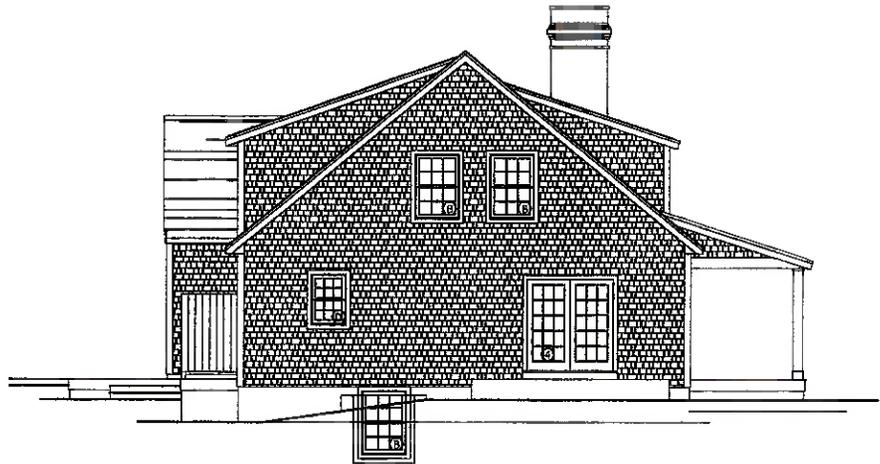
○ SOUTHEAST ELEVATION
1/2" = 1'-0"



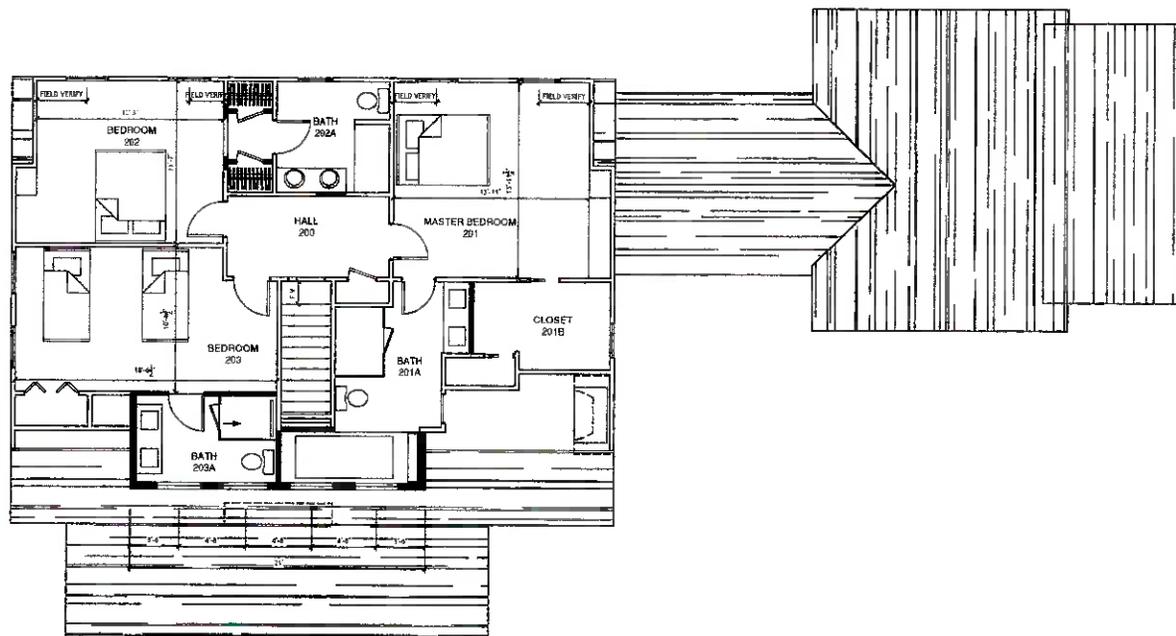
○ NORTHEAST ELEVATION
1/4" = 1'-0"



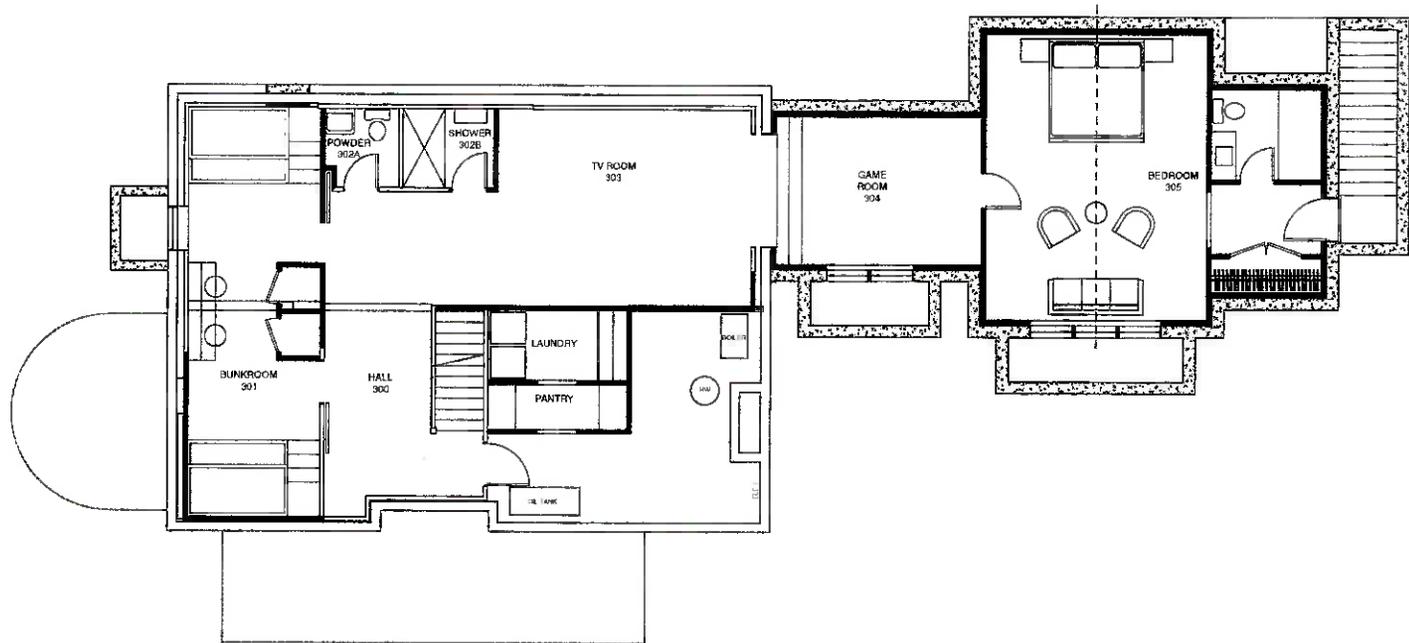
○ NORTHWEST ELEVATION
1/8" = 1'-0"



○ SOUTHWEST ELEVATION
1/8" = 1'-0"



○ SECOND FLOOR PLAN - PROPOSED
1/8" = 1'-0"



BASEMENT PLAN - PROPOSED
1/4"=1'-0"

OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

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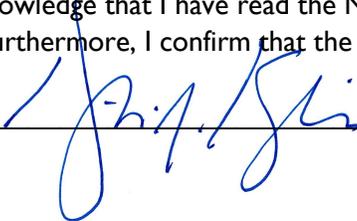
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	<u>Reduced (8 1/2 x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 1/2 x 11
	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

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Affidavit Certifying Completeness of Application

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Signature:  Date: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

AX MAP N°: 83 PARCEL N°: 39
Street & Number of Proposed Work: 289 Hummock Pond Rd.
Owner of record: Hummock Pond Holdings LLC
Mailing Address: 59 West Potomac Ave.
Greenwich, CT 06830
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Ericatus
Mailing Address: 8 Williams Ln.
Nantucket, MA 02554
Contact Phone #: 325-498 E-mail: _____

FOR OFFICE USE ONLY	
Date application received: <u>7/14/2020</u>	Fee Paid: \$ <u>310</u>
Must be acted on by: <u>9/12/2020</u>	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

New Dwelling Addition Garage Driveaway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No.
 Pool (Zoning District _____) Roof Other Move on from 289 Hummock Pond Road / Exterior Modifications / Addition
Size of Structure or Addition: Length: 52'-3" Sq. Footage 1st floor: 912 Decks/Patio: Size: 36'x20' 1st floor 2nd floor
Width: 26'-0" Sq. Footage 2nd floor: 637 Size: 34'x8' 1st floor 2nd floor
Sq. Footage 3rd floor: _____
Difference between existing grade and proposed finish grade: North N/A South N/A East N/A West N/A
Height of ridge above final finish grade: North (+/-) 26'-6" South (+/-) 24'-8" East (+/-) 25'-6" West (+/-) 25'-6"
Additional Remarks _____

REVISIONS*

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) Red Other _____
Roof Pitch: Main Mass 9/12 Secondary Mass 9/12 Dormer 4/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Siding: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 6" Corner boards 4 1/2" Frieze 4"
Window Casing 3 1/2" Door Frame 3 1/2" Columns/Posts: Round _____ Square 11"
Windows*: Double Hung Casement All Wood Other Fixed
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type Carriage w/lot Material Wood-Natural
Landscape materials: Driveways Gravel-THE Walkways _____ Walls _____
Note: Complete door and window schedules are required.

COLORS

Siding White Cedar Shakes - THE Clapboard (if applicable) _____ Roof Asphalt Shingles - THE
Trim Wood-Natural - THE Sash Wood-Natural - THE Doors Painted-Grey & Wood-Natural - THE
Deck Wood-Natural - THE Foundation Concrete - THE Fence _____ Shutters _____

Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of my revisions to this application will initiate a new sixty-day review period.

6. 289 Hummock Pond, LLC 07-1424 289 Hummock Pond Rd Move off to 287 HPR 83/4 Emeritus
- Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Matt MacEachern, Emeritus Development
 Public None
 Concerns (1:34) **MacEachern** – Presented project; move due to erosion.
 No concerns.
- Motion **Motion to Approve the move off. (Camp)**
 Roll-call Vote Carried unanimously//Coombs, Oliver, Welch, Camp, and Pohl-aye Certificate # **HDC2020-07-1424**
7. Hummock Pond Holdings 07-1425 287 Hummock Pond Rd Move/demo dwelling 83/39 Emeritus
- Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and historic documentation.
 Representing Matt MacEachern, Emeritus Development
 Public None
 Concerns (1:46) **MacEachern** – Presented project; this is in the way of the move on; circa 1950; someone has expressed interest in taking it.
Backus – National Historic Landmarks (NHL) document indicates circa 1950.
 No concerns.
- Motion **Motion to Approve as a move off/demo. (Oliver)**
 Roll-call Vote Carried unanimously//Coombs, Camp, Welch, Oliver, and Pohl-aye Certificate # **HDC2020-07-1425**
8. Hummock Pond Holdings 07-1427 287 Hummock Pond Rd Move on to 289 HPR+addtn 83/39 Emeritus
- Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Matt MacEachern, Emeritus Development
 Public None
 Concerns (1:50) **MacEachern** – Presented project; no significant grade changes.
Pohl – This structure is 100% visible from Sanford Farm; the north elevation glass panels will reflect the sun.
Oliver – There are so many ganged windows. The way the addition is knit to the original is curious; the indent should go away, and the addition be a lower secondary mass. The north elevation reads better than the south. South elevation, the gable over the front door would read better as a shed roof.
Coombs – South elevation, the fenestration is chaotic and too much; the front door side windows should not go to the ground but have a lower panel. Something needs to come down to create additive massing. This doesn't look like a typical house on the water.
Welch – North elevation, he's concerned about the perceptible difference in the dormer fenestration. South elevation, agrees a shed roof over the door might tone down the focal point; the different proportions of the left to right mass is also a concern.
Camp – Agrees about the massing and fenestration. The connector should either be wider or be eliminated; it looks pinched.
- Motion **Motion to Hold for revisions. (Oliver)**
 Roll-call Vote Carried unanimously//Welch, Camp, Coombs, Oliver, and Pohl-aye Certificate #
9. Hummock Pond Holdings 07-1426 287 Hummock Pond Rd Re-site garage+altts 83/39 Emeritus
- Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Matt MacEachern, Emeritus Development
 Public None
 Concerns (2:03) **MacEachern** – Suggested this hold and track with the house.
 Not opened at this time.
- Motion **Motion to Hold to track with the main house. (Welch)**
 Roll-call Vote Carried unanimously//Camp, Coombs, Oliver, Welch, and Pohl-aye Certificate #

Hummock Pond Holdings LLC

287 Hummock Pond Road
Nantucket, MA 02554



1927

Hummock Pond Holdings LLC
287 Hummock Pond Road
Nantucket, MA 02554



Cover Sheet

Site Information

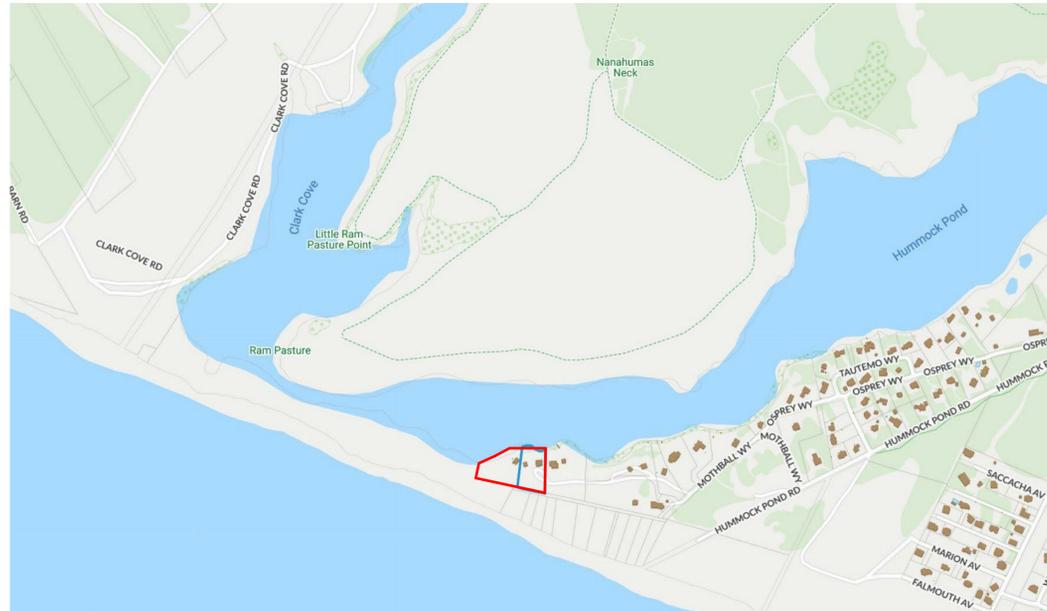
Map & Parcel:	83 / 39
Current Zoning:	VR
Minimum Frontage:	100 FT
Front Setback:	20 FT
Side/Rear Setback:	10 FT
Lot Size:	61,420 SF
Min. Lot Size:	20,000 SF
Allowable G.C.:	10% / 6,142 SF
Existing G.C.:	1,524 SF
Proposed G.C.:	912 SF
Total Proposed G.C.:	2,436 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

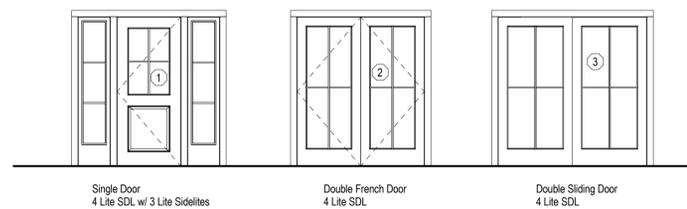
G.1.0	Cover Sheet
G.1.1	Floor Plan With Site
A.1.1	Floor Plans
A.1.2	Floor Plans
A.2.1	Exterior Elevations
A.2.2	Exterior Elevations

08.20.20



Locus Map

HDC Submission



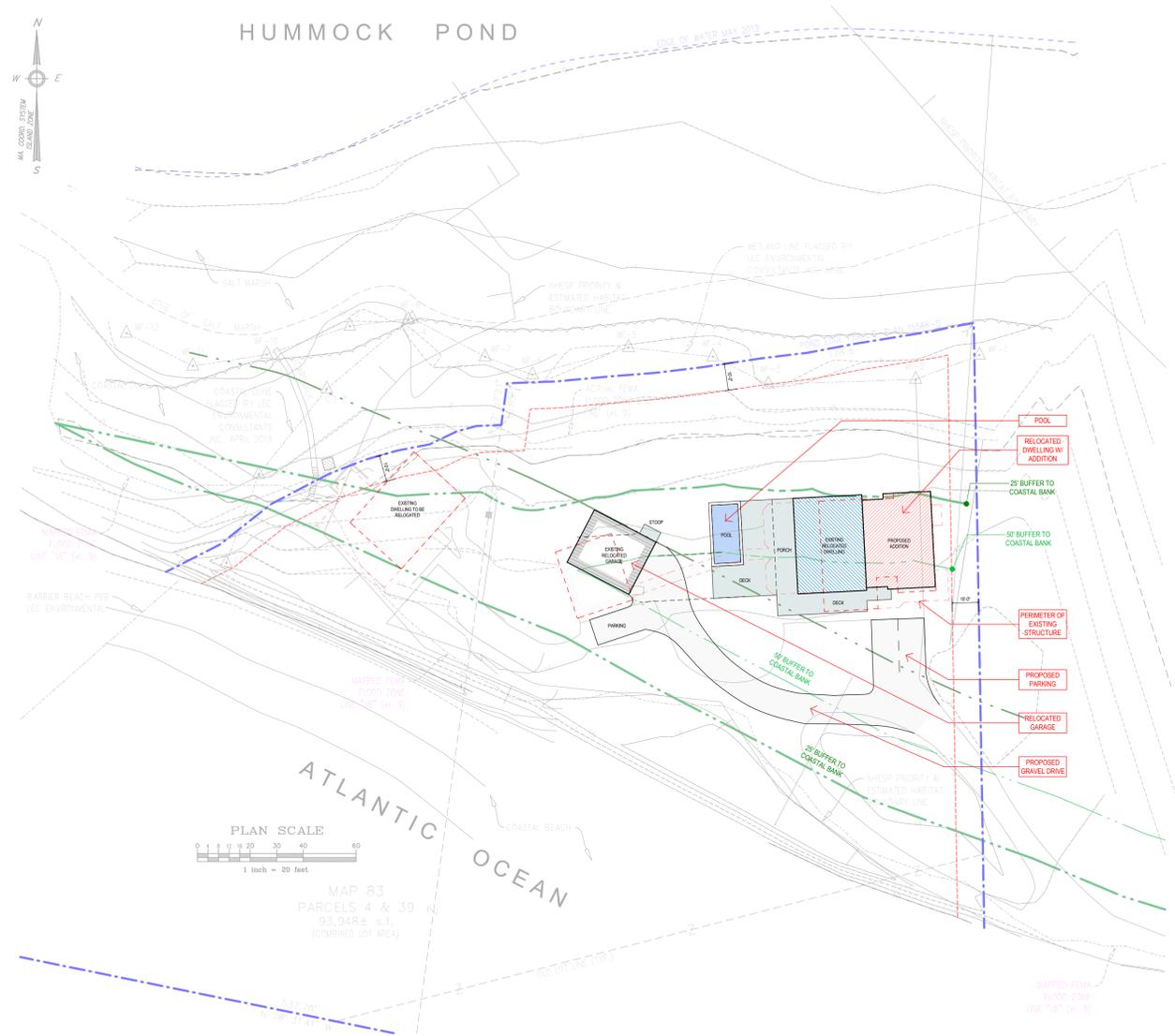
Door Legend

1/4" = 1'-0"



Window Legend

1/4" = 1'-0"



Site Plan

1" = 30'-0"

Revisions

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G.1.0
1927

1927

Hummock Pond Holdings LLC
287 Hummock Pond Road
Nantucket, MA 02554



Floor Plan With Site

Site Information

Map & Parcel:	83 / 39
Current Zoning:	VR
Minimum Frontage:	100 FT
Front Setback:	20 FT
Side/Rear Setback:	10 FT
Lot Size:	61,420 SF
Min. Lot Size:	20,000 SF
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SHEET INDEX

- G.1.0 Cover Sheet
- G.1.1 Floor Plan With Site
- A.1.2 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

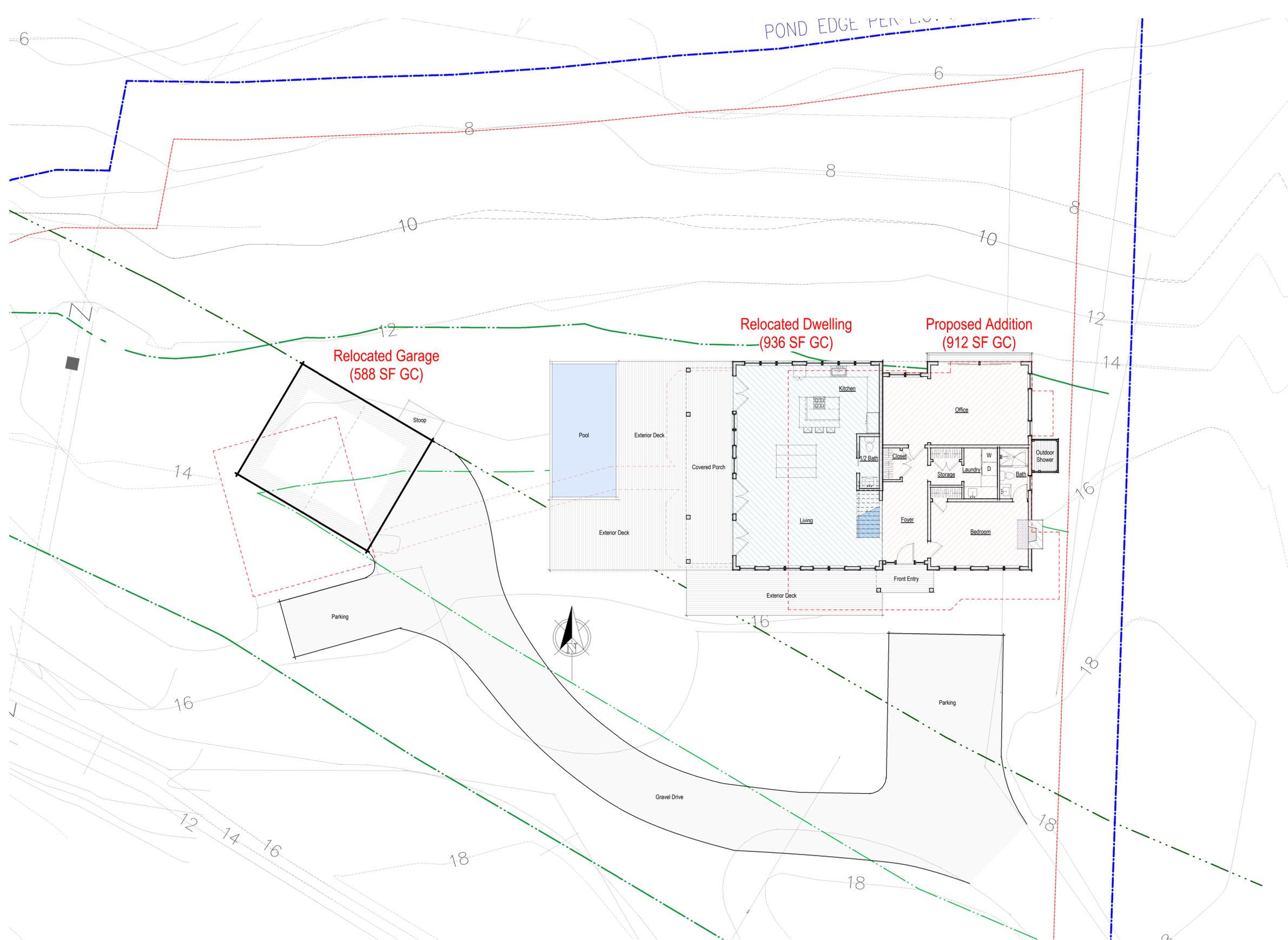
Revisions

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G.1.1
1927

08.20.20

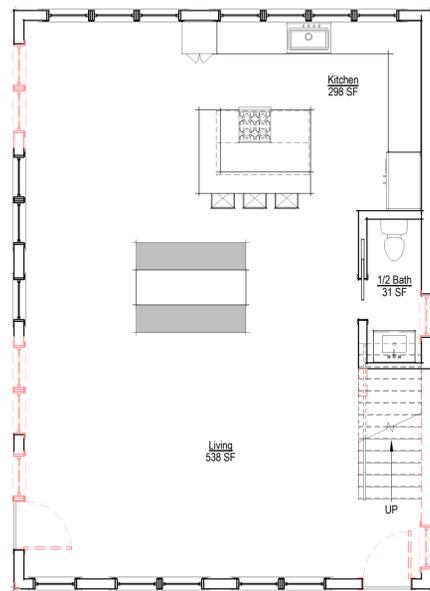
HDC Submission



Floor Plan With Site
1/8" = 1'-0"

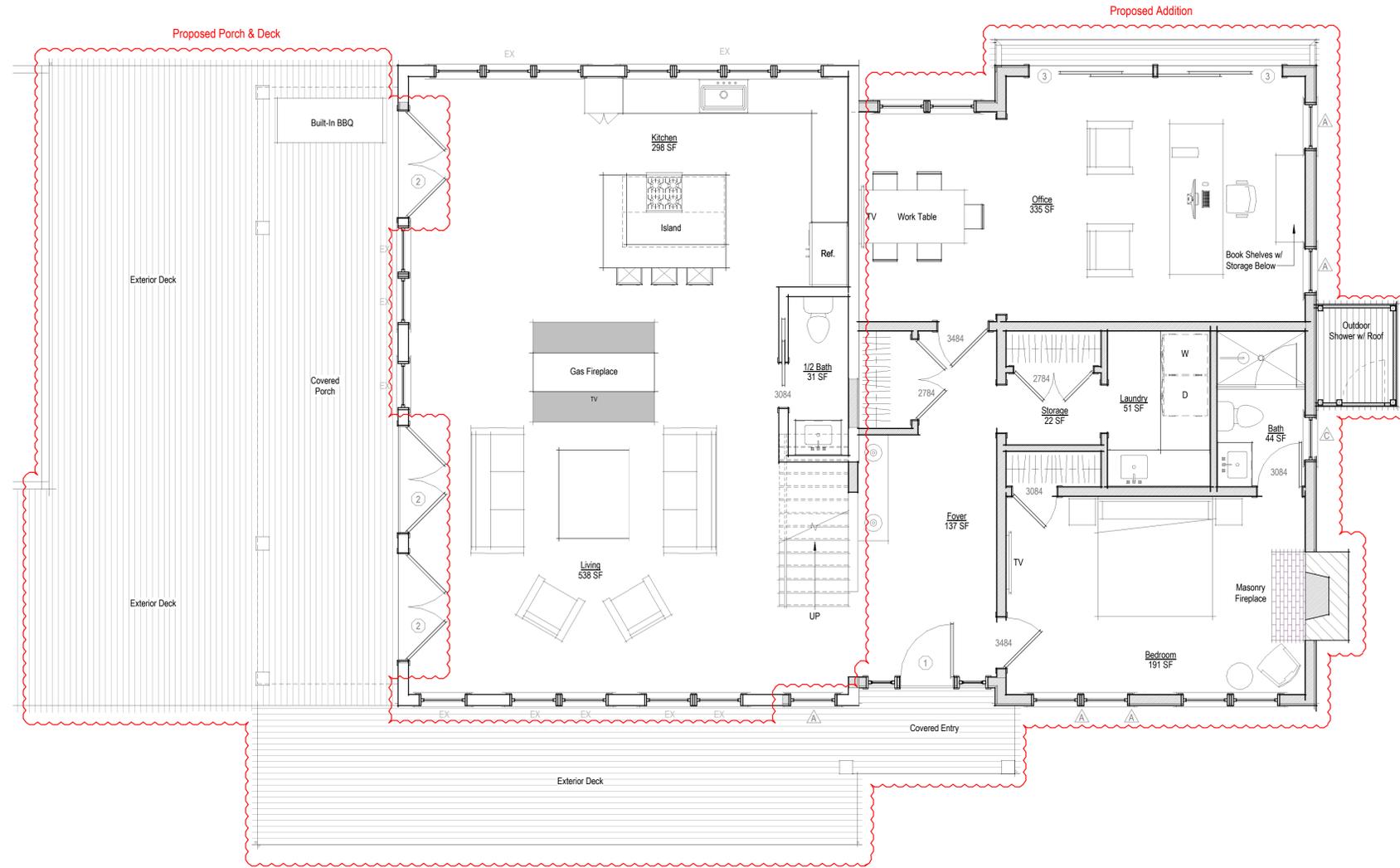
08.20.20

HDC Submission



First Floor Plan - Demolition

3/16" = 1'-0"



First Floor Plan - Proposed

1/4" = 1'-0"

1927

Hummock Pond Holdings LLC
287 Hummock Pond Road
Nantucket, MA 02554



Floor Plans

Site Information

Map & Parcel:	83 / 39
Current Zoning:	VR
Minimum Frontage:	100 FT
Front Setback:	20 FT
Side/Rear Setback:	10 FT
Lot Size:	61,420 SF
Min. Lot Size:	20,000 SF
Allowable G.C.:	10% / 6,142 SF
Existing G.C.:	1,524 SF
Proposed G.C.:	912 SF
Total Proposed G.C.:	2,436 SF

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SHEET INDEX

- G.1.0 Cover Sheet
- G.1.1 Floor Plan With Site
- A.1.1 Floor Plans
- A.1.2 Exterior Elevations
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

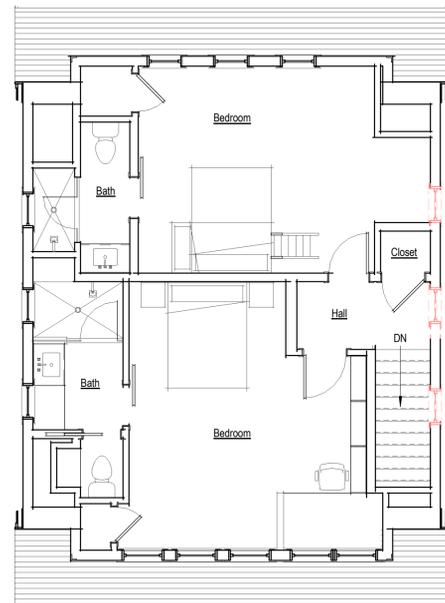
Revisions

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A.1.1
1927

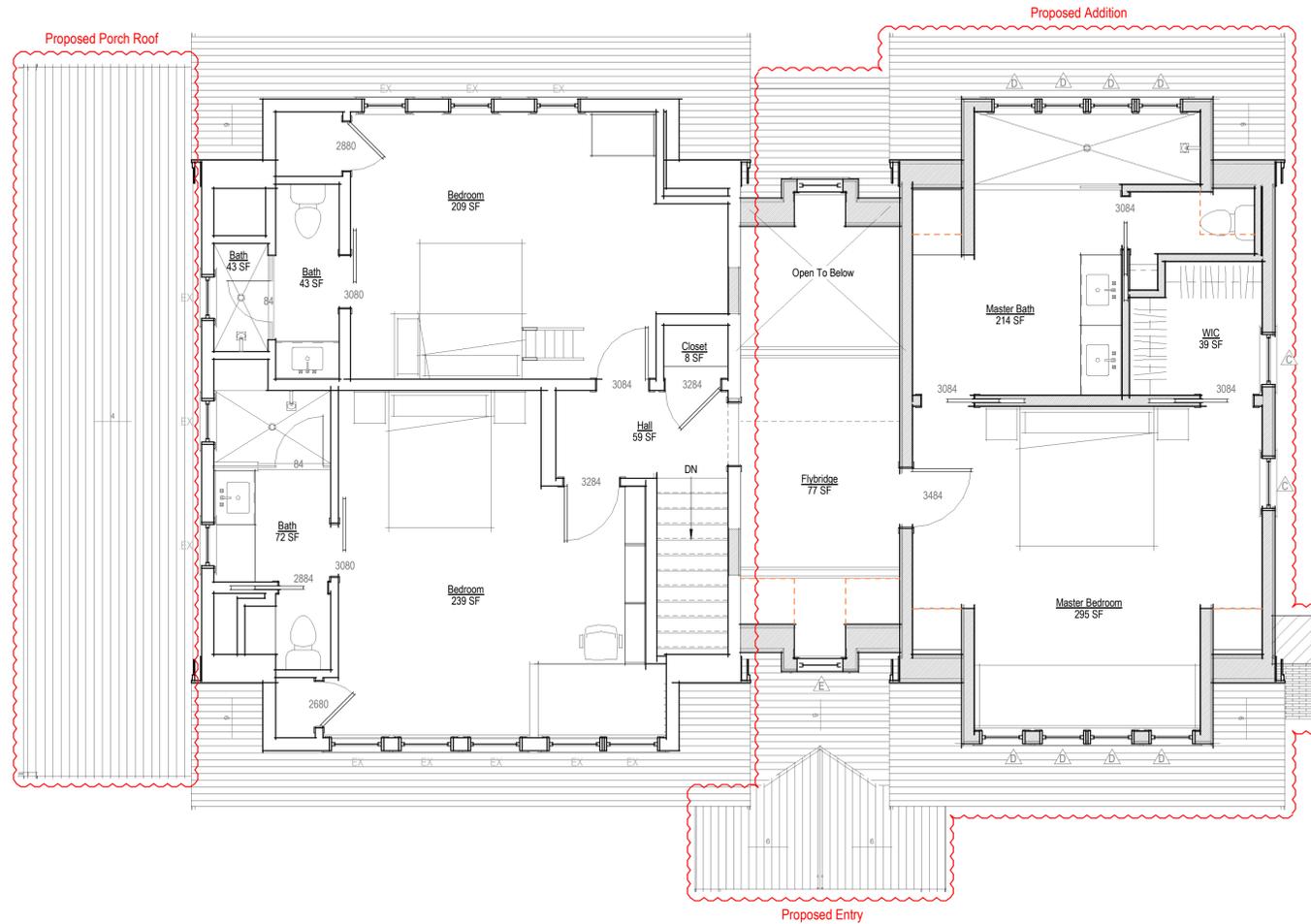
08.20.20

HDC Submission



Second Floor Plan - Demolition

3/16" = 1'-0"



Second Floor Plan - Proposed

1/4" = 1'-0"

1927

Hummock Pond Holdings LLC
287 Hummock Pond Road
Nantucket, MA 02554



Floor Plans

Site Information

Map & Parcel:	83 / 39
Current Zoning:	VR
Minimum Frontage:	100 FT
Front Setback:	20 FT
Side/Rear Setback:	10 FT
Lot Size:	61,420 SF
Min. Lot Size:	20,000 SF
Allowable G.C.:	10% / 6,142 SF
Existing G.C.:	1,524 SF
Proposed G.C.:	912 SF
Total Proposed G.C.:	2,436 SF

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SHEET INDEX

- G.1.0 Cover Sheet
- G.1.1 Floor Plan With Site
- A.1.1 Floor Plans
- A.1.2 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

Revisions

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A.1.2
1927

08.20.20



Previous North Elevation
1/8" = 1'-0"



North Elevation - Proposed
1/4" = 1'-0"

HDC Submission



Previous South Elevation
1/8" = 1'-0"



South Elevation - Proposed
1/4" = 1'-0"

1927

Hummock Pond
Holdings LLC
287 Hummock Pond Road
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	83 / 39
Current Zoning:	VR
Minimum Frontage:	100 FT
Front Setback:	20 FT
Side/Rear Setback:	10 FT
Lot Size:	61,420 SF
Min. Lot Size:	20,000 SF
Allowable G.C.:	10% / 6,142 SF
Existing G.C.:	1,524 SF
Proposed G.C.:	912 SF
Total Proposed G.C.:	2,436 SF

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SHEET INDEX

- G.1.0 Cover Sheet
- G.1.1 Floor Plan With Site
- A.1.1 Floor Plans
- A.1.2 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

Revisions

Revision 1	Date 1
------------	--------

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A.2.1
1927

08.20.20

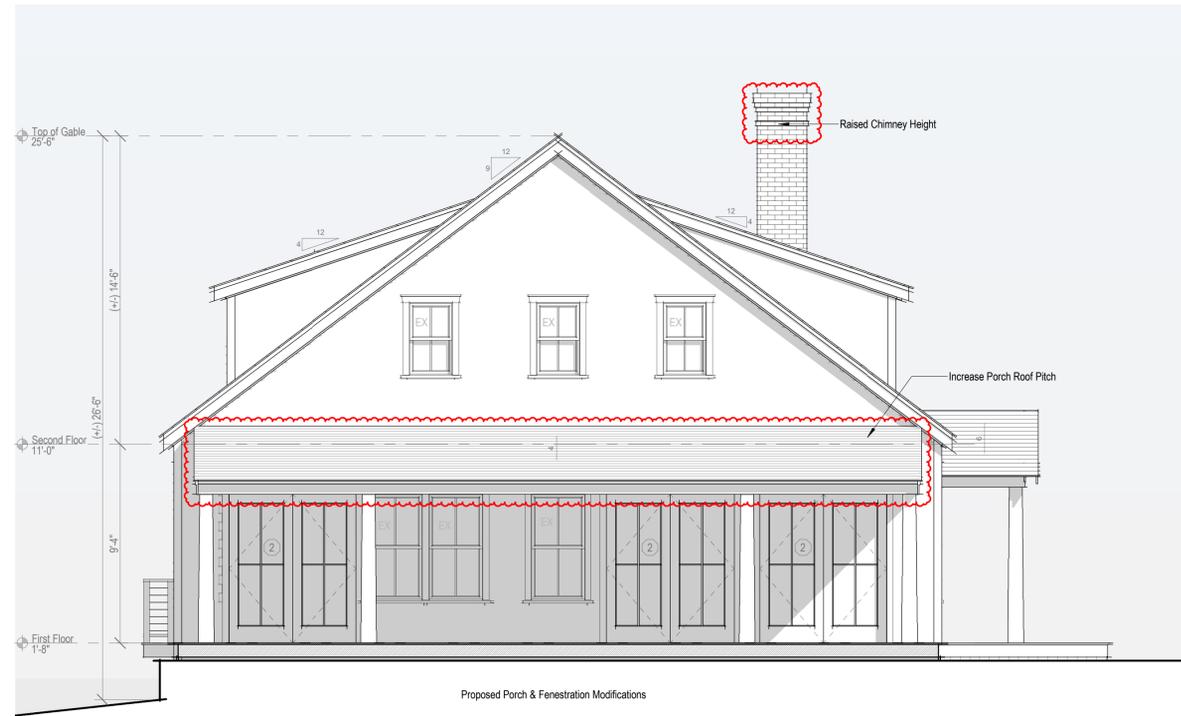
HDC Submission



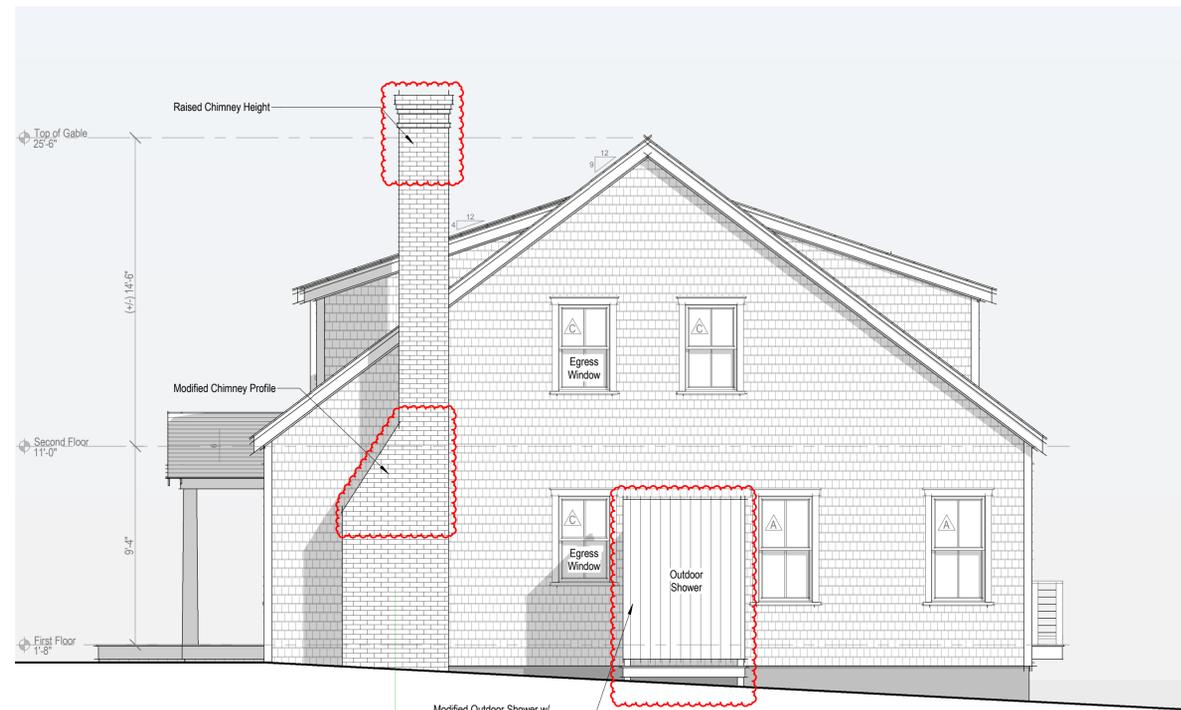
Previous West Elevation
1/8" = 1'-0"



Previous East Elevation
1/8" = 1'-0"



West Elevation - Proposed
1/4" = 1'-0"



East Elevation - Proposed
1/4" = 1'-0"

1927

Hummock Pond Holdings LLC
287 Hummock Pond Road
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	83 / 39
Current Zoning:	VR
Minimum Frontage:	100 FT
Front Setback:	20 FT
Side/Rear Setback:	10 FT
Lot Size:	61,420 SF
Min. Lot Size:	20,000 SF
Allowable G.C.:	10% / 6,142 SF
Existing G.C.:	1,524 SF
Proposed G.C.:	912 SF
Total Proposed G.C.:	2,436 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

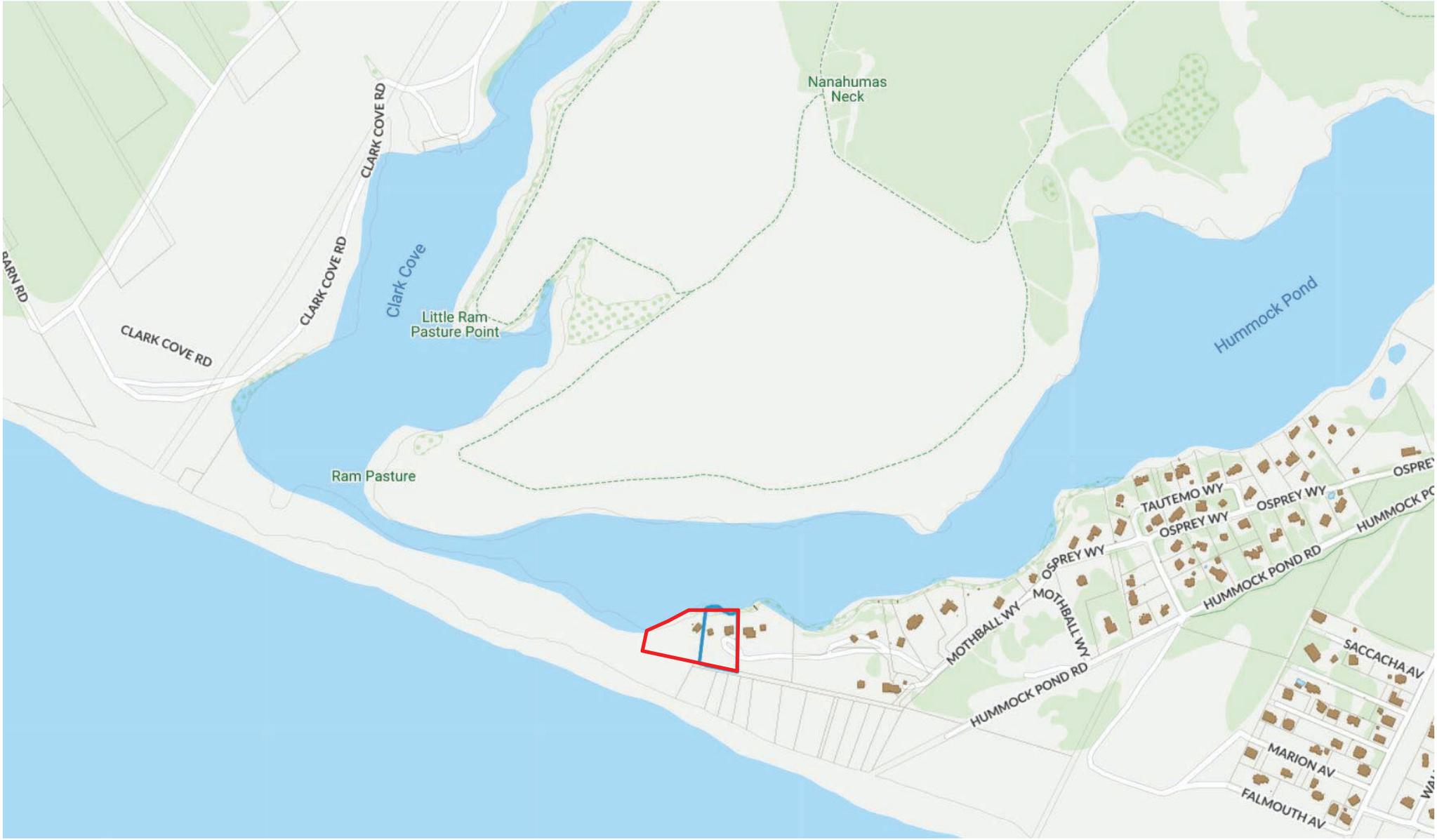
- G.1.0 Cover Sheet
- G.1.1 Floor Plan With Site
- A.1.1 Floor Plans
- A.1.2 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

Revisions

Revision 1	Date 1
------------	--------

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A.2.2
1927

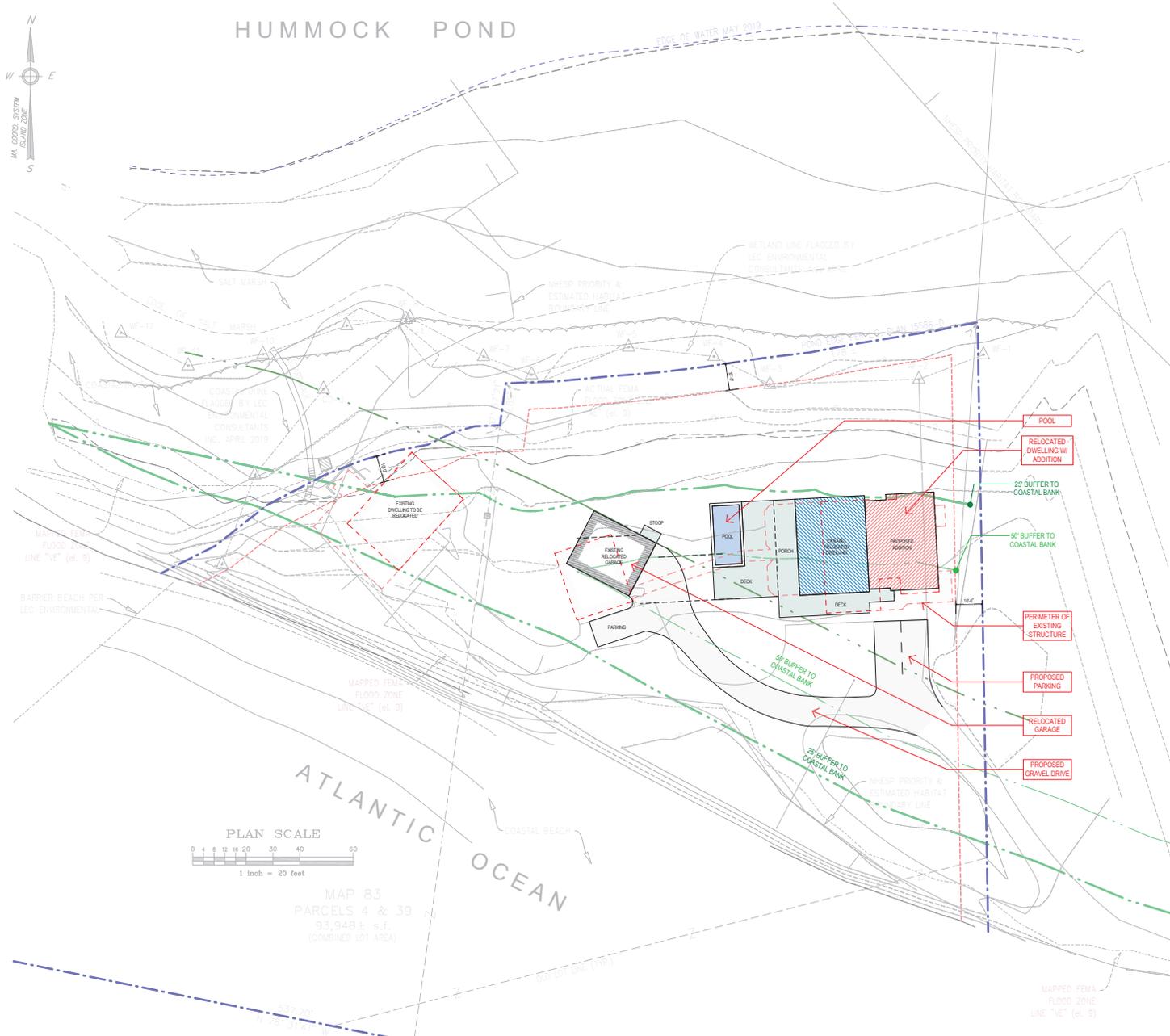


Locus Map



HUMMOCK POND

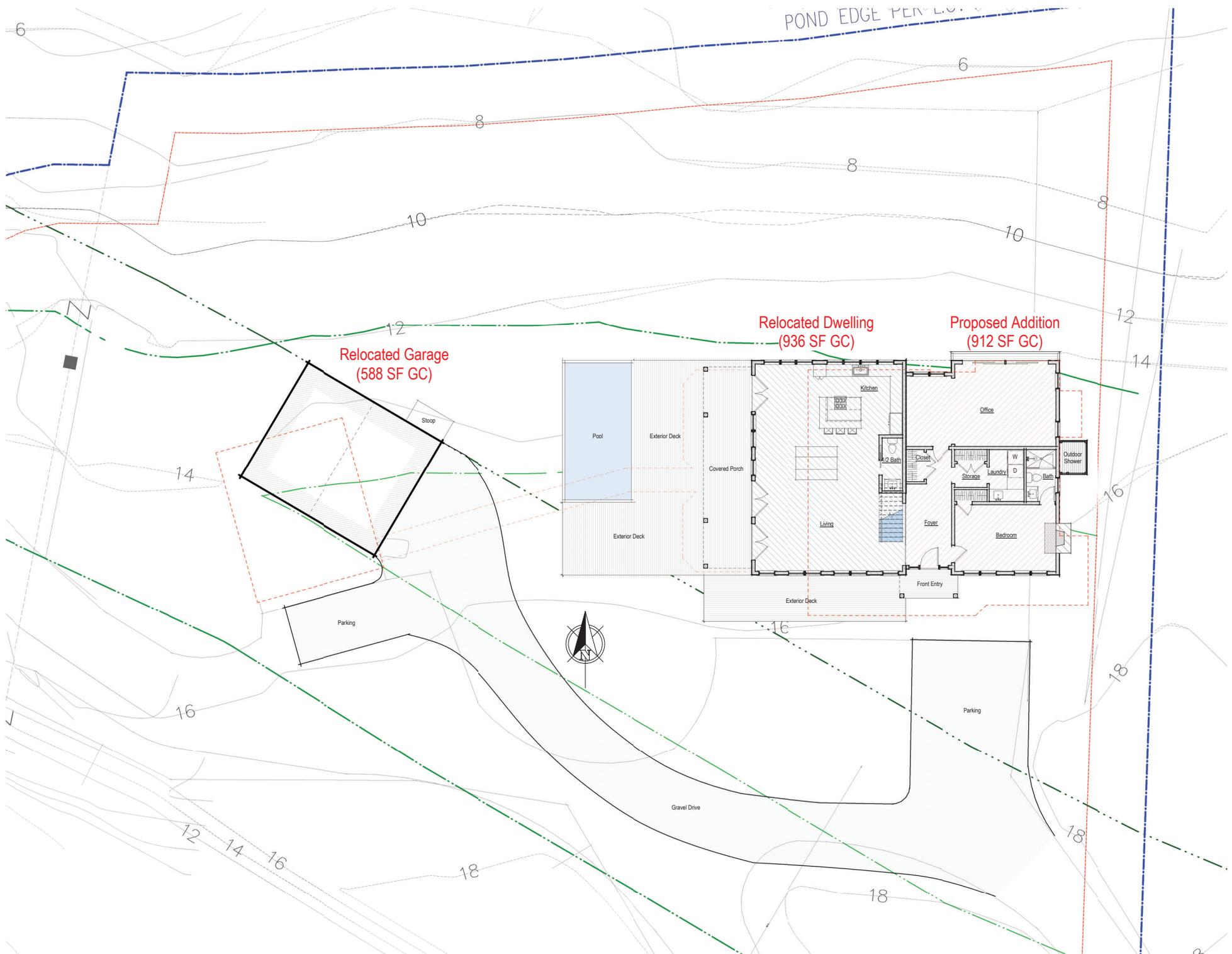
EDGE OF WATER MAY 2010

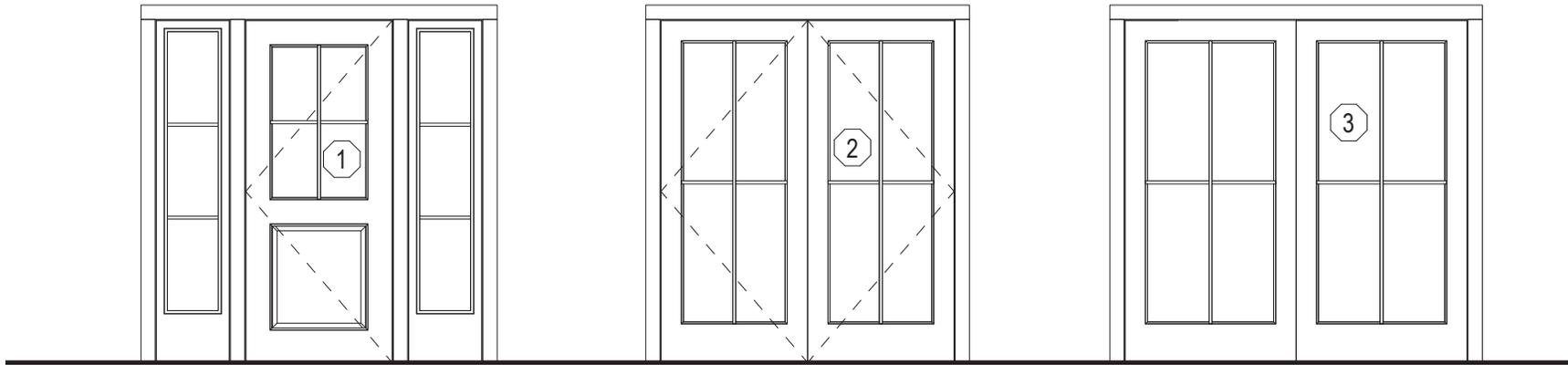


MAP 83
PARCELS 4 & 39
93,948 ± s.f.
(COMBINED LOT AREA)

Site Plan

1" = 30'-0"





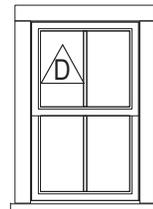
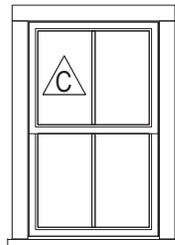
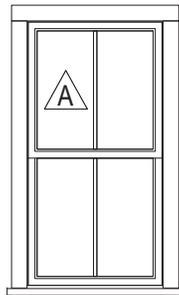
Single Door
4 Lite SDL w/ 3 Lite Sidelites

Double French Door
4 Lite SDL

Double Sliding Door
4 Lite SDL

Door Legend

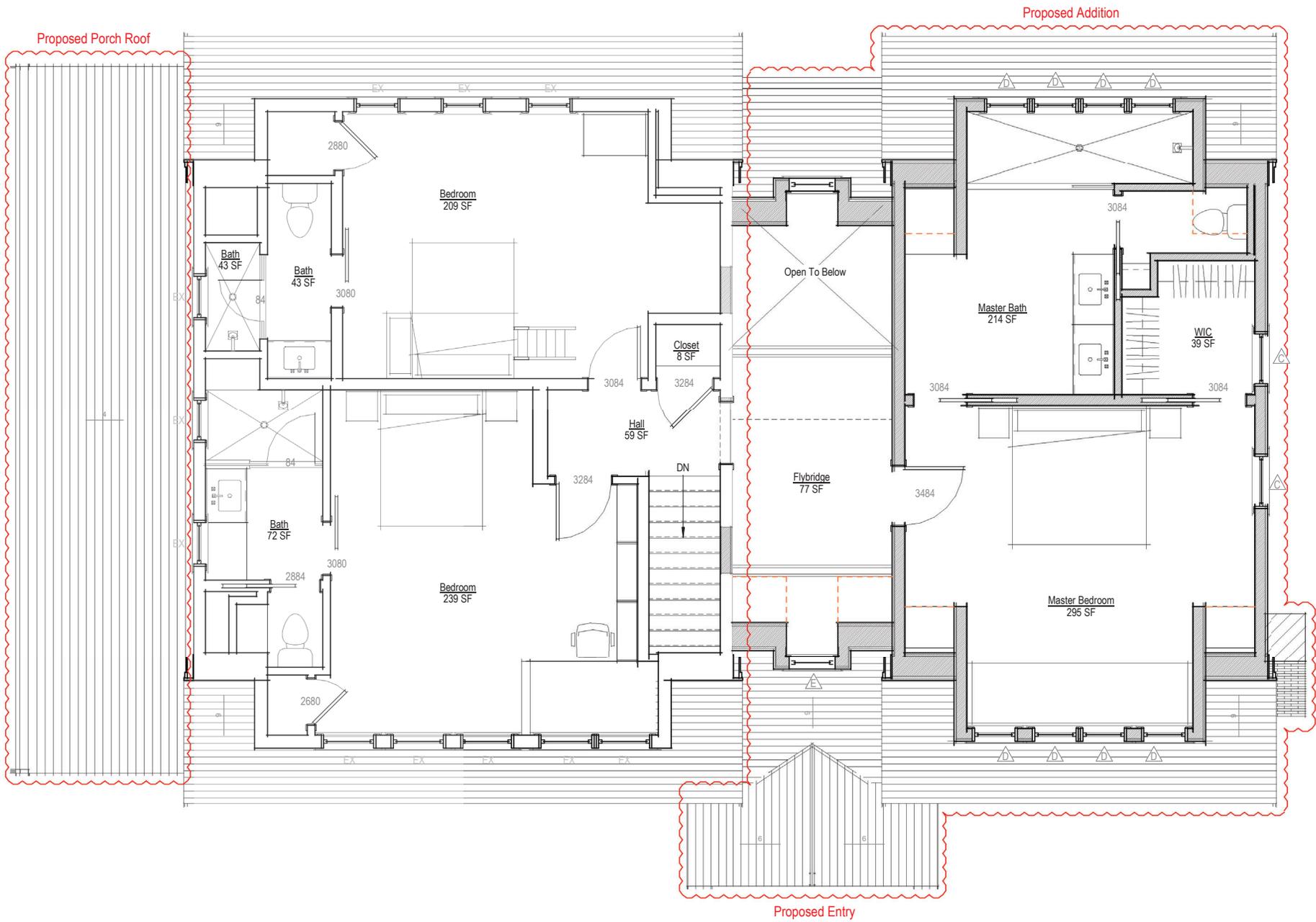
1/4" = 1'-0"



Double Hung
2/2 SDL

Double Hung
2/2 SDL

Double Hung
2/2 SDL



Second Floor Plan - Proposed

1/4" = 1'-0"



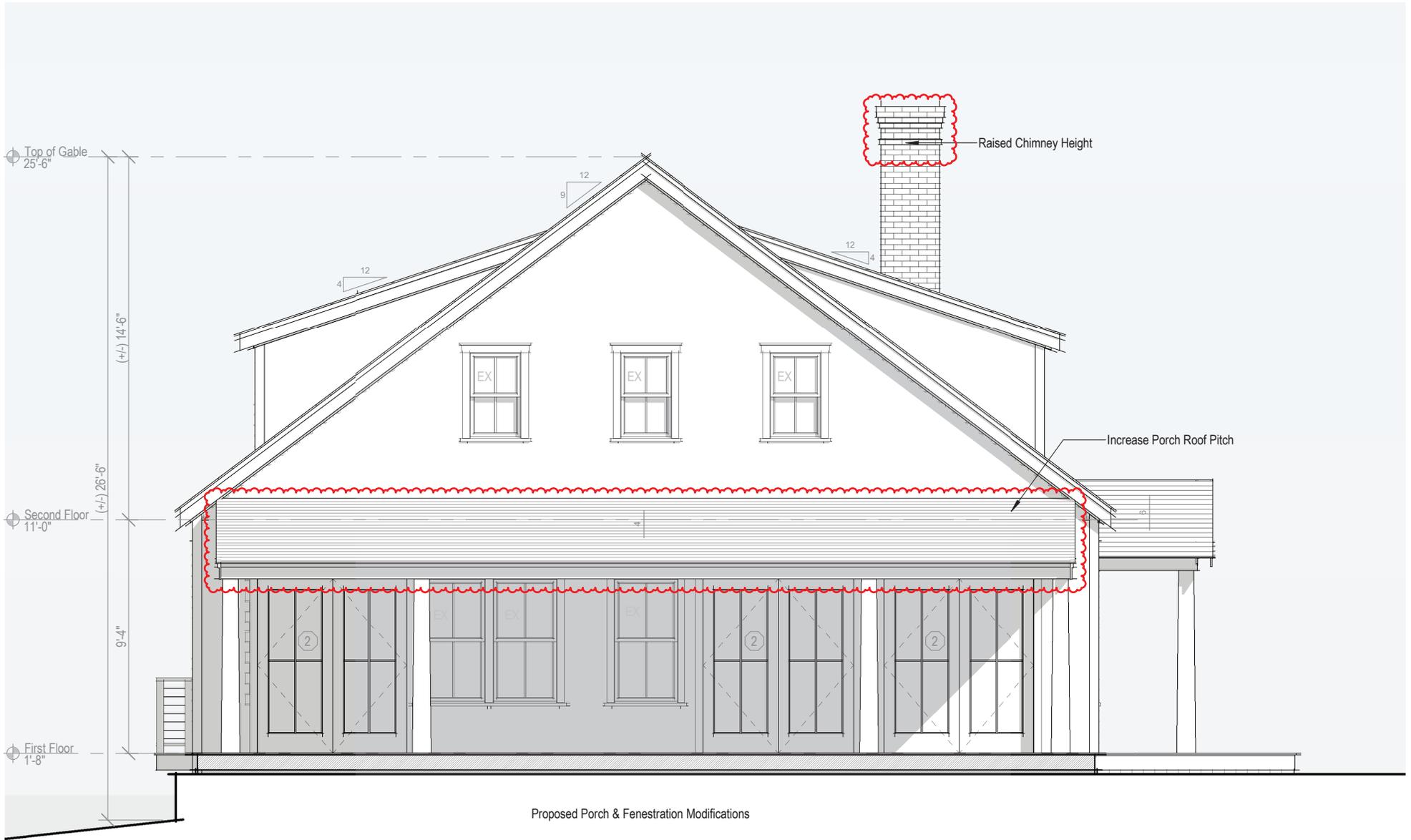
South Elevation - Proposed

1/4" = 1'-0"



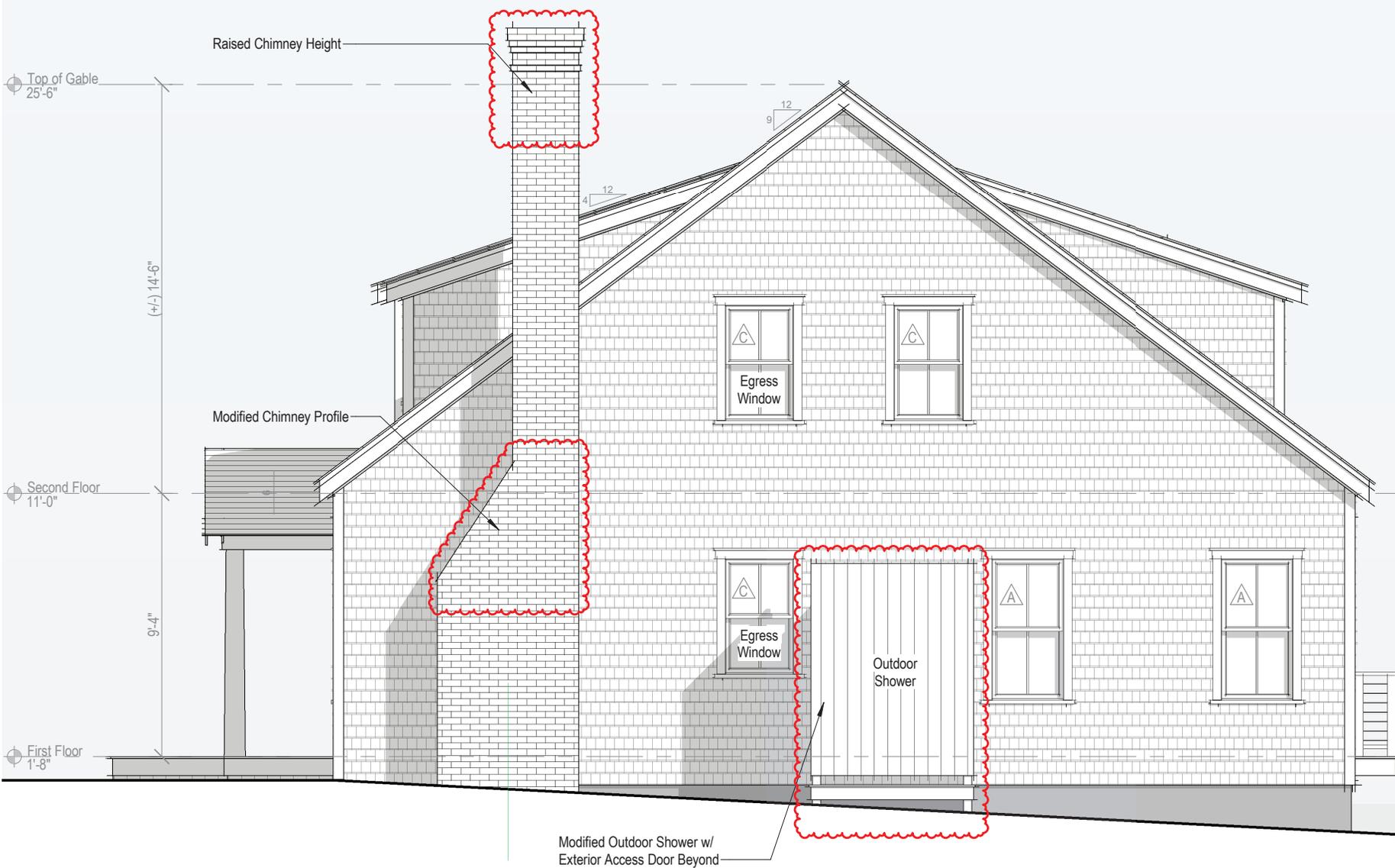
North Elevation - Proposed

1/4" = 1'-0"



West Elevation - Proposed

1/4" = 1'-0"



East Elevation - Proposed

1/4" = 1'-0"

Track

Proposed HDC Minutes for August 6, 2020

6. 289 Hummock Pond, LLC 07-1424	289 Hummock Pond Rd	Move off to 287 HPR	83/4	Emeritus
Voting	Pohl, Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (1:34)	MacEachern – Presented project; move due to erosion. No concerns.			
Motion	Motion to Approve the move off. (Camp)			
Roll-call Vote	Carried unanimously//Coombs, Oliver, Welch, Camp, and Pohl-aye		Certificate #	HDC2020-07-1424
7. Hummock Pond Holdings 07-1425	287 Hummock Pond Rd	Move/demo dwelling	83/39	Emeritus
Voting	Pohl, Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, and historic documentation.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (1:46)	MacEachern – Presented project; this is in the way of the move on; circa 1950; someone has expressed interest in taking it. Backus – National Historic Landmarks (NHL) document indicates circa 1950. No concerns.			
Motion	Motion to Approve as a move off/demo. (Oliver)			
Roll-call Vote	Carried unanimously//Coombs, Camp, Welch, Oliver, and Pohl-aye		Certificate #	HDC2020-07-1425
8. Hummock Pond Holdings 07-1427	287 Hummock Pond Rd	Move on to 289 HPR+addtn	83/39	Emeritus
Voting	Pohl, Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (1:50)	MacEachern – Presented project; no significant grade changes. Pohl – This structure is 100% visible from Sanford Farm; the north elevation glass panels will reflect the sun. Oliver – There are so many ganged windows. The way the addition is knit to the original is curious; the indent should go away, and the addition be a lower secondary mass. The north elevation reads better than the south. South elevation, the gable over the front door would read better as a shed roof. Coombs – South elevation, the fenestration is chaotic and too much; the front door side windows should not go to the ground but have a lower panel. Something needs to come down to create additive massing. This doesn't look like a typical house on the water. Welch – North elevation, he's concerned about the perceptible difference in the dormer fenestration. South elevation, agrees a shed roof over the door might tone down the focal point; the different proportions of the left to right mass is also a concern. Camp – Agrees about the massing and fenestration. The connector should either be wider or be eliminated; it looks pinched.			
Motion	Motion to Hold for revisions. (Oliver)			
Roll-call Vote	Carried unanimously//Welch, Camp, Coombs, Oliver, and Pohl-aye		Certificate #	
9. Hummock Pond Holdings 07-1426	287 Hummock Pond Rd	Re-site garage+alts	83/39	Emeritus
Voting	Pohl, Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (2:03)	MacEachern – Suggested this hold and track with the house. Not opened at this time.			
Motion	Motion to Hold to track with the main house. (Welch)			
Roll-call Vote	Carried unanimously//Camp, Coombs, Oliver, Welch, and Pohl-aye		Certificate #	

Hummock Pond Holdings 9/12/20

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 83 PARCEL N°: 39
 Street & Number of Proposed Work: 287 Hummock Pond Rd
 Owner of record: Hummock Pond Holdings LLC
 Mailing Address: 591 West Putnam Ave
Greenwich, CT 06830
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Emeritus
 Mailing Address: 8 Williams Ln
Nantucket, MA 02584
 Contact Phone #: 508-325-4995 E-mail: matt@emeritusdevelopment.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other Move on same lot/ Exterior modifications
 Size of Structure or Addition: Length: 26'1" Sq. Footage 1st floor: 588 Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 22'0" Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North No Change South No change East No Change West No Change

Additional Remarks

Historic Name: _____
 Original Date: _____ (describe)
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall White Cedar Shingles - TME Clapboard (if applicable) _____ Roof Asphalt Shingles - TME
 Trim Wood - Natural - TME Sash Wood - Natural - TME Doors Painted - Grey + Wood Natural TME
 Deck _____ Foundation Concrete - TME Fence _____ Shutters _____

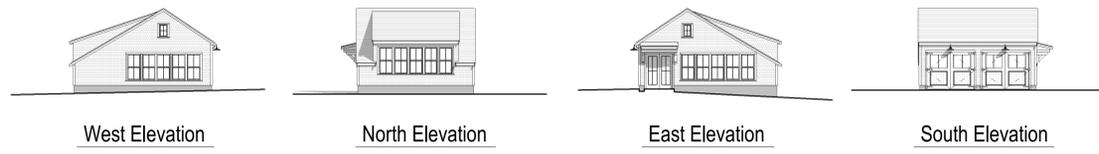
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 7.14.20 Signature of owner of record _____ Signed under penalties of perjury

Hummock Pond Holdings LLC Garage

287 Hummock Pond Road
Nantucket, MA 02554



1927
Hummock Pond Holdings LLC Garage
287 Hummock Pond Road
Nantucket, MA 02554



Cover Sheet

Site Information

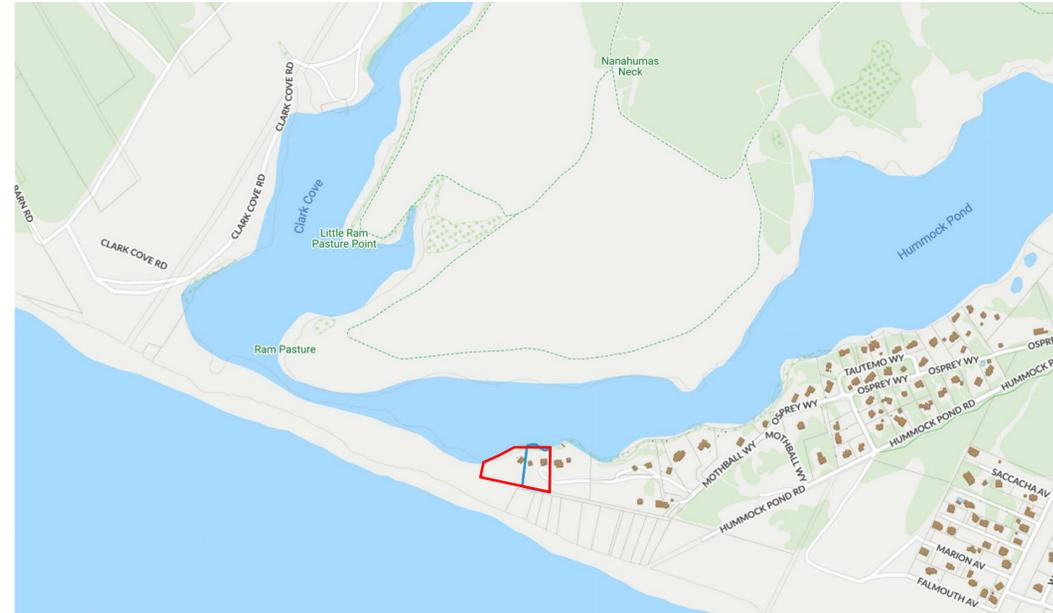
Map & Parcel:	83 / 39
Current Zoning:	VR
Minimum Frontage:	100 FT
Front Setback:	20 FT
Side/Rear Setback:	10 FT
Lot Size:	61,420 SF
Min. Lot Size:	20,000 SF
Allowable G.C.:	10% / SF
Existing G.C.:	588 SF
Proposed G.C.:	0 SF
Total Proposed G.C.:	588 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

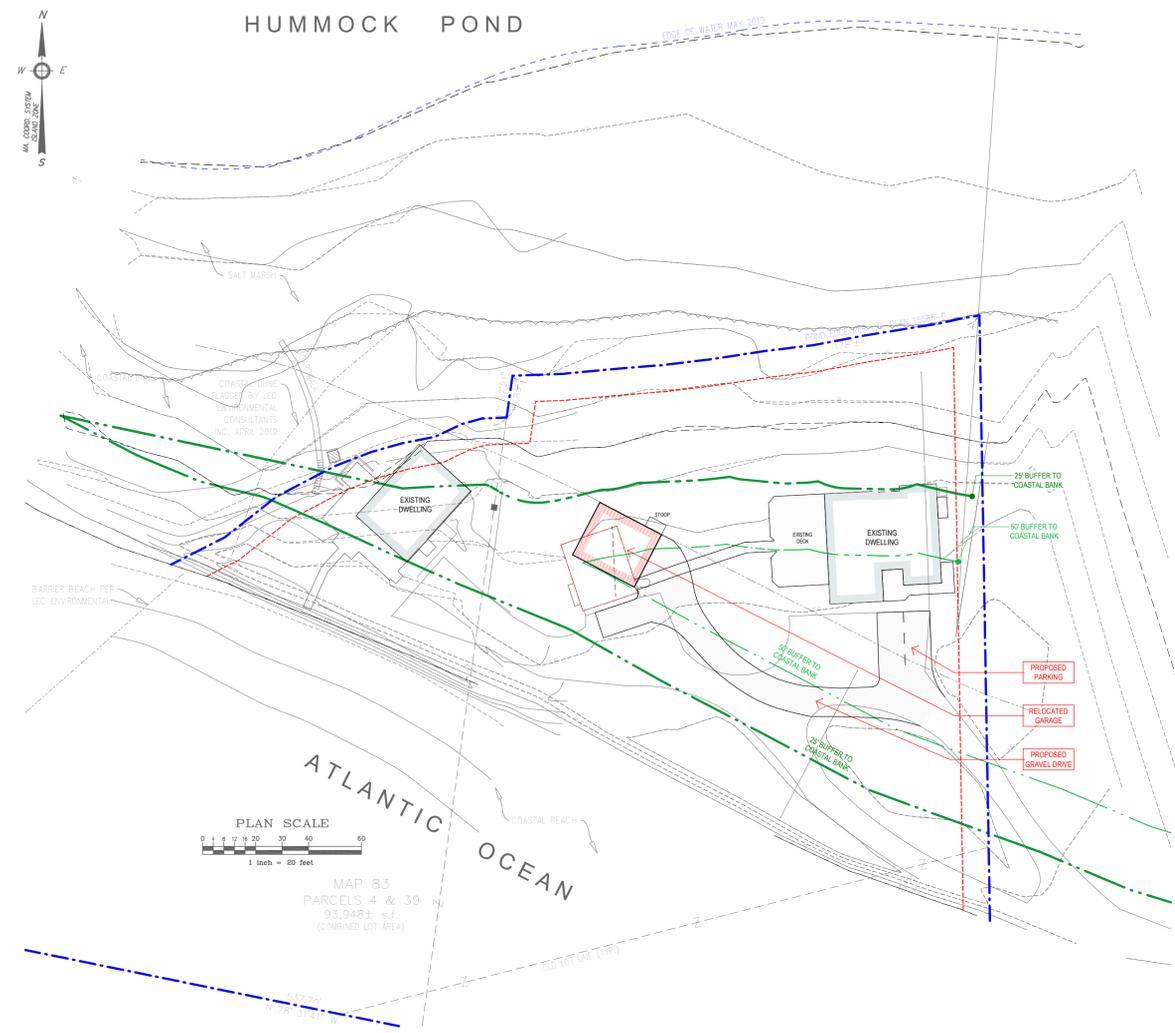
SHEET INDEX

- G.1.0 Cover Sheet
- A.1.1 Floor & Roof Plans
- A.1.2 Elevations

07.14.20

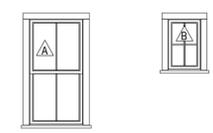


Locus Map



Site Plan
1/32" = 1'-0"

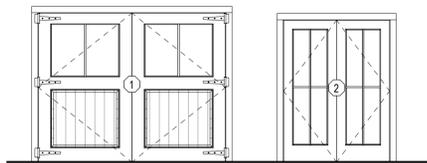
HDC Submission



Double Hung
2/2 SDL

Fixed
4 Lite SDL

Window Legend
1/4" = 1'-0"



Garage Carriage Doors
Solid "V" Groove w/ 2 Lite SDL

Double French Door
(2) 4 Lite SDL

Door Legend
1/4" = 1'-0"

Revisions

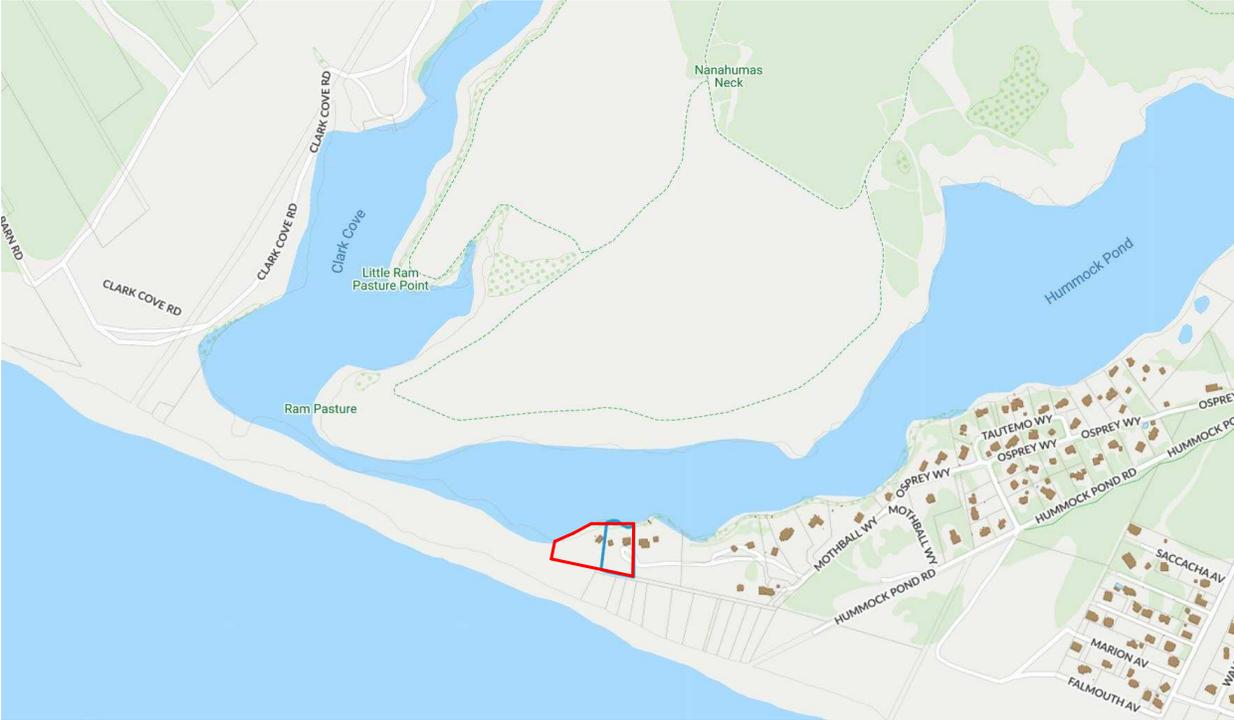
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G.1.0
1927

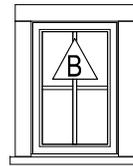
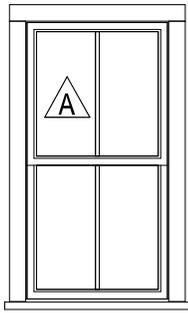
Hummock Pond Holdings LLC Garage

287 Hummock Pond Road
Nantucket, MA 02554



Locus Map

07.14.20

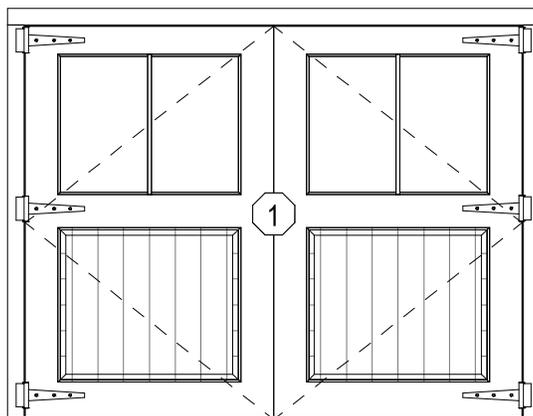


Double Hung
2/2 SDL

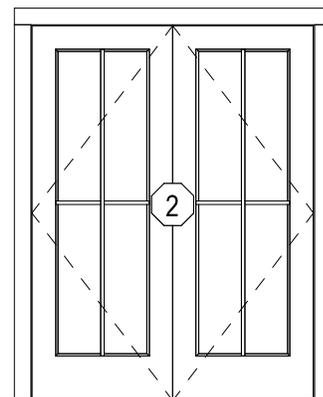
Fixed
4 Lite SDL

Window Legend

1/4" = 1'-0"



Garage Carriage Doors
Solid 'V' Groove w/ 2 Lite SDL



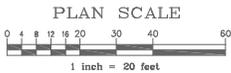
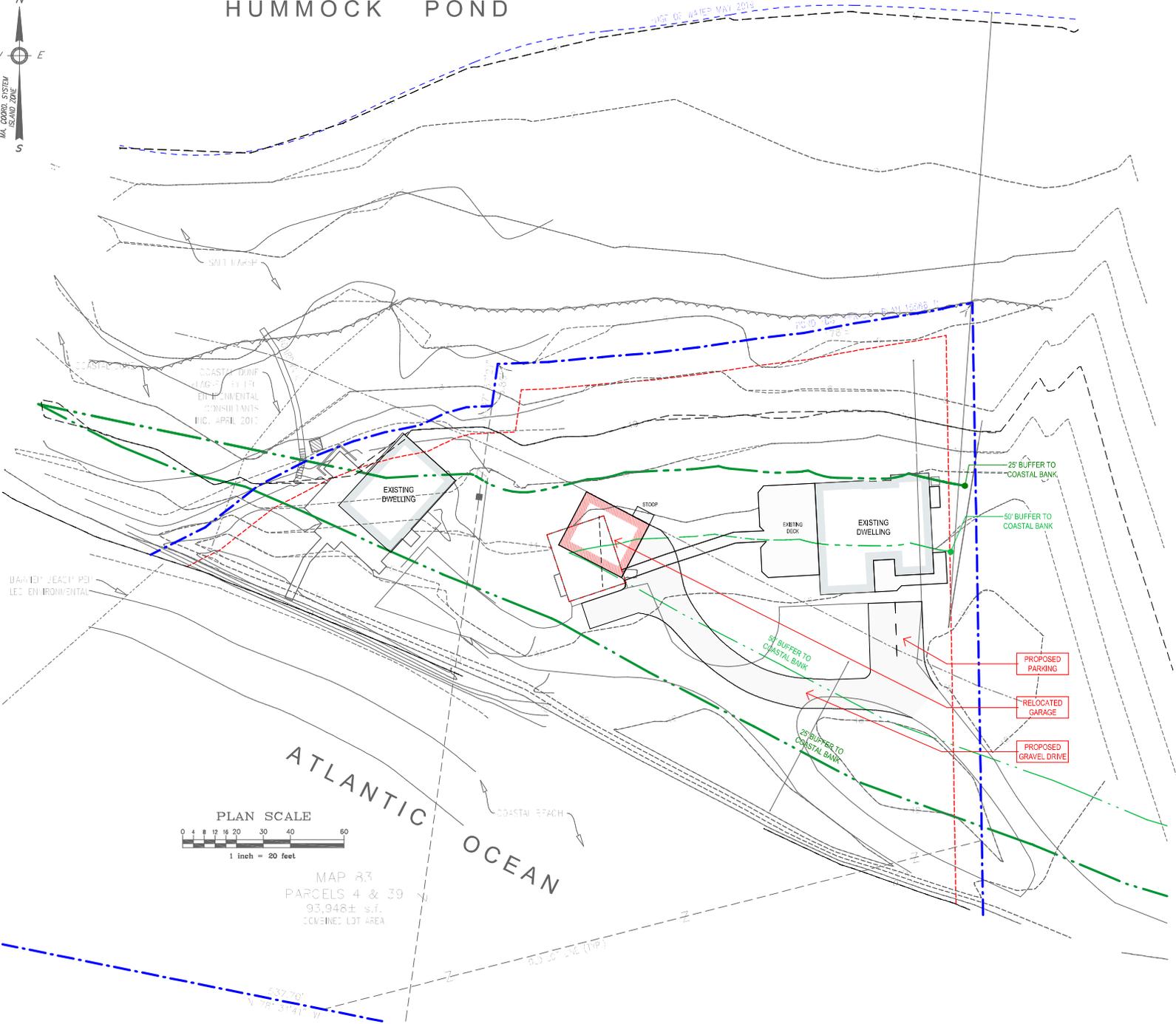
Double French Door
(2) 4 Lite SDL

Door Legend

1/4" = 1'-0"

HUMMOCK POND

HEIGHT OF WATER MAY 2013



MAP R3
PARCELS 4 & 39
93,948± s.f.
COMBINE LOT AREA

Site Plan

1/32" = 1'-0"



West Elevation



North Elevation



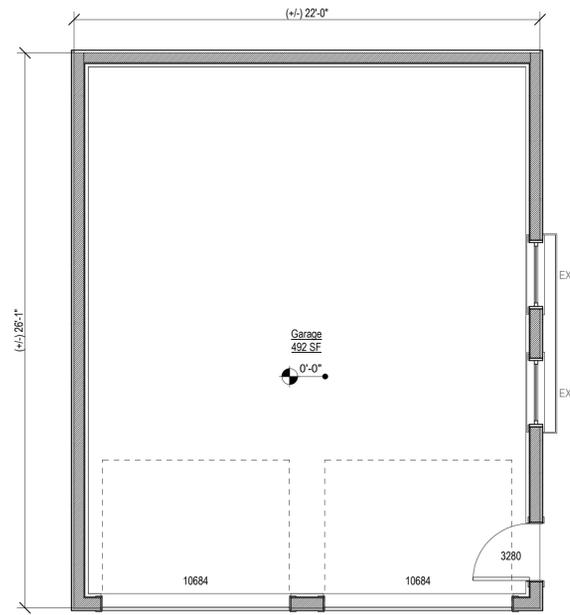
East Elevation



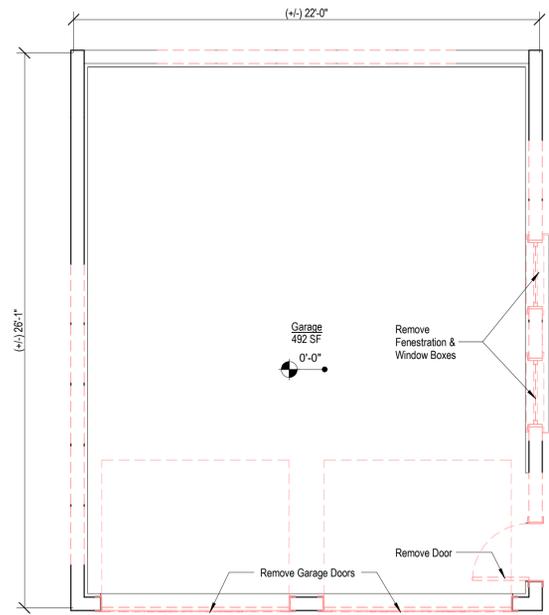
South Elevation

07.14.20

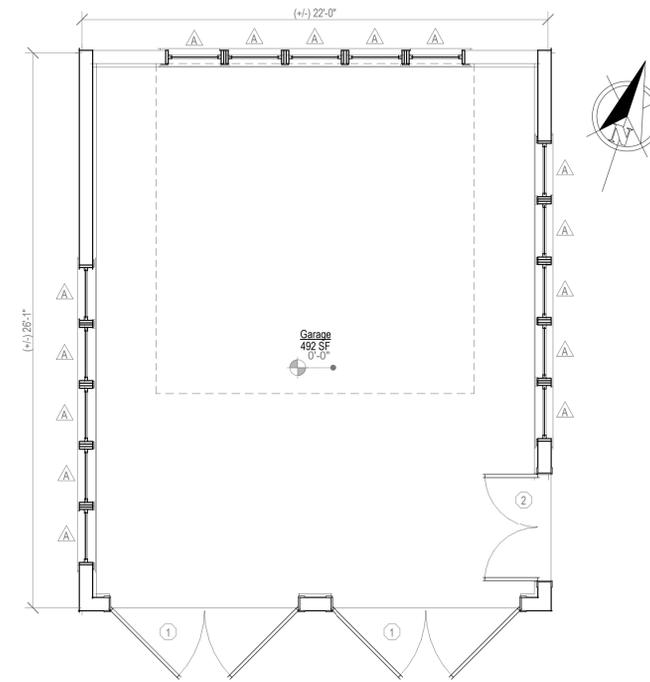
HDC Submission



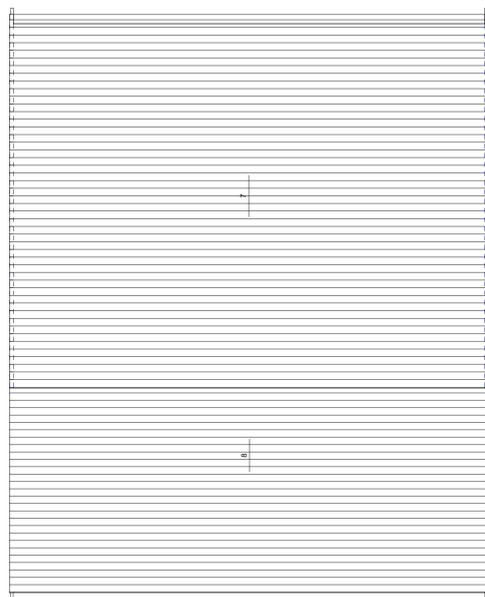
Floor Plan - Existing
1/4" = 1'-0"



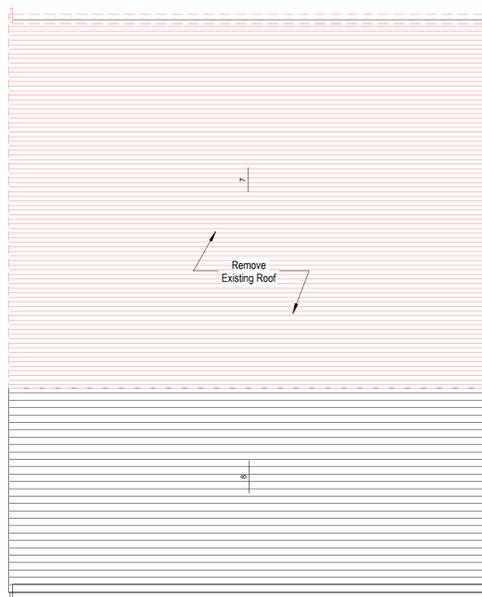
Floor Plan - Demolition
1/4" = 1'-0"



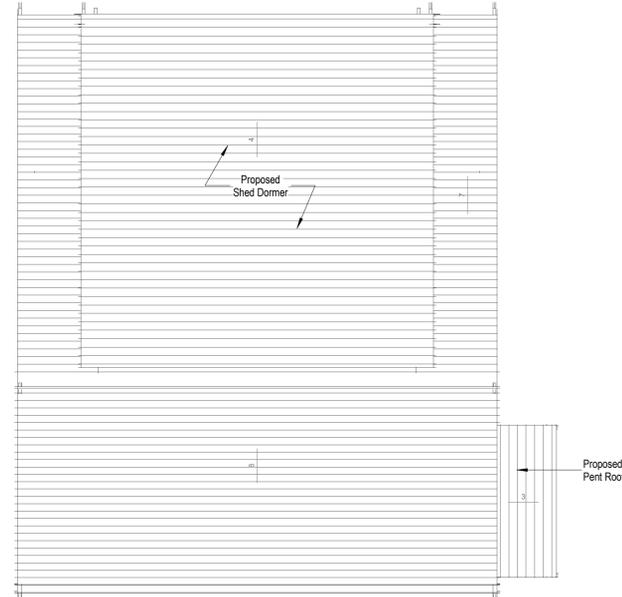
Floor Plan - Proposed
1/4" = 1'-0"



Roof Plan - Existing
1/4" = 1'-0"



Roof Plan - Demolition
1/4" = 1'-0"



Roof Plan - Proposed
1/4" = 1'-0"

1927
 Hummock Pond
 Holdings LLC Garage
 287 Hummock Pond Road
 Nantucket, MA 02554

emeritus
 8 Wilkens Lane
 Nantucket, MA 02554
 P. 508.325.6969
 F. 508.325.6980
 www.emeritusdevelopment.com

Floor & Roof Plans

Site Information

Map & Parcel:	83 / 39
Current Zoning:	VR
Minimum Frontage:	100 FT
Front Setback:	20 FT
Side/Rear Setback:	10 FT
Lot Size:	61,420 SF
Min. Lot Size:	20,000 SF
Allowable G.C.:	10% / SF
Existing G.C.:	588 SF
Proposed G.C.:	0 SF
Total Proposed G.C.:	588 SF

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SHEET INDEX

- G.1.0 Cover Sheet
- A.1.1 Floor & Roof Plans
- A.1.2 Elevations

Revisions

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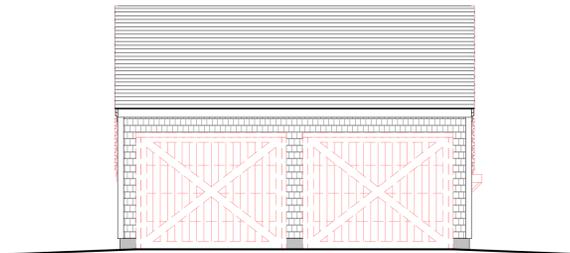
A.1.1
1927

07.14.20

HDC Submission



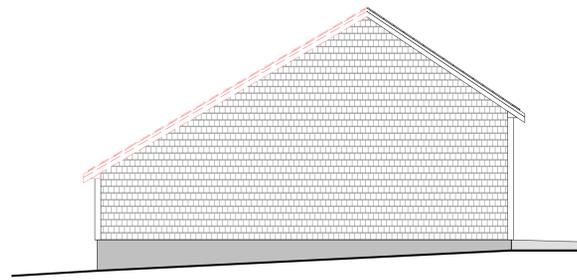
West Elevation - Proposed
1/4" = 1'-0"



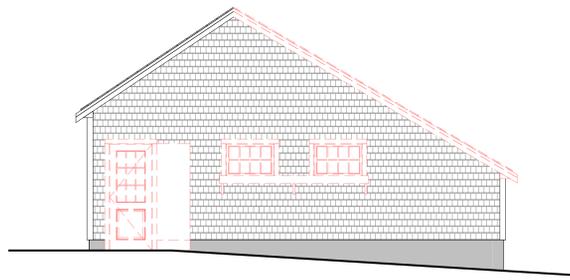
South Elevation - Demolition
3/16" = 1'-0"



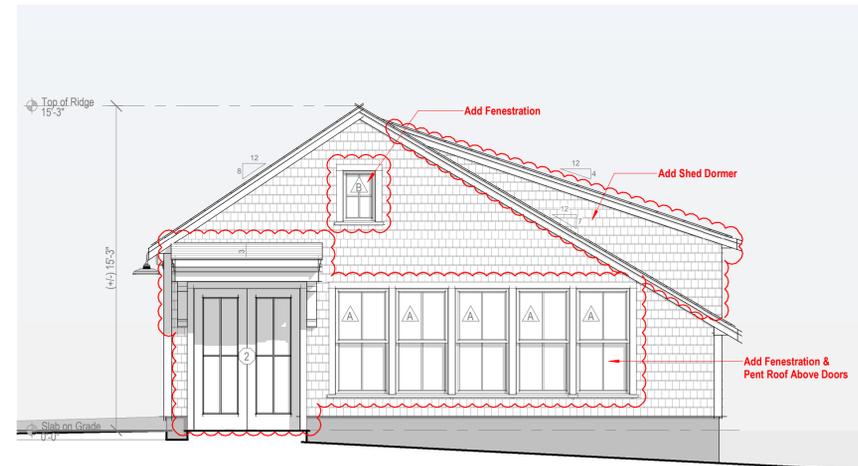
South Elevation - Proposed
1/4" = 1'-0"



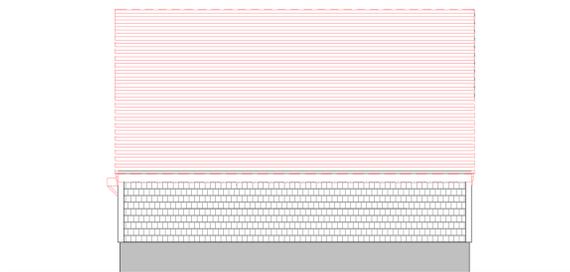
West Elevation - Demolition
3/16" = 1'-0"



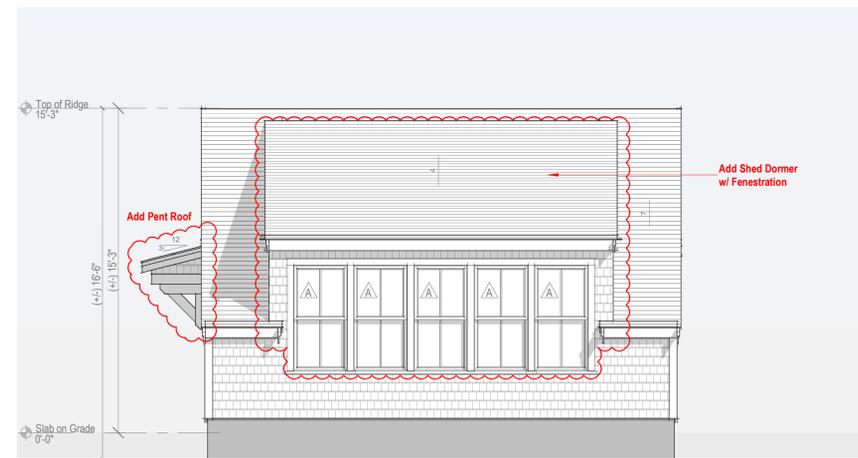
East Elevation - Demolition
3/16" = 1'-0"



East Elevation - Proposed
1/4" = 1'-0"



North Elevation - Demolition
3/16" = 1'-0"



North Elevation - Proposed
1/4" = 1'-0"

1927
Hummock Pond
Holdings LLC Garage
287 Hummock Pond Road
Nantucket, MA 02554



Elevations

Site Information

Map & Parcel:	83 / 39
Current Zoning:	VR
Minimum Frontage:	100 FT
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- A.1.2 Elevations

Revisions

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A.1.2
1927



EX1

Hummock Pond Holdings LLC
287 Hummock Pond Road
Nantucket, MA 02554

Zoning Information

Map & Parcel: 83 / 39
Current Zoning: VR
Minimum Frontage: 100 FT
Front Setback: 20 FT
Side/Rear Setback: 10 FT

Existing Conditions Photographs

View From South
07.14.20



8 Williams Lane
Nantucket, MA 02554
P. 508.325.4995
F. 508.325.6980
www.emeritusdevelopment.com



EX2

Hummock Pond Holdings LLC
287 Hummock Pond Road
Nantucket, MA 02554

Zoning Information

Map & Parcel: 83 / 39
Current Zoning: VR
Minimum Frontage: 100 FT
Front Setback: 20 FT
Side/Rear Setback: 10 FT

Existing Conditions Photographs

View From East
07.14.20



8 Williams Lane
Nantucket, MA 02554
P. 508.325.4995
F. 508.325.6980
www.emeritusdevelopment.com



EX3

Hummock Pond Holdings LLC
287 Hummock Pond Road
Nantucket, MA 02554

Zoning Information

Map & Parcel: 83 / 39
Current Zoning: VR
Minimum Frontage: 100 FT
Front Setback: 20 FT
Side/Rear Setback: 10 FT

Existing Conditions Photographs

View From West
07.14.20



8 Williams Lane
Nantucket, MA 02554
P. 508.325.4995
F. 508.325.6980
www.emeritusdevelopment.com



EX4

Hummock Pond Holdings LLC
287 Hummock Pond Road
Nantucket, MA 02554

Zoning Information

Map & Parcel: 83 / 39
Current Zoning: VR
Minimum Frontage: 100 FT
Front Setback: 20 FT
Side/Rear Setback: 10 FT

Existing Conditions Photographs

View From Northeast
07.14.20



8 Williams Lane
Nantucket, MA 02554
P. 508.325.4995
F. 508.325.6980
www.emeritusdevelopment.com

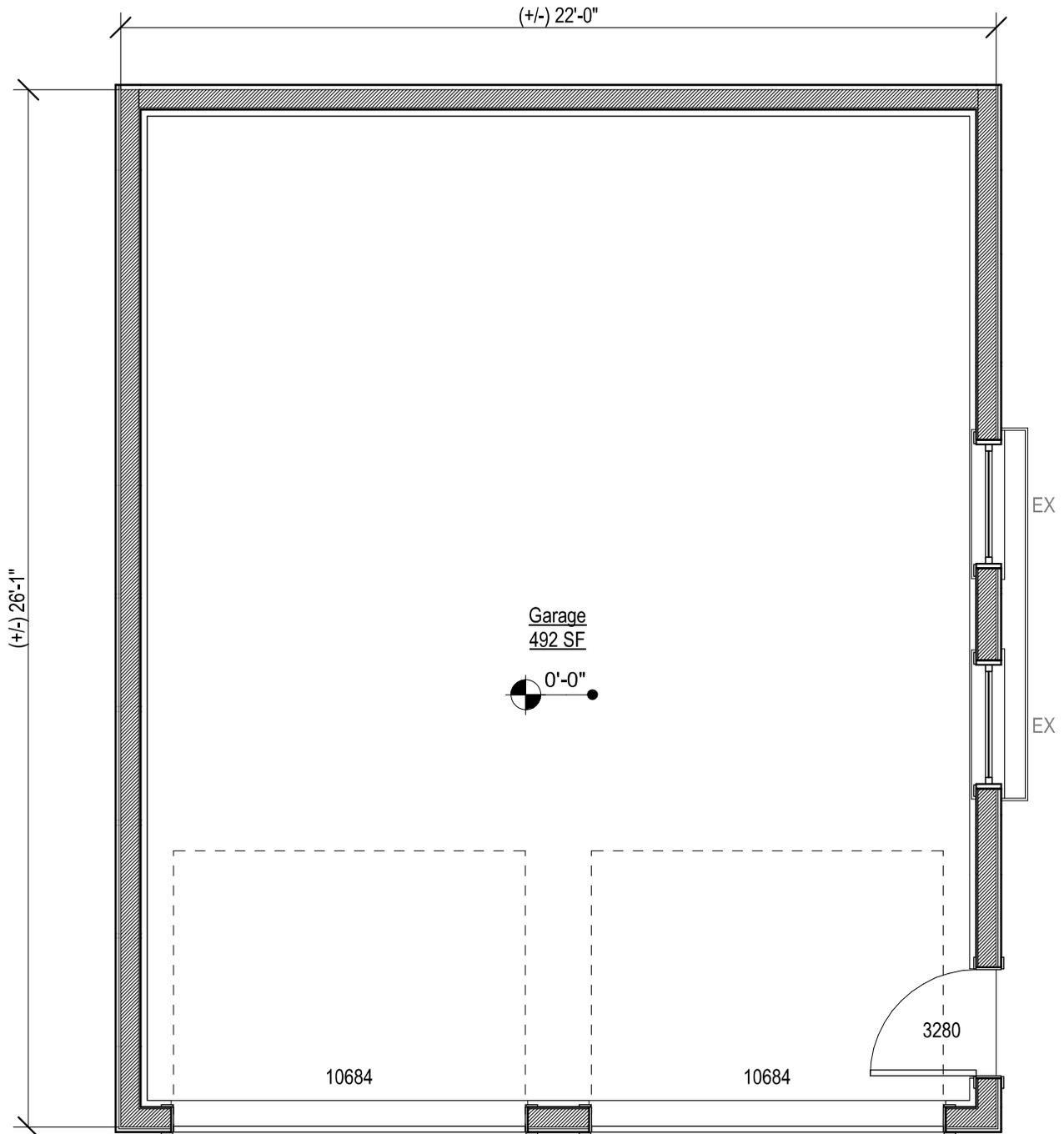


REQUIRED WITH ALL APPLICATIONS:

- _____ 1. **Completed Application Form:** Description of **ALL** work must be indicated on application form.
- _____ 2. **Property Owner's Signature:** Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
- _____ 3. **Application Fee:** See back of application for fee schedule or call the office.
- _____ 4. **Locus Map (4 copies):** Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) <http://www.mapgeo.com/NantucketMA/>.
- _____ 5. **Site Plan (4 Copies):** must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and **placement of HVAC units, electrical boxes, fuel tanks, etc.**
- _____ 6. **8-1/2" x 11" Copies of ALL Application Materials:** Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material **MUST BE LEGIBLE (font size no smaller than 12)**, collated and stapled.
- _____ 7. **Photographs:** Required of **ALL** applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
- _____ 8. **Electronic submission:** All documents submitted to the HDC office must also be converted to Adobe Acrobat format <http://www.adobe.com/pdf/>; this is free software that may have come pre-loaded on your computer. Electronic copies can also be created using the scanner located in the Department of Inspectional Services.

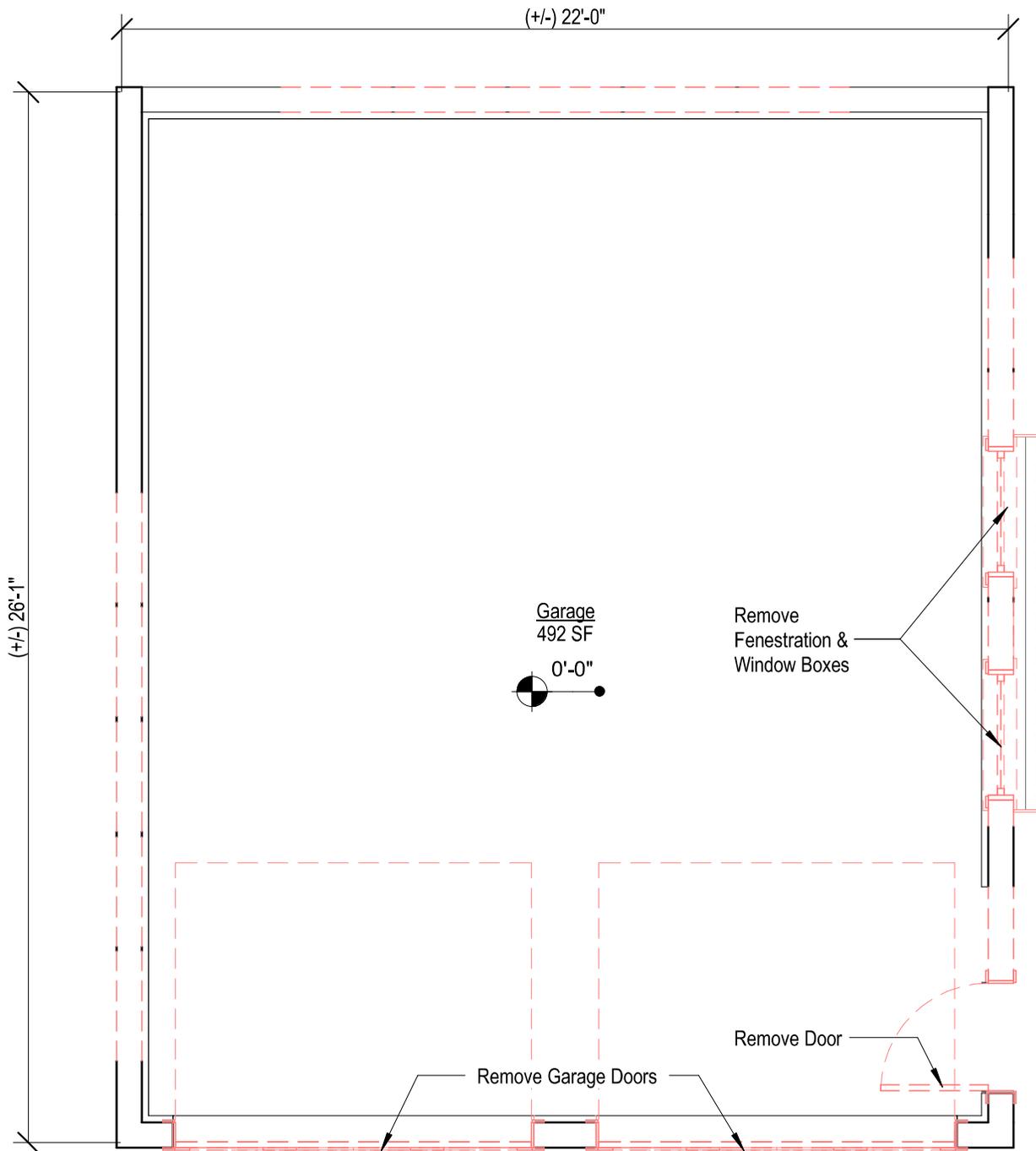
REQUIRED WHERE APPLICABLE:

- _____ 1. **Supplemental Information for Historic Buildings:** It is the applicant's responsibility to research the historical status of any and **ALL** buildings. Additional information may be obtained from the Nantucket Historical Association Library. **If not historic, denote on application.**
- _____ 2. **Exterior Elevations and Floor Plans (4 copies):** Must be 1/4-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. **All changes from approved or existing design must be clouded on drawings.** All material **MUST BE LEGIBLE**, collated and stapled. Reduced sets should maintain a font size of 12.
- _____ 3. **As-Built Plans (1 copy):** of existing elevations
- _____ 4. **Hardscaping Plans (4 copies): To legible scale.** This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material **MUST BE LEGIBLE**, collated and stapled.
- _____ 5. **Topographic Map:** Must show existing and proposed grade for any change of more than **one** foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).
- _____ 6. **Door and Window Schedule (4 copies):** Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
- _____ 7. **I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.**
(initial to indicate read and understand)
- _____ 8. **Abutter Notification Materials** – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more **except** in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet.
- _____ 9. **Approvals** from Planning Board, Zoning Board of Appeals, Conservation Commission etc.



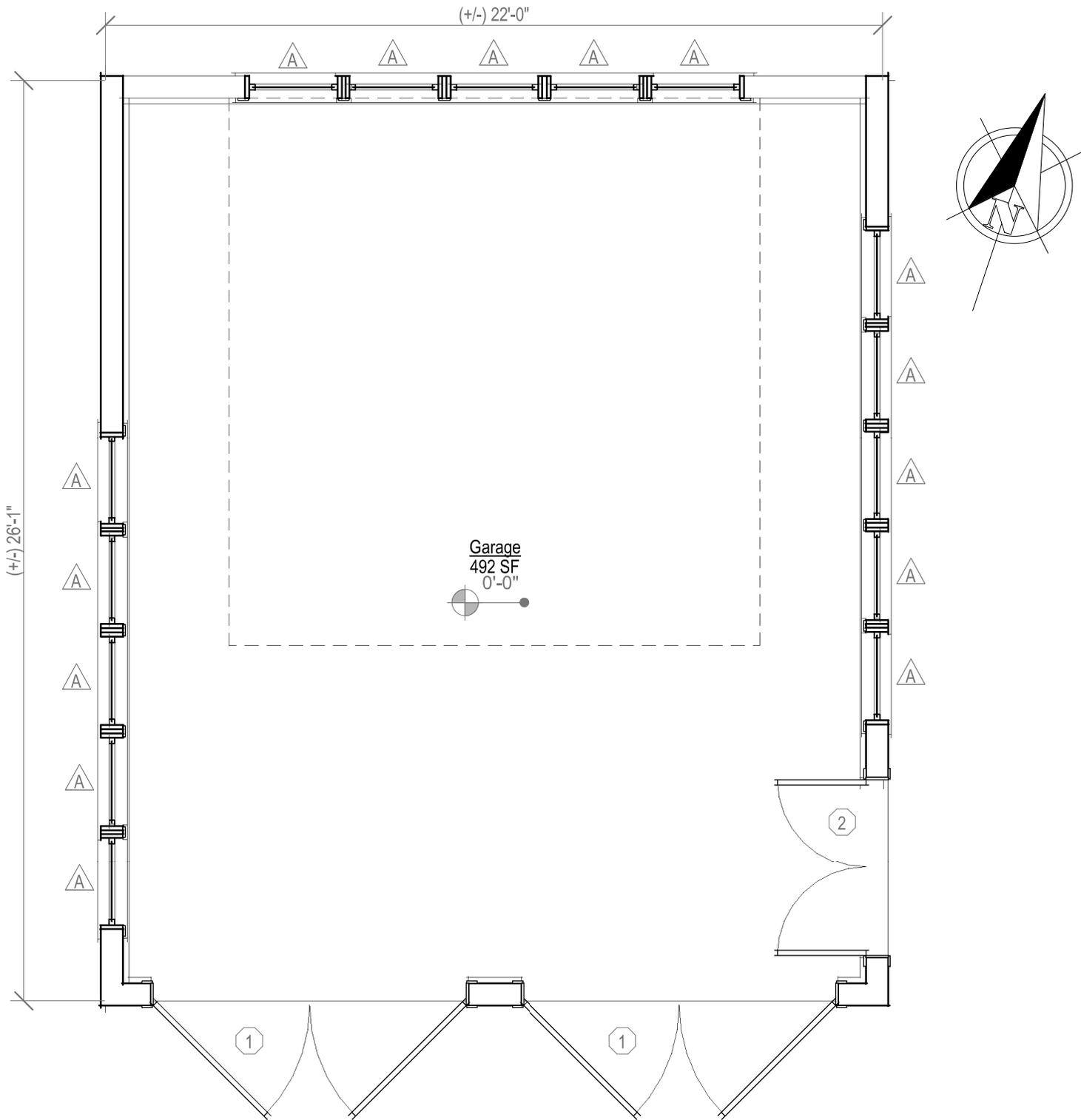
Floor Plan - Existing

1/4" = 1'-0"



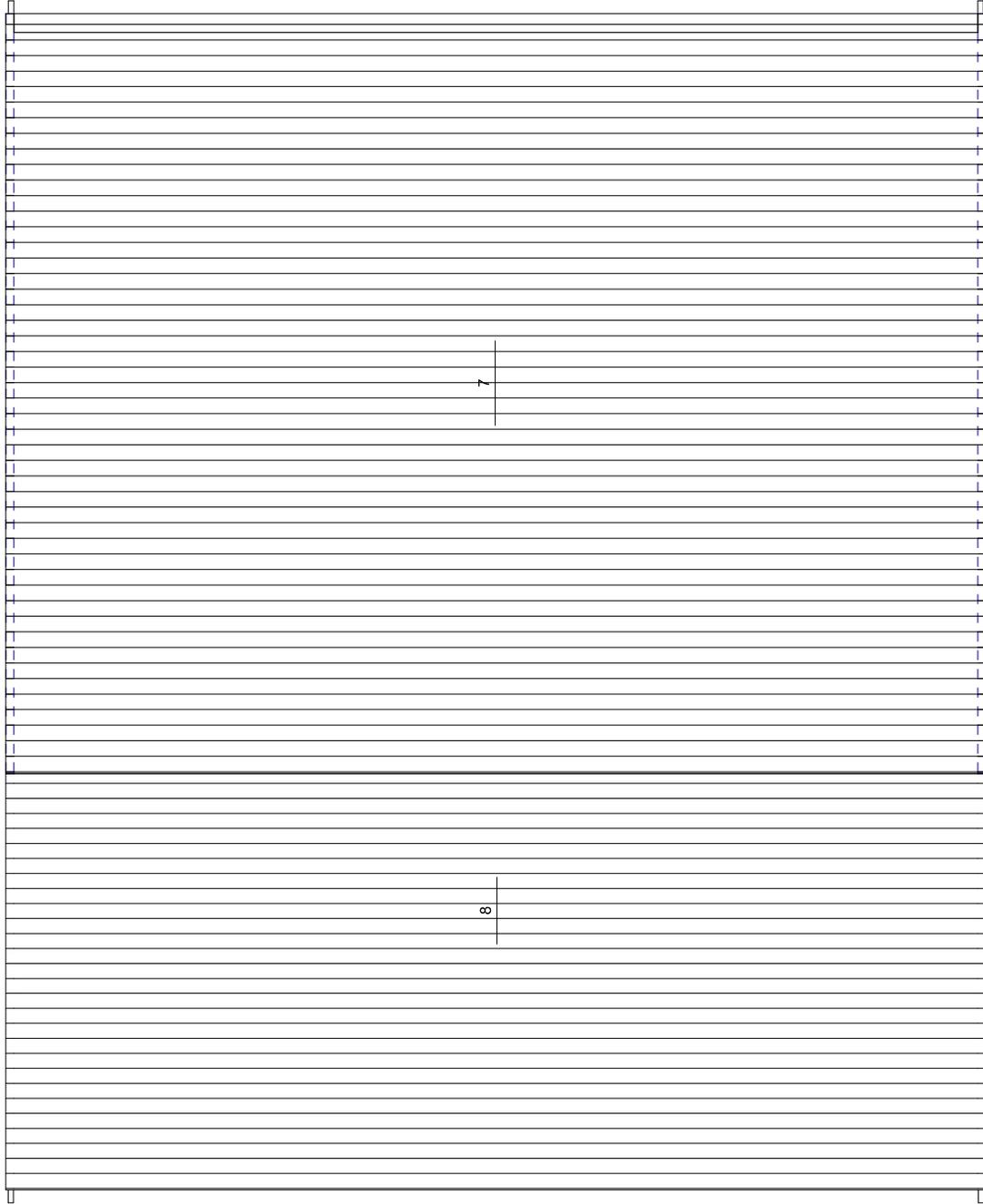
Floor Plan - Demolition

1/4" = 1'-0"



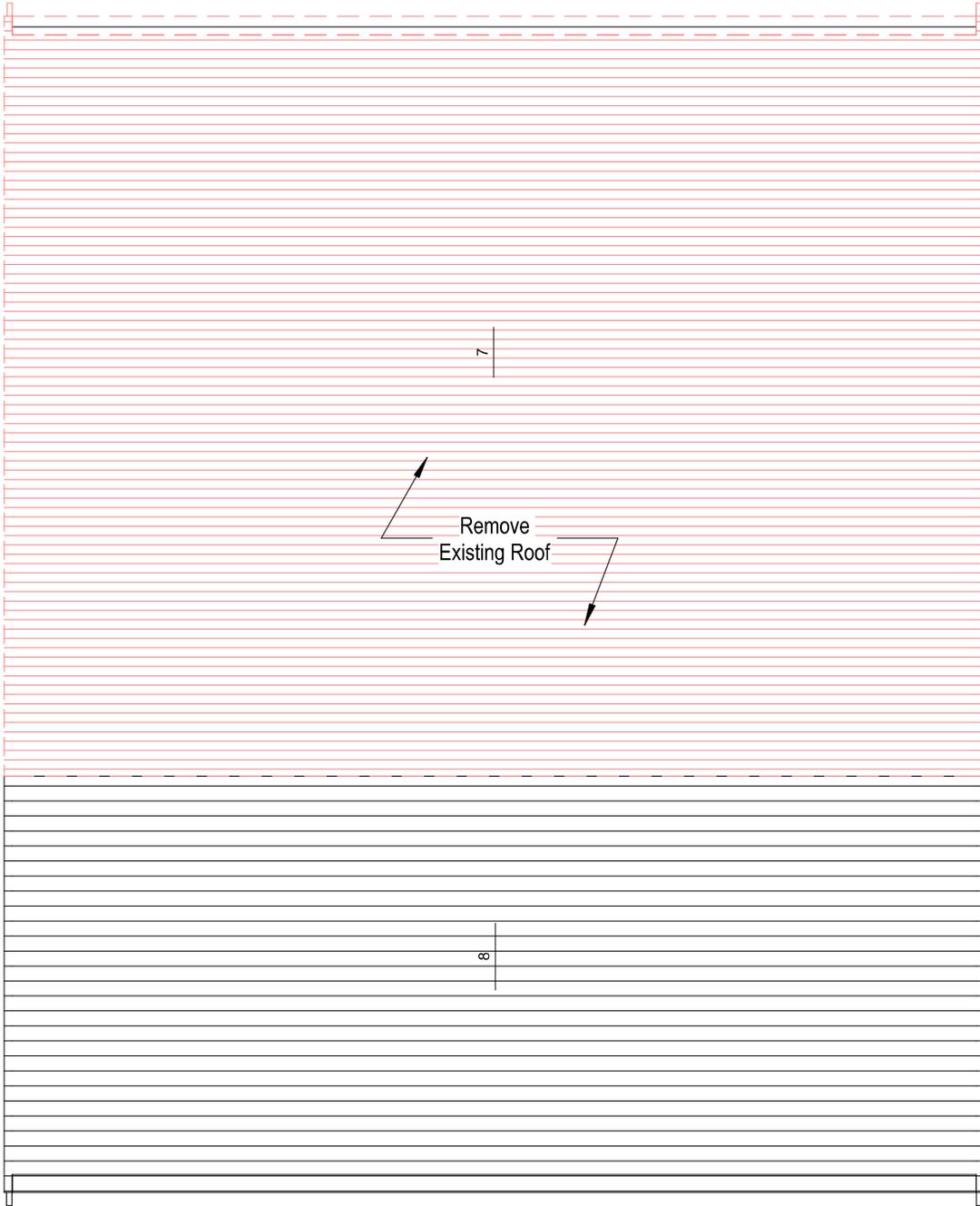
Floor Plan - Proposed

1/4" = 1'-0"



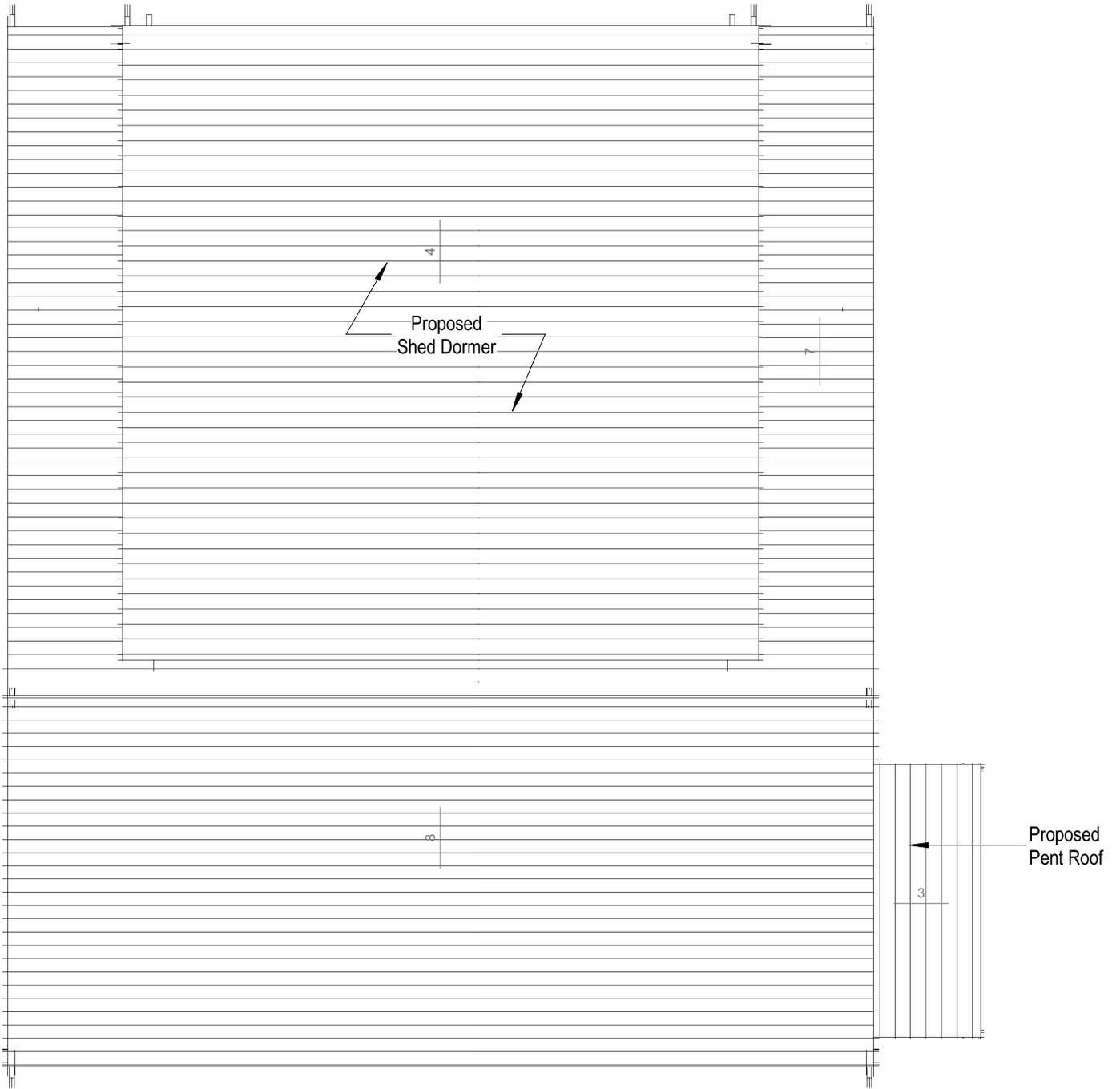
Roof Plan - Existing

1/4" = 1'-0"



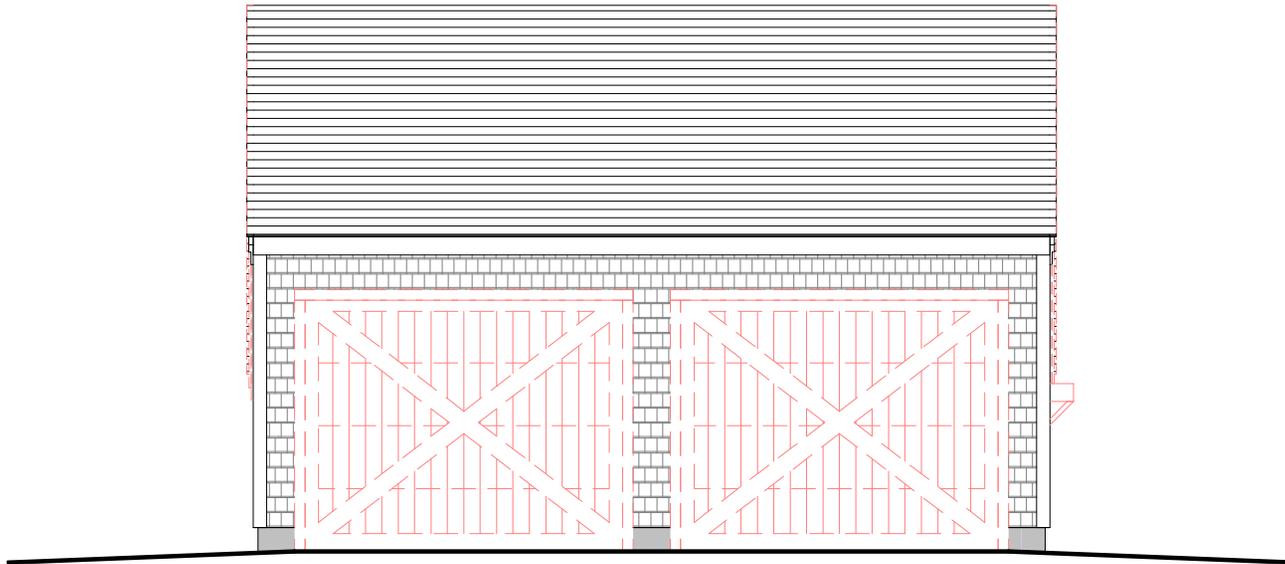
Roof Plan - Demolition

1/4" = 1'-0"



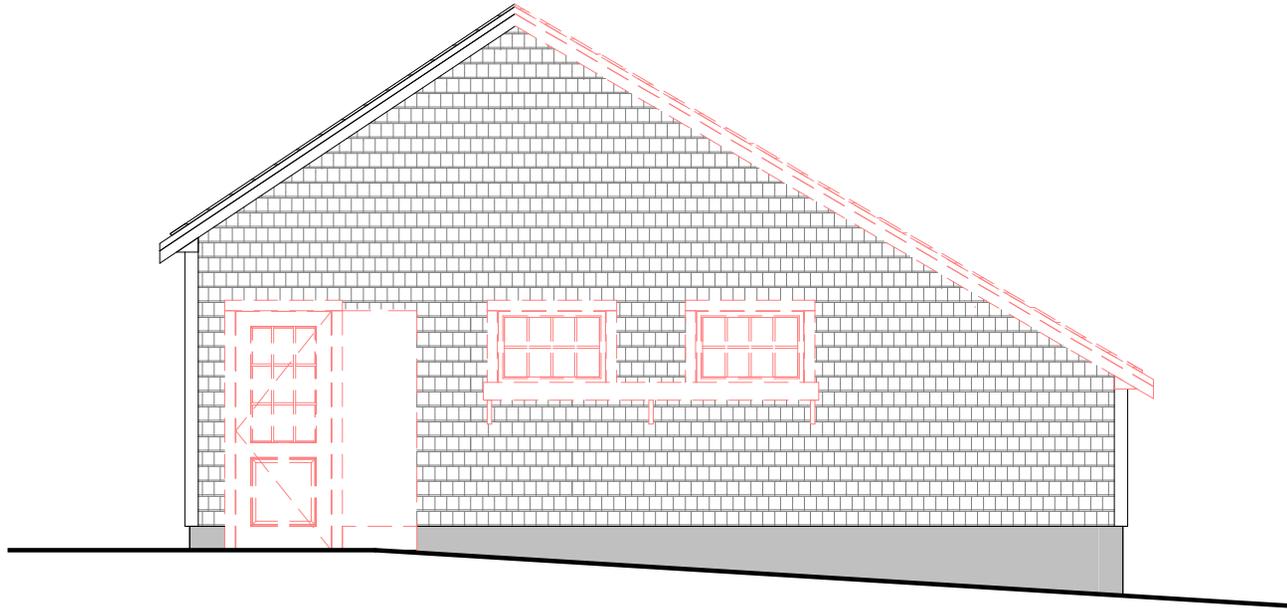
Roof Plan - Proposed

1/4" = 1'-0"



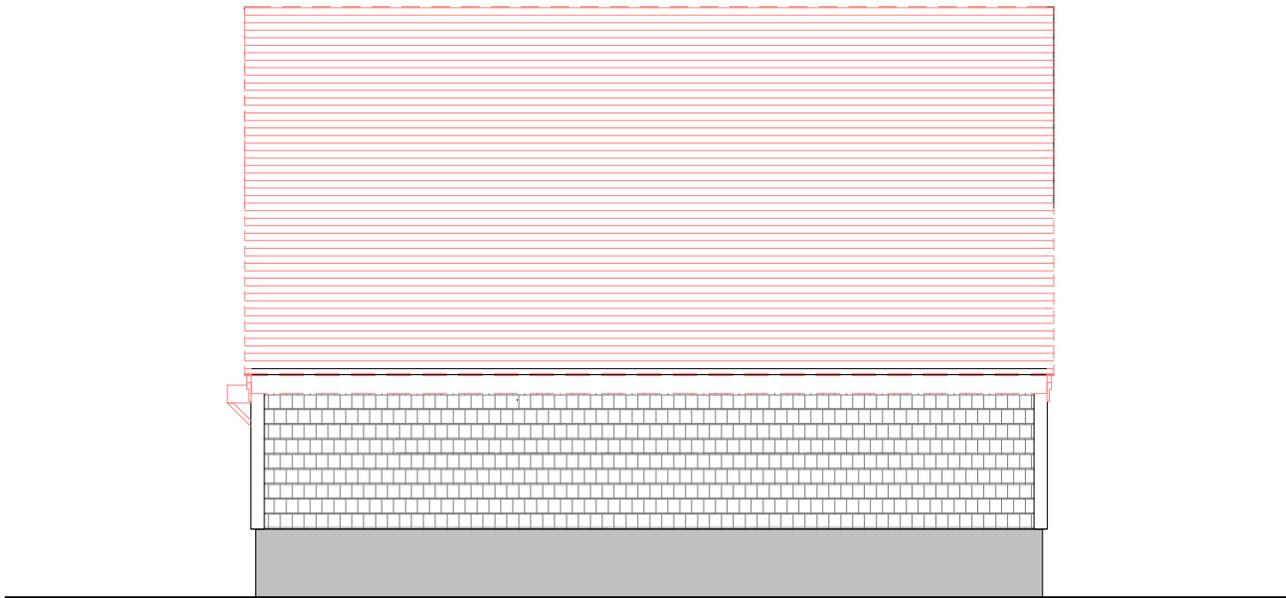
South Elevation - Demolition

3/16" = 1'-0"



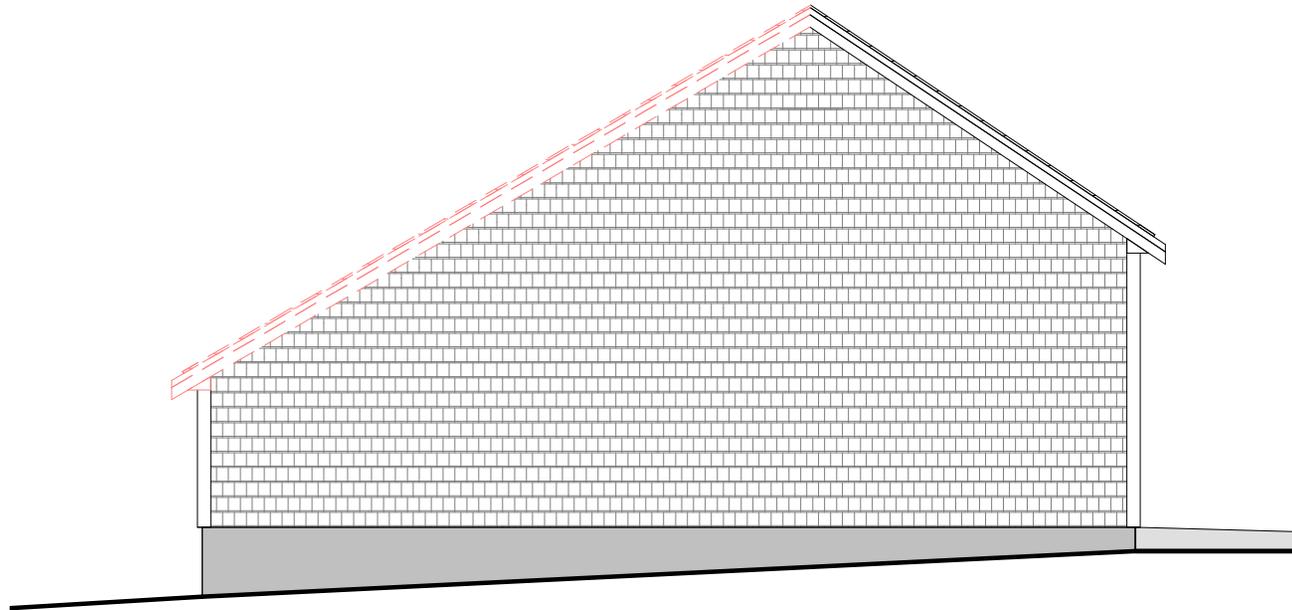
East Elevation - Demolition

$3/16" = 1'-0"$



North Elevation - Demolition

3/16" = 1'-0"



West Elevation - Demolition

3/16" = 1'-0"



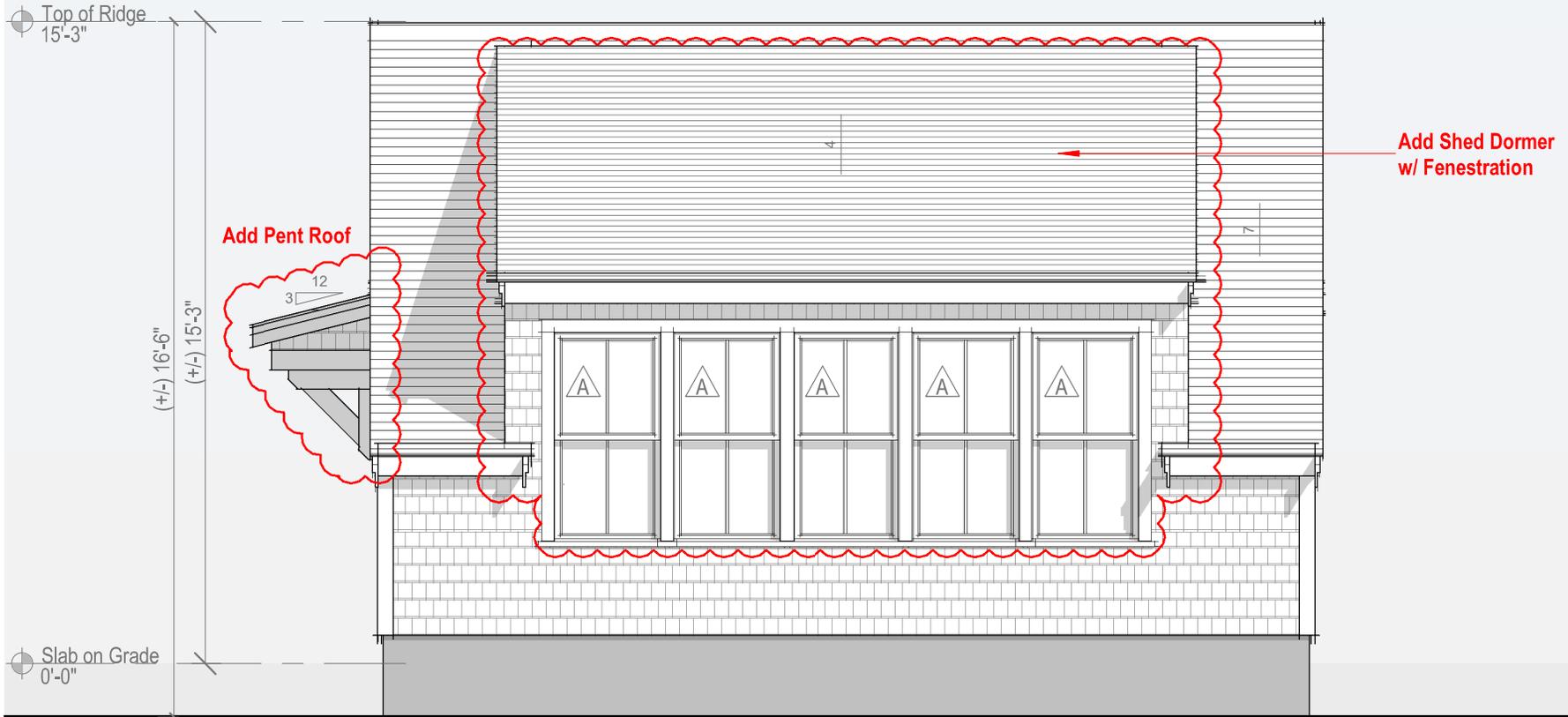
South Elevation - Proposed

1/4" = 1'-0"



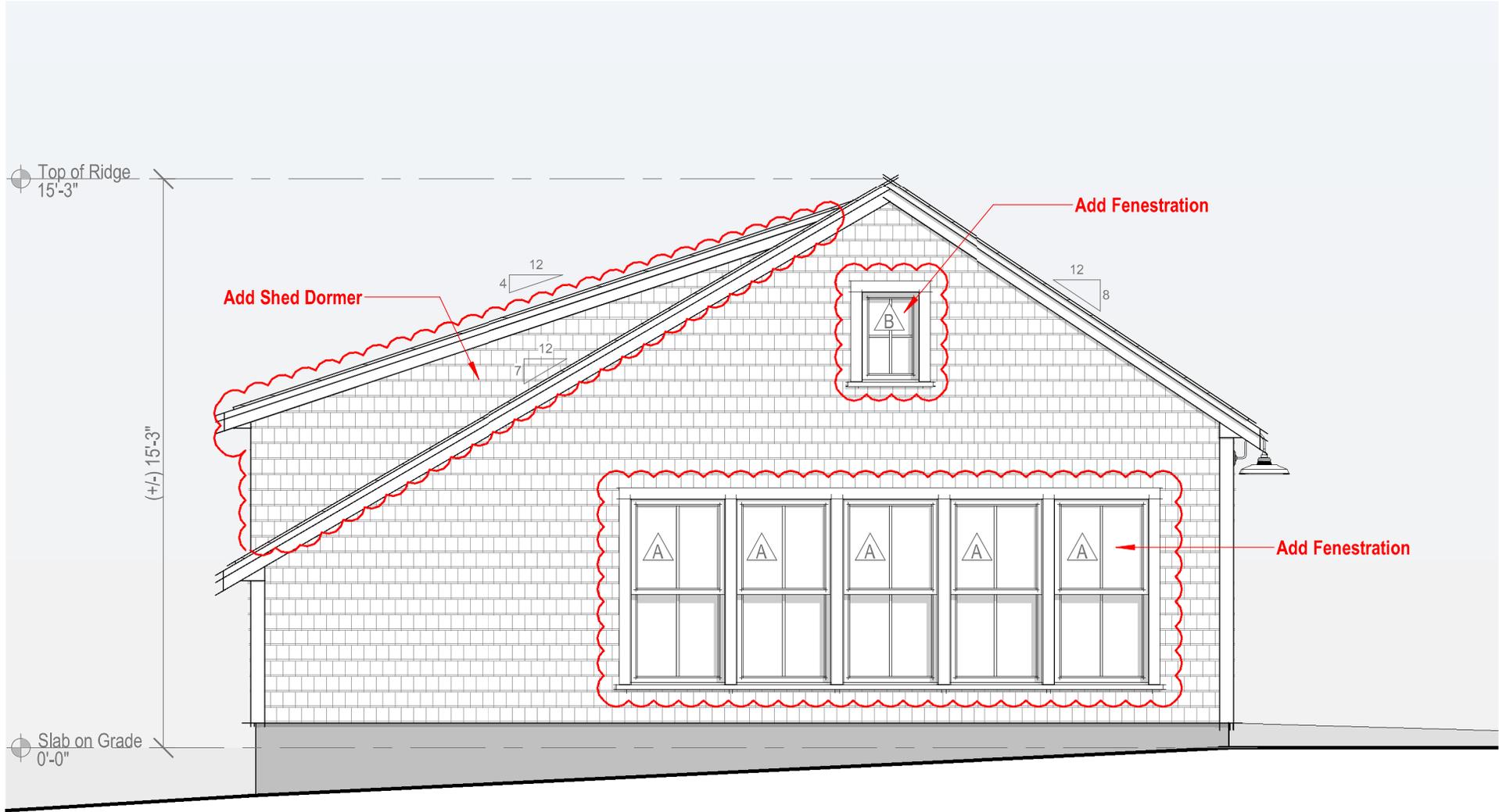
East Elevation - Proposed

1/4" = 1'-0"



North Elevation - Proposed

1/4" = 1'-0"



West Elevation - Proposed

1/4" = 1'-0"