

1. No Meeting Agenda

There is no agenda available for this meeting. Please view the minutes.

1.1. Old Business

Documents:

11 DAVIS LANE - POOL SPA DRIVEWAY BOARDWALK - OB SUB FOR 09-22-2020.PDF
17 DERRYMORE ROAD - ROOFTOP SOLAR - OB SUB FOR 09-22-2020.PDF
17 MAIN STREET - FENESTRATION AND PAINT - OB SUB FOR 09-22-2020.PDF
23 MASAQUET AVE - REV ADDITION - OB SUB FOR 9-22-20.PDF
24 WOODBINE STREET - NEW DWELLING - OB SUB FOR 09-22-2020.PDF
24 WOODBINE STREET - NEW GARAGE - OB SUB FOR 09-22-2020.PDF
28 EEL POINT ROAD - SPORTS COURT - OB SUB FOR 09-22-2020.PDF
29 BROAD ST - AC UNITS - OB SUB 09-22-2020.PDF
32 N LIBERTY ST - ADDITION - OB SUB FOR 09-22-2020.PDF
42 DUKES RD - REV 67176 POOL AND PATIO - OB SUB FOR 9-22-20.PDF
121 MADAKET ROAD - REV 72983 ROOF WALK - OB SUB FOR 09-22-2020.PDF
287 HUMMOCK POND ROAD - MOVE BLDG TO 289 HPR AND ADDITION - OB SUB FOR 09-22-2020.PDF
1 JEFFERSON LANE - REV 73097 DOOR CHANGE - OB SUB FOR 09-22-2020.PDF
4 SLEETWING CIRCLE - POOL AND HARDSCAPE - OB SUB FOR 09-22-2020.PDF
5 S WATER ST - 2ND AND 3RD FL ADDITION - OB SUB FOR 09-22-2020.PDF
7 HYDRANGEA LN - NEW DWELLING - OB SUB FOR 09-22-2020.PDF
10 BEACH ST - NEW DWELLING - OB SUB FOR 09-22-2020.PDF
10 BEACH ST - DEMO DWELLING OB SUB FOR 09-22-2020.PDF
11 DAVIS LANE - NEW CABANA - OB SUB FOR 09-22-2020.PDF

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 82 PARCEL N^o: 75
Street & Number of Proposed Work: 11 DAVIS LANE
Owner of record: NICOLE AND JOEL WHIDDEN
Mailing Address: 47 HIGH POINT RD,
WESTPORT, CT 06880
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: AHERN LLC
Mailing Address: 6 WINDY WAY, NANTUCKET, MA 02554
Contact Phone #: 508-333-5138 E-mail: DESIGN@AHERNLLC.COM

FOR OFFICE USE ONLY

Date application received: 8-11-2010 Fee Paid: \$ 100
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District LVG2) Roof Other SPA 10'x8', BOARDWALK @ GRADE
Size of Structure or Addition: Length: 44' Sq. Footage 1st floor: _____ Decks/Patio: Size: 930 SF 1st floor 2nd floor
Width: 18' Sq. Footage 2nd floor: _____ Size: 270 SF 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass /12 Secondary Mass /12 Dormer /12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways PEA STONE Walkways BOARDWALK Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date: 8-11-2010 Signature of owner of record _____

Signed under penalties of perjury

5. Conlon, James L Tr. Et al. **08-1509** 24 Woodbine Street New garage 80/96 Emeritus
 Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Matt MacEachern, Emeritus Development
 Public None
 Concerns (5:55) **MacEachern** – Presented project.

Welch – It doesn't show in 2D but regardless of the size of the garage and garage doors and the Dutch gable, the garage being forward of the main mass with a covered porch will work against this. The Dutch gable creates a strong sense of the roof mass and overwhelms the structure; what contributes to the perception is the size of the garage doors.

Oliver – The driveway coming in right in the middle of the house creates an open vista of the structure; that view should be mitigated so the public sees more vegetation. Feels the garage should not be connected to the house, though that is based upon its visibility.

Camp – It's too tall and detracts from the main house. The breezeway doesn't look like one; open with columns might give it a feeling of airiness.

Coombs – The height should drop down to below 25 feet, which is the maximum height per the guidelines. The gable is very predominant. North and south are the most dominant.

Pohl – The cross gables are very voluminous. The height is an issue.

Motion **Motion to Hold for revisions. (Coombs)**

Roll-call Vote Carried // Oliver, Camp, Welch, Coombs, and Pohl-aye Certificate #

6. Nicole Whidden **08-1472** 11 Davis Lane Pool/spa/driveway/boardwalk 82/75 Ahern

Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Landscaping design plans, site plan, correspondence, and photos.
 Representing Miroslava Ahern, Ahern Design, LLC
 Public Matt Erisman, 2&4 Wall Street
 Joe Gagliano, 10 Westerwyck Road

Concerns (6:01) **Pohl** – In the last two or three days, we've gotten a dozen or more letters of concern from various neighbors – too numerous to read in; be assured the letters had been disseminated to all the board members for them to read prior to the meeting.

Ahern – Presented project; a mix natural vegetation, including cedar and pine, will blend in with the neighborhood; specified LED lights for the pool interior.

MacEachern – The previous application by the prior owner had the pool rotated 90 degrees and closer to Trinity Avenue.

Erisman – This area has small lot sizes with low vegetation; the prior owner cleared the lot beyond his bounds. He doesn't know how to restore natural vegetation without looking manufactured. Cisco is natural wilderness with houses mixed in. It looks like there are attempts at perimeter vegetation but he's not sure what will be done around the immediate pool. Feels this is an exploitation of the area which jeopardizes the quietude of Cisco. He hopes that if the new owners spend some time in Cisco, they will have a change of heart. This pool is more than 100 square feet (SF) and the cabana a beacon of light and noise in the open landscape.

Gagliano – There's not a lot of detail on what's happening on the northern end. Cedars and pitch pines can grow to over 30 feet and the grouping at the perimeter would create a wall; no other areas of Cisco have that type of border. The pool is large and there is visibility of the cabana from the three roads. This whole complex is about 3,000 SF of hardscape; that footprint is bigger than the house; this sits in the middle of a natural area and is different from everything in the area. Can't emphasize the quietude, low moors, and night sky that is this area. Once we lose what we have, we will never get it back.

Coombs – This is inappropriate for this area, which is roving, ranging moors and always has been. This doesn't need to be paved and landscaped with plants all around it, like New Jersey. Feels there is no need for the pool, cabana, and associated landscaping to be larger than the house; the neighbors have as much right to enjoy their properties as this owner. The pool and hardscaping need to be reduced. Fencing isn't shown.

Camp – Cisco is an area of sandy roads across moors to the dunes. The way the trees are located around the perimeter will take away from the beauty and openness of the area; it's unnatural. Pull the screening closer to the pool and leave it open around the outside. We need a rule that says you can only brush cut what is needed to do any work. Wonders about the Zoning and Planning Boards, who are saying you can have pools here. Don't turn this into suburbia. The pool is too large.

Welch – Agrees with what's been said; particularly shielding the pool not to be visible from the street; these types of landscape plans start to make this Masaquet Avenue; Cisco is open space, which is a historical setting that should be preserved. We do have control over the setting, how proposed structures present themselves to the historic setting, size of pool, location of the cabana, concept of cluster, and shrinking the area that needs to be screened. He'd like to see an aerial mockup of the proposed along with the neighboring structures.

Oliver – Pools out here are inappropriate; the original intent of the developers is disappearing. This is too formal; less is more – boardwalks and driveways and patios and out structures are large and looming over the horizon and could be

eliminated. This house is going to draw attention to itself. Everything should be consolidated; an open yard with perimeter screening won't help. This needs to be simplified.

Pohl – Agrees with much that's been said. Moving plantings closer to the problem area will make the screening more effective without making it look like the owners are fencing themselves off from the neighborhood. North side of the property lacks screening. Equipment should be in the basement.

Motion **Motion to Hold for revisions and a more significantly detailed planting plan and reduction in the pool size. (Oliver)**

Roll-call Vote Carried unanimously//Coombs, Camp, Welch, Oliver, and Pohl-aye Certificate #
 7. Nicole Whidden **08-1473** 11 Davis Lane Cabana 82/75 Emeritus

Voting Pohl, Coombs, Camp, Oliver, Welch

Alternates None

Recused None

Documentation Landscaping design plans, site plan, correspondence, and photos.

Representing Matt MacEachern, Emeritus Development

Public **None**

Concerns (6:38) **MacEachern** – Presented project; pool equipment will go into the basement.

Oliver – This could be simplified even more: don't need gable windows; it could be as simple as a natural-to-weather pergola; anything to mitigate the structure would go a long way.

Coombs – Agrees. South elevation, looks like a takeout area at Surfside Beach. This is only 14 feet from the house; she doesn't see the need for it to have a barbeque and bathrooms. It needs to be simpler.

Welch – Not adverse to a simpler structure. He's concerned about the cabana that was approved there; this is not in keeping with the neighborhood. North and west walls should be open, and this placed closer to the pool.

Camp – Agrees. This looks modern; suggested a lean-to or broke back.

Pohl – The consensus is smaller.

Motion **Motion to Hold for revisions. (Coombs)**

Roll-call Vote Carried unanimously//Camp, Welch, Oliver, Coombs, and Pohl-aye Certificate #

8. Linda Flanagan **08-1464** 19 Longwood Drive Move/demo guest house 71/41 M. Cutone Architecture

Voting Pohl, Coombs, Camp, Oliver, Welch

Alternates None

Recused None

Documentation Architectural elevation plans, site plan, photos, and historic documentation.

Representing Mark Cutone, Mark Cutone Architecture

Public None

Concerns (6:45) **Cutone** – Presented project, circa 1998; have had interest in the building. No concerns.

Motion **Motion to Approve as a move-off/demolition. (Welch)**

Roll-call Vote Carried unanimously//Camp, Coombs, Oliver, Welch, and Pohl-aye Certificate # **HDC2020-08-1464**
 9. Linda Flanagan **08-1459** 19 Longwood Drive New guest house 71/41 M. Cutone Architecture

Voting Pohl, Coombs, Camp, Oliver, Welch

Alternates None

Recused None

Documentation Architectural elevation plans, site plan, and photos.

Representing Mark Cutone, Mark Cutone Architecture

Public None

Concerns (6:50) **Cutone** – Presented project; this will also act as a pool house so has a mud sill. Neither structure is visible from the street. Review of a photo of the existing house.

Oliver – Looking for photos of the house wastes a lot of meeting time. This is larger than the existing house; she wants to understand the relationship.

Welch – This is a net gain; it has additive massing. His concern is the east elevation dormers relative to the roof size, however, this will not be visible. It would be helpful in the future take photos and have them handy out of respect for our time.

Coombs – This is nicer than the main house; if it blocks the main house, great.

Camp – No concerns.

Oliver – The thing over the shower is different but won't be visible.

Pohl – Agrees this is an improvement over the main house. He supports it.

Motion **Motion to Approve as submitted. (Welch)**

Roll-call Vote Carried unanimously//Camp, Coombs, Oliver, Welch, and Pohl-aye Certificate # **HDC2020-08-1459**

LOCUS MAP # 82 / 75



AERIAL MAP # 82 / 75



DECK AND POOL PATIO



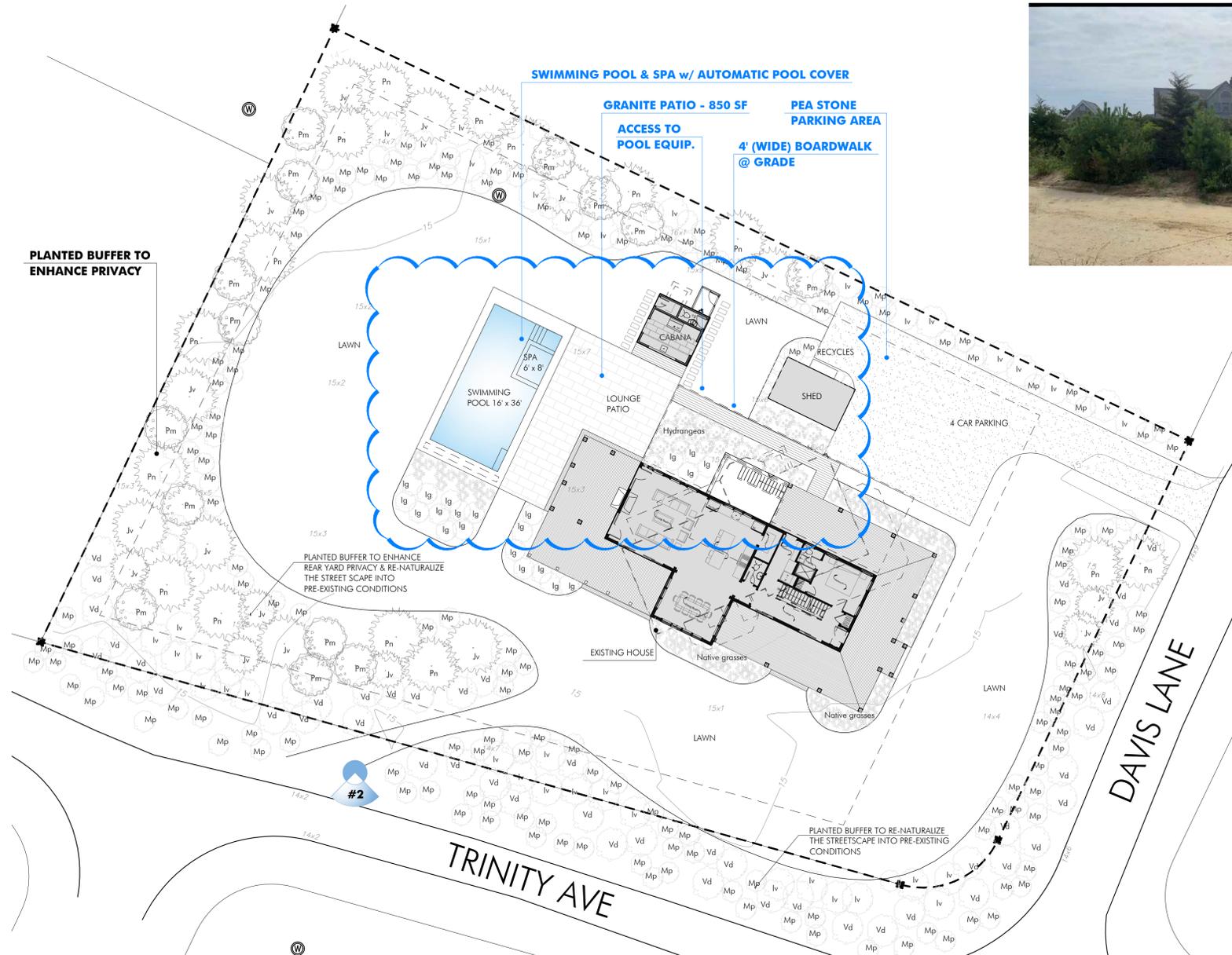
BOARDWALK @ GRADE



EXISTING CEDAR TREES ON THE PROPERTY (PHOTO #1)



NATURAL BUFFER ON TRINITY AVE. (PHOTO #2)



NATURAL BUFFER PLANTING



PITCH PINE - Pn

EASTERN RED CEDAR - Jv

BAYBERRY - Mp

WINTERBERRY - Iv

VIBURNUM - Vd

INKBERRY - Ig

BEACH PLUM - Pm



PROJECT
**WHIDDEN
RESIDENCE**

11 DAVIS LANE NANTUCKET MA 02554

OWNER

NICOLE AND JOEL WHIDDEN

ARCHITECT

EMERITUS Development Ltd.
8 Willows Lane, Nantucket, MA 02554
T (508) 325-4995 F (508) 325-8960

SURVEYOR

BRACKEN ENGINEERING, INC
18 Old South Rd., Nantucket, MA 02554
T (508) 325-0044



HDC SUBMISSION
for SWIMMING
POOL & SPA

DRAWING INFO

DATE SEPTEMBER 14, 2020
SCALE 1/16" = 1' - 0"

REVISIONS

NO.	DESCRIPTION

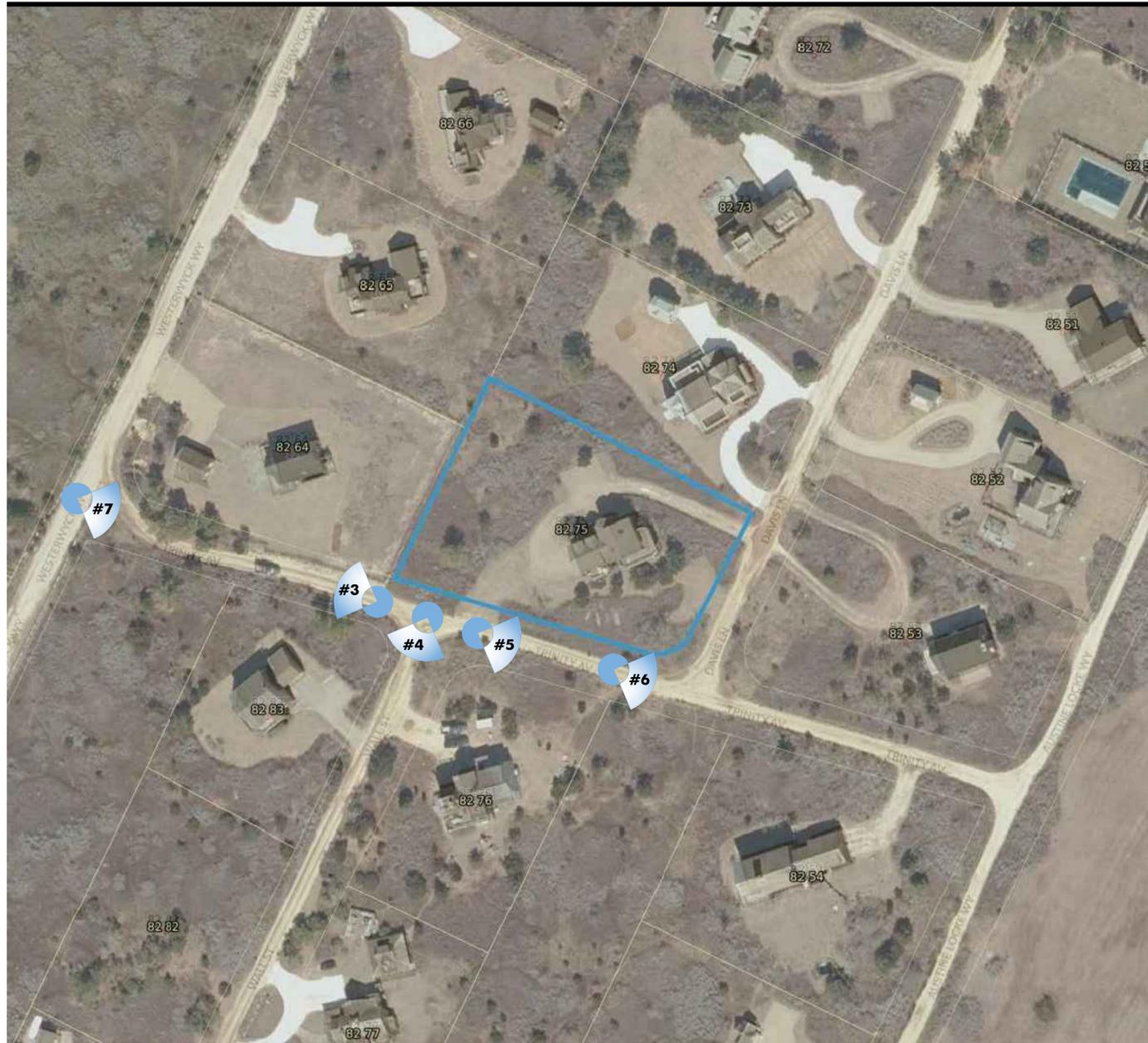


PHOTO #7



PHOTO #6



PHOTO #3



PHOTO #4



PHOTO #5



PROJECT
WHIDDEN RESIDENCE
 11 DAVIS LANE NANTUCKET MA 02554

OWNER
 NICOLE AND JOEL WHIDDEN

ARCHITECT
 EMERITUS Development Ltd.
 8 Willows Lane, Nantucket, MA 02554
 T (508) 325-4995 F (508) 325-8960

SURVEYOR
 BRACKEN ENGINEERING, INC
 18 Old South Rd., Nantucket, MA 02554
 T (508) 325-0044



HDC SUBMISSION
for SWIMMING
POOL & SPA

DRAWING INFO
 DATE SEPTEMBER 14, 2020
 SCALE 1/16" = 1' - 0"

REVISIONS

NO.	DATE	DESCRIPTION

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 114
Street & Number of Proposed Work: 17 Derrymore Road
Owner of record: LISA & Andrew HOOD
Mailing Address: 17 Derrymore Road
Nantucket, MA 02554
Contact Phone #: 508 246 8445 E-mail: ATHOOD@COMPART.net

AGENT INFORMATION (if applicable)

Name: Timothy Holmes / Sunwind LLC
Mailing Address: P.O. Box 700
Brewster, MA 02611
Contact Phone #: 508 246 6352 E-mail: Tholmes@sunwindllc.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other: SOLAR

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS:** 1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____ /12 Secondary Mass _____ /12 Dormer _____ /12 Other _____

Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Solar Panels
Skylights (flat only): Manufacturer LG 335 Watts Rough Opening 3'-3" x 5'-6" Size _____ Location _____
Manufacturer _____ Rough Opening "ALL BLACK" Size _____ Location _____

Fence: Height: _____
Type: _____
Length: _____

Gutters: Wood Aluminum Copper Leaders (material) Install 26 panels on roof of the house

Leaders (material and size):

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 10/8/20 Signature of owner of record Andrew Hood Signed under penalties of perjury

Historic District Commission
STAFF APPROVAL CHECKLIST



Planning and Land Use Services

2 Fairgrounds Road, Nantucket, Ma 02554
 508-325-7587

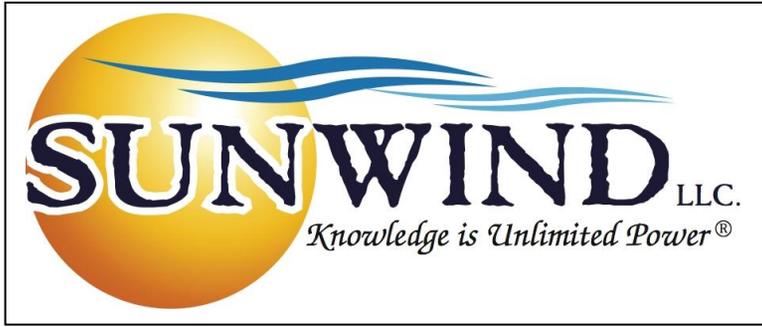
This checklist **MUST** be submitted and scanned with your Staff Approval.

✓	Sign In submission at Front Desk
✓	HDC case number: (ex. HDC2020-XX-XXXX) If applicable <i>HDC 2020 - 07 - 1282</i>
✓	Meeting Approval Date: <u><i>7-21-20 (Held for Revisions)</i></u> Copy of Minutes (application item circled)
✓	Four (4) Large (24"x36") sets of plans <u>at 3/16" or 1/4" scale</u> (circle all that apply) a. Site Plan ✓ b. North Elevation ✓ c. South Elevation ✓ d. East Elevation ✓ e. West Elevation ✓ f. Window/door schedule <i>Spec sheet for proposed solar panel skin</i>
	One set reduced plans: 8 1/2 x 11
✗	Additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Electronic Submission: Each of the foregoing documents (including this checklist) MUST BE scanned to a single PDF file and emailed to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Proposed HDC Minutes for July 21, 2010

14. Lisa Hood 07-1282	17 Derrymore Road	Roof top Solar	41-114	SunWind, LLC
Voting	Pohl, Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, and manufacturer spec sheet.			
Representing	Tim Holmes, SunWind, LLC			
Public	None			
Concerns (7:06)	<p>Holmes – Presented project; the rear mass roof is very low and about 4/12 pitch with trees; part of the application is to replace the roof with black shingles.</p> <p>Oliver – There's a rear mass facing the same direction on which to place the panels; they won't be on the highest roof.</p> <p>Welch – They are on the primary mass and visible; he can't support this.</p> <p>Coombs – They are visible; she can't support this.</p> <p>Pohl – The panels are on the 2nd-floor and are visible</p>			
Motion	Motion to Hold for revisions. (Oliver)			
Roll-call Vote	Carried 4-0//Camp abstain; Coombs, Welch, Oliver, and Pohl-aye		Certificate #	
15. Scott Bowman 07-1336	7 Folger Avenue	Roof top solar	80-166	Cotuit Solar
Voting	Pohl, Coombs, Oliver, Welch, Dutra			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, and manufacturer spec sheet.			
Representing	Karen Alence, Cotuit Solar			
Public	None			
Concerns (7:13)	<p>Alence – Presented project; this is very hard to see this from the road.</p> <p>Oliver – She walked the route; you can barely see the structure; she's okay due to lack of visibility.</p> <p>Welch – He did a driveway; it's not on the primary structure and visibility heavily helps. Would prefer "limited" visibility.</p> <p>Dutra – No concerns.</p> <p>Coombs – No concerns.</p>			
Motion	Motion to Approve as submitted due to limited visibility and that it's appropriately placed on the secondary structure. (Oliver)			
Roll-call Vote	Carried 5-0//Welch, Dutra, Coombs, Oliver, and Pohl-aye		Certificate #	HDC2020-07-1336
16. ARI, LLC 07-1318	10 Delaney Road	As-built color change	41-120	Self
Voting	Pohl, Coombs, Oliver, Welch, Dutra			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Tracy Cullinane			
Public	None			
Concerns (7:18)	Cullinane – Presented project. No concerns.			
Motion	Motion to Approve as submitted. (Welch)			
Roll-call Vote	Carried 5-0//Coombs, Oliver, Welch, Dutra, and Pohl-aye;		Certificate #	HDC2020-07-1318
17. Stephen Erisman 07-1302	2 Saccacha Avenue	Outdoor shwr/lattice fence	82-23.2	Val Oliver
Voting	Pohl, Coombs, Camp, Welch, Dutra			
Alternates	None			
Recused	Oliver			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Val Oliver, V. Oliver Design			
Public	None			
Concerns (7:21)	<p>Oliver – Presented project.</p> <p>Welch – His concern is the width of the boards and the fence; it looks like a stockade fence on posts with caps and lattice behind it. The details are a concern. He'd like to see a photo of the view from the travelled way.</p> <p>Coombs – The shower enclosure is too big, and the lattice should be removed; the basement would be better with a picket fence.</p> <p>Dutra – He'd like to view this.</p> <p>Pohl – Planting around it would mitigate it.</p>			
Motion	Motion to View. (Coombs)			
Roll-call Vote	Carried 5-0//Camp, Welch, Dutra, Coombs, and Pohl-aye		Certificate #	



300 Cranberry Highway
Orleans, MA 02653
508-246-6350
tholmes@sunwindllc.com

(OLD BUSINESS)
Nantucket Historic District Commission
Certificate of Appropriateness Application
Proposed Solar System

Client: Andrew Hood
17 Derrymore Road
Nantucket, MA 02554

Assessors Map Number: 41/114
Lot Number:

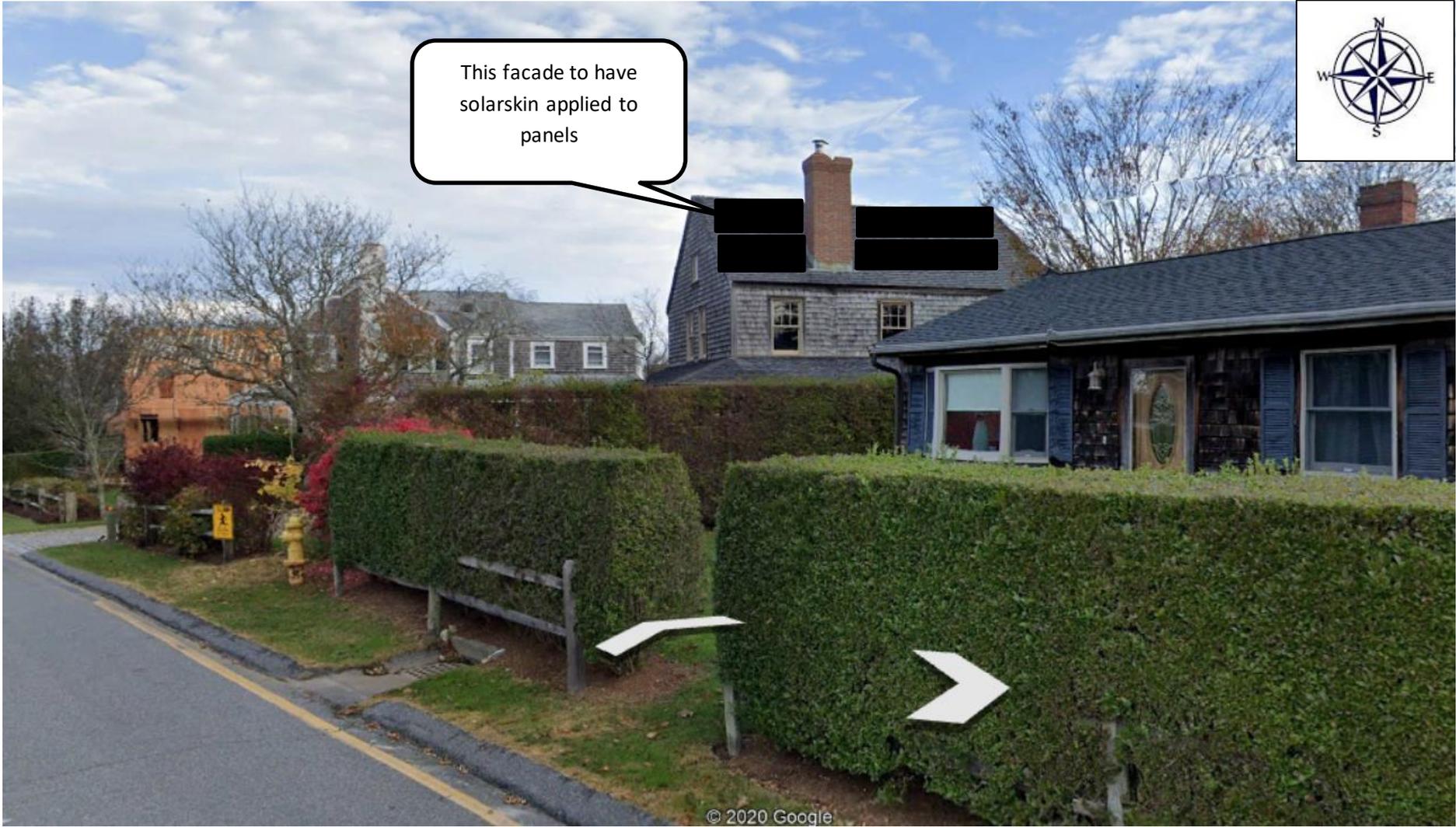
Property ID: 1846

Year Built: 2003

Use: 1010

Zone: R1

Property Size: .19 acres



This facade to have solarskin applied to panels



South Side of House



Front of House (West Elevation)



Proposed Solar panel Layout

solarsolarolarskin



Solarsolarolarskin is made to match the customers shingles, there are no limits to the number of color and pattern options...



- ▶ **30+ year durable film**, easily applied like a graphics vinyl
- ▶ Cut to size for any brand of **all black** solar module
- ▶ Light transmission options of **80%, 85%, and 90%**
- ▶ Tested at **NREL**, the nation's leading solar lab
- ▶ Passed IEC 61215, outdoor durability testing, adhesion testing, and accelerated UV testing
- ▶ Proven **long-term color retention** with no yellowing or bubbling
- ▶ **Self-cleaning** with anti-graffiti surface finish
- ▶ **Anti-shattering** and **self-extinguish** in the event of a fire
- ▶ Protects module against chemical and UV degradation
- ▶ **Removable** without damaging underlying module
- ▶ Qualifies for **30% federal ITC**
- ▶ **10-year warranty**

Tested at



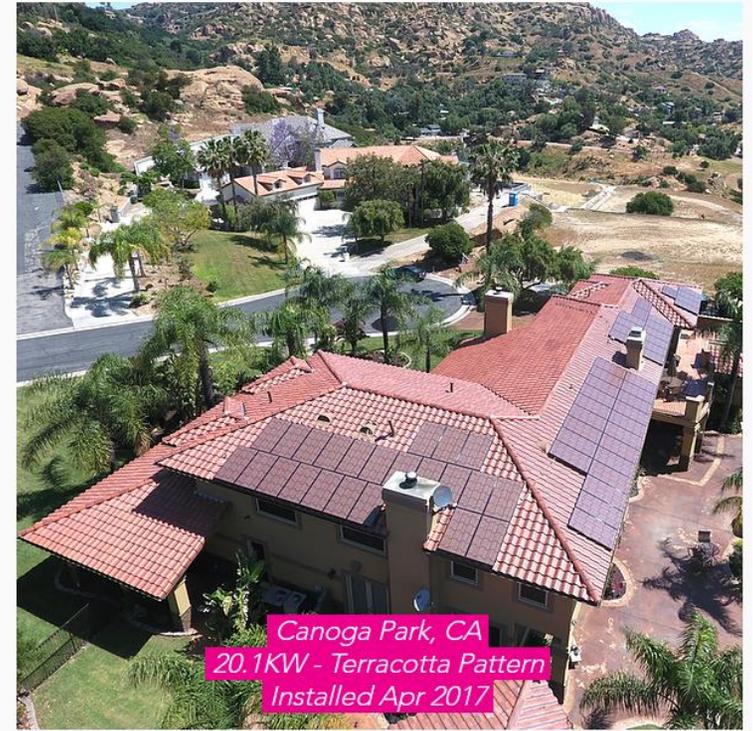
Backed by



Traditional



SOLARSKIN



Example taken from Solarskin website showing the enhancement of the solar panels with the applied material.



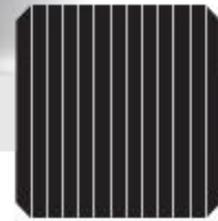
Hubbardston, MA - 5.3KW



Holbrook, MA - 5.9KW

LG NeON[®] 2 Black

LG335N1K-V5



60

335W

The LG NeON[®] 2 is LG's best selling solar module, and is one of the most powerful and versatile modules on the market today. Featuring LG's Cello Technology, the LG NeON[®] 2 increases power output. New updates include an extended performance warranty from 86% to 90.08% to give customers higher performance and reliability.



Features



Enhanced Performance Warranty

LG NeON[®] 2 Black has an enhanced performance warranty. After 25 years, LG NeON[®] 2 Black is guaranteed at least 90.08% of initial performance.



Enhanced Product Warranty

LG has extended the warranty of the NeON[®] 2 Black to 25 years including labor, which is top level in the industry.



Better Performance on a Sunny Day

LG NeON[®] 2 Black now performs better on sunny days, thanks to its improved temperature coefficient.



Roof Aesthetics

LG NeON[®] 2 Black has been designed with aesthetics in mind using thinner wires that appear all black at a distance. LG NeON[®] 2 Black can increase the value of a property with its modern design.

When you go solar, ask for the brand you can trust: LG Solar

About LG Electronics

LG Electronics is a global leader in electronic products in the clean energy markets by offering solar PV panels and energy storage systems. The company first embarked on a solar energy source research program in 1985, supported by LG Group's vast experience in the semi-conductor, LCD, chemistry and materials industries. In 2010, LG Solar successfully released its first MonoX[®] series to the market, which is now available in 32 countries. The NeON[®] (previous MonoX[®] NeON), NeON[®]2, NeON[®]2 Bifacial won the "Innovator AWARD" in 2013, 2015 and 2016, which demonstrates LG's leadership and innovation in the solar industry.

LG Solar

Mechanical Properties

Cells	6 x 10
Cell Vendor	LG
Cell Type	Monocrystalline / N-type
Cell Dimensions	161.7 x 161.7 mm / 6 inches
# of Busbar	12 (Multi Wire Busbar)
Dimensions (L x W x H)	1686 x 1016 x 40 mm 66.38 x 40 x 1.57 inch
Front Load	6000Pa
Rear Load	5400Pa
Weight	18 kg
Connector Type	MC4
Junction Box	IP68 with 3 Bypass Diodes
Cables	1000 mm x 2 ea
Glass	High Transmission Tempered Glass
Frame	Anodized Aluminium

Certifications and Warranty

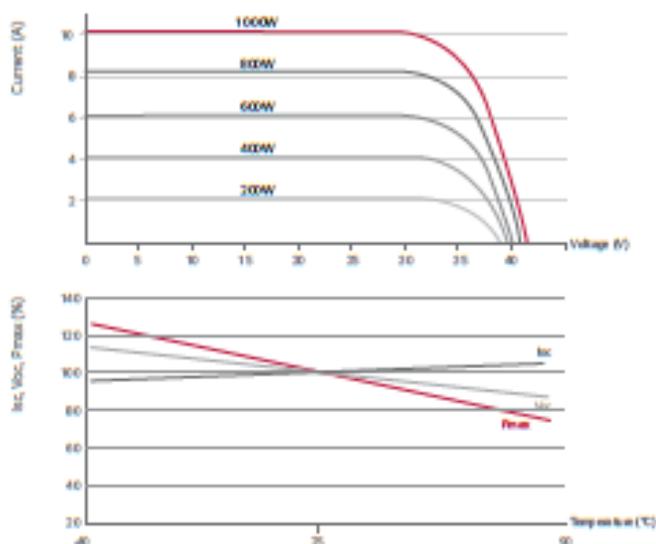
Certifications	IEC 61215, IEC 61730-1/-2 UL 1703 IEC 61701 (Salt mist corrosion test) IEC 62716 (Ammonia corrosion test) ISO 9001
Module Fire Performance (USA)	Type 2
Fire Rating (CANADA)	Class C
Product Warranty	12 years
Output Warranty of P _{max}	Linear warranty**

** 1) 1st year: 98%, 2) After 1st year: 0.55% annual degradation, 3) 25 years: 84.8%

Temperature Characteristics

NOCT	45 ± 3 °C
P _{mp}	-0.37%/°C
V _{oc}	-0.27%/°C
I _{sc}	0.03 %/°C

Characteristic Curves



Electrical Properties (STC *)

Module	LG320N1K-A5
Maximum Power (P _{max})	320
MPP Voltage (V _{mpp})	33.3
MPP Current (I _{mpp})	9.62
Open Circuit Voltage (V _{oc})	40.8
Short Circuit Current (I _{sc})	10.19
Module Efficiency	18.7
Operating Temperature	-40 ~ +50
Maximum System Voltage	1,000
Maximum Series Fuse Rating	20
Power Tolerance (%)	0 ~ +3

* STC (Standard Test Condition): Irradiance 1,000 W/m², Ambient Temperature 25 °C, AM 1.5

* The nameplate power output is measured and determined by LG Electronics at its sole and absolute discretion.

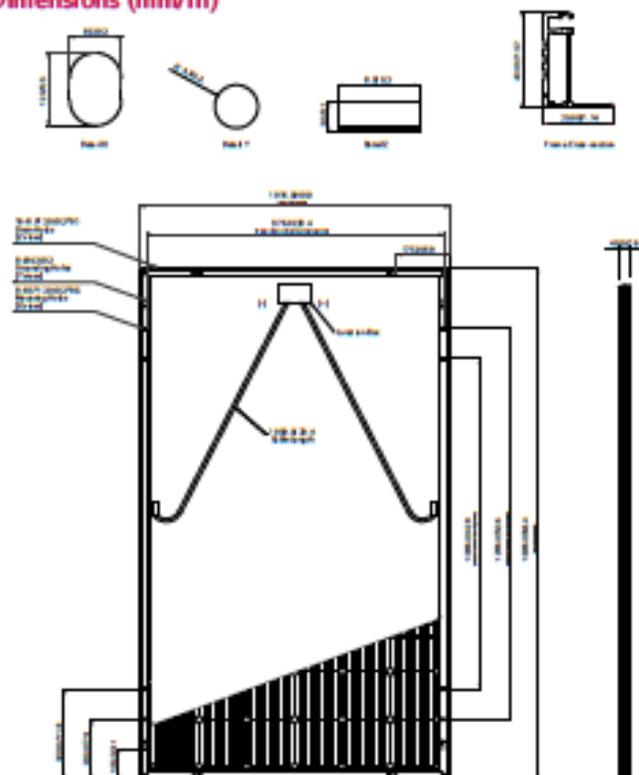
* The typical change in module efficiency at 200 W/m² in relation to 1000 W/m² is -2.0%.

Electrical Properties (NOCT*)

Module	LG320N1K-A5
Maximum Power (P _{max})	236
MPP Voltage (V _{mpp})	30.8
MPP Current (I _{mpp})	7.67
Open Circuit Voltage (V _{oc})	38.0
Short Circuit Current (I _{sc})	8.20

* NOCT (Nominal Operating Cell Temperature): Irradiance 800W/m², ambient temperature 20 °C, wind speed 1m/s

Dimensions (mm/in)



North America Solar Business Team
 LG Electronics USA, Inc.
 1000 Sylvan Ave, Englewood Cliffs, NJ 07632
 Contact: lgsolar@lge.com
 www.lgsolar.usa.com

Product specifications are subject to change without notice.

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 01/01/2017

Innovation for a Better Life





Planning and Land Use Services

2 Fairgrounds Road, Nantucket, Massachusetts 02554

Telephone: 508.325.7587, Fax: 508.228.7298

THIS CHECKLIST IS TO BE SUBMITTED WITH ALL HDC APPLICATIONS

REQUIRED WITH ALL APPLICATIONS:

1. Completed Application Form: Description of ALL work must be indicated on application form.
2. Property Owner's Signature: Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
3. Application Fee: See back of application for fee schedule or call the office.
4. Locus Map (4 copies): Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) <http://www.mapgeo.com/NantucketMA/>.
5. Site Plan (4 Copies): must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and placement of HVAC units, electrical boxes, fuel tanks, etc.
6. 8-1/2" x 11" Copies of ALL Application Materials: Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12), collated and stapled.
7. Photographs: Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
8. Electronic submission: All documents submitted to the HDC office must also be converted to Adobe Acrobat format <http://www.adobe.com/acrobat/>; this is free software that may have come pre-loaded on your computer. Electronic copies can also be created using the scanner located in the Department of Inspectional Services.

REQUIRED WHERE APPLICABLE :

1. Supplemental Information for Historic Buildings: It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application.
2. Exterior Elevations and Floor Plans (4 copies): Must be 1/4"-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. All changes from approved or existing design must be clouded on drawings. All material MUST BE LEGIBLE, collated and stapled. Reduced sets should maintain a font size of 12.
3. As-Built Plans (1copy): of existing elevations
4. Hardscaping Plans (4 copies): To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE, collated and stapled.
5. Topographic Map: Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).
6. Door and Window Schedule (4 copies): Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
7. I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.
8. Abutter Notification Materials - Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and Sconset Historic Core where the requirement for new construction is 100 square feet.
9. Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc.

(initial to indicate read and understand)

14. Michael Scott Con. Assn 08-1595		17 Main Street	Roof/trim/clr chg	42.3.1-178	Topham Design
Voting	Pohl, Coombs, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, advisory comments, and <i>Building with Nantucket in Mind</i> .				
Representing	Joe Topham, Topham Design				
Public	None				
Concerns (7:47)	<p>Topham – Presented project; want to use simulated-divided-light windows (SDL) on the 2nd floor and dormers; Nantucket Hotel is a precedent for 2nd-floor SDLs in the OHD.</p> <p>Backus – Read HSAB comments: more interested in traditional Essex green; want a schedule of existing windows and profile; SDLs would be okay if they were existing.</p> <p>Oliver – Asked if the SDLs will have storms over them (no); doesn't support SDLs right on Main Street.</p> <p>Coombs – The windows should not be SDLs regardless of what HSAB says; guidelines say no SDLs in the OHD and if SDLs were approved in the past, that was a mistake we should not propagate.</p> <p>Camp – We have been saying no SDLs in the OHD; SDLs look clean but not historic.</p> <p>Welch – Definitely should have true-divided-light windows (TDL) on Main Street. Cited companies with insulated-glass TDL panes.</p> <p>Pohl – There were no SDLs in that building.</p>				
Motion	Motion to Hold for more information on TDLs. (Welch)				
Roll-call Vote	Carried //Camp, Coombs, Oliver, Welch, and Pohl-aye			Certificate #	
15. Greg Glowacki 08-1589	11 Millers Lane	Rev. 0392: re-site tertiary	68/124	Val Oliver	
16. Greg Glowacki 08-1590	11 Millers Lane	Rev. 0598: re-site MH	68/124	Val Oliver	
Voting	Pohl, Coombs, Camp, Welch				
Alternates	None				
Recused	Oliver				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Val Oliver, Oliver Design				
Public	None				
Concerns (8:01)	<p>Oliver – Wants to flip the positions of the two structures.</p> <p>No concerns.</p>				
Motion	Motion to Approve as submitted both applications. (Coombs)				
Roll-call Vote	Carried //Camp, Welch, Coombs, and Pohl-aye			Certificate #	HDC2020-08-(as noted)
17. Liam Mackay 08-1600	4 Nautilus Lane	New dwelling	67/176	Val Oliver	
Voting	Pohl, Coombs, Camp, Welch				
Alternates	None				
Recused	Oliver				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Val Oliver, Oliver Design				
Public	None				
Concerns (8:03)	<p>Oliver – Presented project.</p> <p>Camp – Colors are tiny bit heavy for the house but okay.</p> <p>Welch – Appreciates how the lot is being used. No concerns.</p> <p>Coombs – No concerns.</p>				
Motion	Motion to Approve as submitted. (Coombs)				
Roll-call Vote	Carried 4-0//Camp, Welch, Coombs, and Pohl-aye			Certificate #	HDC2020-08-1600
18. Dworetzky-Banse 08-1594	8 Shawkemo Road	Rev. 0392: re-site	43/90	Botticelli & Pohl	
Voting	Coombs (acting chair), Camp, Oliver, Welch				
Alternates	None				
Recused	Pohl				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Lisa Botticelli, Botticelli & Pohl				
Public	None				
Concerns (8:06)	<p>Botticelli – Presented project.</p> <p>Welch – In terms of visibility, the east elevation with the most exposed basement area is not visible from Shawkemo.</p> <p>Oliver – No concerns.; the north elevation won't be visible.</p> <p>Camp – No concerns.</p>				
Motion	Motion to Approve as submitted. (Oliver)				
Roll-call Vote	Carried 4-0//Welch, Camp, Oliver, and Coombs-aye			Certificate #	HDC2020-08-1594

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS
for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

AX MAP N^o: 42.3.1 PARCEL N^o: 178 ^{UNITS} 1/2/3
Street & Number of Proposed Work: 17 MAIN STREET
Owner of record: MICHAEL SCOTT CONDO ASSON.
Mailing Address: 1338 BEAR STUMP CIRCLE
RAYNHAM, MA 02767
Contact Phone #: 781-464-1715 E-mail: NOBBYSHOP@COMCAST.NET

AGENT INFORMATION (if applicable)

Name: TOPHAM DESIGN
Mailing Address: 18 HUMMOCK POND ROAD
NANTUCKET, MA 02554
Contact Phone #: 508-221-1530 E-mail: JOSEPH@TOPHAMDESIGNACK.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No.
 Pool (Zoning District _____) Roof Other REPLACE SECOND + THIRD FLOOR WINDOWS
Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____
Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: 1850
Original Date: (FORMERLY KNOWN AS)
Original Builder: THE NOBBY SHOP
Is there an HDC survey form for this building attached? Yes N/A
REVISIONS*
1. East Elevation REPLACE SECOND/THIRD FLOOR Apt. WINDOWS - REPAINT ALL TRIM/SASHES
2. South Elevation DOORS AS NOTED BELOW - CHANGE
3. West Elevation PREVIOUSLY APPROVED ROOF COLOR FROM
4. North Elevation CHARCOAL GRAY TO MOIRE BLACK -
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural (PREVIOUSLY APPROVED)
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Fence: Height: _____
Type: _____
Length: _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer MARVIN - NANTUCKET
Doors* (type and material): TDL SDL Front _____ Rear _____
Garage Door(s): Type _____ Material _____
Landscape materials: Driveways _____ Walkways _____
* Note: Complete door and window schedules are required.

COLORS

Sidewall NTW Clapboard (if applicable) _____ Roof MOIRE BLACK
Trim CLIFFSIDE GRAY Sash BLACK FOREST GREEN Doors BLACK FOREST GREEN
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
Date - 8/24/2020 Signature of owner of record _____ Signed under penalties of perjury _____

17 MAIN STREET

MARVIN 5/8" NANTUCKET PROFILE WOOD INSULATED WINDOW



SITTING ON THE FLOOR ABOUT 2 FEET UNDER THE WINDOW



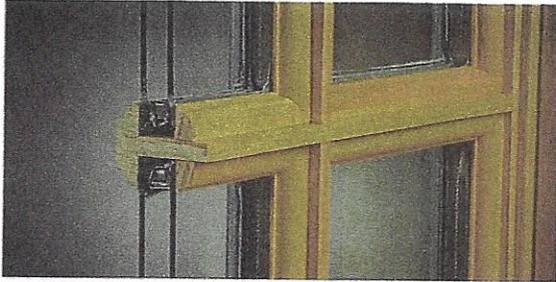


THE ALTERNATE WINDOW SUGGESTED

KOLBE'S TDL INSULATED – THE PROFILE IS NOT APPROPRIATE FOR OLD HISTORIC DISTRICT

appearance of your project. Custom sizes and patterns can help give your project the perfect finishing touch.

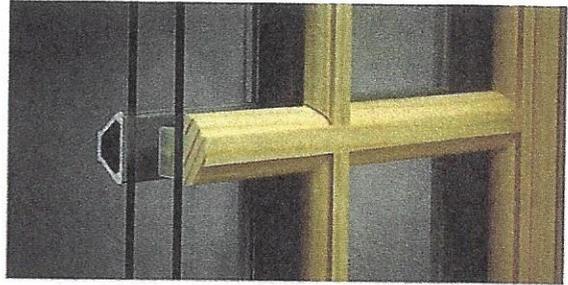
True Divided Lites



Kolbe's true divided lites (TDL) are constructed by placing 1-1/8" wide wood muntin bars in between individual panes of insulating glass. This traditional style is often used in historical restorations or historically accurate recreations. Personalize interior TDL bars with a beveled or ovolo profile, custom patterns, or bar widths.

True divided lites are only available for Heritage Series products.

Performance Divided Lites



Kolbe's performance divided lite (PDL) glazing system gives the appearance of true divided lites without sacrificing energy efficiency. Divided lite bars are adhered to the exterior and interior of the glass, with aesthetically pleasing spacer bars installed between the glass panes, to create the illusion of true divided lites. Interior bars are available with a beveled, ovolo, square or triangular profile, and in various widths depending upon the profile. See the individual product pages for the options available within each product line.

**We're for the visionaries.[®]
Find your local showroom and be
inspired.**



City, state or zip code

Find Your Local
Showroom

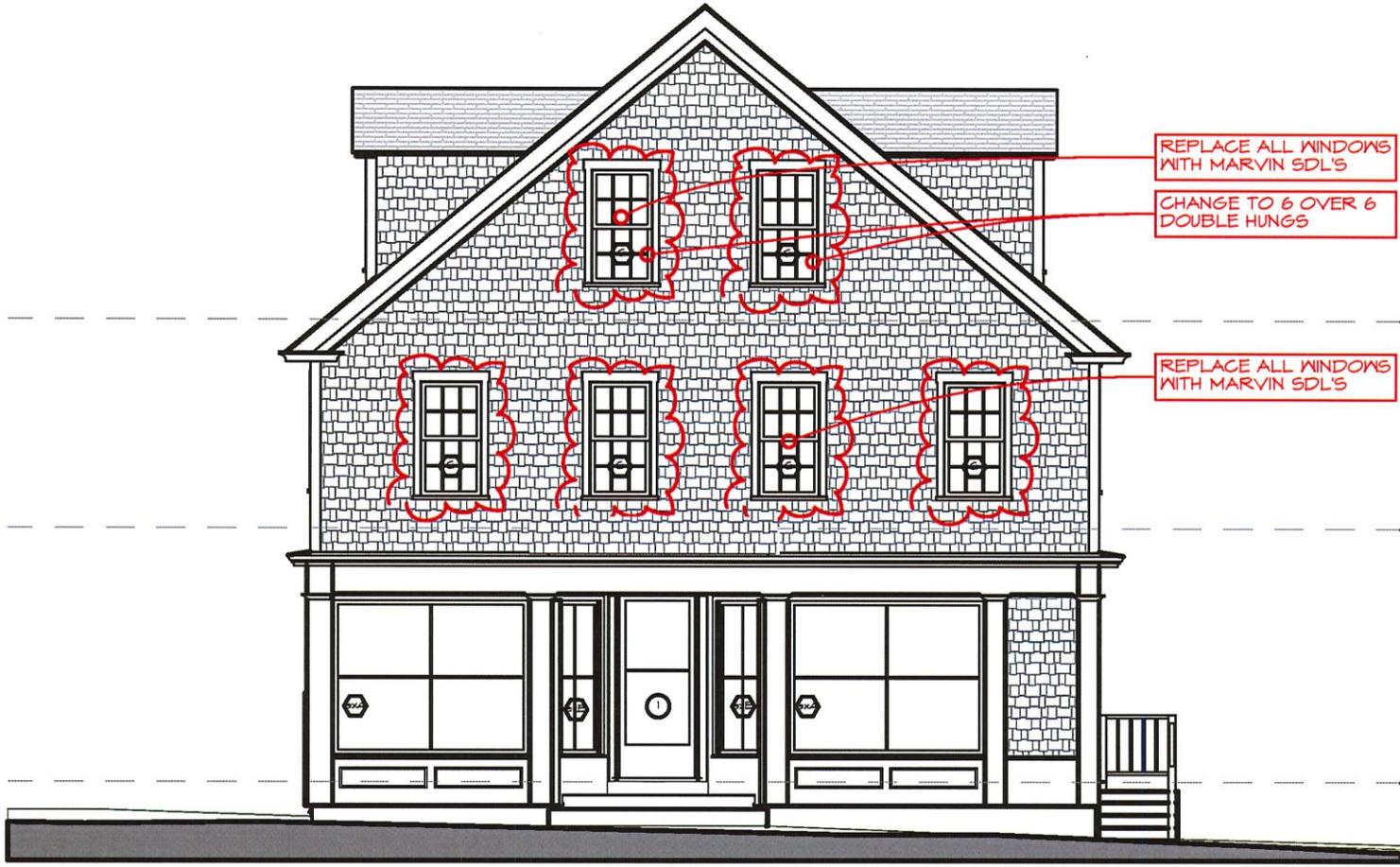


Style & Design
**Divided
Lites**

Create unique configurations
with various widths, colors and
profiles

Make a personal statement with
a one-of-a-kind pattern

Expand the character of your home or project by adding one of our divided lite options to your window or door. Choose anything from a traditional, colonial-style pattern to a unique, custom design to accentuate the overall



REPLACE ALL WINDOWS WITH MARVIN SDL'S

CHANGE TO 6 OVER 6 DOUBLE HUNGS

REPLACE ALL WINDOWS WITH MARVIN SDL'S

THIRD FLOOR PLAN
1-20-50

SECOND FLOOR PLAN
1-11-29

FIRST FLOOR PLAN
1-10-00

SOUTH ELEVATION - MAIN STREET



TOPHAM DESIGN, LLC
18 HUNTCOCK POND RD NANTUCKET MA 02554
TEL.: 508-325-5890 EMAIL: JOSEPH@TOPHAMDESIGNACK.COM

DATE	DATE	DESCRIPTION
	11	

PROPOSED SOUTH ELEVATION

PAID/NO DEBIT NO.:
HDC APPROVAL 10 FEBRUARY 2020 CERTIFICATE NO.:
###

MICHAEL SCOTT REALTY
17 S WATER ST
NANTUCKET, MA 02554

HDC PLANS
2/19/20

PROJECT NO: 2009-01
PLAN NO: 42.3.1 PLAN NO.: 178
ZONING: R-1A ALL OVERLAP Q.C. 30.0%

All drawings are subject to change without notice at the discretion of Topham Design, LLC. The professional seal of the architect is not to be used for any other project without the written consent of Topham Design, LLC.

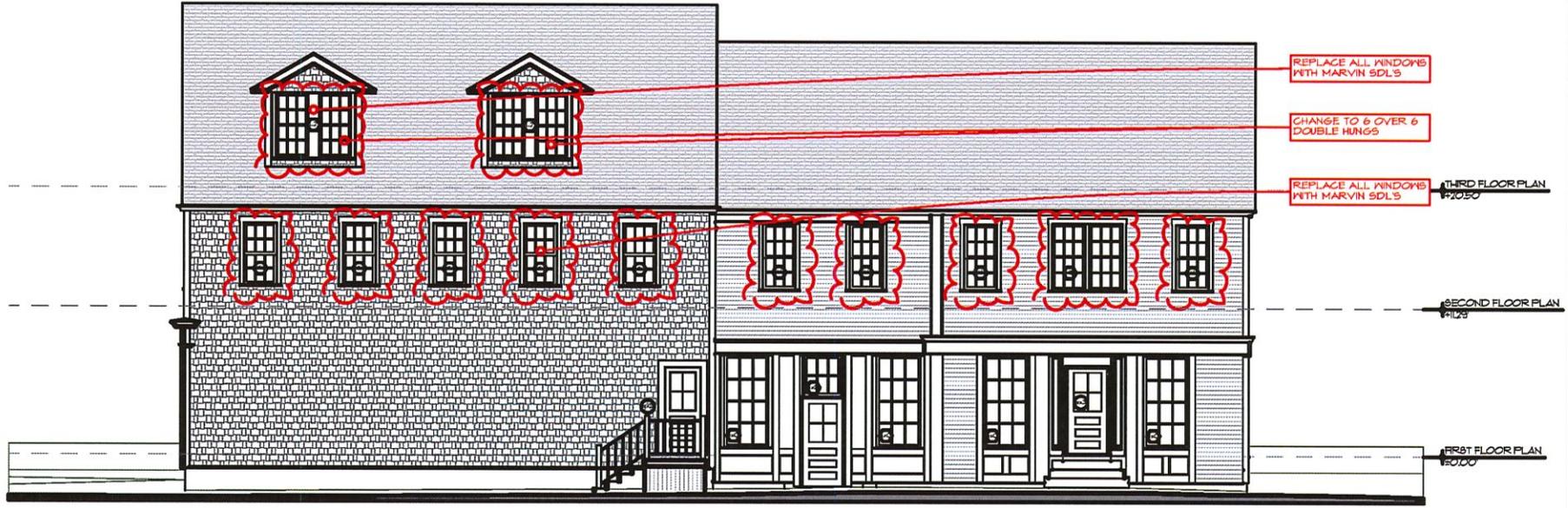
A-2.1



TOPHAM DESIGN, LLC
 18 HUNTING POND RD NANTUCKET MA 02554

TEL.: 508-325-5890 EMAIL: JOSEPH@TOPHAMDESIGNACK.COM

TIME	DATE	DESCRIPTION
	11	



EAST ELEVATION SOUTH WATER ST.

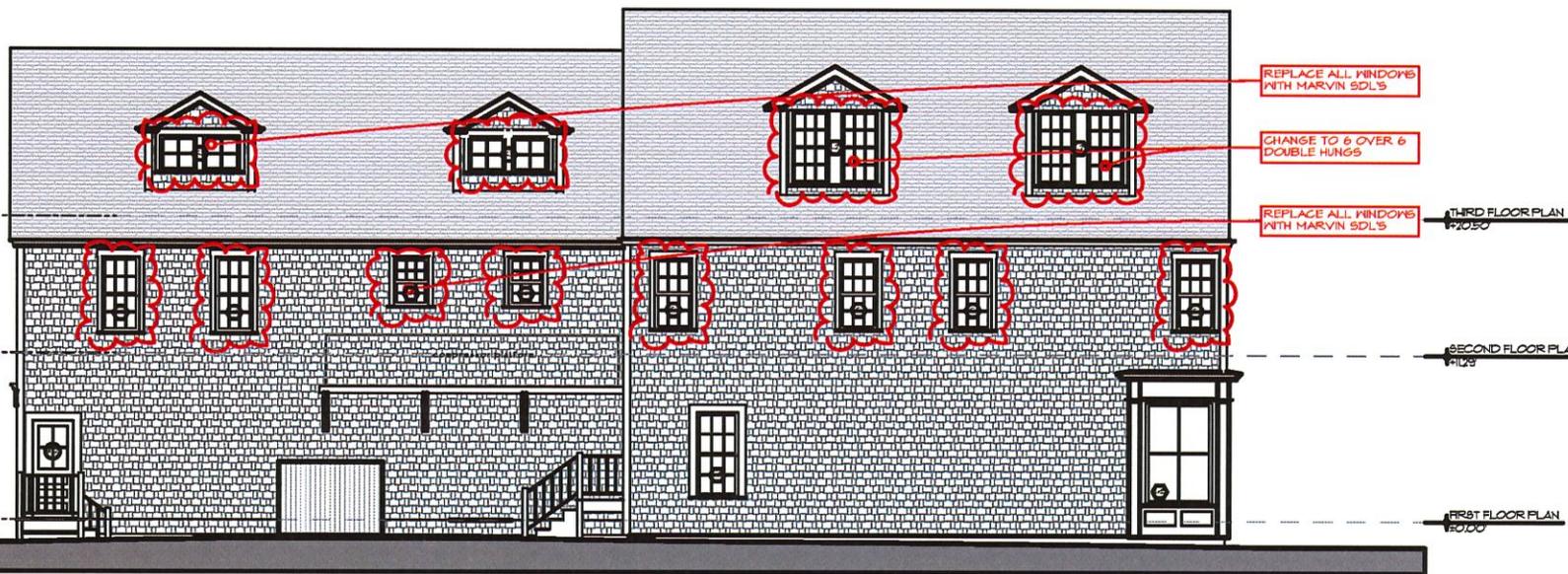
PROPOSED EAST ELEVATION

PALMING TRACT NO.:
 #111
 HDC AFFIDAVIT IN FEBRUARY 2020. CERTIFICATE NO.:

MICHAEL SCOTT REALTY
 17 S WATER ST
 NANTUCKET, MA 02554
 HDC PLANS
 2/19/20

PROJECT NO-2009-011
 PLAN NO.-42.3.1 PLAN NO. 178
 ZONING - R4F ALL OVERLAP GLC-30.024

A-2.2



WEST-COAL ALLEY

- REPLACE ALL WINDOWS WITH MARVIN SDL'S
- CHANGE TO 6 OVER 6 DOUBLE HUNG
- REPLACE ALL WINDOWS WITH MARVIN SDL'S

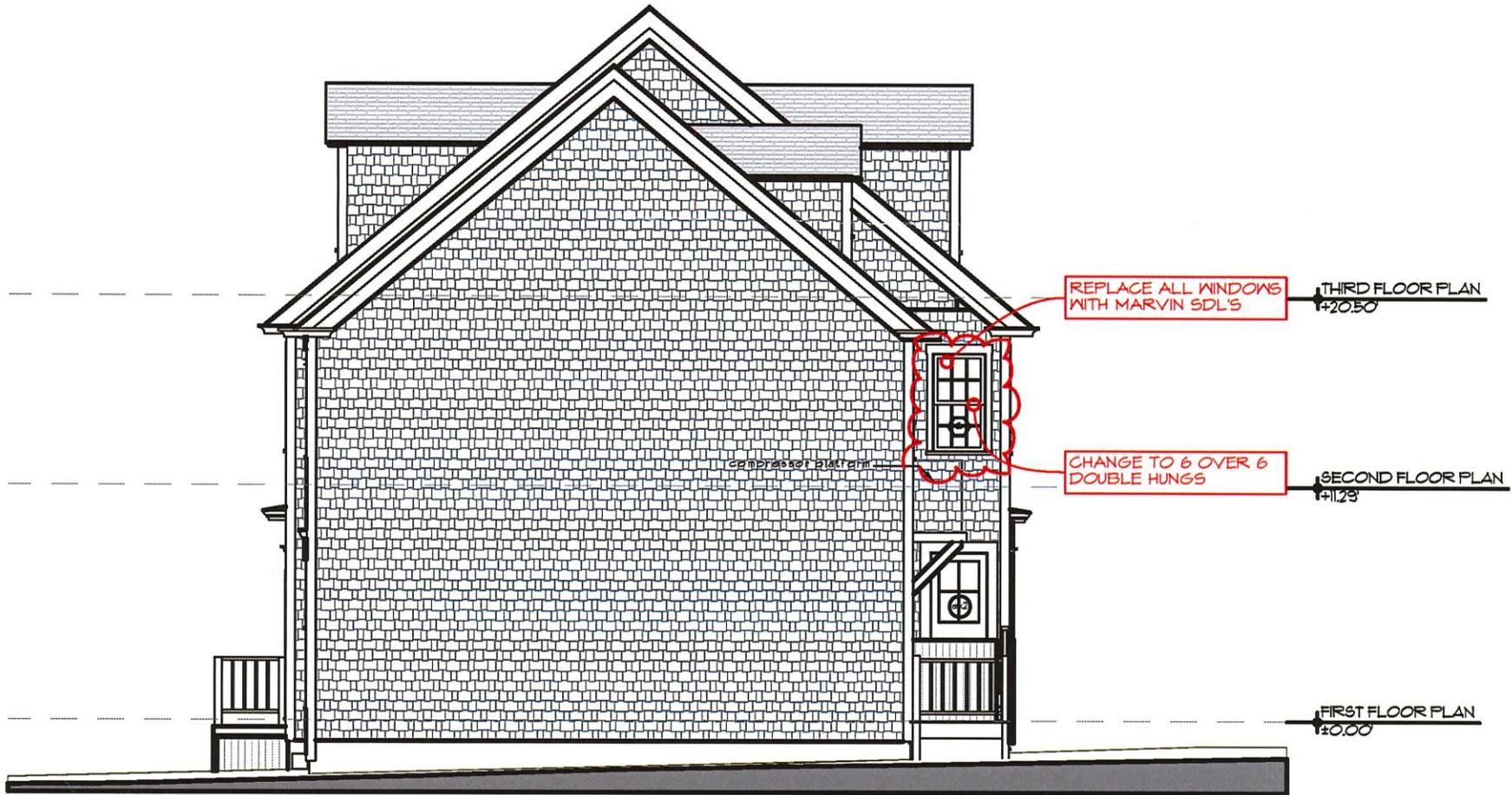
PK#	DATE	DESCRIPTION
	11	

PROPOSED WEST ELEVATION
 PALMISO DOWNTOWN NO. 1
 #111
 REC. OFFICIAL IN NANTUCKET 2020 CERTIFICATE NO.

MICHAEL SCOTT REALTY
 17 S WATER ST
 NANTUCKET, MA 02554
 HDC PLANS
 2/19/20

PROJECT NO-2009-011
 PLAN NO-42.3.1 PLAN NO. 178
 ZONING-141F ALLOWABLE G.C.-30.0%

A-2.3



NORTH



TOPHAM DESIGN, LLC
 18 HUNNMOCK POND RD NANTUCKET MA 02554
 TEL.: 508-325-5890 EMAIL: JOSEPH@TOPHAMDESIGNACK.COM

TRK	DATE	DESCRIPTION
	11	

PROPOSED NORTH ELEVATION

PLANNING BOARD NO.:

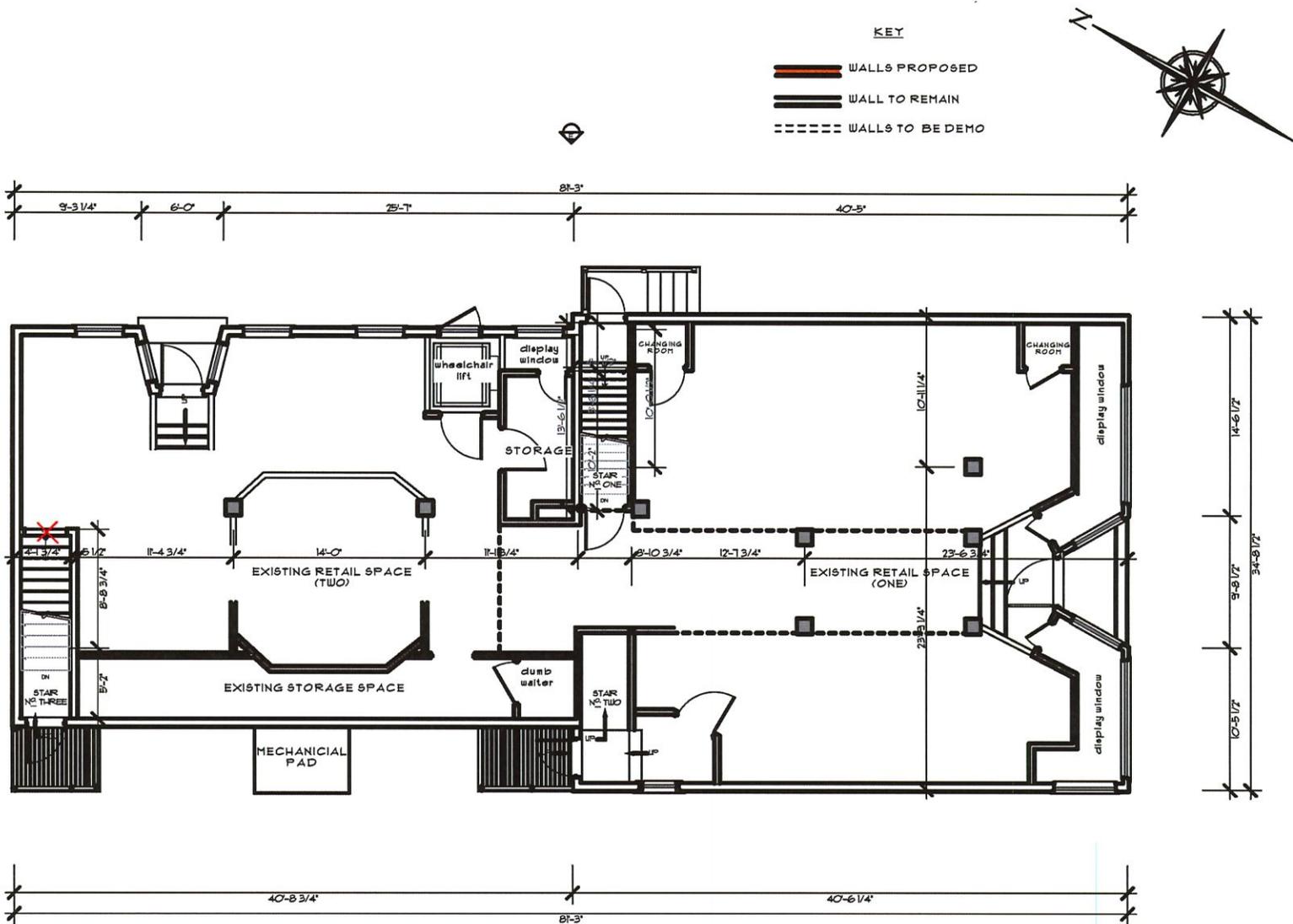
 HDC APPROVAL IS REQUIRED 2020. CERTIFICATE NO.:

MICHAEL SCOTT REALTY
 17 S WATER ST
 NANTUCKET, MA 02554

HDC PLANS
 2/19/20

PROJECT NO-2009-011
 PLAN NO-42.3.1 PLAN NO. 178
 ZONING: R44 ALL OVERLAP C.C.-30.025

A-2.4



FIRST FLOOR

TOPHAM DESIGN, LLC
 18 HUNTING POND RD NANTUCKET MA 02554
 TEL.: 508-325-5890 EMAIL: JOSEPH@TOPHAMDESIGNACK.COM

DATE	BY	DESCRIPTION
11	11	

PROPOSED FIRST FLOOR PLAN - ALTERATIONS

 HDC APPROVAL: 18 FEBRUARY 2020. CERTIFICATE NO.:

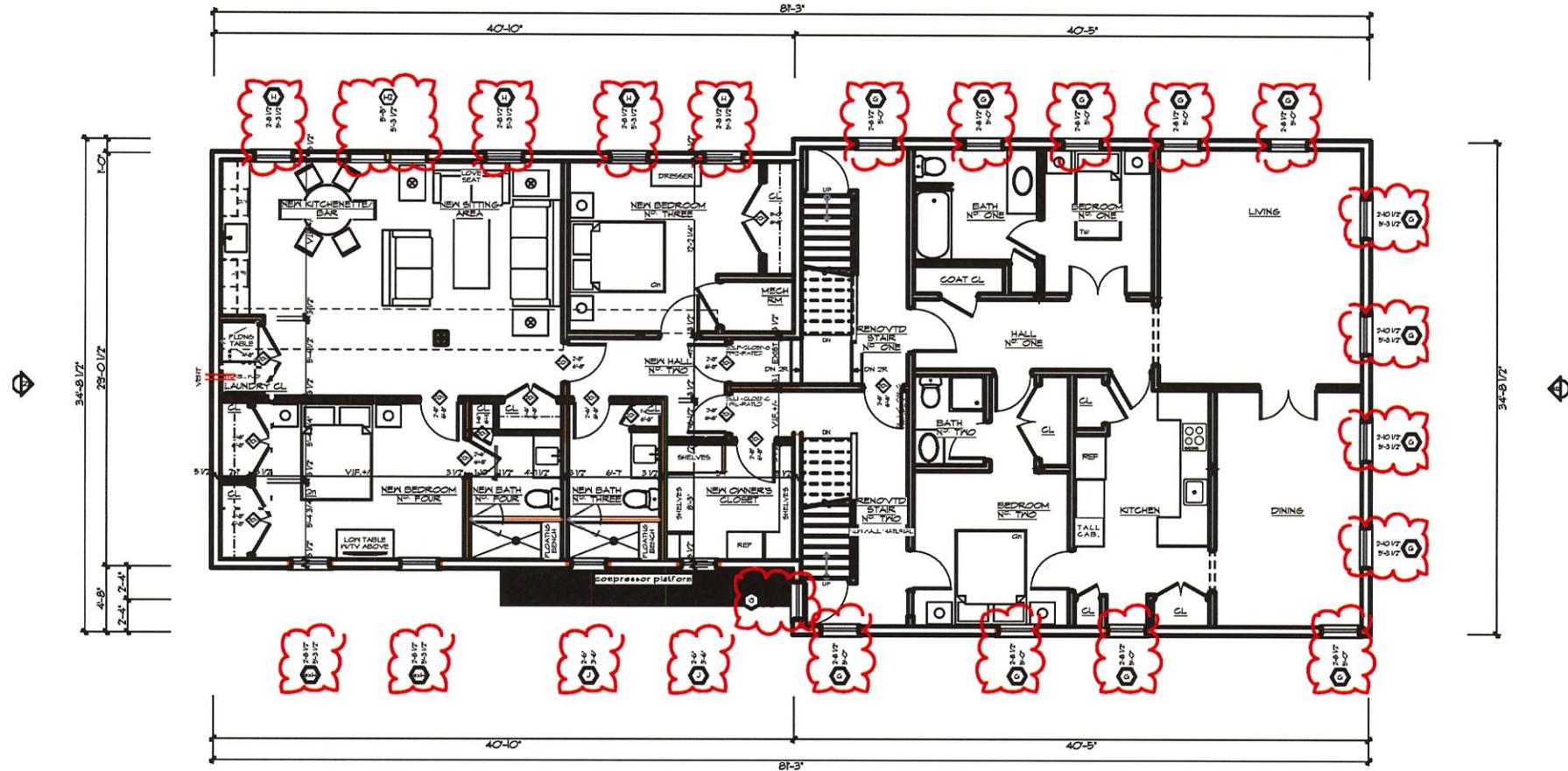
PUBLIC DRAWING NO.:

MICHAEL SCOTT REALTY
 17 S WATER ST
 NANTUCKET, MA 02554

HDC PLANS
 2/19/20

PROJECT NO: 2009-011
 PLAN NO: 42.3.1 PLAN NO. 178
 DRAWING: 1047 REV: 000001 & C-30.005

A-1.1



SECOND FLOOR

- KEY
- WALLS PROPOSED
 - == WALL TO REMAIN
 - - - - - WALLS TO BE DEMO





TOPHAM DESIGN, LLC
 18 HUNTINGTON FOND RD NANTUCKET MA 02554
 TEL.: 508-325-5890 EMAIL: JOSEPH@TOPHAMDESIGNACK.COM

FLR	DATE	DESCRIPTION
	11	

PROPOSED SECOND FLOOR PLAN - ALTERATIONS
 PALMBO REVISION NO.:
 HBC APPROVAL IS REQUIRED. DATE: 2/19/20

MICHAEL SCOTT REALTY
 17 S WATER ST
 NANTUCKET, MA 02554
 HBC PLANS
 2/19/20

PROJECT NO: 2009-011	FLR NO: 42.3.1	FLR NO: 178
DATE: 2/19/20	ALL OVERLAP © C-30.025	

A-1.2

MICHAEL SCOTT REALTY

17 Main St, Nantucket, MA 02554

Window Schedule

21-Feb-20

Marvin Window Schedule

All Windows to be Marvin – Wood Ultimate Double Hung, Fixed or Awning style units as noted per schedule. Double Hungs to have White, Sash Locks only, no finger or sash pulls. Awnings to have White Tilt-Turn type handles. All exterior window casings to be 5/4 x 4 red cedar side casing & 5/4 x 6 head casing per drawings. All screens to be bronze screen framed, with HI Transparency mesh screening. Full screens to match on Awnings. Interiors to be primed Wood. Contractor to determine all jamb widths and extension jamb needs where necessary.

NO.	Type	Manuf.	Unit Dim.	Rough Opening	Lights	Comments
6	Double Hung	Marvin	2'-9 3/4" x 5'-1"	3'-0 3/8" x 5'-5 1/2"	6 over 6	UNDH-302B
62	(2) Double Hung	Marvin	(2) 2'-9 3/4" x 5'-1"	5'-11 3/4" x 5'-5 1/2"	6 over 6	UNDH-302B-2X
J	Double Hung	Marvin	2'-9 3/4" x 3'-4"	3'-0 3/8" x 3'-9 1/2"	6 over 6	UNDH-301B
K2	(2) Casement/ Awning	Marvin	(2) 2'-6 3/4" x 2'-3"	X'-X" x 2'-3 5/8"	4 Light	UAWNPO-322B-2X
L	Double Hung	Marvin	2'-6 3/4" x 4'-9"	2'-10 3/8" x 5'-5 1/2"	6 over 6	UNDH-2B2B
L2	(2) Double Hung	Marvin	(2) 2'-6 3/4" x 4'-9"	5'-1 3/4" x 5'-5 1/2"	6 over 6	UNDH-2B2B-2X
ex5	EX Skylight		2'-4 3/4" x 3'-0"		1	

General Notes

- 1 All windows to be double glazed w/ 5/8" SDL by Marvin Window Co. Provide Low E Storm glass panel, typ. Muntin configuration as shown on drawings.
- 2 Contractor to provide tempered glass in all locations as required by code.
- 3 Mill shop to provide shop drawings for all window and door units to architect for approval.
- 4 Provide all windows, including sidelights, transoms, and fixed windows, with storm/screens by Marvin color to match note above.
- 5 Mount storm screen units on blind stop.
- 6 Provide all windows with red cedar 5/4 x 4 side casing and 5/4 x 6 head casing. See drawings and details.
- 7 Contractor to verify all rough opening sizes and quantities on site during rough framing and before placing window order.
- 8 All windows and exterior doors will have mahogany finish on the interior (except jambs and casings).

Revisions: February 21, 2020

Historic District Commission

OLD BUSINESS CHECKLIST



Planning and Land Use Services

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	<u>Sign in submission at Front Desk</u>
(SM)	<u>HDC case number:</u> (ex HDC2020-xx-xxxx), if applicable 05-0895 06-1118
(SM)	<u>Copy of Minutes</u> (application item circled)
(SM)	<u>Reduced (8 1/2 x 11) copy of application</u>
(SM)	<u>Locus Map:</u> 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
(SM)	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
(SM)	Four (4) Large sets of plans <u>at 3/16" or 1/4" scale</u> (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
(SM)	<u>One set reduced plans:</u> 8 1/2 x 11
(SM)	<u>Electronic Submission:</u> Each of the foregoing documents (including this checklist) MUST BE scanned to a single PDF file and emailed to hdcsubmissions@nantucket-ma.gov .
(SM)	<u>Signed Affidavit:</u> see reverse side

Historic District Commission
OLD BUSINESS CHECKLIST

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Old Business submission

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for an Old Business submission have been met.

Signature:  Date: 9.3.2020



HISTORIC DISTRICT COMMISSION REGULAR MEETING

2 Fairgrounds Road
Nantucket, Massachusetts 02554
www.nantucket-ma.gov

Commissioners: Raymond Pohl (Chair), Diane Coombs (Vice-chair), John McLaughlin, Abigail Camp, Vallorie Oliver,
Associate Commissioners: Stephen Welch, Terence Watterson, Jessie Dutra

~~ MINUTES ~~

Thursday, July 2, 2020

*This meeting was held via remote participation using ZOOM and YouTube,
Pursuant to Governor Baker's March 12, 2020 Order Regarding Open Meeting Law*

Called to order at 1:07 p.m. and announcements by Mr. Pohl

Staff in attendance: Cathy Flynn, Land Use Specialist; Holly Backus, Preservation Planner
 Attending Members: Pohl, Coombs, Camp, Oliver, Welch
 Absent Members: McLaughlin, Watterson, Dutra
 Late Arrivals: Camp, 1:56 p.m.
 Early Departures: Camp, 2:47 p.m.

Motion to Approve the Agenda (Oliver) Carried 4-0//Coombs, Welch, Oliver, and Pohl-aye

I. PUBLIC COMMENT

None

II. NEW BUSINESS

<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1. Christopher Whelan 06-1118	23 Masaquet Avenue	Addition	80-139	Stephen Morrell
Voting	Pohl, Coombs, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Stephen Morrell, GenCon			
Public	None			
Concerns (1:12)	<p>Morrell – Presented project; very wood corner lot; house isn't visible from the road; east elevation ridge height is 24'. Oliver – From south to north it's 69'8 long; from east to west, it's 48' and that ridge is 48 feet. Appreciates much of the design, especially the north. Her overall concern is the variety of windows in size and form; fenestration should be more homogeneous. The dormer on the east elevation is very wide with tiny horizontal windows; suggested a gable dormer, which would break up the horizontality and allow for larger windows. Welch – Agrees with Ms. Oliver; noted the existing home as a number of different window types. East elevation, suggested a faux chimney but this area is fairly wooded. The north elevation post detailing is atypical but not visible. With respect to the dormers, the joiner details on the north elevation dormers could tie all dormers together. Coombs – East elevation, the double-stacked windows should not be visible at all; could use a chimney to break up the massing. The houses in that area are not big rectangles; this has become a big rectangle, 2-story box that needs more additive massing; we've lost all the 1-story elements. There is enough space to bring something down and use a 1-story element. Pohl – It looks like a very long ridge is being created east to west. South elevation, end to end it's very long; the dimensions should be on the drawings – length, width, and height. East elevation faces Woodbine is his real concern and the fact it faces the road in the event it becomes visible; would also like to see the long ridge broken up.</p>			
Motion	Motion to Hold for revisions. (Coombs)			
Roll-call Vote	Carried 4-0//Oliver, Welch, Coombs, and Pohl-aye			Certificate #

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 80 PARCEL N°: 139

Street & Number of Proposed Work: 23 MASAQUET AVE

Owner of record: NANCY AND CHRISTOPHER WHELAN

Mailing Address: 193 SOUTH MAIN ST.

COHASSET, MA 02025

Contact Phone #: 781 248 7246 E-mail: NWHELAN@VERIZON.NET

AGENT INFORMATION (if applicable)

Name: STEPHEN MORRELL, AIA

Mailing Address: 323 MANLEY ST

W. BRIDGEWATER, MA 02379

Contact Phone #: 508 272 4477 E-mail: MORRELL@GENDONB.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____

Must be acted on by: _____

Extended to: _____

Approved: _____ Disapproved: _____

Chairman: _____

Member: _____

Member: _____

Member: _____

Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed

Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____

Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 33'-8" Sq. Footage 1st floor: 837 (2250 TOT) Decks/Patio: Size: 201 (564 TOTAL) 1st floor 2nd floor

Width: 28'-2" Sq. footage 2nd floor: 523 (1352 TOTAL) Size: _____ 1st floor 2nd floor

Sq. footage 3rd floor: N/A

Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0

Height of ridge above final finish grade: North 24'-2" South 24'-2" East 24'-2" West 24'-11"

Additional Remarks

Historic Name: _____

Original Date: 4.1.1997

Original Builder: UNKNOWN

Is there an HDC survey form for this building attached? Yes N/A

REVISIONS*

1. East Elevation NEW LIVING ROOM AND SCREEN PORCH ADDITION
 2. South Elevation NEW BEDROOM ADDITION OVER GARAGE
 3. West Elevation EXTENSION OF EXISTING DECK
 4. North Elevation EXTENSION OF BEDROOM TO INFILL UNDER EXISTING ROOF OVERHANG
4. North Elevation NEW BEDROOM OVER GARAGE. NEW FRONT PORCH REMOVAL OF 2 EXISTING WINDOWS. NEW DORMER
- *Cloud on drawings and submit photographs of existing elevations. CHIMNEY DEMO.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8"± Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 10/12 Secondary Mass 6/12 Shed 4/12 Dormer _____ Other _____

Roofing material: Asphalt: 3-Tab Architectural Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): 4" ALUMINUM

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 8" Rake 8" Soffit (Overhang) 6" Corner boards 6" Frieze 6"±

Window Casing 5" Door Frame 5" Columns/Posts: Round - Square 6"

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer ANDERSEN 400 SERIES

Doors* (type and material): TDL SDL Front EXISTING WOOD 6 LITE OVER 2 PANEL Rear 15 LITE (ALUMINUM) Side EXISTING 9 LITE OVER WOOD 2 PANEL

Garage Door(s): Type OVERHEAD Material EXISTING (T&G CEDAR)

Hardscape materials: Driveways STONE (EXISTING) Walkways STONE Walls N/A

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) N/A Roof GRAY (COLONIAL SLATE)
Trim WHITE Sash WHITE Doors _____
Deck NATURAL Foundation GRAY Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 6/8/20 Signature of owner of record N Whelan Signed under penalties of perjury



Property Information

Property ID 80 139
Location 23 MASAQUET AV
Owner KOHA VALDUR TRST



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
 Data updated 11/19/2018

WHELAN RESIDENCE ADDITION AND RENOVATION

23 MASAQUET AVE. NANTUCKET, MA





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T2

PROPOSED RENDERINGS

scale NOT TO SCALE

WHELAN RESIDENCE ADDITION AND RENOVATION

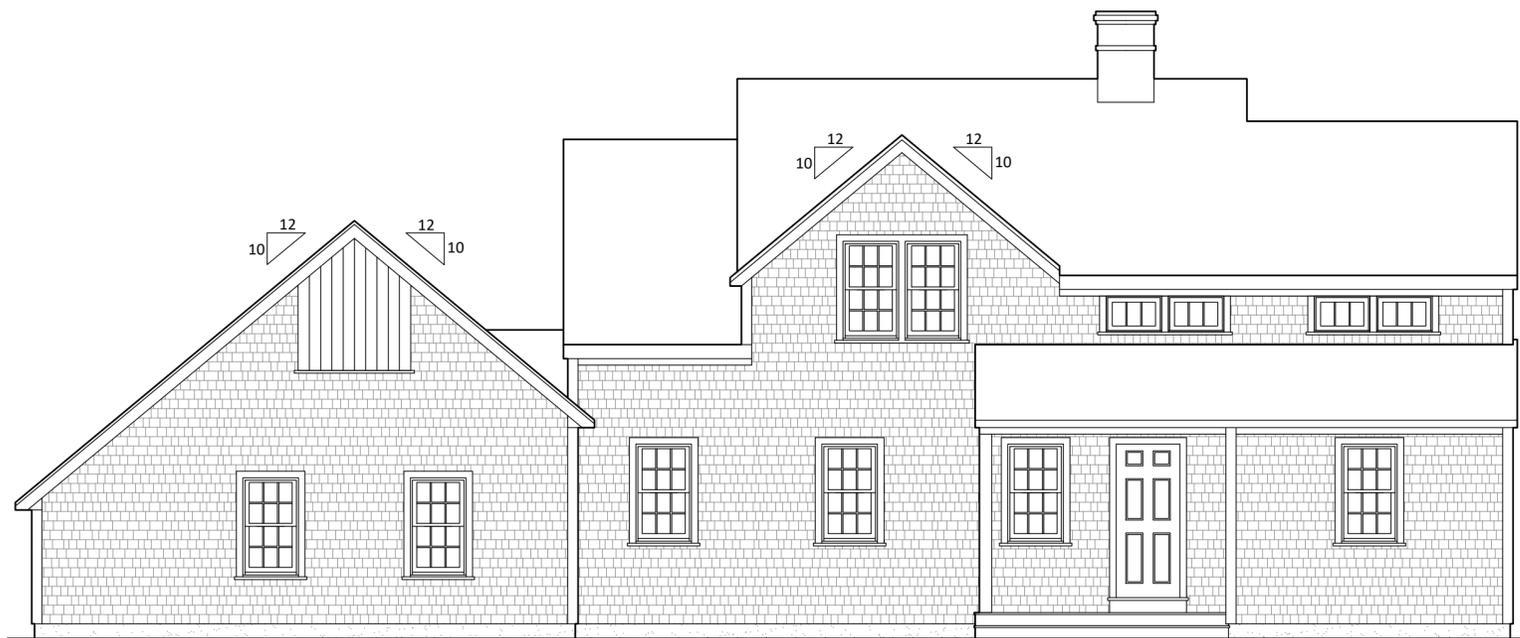
23 MASAQUET AVE. NANTUCKET, MA

project 19651
date 09/02/20

GENCON

www.GenConDB.com

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EXISTING NORTH ELEVATION

SCALE: 3/16" = 1'-0"



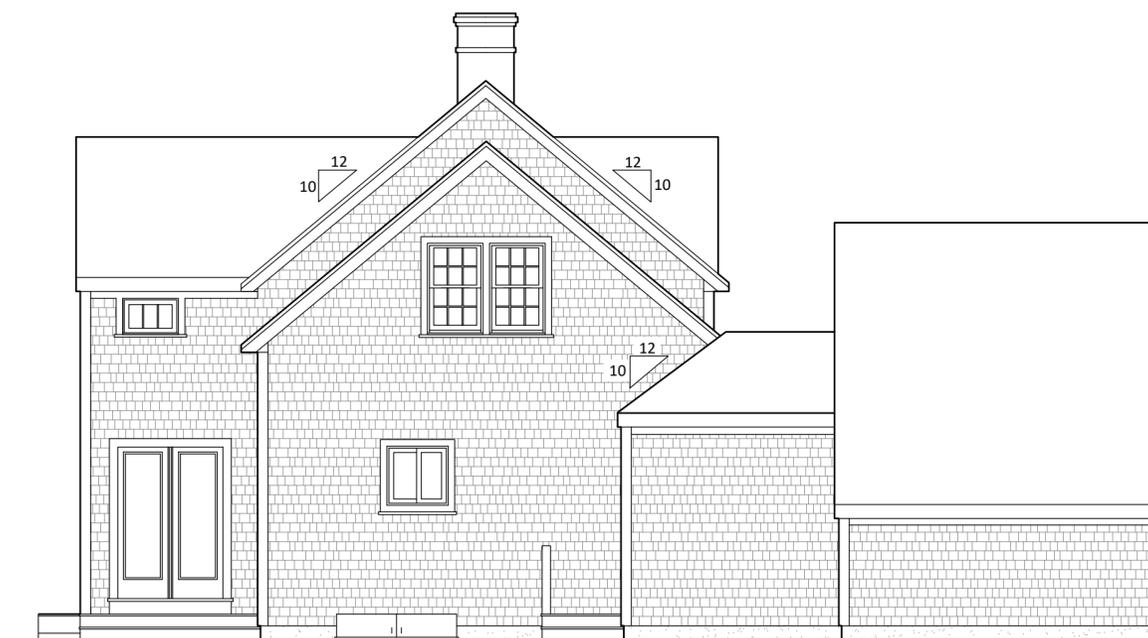
EXISTING WEST ELEVATION

SCALE: 3/16" = 1'-0"



EXISTING SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



EXISTING EAST ELEVATION

SCALE: 3/16" = 1'-0"



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EX1

EXISTING EXTERIOR ELEVATIONS

scale 1/4" = 1'-0"

WHELAN RESIDENCE ADDITION AND RENOVATION

23 MASAQUET AVE. NANTUCKET, MA

project 19651
date 09/02/20

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ADDITION HOUSE RIDGE
EL. = 24'-2"

2ND FLOOR
EL. = 10'-11"
1ST FLR. CLNG.
EL. = 9'-9"

1ST FLOOR
EL. = 1'-10"
GRADE
EL. = 0'-0"



OLD PROPOSED NORTH ELEVATION

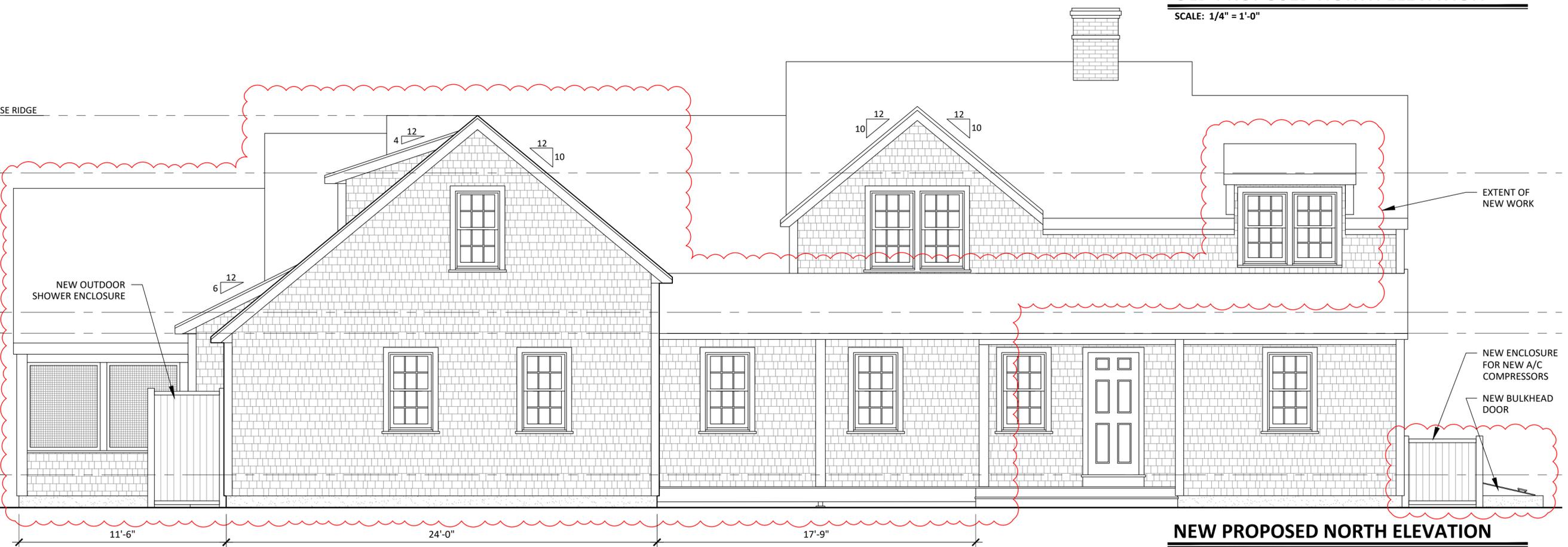
SCALE: 1/4" = 1'-0"

ADDITION HOUSE RIDGE
EL. = 21'-11"

2ND FLR. CLNG.
EL. = 18'-8"

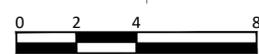
2ND FLOOR
EL. = 10'-11"
1ST FLR. CLNG.
EL. = 9'-9"

1ST FLOOR
EL. = 1'-10"
GRADE
EL. = 0'-0"



NEW PROPOSED NORTH ELEVATION

SCALE: 1/4" = 1'-0"



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A1

NORTH EXTERIOR ELEVATIONS

scale 1/4" = 1'-0"

WHELAN RESIDENCE ADDITION AND RENOVATION

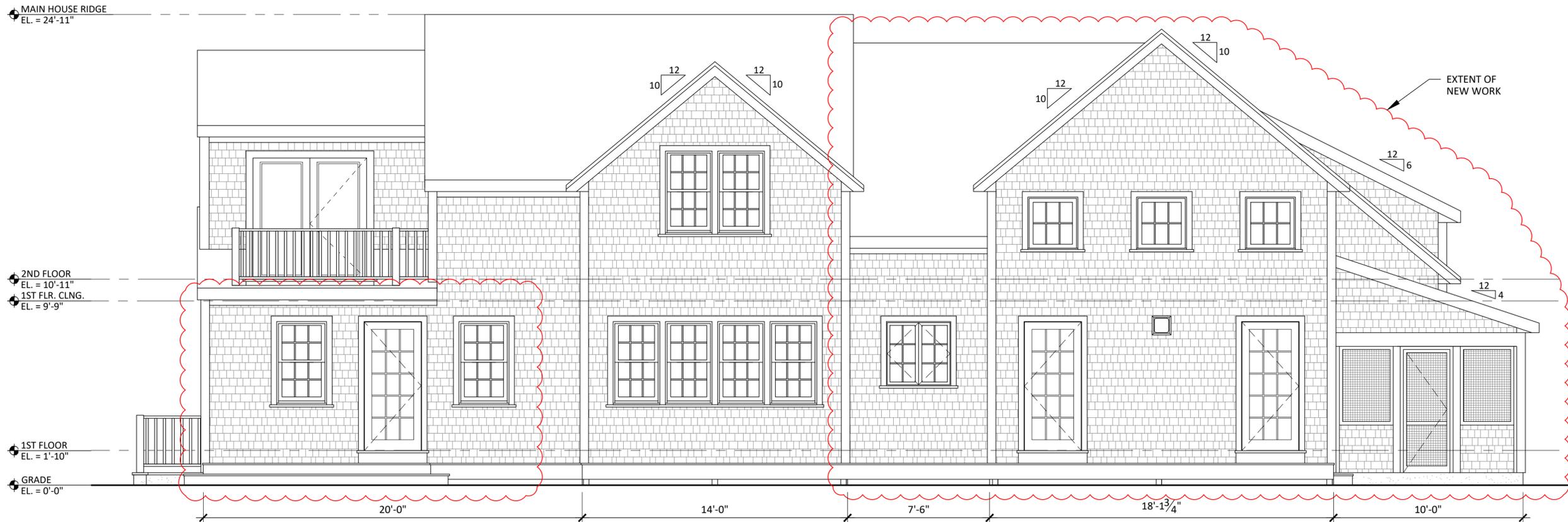
23 MASAQUET AVE. NANTUCKET, MA

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GENCON

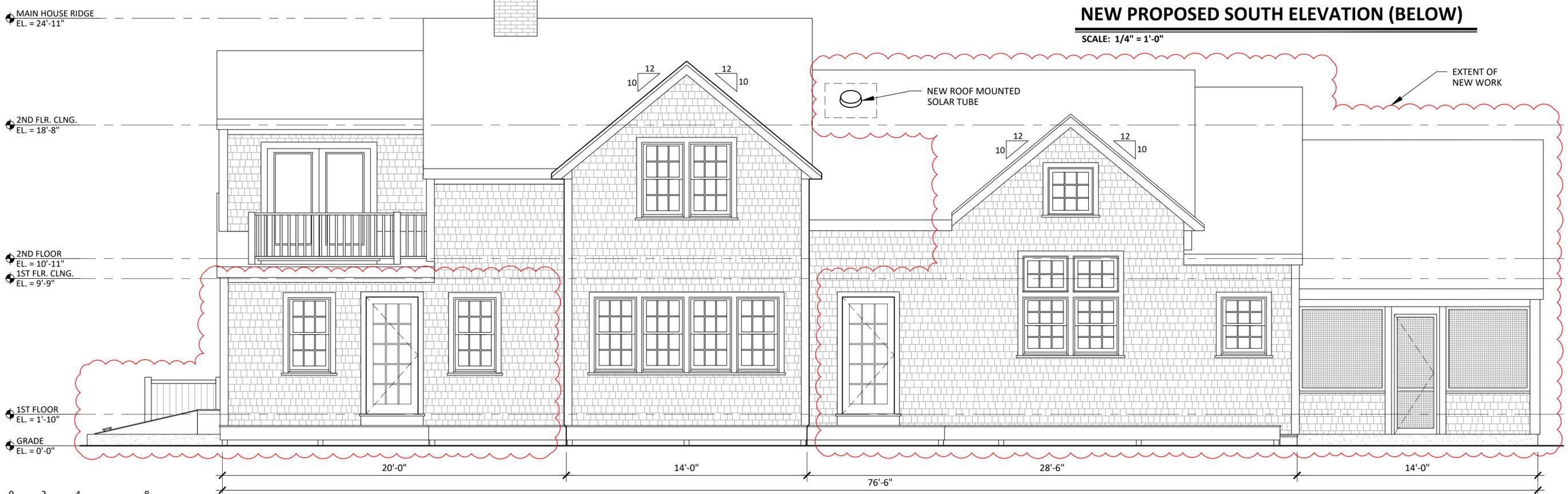
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OLD PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



NEW PROPOSED SOUTH ELEVATION (BELOW)

SCALE: 1/4" = 1'-0"



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A2

PROPOSED SOUTH EXTERIOR ELEVATIONS

scale 1/4" = 1'-0"

WHELAN RESIDENCE ADDITION AND RENOVATION

23 MASAQUET AVE. NANTUCKET, MA

project 19651
date 09/02/20

GENCON

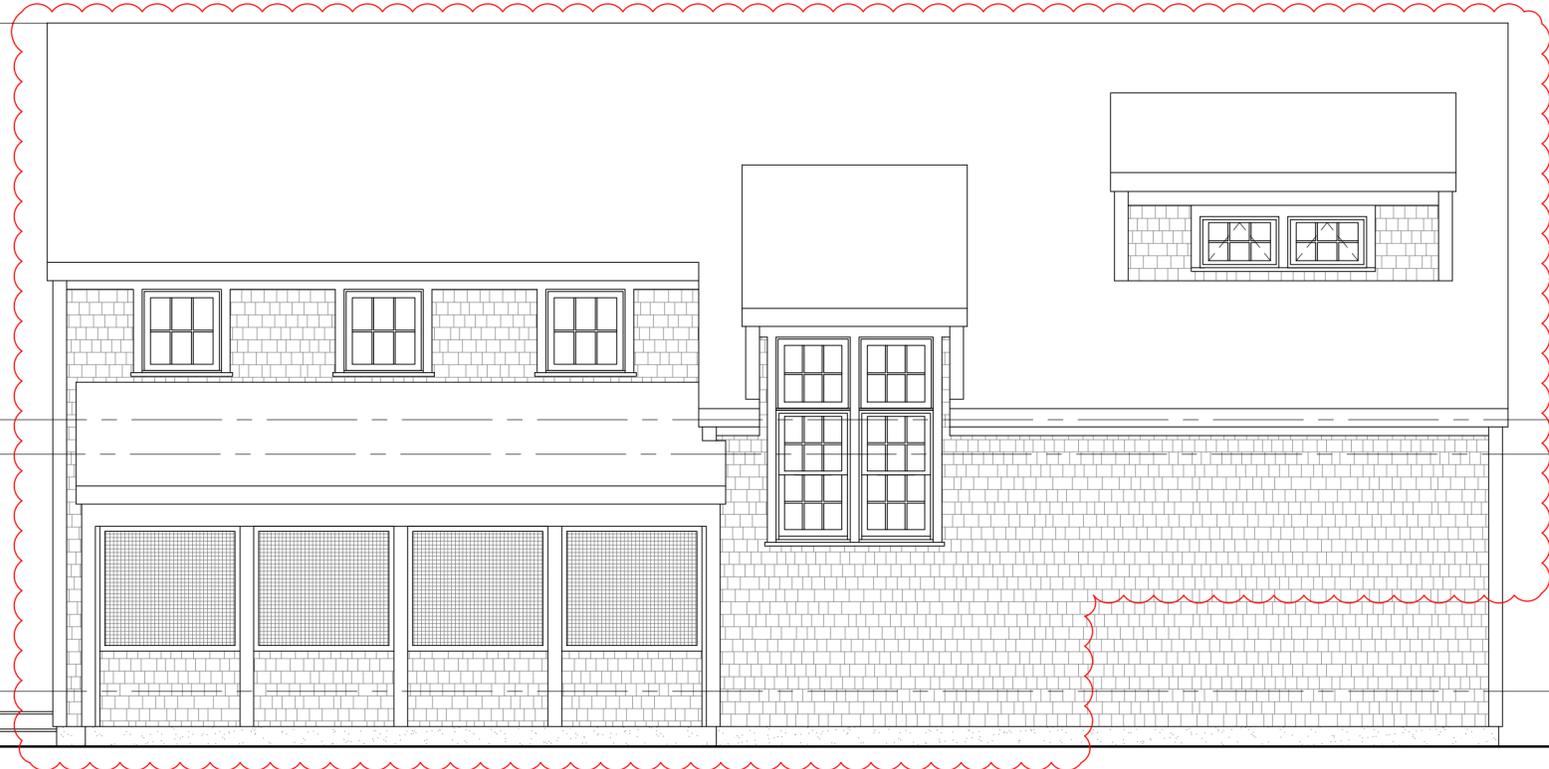
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ADDITION HOUSE RIDGE
EL. = 24'-2"

2ND FLOOR
EL. = 10'-11"
1ST FLR. CLNG.
EL. = 9'-9"

1ST FLOOR
EL. = 1'-10"
GRADE
EL. = 0'-0"



EXTENT OF
NEW WORK

OLD PROPOSED EAST ELEVATION

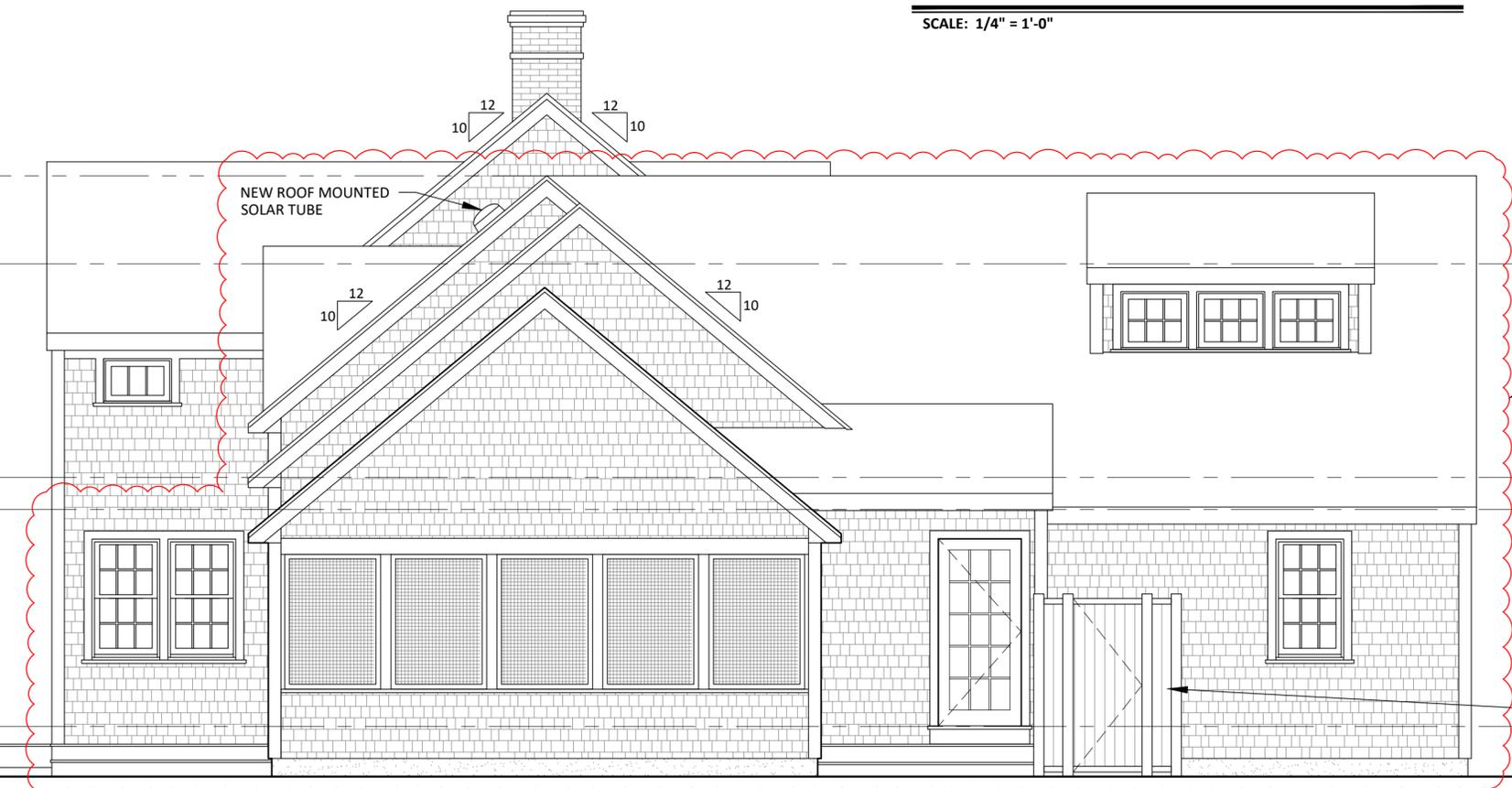
SCALE: 1/4" = 1'-0"

ADDITION HOUSE RIDGE
EL. = 21'-11"

2ND FLR. CLNG.
EL. = 18'-8"

2ND FLOOR
EL. = 10'-11"
1ST FLR. CLNG.
EL. = 9'-9"

1ST FLOOR
EL. = 1'-10"
GRADE
EL. = 0'-0"



NEW ROOF MOUNTED
SOLAR TUBE

EXTENT OF
NEW WORK

NEW OUTDOOR
SHOWER ENCLOSURE

NEW PROPOSED EAST ELEVATION

SCALE: 1/4" = 1'-0"



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A3

PROPOSED EAST EXTERIOR ELEVATIONS

scale 1/4" = 1'-0"

WHELAN RESIDENCE ADDITION AND RENOVATION

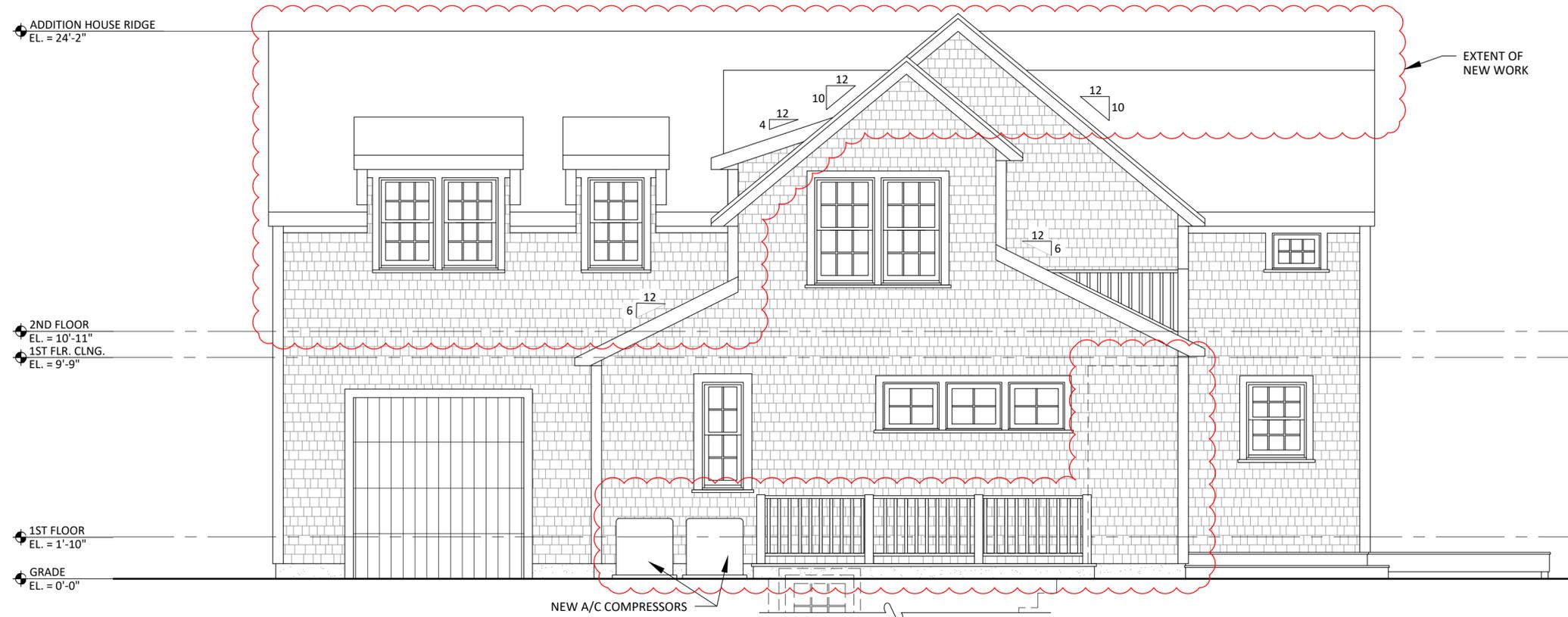
23 MASAQUET AVE. NANTUCKET, MA

project 19651
date 09/02/20

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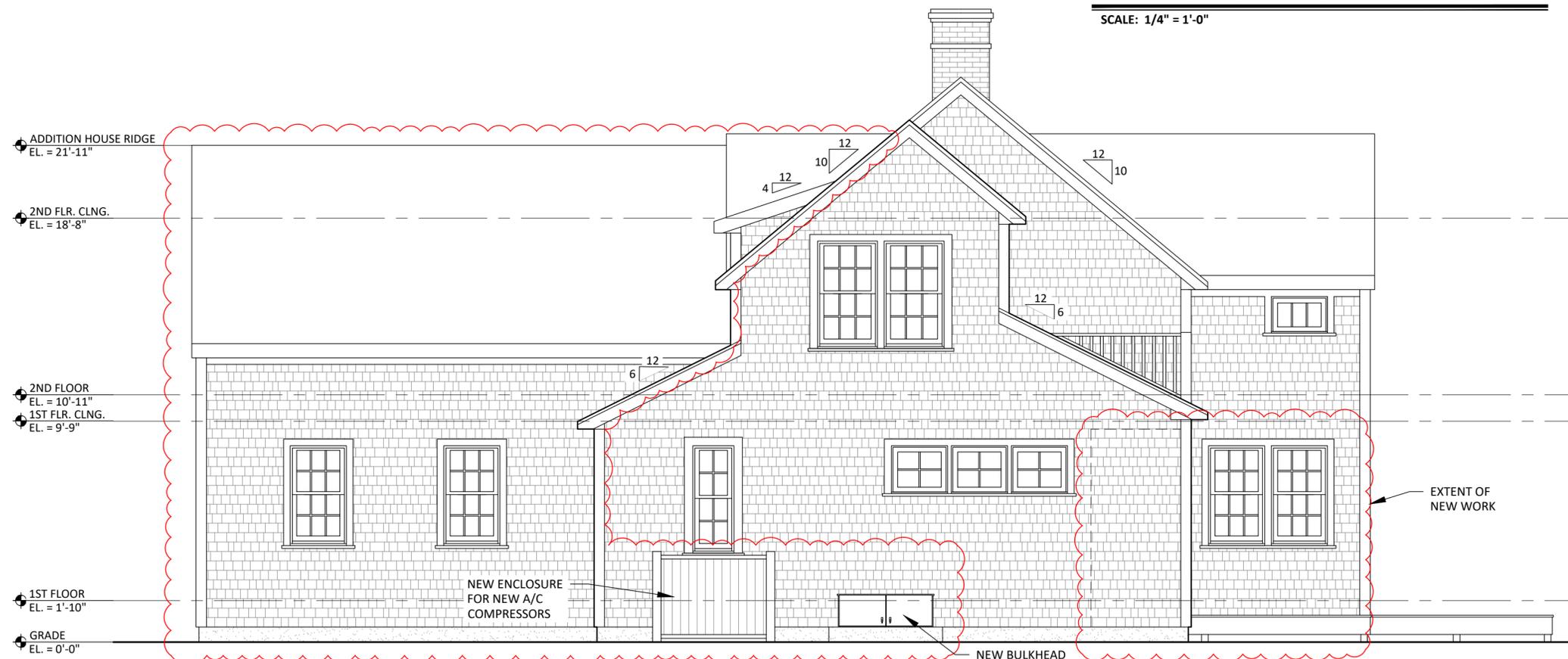
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OLD PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



NEW PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"



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A4

PROPOSED WEST EXTERIOR ELEVATIONS

scale 1/4" = 1'-0"

WHELAN RESIDENCE ADDITION AND RENOVATION

23 MASAQUET AVE. NANTUCKET, MA

project 19651
date 09/02/20

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WINDOW SCHEDULE

TYPE	QUANTITY	WIDTH	HEIGHT	R.O. WIDTH	R.O. HEIGHT	TYPE	LIGHTS	MODEL #
A	10	2'-5 5/8"	4'-4 7/8"	2'-6 1/8"	4'-4 7/8"	DOUBLE-HUNG	6 OVER 6	TW2442
B	3	2'-7 5/8"	3'-4 7/8"	2'-8 1/8"	3'-4 7/8"	DOUBLE-HUNG	6 OVER 6	TW2652
C	2	2'-7 5/8"	2'-1 5/16"	2'-8 1/8"	2'-1 7/8"	TRANSOM	6	TWT26111
D	2	2'-5 7/8"	4'-0 7/8"	2'-6 1/8"	4'-0 7/8"	DOUBLE HUNG	6 OVER 6	TW24310
E	1	2'-7 5/8"	2'-9 5/16"	2'-8 1/8"	2'-9 7/8"	TRANSOM	9	TWT2627
F	3	2'-5 5/8"	2'-1 5/16"	2'-6 1/8"	2'-1 7/8"	TRANSOM	6	TWT24111
G	4	4'-10"	5'-0"	N/A	N/A	SCREEN*	N/A	CUSTOM
H	2	4'-5 5/16"	5'-0"	N/A	N/A	SCREEN*	N/A	CUSTOM
J	1	3'-10 7/8"	5'-0"	N/A	N/A	SCREEN*	N/A	CUSTOM

GENERAL NOTES:

- 1.) REFER TO EXTERIOR ELEVATIONS FOR WINDOW HEIGHTS AND LOCATIONS.
 - 2.) ALL WINDOW TYPES ARE PART OF THE ANDERSON 400 IMPACT SERIES PRODUCT LINE.
 - 3.) ALL WINDOW GLAZING TO BE STORMWATCH[®] PROTECTION HIGH IMPACT GLAZING.
 - 4.) FOLLOW ALL MANUFACTURES INSTALLATION INSTRUCTIONS FOR PROPER FLASHING AND AIR SEALING.
 - 5.) ALL OPERABLE WINDOWS (NOT TRANSOM/FIXED) TO INCLUDE INSECT SCREENS UNLESS NOTED OTHERWISE.
 - 6.) ALL WINDOWS TO BE SIMULATED DIVIDED LIGHTS.
- *INSECT SCREEN WITH WOOD SURROUND, REFER TO EXTERIOR ELEVATIONS.

DOOR SCHEDULE

NO.	HAND	WIDTH	HEIGHT	DR MATL	FR MATL	HW	LIGHTS	MODEL #
100	LH	2'-10"	6'-10"	SC. WD. W/ GLASS	WD	1	9	N/A
101	RH	3'-0"	6'-10"	VINYL CLAD SC. WD. W/ GLASS	WD	1	15	FWO31611AR
102	LH	2'-10"	6'-10"	VINYL CLAD SC. WD. W/ GLASS	WD	1	15	FWO31611AL
103	RH	2'-8"	6'-10"	VINYL CLAD SC. WD. W/ GLASS	WD	1	15	FWO31611AR
104	LH	2'-8"	6'-10"	VINYL CLAD SC. WD. W/ GLASS	WD	1	15	FWO31611AL
105	RH	2'-10"	6'-10"	VINYL CLAD SC. WD. W/ GLASS	WD	1	15	FWO29611AR

**HARDWARE SET 1:
KEYED ENTRY DOOR HARDWARE**

GENERAL NOTES:

- 1.) ALL NEW EXTERIOR DOORS TO BE ANDERSON 400 SERIES PATIO DOORS.
*EXCEPTION NEW DOORS #100-101 TO BE ANDERSON WOOD ENTRY DOOR.
- 2.) ALL DOORS TO BE TRUE FULL DIVIDED LIGHT GRILLES.



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A5

DOOR AND WINDOW SCHEDULES

scale NO SCALE

WHELAN RESIDENCE ADDITION AND RENOVATION

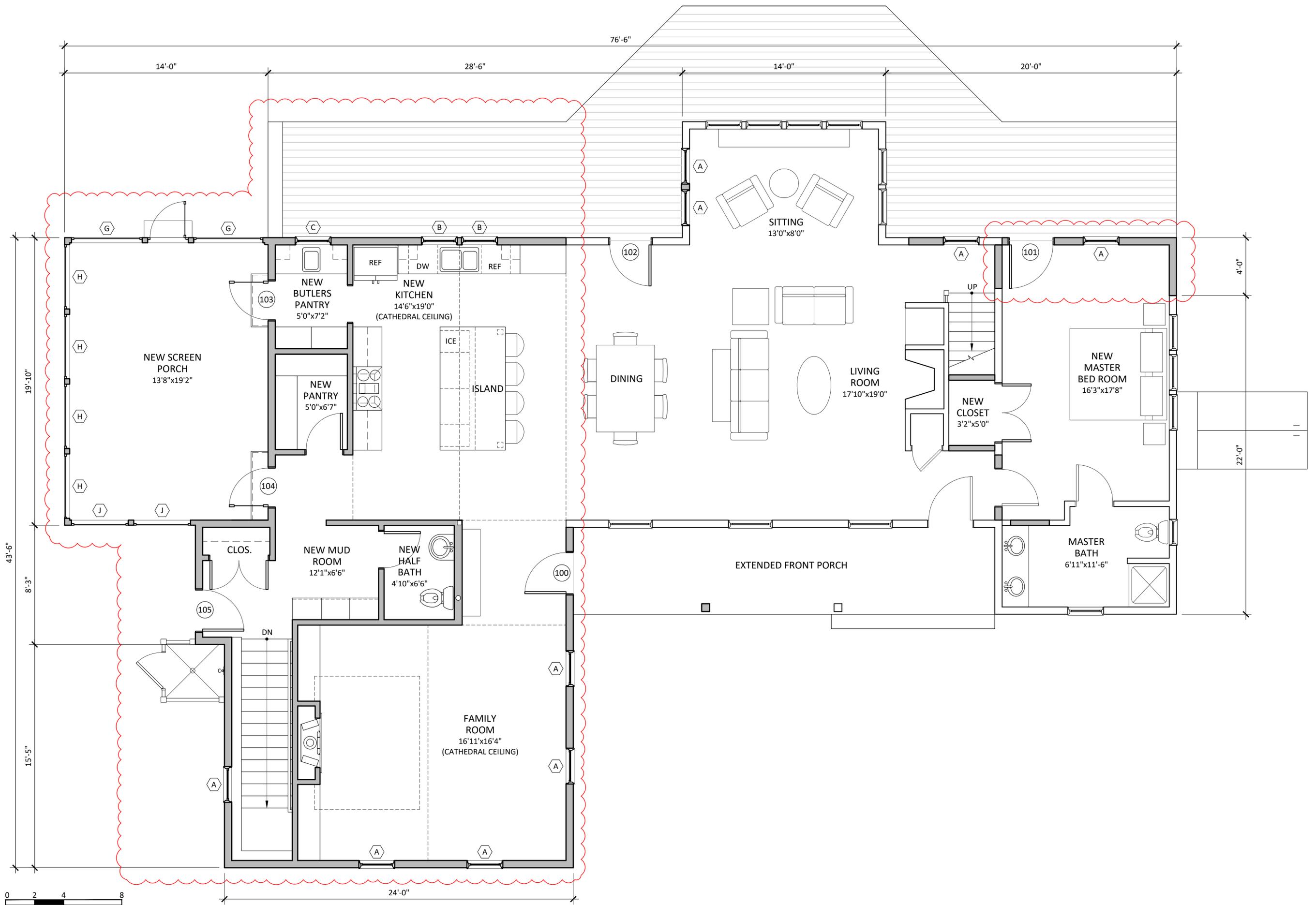
23 MASAQUET AVE. NANTUCKET, MA

project 19651
date 09/02/20

GENCON

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A6

FIRST FLOOR PLAN

scale 1/4" = 1'-0"

WHELAN RESIDENCE ADDITION AND RENOVATION

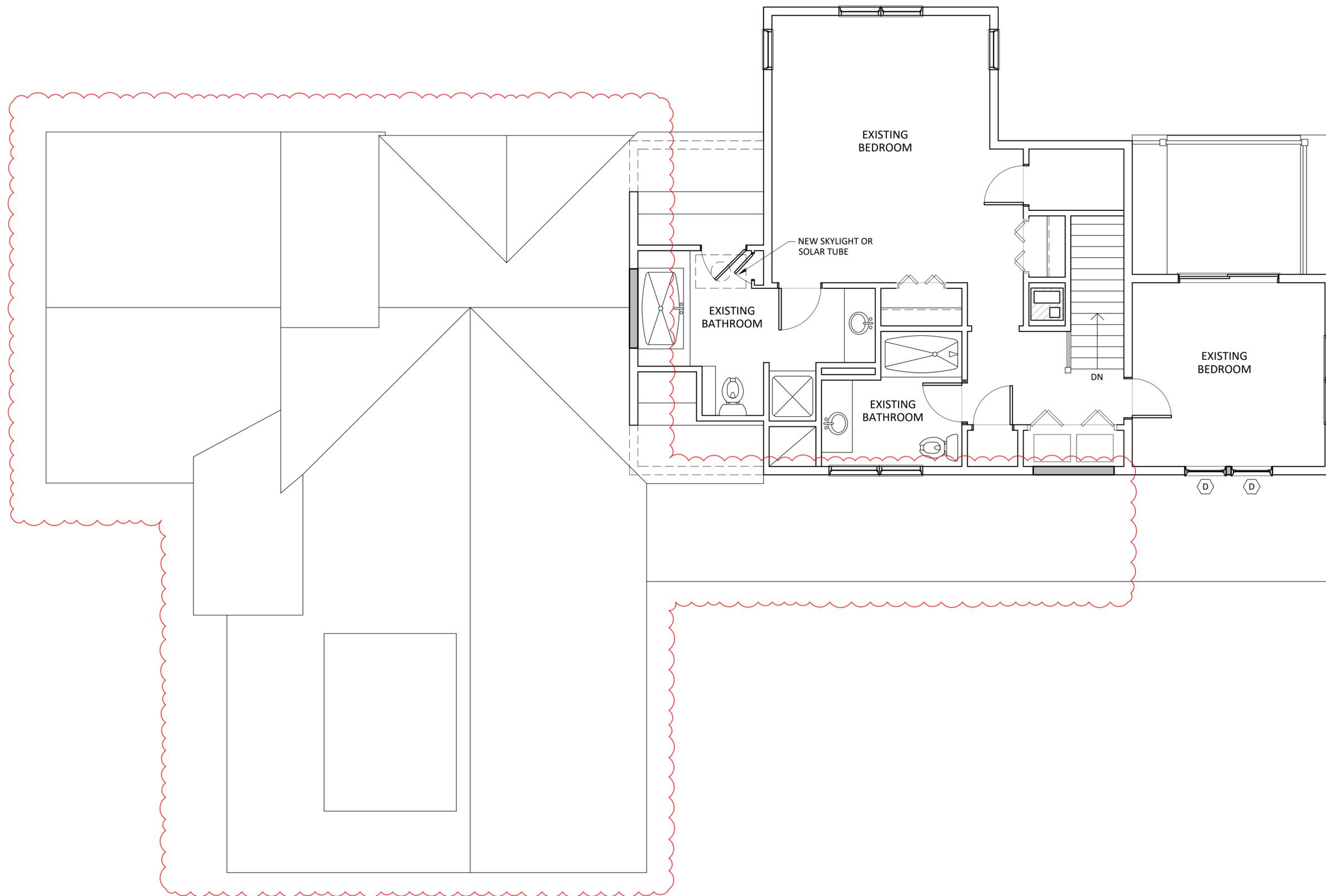
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A7

SECOND FLOOR PLAN

scale 1/4" = 1'-0"

WHELAN RESIDENCE ADDITION AND RENOVATION

23 MASAQUET AVE. NANTUCKET, MA

project 19651
date 09/02/20

GENCON

www.GenConDB.com

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OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 ½ x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 ½ x 11
	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: Anton Dimov Date: _____

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 80 PARCEL N°: 96
Street & Number of Proposed Work: 24 Woodbine St.
Owner of record: Colin James L Tr ETAL
Mailing Address: 24 Woodbine St
Nantucket, MA 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Emeritus Development
Mailing Address: 8 Williams Cv.
Nantucket, MA 02554
Contact Phone #: (508) 325-4995 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 76' 11" Sq. Footage 1st floor: 2,480s Decks/Patio: Size: +/- 1,300 SF 1st floor 2nd floor
Width: 35' 11" Sq. footage 2nd floor: 2,258s Size: +/- 110 SF 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North +/- 6" South +/- 6" East +/- 6" West +/- 6"
Height of ridge above final finish grade: North +/- 26' 9" South +/- 26' 9" East +/- 26' 9" West +/- 26' 9"

Additional Remarks

Historic Name: N/A
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed +/- 8" Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 12/12 Secondary Mass 7 1/2/12 Dormer 6/12 Other covered porch roof 4/12

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) red cedar

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer N/A Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) +/- 24" Corner boards N/A Frieze 1x4
Window Casing 5/4 x 4 Door Frame 5/4 x 4 Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type N/A Material N/A

Hardscape materials: Driveways N/A Walkways N/A Walls N/A

* Note: Complete door and window schedules are required.

COLORS

Sidewall Natural Clapboard (if applicable) N/A Roof Natural
Trim white Sash white Doors white
Deck Natural Foundation Natural Fence N/A Shutters N/A

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 8/11/20 Signature of owner of record _____ Signed under penalties of perjury

and large enough to screen it from all sides. This building should be as quiet as possible. This is too large. *Building with Nantucket in Mind* says do not build on the highest spot; it says that right where Mr. Cohen found his arguments supporting the roof walk.

Oliver – Agrees with much that’s been said. Her biggest concern has been mentioned and that is we should have looked closer to its position on the hill. For her, Madaket Road is not a concern; the vegetation makes it more akin to what’s there. Her concern is the view from Cliff Road; wants the impact of the house mitigated from that direction. She agrees with Mr. Welch that the roof walk isn’t a huge impact; we dropped the ball on siting the house. Agrees about more natural vegetation rather than the Cyprus. Natural brick chimneys would also help.

Coombs – Asked if this should be held for revisions.

Camp – She had concerns on the elevations, wants to see this back.

Dutra – Likes how the roof walk has been kept low and wants that to remain with different alternatives for the chimney(s).

Welch – There are four roof options on the table. He would like to limit the direction of the options: Option A is not approvable. Options C and D are both acceptable. He would agree with Ms. Camp with respect to the sidewall skirting on the rear.

Motion **Motion to Hold for minor revisions. (Camp)**
 Roll-call Vote Carried 5-0/Oliver, Welch, Dutra, Camp, and Coombs-aye Certificate #

2. Conlon, James L Tr. Et al. **08-1526** 24 Woodbine Street Move off/demo dwelling 80/96 Emeritus
 Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and historic documentation.
 Representing Matt MacEachern, Emeritus Development
 Public
 Concerns (5:33) **MacEachern** – Presented project; circa 2001.
 No concerns.

Motion **Motion to Approve as a move off/demolitions. (Oliver)**
 Roll-call Vote Carried unanimously//Coombs, Camp, Welch, Oliver, and Pohl-aye Certificate # **HDC2020-08-1526**

3. Conlon, James L Tr. Et al. **08-1527** 24 Woodbine Street Move off/demo garage 80/96 Emeritus
 Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and historic documentation.
 Representing Matt MacEachern, Emeritus Development
 Public
 Concerns (5:38) **MacEachern** – Presented project, circa 2001.
 No concerns.

Motion **Motion to Approve as a move off/demolitions. (Oliver)**
 Roll-call Vote Carried unanimously//Coombs, Camp, Welch, Oliver, and Pohl-aye Certificate # **HDC2020-08-1527**

4. Conlon, James L Tr. Et al. **08-1511** 24 Woodbine Street New dwelling 80/96 Emeritus
 Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Matt MacEachern, Emeritus Development
 Public
 Concerns (5:39) **MacEachern** – Presented project; houses in this area are all a similar size; it’s tucked back on a large lot. 21 Woodbine is a similar size and scale.

Pohl – West elevation, the gable rake crosses the chimney; asked if that is a deep overhang (yes).

Camp – She’s concerned about the size and its fitting into the neighborhood. Likes the design.

Coombs – Part of this should drop down to one story; this is 60-foot long; there is no additive massing. This is a countrified area, and this is very square and formal looking.

Oliver – Looking at the locus map, she’s not sure this matches other houses in area in size. This is 78 feet long. She supports the house but not attaching the garage, unless it is properly screened.

Welch – The slightly-not-symmetrical works. Agrees a little screening goes a long way in mitigating the perception of the size with the attached garage.

Pohl – Agrees with comments said regarding the overall massing and connecting this to the garage.

Motion **Motion to Hold for revisions. (Camp)**
 Roll-call Vote Carried unanimously//Oliver, Welch, Camp, Coombs, and Pohl-aye Certificate #

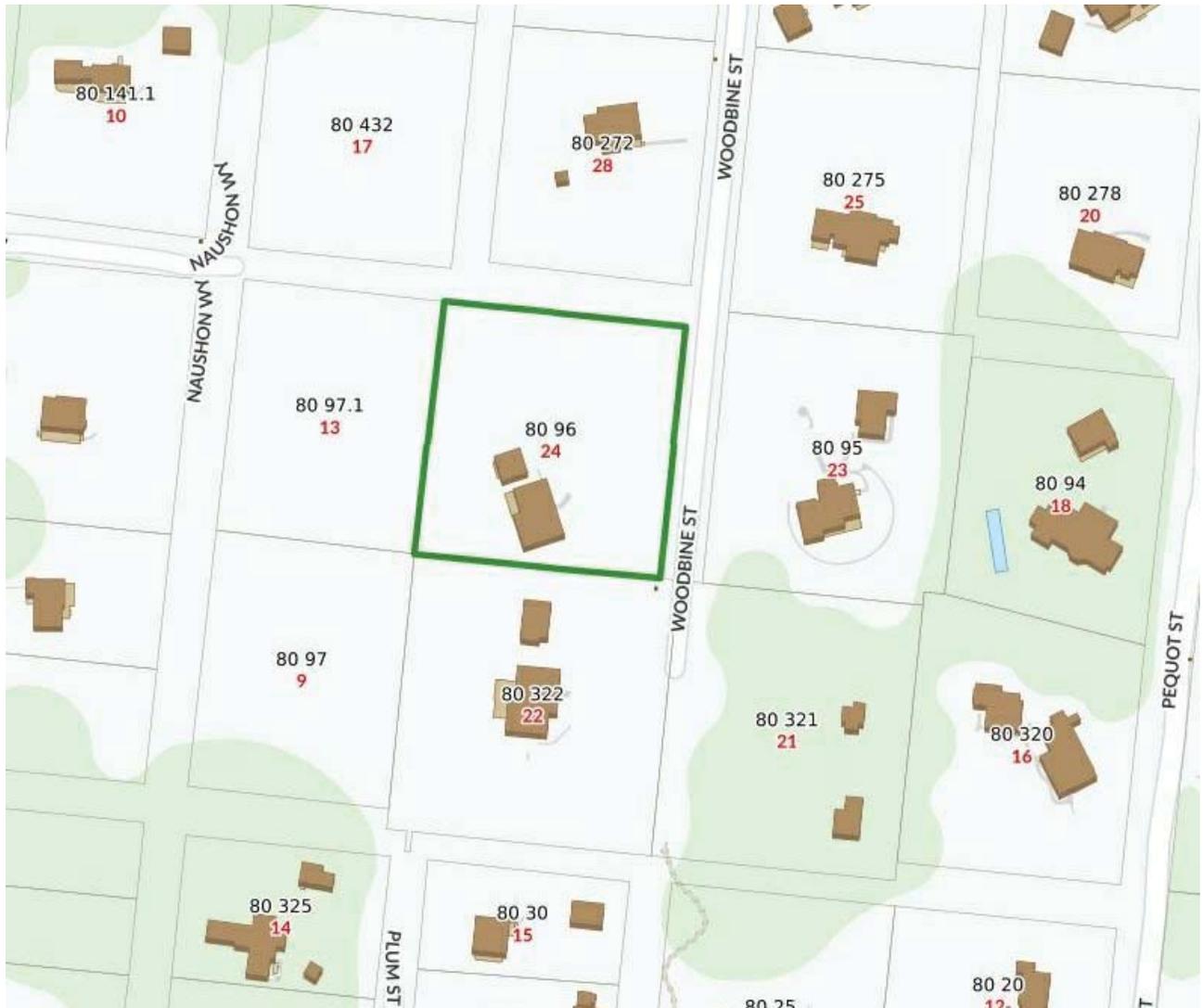
Main House

24 Woodbine Str.

Nantucket, MA 02554



09.17.20



Main House

24 Woodbine Str.
Nantucket, MA 02554



09.17.20

2029

24 Woodbine Str.
Nantucket, MA 02554



Cover Sheet - Main House

Site Information

Map & Parcel:	80 / 96
Current Zoning:	LUG - 1
Minimum Frontage:	100 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft.
Lot Size:	+/- sq.ft.
Min. Lot Size:	40,000 sq.ft.
Allowable G.C.:	sq.ft.
Existing G.C.:	sq.ft.
Proposed G.C.:	sq.ft.
Total Proposed G.C.:	sq.ft.

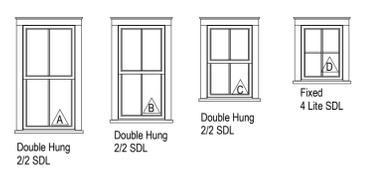
Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

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A.1.1	First Floor Plan
A.1.2	Second Floor Plan
A.2.1	Exterior Elevations
A.2.2	Exterior Elevations
A.2.3	Main House and Garage
A.1.3	Floor Plans and Elevations - Garage
G.1.2	Cover Sheet - Garage
A.1.4	Roof Plan
A.3.1	3D Views - Main House and Garage
A.3.2	3D Views - Guest House & Shed
S.2.1	Framing Sections - Main House
S.2.2	Framing Sections - Main House
S.2.3	Framing Sections - Guest House, Garage & Shed
A.1.5	Floor Plans and Elevations - Guest House
G.1.3	Cover Sheet - Guest House
A.1.6	Floor Plans and Elevations - Shed
G.1.4	Cover Sheet - Shed

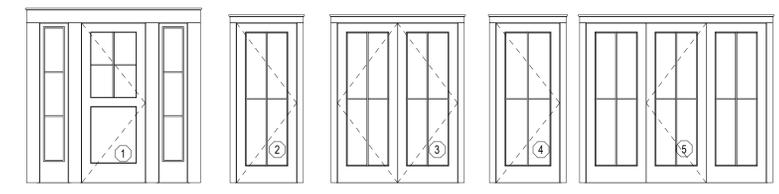


1 Locus Map



Window Legend

WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
A	31	2'-8"	5'-0"	TBD	≥ 30
B	33	2'-5"	4'-6"	TBD	≥ 30
C	13	2'-4"	3'-6"	TBD	≥ 30
D	12	2'-2"	2'-8"	TBD	≥ 30

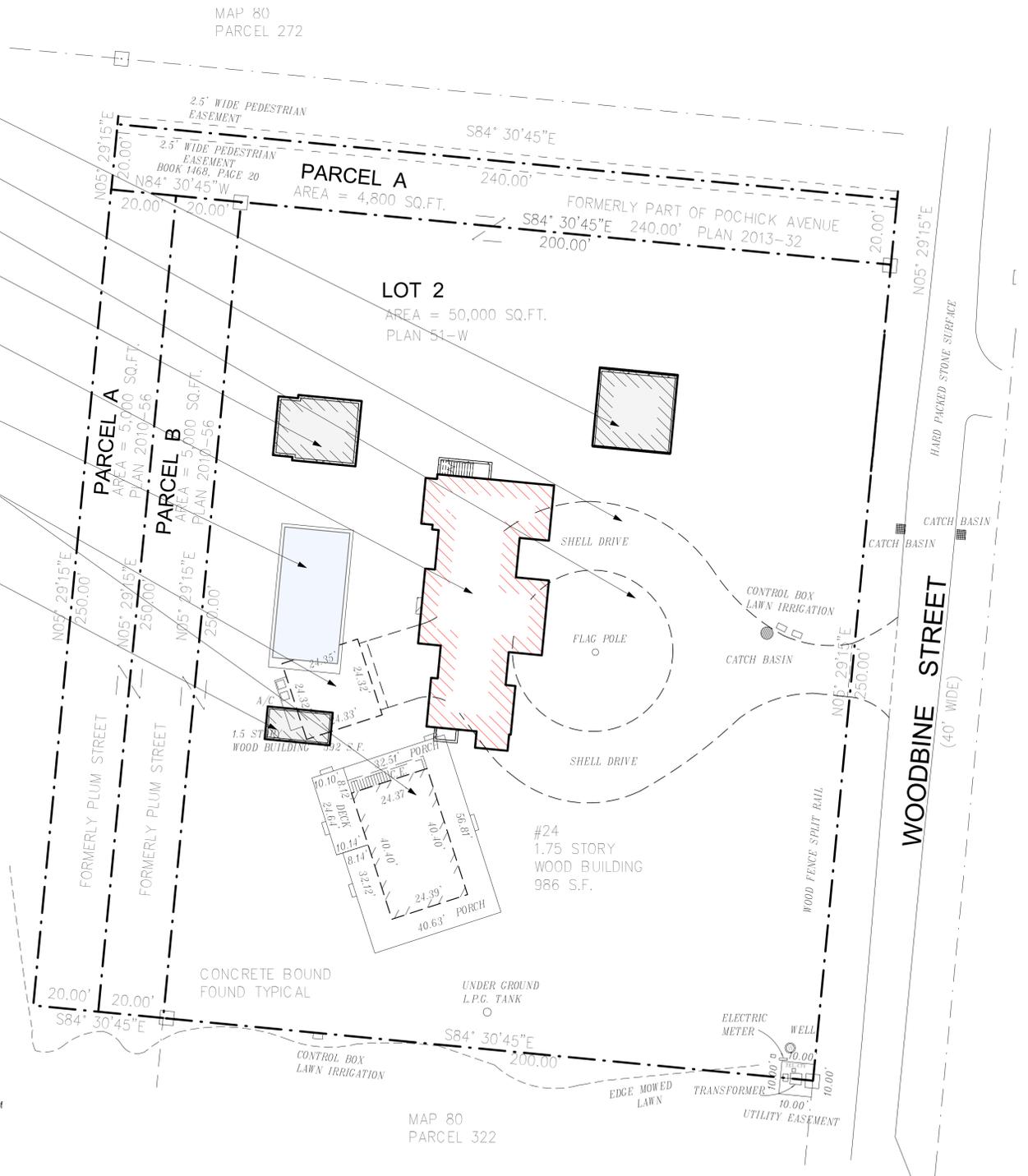


Door Legend

DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
1	1	3'-0"	7'-6"	TBD	≥ 30
2	3	2'-10"	7'-6"	TBD	≥ 30
3	5	5'-8"	7'-6"	TBD	≥ 30
4	1	8'-5"	7'-6"	TBD	≥ 30
5	1	3'-0"	7'-6"	TBD	≥ 30
6	1	8'-5"	7'-6"	TBD	≥ 30
7	1	12'-0"	7'-6"	TBD	≥ 30
8	2	9'-0"	8'-6"	TBD	≥ 30
9	1	12'-0"	7'-6"	TBD	≥ 30

- #### WINDOW & DOOR NOTES
- Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
 - Windows w/ DP Rating of 30 or Greater Required
 - Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
 - Refer To Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
 - Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
 - General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
 - General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
 - Contractor Shall Provide Architect w/ Window & Door Quotes For Quantity & Type Verification Prior To Order
 - Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
 - The Unit Measurements Given In This Document Are For A Guide Only
 - Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing

- New Garage
- Existing Driveway
- Proposed New Driveway
- Proposed Guest House
- Proposed Main Dwelling 2,478 SF
- Proposed Pool 20' x 40'
- Existing Buildings (to be demolished or relocated)
- Proposed Shed



HDC Submission Only

3 Site Plan - Main House

Revisions

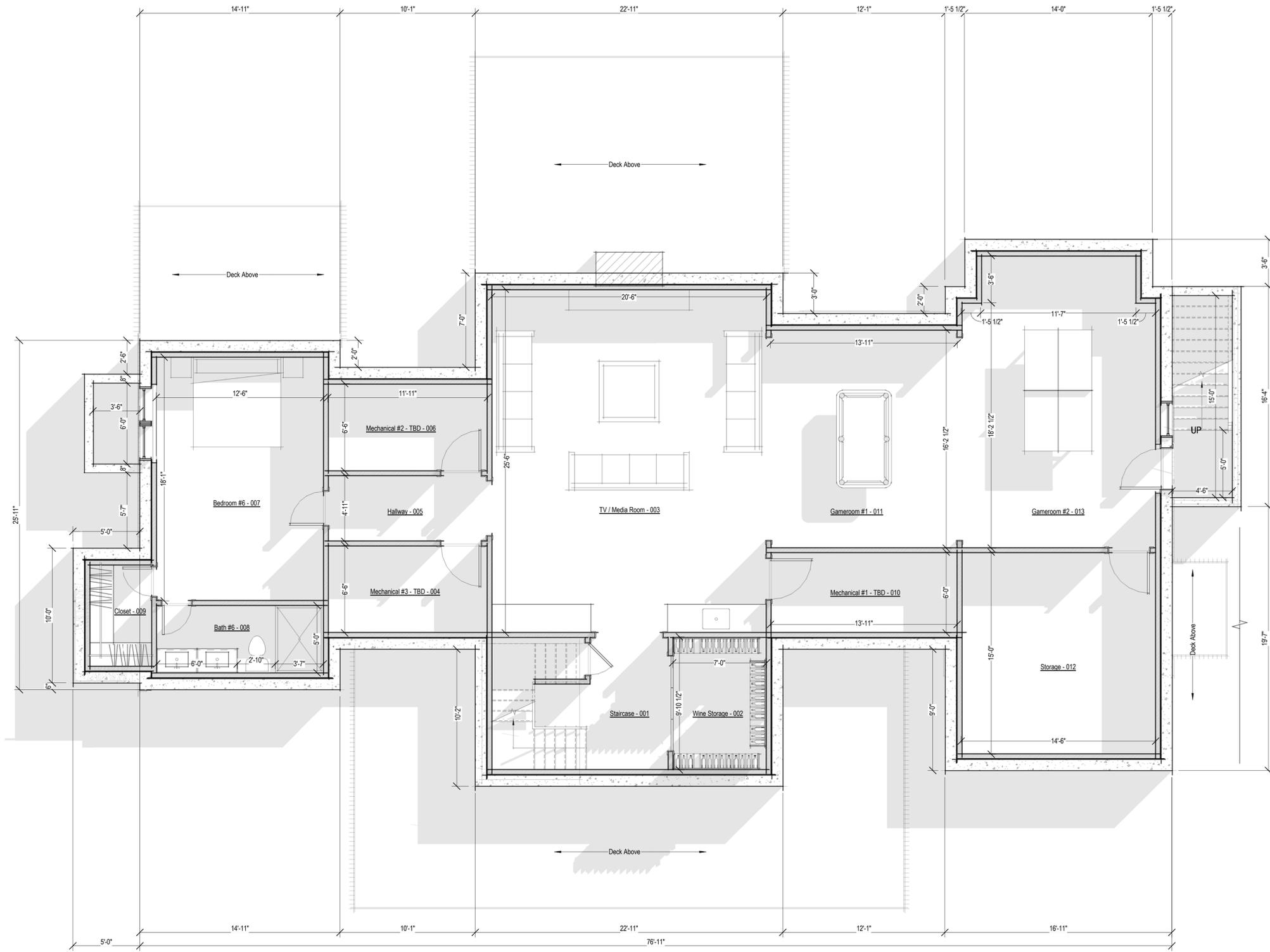
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G.1.1
2029

09.17.20

HDC Submission Only



1 Basement Plan
1/4" = 1'-0"

2029

24 Woodbine Str.
Nantucket, MA 02554



Basement Plan

Site Information

Map & Parcel:	80 / 96
Current Zoning:	LUG - 1
Minimum Frontage:	100 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft.
Lot Size:	+/- sq.ft.
Min. Lot Size:	40,000 sq.ft.
Allowable G.C.:	sq.ft.
Existing G.C.:	sq.ft.
Proposed G.C.:	sq.ft.
Total Proposed G.C.:	sq.ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

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- S.2.2 Framing Sections - Main House
- S.2.3 Framing Sections - Guest House, Garage & Shed
- A.1.5 Floor Plans and Elevations - Guest House
- G.1.3 Cover Sheet - Guest House
- A.1.8 Floor Plans and Elevations - Shed
- G.1.4 Cover Sheet - Shed

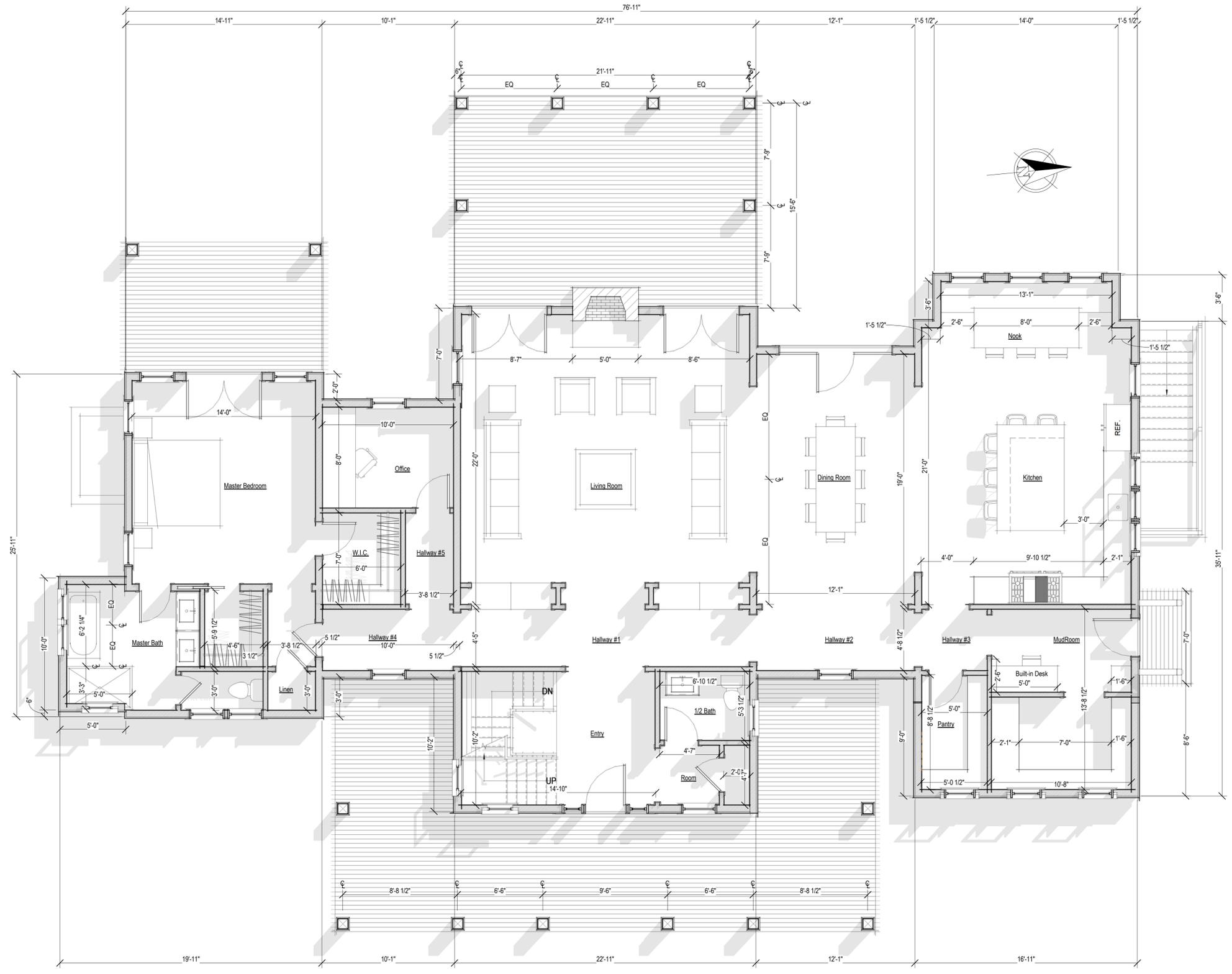
Revisions

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A.1.0
2029

09.17.20

HDC Submission Only



1 First Floor Plan
1/4" = 1'-0"

2029

24 Woodbine Str.
Nantucket, MA 02554



First Floor Plan

Site Information

Map & Parcel:	80 / 96
Current Zoning:	LUG - 1
Minimum Frontage:	100 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft.
Lot Size:	+/- sq.ft.
Min. Lot Size:	40,000 sq.ft.
Allowable G.C.:	sq.ft.
Existing G.C.:	sq.ft.
Proposed G.C.:	sq.ft.
Total Proposed G.C.:	sq.ft.

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- G.1.3 Cover Sheet - Guest House
- A.1.6 Floor Plans and Elevations - Shed
- G.1.4 Cover Sheet - Shed

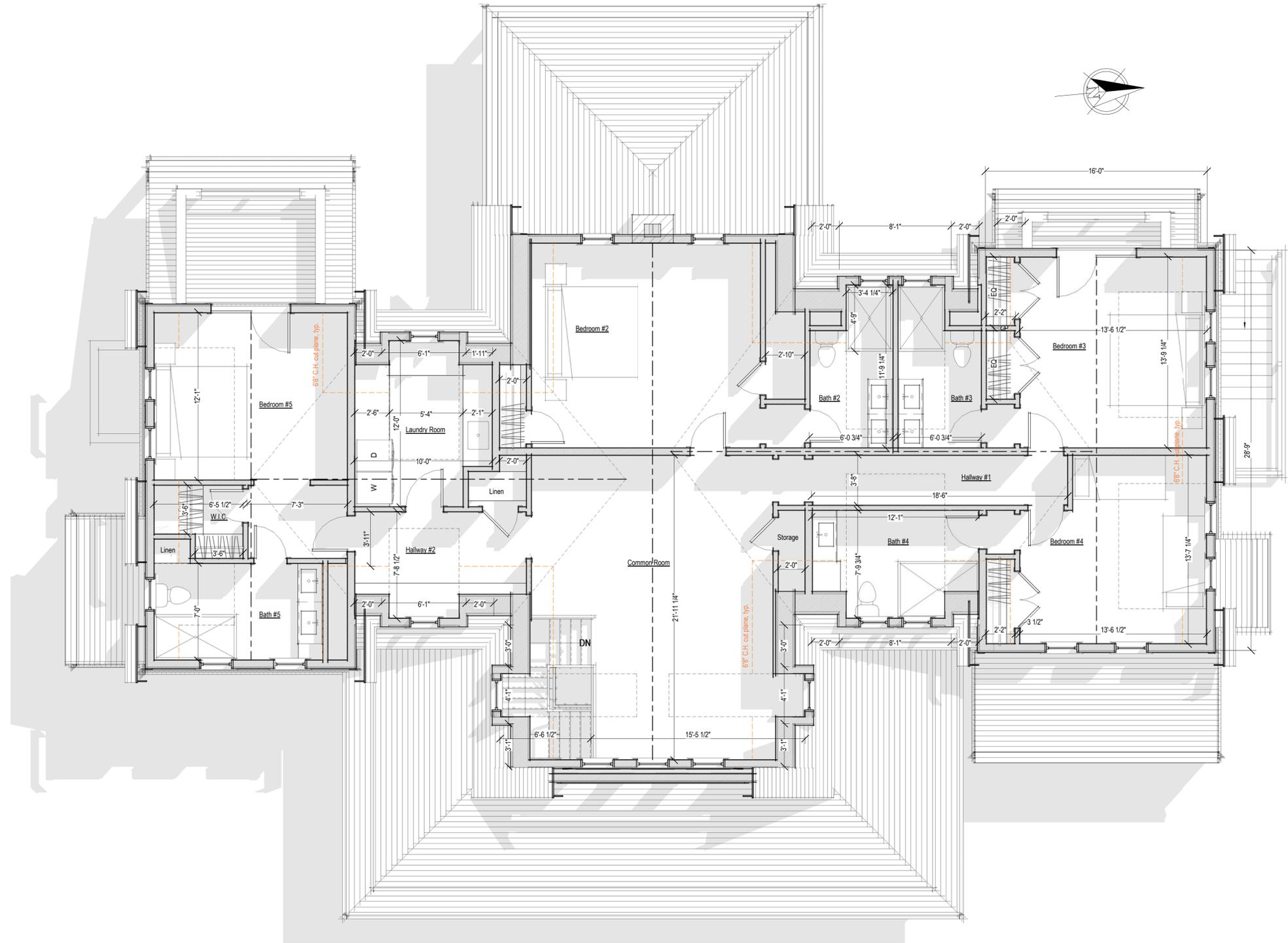
Revisions

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A.1.1
2029

09.17.20

HDC Submission Only



1 Second Floor Plan
1/4" = 1'-0"

2029

24 Woodbine Str.
Nantucket, MA 02554



Second Floor Plan

Site Information

Map & Parcel:	80 / 96
Current Zoning:	LUG - 1
Minimum Frontage:	100 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft.
Lot Size:	+/- _____ sq.ft.
Min. Lot Size:	40,000 sq.ft.
Allowable G.C.:	_____ sq.ft.
Existing G.C.:	_____ sq.ft.
Proposed G.C.:	_____ sq.ft.
Total Proposed G.C.:	_____ sq.ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

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Revisions

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A.1.2
2029

09.17.20



1 East Elevation - Main House
1/4" = 1'-0"



Previously Proposed East Elevation
1/8" = 1'-0"



2 South Elevation - Main House
1/4" = 1'-0"



Previously Proposed South Elevation
1/8" = 1'-0"

2029

24 Woodbine Str.
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	80 / 96
Current Zoning:	LUG - 1
Minimum Frontage:	100 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft.
Lot Size:	+/- _____ sq.ft.
Min. Lot Size:	40,000 sq.ft.
Allowable G.C.:	_____ sq.ft.
Existing G.C.:	_____ sq.ft.
Proposed G.C.:	_____ sq.ft.
Total Proposed G.C.:	_____ sq.ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet - Main House
- A.1.0 Basement Plan
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- A.2.3 Main House and Garage
- A.1.3 Floor Plans and Elevations - Garage
- G.1.2 Cover Sheet - Garage
- A.1.4 Roof Plan
- A.3.1 3D Views - Main House and Garage
- A.3.2 3D Views - Guest House & Shed
- S.2.1 Framing Sections - Main House
- S.2.2 Framing Sections - Main House
- S.2.3 Framing Sections - Guest House, Garage & Shed
- A.1.5 Floor Plans and Elevations - Guest House
- G.1.3 Cover Sheet - Guest House
- A.1.6 Floor Plans and Elevations - Shed
- G.1.4 Cover Sheet - Shed

Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.
DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

A.2.1
2029

HDC Submission Only

09.17.20



1 West Elevation - Main House
1/4" = 1'-0"



Previously Proposed West Elevation
1/8" = 1'-0"



2 North Elevation - Main House
1/4" = 1'-0"



Previously Proposed North Elevation
1/8" = 1'-0"

HDC Submission Only

2029

24 Woodbine Str.
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	80 / 96
Current Zoning:	LUG - 1
Minimum Frontage:	100 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft.
Lot Size:	+/- sq.ft.
Min. Lot Size:	40,000 sq.ft.
Allowable G.C.:	sq.ft.
Existing G.C.:	sq.ft.
Proposed G.C.:	sq.ft.
Total Proposed G.C.:	sq.ft.

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SHEET INDEX

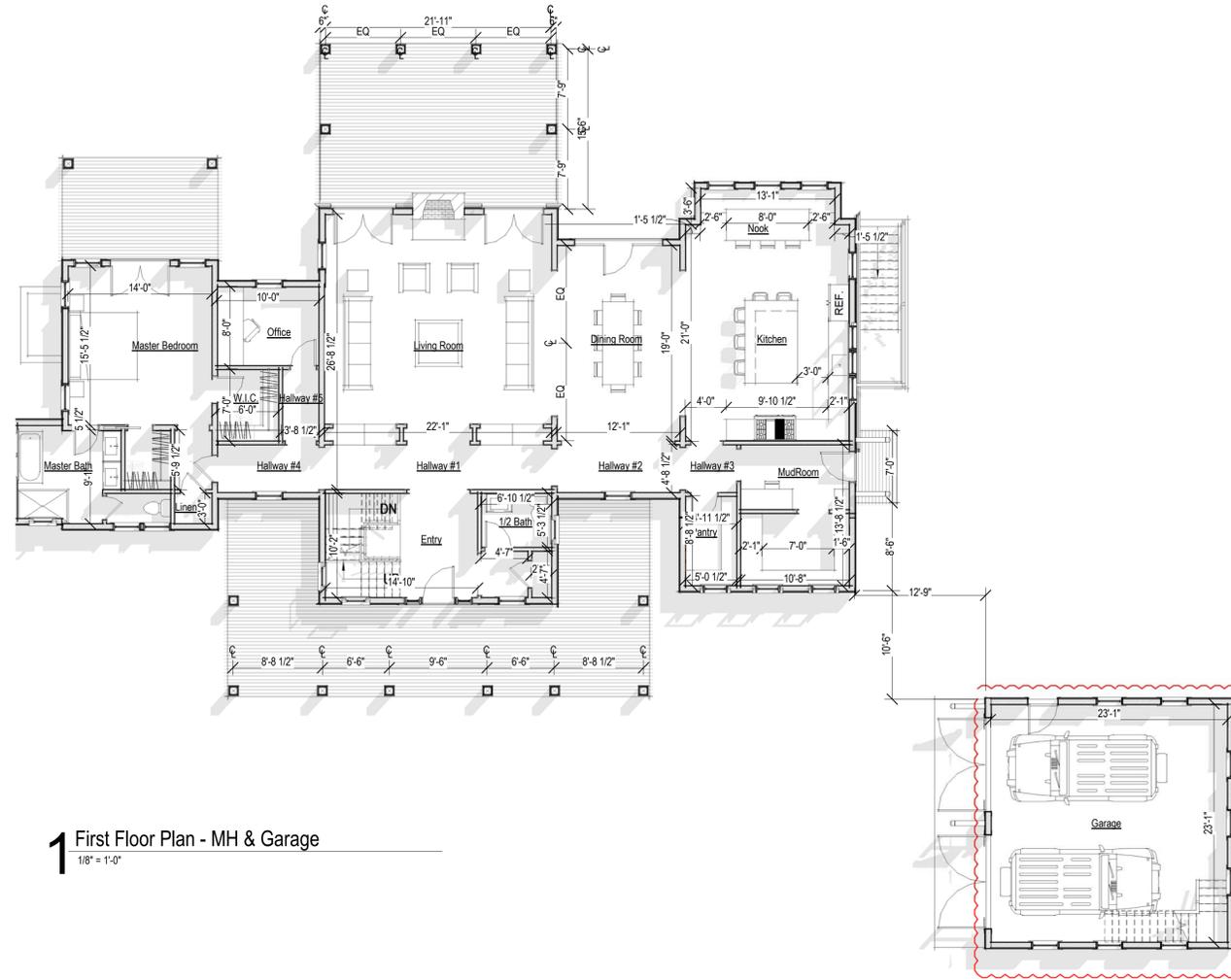
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Revisions

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A.2.2
2029

09.17.20



1 First Floor Plan - MH & Garage
1/8" = 1'-0"

2029

24 Woodbine Str.
Nantucket, MA 02554



Main House and Garage

Site Information

Map & Parcel:	80 / 96
Current Zoning:	LUG - 1
Minimum Frontage:	100 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft.
Lot Size:	+/- _____ sq.ft.
Min. Lot Size:	40,000 sq.ft.
Allowable G.C.:	_____ sq.ft.
Existing G.C.:	_____ sq.ft.
Proposed G.C.:	_____ sq.ft.
Total Proposed G.C.:	_____ sq.ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

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HDC Submission Only



2 East Elevation - MH & Garage
1/4" = 1'-0"

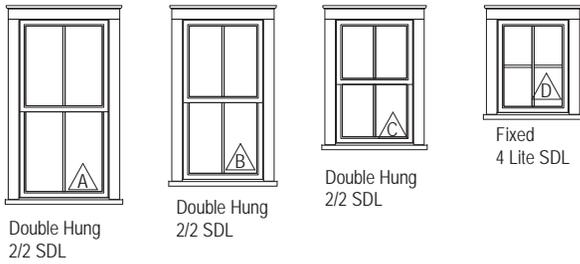
Revisions

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A.2.3
2029

(to be demolished or relocated)

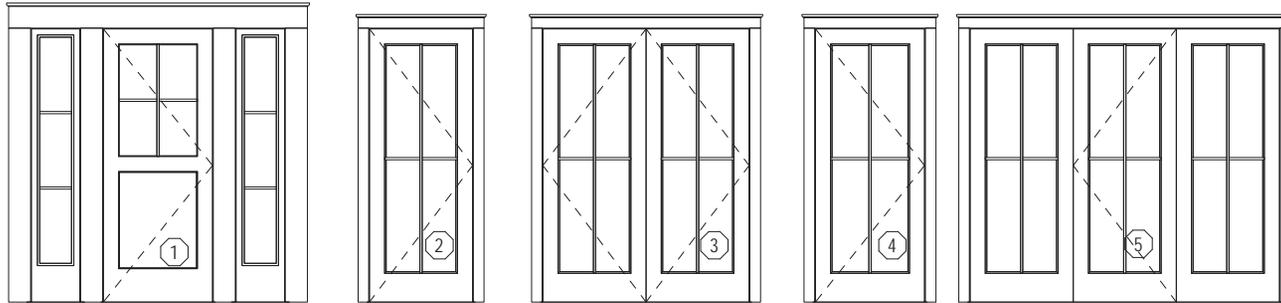


Proposed Shed

Window Legend

1/4" = 1'-0"

WINDOW SCHEDULE					
WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
A	31	2'-8"	5'-0"	TBD	≥ 30
B	33	2'-5"	4'-6"	TBD	≥ 30
C	13	2'-4"	3'-6"	TBD	≥ 30
D	12	2'-2"	2'-8"	TBD	≥ 30



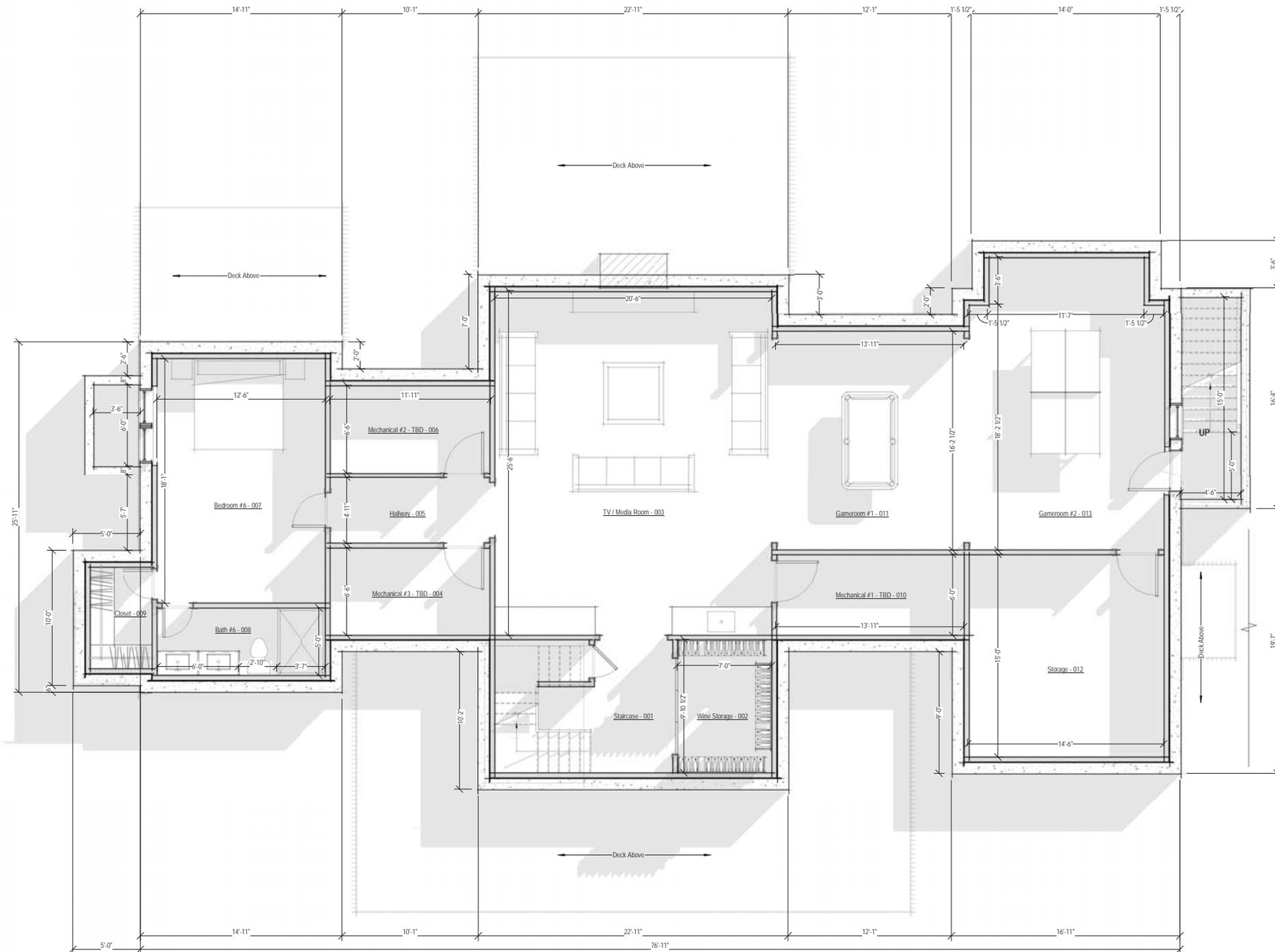
Door Legend

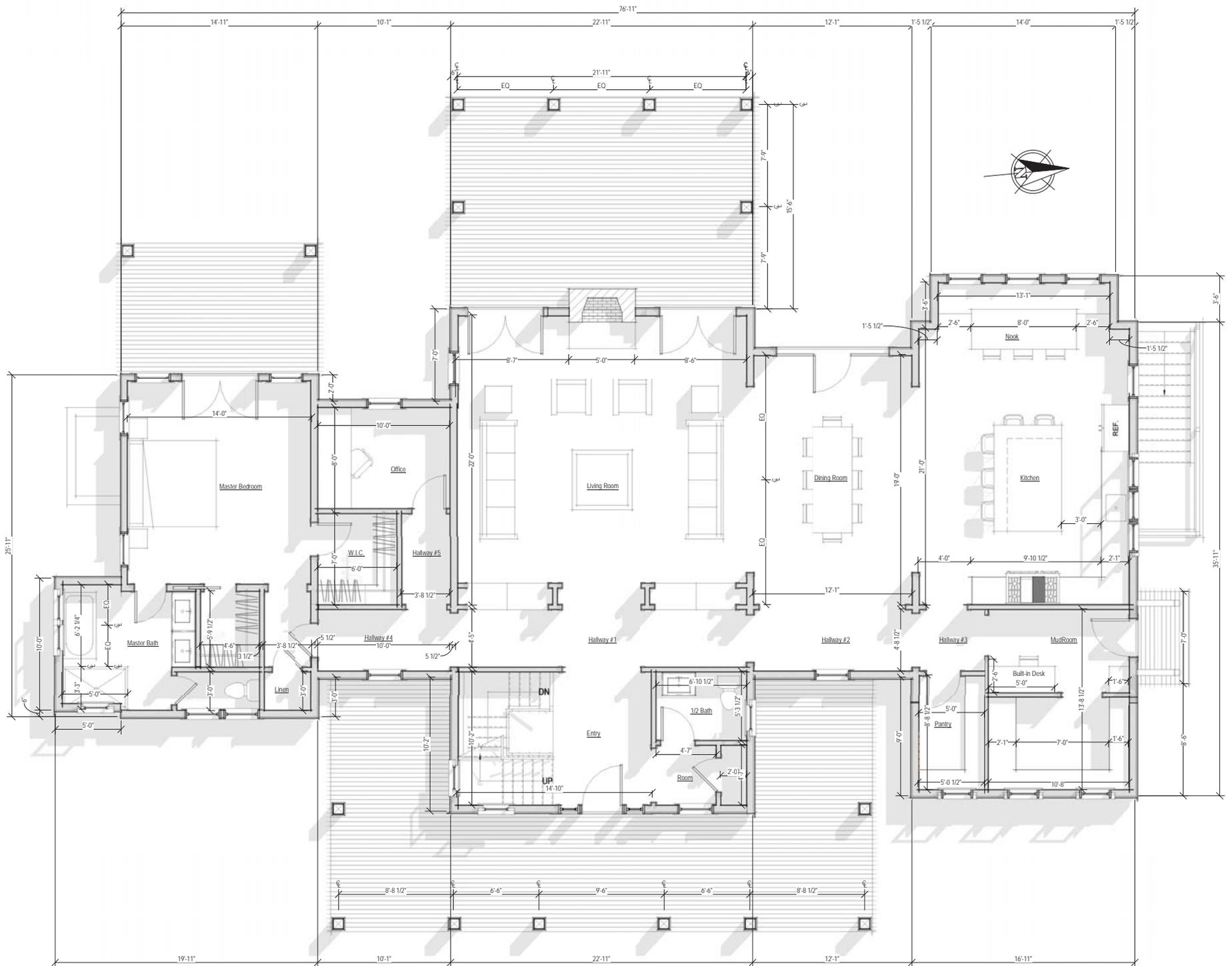
1/4" = 1'-0"

EXTERIOR DOOR SCHEDULE					
DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
1	1	3'-0"	7'-6"	TBD	≥ 30
2	3	2'-10"	7'-6"	TBD	≥ 30
3	5	5'-8"	7'-6"	TBD	≥ 30
4	1	3'-0"	7'-6"	TBD	≥ 30
5	1	8'-6"	7'-6"	TBD	≥ 30
6	1	2'-8"	7'-6"	TBD	≥ 30
7	1	12'-0"	7'-6"	TBD	≥ 30
8	2	9'-0"	8'-6"	TBD	≥ 30
9	1	12'-0"	7'-6"	TBD	≥ 30

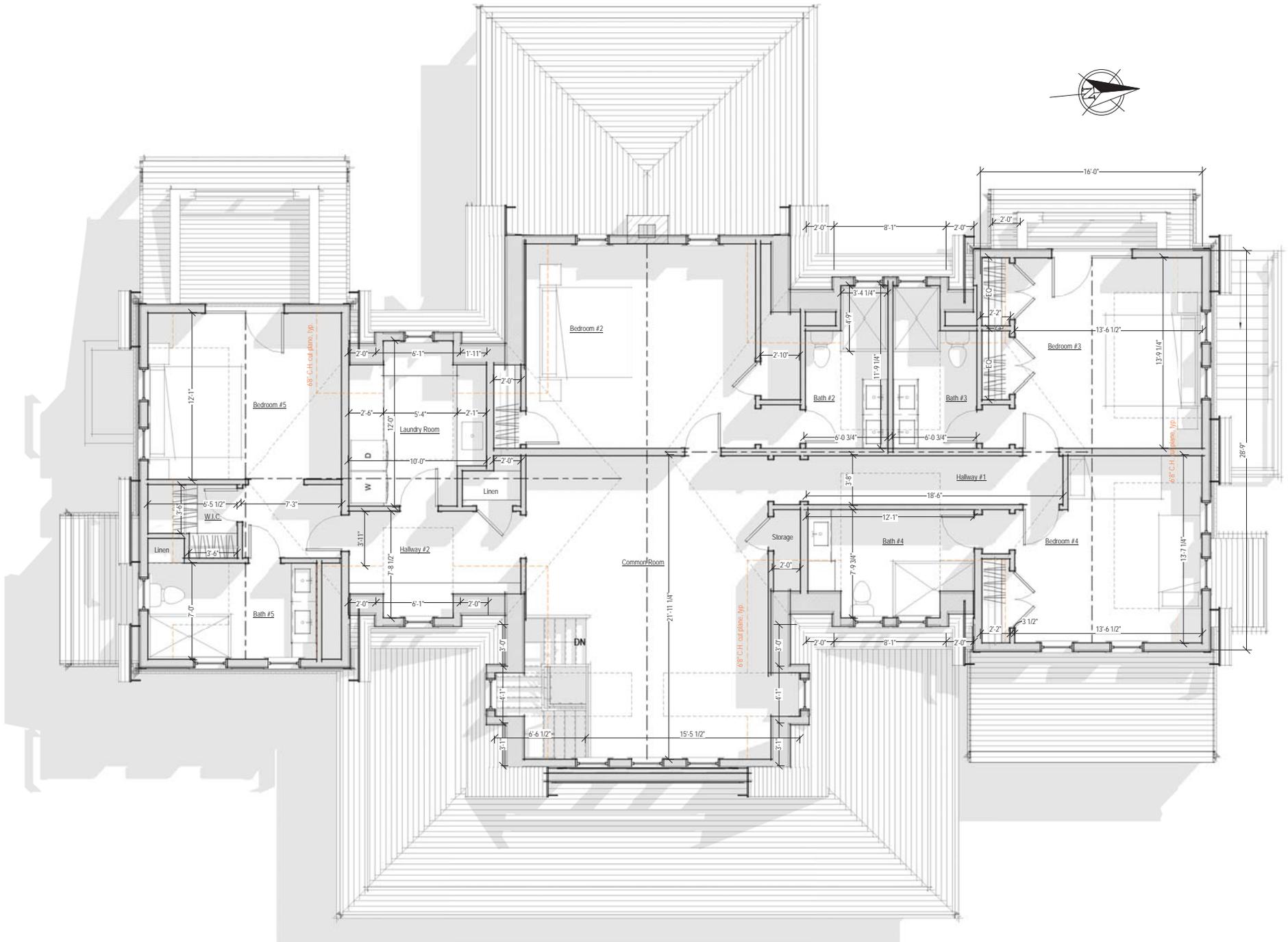
WINDOW & DOOR NOTES

- Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
- Windows w/ DP Rating of 30 or Greater Required
- Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
- Refer To Plan For Tempered Glass Locations; Contrator To Verify Tempered Windows Are Provided Where Required
- Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
- General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
- General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
- Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
- Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
- The Unit Measurements Given In this Document Are For A Guide Only
- Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing





1 First Floor Plan
1/4" = 1'-0"





Previously Proposed North Elevation

1/8" = 1'-0"



2 North Elevation - Main House
1/4" = 1'-0"

Omit Connecting roof and replace with pent roof

Replace with counter height windows

Add Basement Walkout



Previously Proposed West Elevation

1/0" = 1' 0"



1 West Elevation - Main House
 1/4" = 1'-0"





Previously Proposed South Elevation

1/8" = 1'-0"



2 South Elevation - Main House
1/4" = 1'-0"

Add window well

Relocate Shed Bumpout

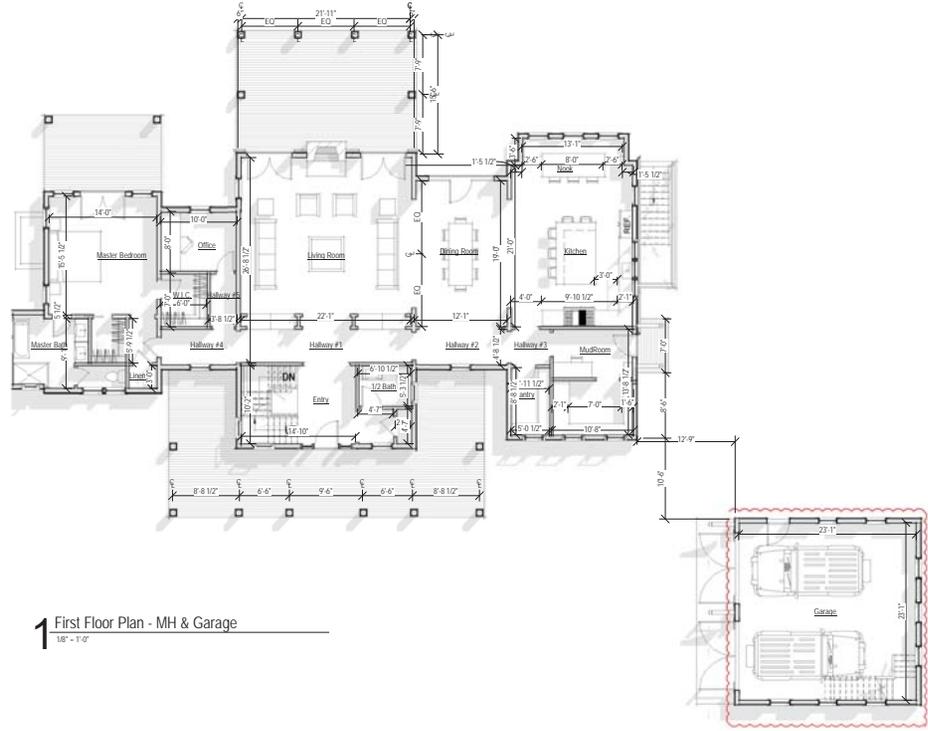


Previously Proposed East Elevation

1/8" = 1'-0"



09.17.20



1 First Floor Plan - MH & Garage
1/8" = 1'-0"



Garage
(submitted under separate application)



2 East Elevation - MH & Garage
1/4" = 1'-0"

HDC Submission Only

2029

24 Woodbine Str.
Nantucket, MA 02554



Main House and Garage

Site Information

Map & Parcel:	80.7.96
Current Zoning:	LUG - 1
Minimum Frontage:	100 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft.
Lot Size:	+/- sq. ft.
Min. Lot Size:	40,000 sq. ft.
Allowable G.C.:	sq. ft.
Existing G.C.:	sq. ft.
Proposed G.C.:	sq. ft.
Total Proposed G.C.:	sq. ft.

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Revisions

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DRAWINGS THAT ARE NOT CLEARLY LABELED BY THIS CONSTRUCTION CONTRACTOR OR BY THE ARCHITECT SHALL BE CONSIDERED TO BE FOR INFORMATION ONLY AND NOT TO BE USED FOR CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING OF ANY DISCREPANCY OR CONFLICT OF THE ORIGINAL OR THE REVISIONS TO THE DRAWINGS.

A.2.3
2029

5. Conlon, James L Tr. Et al. **08-1509** 24 Woodbine Street New garage 80/96 Emeritus
 Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Matt MacEachern, Emeritus Development
 Public None
 Concerns (5:55) **MacEachern** – Presented project.

Welch – It doesn't show in 2D but regardless of the size of the garage and garage doors and the Dutch gable, the garage being forward of the main mass with a covered porch will work against this. The Dutch gable creates a strong sense of the roof mass and overwhelms the structure; what contributes to the perception is the size of the garage doors.

Oliver – The driveway coming in right in the middle of the house creates an open vista of the structure; that view should be mitigated so the public sees more vegetation. Feels the garage should not be connected to the house, though that is based upon its visibility.

Camp – It's too tall and detracts from the main house. The breezeway doesn't look like one; open with columns might give it a feeling of airiness.

Coombs – The height should drop down to below 25 feet, which is the maximum height per the guidelines. The gable is very predominant. North and south are the most dominant.

Pohl – The cross gables are very voluminous. The height is an issue.

Motion **Motion to Hold for revisions. (Coombs)**

Roll-call Vote Carried // Oliver, Camp, Welch, Coombs, and Pohl-aye Certificate #

6. Nicole Whidden **08-1472** 11 Davis Lane Pool/spa/driveway/boardwalk 82/75 Ahern

Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None

Documentation Landscaping design plans, site plan, correspondence, and photos.

Representing Miroslava Ahern, Ahern Design, LLC

Public Matt Erisman, 2&4 Wall Street
 Joe Gagliano, 10 Westerwyck Road

Concerns (6:01) **Pohl** – In the last two or three days, we've gotten a dozen or more letters of concern from various neighbors – too numerous to read in; be assured the letters had been disseminated to all the board members for them to read prior to the meeting.

Ahern – Presented project; a mix natural vegetation, including cedar and pine, will blend in with the neighborhood; specified LED lights for the pool interior.

MacEachern – The previous application by the prior owner had the pool rotated 90 degrees and closer to Trinity Avenue.

Erisman – This area has small lot sizes with low vegetation; the prior owner cleared the lot beyond his bounds. He doesn't know how to restore natural vegetation without looking manufactured. Cisco is natural wilderness with houses mixed in. It looks like there are attempts at perimeter vegetation but he's not sure what will be done around the immediate pool. Feels this is an exploitation of the area which jeopardizes the quietude of Cisco. He hopes that if the new owners spend some time in Cisco, they will have a change of heart. This pool is more than 100 square feet (SF) and the cabana a beacon of light and noise in the open landscape.

Gagliano – There's not a lot of detail on what's happening on the northern end. Cedars and pitch pines can grow to over 30 feet and the grouping at the perimeter would create a wall; no other areas of Cisco have that type of border. The pool is large and there is visibility of the cabana from the three roads. This whole complex is about 3,000 SF of hardscape; that footprint is bigger than the house; this sits in the middle of a natural area and is different from everything in the area. Can't emphasize the quietude, low moors, and night sky that is this area. Once we lose what we have, we will never get it back.

Coombs – This is inappropriate for this area, which is roving, ranging moors and always has been. This doesn't need to be paved and landscaped with plants all around it, like New Jersey. Feels there is no need for the pool, cabana, and associated landscaping to be larger than the house; the neighbors have as much right to enjoy their properties as this owner. The pool and hardscaping need to be reduced. Fencing isn't shown.

Camp – Cisco is an area of sandy roads across moors to the dunes. The way the trees are located around the perimeter will take away from the beauty and openness of the area; it's unnatural. Pull the screening closer to the pool and leave it open around the outside. We need a rule that says you can only brush cut what is needed to do any work. Wonders about the Zoning and Planning Boards, who are saying you can have pools here. Don't turn this into suburbia. The pool is too large.

Welch – Agrees with what's been said; particularly shielding the pool not to be visible from the street; these types of landscape plans start to make this Masaquet Avenue; Cisco is open space, which is a historical setting that should be preserved. We do have control over the setting, how proposed structures present themselves to the historic setting, size of pool, location of the cabana, concept of cluster, and shrinking the area that needs to be screened. He'd like to see an aerial mockup of the proposed along with the neighboring structures.

Oliver – Pools out here are inappropriate; the original intent of the developers is disappearing. This is too formal; less is more – boardwalks and driveways and patios and out structures are large and looming over the horizon and could be

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 80 PARCEL N^o: 96
 Street & Number of Proposed Work: 24 Woodbine St.
 Owner of record: Coulton James L Tr ETAL
 Mailing Address: 24 Woodbine St.
Nantucket, MA 02554
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Emeralds Development
 Mailing Address: 8 Williams Ln.
Nantucket, MA 02554
 Contact Phone # (508) 325-4995 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 24'0" Sq. Footage 1st floor: 576 sf Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 24'0" Sq. Footage 2nd floor: 576 sf Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North +/- 6" South +/- 6" East +/- 6" West +/- 6"
 Height of ridge above final finish grade: North +/- 26'4" South +/- 26'4" East +/- 26'4" West +/- 26'4"

Additional Remarks

Historic Name: N/A
 Original Date: _____
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
 1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed +/- 8" Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 12 /12 Secondary Mass 12 /12 Dormer _____ /12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) red cedar

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer N/A Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) +/- 24" Corner boards _____ Frieze _____

Window Casing 5/4 x 4 Door Frame 5/4 x 4 Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type 1 panel 4 lite Material wood

Hardscape materials: Driveways N/A Walkways N/A Walls N/A

* Note: Complete door and window schedules are required.

COLORS

Sidewall Natural Clapboard (if applicable) N/A Roof Natural
 Trim white Sash white Doors white
 Deck Natural Foundation Natural Fence N/A Shutters N/A

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 8/11/20 Signature of owner of record _____ Signed under penalties of perjury

OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 ½ x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 ½ x 11
	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

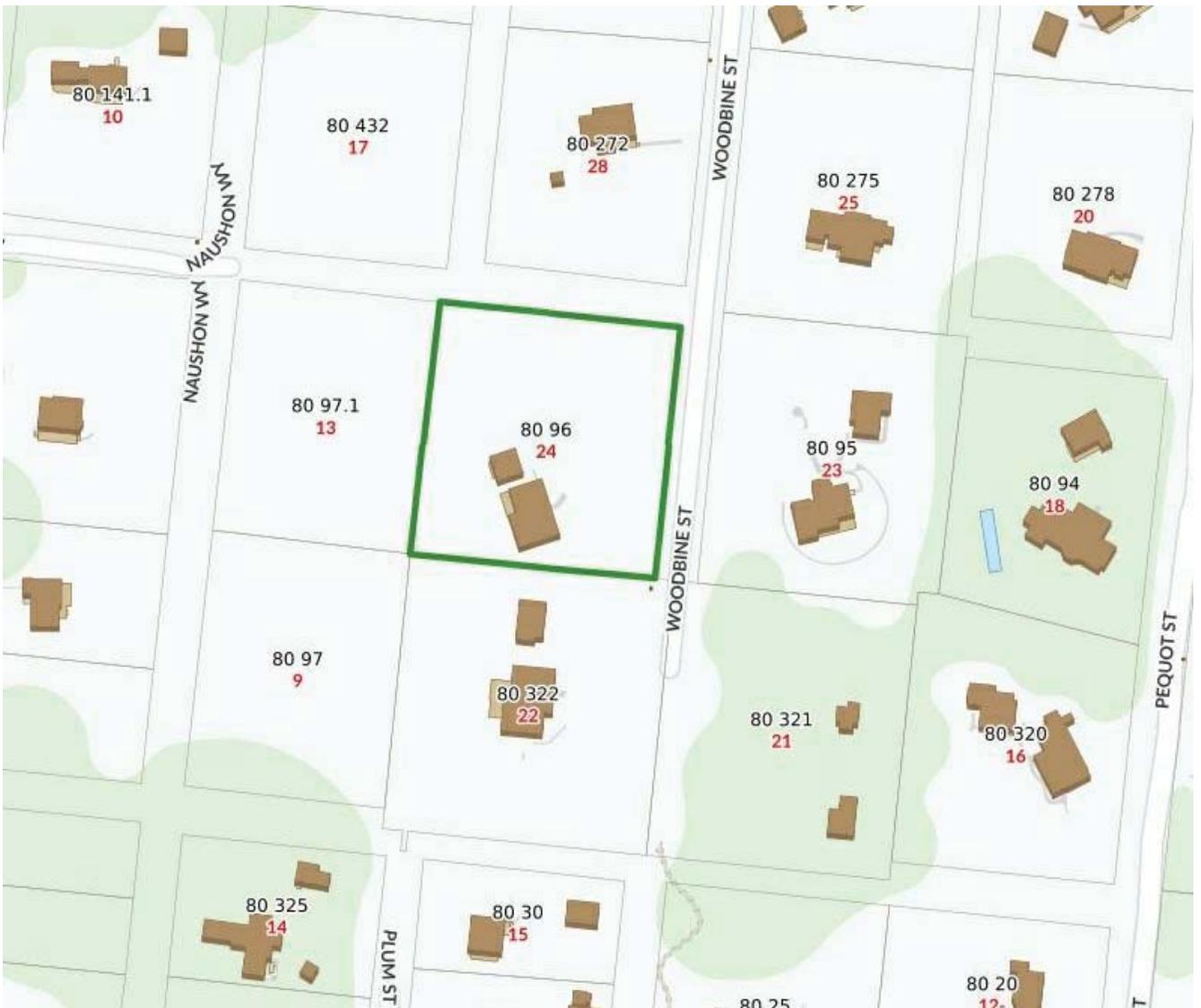
Signature: Anton Dimov Date: _____

Garage

24 Woodbine Str.

Nantucket, MA 02554

09.17.20



Garage

24 Woodbine Str.
Nantucket, MA 02554

09.17.20



East_Garage



North_Garage



South - Garage



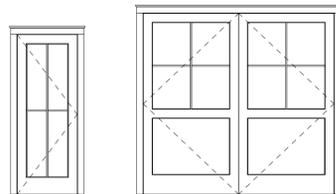
West_Garage



1 Locus Map
1/2" = 1'-0"



Window Legend
1/4" = 1'-0"



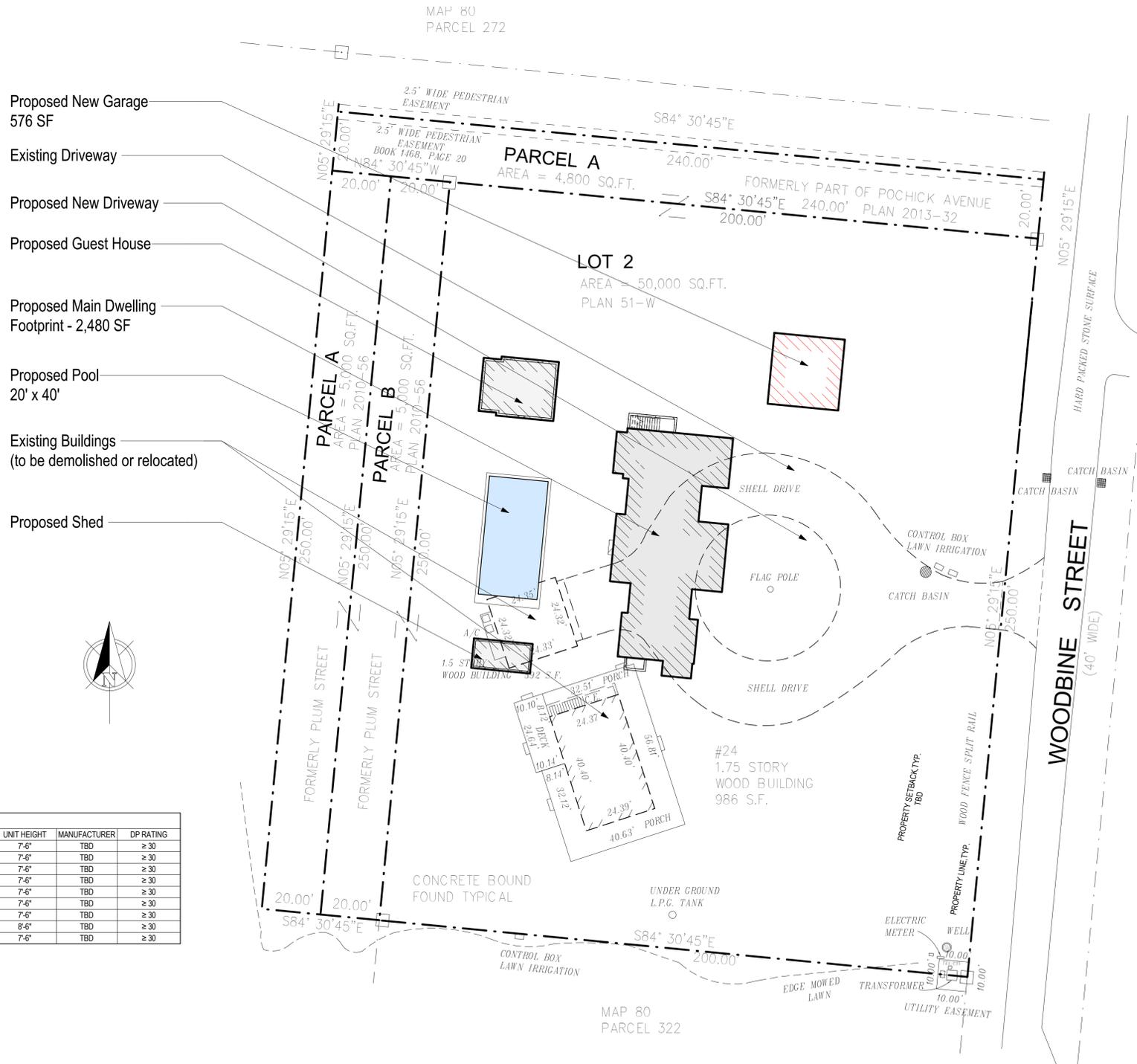
Door Legend
1/4" = 1'-0"

WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
A	31	2'-8"	5'-0"	TBD	≥ 30
B	33	2'-5"	4'-6"	TBD	≥ 30
C	13	2'-4"	3'-6"	TBD	≥ 30
D	12	2'-2"	2'-8"	TBD	≥ 30

DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
1	1	3'-0"	7'-6"	TBD	≥ 30
2	3	2'-10"	7'-6"	TBD	≥ 30
3	5	5'-8"	7'-6"	TBD	≥ 30
4	1	3'-0"	7'-6"	TBD	≥ 30
5	1	8'-6"	7'-6"	TBD	≥ 30
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- WINDOW & DOOR NOTES**
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 - Refer to Plan For Tempered Glass Locations; Contractor To Verify Tempered Windows Are Provided Where Required
 - Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
 - General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
 - General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
 - Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
 - Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
 - The Unit Measurements Given in this Document Are For A Guide Only
 - Due To Slight Discrepancies & Changes in Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing

2 Site Plan - Garage
3/64" = 1'-0"



2029

24 Woodbine Str.
Nantucket, MA 02554



Cover Sheet - Garage

Site Information

Map & Parcel:	80 / 96
Current Zoning:	LUG - 1
Minimum Frontage:	100 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft.
Lot Size:	+/- sq.ft.
Min. Lot Size:	40,000 sq.ft.
Allowable G.C.:	sq.ft.
Existing G.C.:	sq.ft.
Proposed G.C.:	sq.ft.
Total Proposed G.C.:	sq.ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet - Main House
- A.1.0 Basement Plan
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- A.2.3 Main House and Garage
- A.3.1 Floor Plans and Elevations - Garage
- G.1.2 Cover Sheet - Garage
- A.1.4 Roof Plan
- A.3.1 3D Views - Main House and Garage
- A.3.2 3D Views - Guest House & Shed
- S.2.1 Framing Sections - Main House
- S.2.2 Framing Sections - Main House
- S.2.3 Framing Sections - Guest House, Garage & Shed
- A.1.5 Floor Plans and Elevations - Guest House
- G.1.3 Cover Sheet - Guest House
- A.1.6 Floor Plans and Elevations - Shed
- G.1.4 Cover Sheet - Shed

Revisions

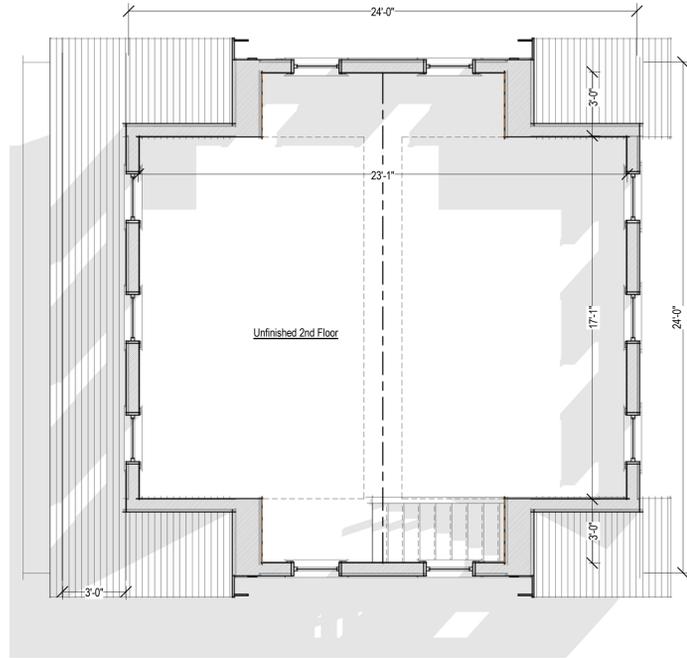
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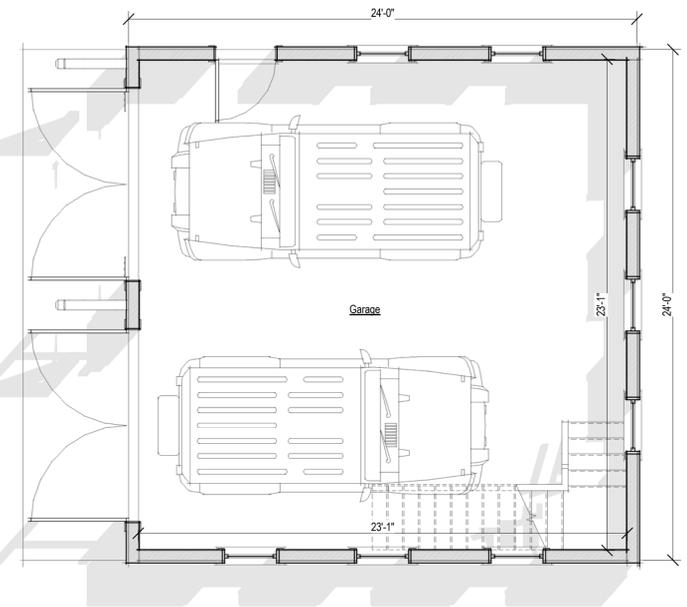
G.1.2
2029

HDC Submission Only

09.17.20



2 Second Floor - Garage
1/4" = 1'-0"



1 First Floor Plan - Garage
1/4" = 1'-0"

HDC Submission Only



3 East Elevation - Garage
1/4" = 1'-0"



4 North Elevation - Garage
1/4" = 1'-0"



Previously Proposed East Elevation - Garage
1/8" = 1'-0"



Previously Proposed North Elevation - Garage
1/8" = 1'-0"



Previously Proposed West Elevation - Garage
1/8" = 1'-0"



Previously Proposed South Elevation - Garage
1/8" = 1'-0"



5 West Elevation - Garage
1/4" = 1'-0"



6 South Elevation - Garage
1/4" = 1'-0"

2029

24 Woodbine Str.
Nantucket, MA 02554



Floor Plans and Elevations
- Garage

Site Information

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Lot Size:	+/- sq.ft.
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Allowable G.C.:	sq.ft.
Existing G.C.:	sq.ft.
Proposed G.C.:	sq.ft.
Total Proposed G.C.:	sq.ft.

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- A.1.5 Floor Plans and Elevations - Guest House
- G.1.3 Cover Sheet - Guest House
- A.1.6 Floor Plans and Elevations - Shed
- G.1.4 Cover Sheet - Shed

Revisions

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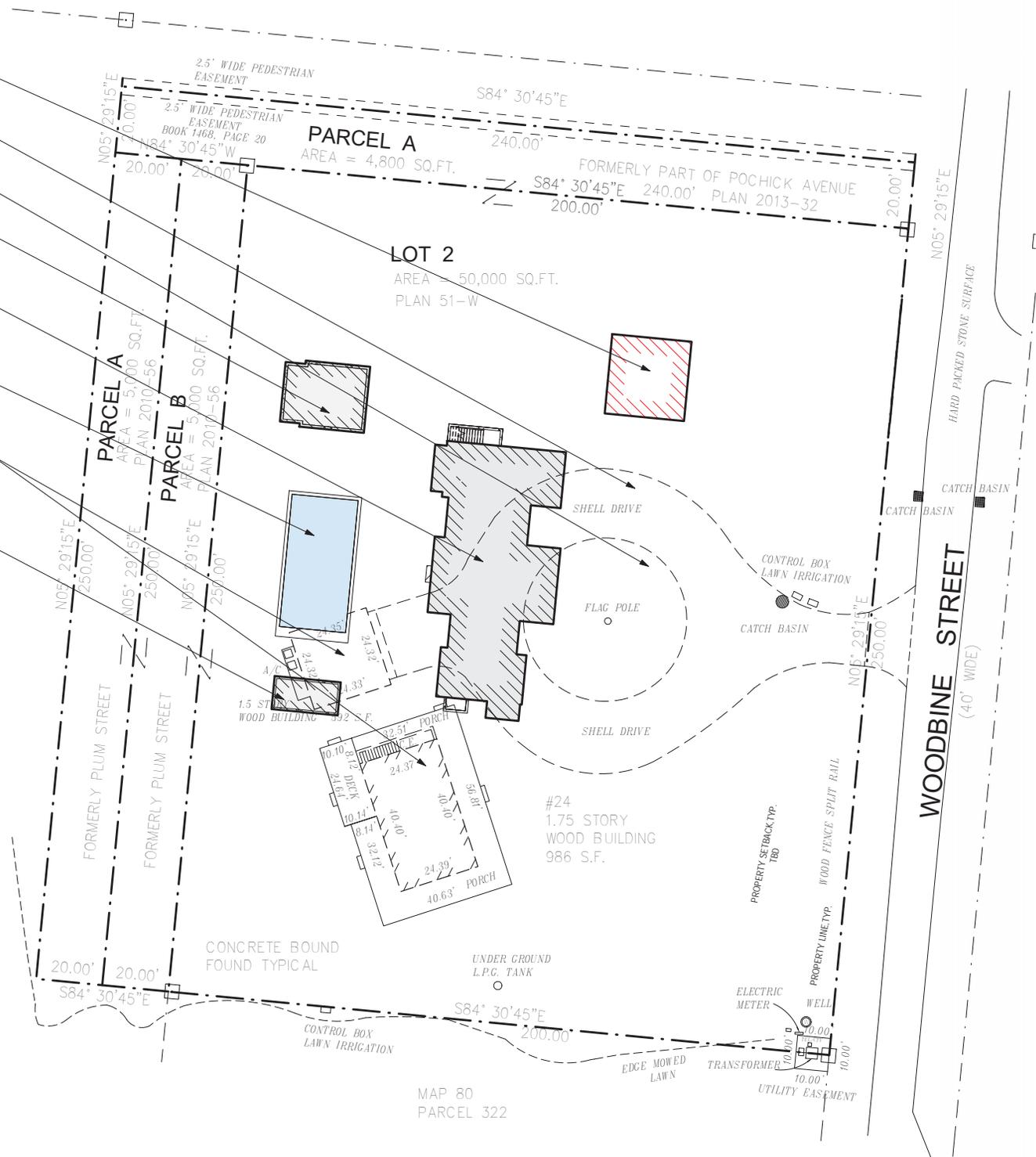
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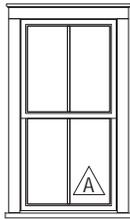
A.1.3
2029

- Proposed New Garage
576 SF
- Existing Driveway
- Proposed New Driveway
- Proposed Guest House
- Proposed Main Dwelling
Footprint - 2,480 SF
- Proposed Pool
20' x 40'
- Existing Buildings
(to be demolished or relocated)
- Proposed Shed

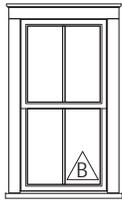


UNIT HEIGHT	MANUFACTURER	DP RATING
7'-6"	TBD	≥ 30
8'-6"	TBD	≥ 30
7'-6"	TBD	≥ 30

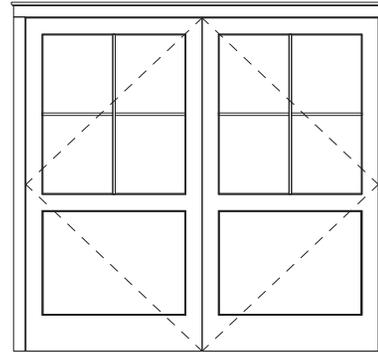
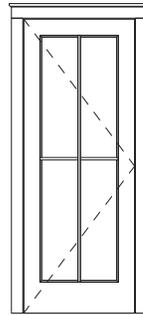




Double Hung
2/2 SDL



Double Hung
2/2 SDL



Window Legend

1/4" = 1'-0"

Door Legend

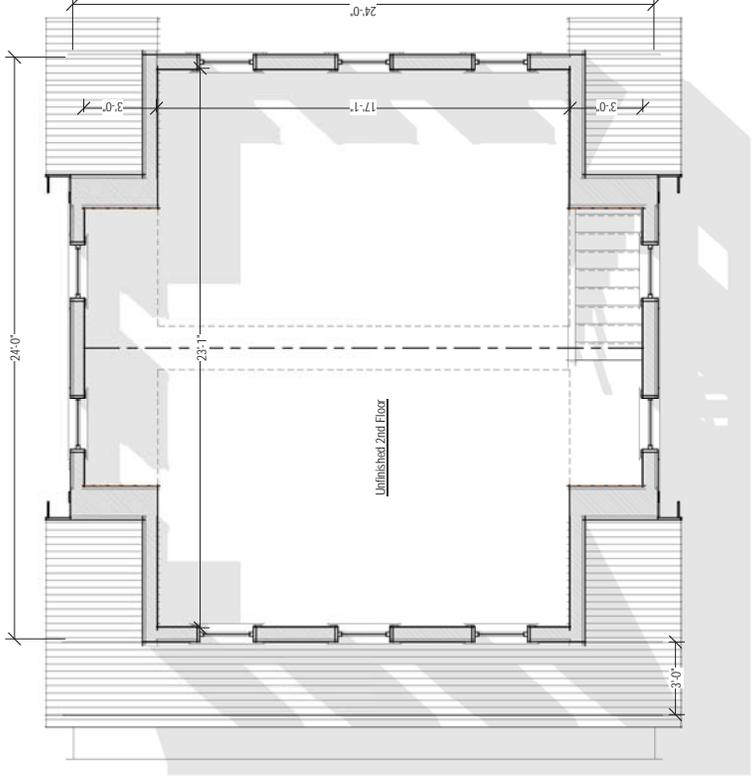
1/4" = 1'-0"

WINDOW SCHEDULE					
WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
A	31	2'-8"	5'-0"	TBD	≥ 30
B	33	2'-5"	4'-6"	TBD	≥ 30
C	13	2'-4"	3'-6"	TBD	≥ 30
D	12	2'-2"	2'-8"	TBD	≥ 30

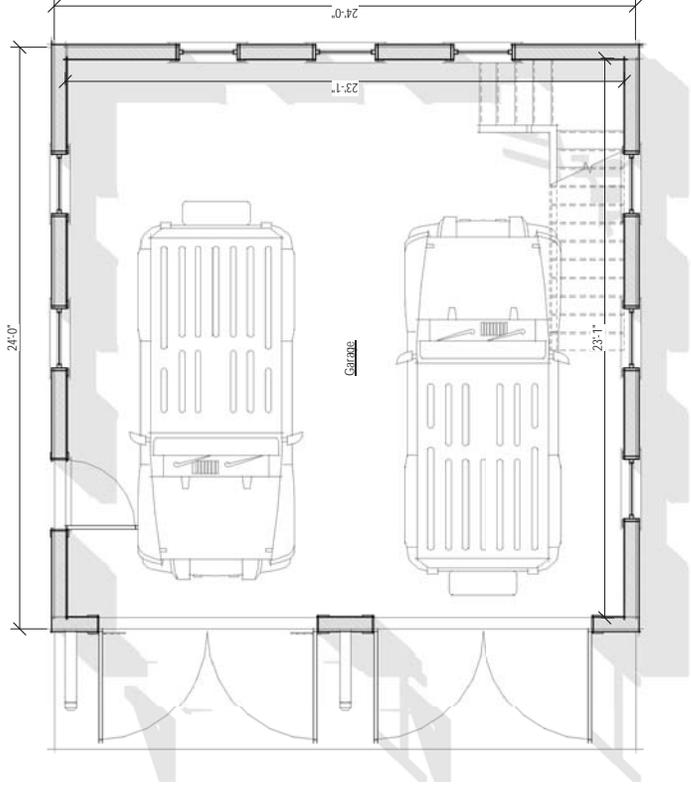
EXTERIOR DOOR SCHEDULE					
DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	MANUFACTURER	DP RATING
1	1	3'-0"	7'-6"	TBD	≥ 30
2	3	2'-10"	7'-6"	TBD	≥ 30
3	5	5'-8"	7'-6"	TBD	≥ 30
4	1	3'-0"	7'-6"	TBD	≥ 30
5	1	8'-6"	7'-6"	TBD	≥ 30
6	1	2'-8"	7'-6"	TBD	≥ 30
7	1	12'-0"	7'-6"	TBD	≥ 30
8	2	9'-0"	8'-6"	TBD	≥ 30
9	1	12'-0"	7'-6"	TBD	≥ 30

WINDOW & DOOR NOTES

1. Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
2. Windows w/ DP Rating of 30 or Greater Required
3. Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
4. Refer To Plan For Tempered Glass Locations; Contrator To Verify Tempered Windows Are Provided Where Required
5. Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
6. General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
7. General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
8. Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
9. Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
10. The Unit Measurements Given In this Document Are For A Guide Only
11. Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



2 Second Floor - Garage
1/4" = 1'-0"

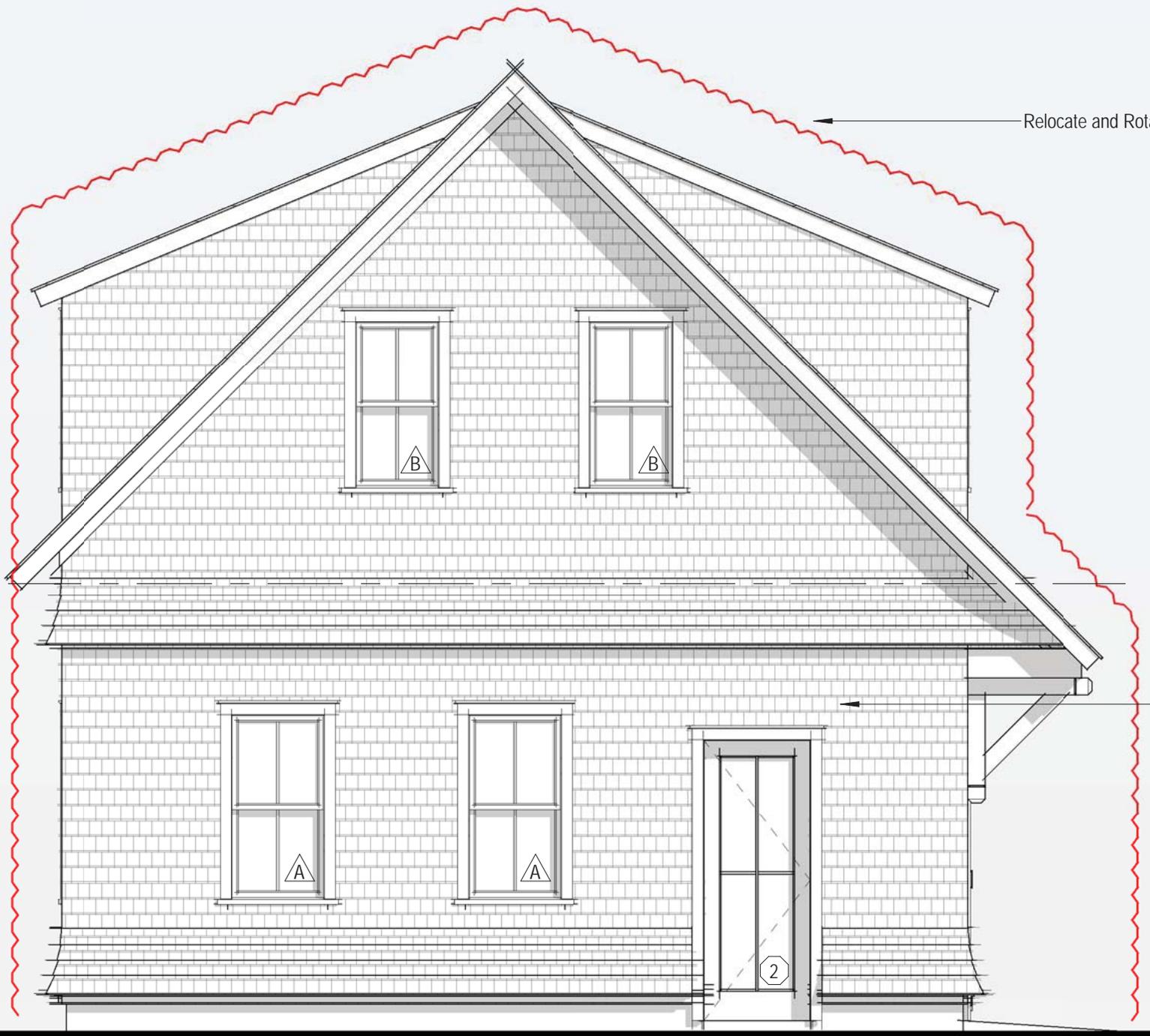


1 First Floor Plan - Garage
1/4" = 1'-0"



6 South Elevation - Garage
1/4" = 1'-0"

8'-0"
4'-0"
2'-0"
0
SCALE: 1/4" = 1'-0"



Relocate and Rotate Building

Omit Connecting Roof & Disconnect from Main House

5 West Elevation - Garage



Previously Proposed East Elevation - Garage

1/8" = 1'-0"

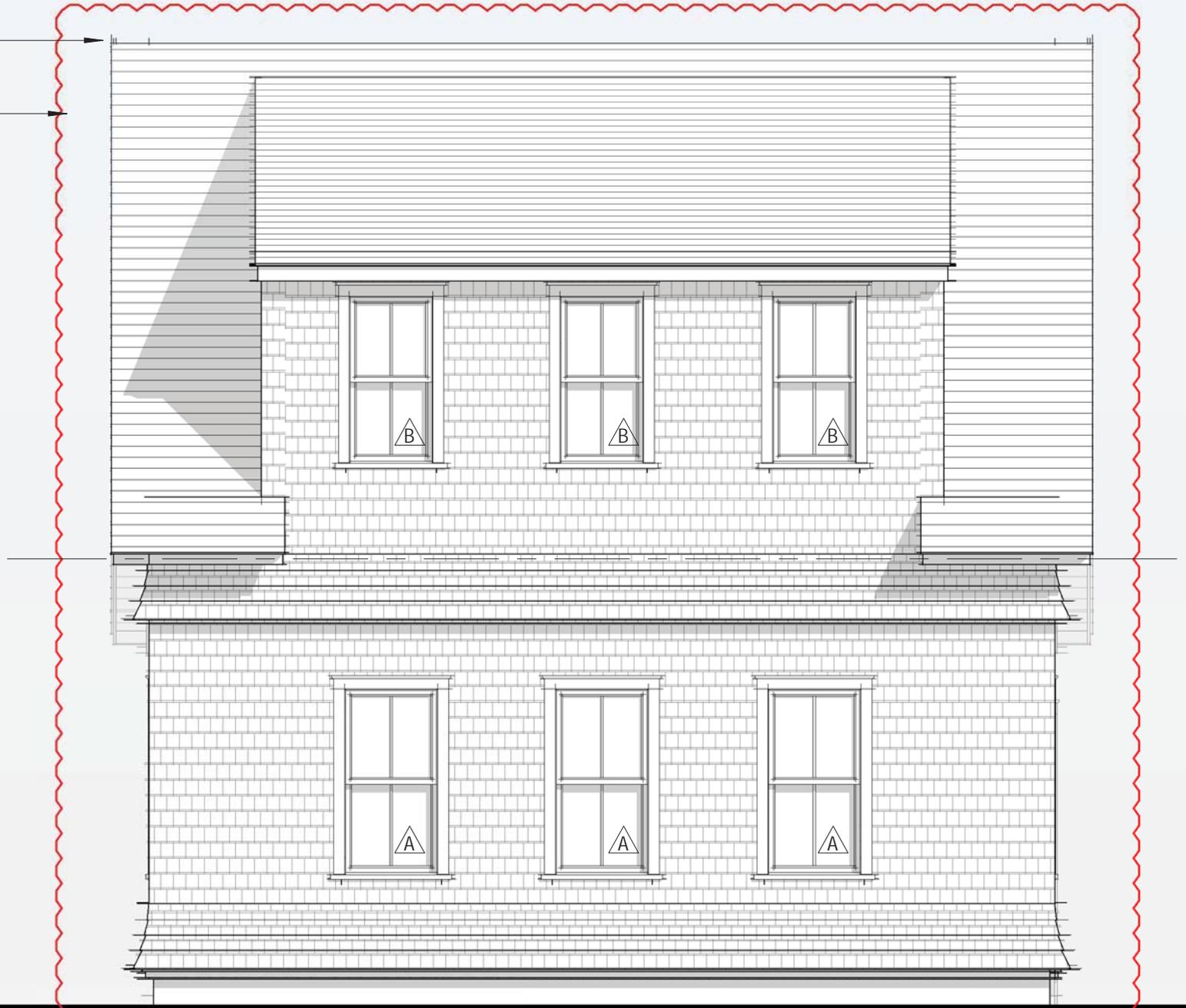


Previously Proposed North Elevation - Garage

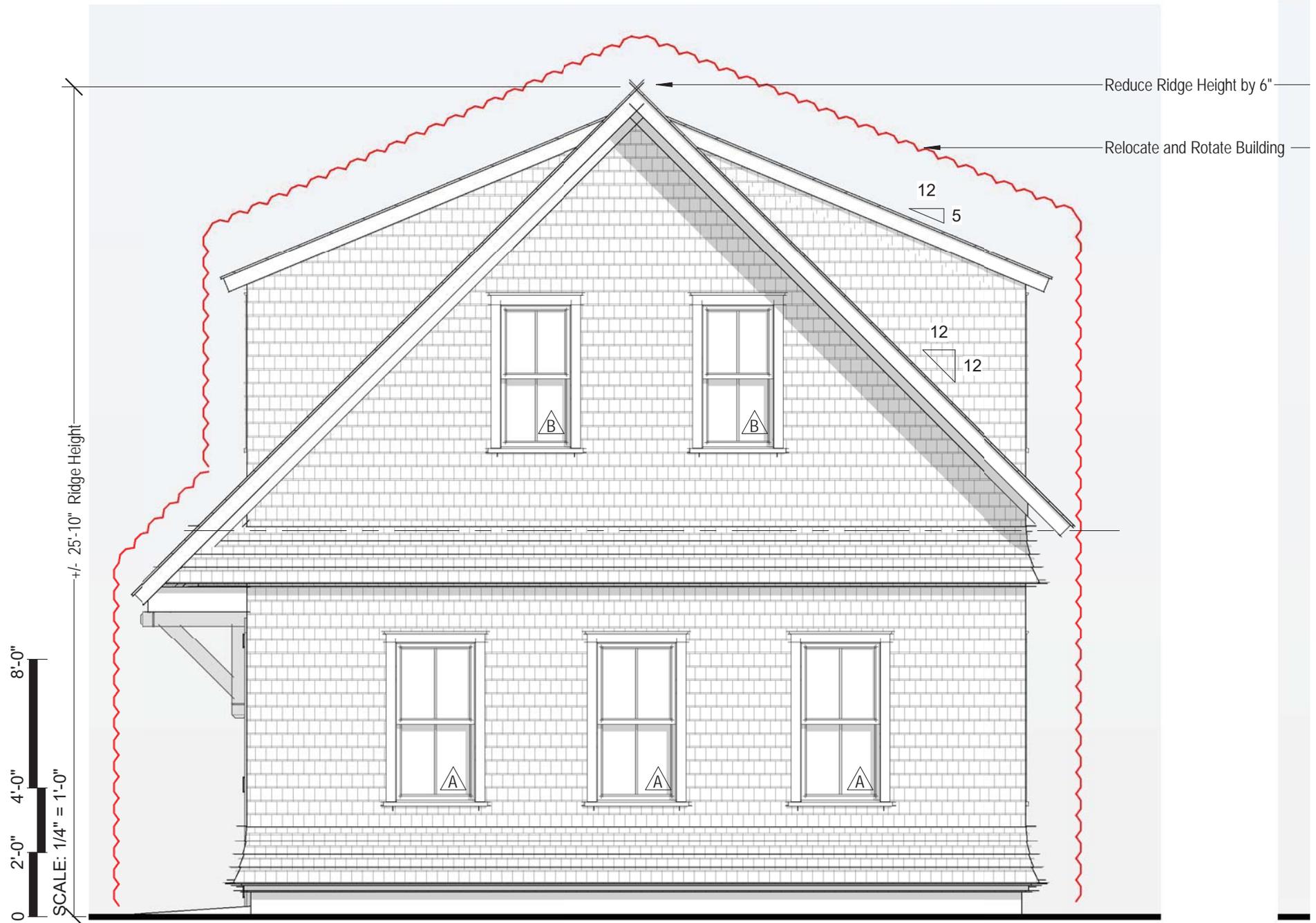
1/8" = 1'-0"

Reduce Ridge Height by 6"

Relocate and Rotate Building



4 North Elevation - Garage
1/4" = 1'-0"



3 East Elevation - Garage
 1/4" = 1'-0"



Previously Proposed West Elevation - Garage

1/8" = 1'-0"



Previously Proposed South Elevation - Garage

1/8" = 1'-0"

VI. OLD BUSINESS

	<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1.	Michelle Black 05-0953	28 Eel Point Road	Sports court	40-49	Ahern, LLC
Voting	Pohl, Coombs, McLaughlin, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Landscape design plans, site plan, and photos.				
Representing	Miroslava Ahern, Ahern Design, LLC				
Public	None				
Concerns (5:49)	(4:45) Motion to Hold for representation. (Camp) Carried 5-0//Camp, Oliver, McLaughlin, Coombs, and Pohl- aye Ahern – Reviewed planting plan submitted per previous request. She placed the sport court as far from Eel Point Road as possible. Welch – His concern was regarding the grading submitted with the house approval; his recollection of the grading plan that what was submitted and the grading plan here; grade has been increased 2 feet on the outside circle of the driveway where the flag is. As far as he’s concerned, this is a house on a hill; and retaining and landscaping was an issue with that approval; he wants to see that compared with what’s proposed here. His concern is what was approved with the house; the grade in front of the home was discussed and at that time it was stated grade would not change; it has changed. He mentioned the house platform because it’s easiest to read. Looking at the northwest corner of the sport court, the existing grade is 36 feet and proposed is to go to 30 feet. This is relevant because it would change the baseline topography for the rest of the lot. He had no reason to believe the grade would change 4 to 6 feet that far from the house. Oliver – She’d like to see more information on the grading and fill. Asked why the sport court couldn’t be placed farther down the hill. McLaughlin – Fill can be overpowering visually by creating a mountain. Confirmed the fence is 8 feet black vinyl mesh and placed is inside a 4-foot retaining wall. Coombs – She would like to see less fill and less retainage. Pohl – The grading can become an issue on sloped sites; Mr. Welch mentioned that at the driveway there is 2 more feet of fill than proposed. This application is for a sport court and any grading should be taking place in the vicinity of the sport court, not the house. At the turn-around of the drive, the land slopes off dramatically. The contours around the sport court are stretched to the left side; that means fills is moving over to encompass the sport court. The sport court is now cut into an artificially mounded hill. More fill is coming in to level off around the court on a site that already has fill. The issue isn’t the location but the fill between the platform for the house and the sport court.				
Motion	Motion to Hold for revisions and more information on the amount of fill and the grade changes. (Coombs)				
Roll-call Vote	Carried 5-0//Welch, McLaughlin, Coombs, Oliver, and Pohl-aye			Certificate #	
2.	Deborah Lothian 02-0746	10 Easy Street	Hardscape	42.3.1-78	Nantucket Surveyors
Voting	Camp (acting Chair), Oliver, Watterson				
Alternates	None				
Recused	None				
Documentation	Landscape design plans, site plan, and photos.				
Representing	Paul Santos, Nantucket Surveyors				
Public	None				
Concerns (5:31)	(4:47) Not heard due to lack of a quorum. Santos – Reviewed changes made per previous concerns. Oliver – Likes the grass and cobble combination, Option 2. Watterson – Asked to see the edging details. Also likes Option 2.				
Motion	Motion to Approve through staff Option 2 with the division strip to be up to the application. (Oliver)				
Roll-call Vote	Carried 3-0//Watterson, Oliver, and Camp-aye			Certificate #	HDC2020-02-0746
3.	Pauline Spencer 03-0833	38 York Street	Shed	55.4.1-50	Ross Goodwin
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver				
Alternates	Welch				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, and advisory comments.				
Representing	Ross Goodwin				
Public	None				
Concerns (6:16)	Pohl – Read Ms. Backus notes: no photos, 4/12 pitch should be 8/12 or 12/12; need material for roof and trim. Oliver – She viewed this; there is a substantial hedge around a very small shed; she has no concerns. Camp – Agrees about the roof pitch and the shingled roof but it’s behind the hedge and the windows match the house. Coombs – No concerns even with the 4/12 pitch because this is a shanty. McLaughlin – 4/12 pitch roofs were more common in the 1940s and 1950s; no concerns.				
Motion	Motion to Approve as submitted. (Camp)				
Roll-call Vote	Carried 5-0//Oliver, Coombs, McLaughlin, Camp, and Pohl-aye			Certificate #	HDC2020-03-0833

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 40 PARCEL N°: 44
Street & Number of Proposed Work: 28 EEL POINT RD
Owner of record: MICHAEL BLACK
Mailing Address: 28 EEL POINT RD
NANTUCKET, MA
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: AHERN LLC
Mailing Address: 60 WINDY WAY
NANTUCKET, MA
Contact Phone #: 508-333-5338 E-mail: DESIGN@AHERNLLC.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 - Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 - Pool (Zoning District _____) Roof Other MULTI GAME SPORTS COURT (GREEN)
- Size of Structure or Addition: Length: 28' Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 50' Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: 8'
Type: WIRE MESH
Length: 148 LF

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls PT TIMBER

* Note: Complete door and window schedules are required. PIERS IN GRADE: COBBLE STONE SPORTS COURT: GREEN

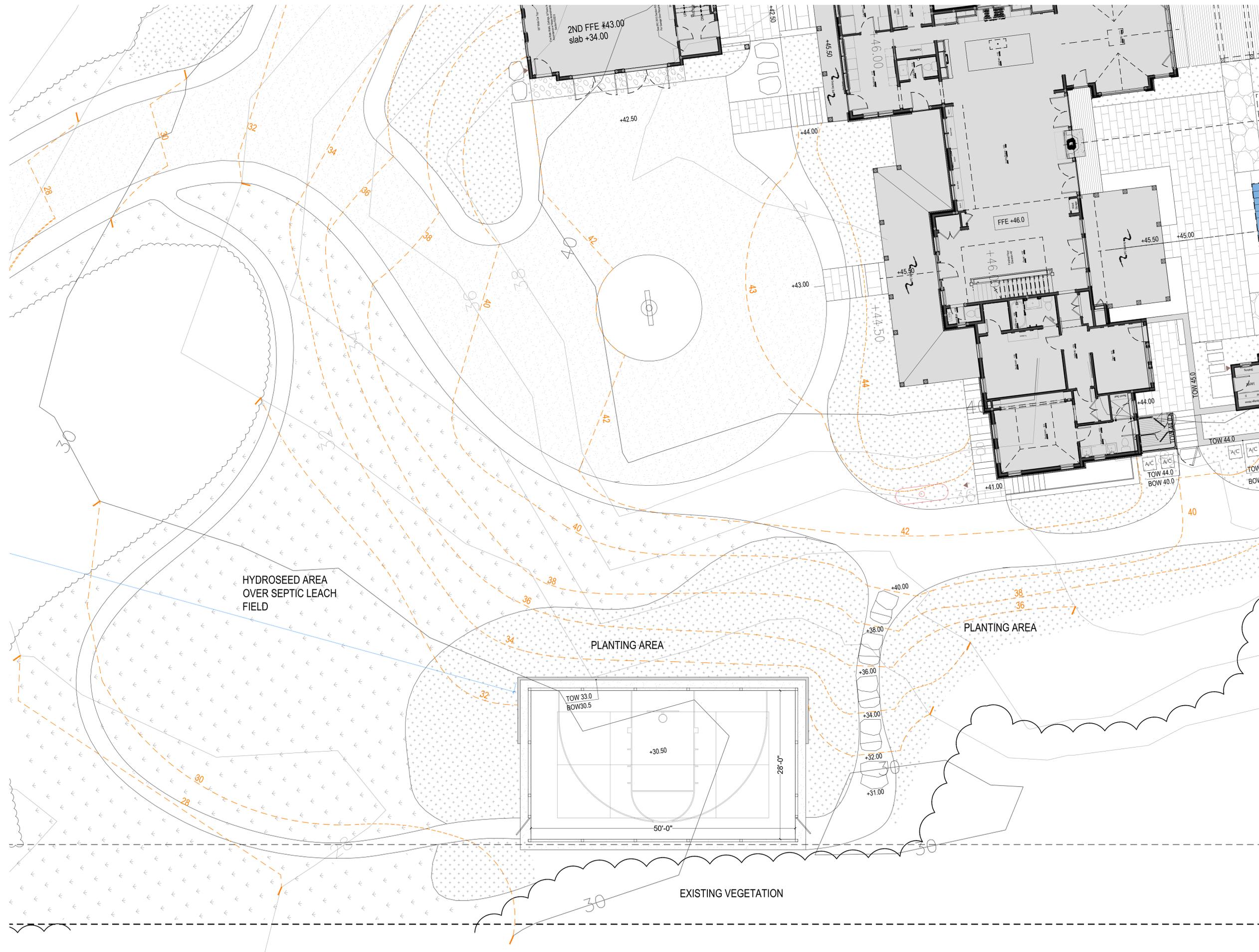
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 05-07-20 Signature of owner of record _____ Signed under penalties of perjury _____



PROJECT
BLACK RESIDENCE
 28 EEL POINT RD NANTUCKET MA 02554

OWNER
 MICHELLE AND DARREN BLACK

ARCHITECT
 EMERITUS Development Ltd.
 8 Williams Lane, Nantucket MA 02554
 T (508) 325-4995 F (508) 325-8960

SURVEYOR
 DAN MULLOY
 dmulloy@aherndesign.com
 T (508) 503-3500

BUILDER
 MILL POND BUILDERS COMPANY
 PO BOX 814, Nantucket MA 02554
 T (508) 356-5479

LANDSCAPE CONTRACTOR

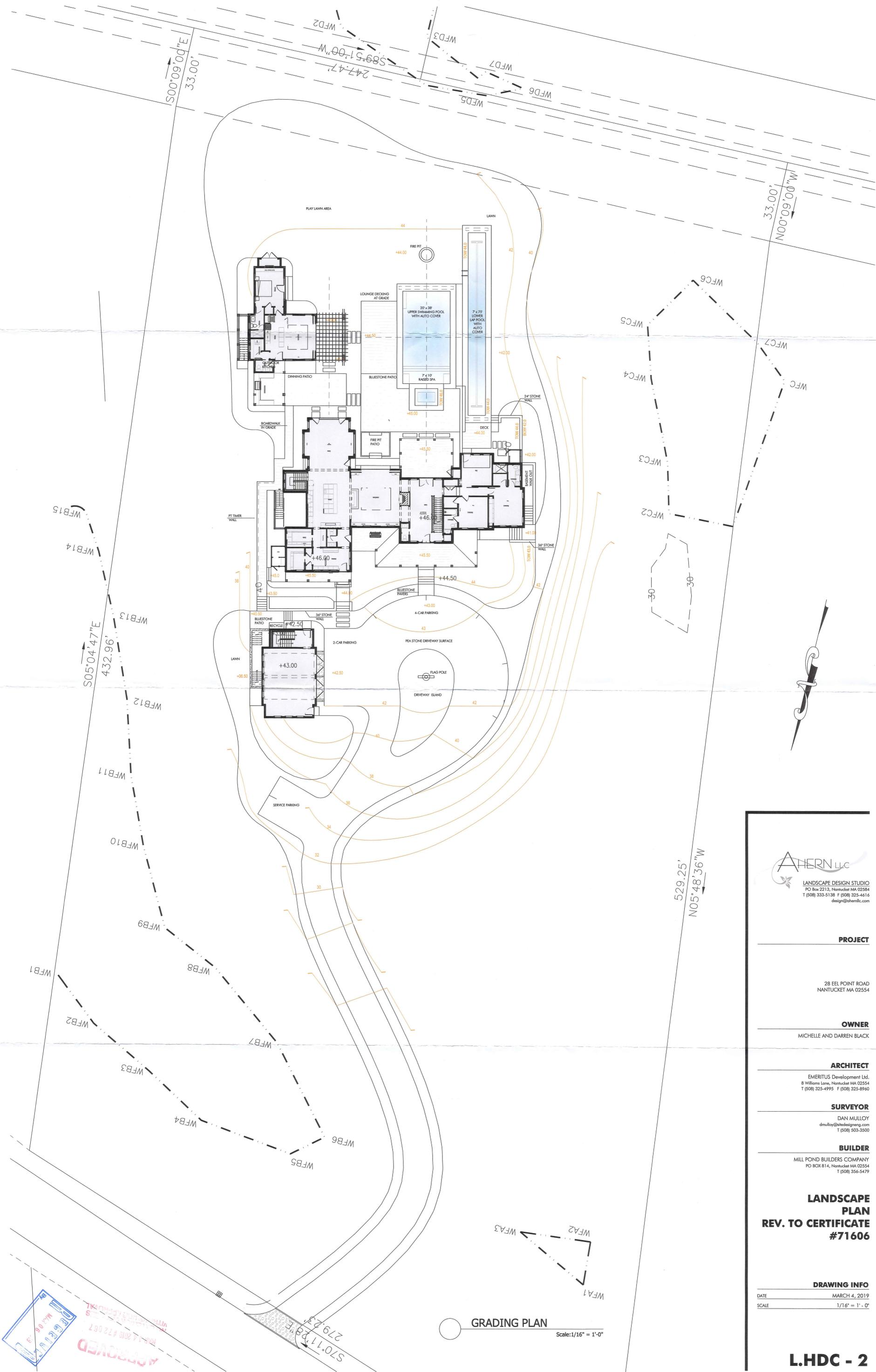
POOL CONTRACTOR



HDC SUBMISSION
SPORT COURT

DRAWING INFO
 DATE SEPTEMBER 11, 2020
 SCALE 1/8" = 1' - 0"

PREVIOUS ISSUES



APPROVED
 APR 14 2019 4:22:06 PM
 MILL POND BUILDERS COMPANY
 8 WILLIAMS LANE, NANTUCKET, MA 02554
 T (508) 325-4995 F (508) 325-8960
 DESIGN@PHMLLC.COM

GRADING PLAN
 Scale: 1/16" = 1' - 0"

AHERN LLC
 LANDSCAPE DESIGN STUDIO
 PO Box 2213, Nantucket MA 02584
 T (508) 333-5138 F (508) 325-4616
 design@aherhllc.com

PROJECT

28 EEL POINT ROAD
 NANTUCKET MA 02554

OWNER

MICHELLE AND DARREN BLACK

ARCHITECT

EMERITUS Development Ltd.
 8 Williams Lane, Nantucket MA 02554
 T (508) 325-4995 F (508) 325-8960

SURVEYOR

DAN MULLOY
 dmulloy@aherhllc.com
 T (508) 503-3500

BUILDER

MILL POND BUILDERS COMPANY
 PO BOX 814, Nantucket MA 02554
 T (508) 356-5479

**LANDSCAPE PLAN
 REV. TO CERTIFICATE
 #71606**

DRAWING INFO

DATE MARCH 4, 2019
 SCALE 1/16" = 1' - 0"

13. Dex Dog, LLC 08-1440 6B Arrowhead Drive Solar revisions 69/58.1 SunWind, LLC

Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and manufacturer spec sheet.
 Representing Timothy Holmes, SunWind, LLC
 Public None
 Concerns (6:46) **Flynn** – This came out of a failed inspection.
 Holmes – Presented project; explained the shingles would be painted black.
 Welch – Asked for a view.

Motion **Motion to View. (Coombs)**
 Roll-call Vote Carried 5-0//Oliver, Camp, Welch, Coombs, and Pohl-aye Certificate #

14. NIR 08-1485 29 Broad Street Hardscape – walls&A/C screen 42.4.2/38 Linda Williams

Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Landscape design plans, site plan, photos, historic documentation, and advisory comments.
 Representing Linda Williams
 Mike Duffy, NIR.
 Public None
 Concerns (6:54) **Backus** – JC House, circa 1835. Read HSAB comments: mitigate A/C or move; significant structure/high-profile space; atrocious.
 Duffy – Presented project.
 Williams – Paid the as-built fee. A/C can't be dropped lower; explained why the idea of a fence was dropped.
 Coombs – She has a problem with one of our oldest most significant buildings having this done to it and hearing “we can't change it.” Would like to see some approach that didn't look like the A/Ce is being covered. Wants to see several options.
 Oliver – It does look better than what was there. Agrees with Ms. Coombs. The as-built stuff has to stop; people have to stop work and come back in. The A/C has to be screened in perpetuity.
 Welch – Doesn't disagree with what's been said. At some point, we need to address rising as-built occurrences. The square compressor in the middle, unless there's an overwhelming issue, could be moved next to the other square unit with fences screening the group; the generator area could be screened with lower plants. He appreciates the effort to screen with plants but is concerned about throwing tall screening at this vs. having stepped planting and fencing, which will not hide the building or obstruct view from the sidewalk. Considering these are in retained areas, a fence on top of the retaining wall wouldn't have to be more than perhaps 3 feet tall.
 Camp – Agrees with Mr. Welch. Suggested a blue spruce that takes up the corner and gives the building presence. Suggested fencing be reduced as much as possible by keeping the units together – 6-foot natural to weather would be best. With revisions, suggested a photoshop view of what the building would look like from Broad Street and Centre Street.
 Pohl – Loves the idea of two-different heights – larger toward the back – of fence and vegetation.

Motion **Motion to Hold for revisions. (Coombs)**
 Roll-call Vote Carried 5-0//Welch, Camp, Oliver, Coombs, and Pohl-aye Certificate #

15. Anne McGivney 08-1498 45 West Chester Street Shed 41/230 Structures Unlimited

Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.
 Representing Linda Williams, for Structures Unlimited
 Public None
 Concerns (7:14) **Backus** – Main dwelling is circa 1900; shed should be behind main dwelling. Read HSAB comments: relocate, reduce roof pitch; need better graphics; not on the street; prefer gable forward; move deeper into the yard to be more discrete.
 Williams – Presented project; asked the commissioners to view this while the applicant makes revisions.
 Pohl – It's drawn with the wrong roof pitch; application says 9/12 but drawn 12/12.
 Oliver – Likes turning it gable forward. Can't be white.
 Coombs – Not everyone can have a shed. Wants to see other proposals reducing the height and size of the shed.
 Camp – Thinks gable forward is “noisier”; prefers the eave forward. Should be behind the hedge.
 Welch – He would not want the gable forward unless it's on the far side of the privet with a small walk through to it. Suggested a lean-to shed placed instead against the front right wall of the structure, setback a few feet further from the street side.

Motion **Motion to View and hold for revisions. (Camp)**
 Roll-call Vote Carried 5-0//Coombs, Welch, Oliver, Camp, and Pohl-aye Certificate #

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 42.4.2 PARCEL N°: 38
Street & Number of Proposed Work: 29 BROAD STREET
Owner of record: NANTUCKET ISLAND RESORTS LLC
Mailing Address: 75 PARK PLAZA #3
BOSTON, MA 02110
Contact Phone #: 617-803-6669 E-mail: WOBRIEN@NE
DEVELOPMENT.COM

AGENT INFORMATION (if applicable)

Name: LINDA WILLIAMS
Mailing Address: PO BOX 1440
NANTUCKET, MA 02554
Contact Phone #: 508-221-0432 E-mail: CARINA.LINDA
@COMCAST.NET

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A
REVISIONS: 1.-East Elevation
2.-South Elevation
3. West Elevation 5-ARC UNITS - 202' H x 304' 5"
4. North Elevation #1 TRANSFORMER - ALL GREY
5' H
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

Fence: Height: _____
Type: _____
Length: _____

* Note: Complete door and window schedules are required.

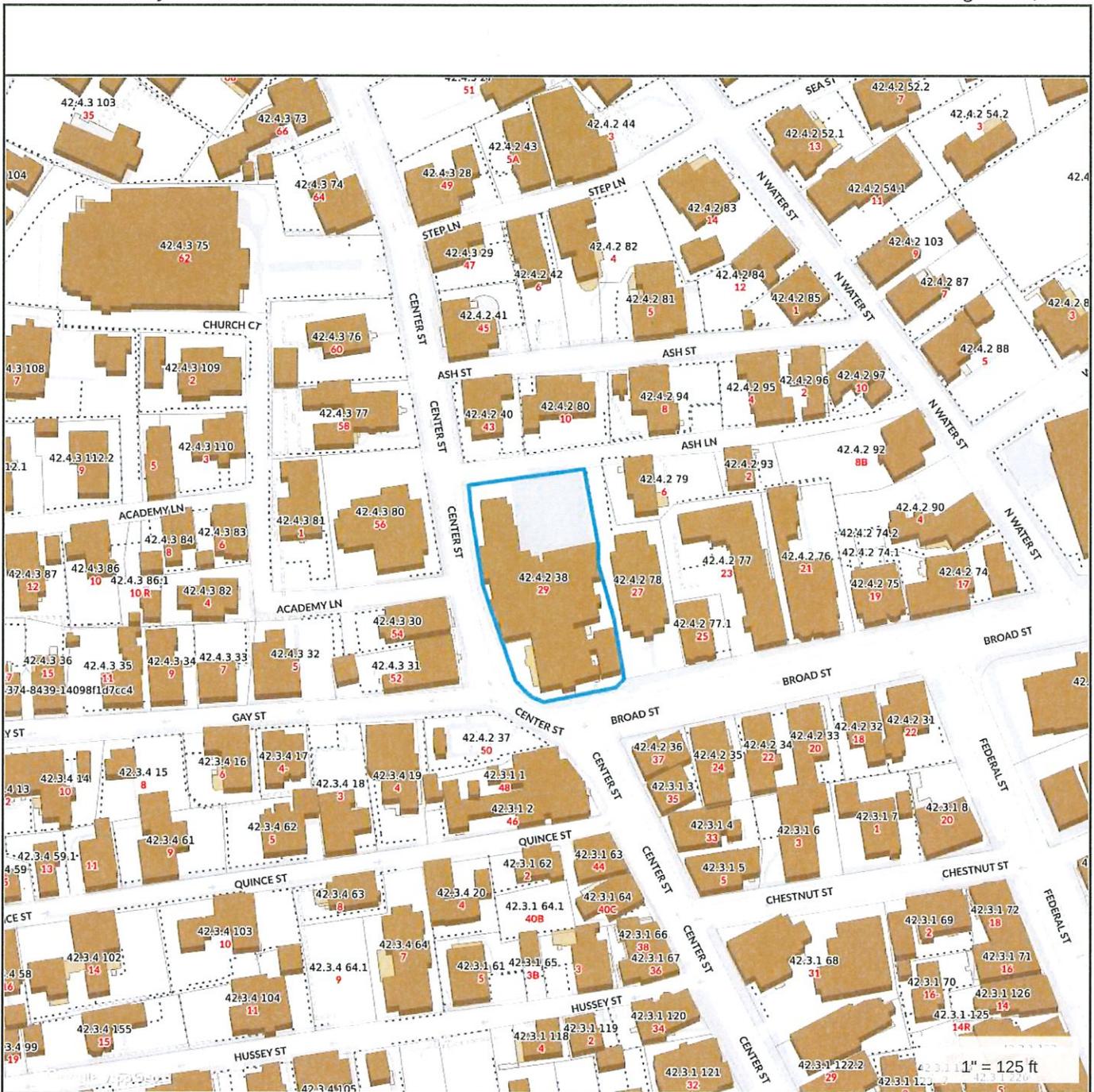
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 8/10/2020 Signature of owner of record _____ Signed under penalties of perjury



Property Information

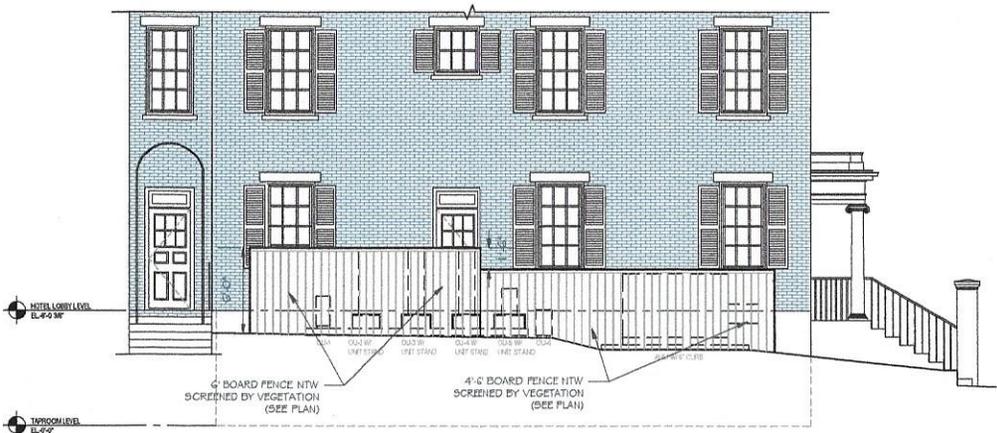
Property ID 42.4.2 38
 Location 29 BROAD ST
 Owner NANTUCKET ISLAND RESORTS LLC



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
 Data updated 11/19/2018



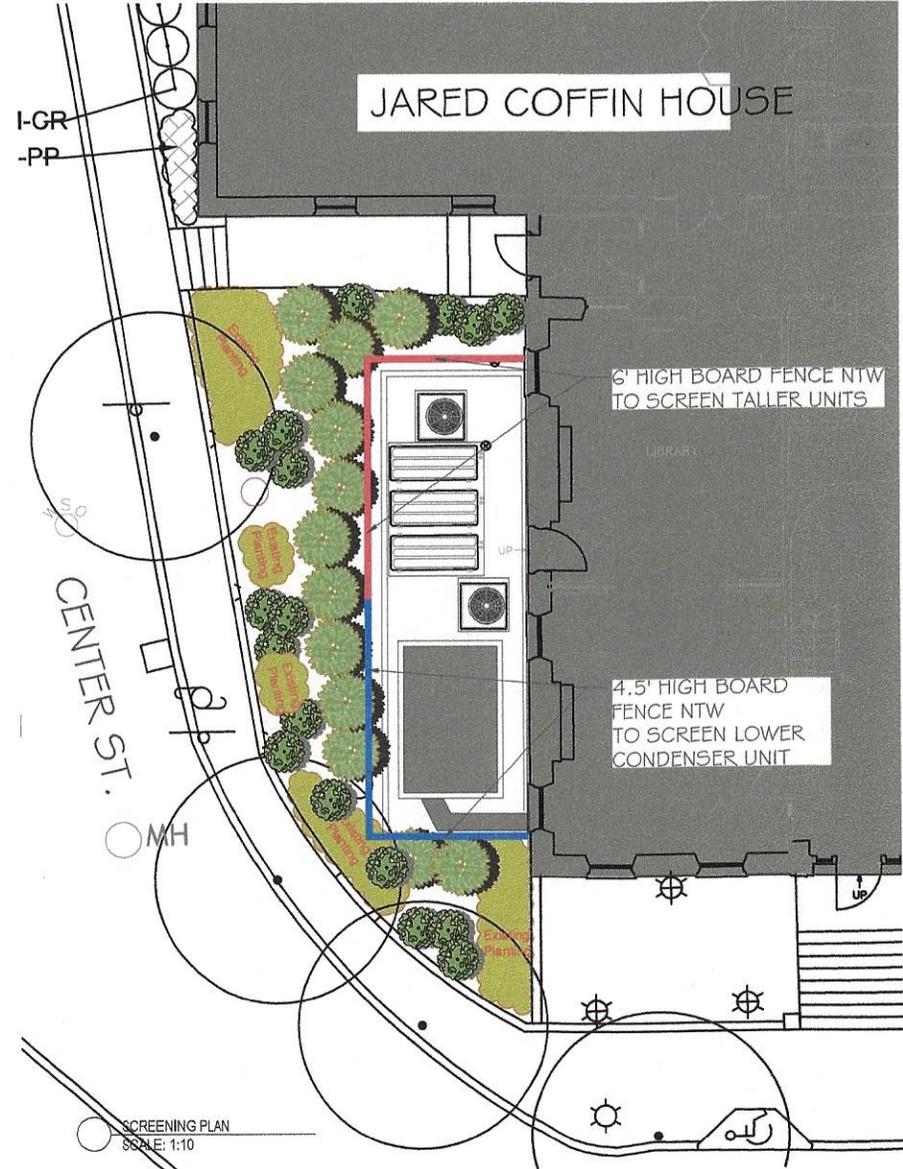
CENTER ST ELEVATION
SCALE: 1/4" = 1'-0"



GRAPHIC REPRESENTATION OF PROPOSED SCREENING - NTS



GRAPHIC REPRESENTATION OF PROPOSED SCREENING - NTS



SCREENING PLAN
SCALE: 1:10



SCALE: VARIES



September 14, 2020

SCREENING PLAN
JARED COFFIN HOUSE
28 BROAD ST



CHAMOUX
LANDSCAPE
ESTABLISHED 1978

- PREPARED FOR -

The Jared Coffin House
29 Broad Street
Nantucket MA 02554

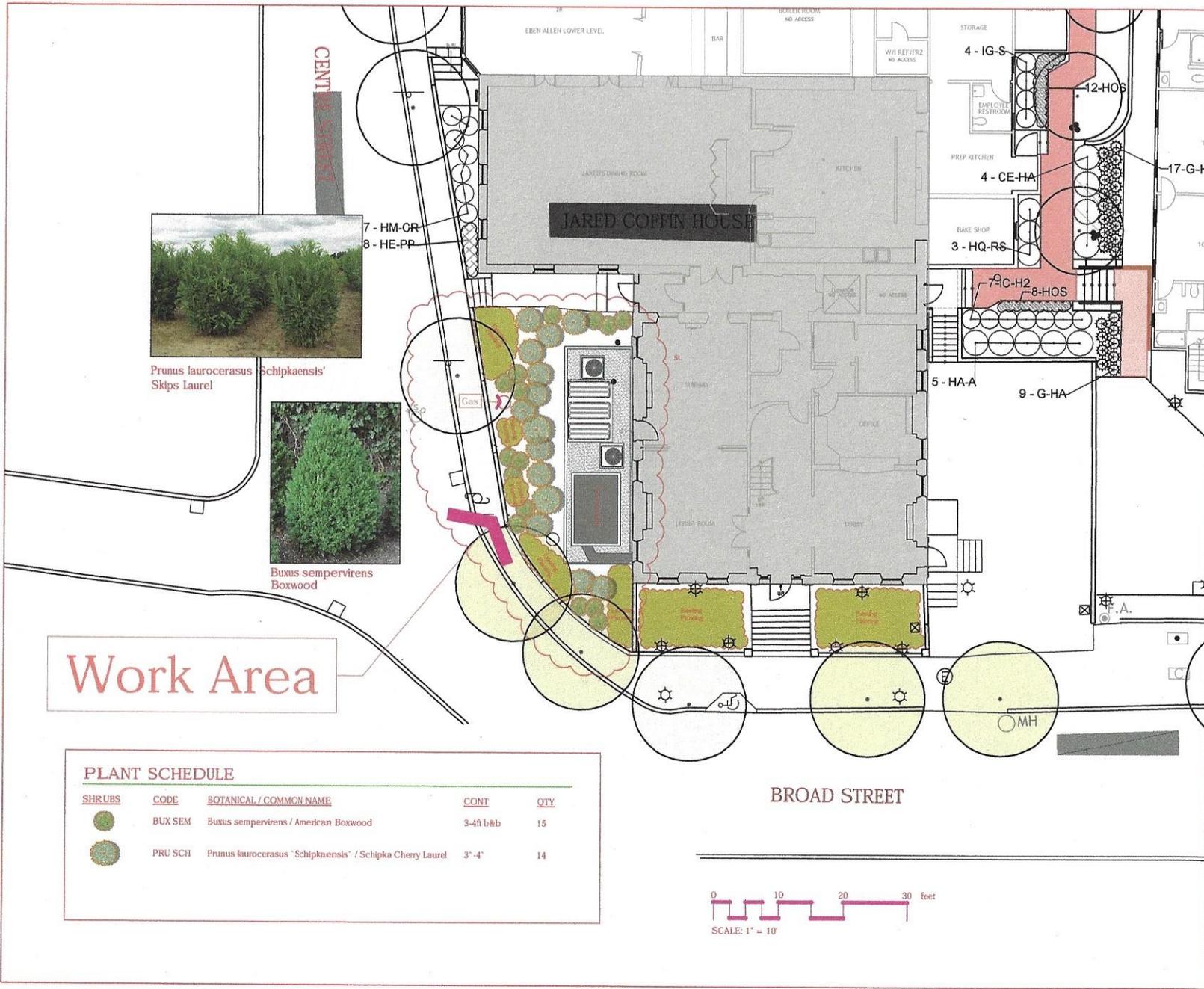
- DRAWING -

Screen Planting Plan



- REVISIONS -
8/4/2020

Scale 1" = 10'



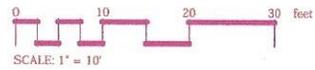
Prunus laurocerasus 'Schipkaensis'
Schipka Laurel



Buxus sempervirens
Boxwood

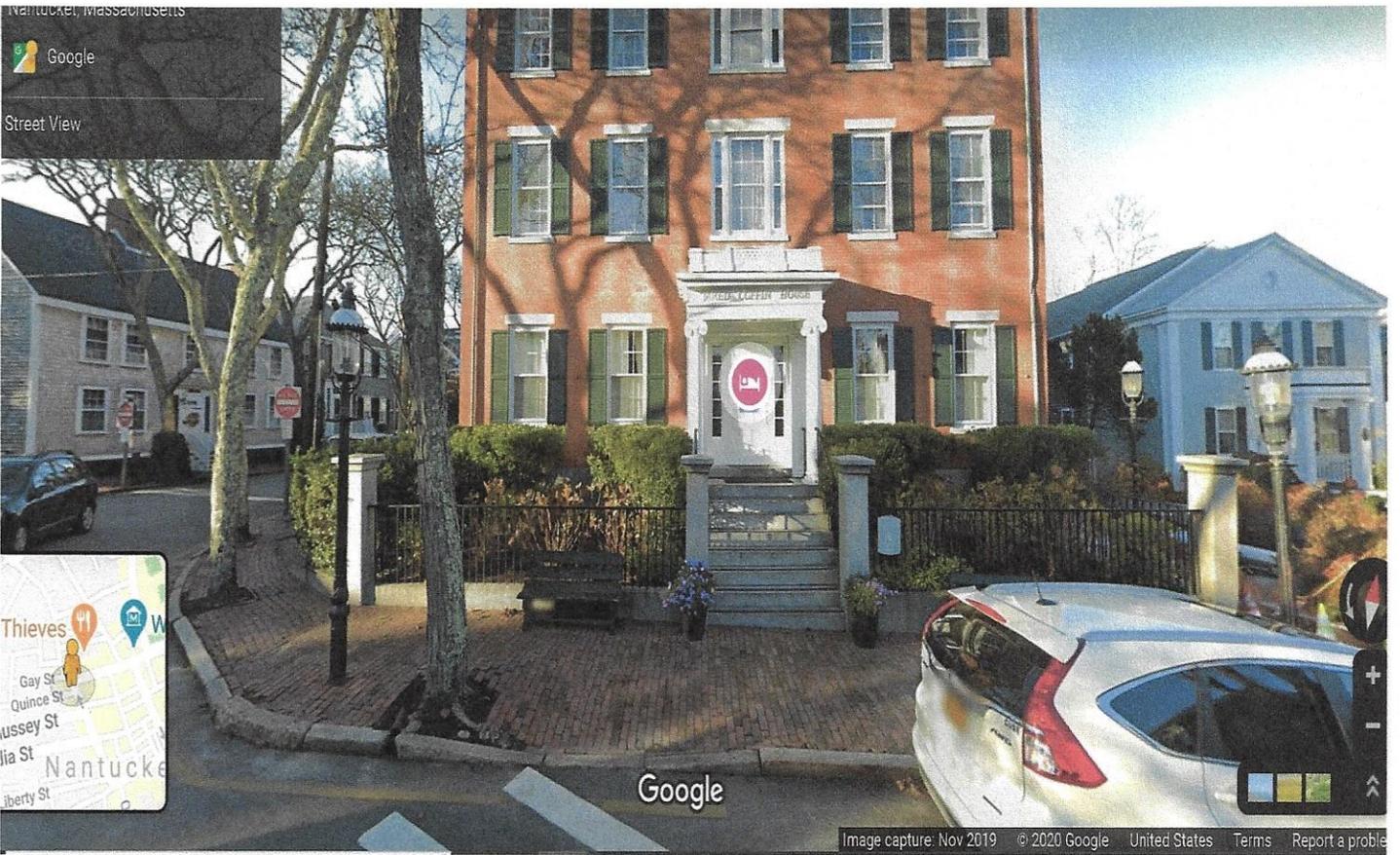
Work Area

PLANT SCHEDULE				
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	QTY
	BUX SEM	Buxus sempervirens / American Boxwood	3-4ft b&b	15
	PRU SCH	Prunus laurocerasus 'Schipkaensis' / Schipka Cherry Laurel	3'-4'	14



29 BROAD STREET – JARED COFFIN HOUSE
PRIOR FENCED-IN AREA WITH UNITS BEHIND IT





PREVIOUS UNITS REMOVED AND REPLACED BY CURRENT UNITS





NEW A/C UNITS AND TRANSFORMER – NEED TO BE ELEVATED ACCORDING TO INSTALLER

FROM CORNER OF BROAD AND CENTER STREETS – SW ELEVATION





VIEW FROM GAY STREET CORNER – WEST ELEVATION



VIEW FROM CENTER STREET – WEST ELEVATION



OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 ½ x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 ½ x 11
	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: Anton Dimov Date: _____

2. Thompson 07-1292	73 Baxter Road	Garage	49/27	Emeritus
Voting	Coombs (acting chair), Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (5:16)	<p>MacEachern – Reviewed changes made per previous concerns.</p> <p>Oliver – The huge rake overhangs tying into the front didn't drop the height; it's not tall but from the west looks disproportionate; suggested a saltbox or broke back on the ocean side.</p> <p>Camp – We saved the garage but now we can't get it right; the addition seems like a different building. The heavy gable coming forward on the site is a concern.</p> <p>Welch – To him this works well and is a marked improvement over what had been proposed and the demolition of the existing garage; it could be a little shorter but is still approvable.</p> <p>Coombs – West elevation, the drawing is off-putting; would also like about 1 foot taken out of the height of the addition. However, for her it is also approvable.</p>			
Motion	Motion to Approve through staff with ridge height reduced 1 foot. (Welch)			
Roll-call Vote	Carried 3-0//Oliver, Welch, and Coombs-aye; Camp abstain	Certificate #	HDC2020-07-1292	
3. Bartlett Farm House, LLC 06-1110	24 Bartlett Farm Road	Pool	65/86	Emeritus
Voting	Pohl, Coombs, Camp			
Alternates	None			
Recused	None			
Documentation	Landscape design plans, site plan, and photos.			
Representing	Matt MacEachern, Emeritus Development Julie Jordin, Garden Design Company			
Public	None			
Concerns (5:28)	<p>MacEachern – Submitted a landscape plan per previous concerns.</p> <p>Jordin – Reviewed changes to the landscape plan. New England fieldstone can be round but lay flat without being skinny flat; she can use two sizes of stone. There is no fencing.</p> <p>Camp – New England field stone in that farm area is too flat; should be more like an old-fashioned stone wall. Doesn't want to see a sharp edge on the granite curbing; the edges should be softened around the driveway.</p> <p>Coombs – Asked if the pool has an autocover because no fencing is shown. Some of auto-covers are very bright; it should blend into the area. The cedars should not be planted in a row.</p> <p>Pohl – He's fine with the comments made.</p>			
Motion	Motion to Approve through staff with the cover to be natural; stone to be a mix; use old curb around the driveway; and stagger pines and cedars. (Camp)			
Roll-call Vote	Carried 3-0//Coombs, Camp, and Pohl-aye	Certificate #	HDC2020-06-1	
4. Stephen Frohwein 07-1285	32 North Liberty Street	Addition	41/159	Emeritus
Voting	Pohl, Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (5:40)	<p>MacEachern – Reviewed changes made per previous concerns; gambrel allowed us to keep roof lower than existing.</p> <p>Backus – From her perspective, this is great for an addition to a traditional 3 bay. Read HSAB comments on revised plans: gambrel dormers scale off and too tall; height needs to come down; the look of the gambrel is odd; step down no gambrel; a good example of gambrel addition is on Hussey Street; simple gable; side dormer is overwhelming.</p> <p>Coombs – Likes seeing all four elevations at once. Wants the addition roof height dropped and pull the shed dormers off the ridge. West elevation, separate the 1st-floor windows to fill the wall. Thinks this addition, when finished with a few revisions, will be worthwhile to look at. Only one elevation will be visible at any location.</p> <p>Oliver – Appreciates moving the addition to the rear. Agrees with Ms. Coombs; the ridge height dropped would make it subservient. Suggested two single-window dormers will calm it down.</p> <p>Welch – Agrees with much that's been said; lower the ridge and pull the dormers off the roof. The addition is approvable with some modifications. East elevation, the bay window is a key element as the structure currently exists; it reads as a story to the structure; he won't support this unless the bay window remains.</p> <p>Camp – She's on the fence about the east elevation bay window. Agrees about the ganged windows on the north and south and bringing the ridge height down. The bay helps obscure the view of the addition.</p> <p>Pohl – West elevation, this is not how dormers on a gambrel are done; the bottom of the gambrel has to either come up or the dormers dropped to be an extension.</p>			
Motion	Motion to Hold for revisions. (Coombs)			
Roll-call Vote	Carried //Camp, Oliver, Welch, Coombs, and Pohl-aye	Certificate #		

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 159
Street & Number of Proposed Work: 32 N Liberty St
Owner of record: Stephen Frohwein
Mailing Address: 32 N Liberty Street
Nantucket, MA 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Emeritus
Mailing Address: 8 Williams Ln
Nantucket, MA 02554
Contact Phone #: 325-4995 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 22 ft Sq. Footage 1st floor: 550 Decks/Patio: Size: +/- 20sf 1st floor 2nd floor
Width: 26 ft Sq. footage 2nd floor: 550 Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North +/- 6" South +/- 6" East +/- 6" West +/- 6"
Height of ridge above final finish grade: North +/- 20' 10" South +/- 20' 10" East +/- 20' 10" West +/- 20' 10"

Additional Remarks

Historic Name: n/a
Original Date: 1840
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

REVISIONS*

- 1. East Elevation New addition, add pent roof
- 2. South Elevation New addition
- 3. West Elevation New addition, add pent roof, new ODS
- 4. North Elevation Fenestration changes, add pent roof and ODS

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed +/- 8" Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) red brick Other _____

Roof Pitch: Main Mass 12/12 Secondary Mass 12/12 Dormer 4/12 Other pent roof 3/12

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer n/a Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) n/a Corner boards 5/4x6 Frieze 1x4

Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type n/a Material _____

Hardscape materials: Driveways n/a Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall natural Clapboard (if applicable) n/a Roof asphalt black
Trim white Sash white Doors front existing, patio white
Deck natural Foundation natural Fence n/a Shutters black-exis

* Attach manufacturer's color samples if color is not from HDC approval list.

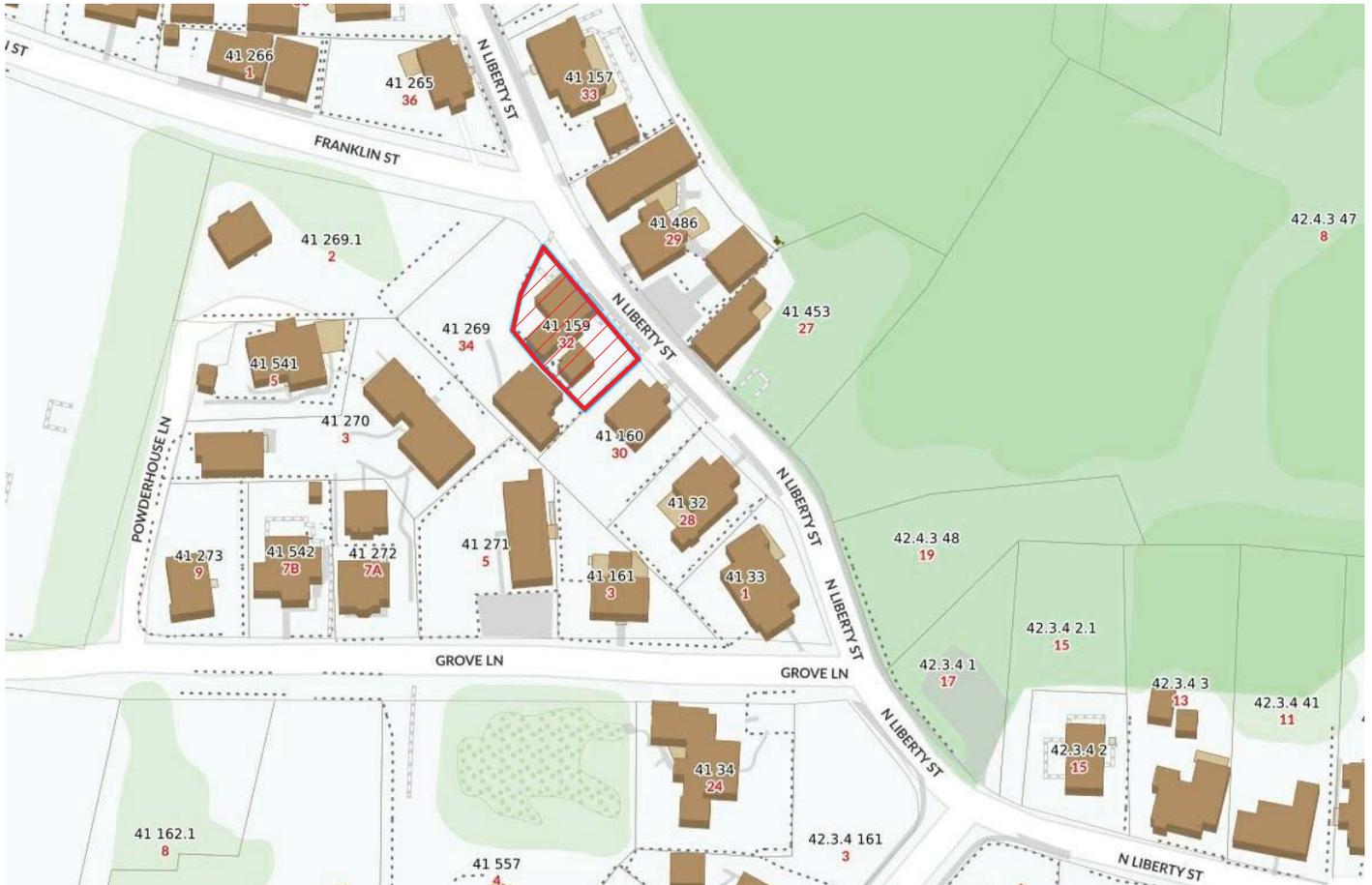
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 6.29.20 Signature of owner of record _____ Signed under penalties of perjury

Main House

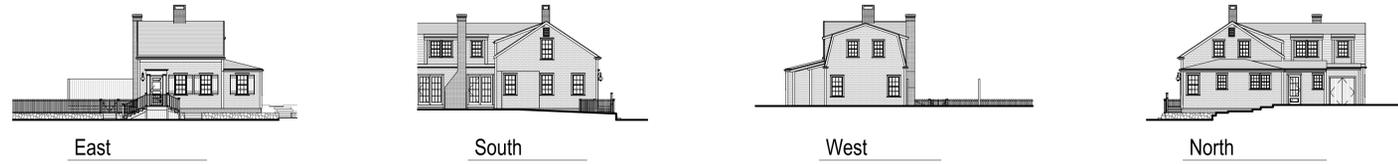
32 N. Liberty
Nantucket, MA 02554

09.17.20



Main House

32 N. Liberty
Nantucket, MA 02554



1943
Main House
32 N. Liberty
Nantucket, MA 02554



Cover Sheet

Site Information

Map & Parcel:	41 / 159
Current Zoning:	R1
Minimum Frontage:	50 ft
Front Setback:	10 ft
Side/Rear Setback:	5 ft
Lot Size:	4,297 sq. ft.
Min. Lot Size:	5,000 sq. ft.
Allowable G.C.:	30%
Existing G.C.:	+/- 1,064 sq. ft.
Proposed G.C.:	555 sq. ft.
Total Proposed G.C.:	1,278 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

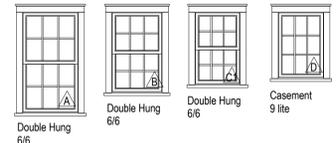
- G.1.1 Cover Sheet
- A.1.1 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

09.17.20



1 Locus Map

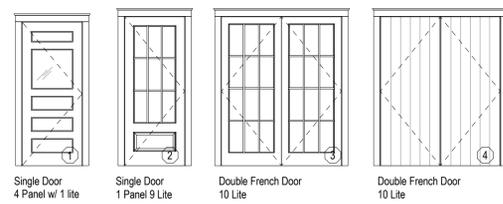
12" = 1'-0"



2 Window Legend

1/4" = 1'-0"

WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	DP RATING
A	5	2'-9 3/4"	4'-9 1/2"	≥ 30
B	8	2'-6 3/4"	3'-10"	≥ 30
C1	4	2'-3 3/4"	3'-5 1/2"	≥ 30

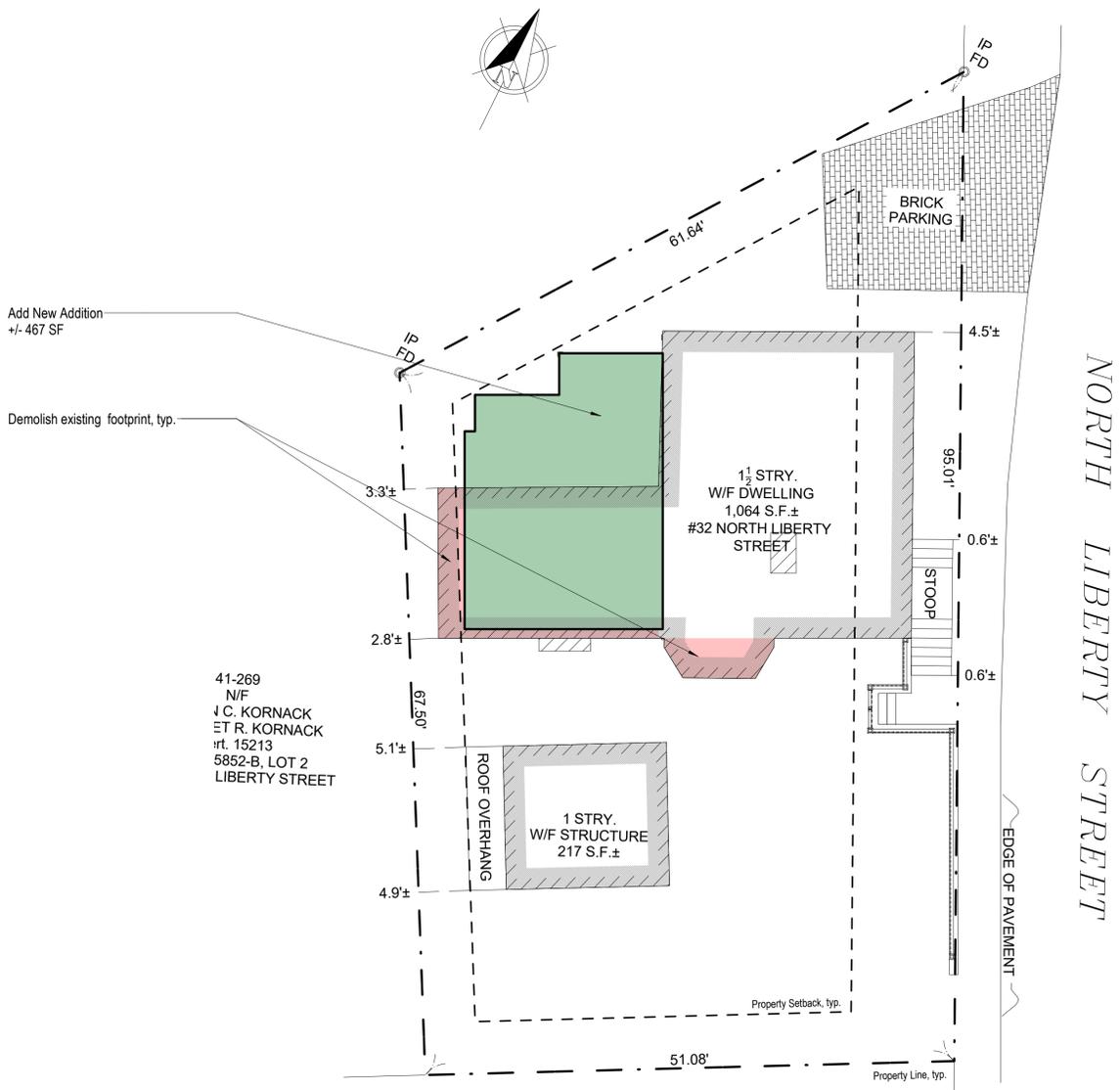


3 Door Legend

1/4" = 1'-0"

DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	DP RATING
2	1	2'-10"	7'-0"	≥ 30
3	2	5'-8"	7'-0"	≥ 30
4	1	5'-8"	7'-0"	≥ 30

- WINDOW & DOOR NOTES**
- Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
 - Windows w/ DP Rating of 30 or Greater Required
 - Contractor To Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
 - Refer To Plan For Tempered Glass Locations, Contractor To Verify Tempered Windows Are Provided Where Required
 - Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
 - General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
 - General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
 - Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
 - Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
 - The Unit Measurements Given in this Document Are For A Guide Only
 - Due To Slight Discrepancies & Changes in Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



4 Site Plan

1/8" = 1'-0"

HDC Submission ONLY

Revisions

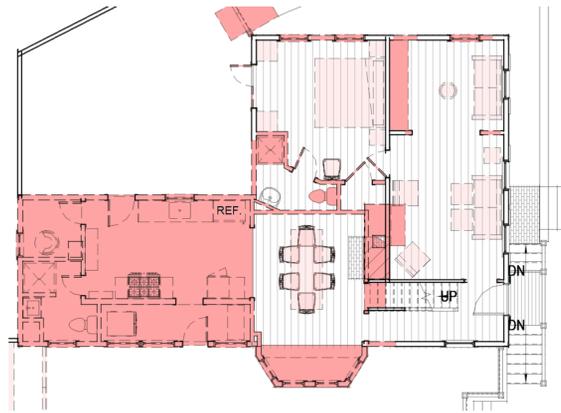
THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.

DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING, WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

G.1.1
1943

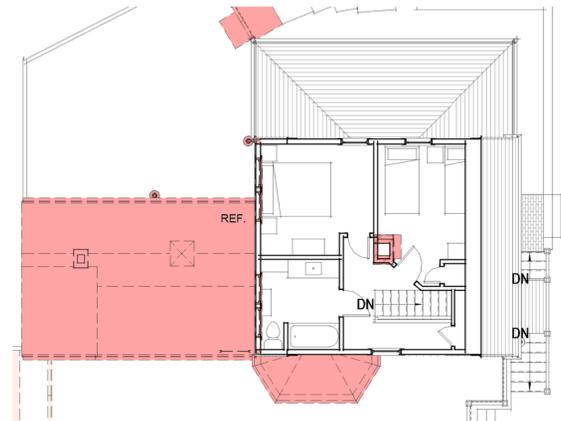
09.17.20

HDC Submission ONLY



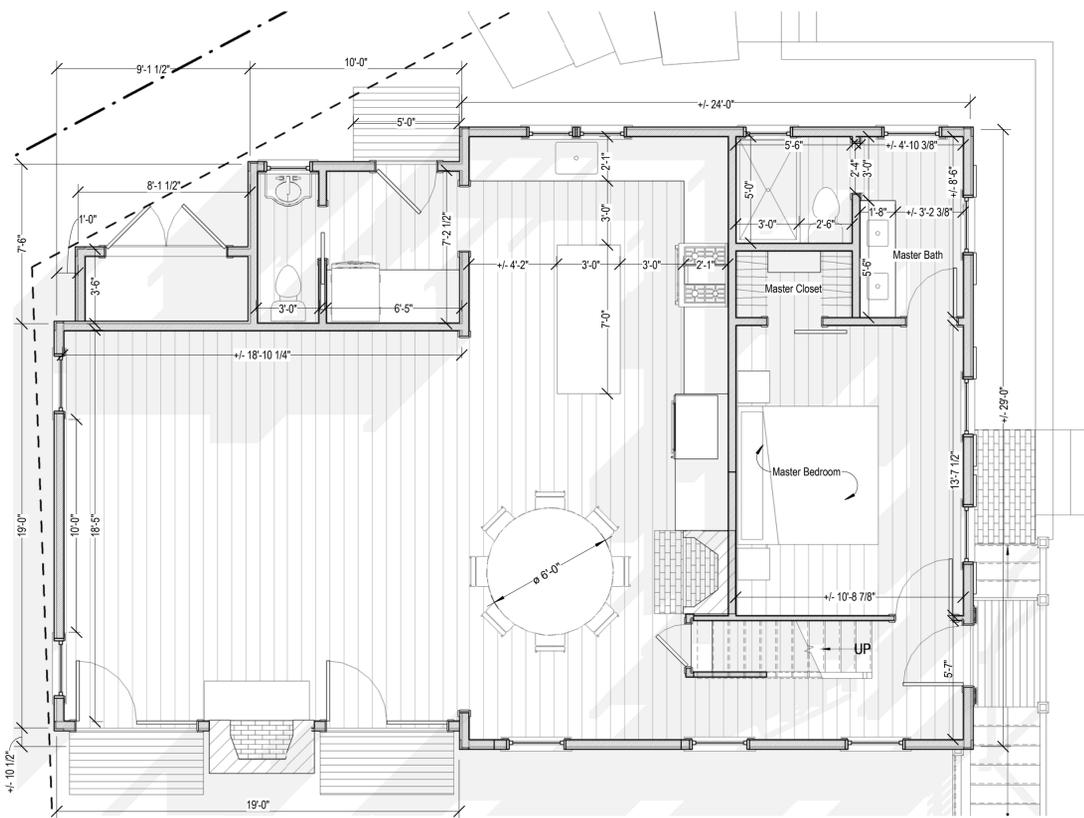
First Floor - Demo Plan

1/8" = 1'-0"



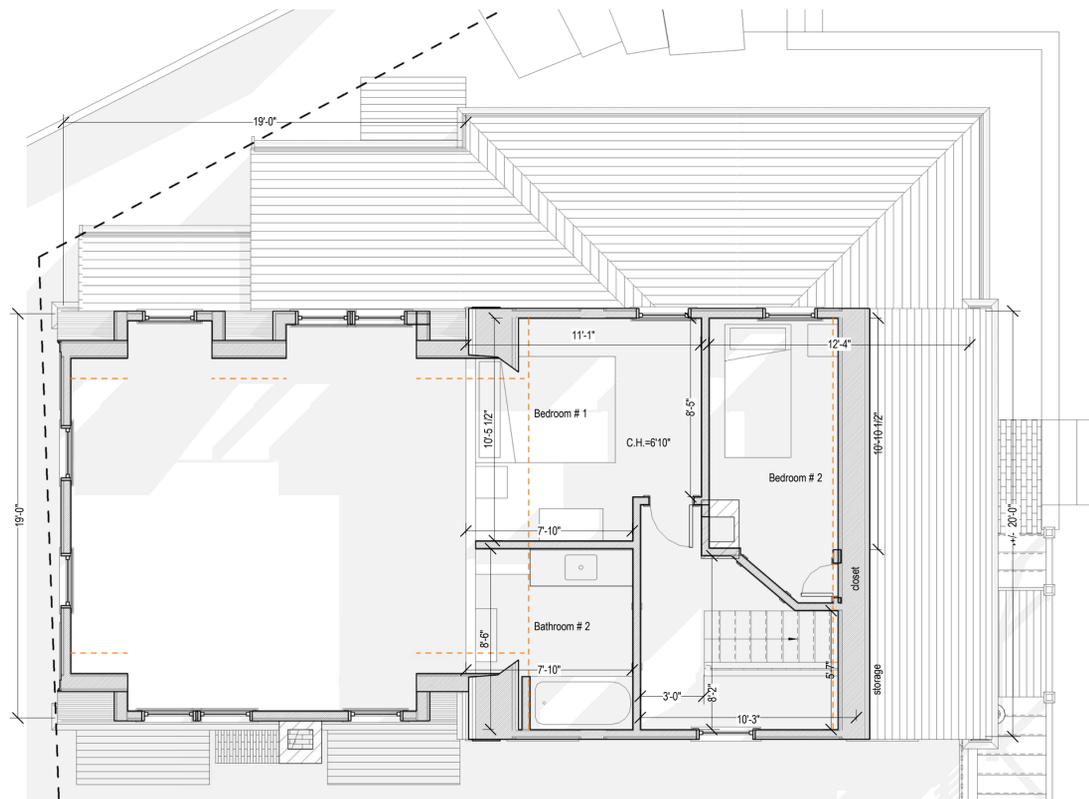
Second Floor - Demo Plan

1/8" = 1'-0"



1 First Floor - Proposed

1/4" = 1'-0"



2 Second Floor - Proposed

1/4" = 1'-0"

1943

Main House

32 N. Liberty
Nantucket, MA 02554



Floor Plans

Site Information

Map & Parcel:	41 / 159
Current Zoning:	R1
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SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

Revisions

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A.1.1

1943

09.17.20

HDC Submission ONLY



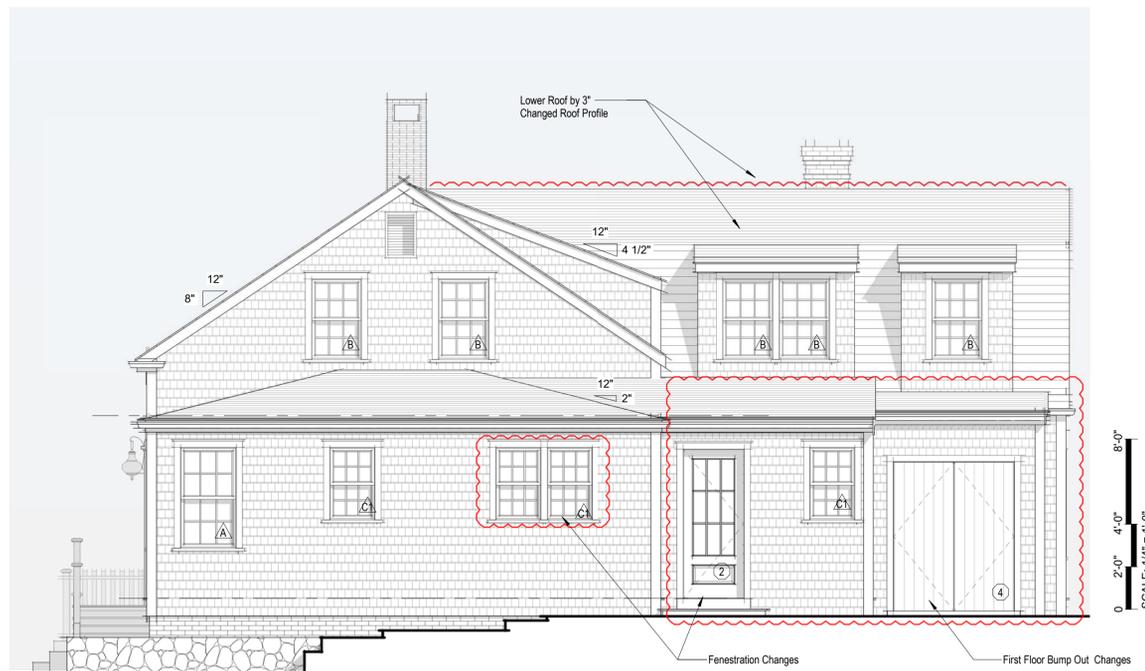
1 East Elevation / No Changes
1/4" = 1'-0"



Previously Proposed East Elevation
1/8" = 1'-0"



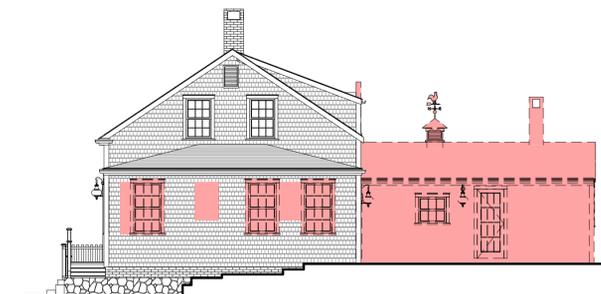
East Elevation - Existing & Demo
1/8" = 1'-0"



2 North Elevation
1/4" = 1'-0"



Previously Proposed North Elevation
1/8" = 1'-0"



North Elevation - Existing & Demo
1/8" = 1'-0"

1943

Main House

32 N. Liberty
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	41 / 159
Current Zoning:	R1
Minimum Frontage:	50 ft
Front Setback:	10 ft
Side/Rear Setback:	5 ft
Lot Size:	4,297 sq. ft.
Min. Lot Size:	5,000 sq. ft.
Allowable G.C.:	30%
Existing G.C.:	+/- 1,064 sq. ft.
Proposed G.C.:	555 sq. ft.
Total Proposed G.C.:	1,278 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

Revisions

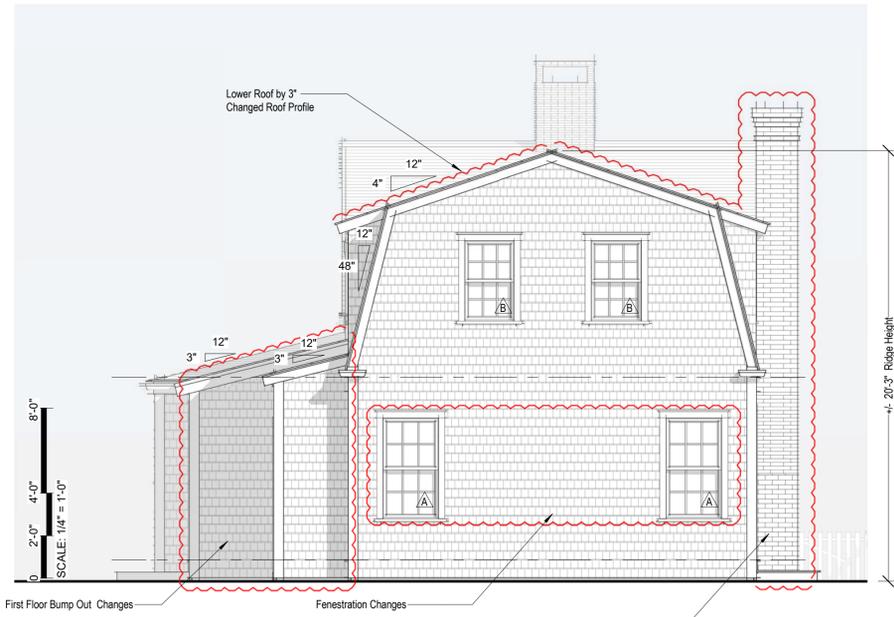
THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.

DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

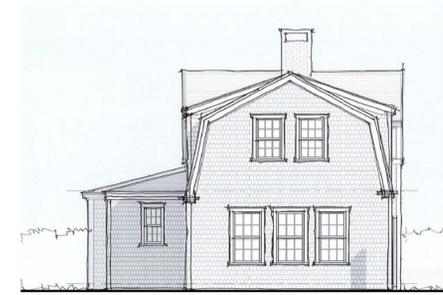
A.2.1
1943

09.17.20

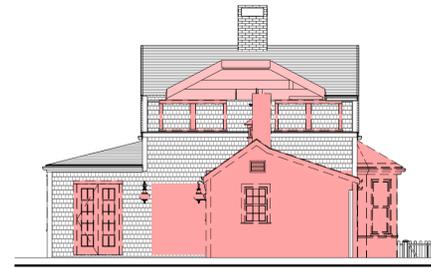
HDC Submission ONLY



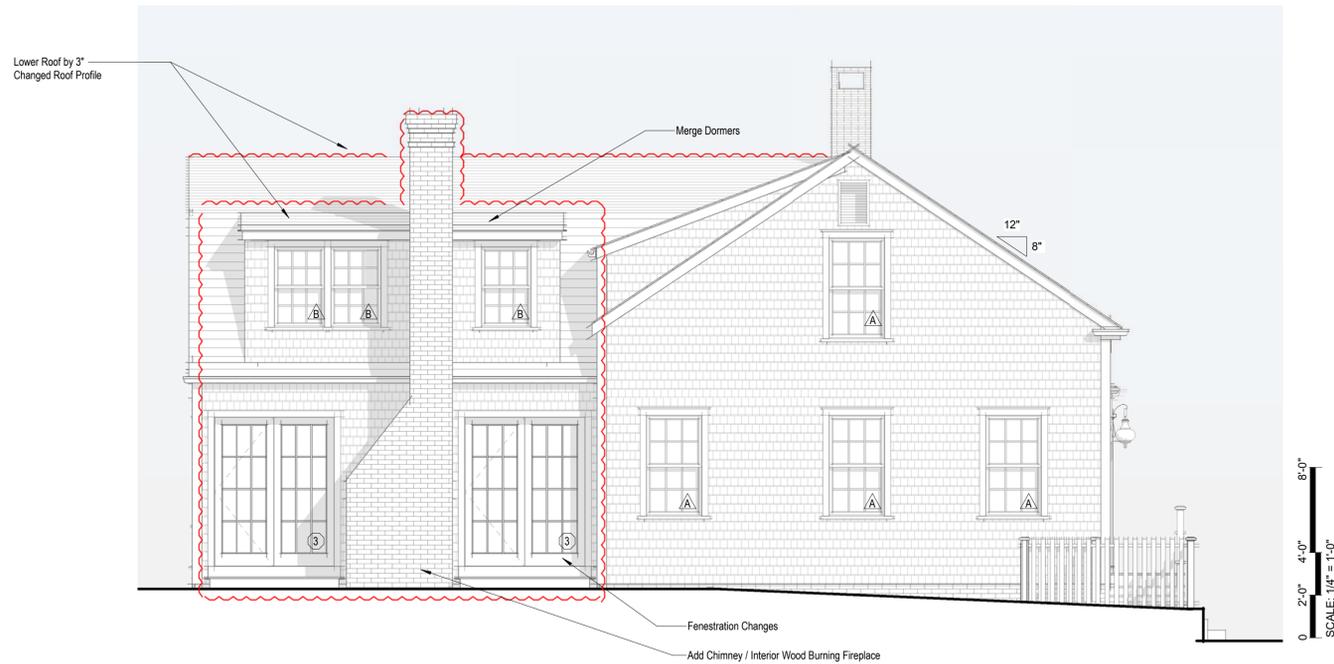
1 West Elevation
1/4" = 1'-0"



Previously Proposed West Elevation
1/8" = 1'-0"



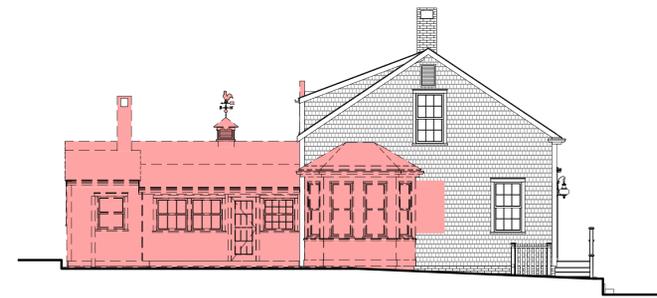
West Elevation - Existing & Demo
1/8" = 1'-0"



2 South Elevation
1/4" = 1'-0"



Previously Proposed South Elevation
1/8" = 1'-0"



South Elevation - Existing & Demo
1/8" = 1'-0"

1943

Main House

32 N. Liberty
Nantucket, MA 02554



8 Williams Lane Nantucket, MA
02554
P. 508.325.6995
F. 508.325.6980
www.emeritusdevelopment.com

Exterior Elevations

Site Information

Map & Parcel:	41 / 159
Current Zoning:	R1
Minimum Frontage:	50 ft
Front Setback:	10 ft
Side/Rear Setback:	5 ft
Lot Size:	4,297 sq. ft.
Min. Lot Size:	5,000 sq. ft.
Allowable G.C.:	30%
Existing G.C.:	+/- 1,064 sq. ft.
Proposed G.C.:	555 sq. ft.
Total Proposed G.C.:	1,278 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

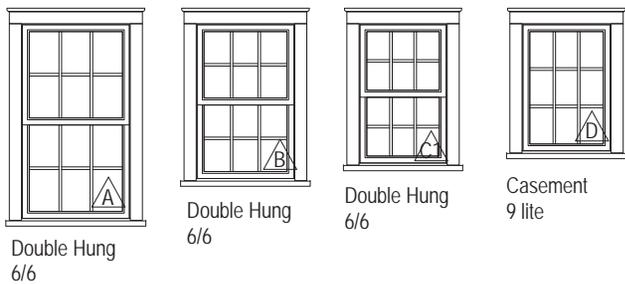
Revisions

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DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING, WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

A.2.2
1943

NORTH LIBERTY STREET

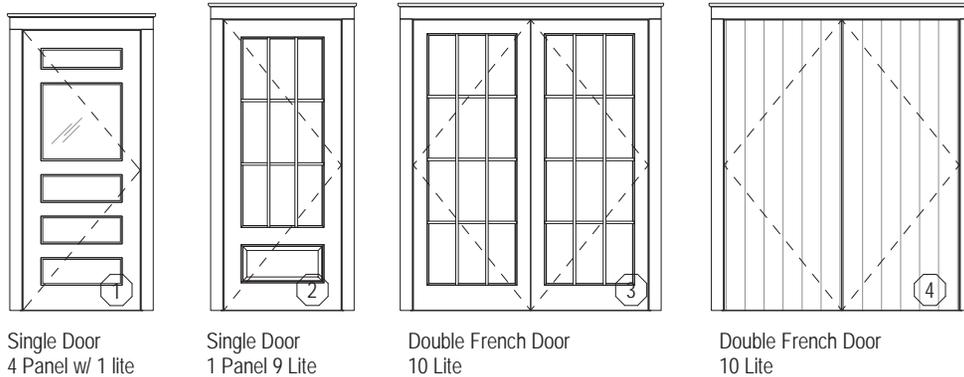




2 Window Legend

1/4" = 1'-0"

WINDOW SCHEDULE				
WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	DP RATING
A	5	2'-9 3/4"	4'-9 1/2"	≥ 30
B	8	2'-6 3/4"	3'-10"	≥ 30
C1	4	2'-3 3/4"	3'-5 1/2"	≥ 30



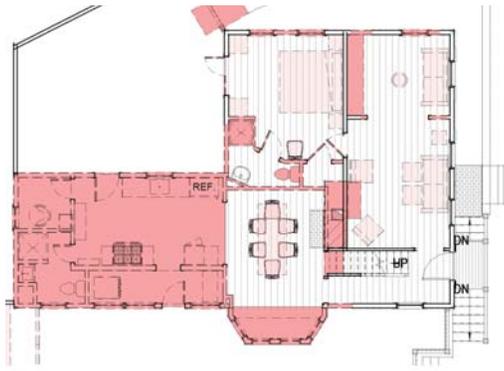
3 Door Legend

1/4" = 1'-0"

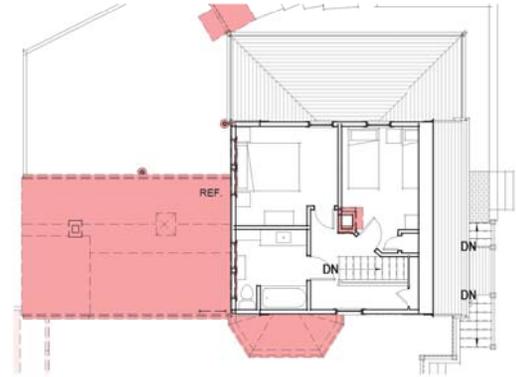
EXTERIOR DOOR SCHEDULE				
DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	DP RATING
2	1	2'-10"	7'-0"	≥ 30
3	2	5'-8"	7'-0"	≥ 30
4	1	5'-8"	7'-0"	≥ 30

WINDOW & DOOR NOTES

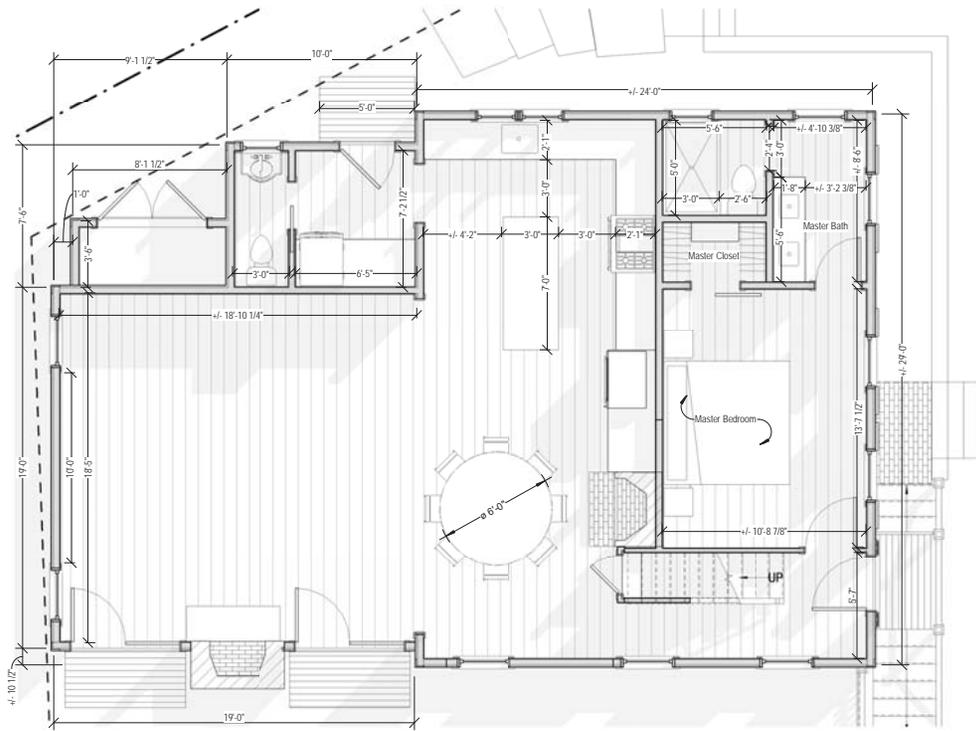
- Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
- Windows w/ DP Rating of 30 or Greater Required
- Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
- Refer To Plan For Tempered Glass Locations; Contrator To Verify Tempered Windows Are Provided Where Required
- Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
- General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
- General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
- Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
- Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
- The Unit Measurements Given In this Document Are For A Guide Only
- Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



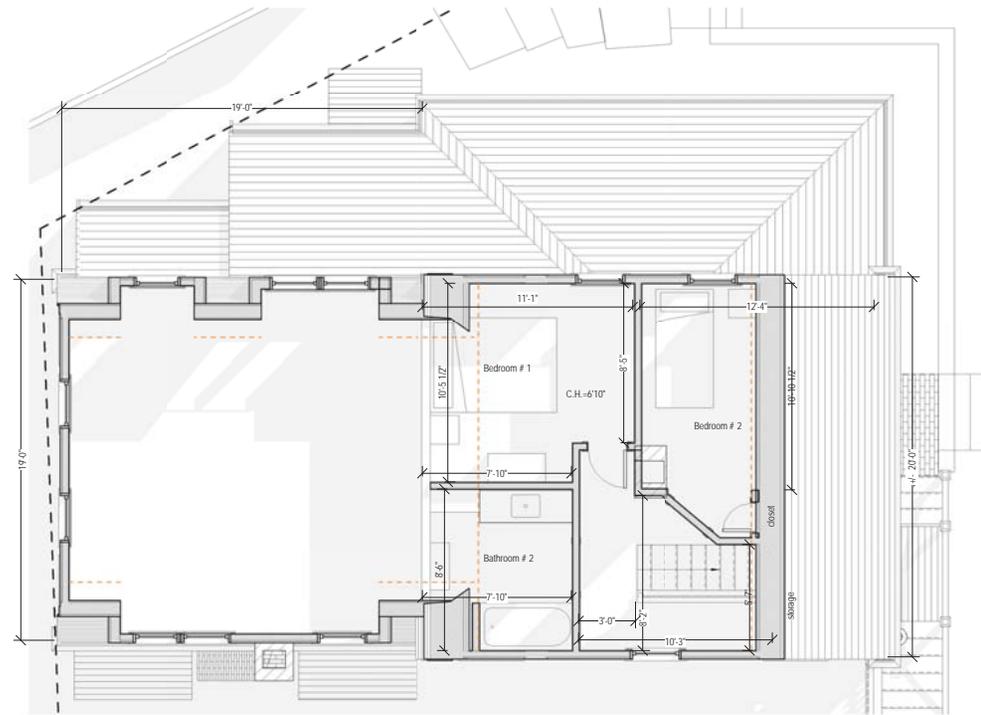
First Floor - Demo Plan
1/8" = 1'-0"



Second Floor - Demo Plan
1/8" = 1'-0"



1 First Floor - Proposed
1/4" = 1'-0"

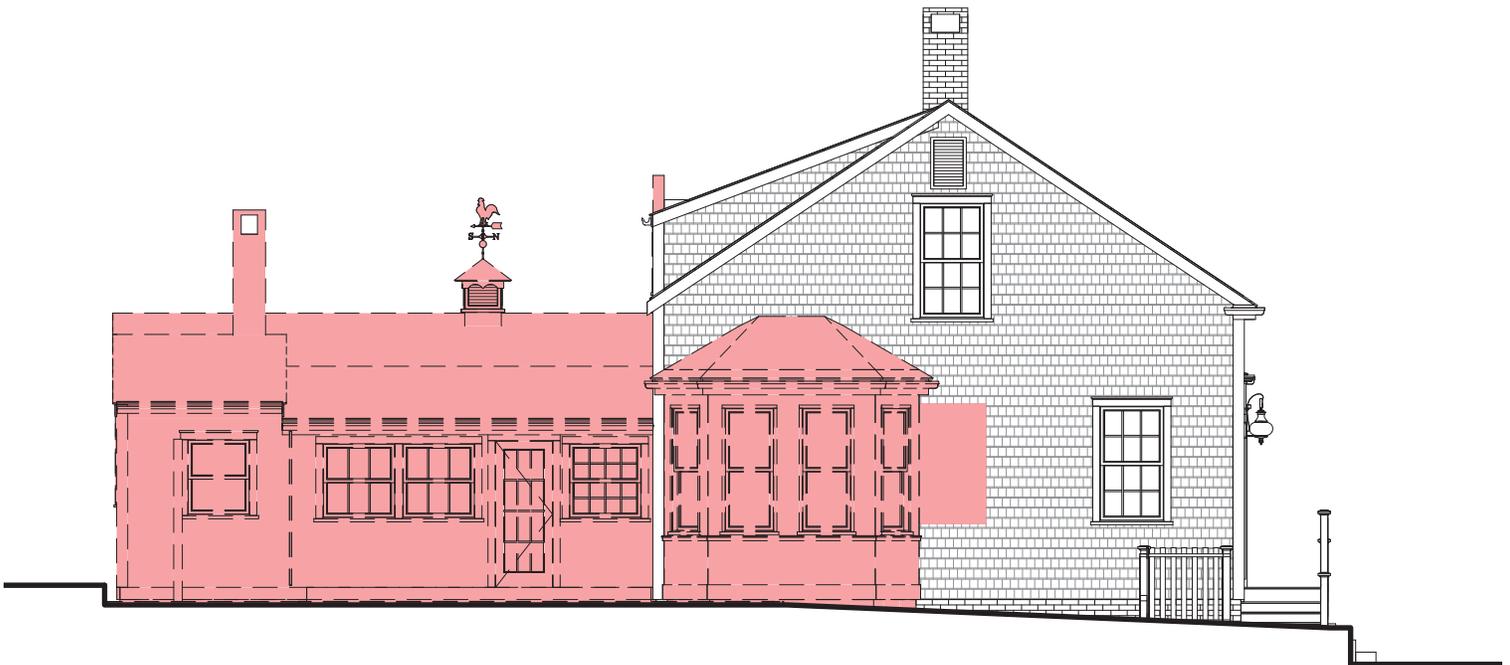


2 Second Floor - Proposed
1/4" = 1'-0"



Previously Proposed South Elevation

1/8" = 1'-0"



South Elevation - Existing & Demo

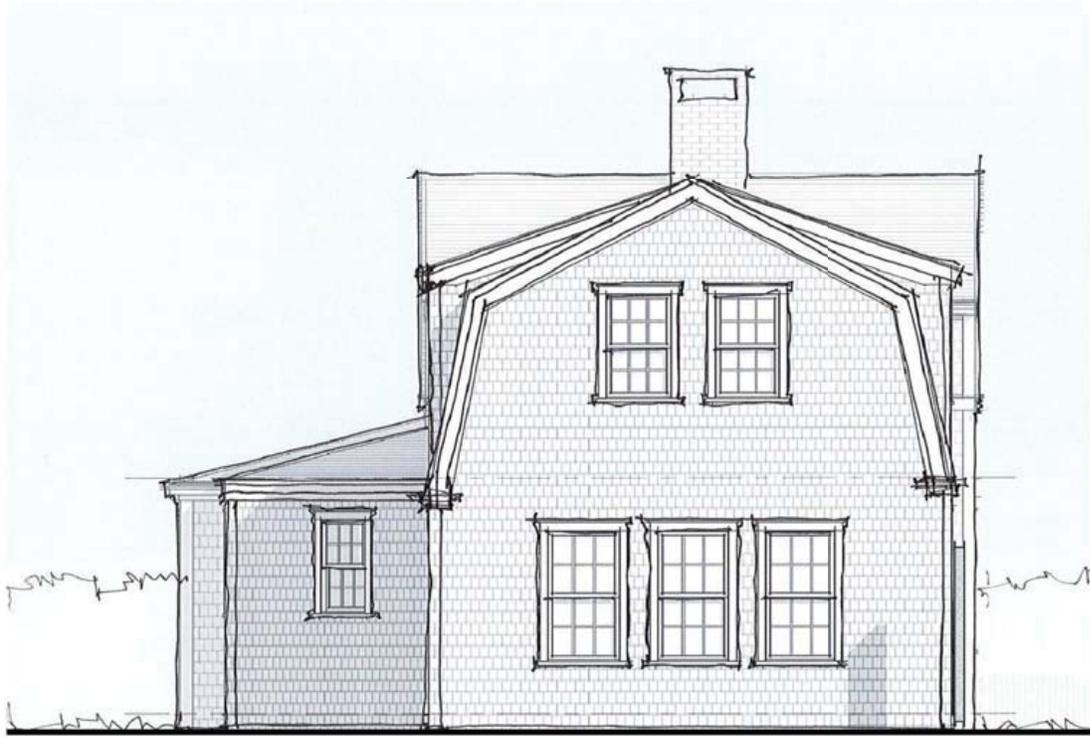
1/8" = 1'-0"

Lower Roof by 3"
Changed Roof Profile



2 South Elevation

1/4" = 1'-0"



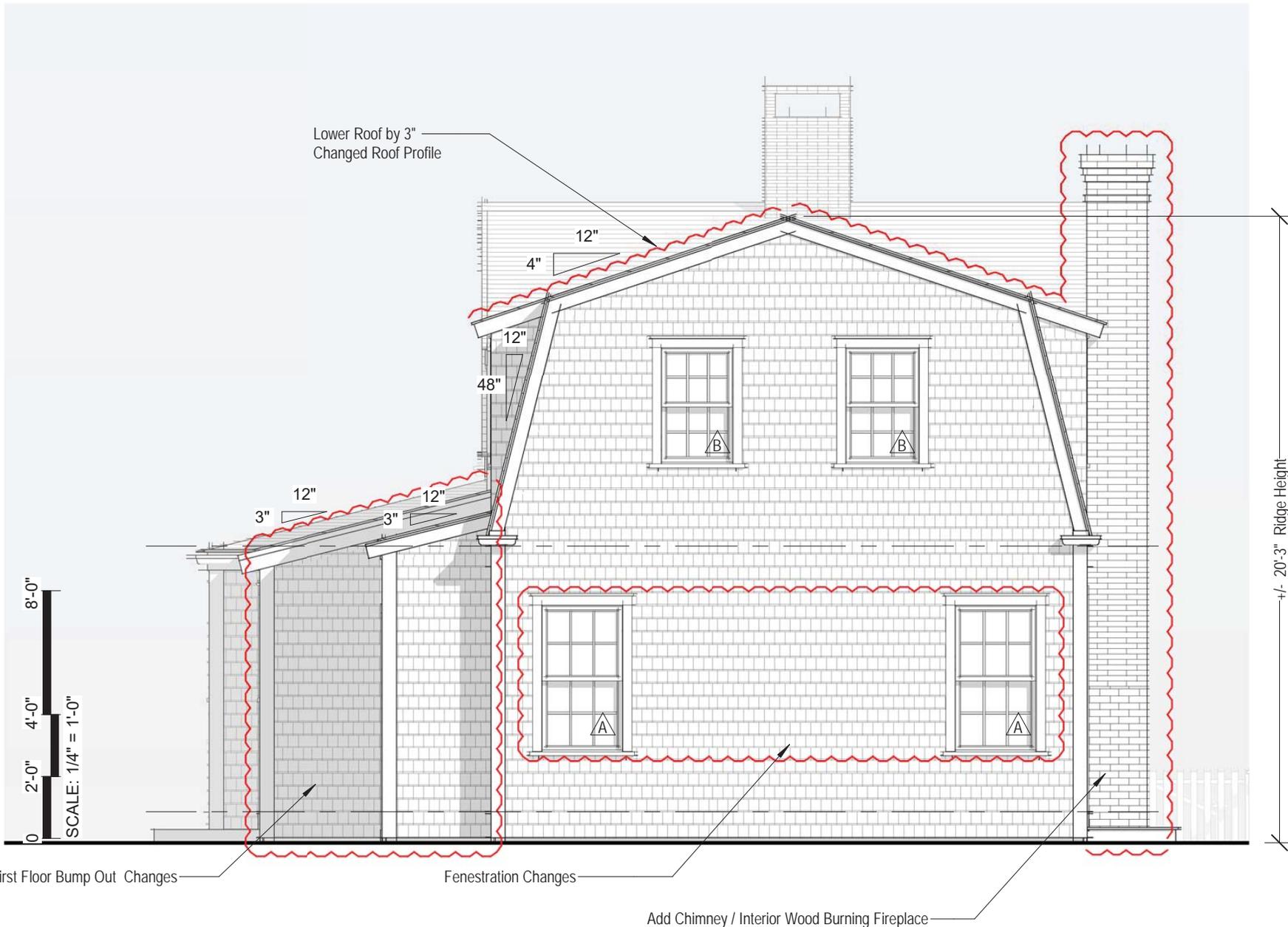
Previously Proposed West Elevation

1/8" = 1'-0"



West Elevation - Existing & Demo

1/8" = 1'-0"



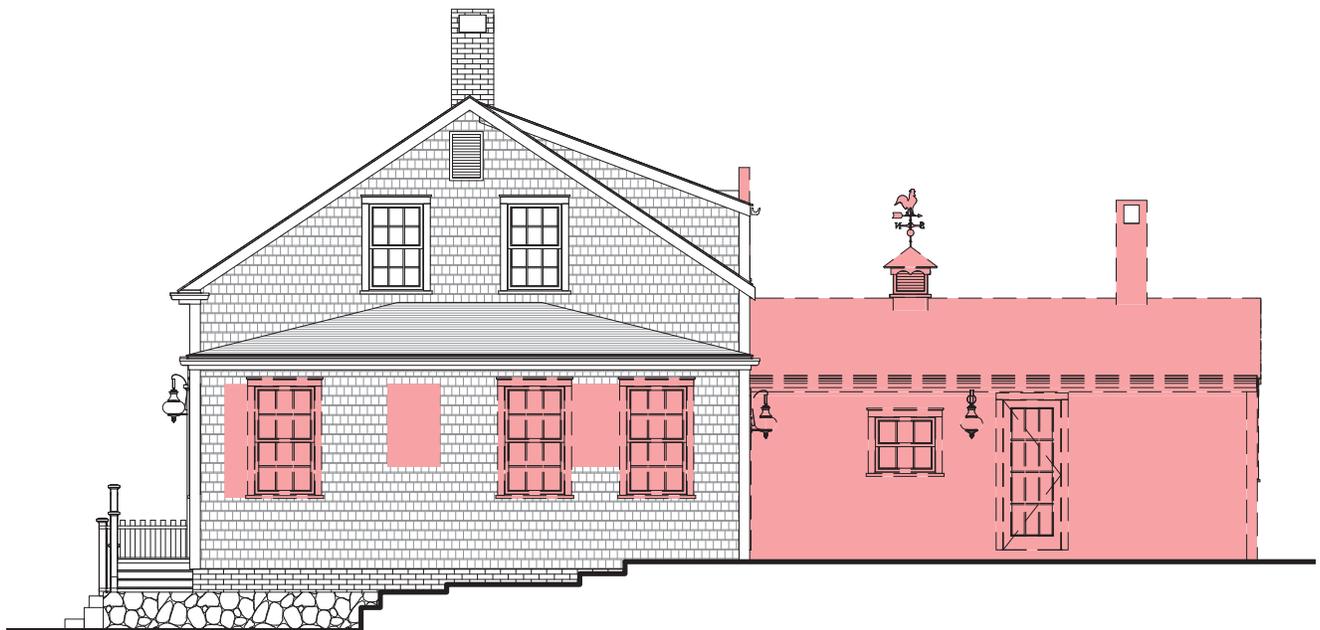
1 West Elevation

1/4" = 1'-0"



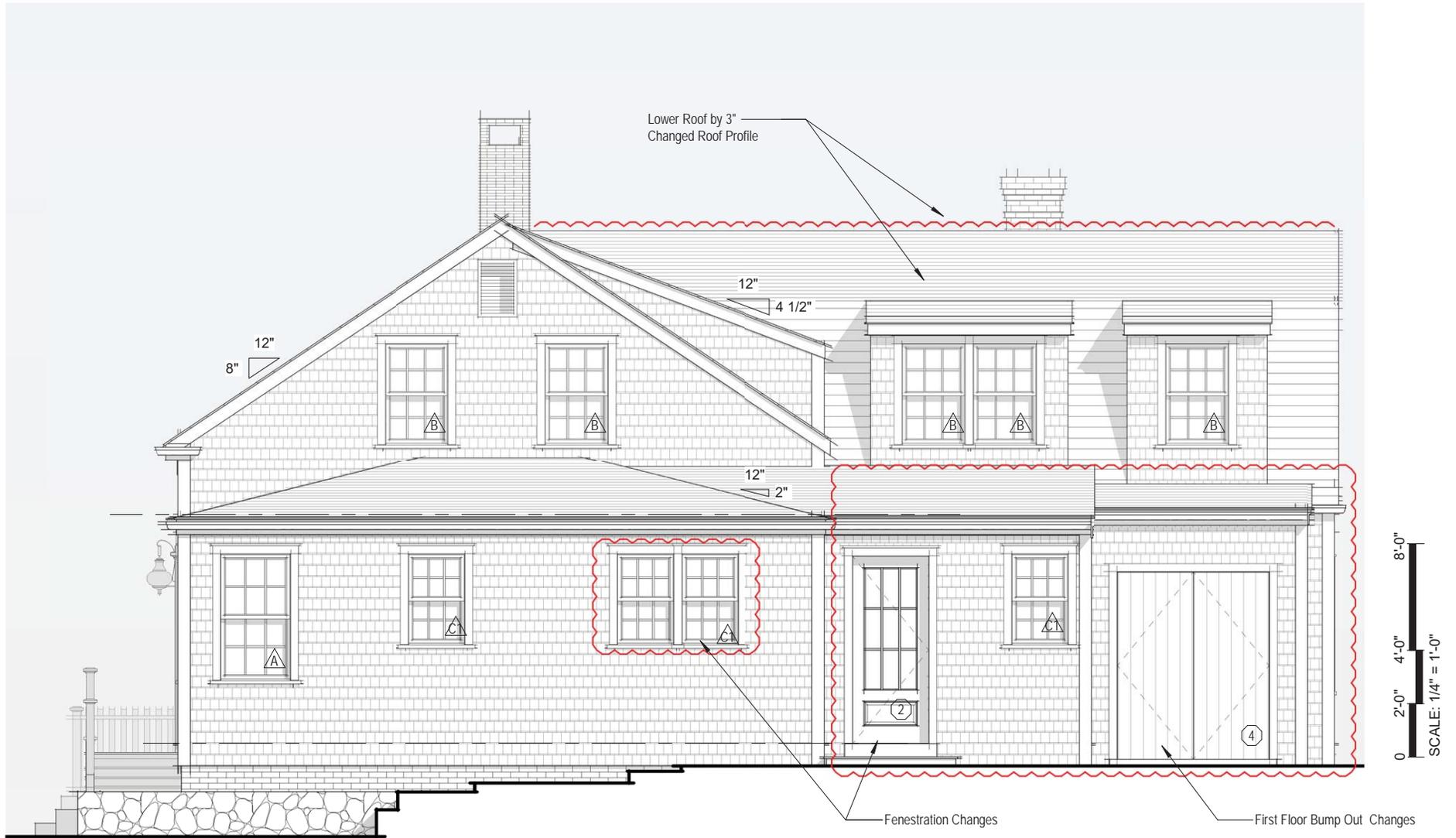
Previously Proposed North Elevation

1/8" = 1'-0"



North Elevation - Existing & Demo

1/8" = 1'-0"



2 North Elevation
1/4" = 1'-0"



Previously Proposed East Elevation

1/8" = 1'-0"



East Elevation - Existing & Demo

1/8" = 1'-0"



1 East Elevation / No Changes
1/4" = 1'-0"

Proposed HDC Minutes for August 25, 2020

Pohl – He doesn't think there is a difference between residential and commercial; fortunately for this proposal, it's discrete. These aren't visible, and he supports alternative energy when it works.

Motion **Motion to Approve 5 Sun Island Road A-E and 5A and 5B Sun Island Road due to no visibility. (Welch)**
 Roll-call Vote Carried 4-1//Camp, Coombs, Welch, and Pohl-aye; Oliver- nay Certificate # **HDC2020-07-(as noted)**
 9. MacGregor – ACK **07-1382** 9 Sun Island Road Roof top solar Building A 68/29.1 My Gener. Energy
 Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates Dutra
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and manufacturer spec sheet.
 Representing Linda Williams
 Public None
 Concerns (8:24) **Williams** – Presented project.

Welch – This will have limited visibility due to the roof pitch.

Motion **Motion to Approve subject to limited visibility. (Welch)**
 Roll-call Vote Carried 4-1//Coombs, Camp, Welch, and Pohl-aye; Oliver-nay Certificate # **HDC2020-07-1382**

10. Kamadif, LLC **07-1310** 32 Dukes Road Patio/retaining wall 30" high 56/188 Atlantic Landscaping
 Voting Coombs (acting chair), Oliver, Welch, Dutra
 Alternates None
 Recused None
 Documentation Landscaping design plans, site plan, and photos.
 Representing Lindsay Congleton, Atlantic Landscaping Inc.
 Public
 Concerns (8:27) **Congleton** – Reviewed addition information per previous concerns. Patio is 22.7 and top of wall will be 25.5 catching the grade on the right. All runoff is captured on this property; there is a drainage system.

Welch – He viewed this, and it looks good.

Oliver – Viewed as well; it looks good.

Dutra – Doesn't see the elevation numbers on the topographic lines. No concerns.

(Ms. Camp allowed to comment but not sitting on this – Trusts Mr. Welch and Ms. Oliver's assessments.)

Motion **Motion to Approve as submitted. (Oliver)**
 Roll-call Vote Carried 4-0//Welch, Dutra, Oliver, and Coombs-aye Certificate # **HDC2020-07-1310**

11. Sea La Vie, LLC **07-1408** 42 Dukes Road Rev. 67176: patio & pool 56/249 NAG
 Voting Coombs (acting chair), Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Landscaping design plans, site plan, and photos.
 Representing Bill McGuire, Nantucket Architectural Group
 Public None
 Concerns (8:36) **McGuire** – Put up red tape and planted four cedar trees to show what it will look like; once the trees grow with more trees, the wall will not be visible. The stone is square-cut ashlar.
Camp – This is similar to the previous application in that it needs to be screened from the road. Wants additional screening between the pool and house left of the stairs and gate.
Oliver – She viewed this and has grave concerns because having seen it, the stone is very unusual and there is a lot of it; she hesitates to permit more stone work without screening on the walls.
Welch – The thing to be clear about is that from the drawings, the area just in front of the wall needs to be planted across the north elevation of the wall to screen the wall completely. The end result would be that the stones won't be visible in area left of the existing shed grass slope.

Motion **Motion to Hold for revisions to the vegetative screening plan and reconfiguration of the stairs. (Camp)**
 Roll-call Vote Carried unanimously//Oliver, Welch, Camp, and Pohl-aye Certificate #

12. Brian Harris **06-1165** 50 Weweeder Avenue Pool/hardscape 79/15 M. Cutone, Architecture
 Voting Pohl, Coombs, Oliver, Welch
 Alternates None
 Recused None
 Documentation Landscaping design plans, site plan, and photos.
 Representing Mark Cutone, Mark Cutone Architecture
 Public None
 Concerns (8:53) **Cutone** – Reviewed changes made per previous concerns.
 No concerns.

Motion **Motion to Approve with the pool not to be visible at time of inspection or thereafter. (Oliver)**
 Roll-call Vote Carried unanimously//Welch, Coombs, Oliver, and Pohl-aye Certificate # **HDC2020-06-1165**

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 56 PARCEL N°: 249
 Street & Number of Proposed Work: 42 DUKES ROAD
 Owner of record: SEA LA VIE LLC
 Mailing Address: P.O. BOX 61120
POTOMAC MD 20859-1220
 Contact Phone #: 240-499-8331 E-mail: ans.mardrossian@comcast.net

AGENT INFORMATION (if applicable)

Name: NANTUCKET ARCHITECTURE GROUP LTD
 Mailing Address: P.O. BOX 1814
NANTUCKET MA 02554
 Contact Phone #: 508-228-5631 E-mail: bill@nantucketarchitecture.com
x1

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 67176
 Pool (Zoning District R20) Roof Other _____

Size of Structure or Addition: Length: 23'-0" Sq. Footage 1st floor: _____ Decks/Patio: Size: 40'-5" x 48'-10" 1st floor 2nd floor
 Width: 16'-0" Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
OPEN AIR PAVILION Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation CHANGE 15'-3" RADIUS PATIO TO 40'-5" x 48'-10" RECTANGULAR PATIO w/ 12" x 28'-0" POOL - CHANGE PERGOLA TO 16'-0" x 23'-0" PAVILION
 Original Date: _____ (describe) 2. South Elevation
 Original Builder: _____ 3. West Elevation
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation FENCE - WIRE MESH IN VEGETATION

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass 6.5/12 Secondary Mass _____/12 Dormer _____/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural - TME
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size): _____
 Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
 Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
 Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
 Hardscape materials: Driveways _____ Walkways GRANITE PAVERS Walls _____
TME

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence _____ Shutters _____

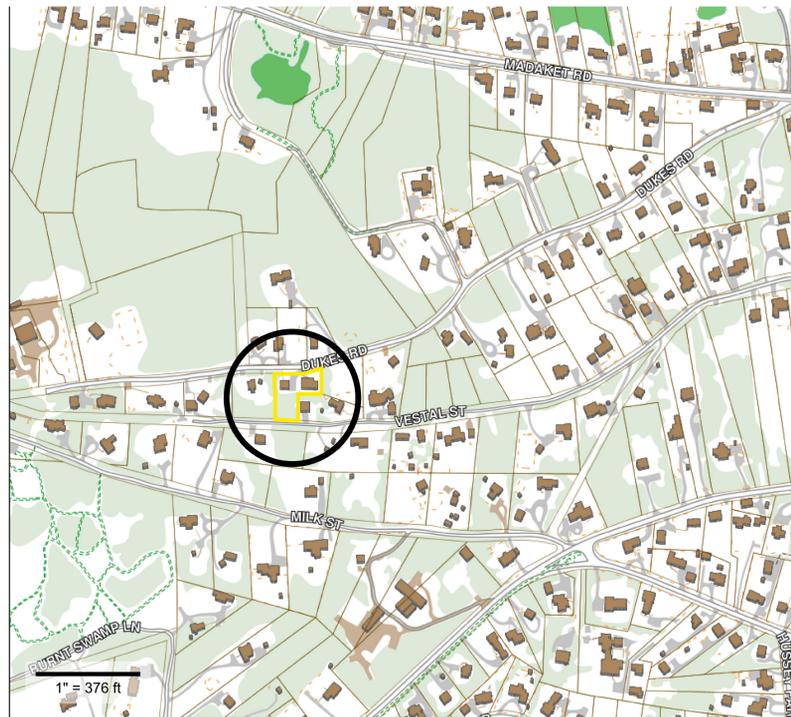
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 19 JUNE 2020

Signature of owner of record _____

Signed under penalties of perjury



1" = 376 ft

Property Information
 Property ID: 56 249
 Location: 42 DUKES RD
 Owner: SEA LA VIE LLC



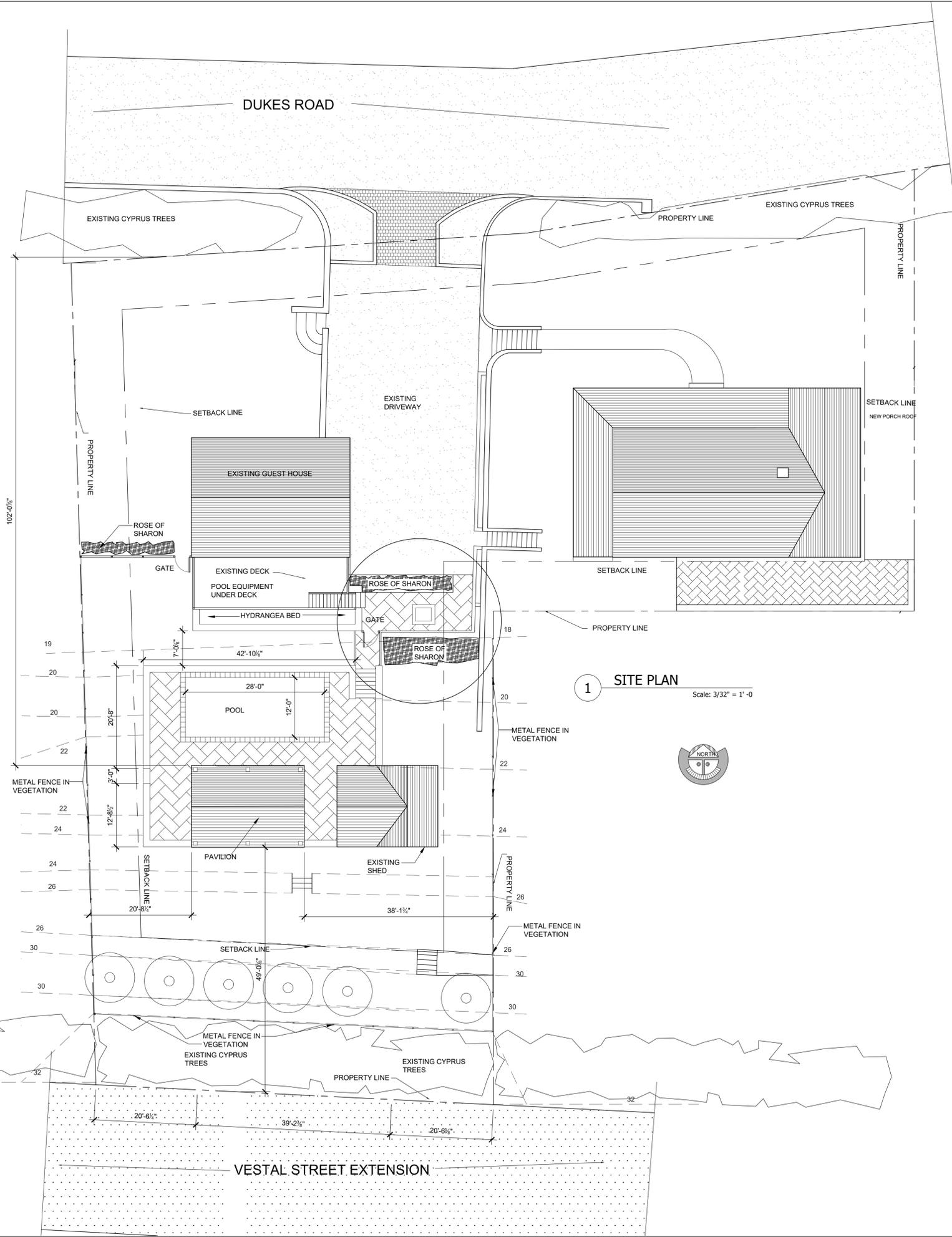
**MAP FOR REFERENCE ONLY
 NOT A LEGAL DOCUMENT**

The Town makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014



1A LOCUS MAP
 Scale: NO SCALE



1 SITE PLAN
 Scale: 3/32" = 1'-0"

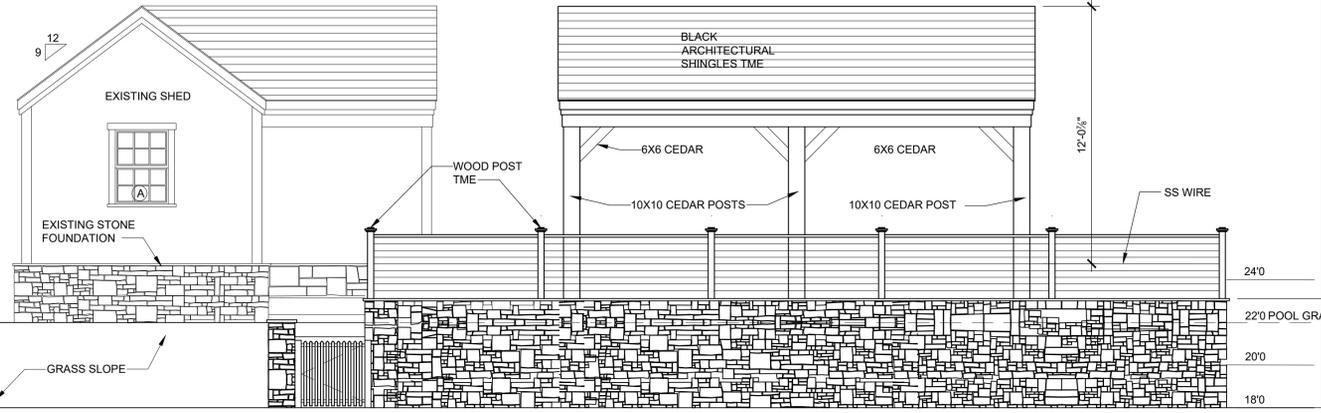


NANTUCKET ARCHITECTURE GROUP LTD.
 POST OFFICE BOX 1814
 NANTUCKET, MASSACHUSETTS, 02554
 TELEPHONE 508.228.5631
 WWW.NANTUCKETARCHITECTURE.COM

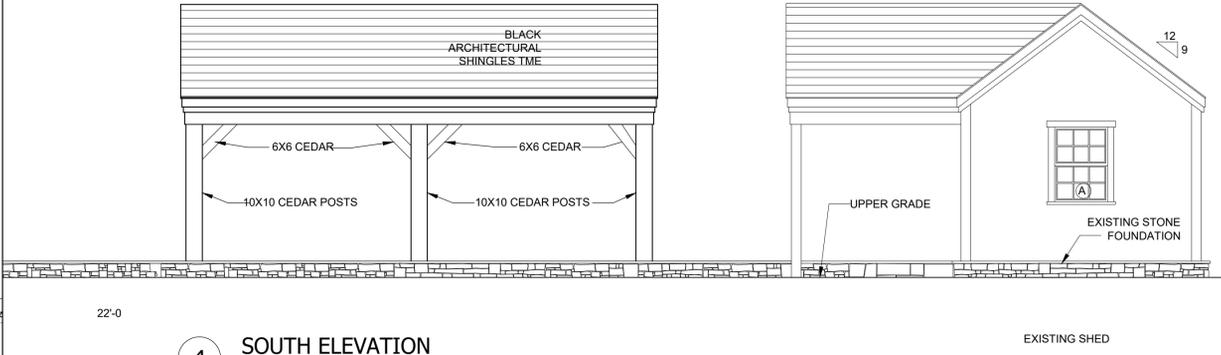
ADDITIONS AND ALTERATIONS FOR:
 42 DUKES ROAD
 NANTUCKET, MA 02554
 MAP: 56 PARCEL: 249

SITE PLAN
SCALE 3/32" = 1'-0"
HDC:
BIDDING:
BLDG. DEPT:
REVISIONS: 26, AUG, 2020
REVISIONS:
REVISIONS:
REVISIONS:
D/B: wmm copyright nag 2015

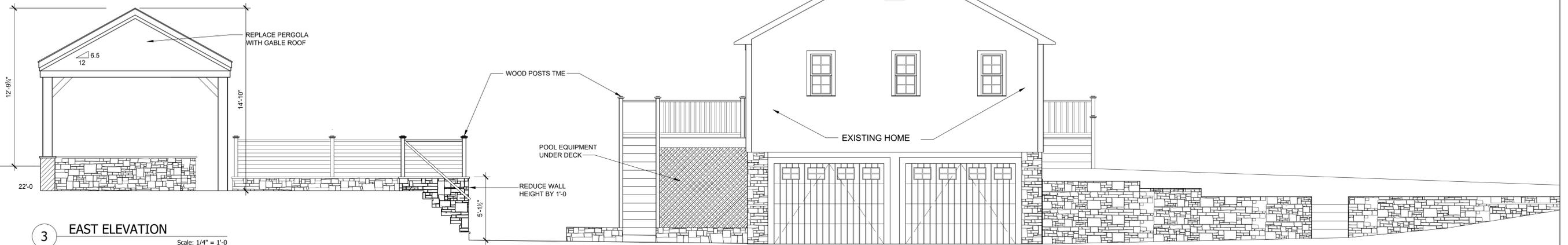
1508.31.1058AC
HDC1



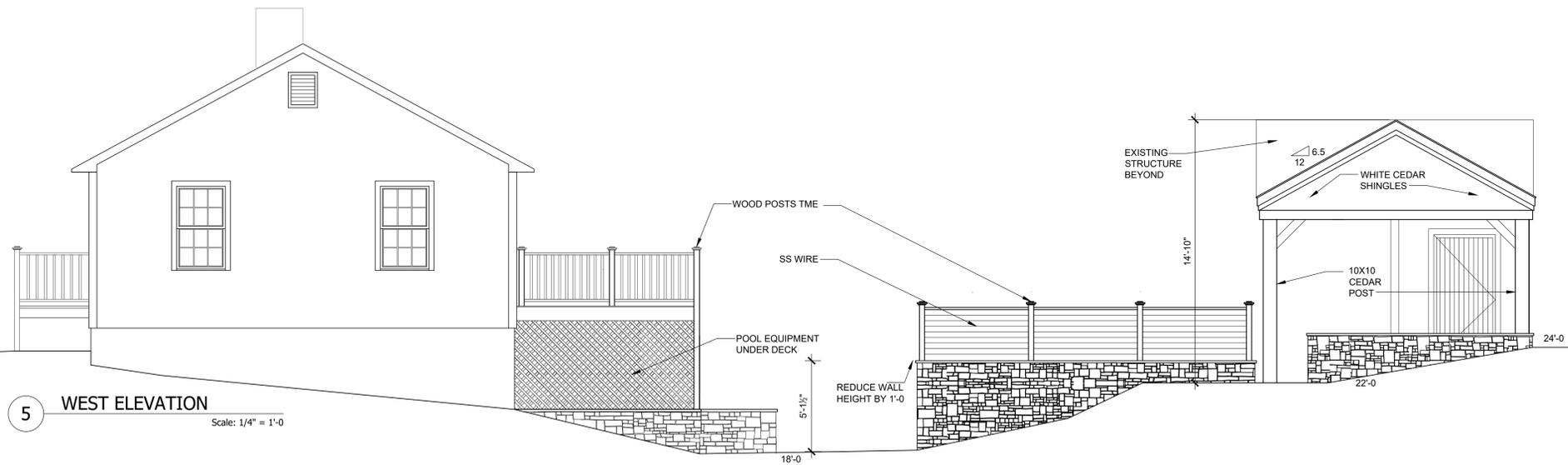
2 NORTH ELEVATION
Scale: 1/4" = 1'-0"



4 SOUTH ELEVATION
Scale: 1/4" = 1'-0"



3 EAST ELEVATION
Scale: 1/4" = 1'-0"



5 WEST ELEVATION
Scale: 1/4" = 1'-0"

NANTUCKET ARCHITECTURE GROUP LTD.
POST OFFICE BOX 1814
NANTUCKET, MASSACHUSETTS, 02554
TELEPHONE 508.228.5631
WWW.NANTUCKETARCHITECTURE.COM

ADDITIONS AND ALTERATIONS FOR:
42 DUKES ROAD
NANTUCKET, MA 02554
MAP: 56 PARCEL: 249

SECTIONS
SCALE 1/2" = 1'-0"

HDC:
BIDDING:
BLDG. DEPT:
REVISIONS: 26, AUG, 2020
REVISIONS:
REVISIONS:
REVISIONS:

D/B: wmm copyright nag 2015
1508.31.1058AC

HDC2

IV. RATIFY MOTION ON ITEM NOT ANTICIPATED BY THE ACTING CHAIR FROM 8/18/20 MEETING

<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1. Anne Rose 08-1492	62 Boulevarde	Move on Cot frm 61 Boulevarde	79-211	Botticelli & Pohl
Voting	Coombs (acting chair), Camp, Welch			
Alternates	None			
Recused	Pohl, Oliver			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Lisa Botticelli, Botticelli & Pohl			
Public	None			
Concerns (4:38)	Botticelli – Explained previous hearing and need to ratify that motion. A corrected site plan has been submitted into the file.			
Motion	Motion to ratify the vote made on August 18. (Welch)			
Roll-call Vote	Carried 3-0//Camp, Welch, and Coombs-aye		Certificate #	HDC2020-08-1492

V. NEW BUSINESS

<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1. Richard & Deb Hohlt 07-1433	121 Madaket Road	Rev. 72983: roof walk	40/60.1	Botticelli & Pohl
Voting	Coombs (acting chair), Camp, Oliver Welch, Dutra			
Alternates	None			
Recused	Pohl			
Documentation	Architectural elevation plans, site plan, photos, and <i>Building with Nantucket in Mind</i> .			
Representing	Lisa Botticelli, Botticelli & Pohl			
Public	Steven Cohen, Cohen & Cohen Law P.C.			
Public	None			
Concerns (4:40)	<p>Botticelli – Presented project; the berm starts at elevation 50 with Leland Cyprus planted on top. Appreciates comments about more natural vegetation. In terms of mitigating the roof walk, we looked at alternatives; we decided the natural to weather and shingling would calm it down. Reviewed alternatives to simplify the roof line while keeping the roof walk.</p> <p>Cohen – The existing vegetation is about 8 to 10 feet lower than where the berm would be planted. No one disputes it is large and on the top of a hill. However, regarding the roof walk, <i>Building with Nantucket in Mind</i> states roof walks were prolific at one point and were on houses where the roof was difficult to maintain and historically they were for fighting fires so were on large homes with chimneys. Roof walks are almost always only appropriate on 2-story buildings. Cited exceptions where roof walks are appropriate under the modern context. They are on Eel Point Road and Cliff Road but visible from Madaket Road. If you get out of the Cliff Road vernacular and into the rural zone, you don't get the roof walk such as indicated on this house. Pointed out that the skirt is only 15 inches, shingled, with natural to weather balusters.</p> <p>Coombs – This house is huge and dwarfs everything around it and is much closer to Madaket Road than Cliff Road. Photos from Cliff Road are irrelevant. Asked the size of the proposed berm and if we have any specifications on how large a berm can be. Most places the size of the berm is low and not as long as this looks to be. This house faces and is part of Madaket Road; asked if the roof walks Mr. Cohen pointed out are on Madaket Road.</p> <p>Camp – The point about it being on Madaket Road is excellent because on one side there's Sanford Farm, which is completely natural and open. Putting a roof walk on the highest point of this area is absolutely adding to the massing of this structure. A lot of the changes made were good changes. But she's not buying what's being said to make this appropriate; she's against the roof walk. On the Madaket Road side, there's piled up dirt which she supposes will be the berm; she doesn't want Leland Cyprus on top of the berm; the vegetation should be natural to the area like black pine and other natural growth seen along Madaket Road. The first floor should have more shingling on the balustrades and combine the balustrade and shingle on the 2nd floor. She likes the way the balcony was broken up on the north elevation. Don't tell me the history of Nantucket about roof walks.</p> <p>Dutra – About the Leland Cyprus; plants aren't HDC purview but regarding a screen they only work well as a hedge because they get to big and are knocked down by the wind over time. Also, they look contrived. This is a lovely design and he likes a lot of the changes. Each application needs to be viewed individually; the way this sits on the hill and how big it already is, it is hard to ask for more height and massing. The roof walk does have a low impact but anything that adds to the massing is a concern. Now there is more screening than in the winter; most of the vegetation is deciduous so visibility is greater in the winter.</p> <p>Welch – A little while back, we received a detailed report on the history of roof walks on Nantucket; it was very well done. He went through the report carefully then surveyed the area; though he agrees roof walks were not originally outside of Town, now there are many homes around the island not near the water that have roof walks. A natural finish and additional vegetation would help; the main issue is it's a house on top of a hill. The roof walk skirt will grey in with the roof and open balustrades will blend with the sky. He feels the roof walk breaks up the roof line and won't be particularly noticeable from the road. He would urge the owner not to use Leland Cyprus; red cedar would be good. From the north elevation, he's okay with the 2nd-floor railing being change to shingled railing; the right-side railing is good as it is because it would be too busy if broken up with balustrades. The west is similar. If there's one chimney with old brick, it will stand out; a white-washed single chimney might work. Option D stretches out the roof.</p> <p>Coombs – The changes to the building are okay but she cannot support the roof walk, especially in this location. Most of the trees and brush in the area is deciduous making this structure very visible in the winter; the plants must be evergreen</p>			



CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 40 PARCEL N^o: 60.1
 Street & Number of Proposed Work: 121 Madaket Road
 Owner of record: Richard + Deborah Hohl
 Mailing Address: 7901 Kent Road
Alexandria, VA 22304
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Botticelli + Pohl
 Mailing Address: 11 Old South Road
Nantucket, MA 02534
 Contact Phone #: 228-5455 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 72983
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 16' Sq. Footage 1st floor: _____ Decks/Patio: Size: 5'x54' 1st floor 2nd floor
 Width: 8' Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
(Rootwalk) Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
 Original Date: _____
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

REVISIONS*

1. East Elevation Reuse fenestration, Add rootwalk
2. South Elevation Add rootwalk, revise fenestration
3. West Elevation Remove outdoor shower, Add rootwalk, extend deck
4. North Elevation Revise fenestration, Add outdoor shower, cont. deck, Add rootwalk, remove previously approved outdoor shower

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall Natural to Weather Clapboard (if applicable) _____ Roof Natural to Weather
 Trim Nantucket Grey Sash Nantucket Grey Doors Nantucket Grey
 Deck Natural to Weather Foundation _____ Fence Nantucket Grey Shutters _____
(Rootwalk)

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 4/29/20 Signature of owner of record [Signature] Signed under penalties of perjury

and large enough to screen it from all sides. This building should be as quiet as possible. This is too large. *Building with Nantucket in Mind* says do not build on the highest spot; it says that right where Mr. Cohen found his arguments supporting the roof walk.

Oliver – Agrees with much that’s been said. Her biggest concern has been mentioned and that is we should have looked closer to its position on the hill. For her, Madaket Road is not a concern; the vegetation makes it more akin to what’s there. Her concern is the view from Cliff Road; wants the impact of the house mitigated from that direction. She agrees with Mr. Welch that the roof walk isn’t a huge impact; we dropped the ball on siting the house. Agrees about more natural vegetation rather than the Cyprus. Natural brick chimneys would also help.

Coombs – Asked if this should be held for revisions.

Camp – She had concerns on the elevations, wants to see this back.

Dutra – Likes how the roof walk has been kept low and wants that to remain with different alternatives for the chimney(s).

Welch – There are four roof options on the table. He would like to limit the direction of the options: Option A is not approvable. Options C and D are both acceptable. He would agree with Ms. Camp with respect to the sidewall skirting on the rear.

Motion **Motion to Hold for minor revisions. (Camp)**
 Roll-call Vote Carried 5-0/Oliver, Welch, Dutra, Camp, and Coombs-aye Certificate #

2. Conlon, James L Tr. Et al. **08-1526** 24 Woodbine Street Move off/demo dwelling 80/96 Emeritus
 Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and historic documentation.
 Representing Matt MacEachern, Emeritus Development
 Public
 Concerns (5:33) **MacEachern** – Presented project; circa 2001.
 No concerns.

Motion **Motion to Approve as a move off/demolitions. (Oliver)**
 Roll-call Vote Carried unanimously//Coombs, Camp, Welch, Oliver, and Pohl-aye Certificate # **HDC2020-08-1526**

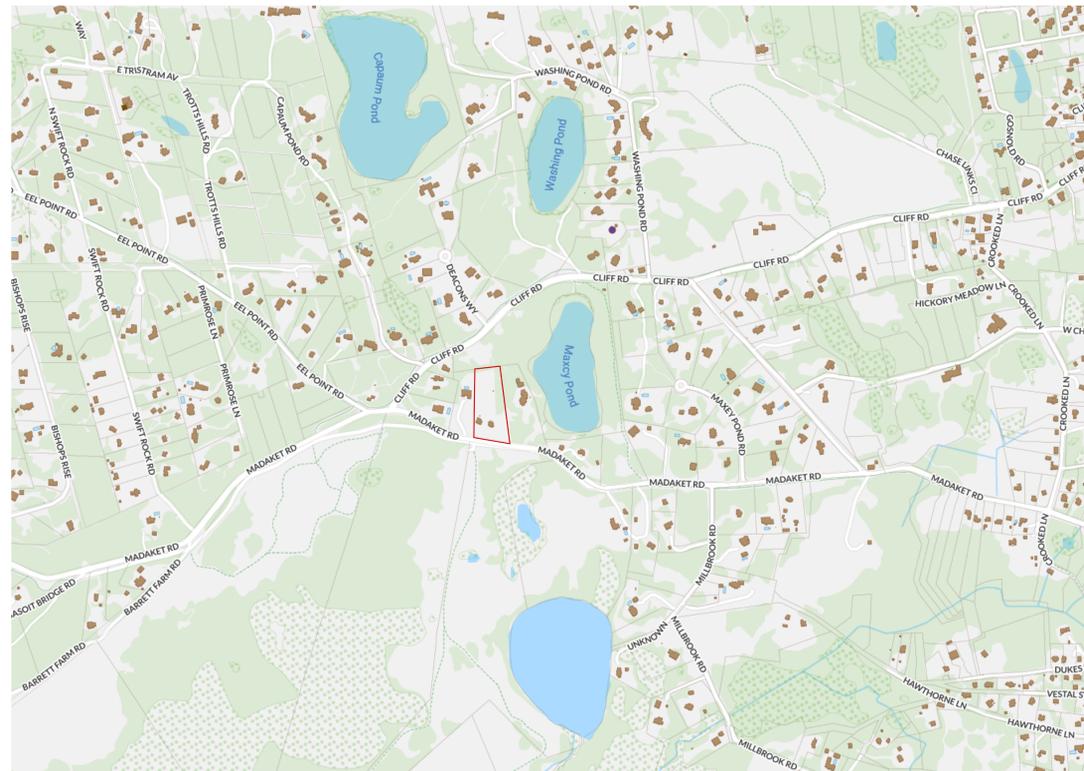
3. Conlon, James L Tr. Et al. **08-1527** 24 Woodbine Street Move off/demo garage 80/96 Emeritus
 Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and historic documentation.
 Representing Matt MacEachern, Emeritus Development
 Public
 Concerns (5:38) **MacEachern** – Presented project, circa 2001.
 No concerns.

Motion **Motion to Approve as a move off/demolitions. (Oliver)**
 Roll-call Vote Carried unanimously//Coombs, Camp, Welch, Oliver, and Pohl-aye Certificate # **HDC2020-08-1527**

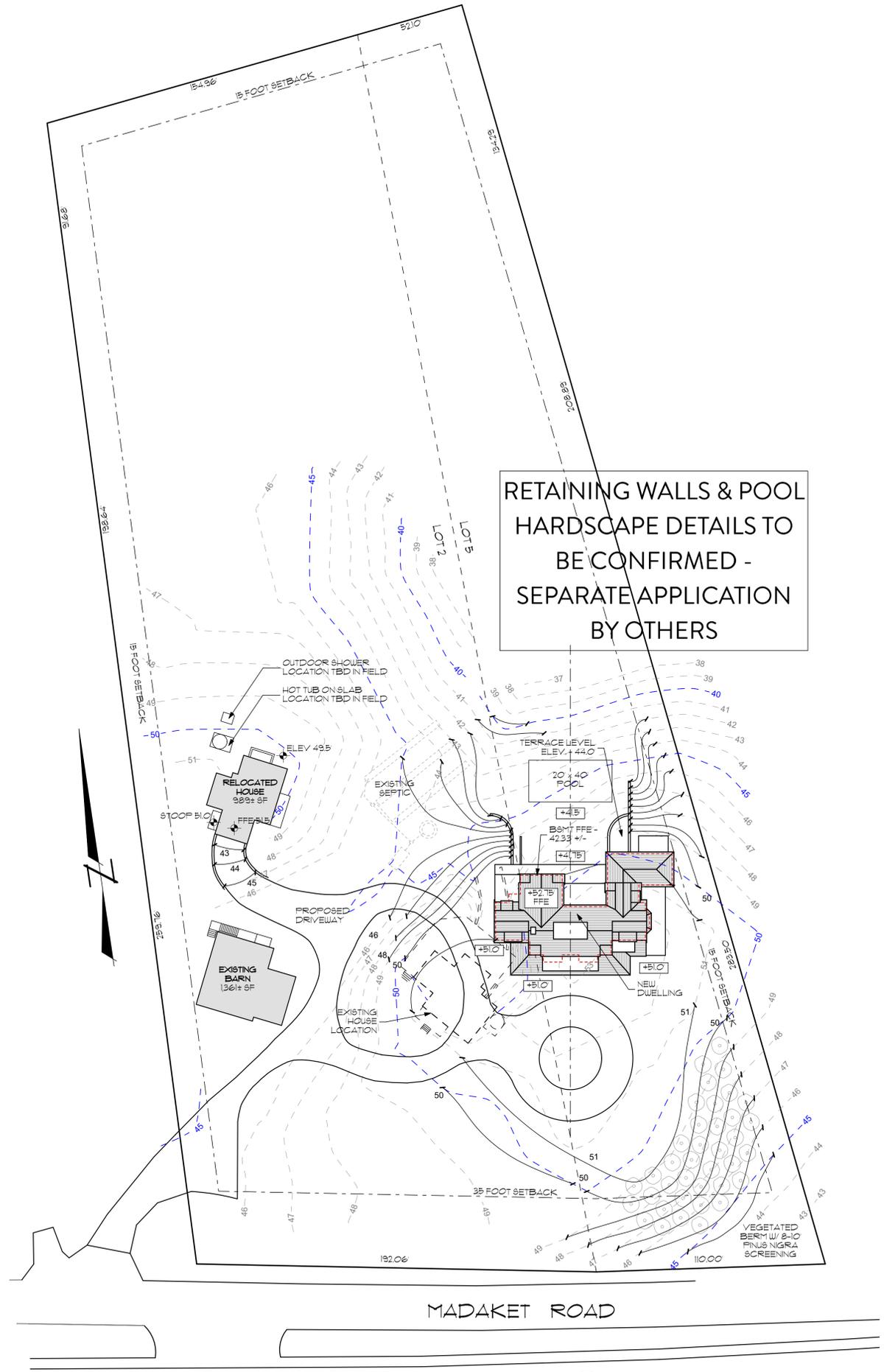
4. Conlon, James L Tr. Et al. **08-1511** 24 Woodbine Street New dwelling 80/96 Emeritus
 Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing Matt MacEachern, Emeritus Development
 Public
 Concerns (5:39) **MacEachern** – Presented project; houses in this area are all a similar size; it’s tucked back on a large lot. 21 Woodbine is a similar size and scale.
Pohl – West elevation, the gable rake crosses the chimney; asked if that is a deep overhang (yes).
Camp – She’s concerned about the size and its fitting into the neighborhood. Likes the design.
Coombs – Part of this should drop down to one story; this is 60-feet long; there is no additive massing. This is a countrified area, and this is very square and formal looking.
Oliver – Looking at the locus map, she’s not sure this matches other houses in area in size. This is 78 feet long. She supports the house but not attaching the garage, unless it is properly screened.
Welch – The slightly-not-symmetrical works. Agrees a little screening goes a long way in mitigating the perception of the size with the attached garage.

Pohl – Agrees with comments said regarding the overall massing and connecting this to the garage.

Motion **Motion to Hold for revisions. (Camp)**
 Roll-call Vote Carried unanimously//Oliver, Welch, Camp, Coombs, and Pohl-aye Certificate #



2 Locus Map



1 PROPOSED SITE PLAN
Scale: 1" = 30'

DATE	REVISIONS

Site Plan

Residence at
121 Madaket Road
Nantucket, MA 02554

MAP NO: 40 ZONING INFO: LUG-2
PARCEL NO: 601 PROJECT NO: 10 REVISED: August 28, 2020
All drawings and designs contained are the sole property of Botticelli & Pohl, P.C.
No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.

ID#
L-1.1

New Residence
121 Madaket Road
Nantucket, MA
Main House
Window & Exterior Door Schedule

Rev. 2020-07-24

No.	Qty.	Type	Mfr.	Frame Size	Rough Opening	Light	Comments
A	4	Double Hung	Andersen	2'-11/4" x 5'-11/4"	3'-0" x 5'-8"	6 over 1	ADH3088 0 tempered
A2	8	Double Hung	Andersen	2'-11/4" x 5'-11/4"	6'-0" x 5'-8"	6 over 1	ADH3088 0 tempered
B	13	Double Hung	Andersen	2'-11/4" x 4'-11/4"	3'-0" x 5'-0"	6 over 1	ADH3080 0 tempered
B2	4	Double Hung	Andersen	2'-11/4" x 4'-11/4"	6'-0" x 5'-0"	6 over 1	ADH3080 0 tempered
B3	1	Double Hung	Andersen	2'-11/4" x 4'-11/4"	9'-0" x 5'-0"	6 over 1	ADH3080
B4	1	Double Hung	Andersen	2'-11/4" x 4'-11/4"	18'-0" x 5'-0"	6 over 1	ADH3080
C	2	Double Hung	Andersen	2'-11/4" x 5'-11/4"	2'-2" x 5'-8"	4 over 1	ADH2088 custom size
D	1	Double Hung	Andersen	2'-11/4" x 3'-11/4"	2'-2" x 3'-2"	2 over 2	ADH2033 custom size
E	5	Double Hung	Andersen	2'-9 1/4" x 4'-3 1/4"	2'-0" x 4'-4"	6 over 1	ADH2044
E3	1	Double Hung	Andersen	2'-9 1/4" x 4'-3 1/4"	8'-6" x 4'-4"	6 over 1	ADH2044
F	1	Double Hung	Andersen	2'-11/4" x 2'-11/4"	2'-2" x 3'-0"	2 over 2	ADH2030 custom size
G	2	Double Hung	Andersen	2'-11/4" x 2'-11/4"	3'-0" x 3'-0"	3 over 3	ADH3030

No.	Qty.	Type	Mfr.	Door Unit Size	Rough Opening	Light	Comments
1	1	Entry Door	Custom	3'-6" x 7'-6" (leaf size)	7'-11/2" x 7'-5 1/2"	0	6-pane
2	1	Not Used		1'-6" x 7'-6" (leaf size)		3	6-pane 1 panel
3	1	Single French Door	Andersen	3'-0" (H) x 7'-1 3/4"	3'-1" x 7'-5 1/2"	5	custom unit height for 7'-6" finish head height
4	3	Double French Doors	Andersen	5'-11/4" x 7'-1 3/4"	6'-0" x 7'-5 1/2"	5	custom unit height for 7'-6" finish head height
5	3	Single French Doors	Andersen	3'-0" (H) x 7'-1 3/4"	3'-1" x 7'-5 1/2"	5	custom unit height for 7'-0" finish head height
6	1	Double French Doors	Andersen	5'-11/4" x 7'-1 3/4"	6'-0" x 7'-5 1/2"	5	custom unit height for 7'-0" finish head height
7	2	Single French Doors	Andersen	2'-8 1/8" x 7'-1 3/4"	2'-8" x 7'-5 1/2"	5	custom unit height for 7'-0" finish head height

Notes:
1. All windows will be Andersen A-series windows as per above schedule, double glazed, SDI, with multi-configuration as shown on drawings.
Min. 30 rating required. Low E-4 with Argon gas. U-value of .31 max.
All glazing to come with compliance sticker as required by local building codes.
2. All doors will be Andersen A-series (A-C) doors as per above schedule, double glazed, SDI, with multi-configuration as shown on drawings.
Min. 30 rating required. Low E-4 with Argon gas. U-value of .32 max.
All glazing to come with compliance sticker as required by local building codes.
3. All doors will provide inspo drawings for all window and door units to be ordered for approval prior to commencing construction.
4. Provide all windows, including exterior, transoms and fixed windows, with mandatory half screens with Privacy BetterView screen or similar where applicable.
5. Provide tempered glass in all locations required by code.



RETAINING WALLS & POOL
HARDSCAPE TO BE SEPARATE
APPLICATION BY OTHERS

1 MH SOUTH ELEVATION
Scale: 1/4" = 1'-0"



3 Previously Submitted South



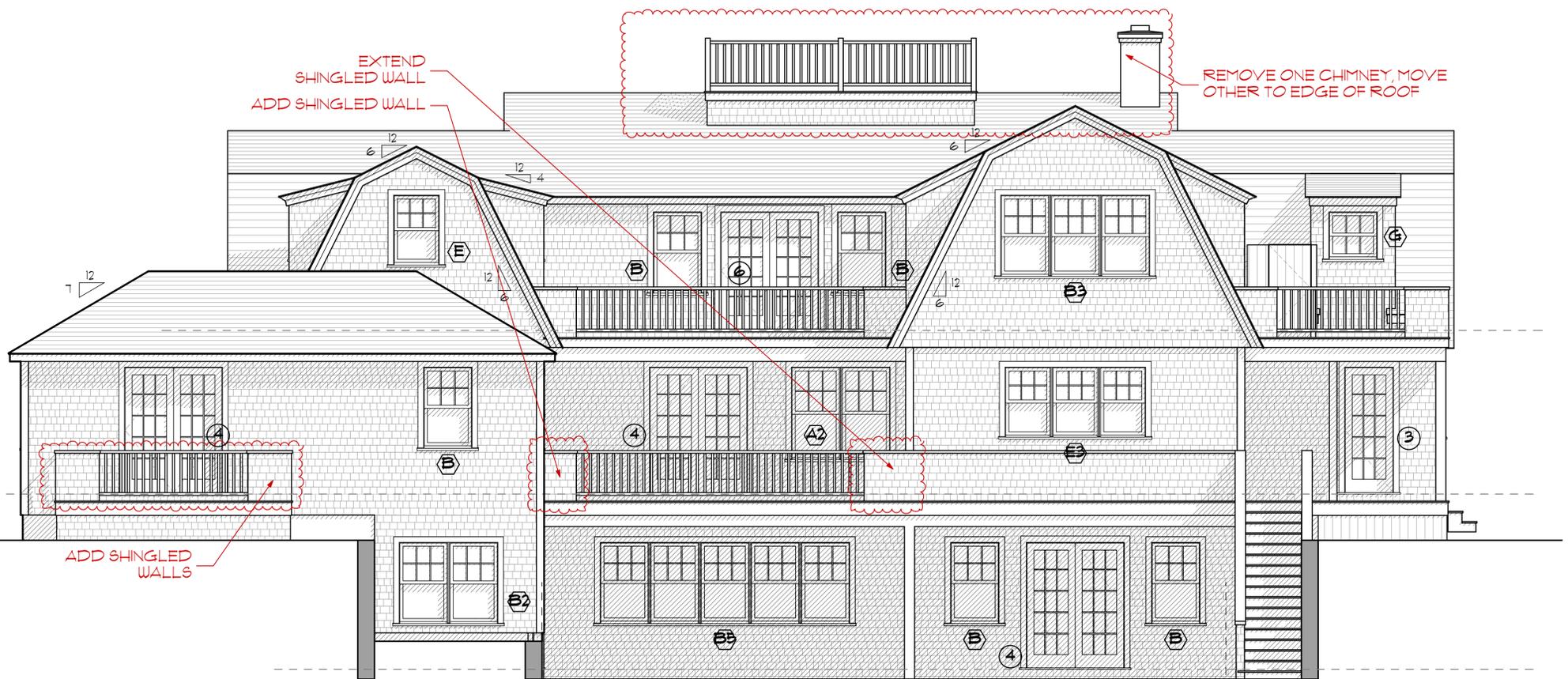
2 MH EAST ELEVATION
Scale: 1/4" = 1'-0"



4 Previously Submitted East

DATE	REVISIONS

RETAINING WALLS & POOL
HARDSCAPE TO BE SEPARATE
APPLICATION BY OTHERS



1 MH NORTH ELEVATION
Scale: 1/4" = 1'-0"



3 Previously Submitted North



4 Previously Submitted West

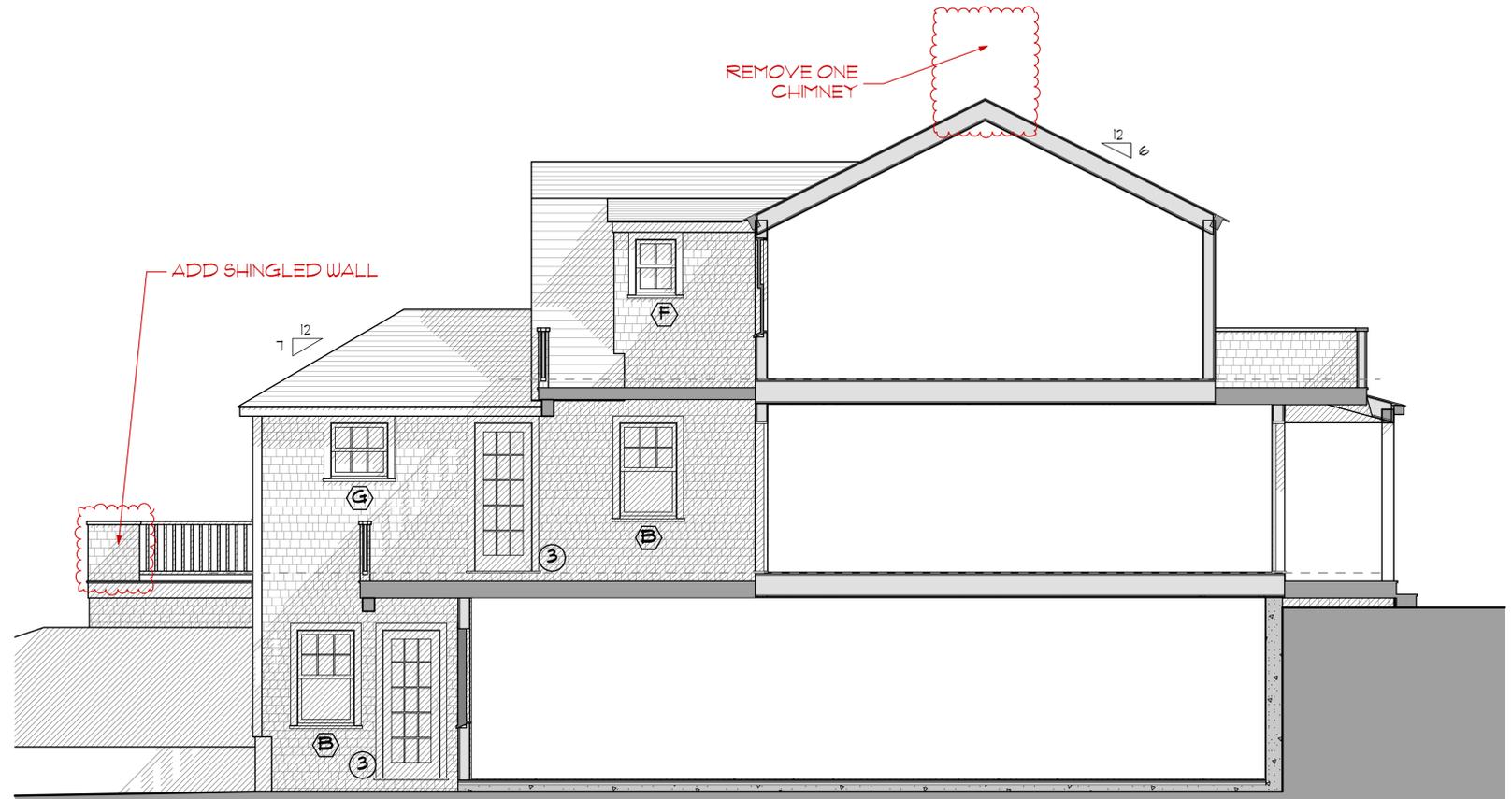


2 MH WEST ELEVATION
Scale: 1/4" = 1'-0"

DATE	REVISIONS

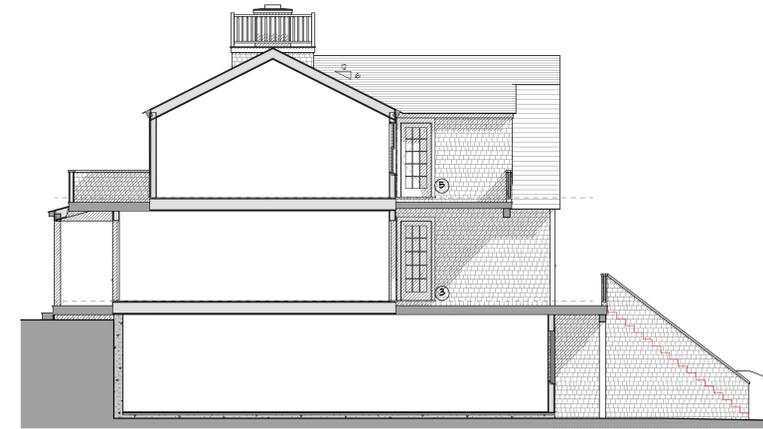


3 Previously Submitted Courtyard West

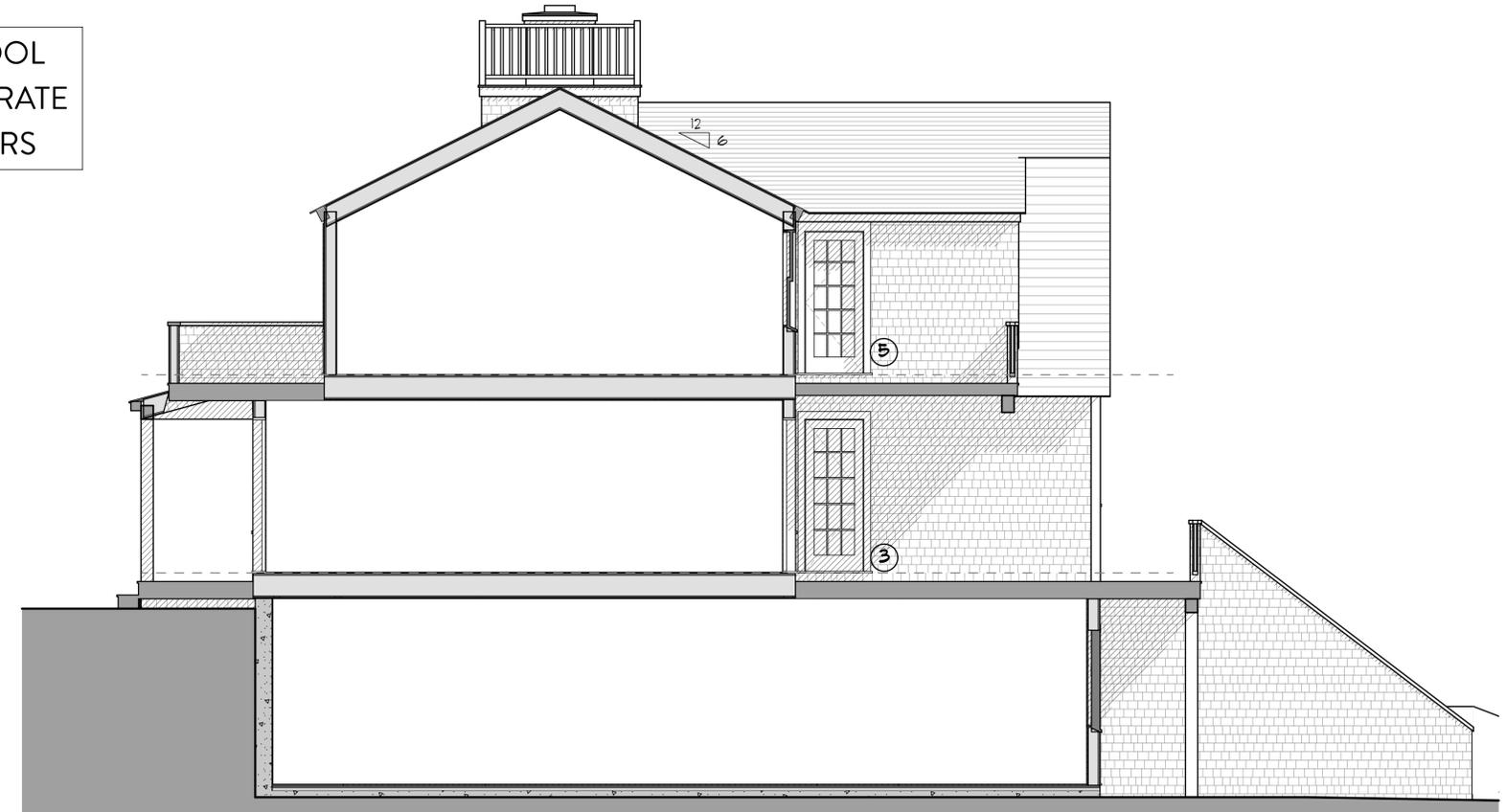


2 MH COURTYARD WEST ELEVATION
Scale: 1/4" = 1'-0"

RETAINING WALLS & POOL
HARDSCAPE TO BE SEPARATE
APPLICATION BY OTHERS



4 Previously Submitted Courtyard East

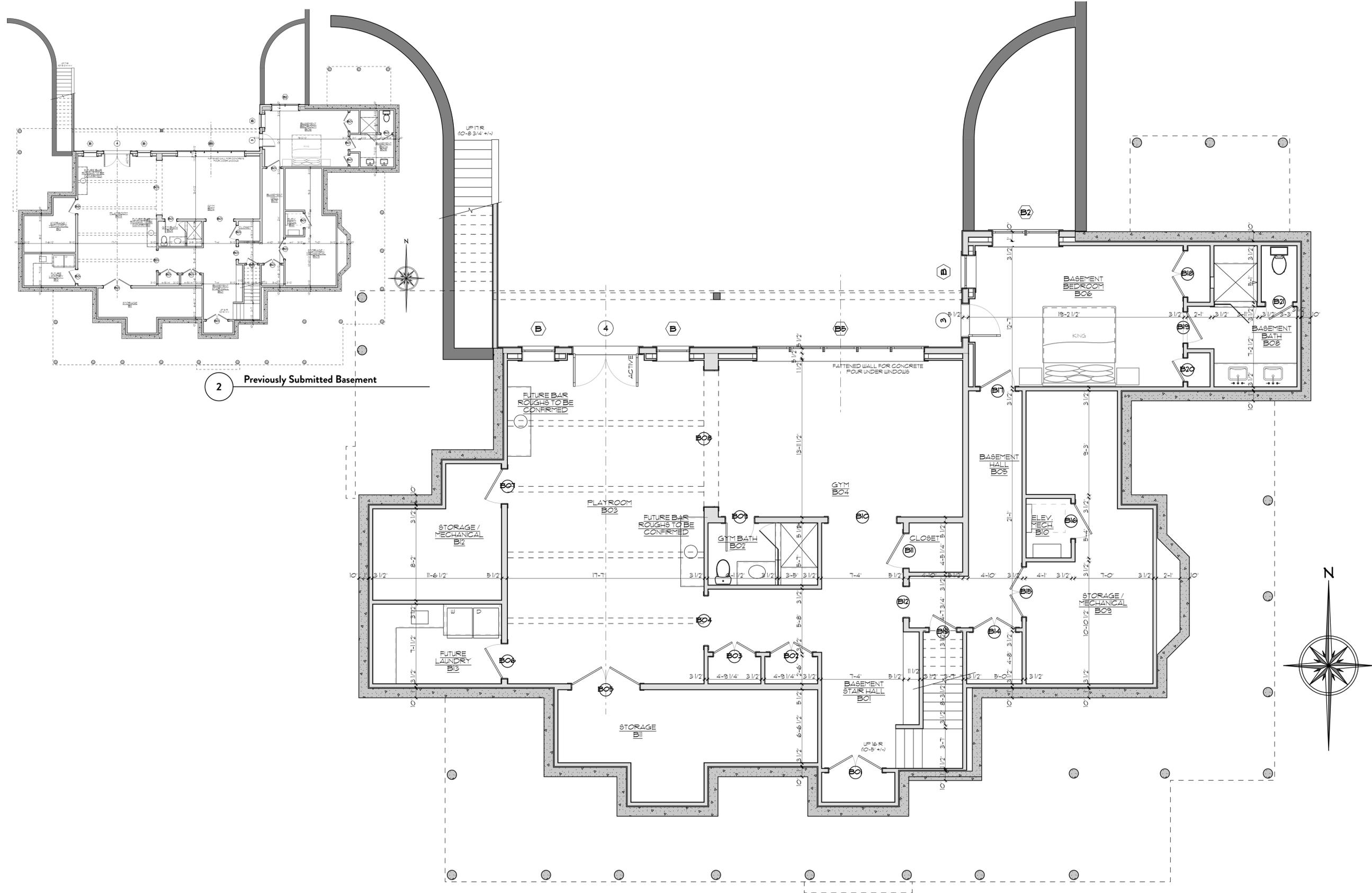


1 MH COURTYARD EAST ELEVATION
Scale: 1/4" = 1'-0"

DATE	REVISIONS

Courtyard Elevations

Residence at
121 Madaket Road
Nantucket, MA 02554
MAP NO.: 40 ZONING INFO: LUG-2
PARCEL NO.: 60.1 PROJECT NO.: 10 REVISED:
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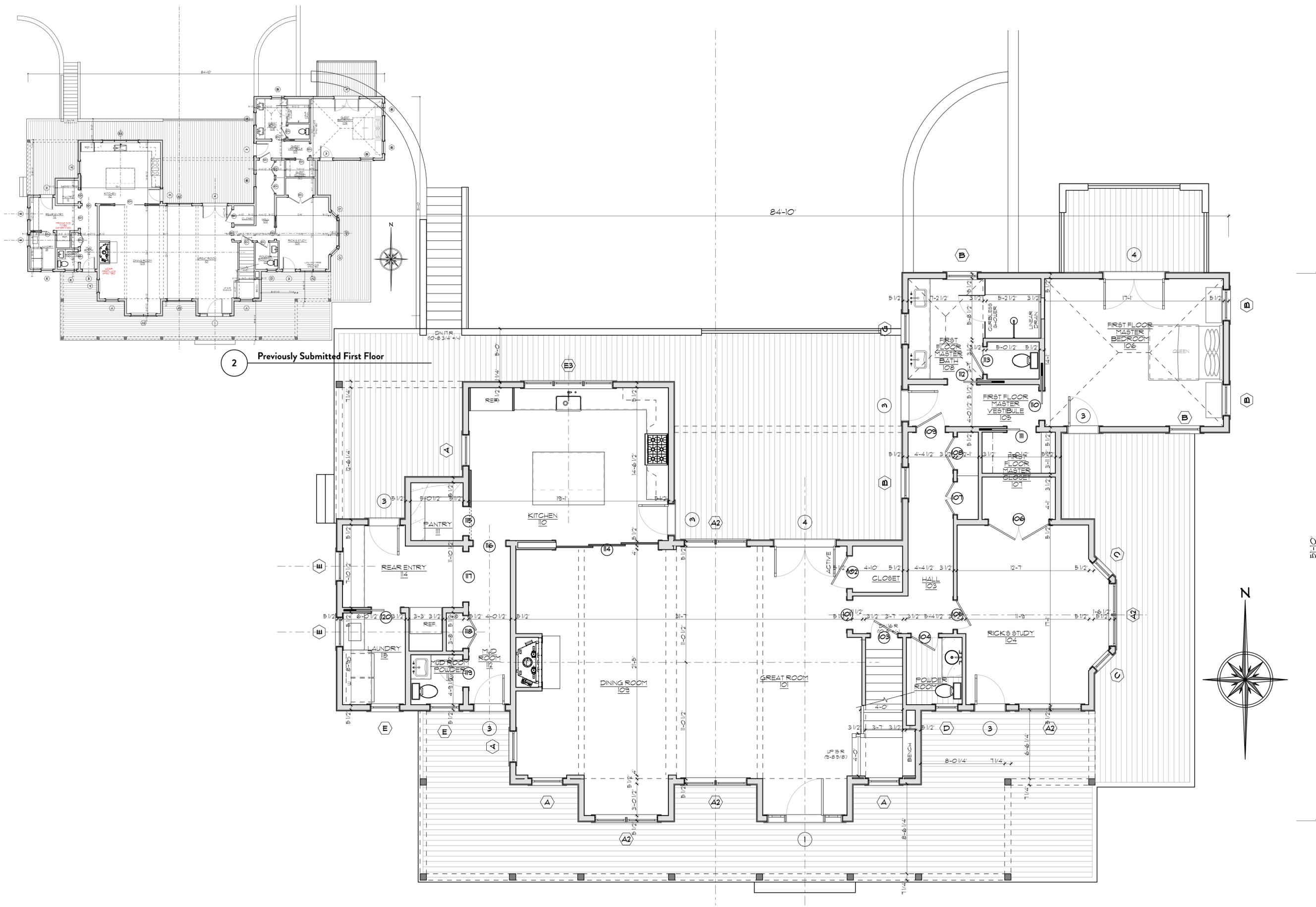
1 **BASEMENT FLOOR PLAN**
Scale: 1/4" = 1'-0"

Residence at
121 Madaket Road
Nantucket, MA 02554
MAP NO: 40 ZONING INFO: LUG-2
PARCEL NO: 601 PROJECT NO: 10 REVISED:
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Basement Floor Plan

DATE	REVISIONS

BOTTICELLI & POHL



2 Previously Submitted First Floor

1 FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

ID #

A-1.1

First Floor Plan

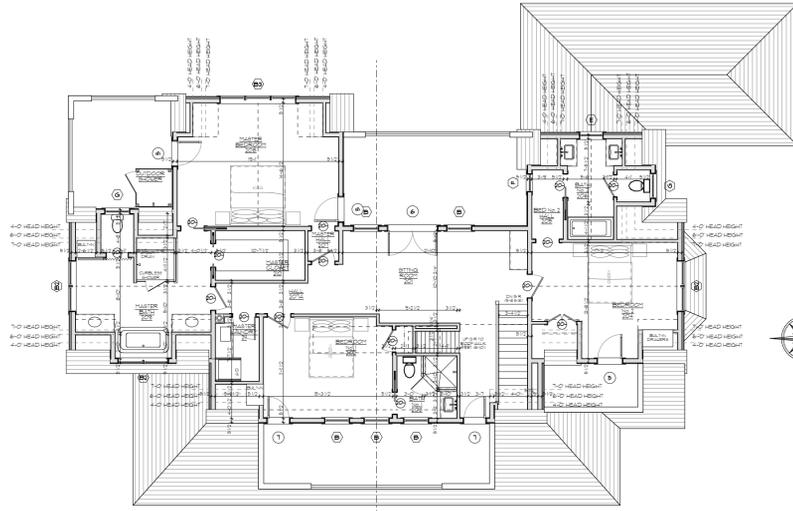
DATE	REVISIONS

BOTTICELLI & POHL

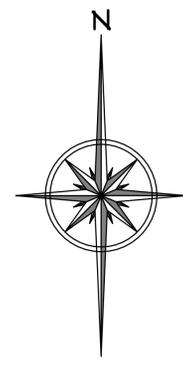
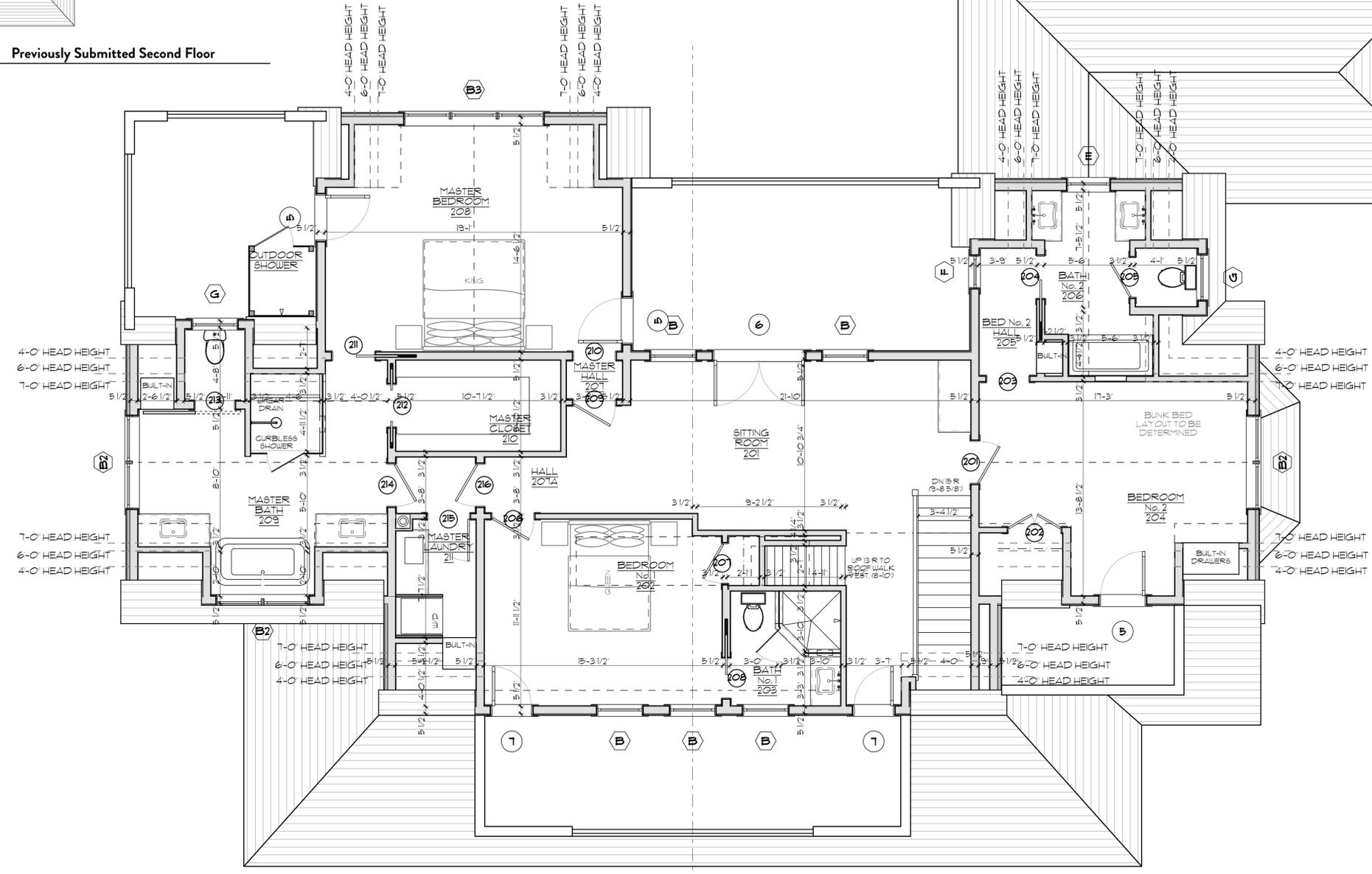
Residence at
121 Madaket Road
Nantucket, MA 02554

MAP NO: 40 ZONING INFO: LUG-2
PARCEL NO: 601 PROJECT NO: 10 REVISED:
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11 OLD SOUTH ROAD, NANTUCKET, MA 02554 | 31 STATE STREET, BOSTON, MA 02109 | BOTTICELLIANDPOHL.COM
P. 508.228.5453



2 Previously Submitted Second Floor



1 SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

DATE	REVISIONS

Second Floor Plan

Residence at
121 Madaket Road
Nantucket, MA 02554
MAP NO: 40 ZONING INFO: LUG-2
PARCEL NO: 601 PROJECT NO: 10 REVISED:
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OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

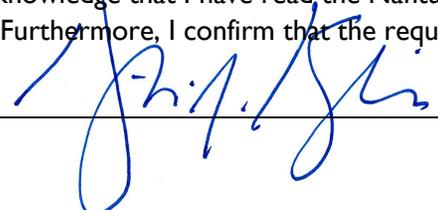
Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 1/2 x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 1/2 x 11
	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature:  Date: _____

5. Sheila Wilner	01-0548	10 Beach Street	Demo exist dwelling	73.2.4/10	Emeritus
Voting	Pohl, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (5:57)	MacEachern – Today’s proposal reuses a portion of the existing building.				
Motion	Motion to Hold to track. (Oliver)				
Roll-call Vote	Carried 4-0//Camp, Welch, Oliver, and Pohl-aye			Certificate #	
6. Sheila Wilner	01-0547	10 Beach Street	New dwelling	73.2.4/10	Emeritus
Voting	Pohl, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, and advisory comments.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (5:59)	MacEachern – Reviewed the proposed repurposing of the existing structure. Backus – Appreciates incorporating the existing but the addition should be held in a vernacular more in keeping with Codfish Park. Read SAB comments: this puts the existing on steroids; out of scale. Oliver – Appreciates trying to reuse the existing; what works against this is there is no indication of floor to ceiling height, but it is probably taller than what’s traditional for Codfish Park; reduce the pitch because it creates a huge disparity with the existing – suggested a mud sill and reduced head height. North elevation, there is a lot volume. East elevation, the form with the shingled deck is almost as high as the main roof and from the north has too much presence: simple is better. Camp – North elevation, this is a good attempt to save the house; the existing awnings gives it a charm you don’t see anymore. North elevation, the addition should come down more in keeping with the rest of the structure. It is under 24 feet tall. East elevation, the two French doors with the closed-in balcony is pushing it; this needs to be simplified. West elevation is her least favorite though it is simple. Welch – Codfish Park is where you see two structures in the mid 20-foot range with outdoor living space; he has a size concern. Echoes Ms. Camp’s concerns about the French doors; there would be no outdoor living space there. Maintaining the structure goes a long way. Referenced the historic photo of “Inspiration” as a good way to handle this. Pohl – Has nothing to add; likes the gesture of keeping the existing house and the north elevation addition overwhelms it. He doesn’t like the east elevation 2 nd -floor deck.				
Motion	Motion to Hold for revisions. (Oliver)				
Roll-call Vote	Carried 4-0//Camp, Welch, Oliver, and Pohl-aye			Certificate #	HDC2020-0
7. Hummock Pond Holdings	07-1427	287 Hummock Pond Rd	Move to 289 HPR + addtn	83/39	Emeritus
Voting	Pohl, Coombs, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, and historic documentation.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (6:13)	MacEachern – Reviewed project. Oliver – Less windows is better.				
Motion	Motion to Hold for revisions and to track. (Camp)				
Roll-call Vote	Carried unanimously//Welch, Camp, Coombs, Oliver, and Pohl-aye			Certificate #	
8. Hummock Pond Holdings	07-1426	287 Hummock Pond Rd	Re-site garage + alts	83/39	Emeritus
Voting	Pohl, Coombs, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, and 3D rendering.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (6:13)	MacEachern – Reviewed changes made per previous concerns. Pohl – Suggested justifying the entry connector roof forward and carry the porch to the right one more section; the front door looks squashed between the two masses. Coombs – Too many ganged windows across the front; the ganged under the extended porch is too heavy.				
Motion	Motion to Hold for revisions. (Oliver)				
Roll-call Vote	Carried unanimously//Coombs, Camp, Welch, Oliver, and Pohl-aye			Certificate #	

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

AX MAP N°: 83 PARCEL N°: 39
Street & Number of Proposed Work: 289 Hummock Pond Rd.
Owner of record: Hummock Pond Holdings LLC
Mailing Address: 59 West Potomac Ave.
Greenwich, CT 06830
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Ericatus
Mailing Address: 8 Williams Ln.
Nantucket, MA 02554
Contact Phone #: 325-498 E-mail: _____

FOR OFFICE USE ONLY	
Date application received: <u>7/14/2020</u>	Fee Paid: \$ <u>310</u>
Must be acted on by: <u>9/12/2020</u>	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

New Dwelling Addition Garage Driveaway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No.
 Pool (Zoning District _____) Roof Other Move on from 289 Hummock Pond Road / Exterior Modifications / Addition
Size of Structure or Addition: Length: 52'-3" Sq. Footage 1st floor: 912 Decks/Patio: Size: 36'x20' 1st floor 2nd floor
Width: 26'-0" Sq. Footage 2nd floor: 637 Size: 34'x8' 1st floor 2nd floor
Sq. Footage 3rd floor: _____
Difference between existing grade and proposed finish grade: North N/A South N/A East N/A West N/A
Height of ridge above final finish grade: North (+/-) 26'-6" South (+/-) 24'-8" East (+/-) 25'-6" West (+/-) 25'-6"
Additional Remarks _____

REVISIONS*

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) Red Other _____
Roof Pitch: Main Mass 9/12 Secondary Mass 9/12 Dormer 4/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Siding: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 6" Corner boards 4 1/2" Frieze 4"
Window Casing 3 1/2" Door Frame 3 1/2" Columns/Posts: Round _____ Square 11"
Windows*: Double Hung Casement All Wood Other Fixed
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type Carriage w/lot Material Wood-Natural
Landscape materials: Driveways GRAVEL-THE Walkways _____ Walls _____
Note: Complete door and window schedules are required.

COLORS

Siding White Cedar Shakes-THE Clapboard (if applicable) _____ Roof Asphalt Shingles-THE
Trim Wood-Natural-THE Sash Wood-Natural-THE Doors Painted-Grey & Wood-Natural-THE
Deck Wood-Natural-THE Foundation Concrete-THE Fence _____ Shutters _____

Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of my revisions to this application will initiate a new sixty-day review period.

Hummock Pond Holdings LLC

287 Hummock Pond Road
Nantucket, MA 02554



West Elevation



East Elevation



North Elevation



South Elevation

1927

Hummock Pond Holdings LLC

287 Hummock Pond Road
Nantucket, MA 02554



Cover Sheet

Site Information

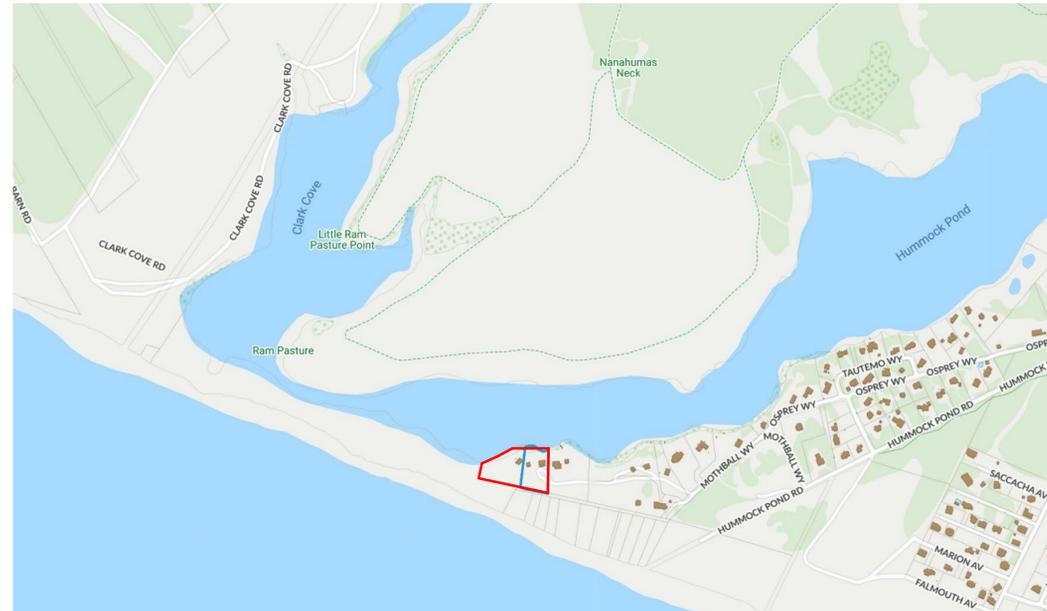
Map & Parcel:	83 / 39
Current Zoning:	VR
Minimum Frontage:	100 FT
Front Setback:	20 FT
Side/Rear Setback:	10 FT
Lot Size:	54,640 SF
Min. Lot Size:	20,000 SF
Allowable G.C.:	10% / 5,464 SF
Existing G.C.:	588 SF
Proposed G.C.:	936 SF
Total Proposed G.C.:	1,520 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

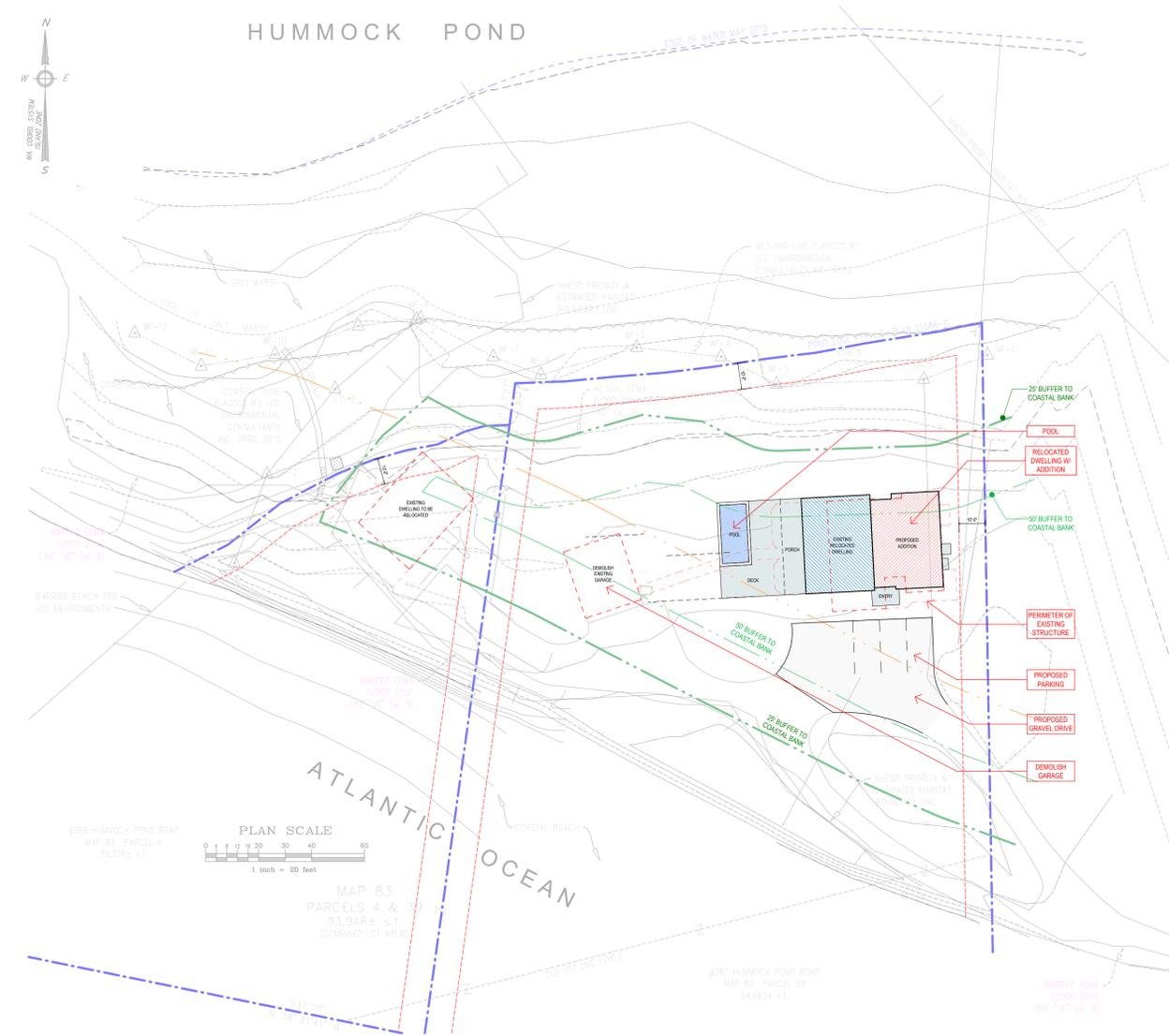
SHEET INDEX

G.1.0	Cover Sheet
A.1.1	Floor Plans
A.1.2	Floor Plans
A.1.3	Roof Plans
A.2.1	Exterior Elevations
A.2.2	Exterior Elevations

09.17.20

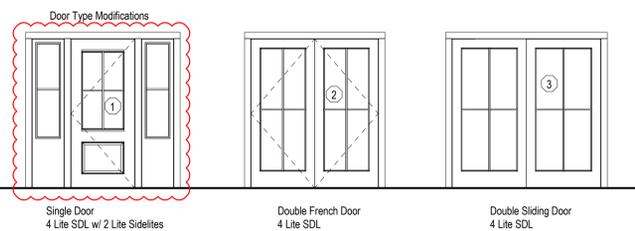


Locus Map

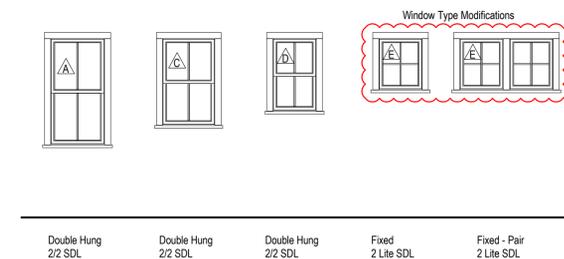


Site Plan
1" = 30'-0"

HDC Submission



Door Legend
1/4" = 1'-0"



Window Legend
1/4" = 1'-0"

Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.
DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING, WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

G.1.0
1927

09.17.20

HDC Submission

1927

Hummock Pond Holdings LLC
287 Hummock Pond Road
Nantucket, MA 02554



Floor Plans

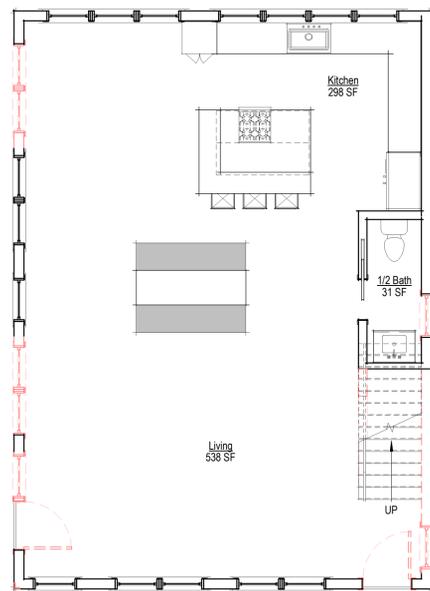
Site Information

Map & Parcel:	83 / 39
Current Zoning:	VR
Minimum Frontage:	100 FT
Front Setback:	20 FT
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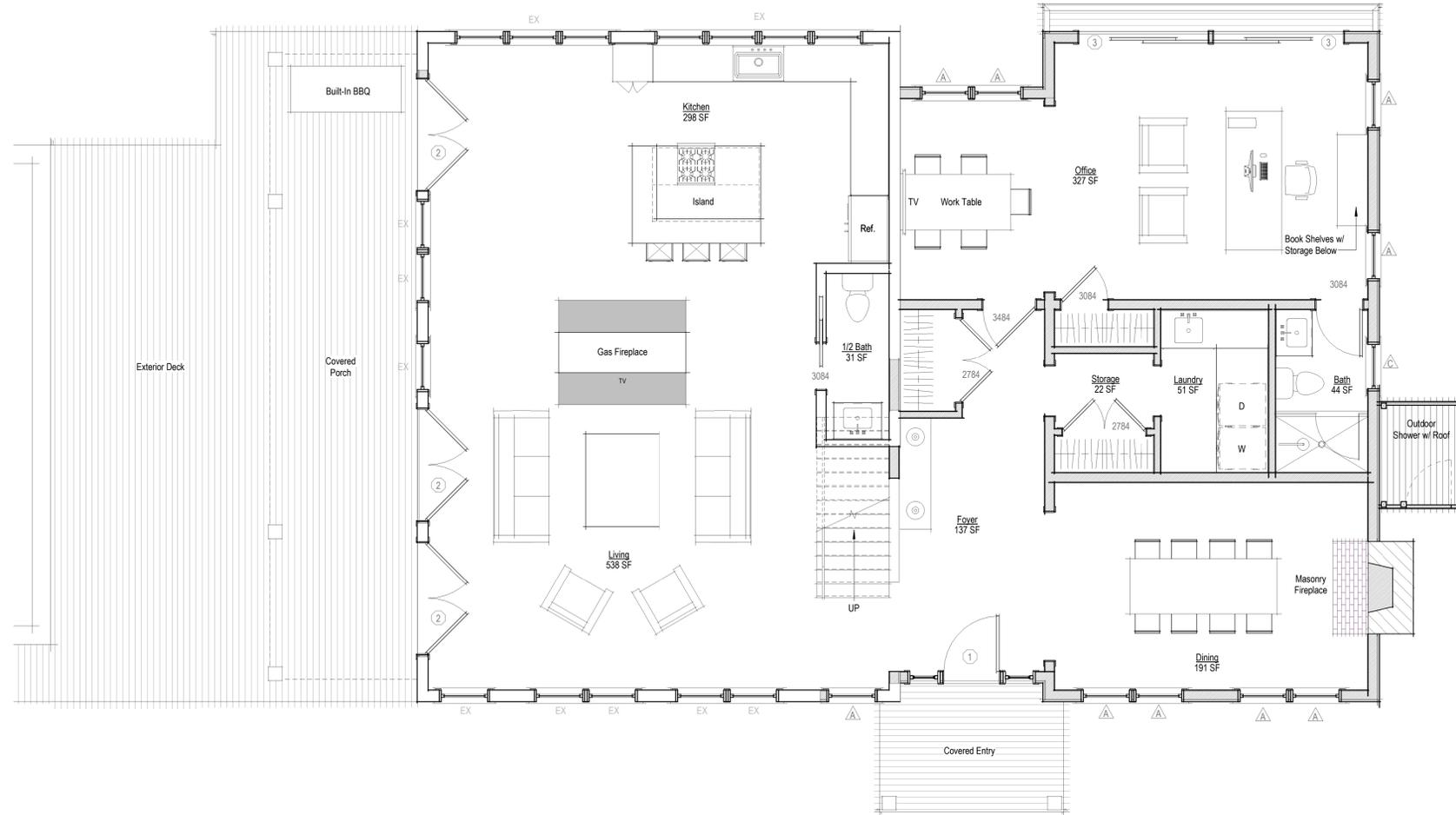
SHEET INDEX

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A.1.3	Roof Plans
A.2.1	Exterior Elevations
A.2.2	Exterior Elevations



First Floor Plan - Demolition

3/16" = 1'-0"



First Floor Plan - Proposed

1/4" = 1'-0"

Revisions

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A.1.1
1927

09.17.20

HDC Submission

1927

Hummock Pond Holdings LLC
287 Hummock Pond Road
Nantucket, MA 02554



Floor Plans

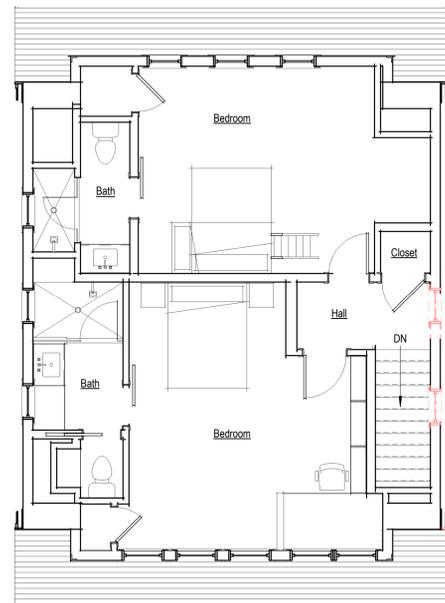
Site Information

Map & Parcel:	83 / 39
Current Zoning:	VR
Minimum Frontage:	100 FT
Front Setback:	20 FT
Side/Rear Setback:	10 FT
Lot Size:	54,640 SF
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Proposed G.C.:	936 SF
Total Proposed G.C.:	1,520 SF

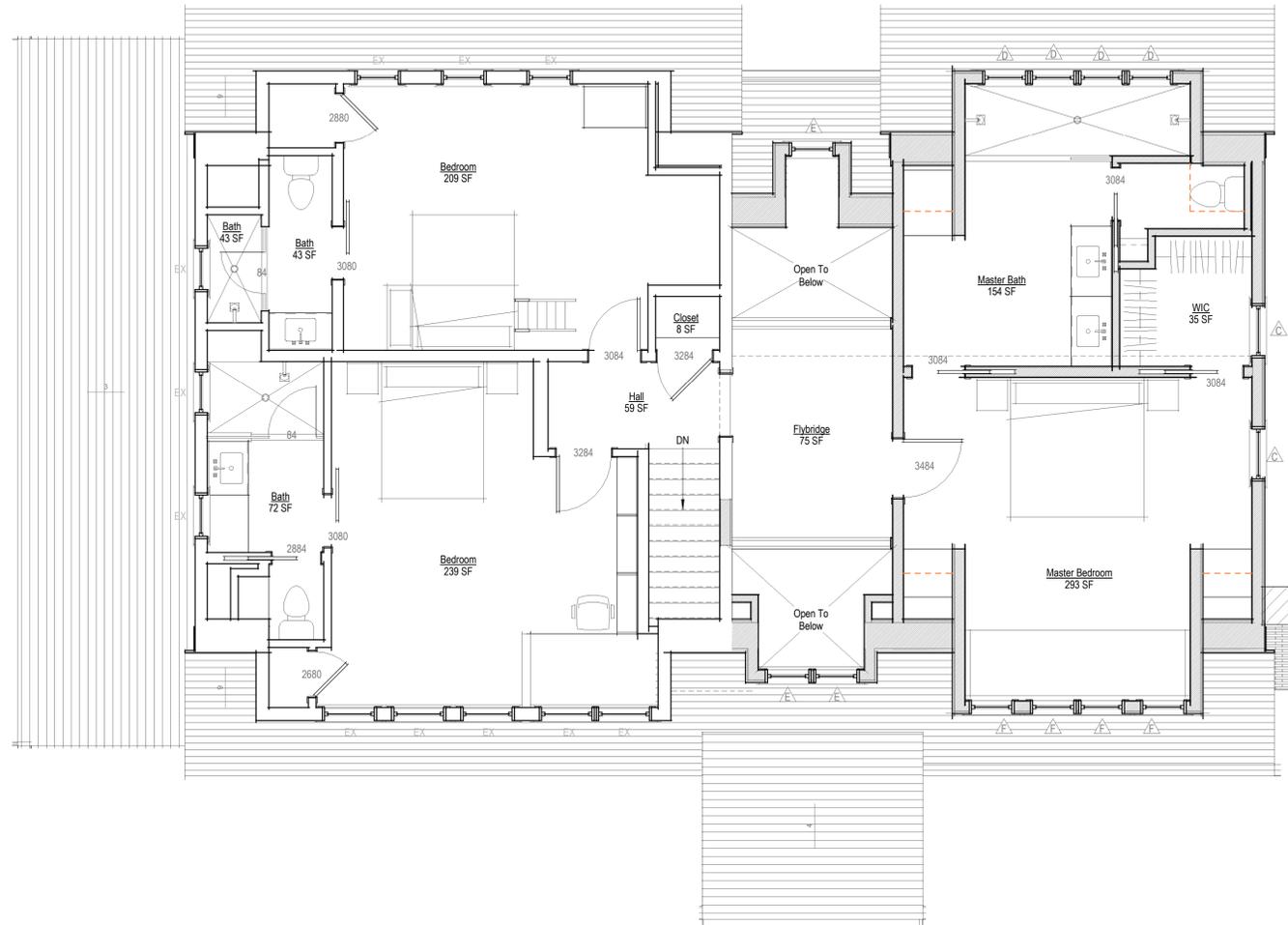
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SHEET INDEX

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A.1.3	Roof Plans
A.2.1	Exterior Elevations
A.2.2	Exterior Elevations



Second Floor Plan - Demolition
3/16" = 1'-0"



Second Floor Plan - Proposed
1/4" = 1'-0"

Revisions

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A.1.2
1927

09.17.20

HDC Submission



North Elevation - Previous Submission
1/8" = 1'-0"



North Elevation - Proposed
1/4" = 1'-0"



South Elevation - Previous Submission



South Elevation - Proposed
1/4" = 1'-0"

1927

Hummock Pond
Holdings LLC
287 Hummock Pond Road
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	83 / 39
Current Zoning:	VR
Minimum Frontage:	100 FT
Front Setback:	20 FT
Side/Rear Setback:	10 FT
Lot Size:	54,640 SF
Min. Lot Size:	20,000 SF
Allowable G.C.:	10% / 5,464 SF
Existing G.C.:	588 SF
Proposed G.C.:	936 SF
Total Proposed G.C.:	1,520 SF

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Revisions

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A.2.1
1927

09.17.20

HDC Submission



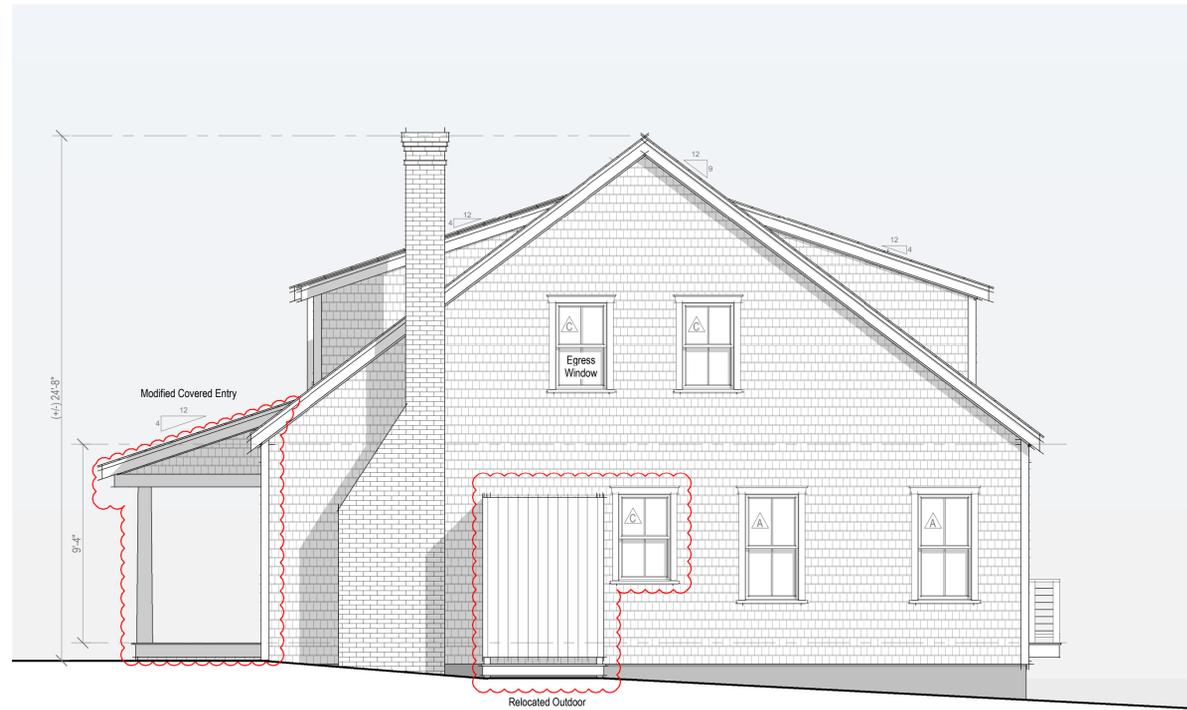
West Elevation - Previous Submission
1/8" = 1'-0"



East Elevation - Previous Submission
1/8" = 1'-0"



West Elevation - Proposed
1/4" = 1'-0"



East Elevation - Proposed
1/4" = 1'-0"

1927

Hummock Pond
Holdings LLC
287 Hummock Pond Road
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	83 / 39
Current Zoning:	VR
Minimum Frontage:	100 FT
Front Setback:	20 FT
Side/Rear Setback:	10 FT
Lot Size:	54,640 SF
Min. Lot Size:	20,000 SF
Allowable G.C.:	10% / 5,464 SF
Existing G.C.:	588 SF
Proposed G.C.:	936 SF
Total Proposed G.C.:	1,520 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.0 Cover Sheet
- A.1.1 Floor Plans
- A.1.2 Floor Plans
- A.1.3 Roof Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

Revisions

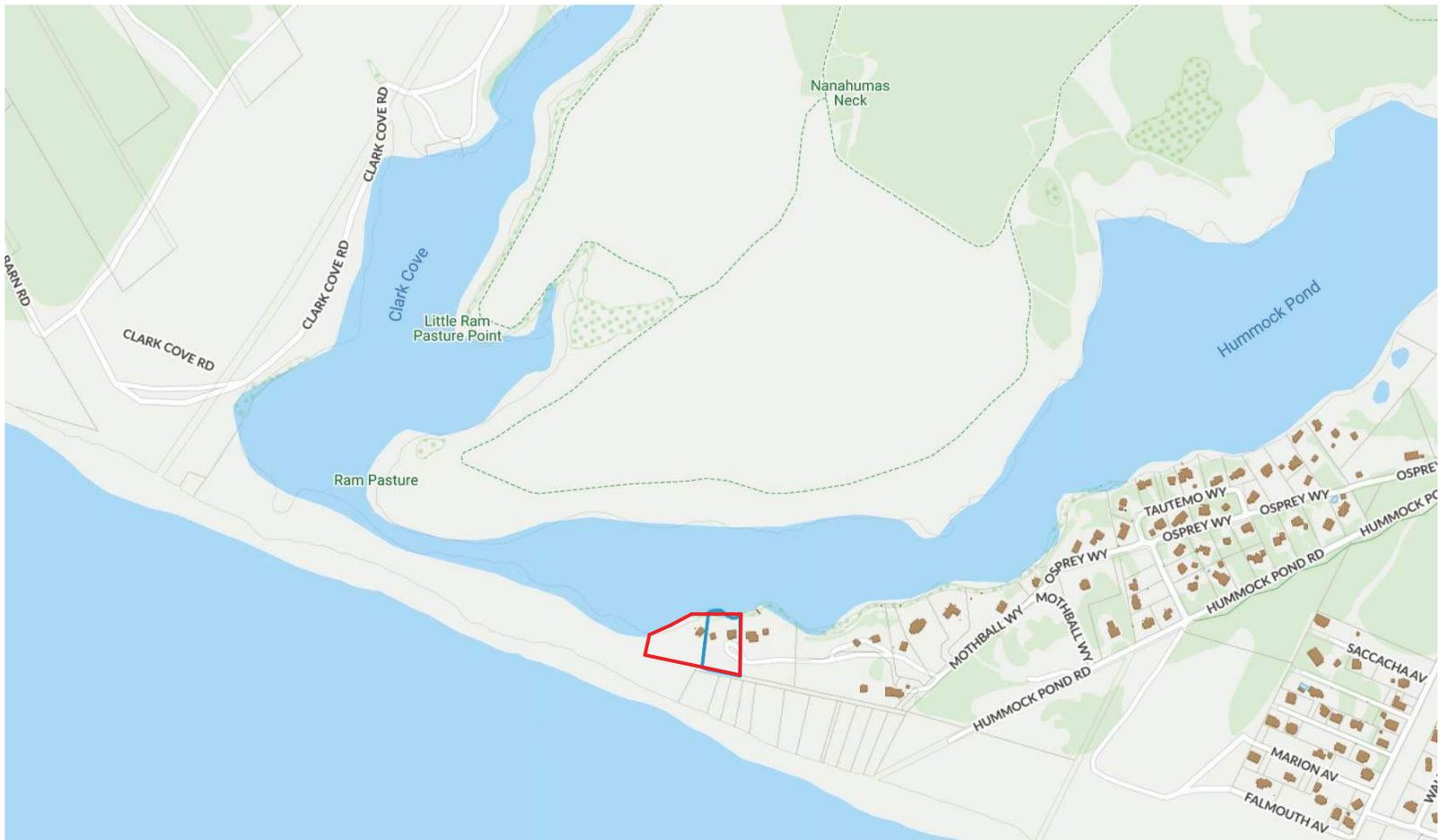
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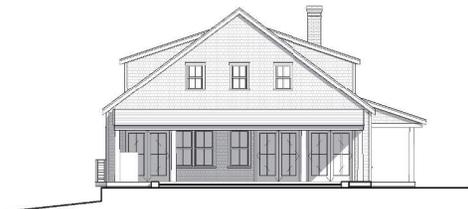
A.2.2
1927

Hummock Pond Holdings LLC

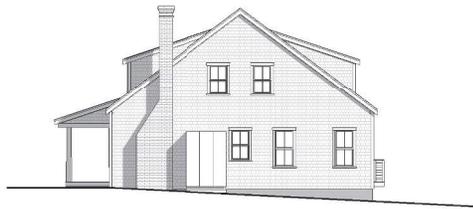
287 Hummock Pond Road
Nantucket, MA 02554

09.17.20





West Elevation



East Elevation

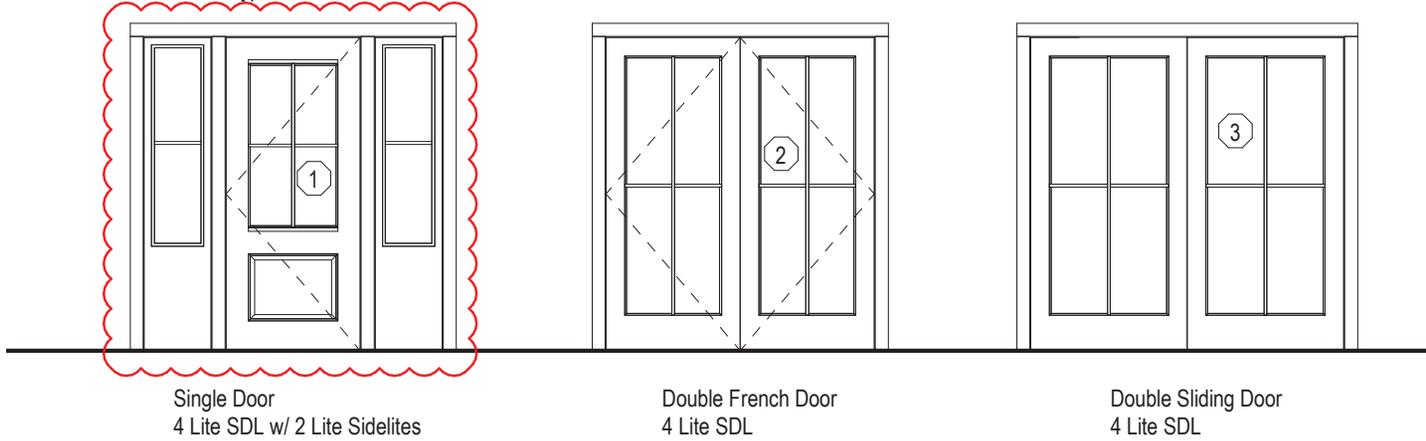


North Elevation



South Elevation

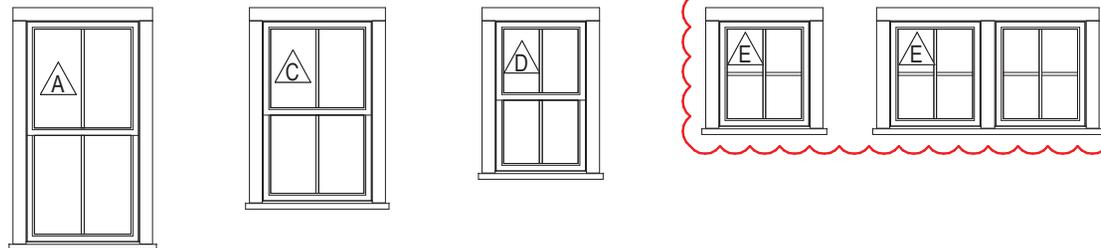
Door Type Modifications



Door Legend

1/4" = 1'-0"

Window Type Modifications



Double Hung
2/2 SDL

Double Hung
2/2 SDL

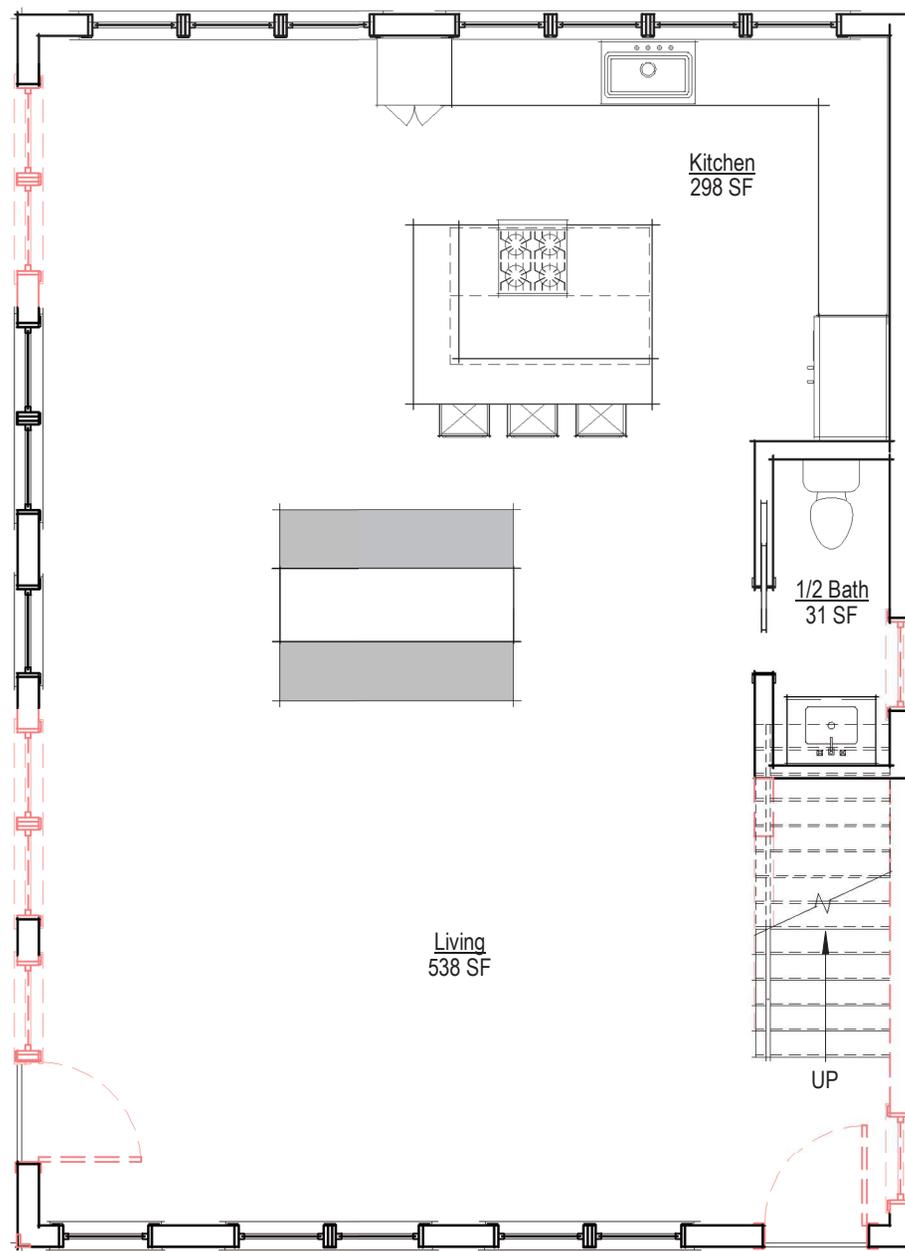
Double Hung
2/2 SDL

Fixed
2 Lite SDL

Fixed - Pair
2 Lite SDL

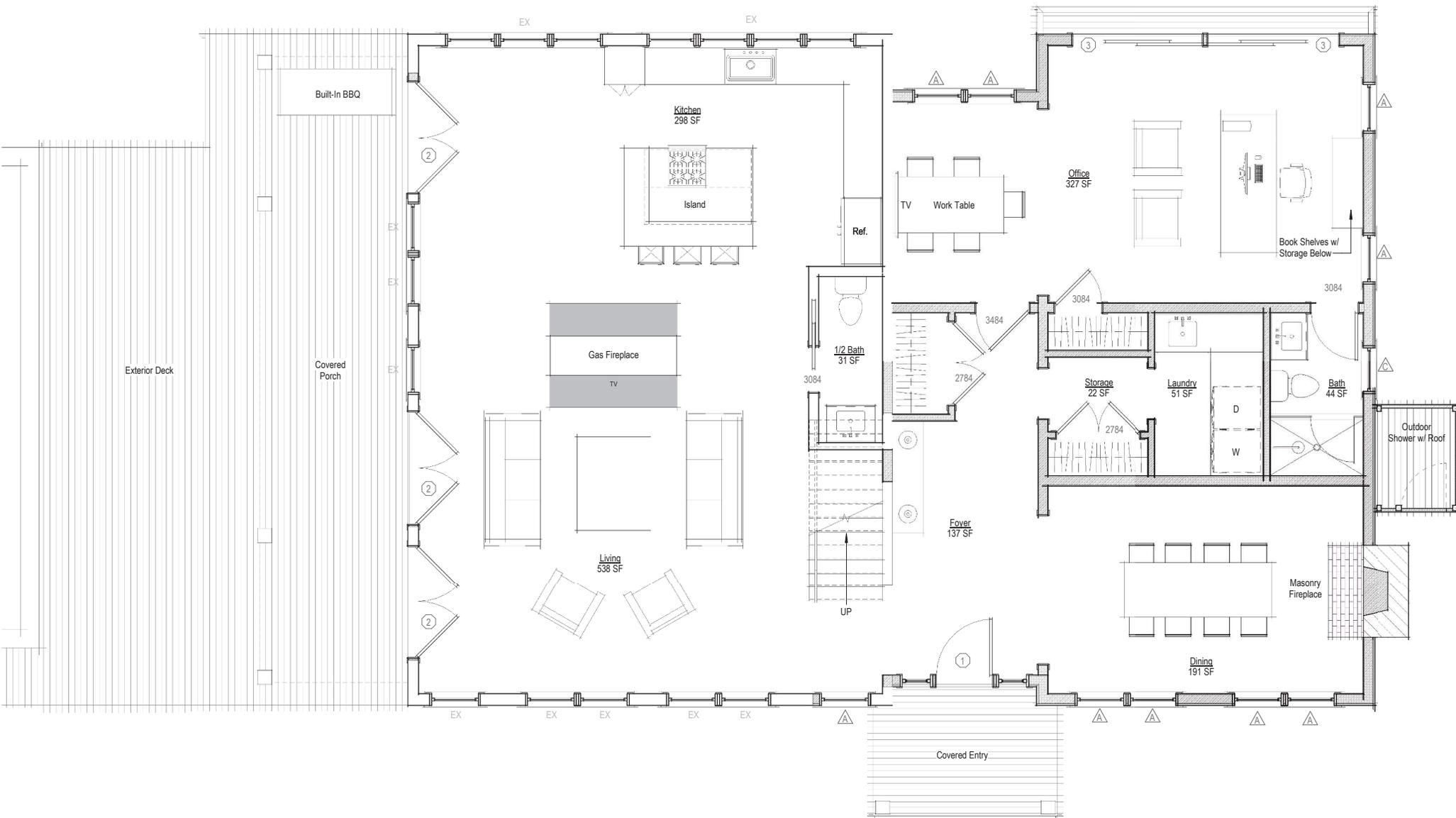
Window Legend

1/4" = 1'-0"



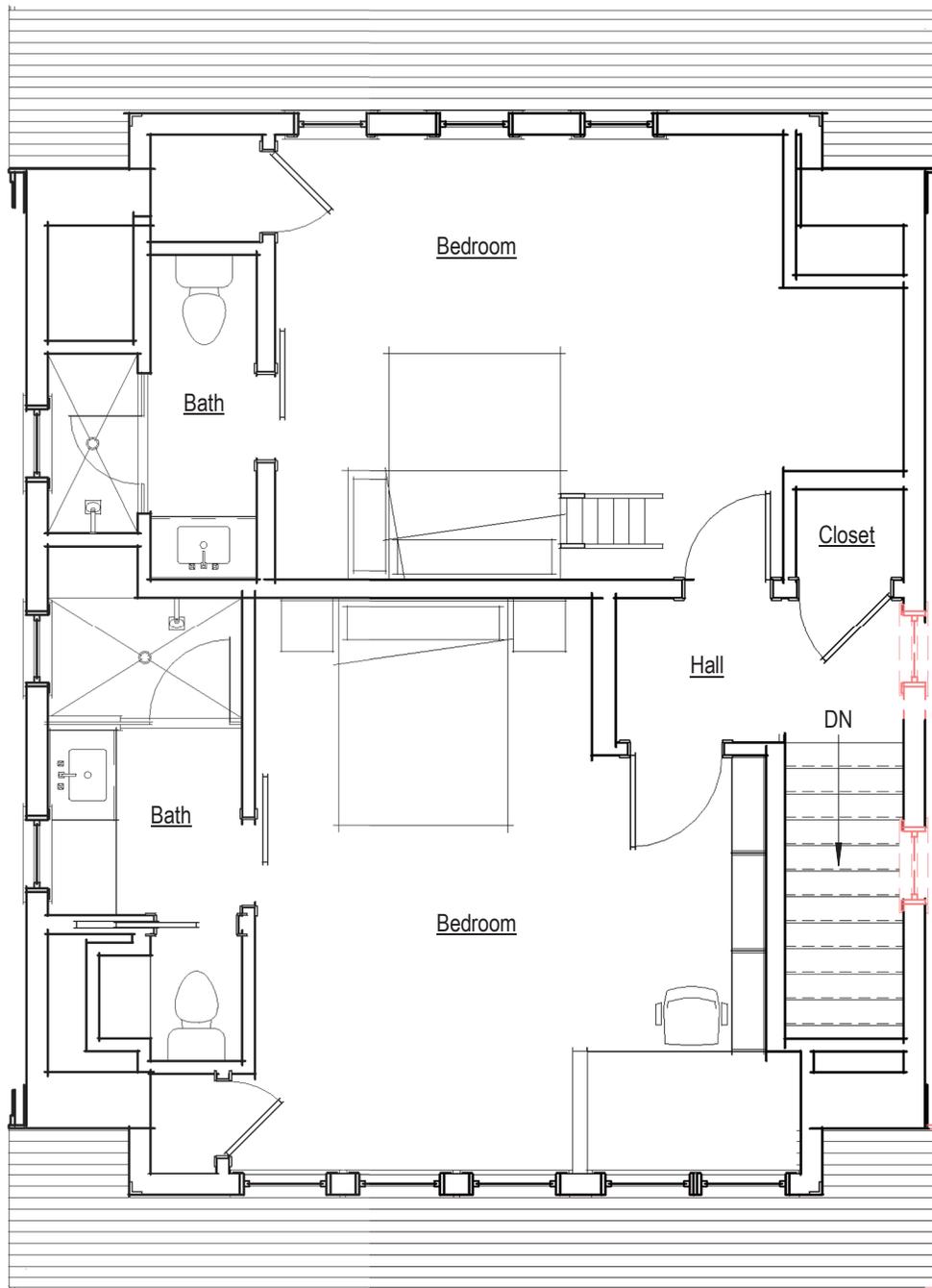
First Floor Plan - Demolition

3/16" = 1'-0"



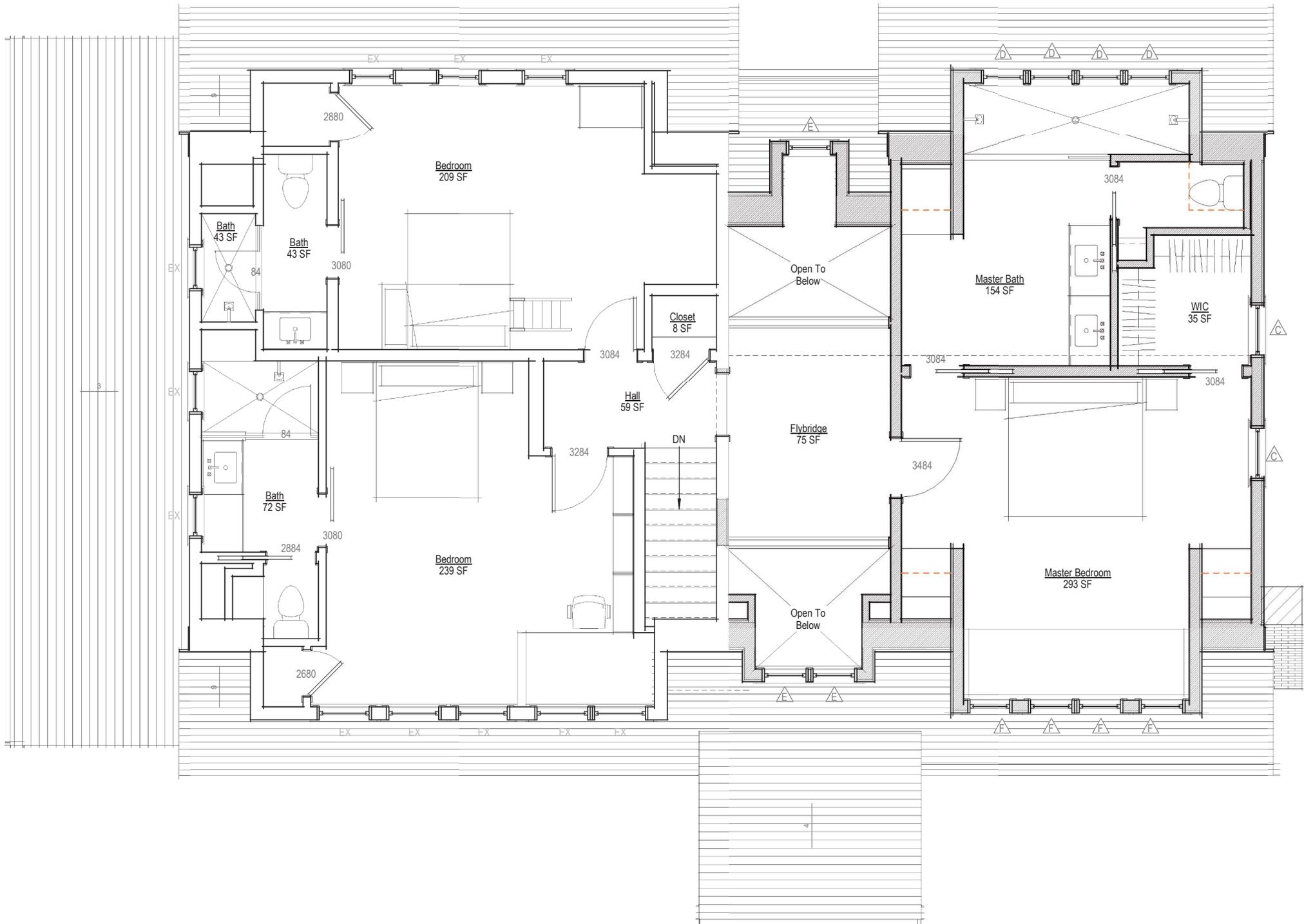
First Floor Plan - Proposed

1/4" = 1'-0"



Second Floor Plan - Demolition

3/16" = 1'-0"



Second Floor Plan - Proposed

1/4" = 1'-0"



South Elevation - Proposed

1/4" = 1'-0"



South Elevation - Previous Submission



North Elevation - Proposed

1/4" = 1'-0"



North Elevation - Previous Submission

1/8" = 1'-0"



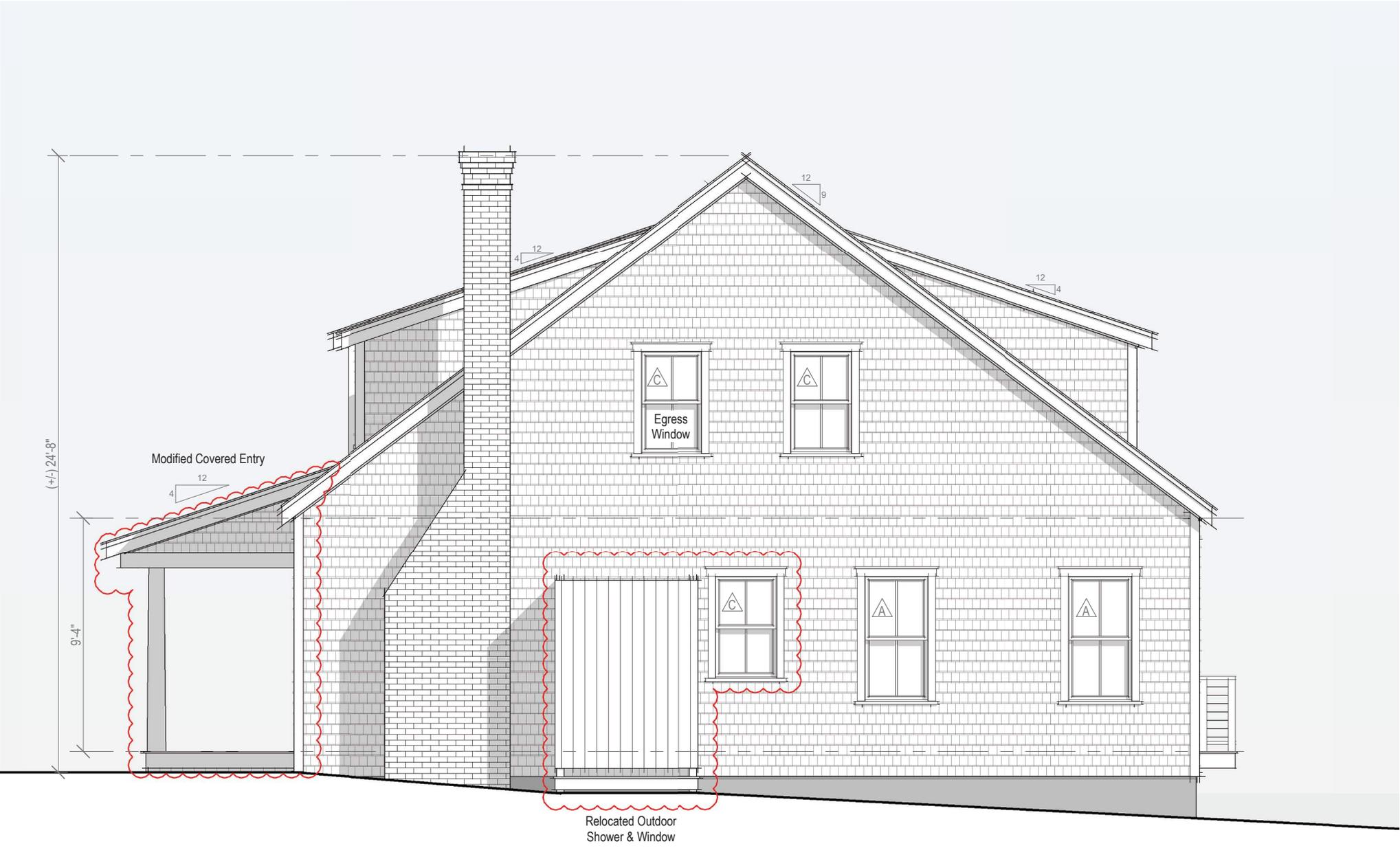
West Elevation - Proposed

1/4" = 1'-0"



West Elevation - Previous Submission

1/8" = 1'-0"



East Elevation - Proposed

1/4" = 1'-0"



East Elevation - Previous Submission

1/8" = 1'-0"

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 55.4.1 PARCEL N°: 74.1
 Street & Number of Proposed Work: 1 Jefferson Lane
 Owner of record: John B Greer Hendricks
 Mailing Address: 1212 5th Avenue
New York, NY 10029
 Contact Phone #: (917) 847-9802 E-mail: johnhendricks212@gmail.com

AGENT INFORMATION (if applicable)

Name: Emeritus
 Mailing Address: 8 Williams Lane
Nantucket, Ma. 02554
 Contact Phone # (508) 325-4995 E-mail: matt@emeritusdevelopment.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 70397
 Pool (Zoning District _____) Roof Other Door type change
 Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
 Original Date: _____
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

REVISIONS*

1. East Elevation No visible changes
2. South Elevation Front entry door type change
3. West Elevation no visible changes
4. North Elevation no visible changes

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____

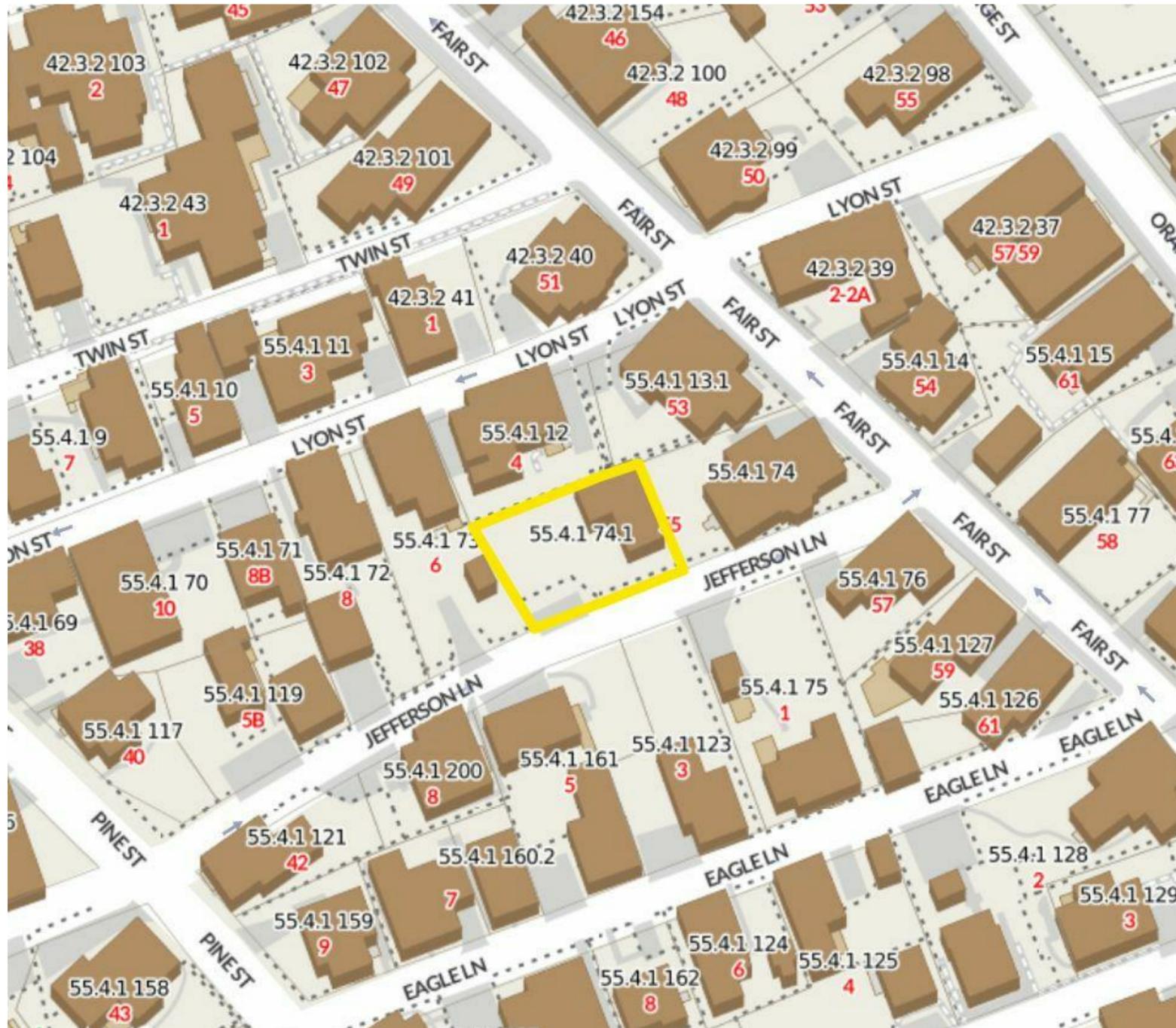
Trim _____ Sash _____ Doors _____

Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date _____ Signature of owner of record _____ Signed under penalties of perjury



LM1

Residence for
 1 Jefferson Lane
 Nantucket, MA 02554

Zoning Information

Map & Parcel: 55.4.1 / 74.1
 Current Zoning: ROH
 Minimum Frontage: 50 ft
 Front Setback: 0 ft
 Side/Rear Setback: 5 ft

Locus Map

Not To Scale
 08.19.20



8 Williams Lane
 Nantucket, MA 02554
 P. 508.325.4995
 emeritust.com

7. Alix Keeting 08-1592	31 Shell Street	Steps-hardscaping	73.1.3/5.3	Kent Murphy
Voting	Pohl, Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Landscape design plans, site plan, photos, historical documentation, and advisory comments.			
Representing	Kent Murphy			
Public	None			
Concerns (2:26)	<p>Backus – Read SAB comments: plantings very close to the road on a critical corner; what’s actual proposed parking; recommendation of alternate materials for parking; and safety concerns. Circa 1910-1930.</p> <p>Murphy – Presented project; the hedge is in line with the neighbor’s.</p> <p>Pohl – Looking at the picture with the telephone pole indicates the road layout is a couple of feet from the pavement. It would be nice to have photos of the current situation. He likes the idea of a cobble drive. Agrees with paving stones not being rectilinear, and something less formal than Belgium block such as cobblestone.</p> <p>Camp – Thinks the material should be shell with a Belgium block border.</p> <p>Oliver – She feels like we don’t have sufficient current information: photos and relocated driveway.</p> <p>Coombs – The steps along Shell Street leading into the property should not be rectangular; should be irregular. The parking should be less formal; shell would fit in. Wants to view.</p> <p>Welch – Agrees with what’s been said. His concern is that Belgium block is not appropriate out there; it’s not an apron material for a small cottage-style house. Pictures would be helpful. If we don’t have photos, he’d like a view. Suggested that they consider cobble with grass for the parking; that is much more acceptable for a small cottage.</p>			
Motion	Motion to View. (Camp)			
Roll-call Vote	Carried unanimously//Welch, Coombs, Oliver, Camp, and Pohl-aye		Certificate #	

8. John Hendricks 08-1549	1 Jefferson Lane	Rev. 73097: door change	55.4.1/74.1	Emeritus
Voting	Pohl, Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (2:42)	<p>MacEachern – Presented project.</p> <p>Backus – Read HSAB comments: legs of bracket not installed as approved; transom/sidelights too crowded; beefier door surround would be more appropriate.</p> <p>Welch – The brackets aside, if this the sidelights were changed to a less contemporary concept with two bottom panels, that would be a nice treatment; right now, it seems very “vanilla.” He wants to see this back; doesn’t like the Andersen door.</p> <p>Coombs – Okay with the brackets. The door is right on the street and shouldn’t have sidelights from top to bottom; the two bottom lights should be panels. Doesn’t think it is too busy.</p> <p>Oliver – She disagrees; she likes the simplicity of the existing door and is okay with the brackets; would like it to remain as is.</p> <p>Camp – Likes the proposed sidelights.</p> <p>Pohl – Sidelights if done with paneled bottom and less a “vanilla” door would be nice. The brackets need to be done right. Suggested a wider door with glass in it; that would allow for a larger frontispiece around the door.</p>			
Motion	Motion to Hold for revisions. (Camp)			
Roll-call Vote	Carried unanimously//Oliver, Coombs, Welch, Camp, and Pohl-aye		Certificate #	

OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 1/2 x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 1/2 x 11
	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: _____ Date: _____



HDC1

Residence for
 1 Jefferson Lane
 Nantucket, MA 02554

Zoning Information

Map & Parcel: 55.4.1 / 74.1
 Current Zoning: ROH
 Minimum Frontage: 50 ft
 Front Setback: 0 ft
 Side/Rear Setback: 5 ft

South Elevation - Previously Approved HDC

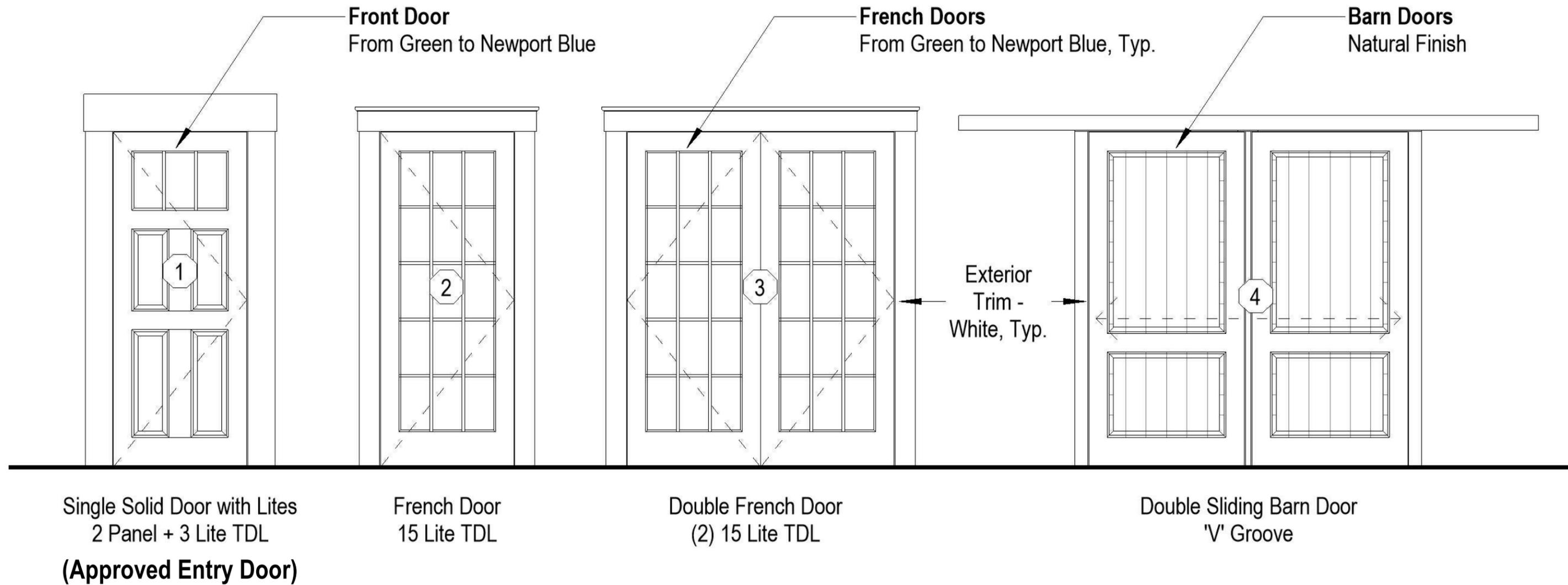
Scale: 1/4" = 1'-0"

09.17.20



e m e r i t u s

8 Williams Lane
 Nantucket, MA 02554
 P. 508.325.4995
 emeritust.com

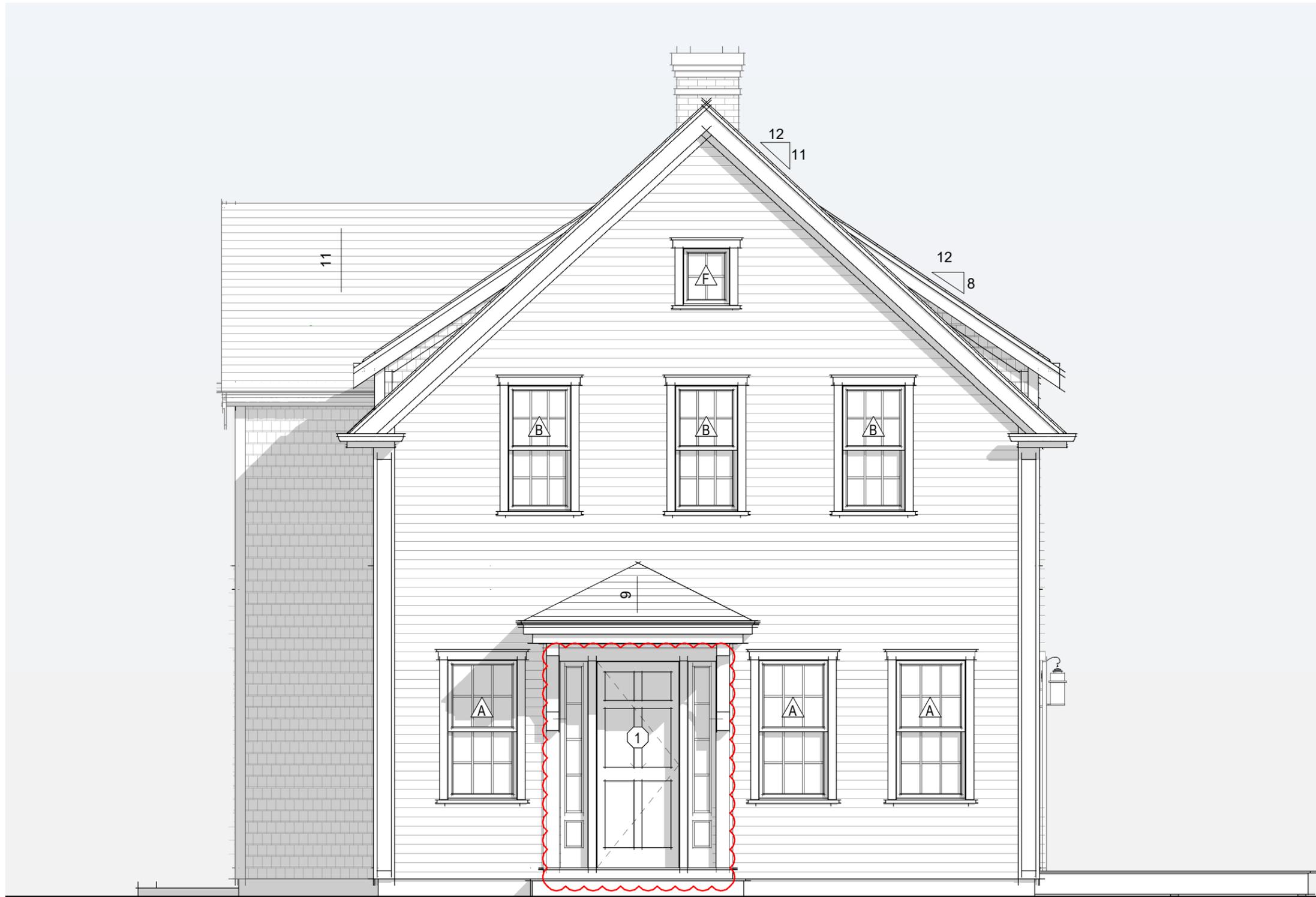


Zoning Information

Map & Parcel: 55.4.1 / 74.1
 Current Zoning: ROH
 Minimum Frontage: 50 ft
 Front Setback: 0 ft
 Side/Rear Setback: 5 ft

Previously Approved Door Types

Scale: 1/2" = 1'-0"
 09.17.20



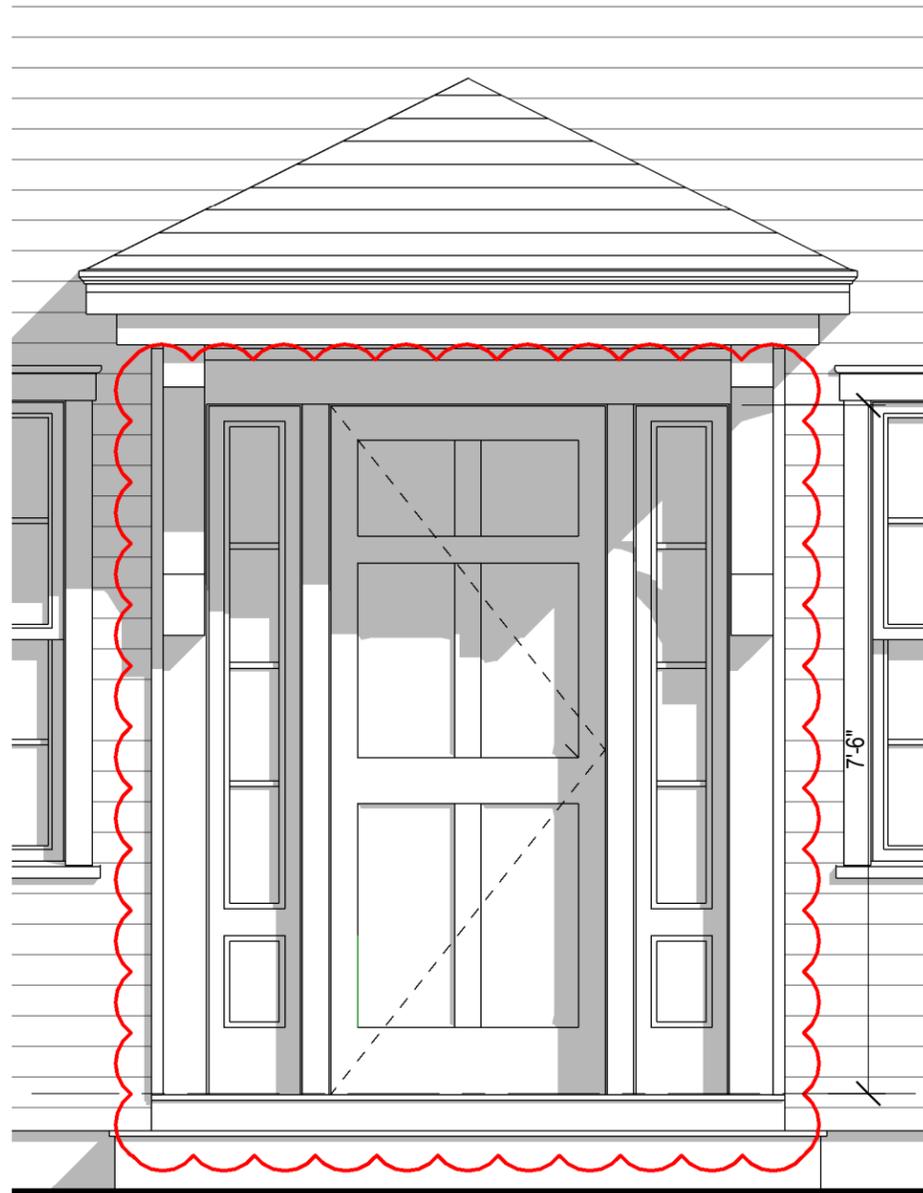
Modified Entry Door w/ Sidelites

Zoning Information

Map & Parcel: 55.4.1 / 74.1
 Current Zoning: ROH
 Minimum Frontage: 50 ft
 Front Setback: 0 ft
 Side/Rear Setback: 5 ft

South Elevation - Proposed

Scale: 1/4" = 1'-0"
 09.17.20



Proposed Front Entry Elevation

Shaker Style Six Panel Entry Door w/ Sidelites

HDC4

Residence for
1 Jefferson Lane
Nantucket, MA 02554

Zoning Information

Map & Parcel: 55.4.1 / 74.1
Current Zoning: ROH
Minimum Frontage: 50 ft
Front Setback: 0 ft
Side/Rear Setback: 5 ft

Proposed Entry Door w/ Sidelites

Scale: 1/2" = 1'-0"
09.17.20



8 Williams Lane
Nantucket, MA 02554
P. 508.325.4995
emeritust.com



South Elevation - View from Street



Close-up of Entry Door

Zoning Information

Map & Parcel:	55.4.1 / 74.1
Current Zoning:	ROH
Minimum Frontage:	50 ft
Front Setback:	0 ft
Side/Rear Setback:	5 ft

Existing Conditions Photographs



HDC1

Residence for
 1 Jefferson Lane
 Nantucket, MA 02554

Zoning Information

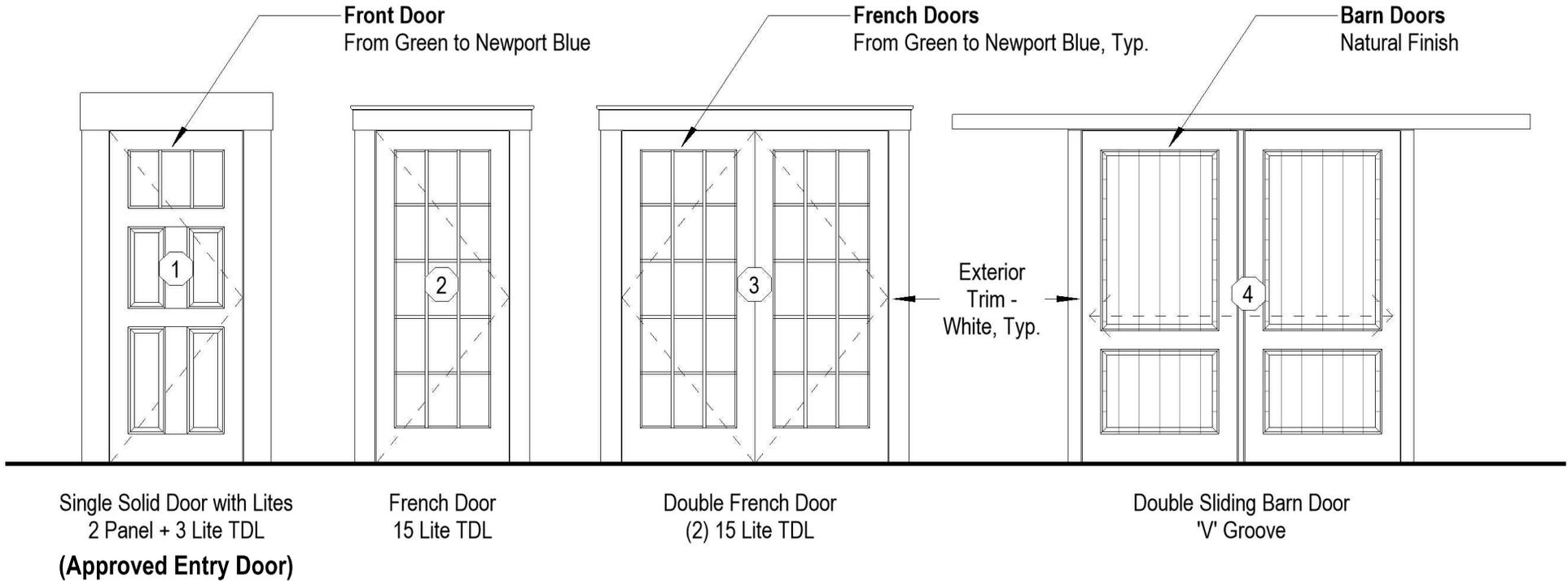
Map & Parcel: 55.4.1 / 74.1
 Current Zoning: ROH
 Minimum Frontage: 50 ft
 Front Setback: 0 ft
 Side/Rear Setback: 5 ft

South Elevation - Previously Approved HDC

Scale: 1/4" = 1'-0"
 09.17.20



8 Williams Lane
 Nantucket, MA 02554
 P. 508.325.4995
 emeritusllc.com



HDC2

Residence for
1 Jefferson Lane
Nantucket, MA 02554

Zoning Information

Map & Parcel: 55.4.1 / 74.1
Current Zoning: ROH
Minimum Frontage: 50 ft
Front Setback: 0 ft
Side/Rear Setback: 5 ft

Previously Approved Door Types

Scale: 1/2" = 1'-0"
09.17.20



8 Williams Lane
Nantucket, MA 02554
P. 508.325.4995
emeritus.com



Modified Entry Door w/ Sidelites

HDC3

Residence for
1 Jefferson Lane
Nantucket, MA 02554

Zoning Information

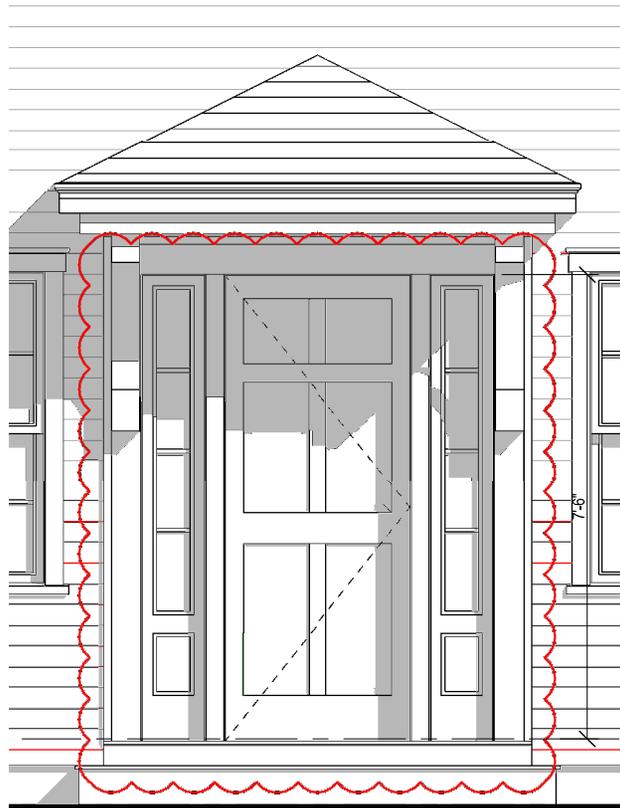
Map & Parcel: 55.4.1 / 74.1
Current Zoning: ROH
Minimum Frontage: 50 ft
Front Setback: 0 ft
Side/Rear Setback: 5 ft

South Elevation - Proposed

Scale: 1/4" = 1'-0"
09.17.20



8 Williams Lane
Nantucket, MA 02554
P. 508.325.4995
emeritus.com



Proposed Front Entry Elevation

Shaker Style Six Panel Entry Door w/ Sidelites

HDC4

Residence for
1 Jefferson Lane
Nantucket, MA 02554

Zoning Information

Map & Parcel: 55.4.1 / 74.1
Current Zoning: ROH
Minimum Frontage: 50 ft
Front Setback: 0 ft
Side/Rear Setback: 5 ft

Proposed Entry Door w/ Sidelites

Scale: 1/2" = 1'-0"
09.17.20



8 Williams Lane
Nantucket, MA 02554
P. 508.325.4995
emeritus.com



South Elevation - View from Street



Close-up of Entry Door

HDC5

Residence for
1 Jefferson Lane
Nantucket, MA 02554

Zoning Information

Map & Parcel: 55.4.1 / 74.1
Current Zoning: ROH
Minimum Frontage: 50 ft
Front Setback: 0 ft
Side/Rear Setback: 5 ft

Existing Conditions Photographs



8 Williams Lane
Nantucket, MA 02554
P. 508.325.4995
emeritusllc.com

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a
CERTIFICATE OF APPROPRIATENESS
for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.
NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.
The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 74 PARCEL N°: 23
Street & Number of Proposed Work: 4 SWEETWING CIRCLE
Owner of record: CANNONBURY LANE HOLDINGS I, LLC
Mailing Address: 105 NEWBURY STREET, 4TH FLOOR
BOSTON, MA 02116
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: MIERN LLC
Mailing Address: 6 WINDY WAY, NANTUCKET MA
02554
Contact Phone #: 508-333-5138 E-mail: DESIGN@MIERNLLC.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED
See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District SR20) Roof Other _____
Size of Structure or Addition: Length: 40' Sq. Footage 1st floor: _____ Decks/Patio: Size: 250 SF 1st floor 2nd floor
Width: 14' Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____

- REVISIONS*:** 1. East Elevation
(describe) 2. South Elevation
3. West Elevation
4. North Elevation

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways PEA STONE Walkways BLUE STONE Walls _____

* Note: Complete door and window schedules are required. PATIO: BLUE STONE APRON: BELGIUM BLOCK

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 8-25-2020

Signature of owner of record _____

[Signature]

Signed under penalties of perjury

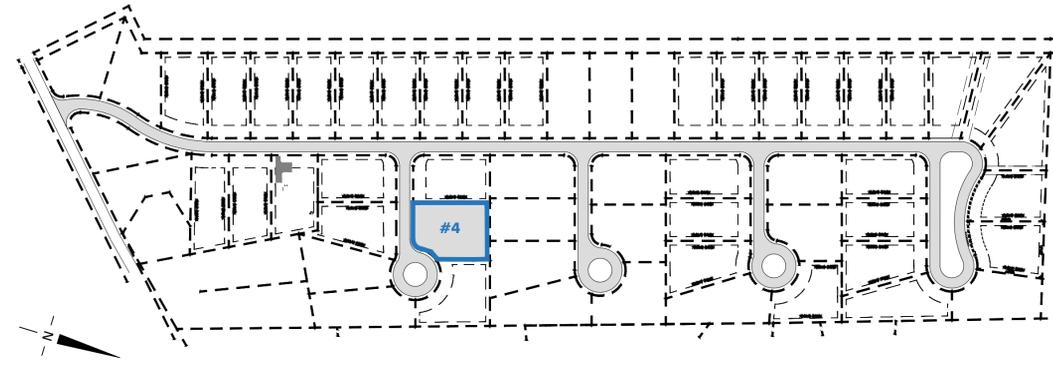
11. Cannonbury Ln Hold 1 08-1566 4 Sleetwing Circle Hardscape-pool 74/23 Ahern, LLC					
Voting	Pohl, Coombs, McLaughlin, Camp, Dutra				
Alternates	Welch				
Recused	(Oliver stepped out)				
Documentation	Landscape design plans, site plan, photos, and advisory comments				
Representing	Miroslava Ahern, Ahern Design, LLC				
Public	None				
Concerns (6:37)	<p>Ahern – Presented project; intend to maintain vegetation to render the pool not visible.</p> <p>Dutra – He thinks this should track with the cabana; and hold the decision for that.</p> <p>Camp – Agrees. Asked what types of trees are proposed in front of the cabana (deciduous). She doesn't want to see the pool. Asked about the apron material (Belgium block).</p> <p>Coombs – Okay with the pool as long as existing vegetation is maintained.</p> <p>McLaughlin – Still concerned about duplication; we need to discuss this.</p> <p>Pohl – No concerns as long as the caveat is included.</p>				
Motion	<p>Motion to Approve with the pool not visible at time of inspection and thereafter. (Coombs) not carried.</p> <p>Motion to Hold to track with the cabana and for additional information about vegetation. (Dutra)</p>				
Roll-call Vote	Carried 5-0//Camp, McLaughlin, Coombs, Dutra, and Pohl-aye Certificate #				
12. Cannonbury Ln Hold 2 08-1577 6 Sleetwing Circle New dwelling 74/24 Workshop APD					
Voting	Pohl, Coombs, McLaughlin, Camp, Dutra				
Alternates	Welch				
Recused	(Oliver stepped out)				
Documentation	Architectural elevation plans, site plan, photos, and advisory comments				
Representing	Michael Luft-Weissberg, Workshop APD				
Public	None				
Concerns (6:46)	<p>Luft-Weissberg – Presented project; model Bayberry; trim natural to weather and white doors and sash.</p> <p>Camp – Has the same concern about the middle 2nd-floor cutting off over the porch post; should be extended. Chimney is heavy; should be corbeled to the top.</p> <p>Coombs – Likes the cornerboard. With 2 flues, the chimney is okay. Back elevation, the 4-ganged windows should be reduced to triple-ganged.</p> <p>Dutra – The chimney is over tall.</p> <p>McLaughlin – No design comments.</p> <p>Pohl – Chimney needs to come down; front door should be 6-panel if keeping the sidelights.</p>				
Motion	Motion to Approve through staff with the front door to be 6-panel; west elevation four ganged windows reduced to 3; and chimney brought down to 2-feet above the ridge. (Coombs)				
Roll-call Vote	Carried 3-2//Dutra, Coombs, and Pohl-aye; McLaughlin and Camp-nay Certificate # HDC2020-08-1577				
13. Cannonbury Ln Hold 2 08-1576 6 Sleetwing Circle New garage 74/24 Workshop APD					
Voting	Pohl, Coombs, McLaughlin, Camp, Dutra				
Alternates	Welch				
Recused	(Oliver stepped out)				
Documentation	Architectural elevation plans, site plan, photos, and advisory comments				
Representing	Michael Luft-Weissberg, Workshop APD				
Public	None				
Concerns (6:58)	<p>Luft-Weissberg – Presented project; 1-car model; natural-to-weather trim and white sash and door.</p> <p>Coombs – Would prefer a traditional garage door.</p> <p>Dutra – No concerns. Likes Ms. Coombs suggestion.</p> <p>Camp – Okay with the 15-light side door with a panel on the bottom. Would prefer natural to weather garage doors.</p> <p>McLaughlin – No comment.</p> <p>Pohl – Would prefer natural-to-weather garage doors. Prefers less glass on the side door.</p>				
Motion	Motion to Approve through staff with natural-to-weather garage doors and side door to be a 6-light. (Camp)				
Roll-call Vote	Carried 4-0//Dutra, Coombs, camp, and Pohl-aye; McLaughlin-nay Certificate # HDC2020-08-1576				
14. Cannonbury Ln Hold 2 08-1578 6 Sleetwing Circle Hardscape-patio 74/24 Ahern, LLC					
Voting	Pohl, Coombs, McLaughlin, Camp, Dutra				
Alternates	Welch				
Recused	(Oliver stepped out)				
Documentation	Landscape design plans, site plan, photos, and advisory comments				
Representing	Miroslava Ahern, Ahern Design, LLC				
Public	None				
Concerns (7:02)	<p>Ahern – Presented project.</p> <p>No concerns.</p>				
Motion	Motion to Approve. (Camp)				
Roll-call Vote	Carried 5-0//Dutra, Coombs, McLaughlin, Camp, and Pohl-aye Certificate # HDC2020-08-1578				



GIS MAP / PARCEL # 74 / 23



AERIAL MAP / PARCEL # 74 / 23



CANNONBURY DRIVE PLAN

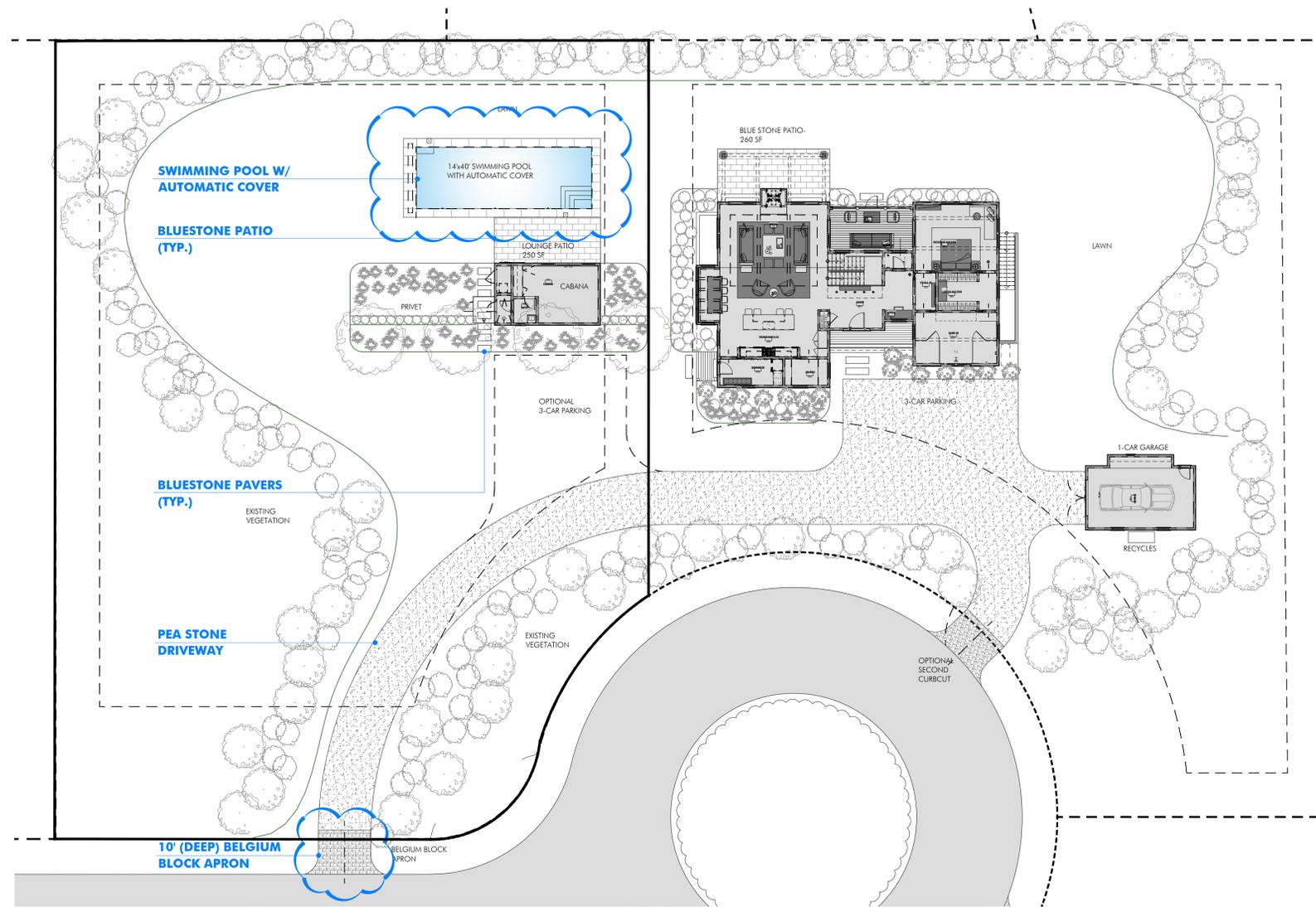
SCALE 1" = 200'



BLUE STONE PATIO



BELGIUM BLOCK APRON



4 SWEETWING CIRCLE

SCALE 1/16" = 1'-0"

PROJECT
CANNONBURY

4 SWEETWING CIRCLE
 NANTUCKET MA 02554

OWNER

CANNONBURY LANE HOLDINGS 1, LLC
 105 Newbury Street, 4th Floor
 Boston, MA 02116

ARCHITECT

WORKSHOP / APD
 39 West 38th Street, 7th FL, New York, NY 10018
 T (212) 273-9712



HDC SUBMISSION
SWIMMING POOL

DRAWING INFO

DATE AUGUST 10, 2020
 SCALE 1/16" = 1'-0"

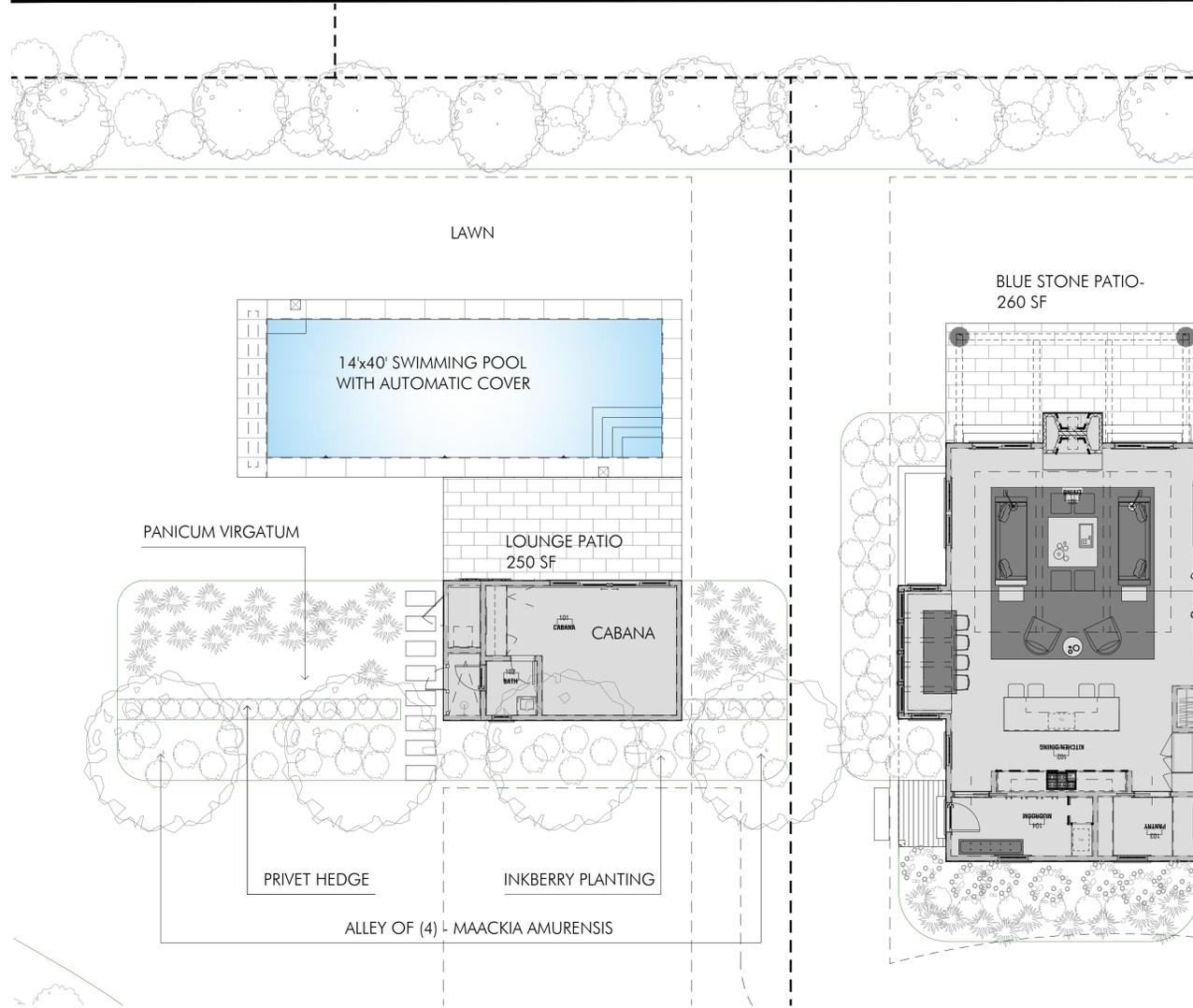
REVISIONS

NO.	DESCRIPTION

AERIAL MAP / PARCEL # 74 / 23



SCHEMATIC PLANTING PLAN, Scale 1" = 1/8"



STRUCTURAL PLANTING FOR POOL SCREENING



MAACKIA AMURENSIS



INKBERRY



PRIVET HEDGE



PANICUM VIRGATUM

NATURAL PLANTING TO BE USED TO ENHANCE THE STREET SCREENING AS NEEDED



PITCH PINE - Pn

EASTERN RED CEDAR - Jv

BAYBERRY - Mp

VIBURNUM - Vd

BEACH PLUM - Pm

NATURAL VEGETATION / 09-16-2020



PROJECT
CANNONBURY

4 SWEETWING CIRCLE
NANTUCKET MA 02554

OWNER

CANNONBURY LANE HOLDINGS 1, LLC
105 Newbury Street, 4th Floor
Boston, MA 02116

ARCHITECT

WORKSHOP / APD
39 West 38th Street, 7th Fl., New York, NY 10018
T (212) 273-9712



HDC SUBMISSION
SWIMMING POOL

DRAWING INFO

DATE SEPTEMBER 16, 2020
SCALE 1/16" = 1'-0"

REVISIONS

NO.	DESCRIPTION

III. CONSENT WITH CONDITIONS

<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1. John Roberts 08-1611 • Due to lack of visibility	15 Helens Drive	Add: pentroof & grg drs	66/46	Nate Roberts
2. 41 W Miacomet, LLC 08-1596 • Due to lack of visibility	41 West Miacomet Road	Windows 8” wider	86/13.1	Thomas Barada
3. John McLaughlin 08-1574 • Pool must not be visible at time of inspection and in perpetuity	8 Sheep Commons Lane	Pool/driveway/gate	54/273	KM Designs
4. Robert Pelgari 08-1552 • Pool must not be visible at time of inspection and in perpetuity	15 Chuck Hollow Road	Hardscape-pool	75/146	Atlantic Landscaping
5. Tot N. Trust 08-1554 • Pool must not be visible at time of inspection and in perpetuity	5 Swift Rock Road	Pool/bluestone pavers	40/67.5	Atlantic Landscaping
6. King Fisher Realty Tr 08-1546 • Soaking tub must not be visible at time of inspection and in perpetuity	278 Polpis Road	Soaking tub/ext deck	25/2	Concept Design
7. Craig Beni 08-1547 • Due to lack of visibility	5 Tom Nevers Road	Cabana	77/2.2	Shelter 7
8. Breda Riggs 08-1588 • Running bond parallel to the road; flanking fenc return 1-2 feet in, distress granite for dirve and reuse brick as appropriate.	16 Pleasant Street	Driveway	42.3.3-76	Linda Williams
Voting	Pohl, Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	None			
Representing	None			
Public	None			
Concerns	Backus – Have an additional item to add the Consent with conditions agenda. Motion to move Item 16 to the Consent with Conditions agenda. (Camp) Carried 5-0//Coombs, Oliver, Welch, Camp, and Pohl-aye			
Motion	Motion to Approve through staff per noted conditions. (Camp)			
Roll-call Vote	Carried 5-0//Coombs, Oliver, Welch, Camp, and Pohl-aye		Certificate #	HDC2020-08-(as noted)

IV. OLD BUSINESS

<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1. South Water Assoc 02-0629	5 South Water Street	Second/third flr add	42.3.1/270-75	Emeritus
Voting	Pohl, Coombs, Camp, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, advisory comments, and 3D streetscape model.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (4:44)	MacEachern – Reviewed the project and changes made per previous concerns. Backus – Read HSAB comments from July 6 th on the revised plans: height in relation to Pacific Club; too much drastic change to streetscape; inappropriate massing; overwhelms site; redesign dormers; eliminate decks overlooking Main Street; articulate shape on the north; need location of air conditioning units (A/C); 2 nd -floor windows move up; future flood elevation; mirror boxes on Cambridge Street; overall very massive and large for the street. HSAB recommended a shed roof for the turret and felt this is out of place. Coombs – This is not what should be next to the Pacific Club in the center of our old historic district (OHD); to put a 3-story building with roof walk competes with the Pacific Club. This is an insult to South Water Street and the existing building and should remain a 1-story building. Camp – This is very complex project; she feels it is appropriate. Not sure how much of the 3 rd floor will be seen when walking down South Water Street. Feels the elevation facing the Pacific Club looks like the Pacific Club. Welch – Agrees a lot with HSAB and Ms. Coombs; this is very complex with a lot pushed into place. One concern is we need to look at the existing versus the proposed; would like to see the existing in full 1/4-inch scale. Thinks that will reflect a dramatic change on the west elevation; massing will be tremendously larger on the north, south, and east and wants to see all on one sheet. Outdoor decks are inappropriate. It would be helpful to have a photoshop image of the proposed. East and south elevation perspectives would be helpful so that the elevation shown in the illustration has an existing and proposed. He is not against modification; those have to fit into the historical setting to include the back toward the wharf. Pohl – Agrees the shingled decks are inappropriate in that location. The 3 rd floor is almost entirely dormered. East elevation the 3-story, hipped-roof “turret” troubles him; there is a huge gap between the 1 st -floor window head casings and 2 nd -floor windows. Asked if the roof walk is a location for people to go (yes and to supplement HVAC equipment). There is precedent for the roof walk. 1 st -floor ceiling height is 10 feet; would like that mass of shingling masked – water line and taller windows.			
Motion	Motion to Hold for revisions and additional information on proposed and existing elevations and proposed illustrating and perspective view. (Welch)			
Roll-call Vote	Carried 4-0//Coombs, Camp, Welch, and Pohl-aye		Certificate #	

OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 1/2 x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 1/2 x 11
	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: _____ Date: _____

Mixed Use Structure Alterations & Addition

5 South Water Street Nantucket, MA 02554

1850
Mixed Use Structure
Alterations & Addition
5 South Water Street
Nantucket, MA 02554



Cover Sheet

Site Information

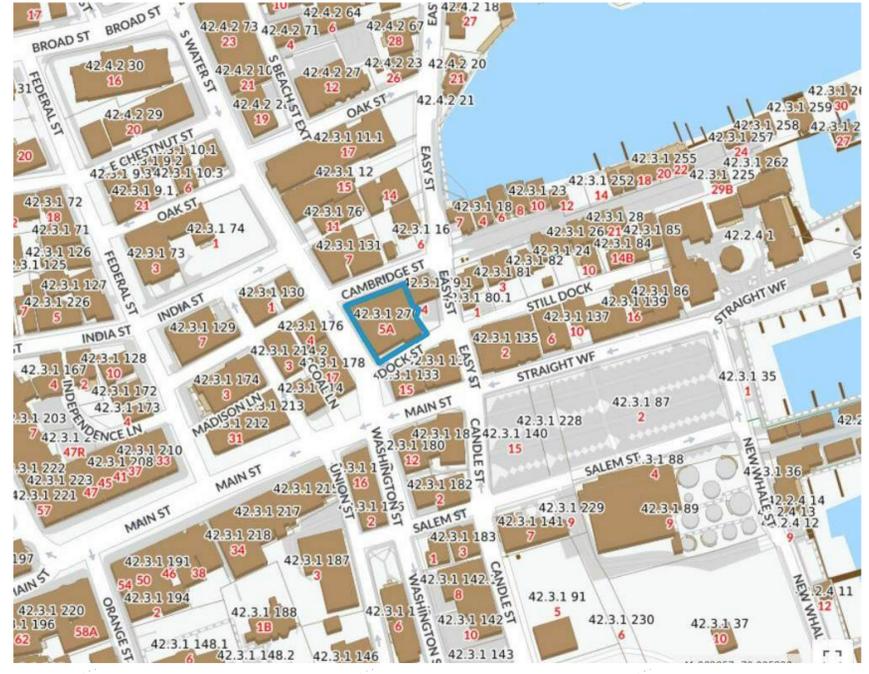
Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
- A.1.3 Third Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- A.2.3 Exterior Elevations
- A.2.4 Exterior Elevations
- A.2.5 Exterior Elevations

09.17.20



Locus Map



South Elevation



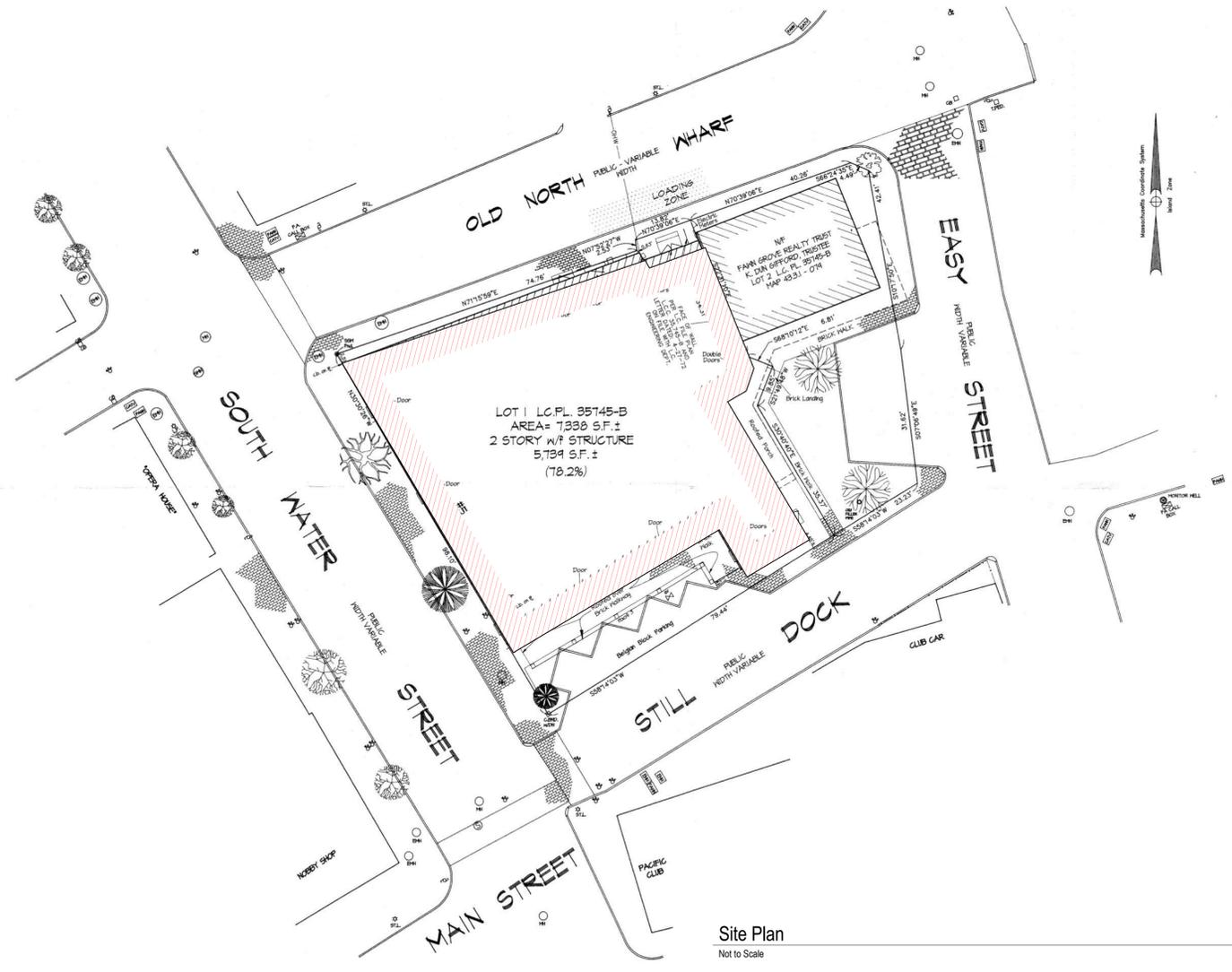
West Elevation



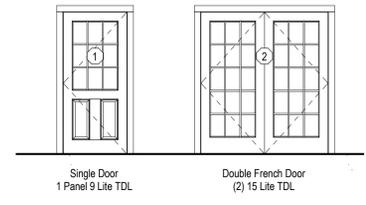
North Elevation



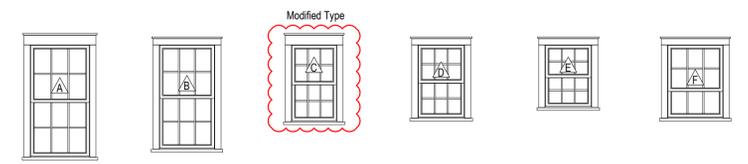
East Elevation



Site Plan
Not to Scale



Door Legend
1/4" = 1'-0"



Window Legend
1/4" = 1'-0"

HDC Submission

Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.
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G.1.1
1850

Mixed Use Structure Alterations & Addition

5 South Water Street Nantucket, MA 02554

09.17.20



Locus Map

09.17.20

HDC Submission



First Floor - Proposed
1/4" = 1'-0"

1850
 Mixed Use Structure
 Alterations & Addition
 5 South Water Street
 Nantucket, MA 02554



First Floor Plan

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

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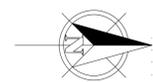
SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 First Floor Plan
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- A.1.3 Third Floor Plan
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- A.2.3 Exterior Elevations
- A.2.4 Exterior Elevations
- A.2.5 Exterior Elevations

Revisions

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A.1.1
1850



09.17.20

HDC Submission



Second Floor - Proposed
1/4" = 1'-0"

1850
 Mixed Use Structure
 Alterations & Addition
 5 South Water Street
 Nantucket, MA 02554



Second Floor Plan

Site Information

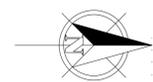
Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

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Revisions

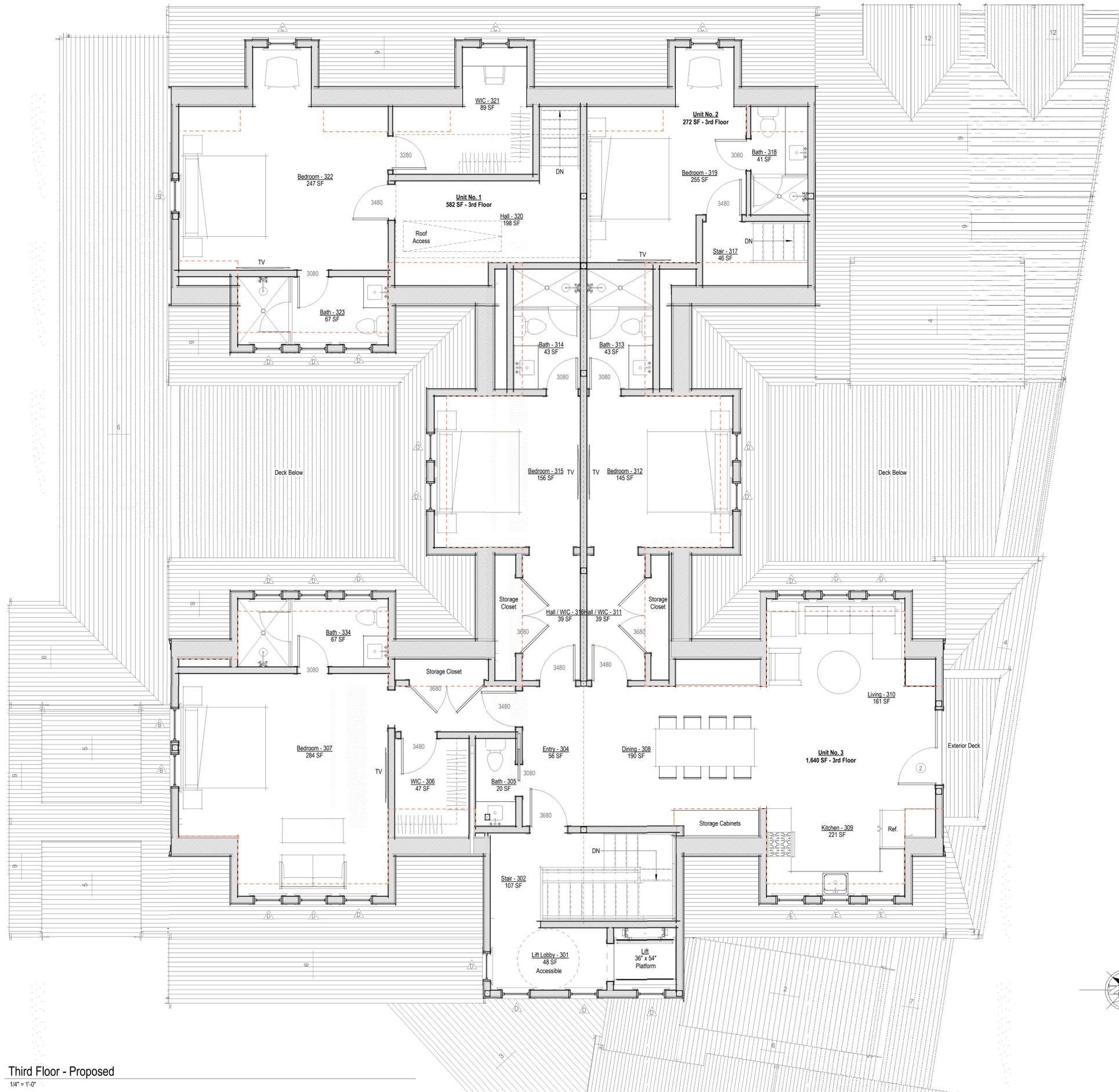
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A.1.2
1850



09.17.20

HDC Submission



Third Floor - Proposed
1/4" = 1'-0"

1850
 Mixed Use Structure
 Alterations & Addition
 5 South Water Street
 Nantucket, MA 02554



Third Floor Plan

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

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- A.2.3 Exterior Elevations
- A.2.4 Exterior Elevations
- A.2.5 Exterior Elevations

Revisions

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A.1.3
1850

09.17.20

HDC Submission



West Elevation - Existing
1/4" = 1'-0"



West Elevation - Proposed
1/4" = 1'-0"

1850

Mixed Use Structure
Alterations & Addition
5 South Water Street
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

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- A.2.3 Exterior Elevations
- A.2.4 Exterior Elevations
- A.2.5 Exterior Elevations

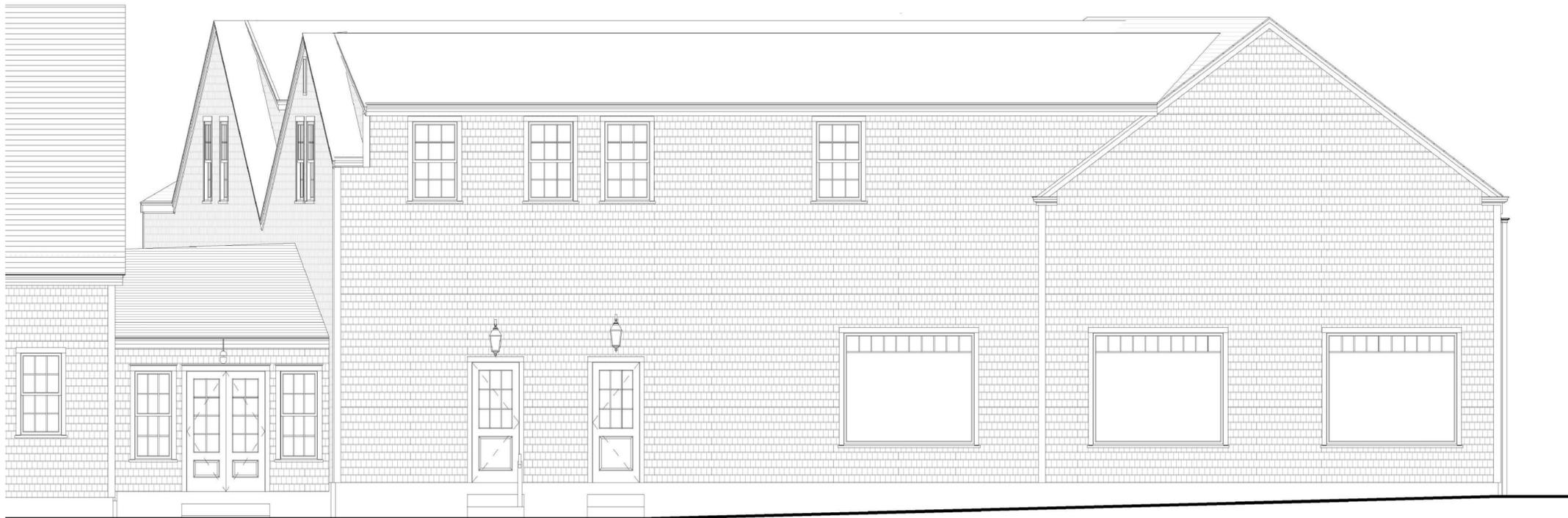
Revisions

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A.2.1
1850

09.17.20

HDC Submission



North Elevation - Existing
1/4" = 1'-0"



North Elevation - Proposed
1/4" = 1'-0"

No Visible Changes This View

1850

Mixed Use Structure
Alterations & Addition
5 South Water Street
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
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Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
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- A.2.5 Exterior Elevations

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A.2.2
1850

09.17.20

HDC Submission



East Elevation - Existing

1/4" = 1'-0"



East Elevation - Proposed

1/4" = 1'-0"

1850

Mixed Use Structure
Alterations & Addition
5 South Water Street
Nantucket, MA 02554



8 Williams Lane Nantucket, MA
02554
P. 508.325.6995
F. 508.325.6990
www.emeritusdevelopment.com

Exterior Elevations

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

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A.2.3
1850

09.17.20



South Elevation - Existing

1/4" = 1'-0"



South Elevation - Proposed

1/4" = 1'-0"

HDC Submission

1850

Mixed Use Structure
Alterations & Addition

5 South Water Street
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

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- A.2.2 Exterior Elevations
- A.2.3 Exterior Elevations
- A.2.4 Exterior Elevations
- A.2.5 Exterior Elevations

Revisions

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A.2.4
1850

09.17.20



East Elevation - Previously Submitted HDC
1/8" = 1'-0"



North Elevation - Previously Submitted HDC
1/8" = 1'-0"



South Elevation - Previously Submitted HDC
1/8" = 1'-0"



West Elevation - Previously Submitted HDC
1/8" = 1'-0"

HDC Submission

1850
*Mixed Use Structure
Alterations & Addition*
5 South Water Street
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

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- A.2.4 Exterior Elevations
- A.2.5 Exterior Elevations

Revisions

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A.2.5
1850



EX1

*Mixed Use Structure
Alterations & Addition*

5 South Water Street Nantucket, MA 02554

Zoning Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT

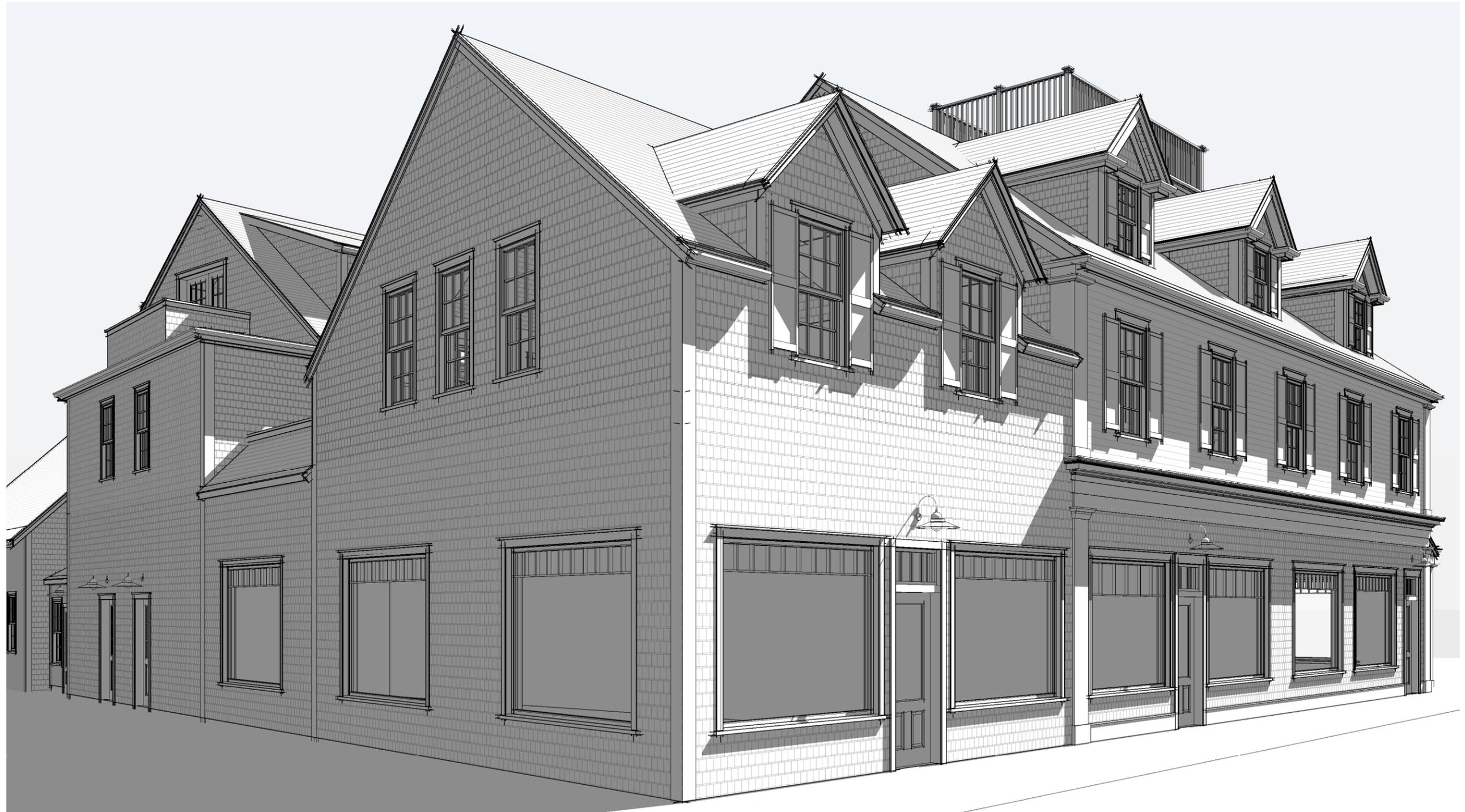
Existing Conditions Photograph

09.17.20



emeritus

8 Williams Lane
Nantucket, MA 02554
P. 508.325.4995
emeritustd.com



SV1

*Mixed Use Structure
Alterations & Addition*

5 South Water Street Nantucket, MA 02554

Zoning Information

Map & Parcel: 42.3.1 / 270
Current Zoning: CDT
Minimum Frontage: 35 FT
Front Setback: None
Side/Rear Setback: 0 FT / 5 FT

Perspective Street View

09.17.20



emeritus

8 Williams Lane
Nantucket, MA 02554
P. 508.325.4995
emeritusd.com



EX2

*Mixed Use Structure
Alterations & Addition*

5 South Water Street Nantucket, MA 02554

Zoning Information

Map & Parcel: 42.3.1 / 270
Current Zoning: CDT
Minimum Frontage: 35 FT
Front Setback: None
Side/Rear Setback: 0 FT / 5 FT

Existing Conditions Photograph

09.17.20



8 Williams Lane
Nantucket, MA 02554
P. 508.325.4995
emeritustd.com



SV2

*Mixed Use Structure
Alterations & Addition*

5 South Water Street Nantucket, MA 02554

Zoning Information

Map & Parcel: 42.3.1 / 270
Current Zoning: CDT
Minimum Frontage: 35 FT
Front Setback: None
Side/Rear Setback: 0 FT / 5 FT

Perspective Street View

09.17.20



8 Williams Lane
Nantucket, MA 02554
P. 508.325.4995
emeritustd.com



South Elevation



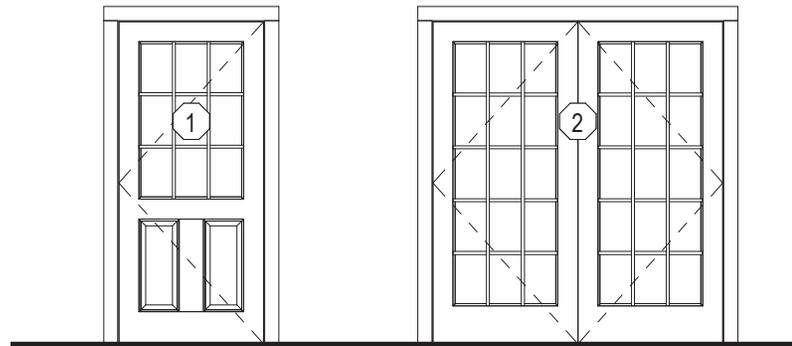
West Elevation



North Elevation



East Elevation

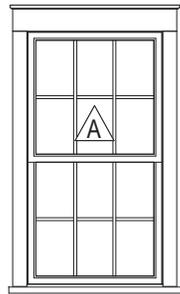


Single Door
1 Panel 9 Lite TDL

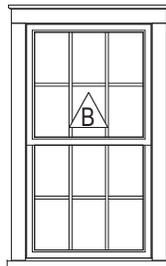
Double French Door
(2) 15 Lite TDL

Door Legend

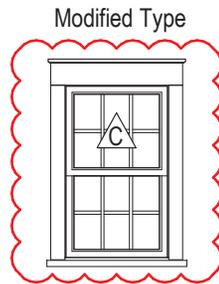
1/4" = 1'-0"



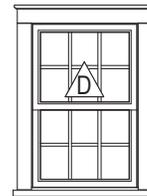
Double Hung
6/6 TDL



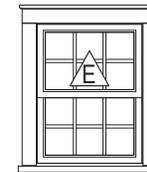
Double Hung
6/6 TDL



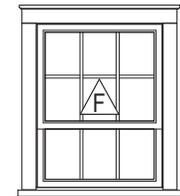
Double Hung
6/6 TDL



Double Hung
6/6 TDL



Double Hung
6/6 TDL



Cottage
6/3 TDL

Window Legend

1/4" = 1'-0"



First Floor - Proposed

1/4" = 1'-0"







West Elevation - Existing
1/4" = 1'-0"





Modified Dormer - Reduced Width & Recessed 12"

Modified Window - Typical of 3

(+/-) 33'-6" Elevation Height

West Elevation - Proposed

1/4" = 1'-0"



North Elevation - Existing

1/4" = 1'-0"



North Elevation - Proposed

1/4" = 1'-0"

No Visible Changes This View



East Elevation - Existing

1/4" = 1'-0"



East Elevation - Proposed

1/4" = 1'-0"



South Elevation - Existing

1/4" = 1'-0"



East Elevation - Previously Submitted HDC

1/8" = 1'-0"



North Elevation - Previously Submitted HDC

1/8" = 1'-0"



South Elevation - Previously Submitted HDC

1/8" = 1'-0"



West Elevation - Previously Submitted HDC

1/8" = 1'-0"

Historic District Commission
OLD BUSINESS CHECKLIST

** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.

Affidavit Certifying Completeness of Old Business submission

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for an Old Business submission have been met.

Signature:  Date: 9/1/20

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.
NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 33 PARCEL N°: 95
Street & Number of Proposed Work: 7 HYDRANT LN
Owner of record: NANTUCKET DEVELOPMENT INC
Mailing Address: (TAKOVU) PO BOX 689
MASHPEE, MA 01949-0689
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: VAL OWAL DESIGN INC
Mailing Address: PO BOX 3057
NANTUCKET, MA 01984
Contact Phone #: (508) 325-4319 E-mail: aval@valdesign.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$687.00
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 36'-0" Sq. Footage 1st floor: 1316 Decks/Patio: Size: TBD 1st floor 2nd floor
Width: 59'-9" Sq. Footage 2nd floor: 1214 Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North 25' ±" South 25' ±" East 25' ±" West 25' ±"

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers _____

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 7/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 8" Rake 1x8 Soffit (Overhang) 6" x 8" Corner boards 1x6 Frieze _____

Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round _____ Square 6" x 8"

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane

SDL's (Simulated Divided Lights) Manufacturer ANDERSON OR COMPATIBLE

Doors* (type and material): TDL SDL Front: 6 WHT Rear: FRONT Side: QUART

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways SALE Walkways TBD Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NTW Clapboard (if applicable) _____ Roof NTW
Trim WHITE Sash WHITE Doors WHITE
Deck NTW Foundation CORNY Fence _____ Shutters BLACK

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 7/20/20

Signature of owner of record _____

Signed under penalties of perjury

8. John Hernandez 08-1465 328 Madaket Road As-Built fine; shed 60/103 Self

Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, and photos.
 Representing None
 Public None
 Concerns (5:50) **Flynn** – This was put up without approval. There are no open permits.
Welch – He looked at this; the shed is handsome. Thinks the fine would be applicable and we can dispense with it.
 Consensus concurs with Mr. Welch.

Motion **Motion to Approve through staff with payment of the as-built fine. (Coombs)**
 Roll-call Vote Carried 5-0//Camp, Welch, Oliver, Coombs, and Pohl-aye Certificate # **HDC2020-08-1465**

9. Jon Schoudel 08-1477 13 Union Street Change driveway to brick 42.3.2/16 Self

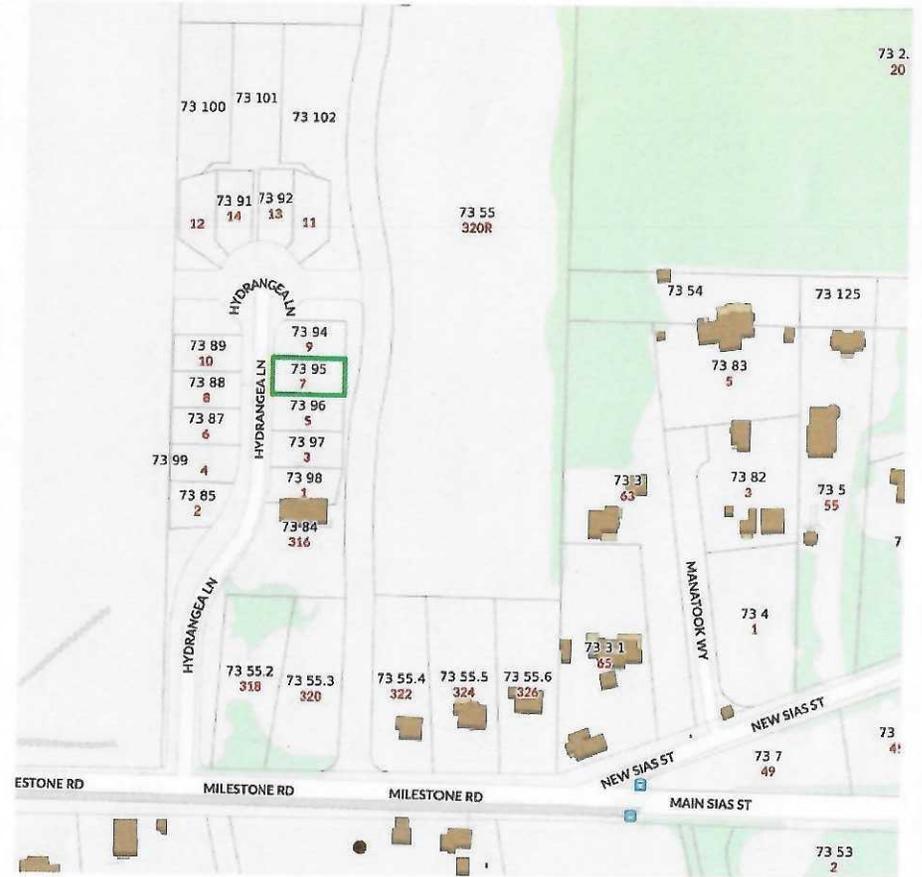
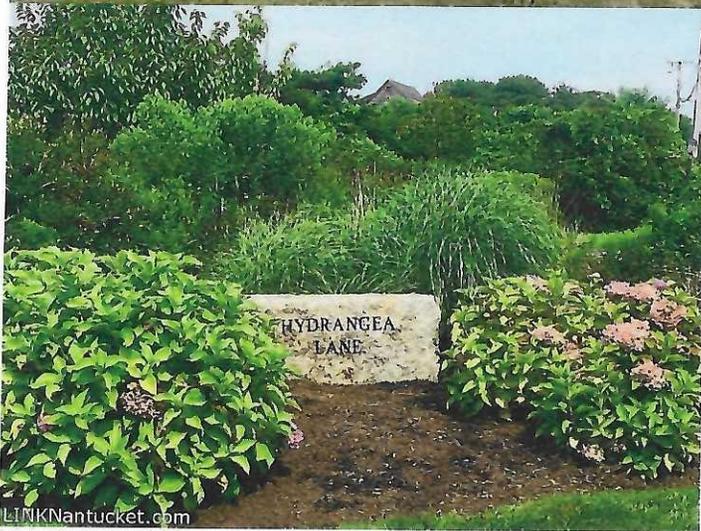
Voting Pohl, Coombs, Camp, Oliver
 Alternates None
 Recused None
 Documentation Landscape design plans, site plan, photos, and advisory comments.
 Representing Jon Schoudel
 Public None
 Concerns (5:54) **Backus** – Read HSAB comments: herringbone not consistent, too much hardscaping, minimize brick. Staff comments: amount of brick; the driveway surface meets zoning bylaw; entire parking area shouldn't be herringbone.
Schoudel – Presented project; open to any brick pattern.
Coombs – Would not want everything etched in yellow to be brick; should look more like 40 Union – shell with two brick lines. Confirmed they have the wide curb cut. She'd like to see some revisions; likes Mr. Welch's idea.
Camp – Asked that 3 feet be taken off both sides to allow room to vegetate; would prefer simple running bond, which doesn't conflict with the sidewalk. Suggested stepping stones with grass in between for the walk to the basement stairs.
Welch – Suggested plant material against the house close to the road wouldn't obstruct access. Would like some plants between the two parking spaces to create an identity that the smaller parking area is separate; instead of brick, it could be a cobblestone track leading from the apron to the doors with grass seeded between. Suggested plants go straight along the line shown between the two vehicles, with a little curve at the corner toward the house.
Oliver – Likes Mr. Welch's idea. The left side of the garage looks to be included in the brick, but it looks like there are steps up. Suggested some vegetation on the left to mitigate the hardscape, which is a lot on this site.
Pohl – We need to see the brick broken up by introducing vegetation. He'd prefer the use of cobble over brick.

Motion **Motion to Hold for revisions. (Camp)**
 Roll-call Vote Carried 5-0//Welch, Oliver, Coombs, Camp, and Pohl-aye Certificate #

10. Nantucket Develop 08-1517 7 Hydrangea Lane New dwelling 73/95 Val Oliver

Voting Pohl, Coombs, Camp, Welch
 Alternates None
 Recused Oliver
 Documentation Architectural elevation plans, site plan, photos, correspondence, and advisory comments.
 Representing Val Oliver, V. Oliver Design
 Public None
 Concerns (6:07) **Backus** – Read SAB comments: feels suburban, remove shutters or be utilitarian, north and south elevation central mass needs more articulation, and set dormers back.
Oliver – Presented project; modular construction; reviewed subdivision restrictions; white trim, wood roof, white sash, black shutters.
Camp – The side gable looks squat. West elevation dormer, it should be setback a foot with the windows reduced and another added with them ganged; the porch should be reduced.
Coombs – This has too many ganged windows already and looks too busy; doesn't agree with Ms. Camp about ganging the west elevation dormer windows. This needs to be simpler and the ganged windows don't do that; this should be more informal.
Welch – West elevation, agrees with much that's been said; a fifth window in the dormer might make it top-heavy. His primary concern is the squatness of the gable. Agrees north and south elevation dormers should be set back and separate the windows, especially on the front mass. East elevation, the squatness is very visible; the roof pitches are 1-inch too shallow.
Pohl – Agreed the roof pitches should have one-more inch of rise per 12-inch lateral. He likes the shutters, but they're rendered wrong; the inside of the shutter should align with the inside of the window casing. The CAD program shows too many lines making the drawings hard to read; if those were dropped, this would be easier to read. Agrees with Ms. Camp about the farmer's porch. White trim and black shutters is too formal for this area.

Motion **Motion to Hold for revisions. (Camp)**
 Roll-call Vote Carried 4-0//Welch, Coombs, Camp, and Pohl-aye Certificate #



Proposed dwelling for 7 Hydrangea Lane



1 Hydrangea Lane



2 Hydrangea Lane

Existing Houses on Hydrangea Lane
For Context



5 Hydrangea Lane (direct neighbor)

8 Hydrangea Lane





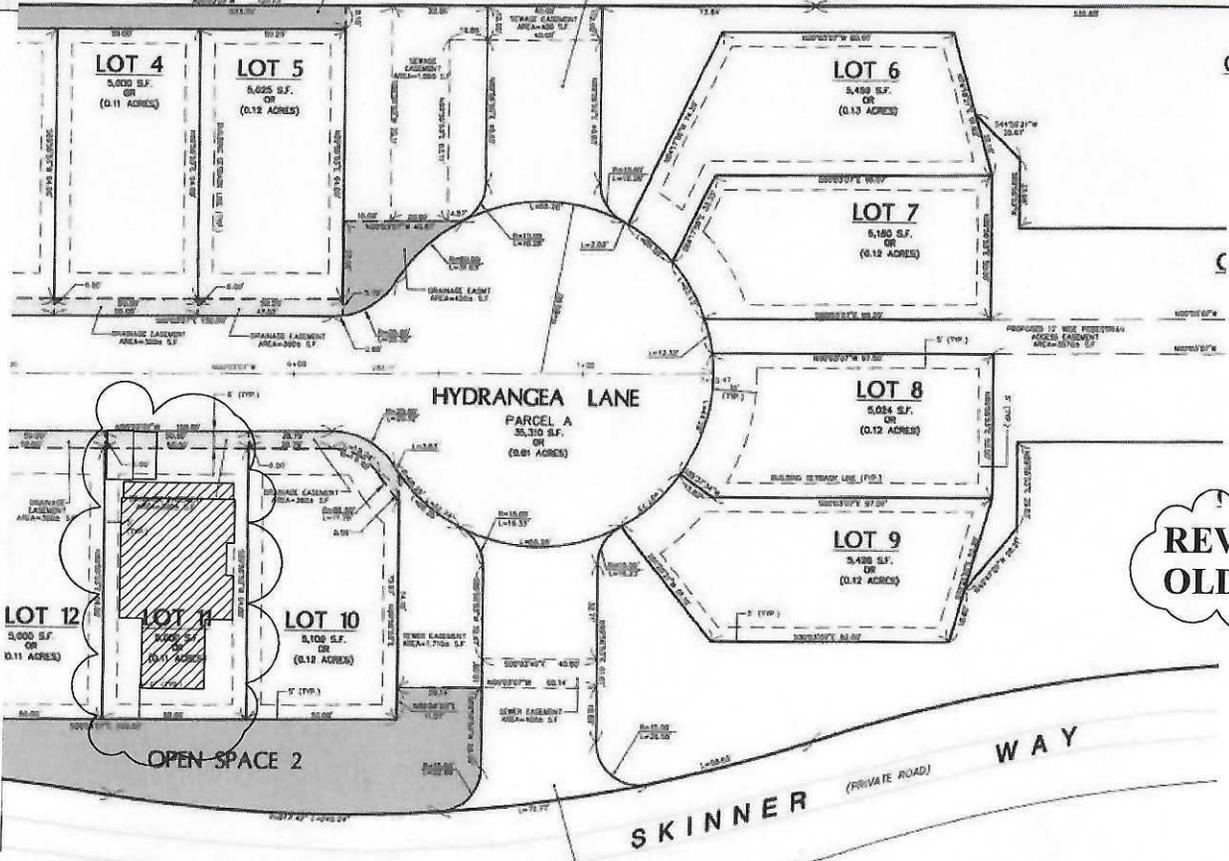
13 Hydrangea Lane

14 Hydrangea Lane





MAP 73 PARCEL 95



REVISIONS FOR
OLD BIZ MTG 9/22

BUILDER:
DREAMLINE MODULAR

CUSTOMER/PROJECT:
7 HYDRANGEA LANE

ENGINEER'S / ARCHITECT'S SEAL

**IAKOVOU-
NEW DWELLING**

APPROVERS SEAL

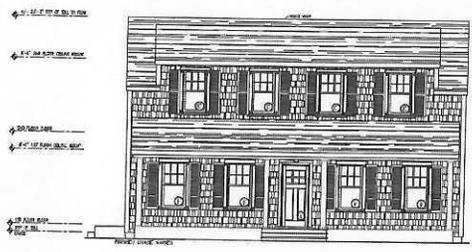
MODIFICATIONS

PROJECT:
**42539
2 STORY**

TITLE:

DRAWN BY:
DATE: 7-18-20
SCALE: 1/4"=1'-0"
FILENAME: 42539 PD

REMOVED SHUTTERS

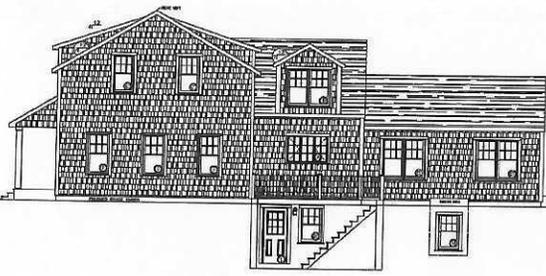


FRONT ELEVATION

24'-3" TOP OF SILL TO PEAK
 8'-0" 2ND FLOOR CEILING HEIGHT
 2ND FLOOR FLOOR
 8'-0" 1ST FLOOR CEILING HEIGHT



(WEST)
 FRONT ELEVATION



RIGHT ELEVATION



(SOUTH)

BUILDER:
DREAMLINE MODULAR
 CUSTOMER/PROJECT:
7 HYDRANGEA LANE
 ENGINEERS / ARCHITECT'S SEAL

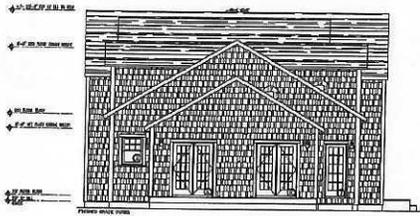
APPROVERS SEAL

MODIFICATIONS

PROJECT:
**42539
 2 STORY**

TITLE:

DRAWN BY:
 DATE: 7-18-20
 SCALE: 1/4"=1'-0"
 FILENAME: 42539 PD



REAR ELEVATION

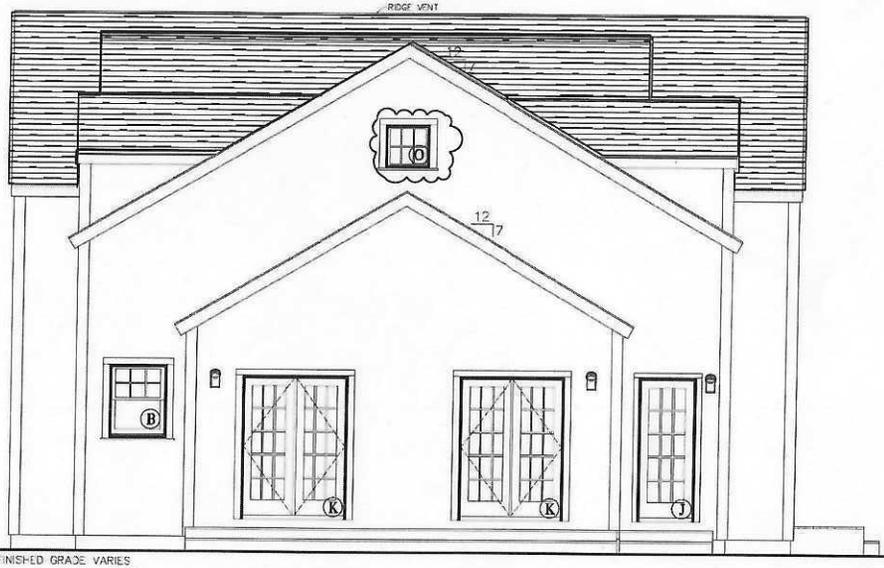
+/- 24'-3" TOP OF SILL TO PEAK

8'-0" 2ND FLOOR CEILING HEIGHT

2ND FLOOR FLOOR

8'-6" 1ST FLOOR CEILING HEIGHT

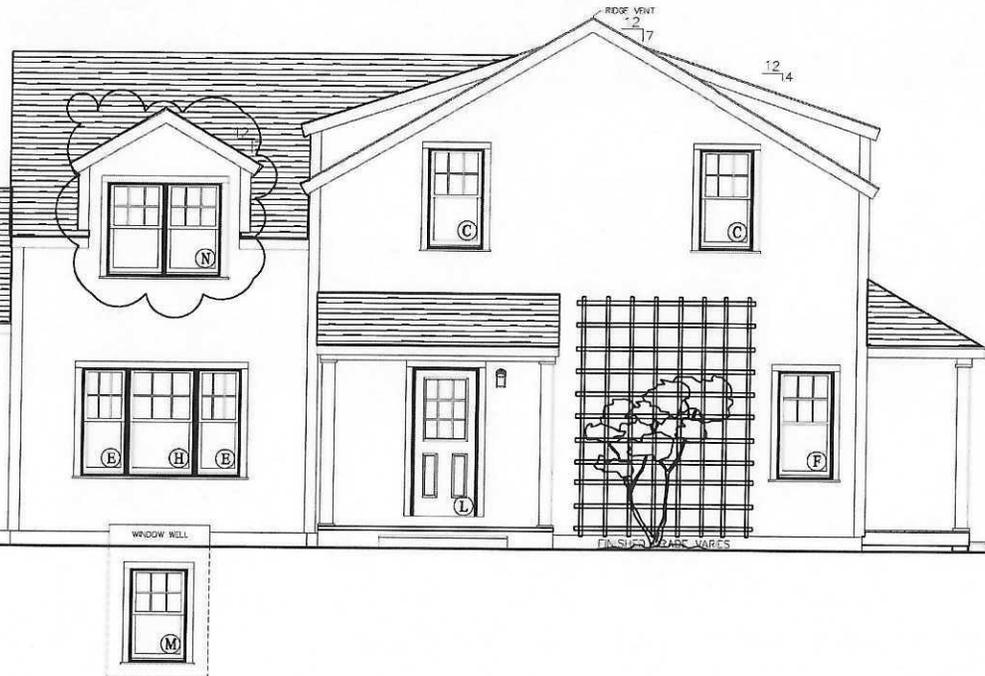
1ST FLOOR FLOOR
TOP OF SILL
GRADE



(EAST) REAR ELEVATION



LEFT ELEVATION



LEFT ELEVATION (NORTH)

BUILDER:
DREAMLINE MODULAR
CUSTOMER/PROJECT:
7 HYDRANGEA LANE
ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

MODIFICATIONS

PROJECT: **42539**
2 STORY

TITLE:

DRAWN BY:
DATE: 7-18-20
SCALE: 1/4"=1'-0"

OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

X	HDC case number: (ex HDC2020-xx-xxxx), if applicable HDC2020-01-0547
X	<u>Copy of Minutes</u> (application item circled)
X	<u>Reduced (8 1/2 x 11) copy of application</u>
X	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) <ul style="list-style-type: none"> a) Site Plan b) North Elevation c) South Elevation d) East Elevation e) West Elevation f) Window/Door Schedule
X	<u>One set reduced plans</u> : 8 1/2 x 11
X	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

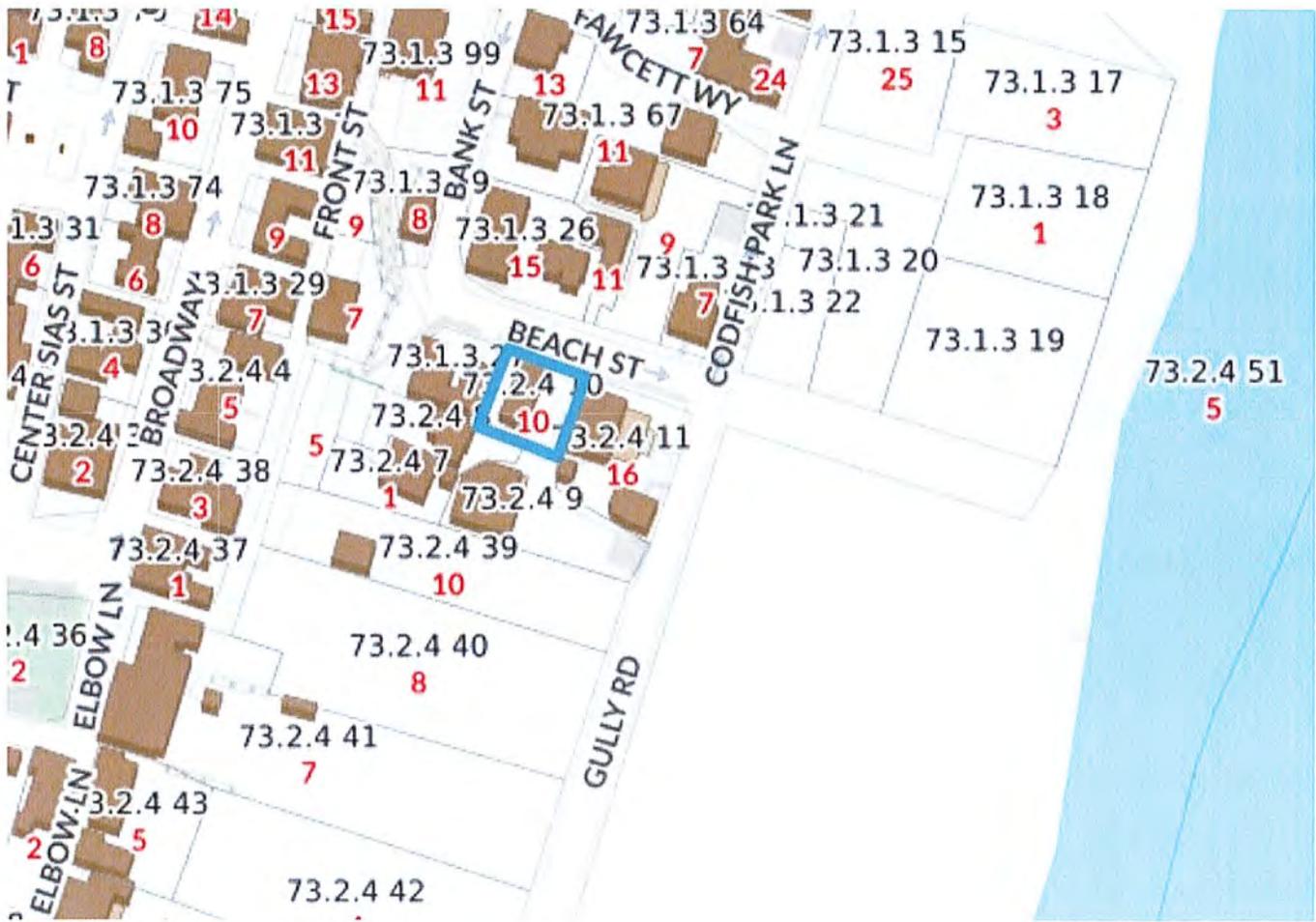
Signature: _____ Date: 09.17.20

5. Sheila Wilner	01-0548	10 Beach Street	Demo exist dwelling	73.2.4/10	Emeritus
Voting	Pohl, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (5:57)	MacEachern – Today’s proposal reuses a portion of the existing building.				
Motion	Motion to Hold to track. (Oliver)				
Roll-call Vote	Carried 4-0//Camp, Welch, Oliver, and Pohl-aye			Certificate #	
6. Sheila Wilner	01-0547	10 Beach Street	New dwelling	73.2.4/10	Emeritus
Voting	Pohl, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, and advisory comments.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (5:59)	MacEachern – Reviewed the proposed repurposing of the existing structure.				
	Backus – Appreciates incorporating the existing but the addition should be held in a vernacular more in keeping with Codfish Park. Read SAB comments: this puts the existing on steroids; out of scale.				
	Oliver – Appreciates trying to reuse the existing; what works against this is there is no indication of floor to ceiling height, but it is probably taller than what’s traditional for Codfish Park; reduce the pitch because it creates a huge disparity with the existing – suggested a mud sill and reduced head height. North elevation, there is a lot volume. East elevation, the form with the shingled deck is almost as high as the main roof and from the north has too much presence: simple is better.				
	Camp – North elevation, this is a good attempt to save the house; the existing awnings gives it a charm you don’t see anymore. North elevation, the addition should come down more in keeping with the rest of the structure. It is under 24 feet tall. East elevation, the two French doors with the closed-in balcony is pushing it; this needs to be simplified. West elevation is her least favorite though it is simple.				
	Welch – Codfish Park is where you see two structures in the mid 20-foot range with outdoor living space; he has a size concern. Echoes Ms. Camp’s concerns about the French doors; there would be no outdoor living space there. Maintaining the structure goes a long way. Referenced the historic photo of “Inspiration” as a good way to handle this.				
	Pohl – Has nothing to add; likes the gesture of keeping the existing house and the north elevation addition overwhelms it. He doesn’t like the east elevation 2 nd -floor deck.				
Motion	Motion to Hold for revisions. (Oliver)				
Roll-call Vote	Carried 4-0//Camp, Welch, Oliver, and Pohl-aye			Certificate #	HDC2020-0
7. Hummock Pond Holdings	07-1427	287 Hummock Pond Rd	Move to 289 HPR + addtn	83/39	Emeritus
Voting	Pohl, Coombs, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, and historic documentation.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (6:13)	MacEachern – Reviewed project.				
	Oliver – Less windows is better.				
Motion	Motion to Hold for revisions and to track. (Camp)				
Roll-call Vote	Carried unanimously//Welch, Camp, Coombs, Oliver, and Pohl-aye			Certificate #	
8. Hummock Pond Holdings	07-1426	287 Hummock Pond Rd	Re-site garage + alts	83/39	Emeritus
Voting	Pohl, Coombs, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, and 3D rendering.				
Representing	Matt MacEachern, Emeritus Development				
Public	None				
Concerns (6:13)	MacEachern – Reviewed changes made per previous concerns.				
	Pohl – Suggested justifying the entry connector roof forward and carry the porch to the right one more section; the front door looks squashed between the two masses.				
	Coombs – Too many ganged windows across the front; the ganged under the extended porch is too heavy.				
Motion	Motion to Hold for revisions. (Oliver)				
Roll-call Vote	Carried unanimously//Coombs, Camp, Welch, Oliver, and Pohl-aye			Certificate #	

Wilner Residence

10 Beach St

Nantucket, MA 02554



LOCUS MAP

Not to Scale

09.17.20

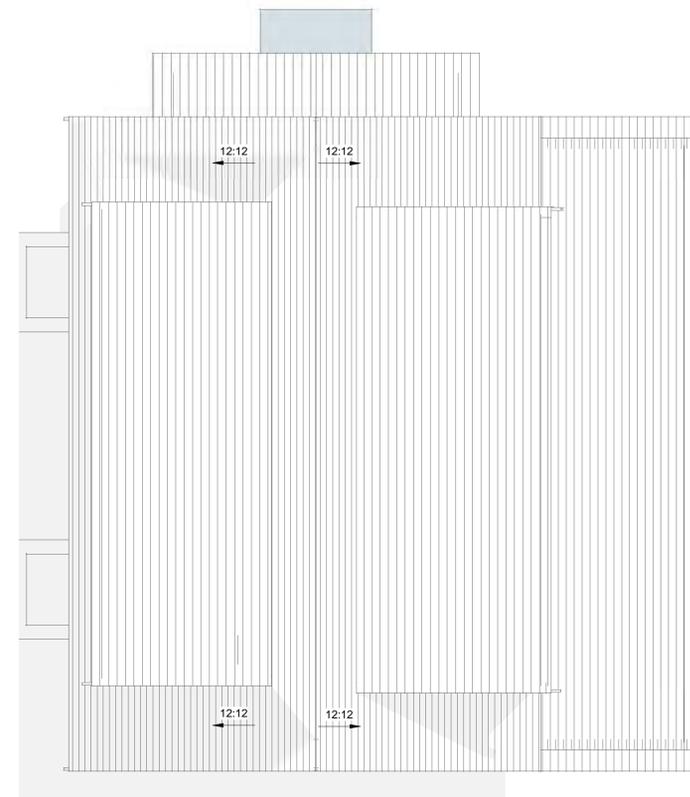
FOR REVIEW



1 First Floor Plan
1/4" = 1'-0"



2 Second Floor
1/4" = 1'-0"



3 Roof Plan
1/4" = 1'-0"

1912

Wilner Residence

10 Beach St
Nantucket, MA 02554



FLOOR PLANS & ROOF PLAN

Site Information

Map & Parcel:	73.2.4 / 10
Current Zoning:	SOH
Minimum Frontage:	50'
Front Setback:	0'
Side/Rear Setback:	5'
Lot Size:	2,419 sf
Min. Lot Size:	5,000 sf
Allowable G.C.:	50% or 1,209 sf
Existing G.C.:	427 sf
Proposed G.C.:	624 sf
Total Proposed G.C.:	624 sf

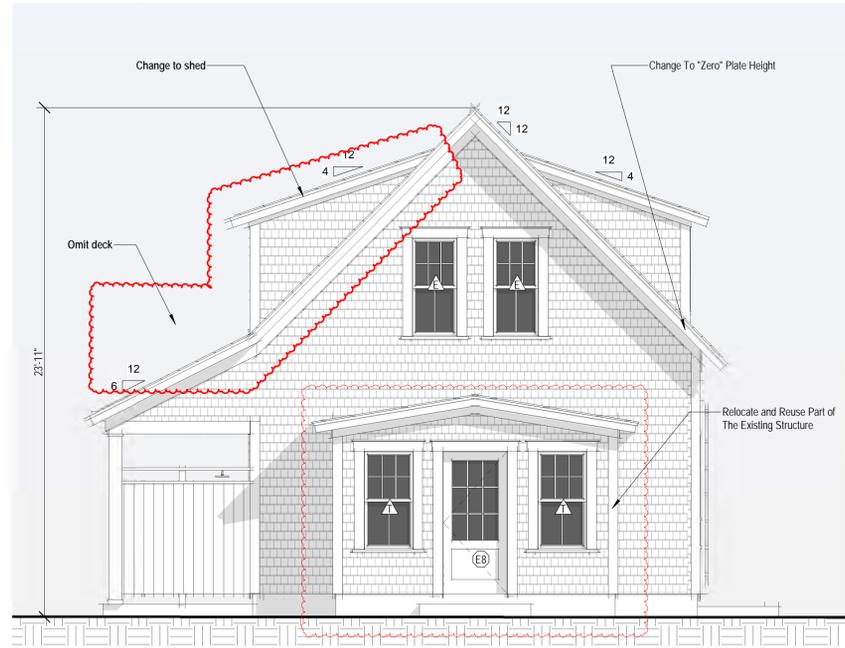
Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

Revisions

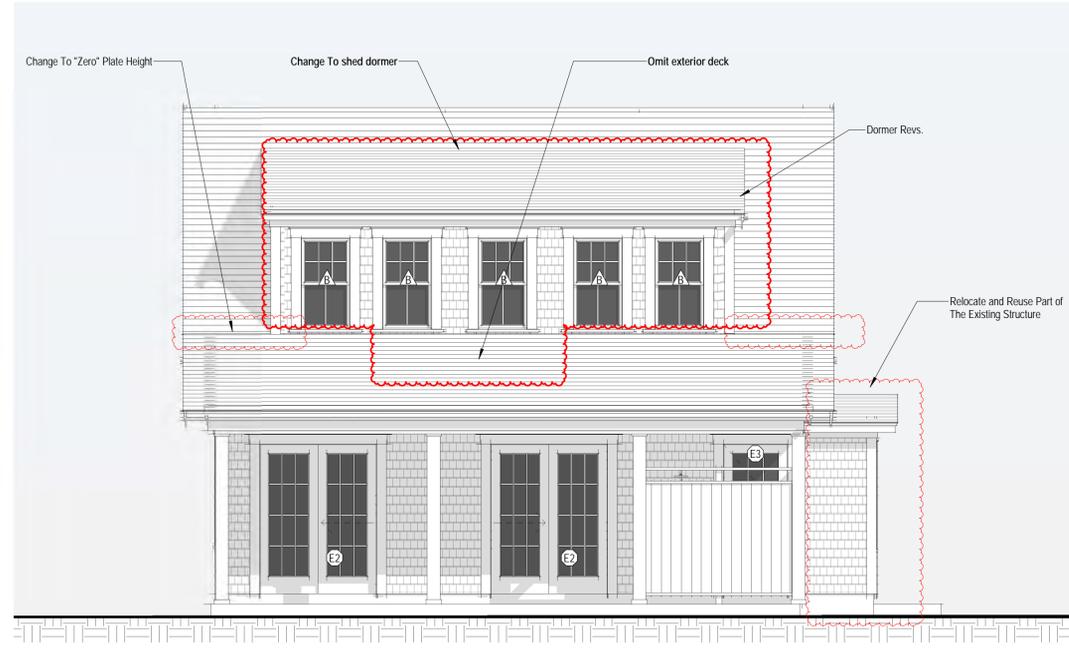
THESE DRAWINGS AND REVISIONS ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT AND SHALL REMAIN THE PROPERTY OF EMERITUS DEVELOPMENT. NO PART OF THESE DRAWINGS SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EMERITUS DEVELOPMENT. THESE DRAWINGS HAVE BEEN WIDENED DOWN AS PER THE REQUIREMENTS OF THE PERMIT TO EXIST CONTRACT. ALL REVISIONS SHALL BE FORWARDED UPON REQUEST.

A.101
1912

09.17.20



1 North Elevation
1/4" = 1'-0"



2 East Elevation
1/4" = 1'-0"



Previously Proposed North Elevation
1/8" = 1'-0"



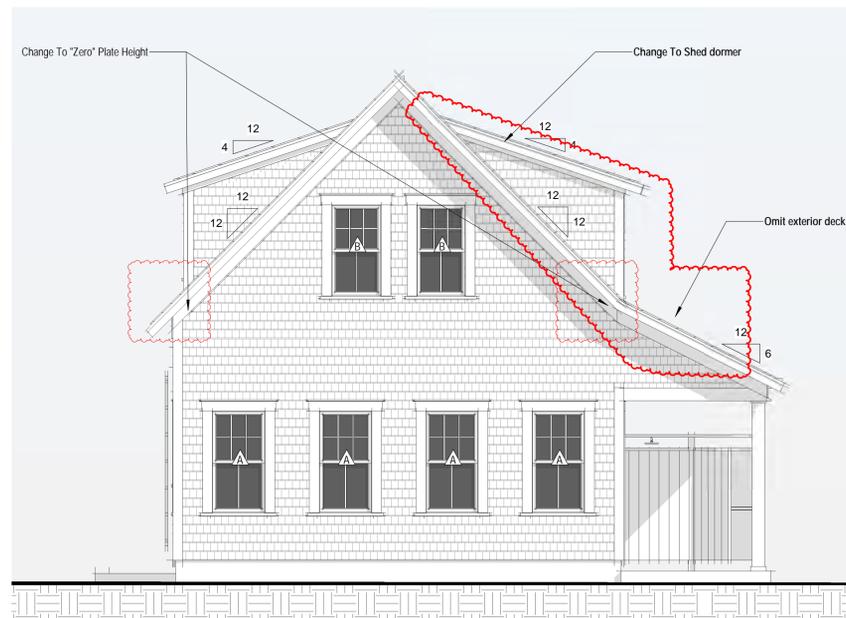
Previously Proposed East Elevation
1/8" = 1'-0"



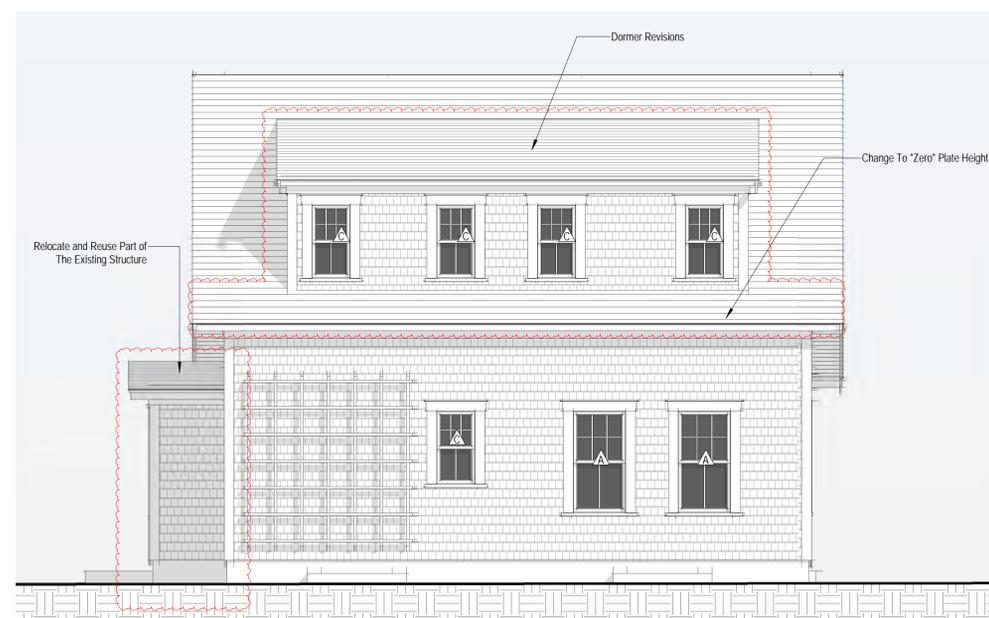
Previously Proposed South Elevation
1/8" = 1'-0"



Previously Proposed West Elevation
1/8" = 1'-0"



3 South Elevation
1/4" = 1'-0"



4 West Elevation
1/4" = 1'-0"

1912 Wilner Residence

10 Beach St
Nantucket, MA 02554



EXTERIOR ELEVATIONS

Site Information

Map & Parcel:	73.2.4 / 10
Current Zoning:	SOH
Minimum Frontage:	50'
Front Setback:	0'
Side/Rear Setback:	5'
Lot Size:	2,419 sf
Min. Lot Size:	5,000 sf
Allowable G.C.:	50% or 1,209 sf
Existing G.C.:	423 sf
Proposed G.C.:	624 sf
Total Proposed G.C.:	624 sf

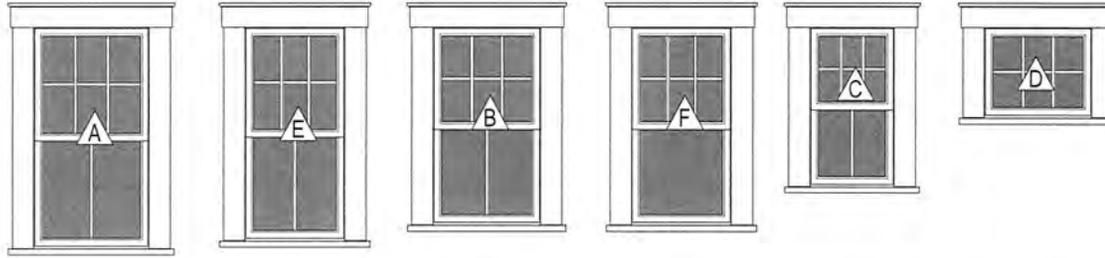
Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

FOR REVIEW

Revisions
Revision 1 Date 1

THESE DRAWINGS AND ANY REVISIONS THEREON ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT AND SHALL REMAIN THE PROPERTY OF EMERITUS DEVELOPMENT OR ANY PARTY WITHOUT WRITTEN PERMISSION FROM EMERITUS DEVELOPMENT. THESE DRAWINGS HAVE BEEN WORKED UP AS PER THE PERMITS AND CONTRACT DOCUMENTS. ALL REVISIONS SHALL BE FORWARDED TO THE CLIENT FOR APPROVAL.

A.201 1912

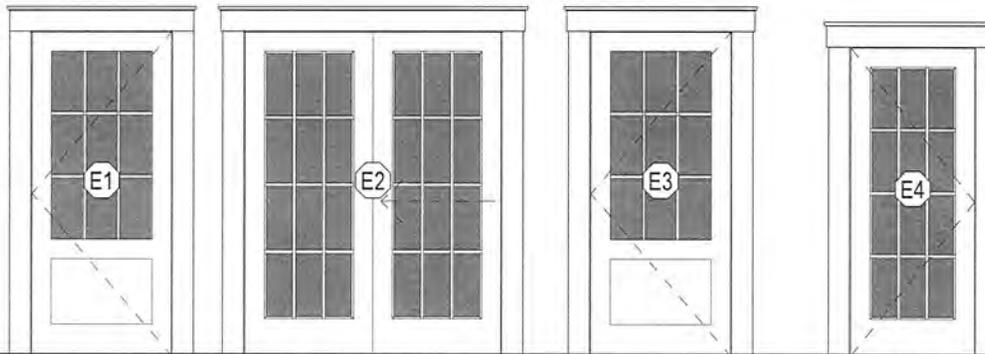


Double Hung
6/1 SDL

Awning
6 Lite SDL

Window Legend

1/4" = 1'-0"



1 Panel/9 Lite SDL Door

Double Sliding French Door
12 Lite SDL

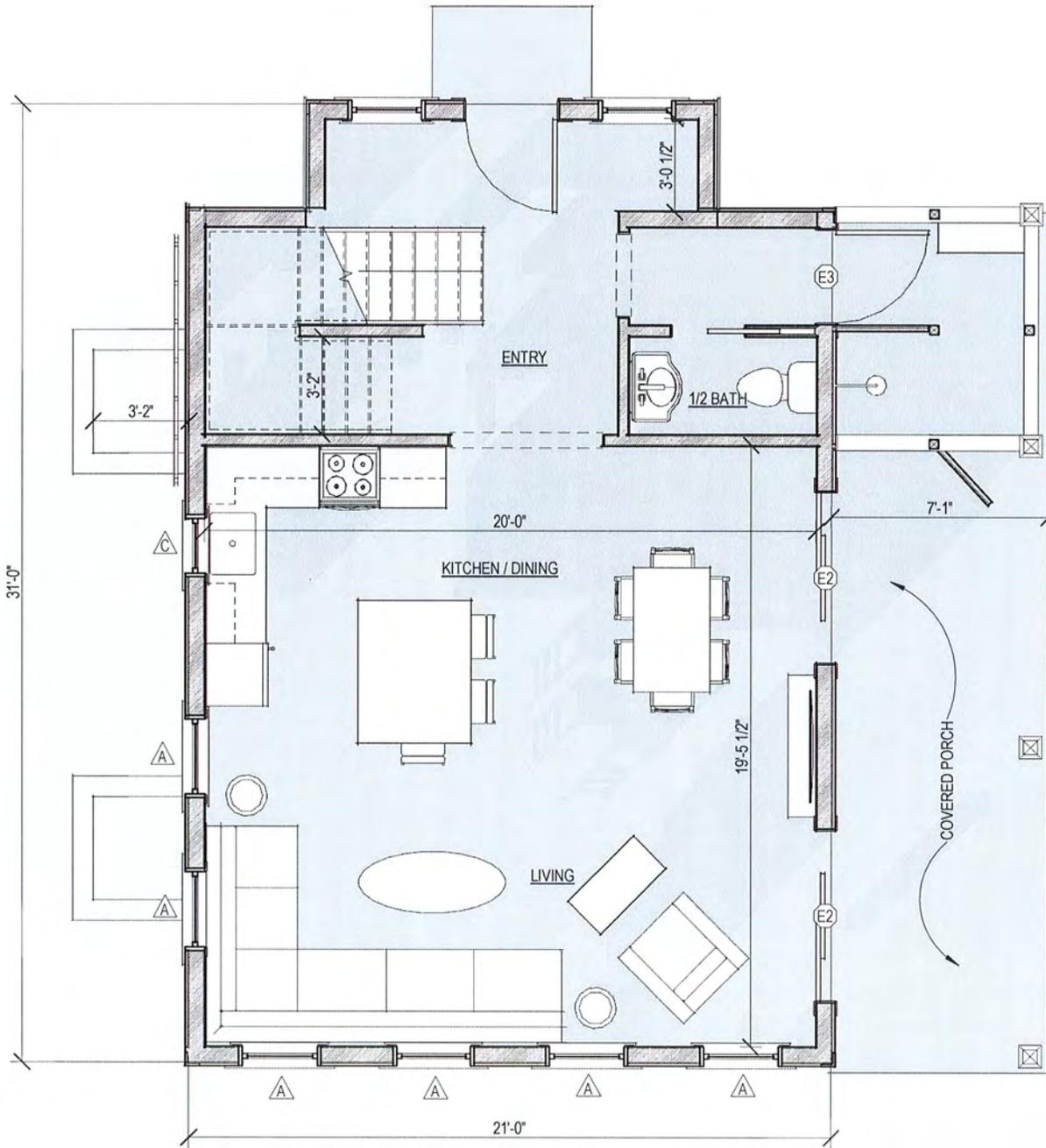
1 Panel/9 Lite SDL Door

12 Lite SDL Door

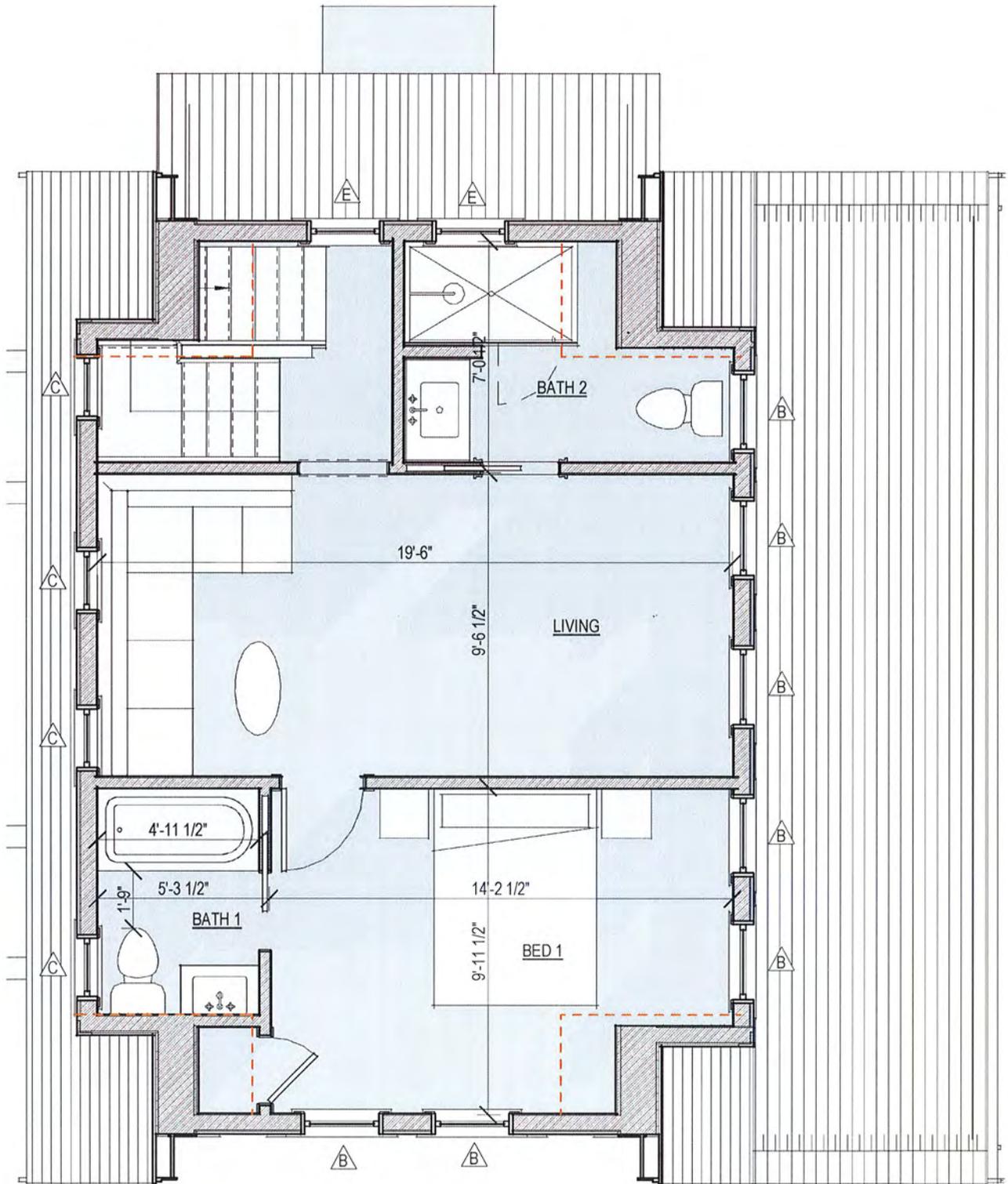
Door Legend

1/4" = 1'-0"



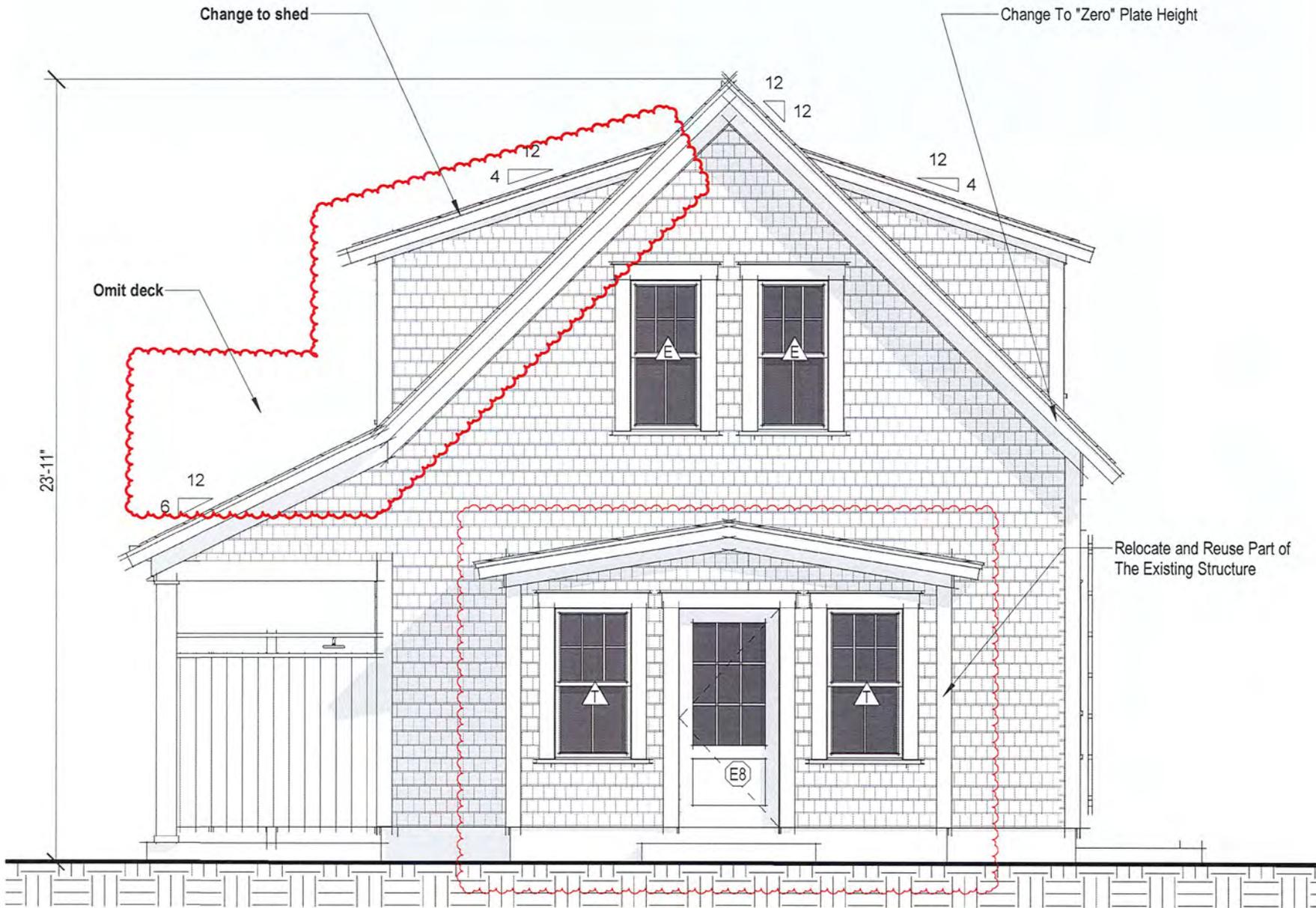


1 First Floor Plan
 1/4" = 1'-0"

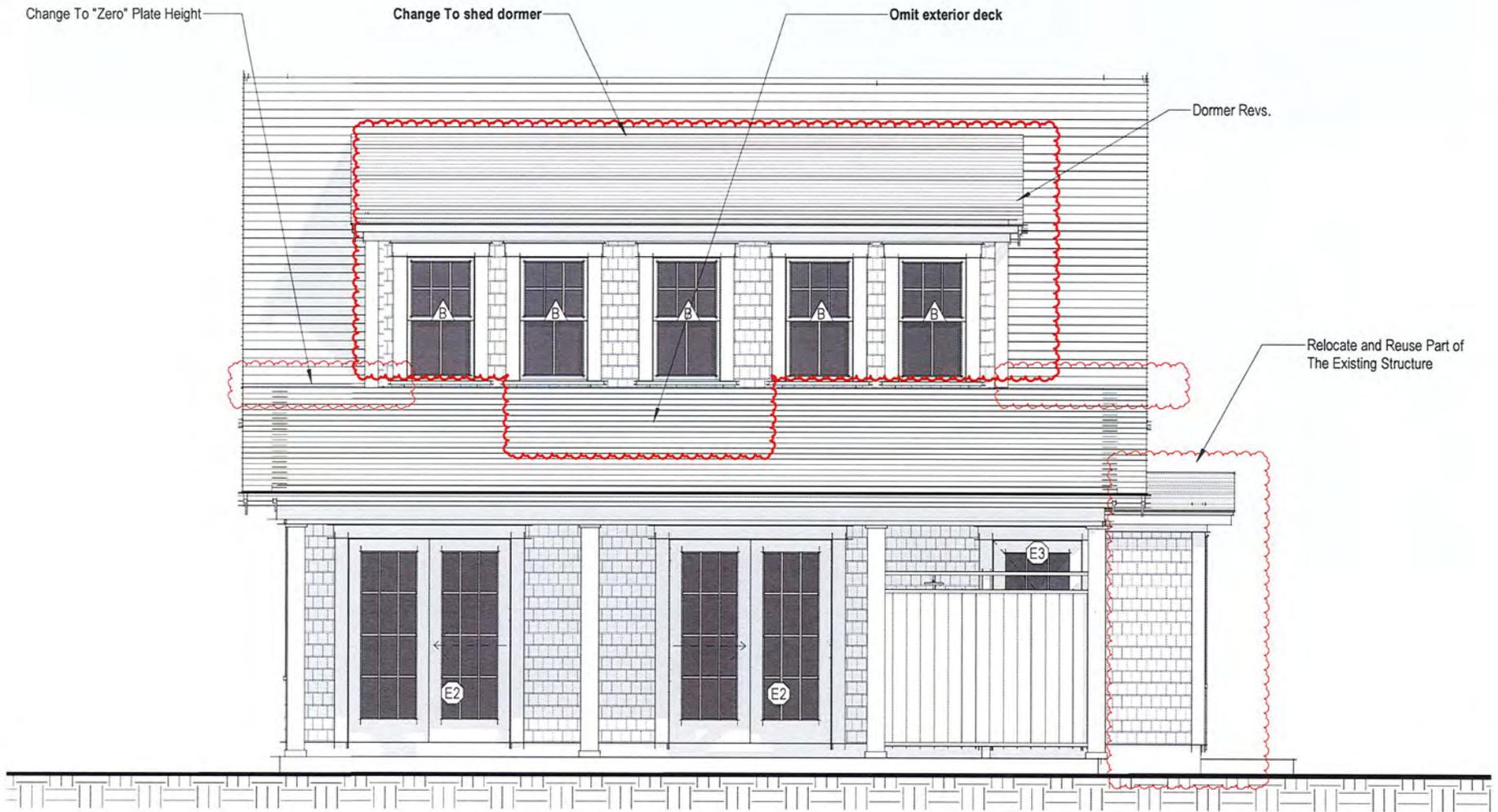


2 Second Floor

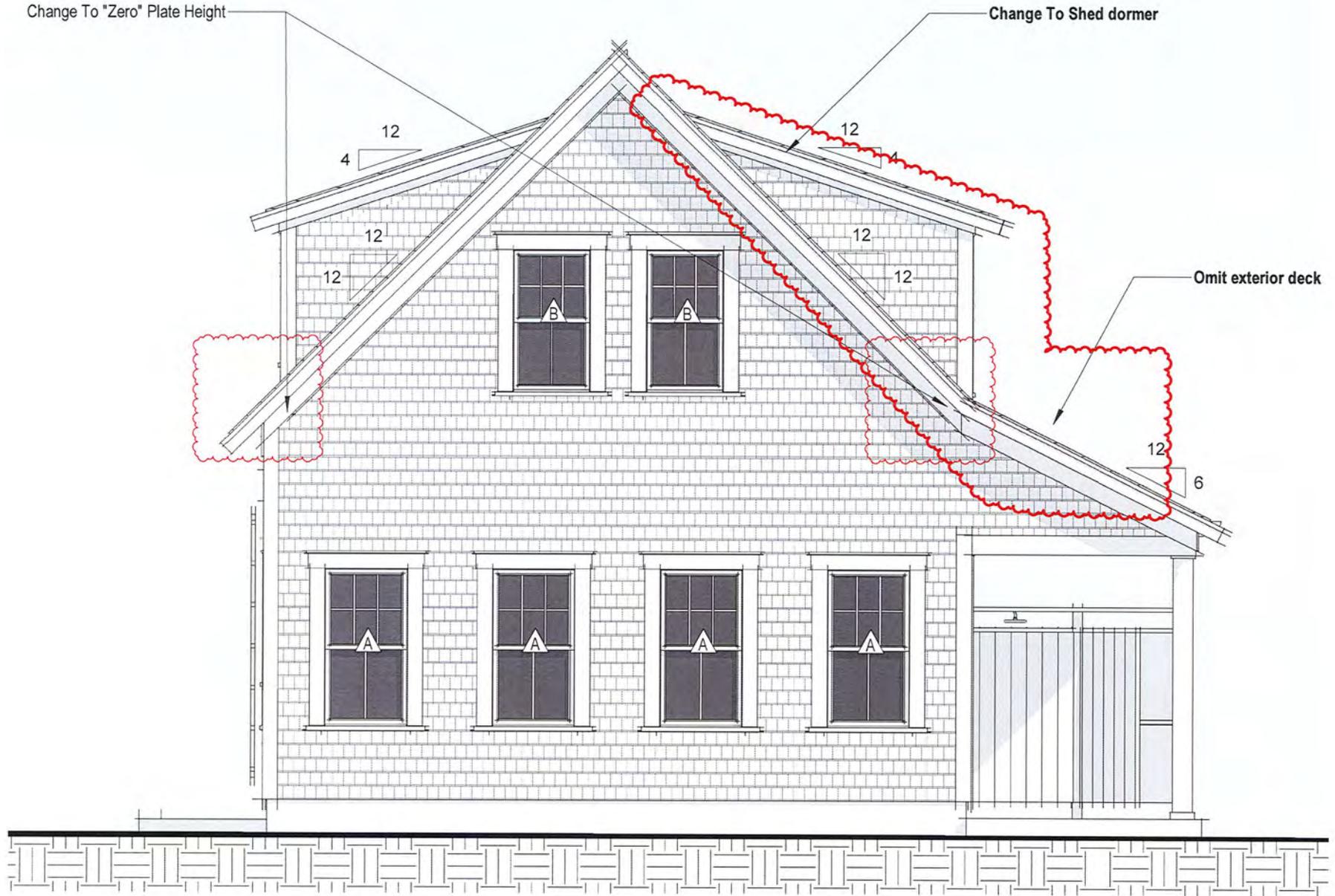
1/4" = 1'-0"



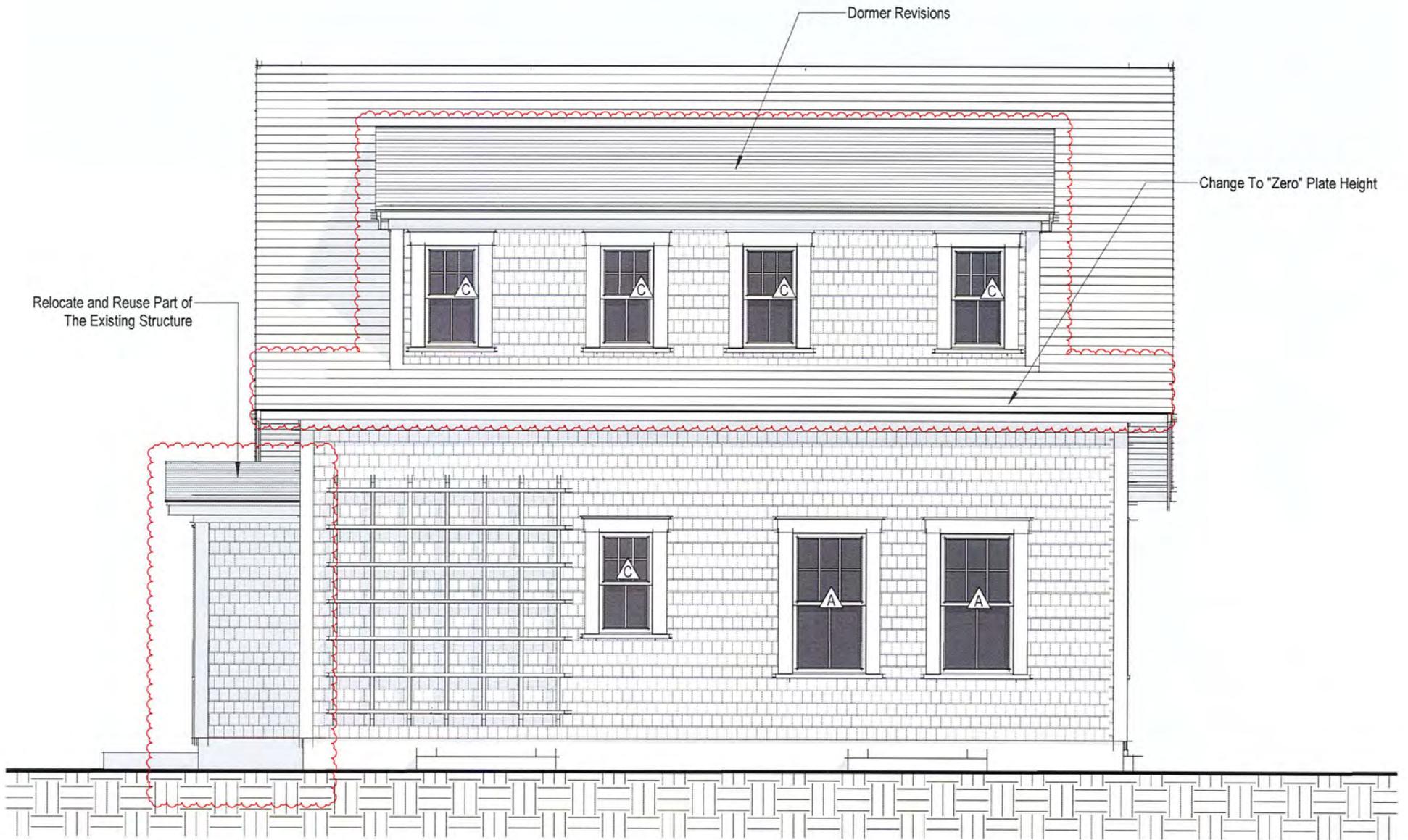
1 North Elevation
 1/4" = 1'-0"



2 East Elevation
 1/4" = 1'-0"



3 South Elevation
 1/4" = 1'-0"



4 West Elevation
1/4" = 1'-0"

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 73.2.4 PARCEL N°: 10
Street & Number of Proposed Work: 10 BEACH ST.
Owner of record: WILKIE SHELIA & ROBERT TR.
Mailing Address: 10 BEACH ST
NANTUCKET MA 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EMERITUS
Mailing Address: 8 WILLIAMS LN
NANTUCKET MA
Contact Phone #: 325 4995 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other MOVE OFF / DEMO EXISTING STRUCTURE
Size of Structure or Addition: Length: 32' Sq. Footage 1st floor: 427 Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 13' Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: N/A
Original Date: 1,940
Original Builder: U/K
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns / Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

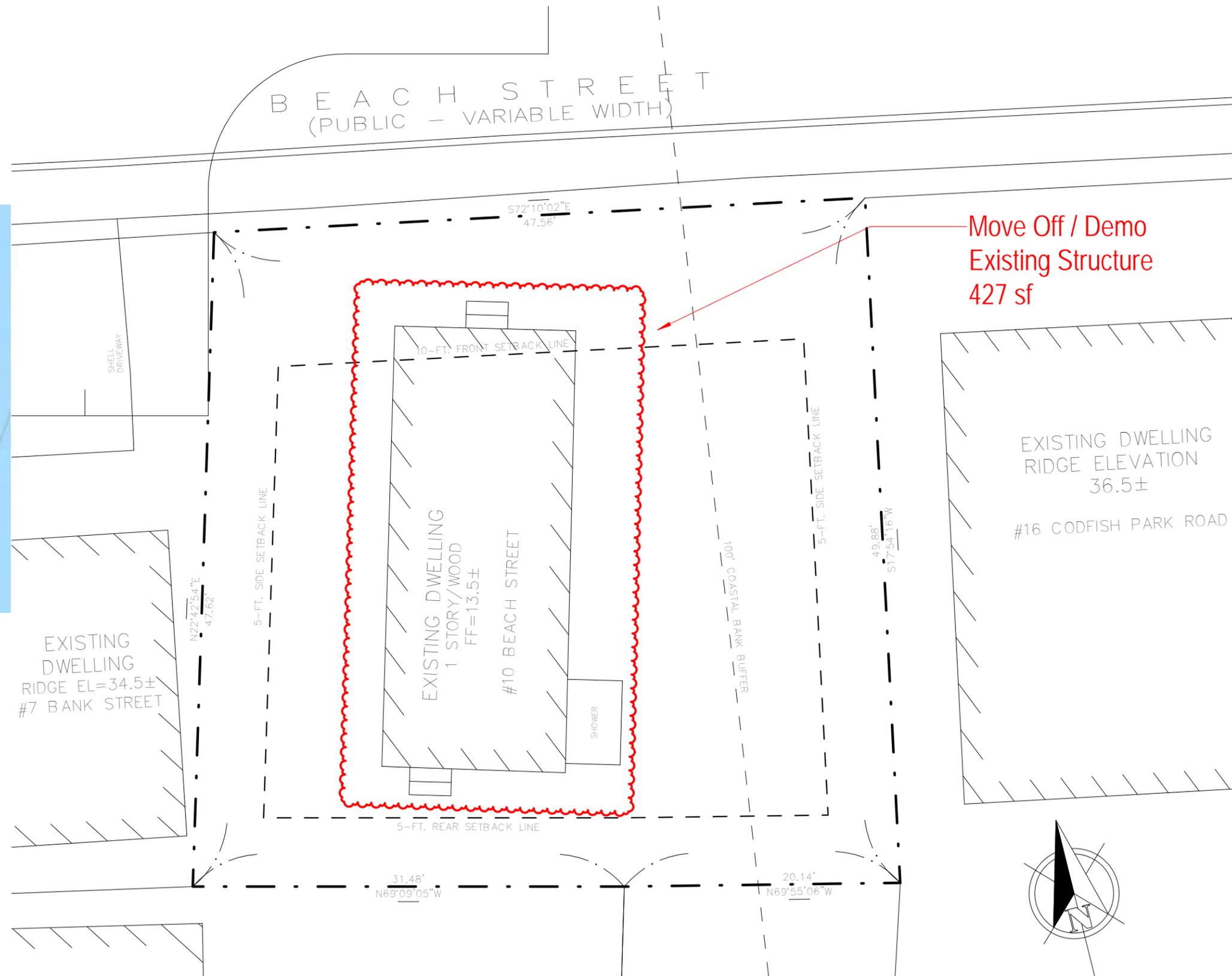
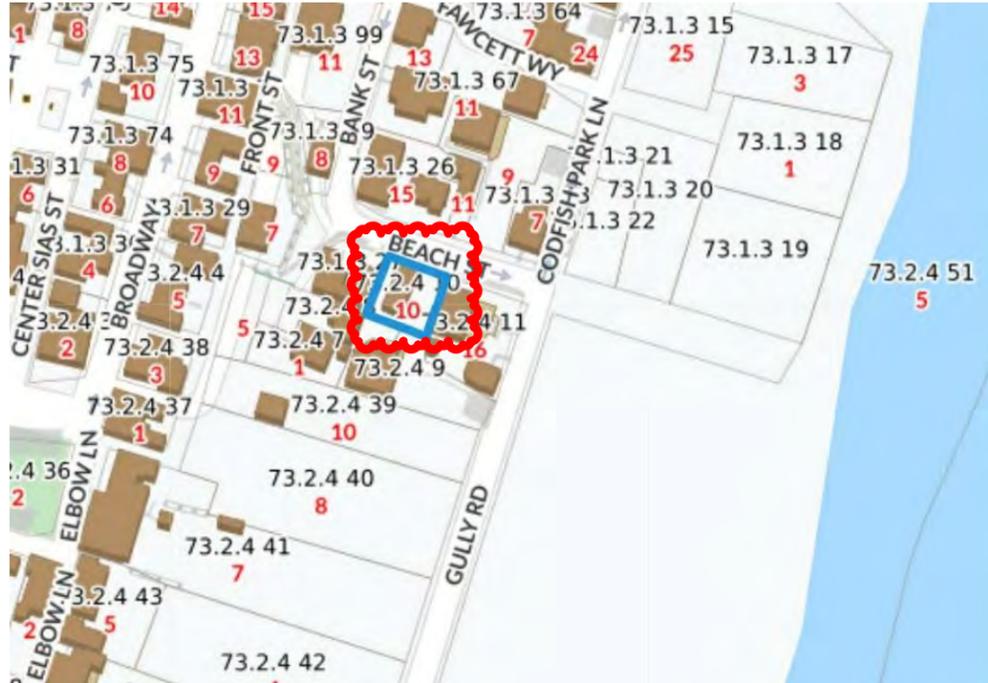
Date 07.22.20

Signature of owner of record _____

Signature of agent _____

Wilner Residence

10 Beach St
Nantucket, MA 02554



Locus

Not to Scale

Site Plan Move Off

1/8" = 1'-0"

G.01

Wilner Residence
10 Beach St
Nantucket, MA 02554

Zoning Information

Map & Parcel: 73.2.4 / 10
Current Zoning: SR-1
Minimum Frontage: 50'
Front Setback: 5'
Side/Rear Setback: 5'

Move-Off/ Demo HDC Application

01.22.20



8 Williams Lane Nantucket, MA
02554
P. 508.325.4995
F. 508.325.6980
www.emeritusdevelopment.com



NORTH



EAST



SOUTH



NORTH-EAST STREET VIEW



NORTH-WEST STREET VIEW

12" = 1'-0"

Zoning Information

Map & Parcel: 73.2.4 / 10
Current Zoning: SR-1
Minimum Frontage: 50'
Front Setback: 5'
Side/Rear Setback: 5'

Move-Off/ Demo HDC Application

01.22.20

10 BEACH ST

Location 10 BEACH ST

Mblu 7324/ / 10/ /

Acct# 00011968

Owner SEIDEL C JACQUELINE

Assessment \$1,036,200

PID 11968

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
2019	\$105,500	\$930,700	\$1,036,200

Owner of Record

Owner SEIDEL C JACQUELINE
Co-Owner
Address 23 PINE CREST DRIVE
NANTUCKET, MA 02554

Sale Price \$0
Certificate
Book & Page 01249/0153
Sale Date 10/12/2010
Instrument 99

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
SEIDEL C JACQUELINE	\$0		01249/0153	99	10/12/2010
SEIDEL C JACQUELINE	\$0		00252/ 262	99	07/11/1986

Building Information

Building 1 : Section 1

Year Built: 1940
Living Area: 416
Replacement Cost: \$150,763
Building Percent Good: 70
Replacement Cost Less Depreciation: \$105,500

Building Attributes	
Field	Description
Style	Bungalow
Model	Residential

Grade:	Average
Stories:	1 Story
Occupancy	1
Exterior Wall 1	Wood Shingle
Exterior Wall 2	
Roof Structure:	Flat
Roof Cover	Rolled Compos
Interior Wall 1	Drywall/Sheet
Interior Wall 2	
Interior Flr 1	Pine/Soft Wood
Interior Flr 2	
Heat Fuel	Coal or Wood
Heat Type:	None
AC Type:	None
Total Bedrooms:	1 Bedroom
Total Bthrms:	1
Total Half Baths:	0
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	Old Style
Kitchen Style:	Old Style

Building Photo



(<http://images.vgsi.com/photos/NantucketMAPhotos//\00\01\81/>)

Building Layout



(<http://images.vgsi.com/photos/NantucketMAPhotos//Sketches/1>)

Building Sub-Areas (sq ft)			<u>Legend</u>
Code	Description	Gross Area	Living Area
BAS	First Floor	416	416
		416	416

Extra Features

Extra Features	<u>Legend</u>
No Data for Extra Features	

Land

Land Use

Use Code	1010
Description	Single Fam M01
Zone	SR1

Land Line Valuation

Size (Acres)	0.05
Frontage	0
Depth	0

10 BEACH ST

Location 10 BEACH ST

Mblu 7324/ / 10/ /

Acct# 00011968

Owner SEIDEL C JACQUELINE

Assessment \$1,036,200

PID 11968

Building Count 1

Current Value

Assessment			
Valuation Year	Improvements	Land	Total
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Owner of Record

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Field	Description
Style	Bungalow
Model	Residential

Grade:	Average
Stories:	1 Story
Occupancy	1
Exterior Wall 1	Wood Shingle
Exterior Wall 2	
Roof Structure:	Flat
Roof Cover	Rolled Compos
Interior Wall 1	Drywall/Sheet
Interior Wall 2	
Interior Flr 1	Pine/Soft Wood
Interior Flr 2	
Heat Fuel	Coal or Wood
Heat Type:	None
AC Type:	None
Total Bedrooms:	1 Bedroom
Total Bthrms:	1
Total Half Baths:	0
Total Xtra Fixtrs:	
Total Rooms:	
Bath Style:	Old Style
Kitchen Style:	Old Style

Building Photo



(<http://images.vgsi.com/photos/NantucketMAPhotos//\00\01\81/>)

Building Layout



(<http://images.vgsi.com/photos/NantucketMAPhotos//Sketches/1>)

Building Sub-Areas (sq ft)			<u>Legend</u>
Code	Description	Gross Area	Living Area
BAS	First Floor	416	416
		416	416

Extra Features

Extra Features	<u>Legend</u>
No Data for Extra Features	

Land

Land Use

Use Code	1010
Description	Single Fam M01
Zone	SR1

Land Line Valuation

Size (Acres)	0.05
Frontage	0
Depth	0

Neighborhood 250
Alt Land Appr No
Category

Assessed Value \$930,700

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Assessment			
Valuation Year	Improvements	Land	Total
2018	\$98,300	\$698,000	\$796,300
2017	\$87,300	\$558,400	\$645,700
2016	\$72,800	\$558,400	\$631,200
2015	\$105,500	\$587,000	\$692,500
2014	\$105,500	\$670,800	\$776,300

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Neighborhood 250
Alt Land Appr No
Category

Assessed Value \$930,700

Outbuildings

Outbuildings	Legend
No Data for Outbuildings	

Valuation History

Assessment			
Valuation Year	Improvements	Land	Total
2018	\$98,300	\$698,000	\$796,300
2017	\$87,300	\$558,400	\$645,700
2016	\$72,800	\$558,400	\$631,200
2015	\$105,500	\$587,000	\$692,500
2014	\$105,500	\$670,800	\$776,300

(c) 2020 Vision Government Solutions, Inc. All rights reserved.

GENERAL SETTING AND ORIENTATION OF BUILDING

10. Lot Size: N/A
11. Approximate Frontage (ft.): N/A
12. Setback from Street (ft.): 10 feet or less
13. Orientation to Street Address: Gabled
14. Surroundings: Scattered Buildings, Residential
15. Related Outbuildings and Property: Fence
16. Other Notable Features:
N/A

DESCRIPTION

17. Foundation: Cobblestone
18. Structural System: Woodframe
19. Exterior Wall Material, Front Facade: Shingles-Weathered
20. Exterior Wall Material, Side Elevations: Shingles-Weathered
21. Exterior Wall Material, Rear Elevation: Shingles-Weathered
22. Number of Stories: 1
23. Roof Shape: Gable
24. Roofing Material: Composition Shingle
25. Roof Features: N/A
26. Dormer Roof(s): N/A
27. Chimney Material: N/A
28. Chimney Position: N/A
29. Number of Chimneys: N/A
30. Chimney Features: N/A
31. Front/Primary Door Location: Center
32. Front/Primary Door Frame Features: Flush Frame
33. Number of Bays: N/A
34. Window Frame Type: Flush
35. Window Sash Type(s) - Front Facade: 2/2
36. Porch: N/A
37. Signage: N/A
38. Details: Corner boards-plain
39. Condition: Good
40. Integrity: N/A
41. Alterations:
N/A

BUILDING/STRUCTURE INVENTORY FORM
 NANTUCKET ISLAND ARCHITECTURAL
 AND CULTURAL RESOURCES SURVEY
 NANTUCKET HISTORIC DISTRICT COMMISSION
 NANTUCKET, MASSACHUSETTS

SURVEY/
 FILM ROLL #: SC8-19
 MAP/PARCEL #: 7313-10

Recorded by: AH

Date: 09/22/89

Organization: AGS

IDENTIFICATION

1. Street Name & No.: 10 BEACH STREET
2. Building Name: N/A
3. Ownership: Private
4. Present Owner: SEIDEL, C JACQUELINE
5. Ownership History:
Unknown
6. Use: Original: Dwelling Present: Dwelling
Seasonal/Year-Round: Seasonal
7. Accessibility to Public: Visible from Public Road? Yes
Interior: N/A

8. MAP -- 3X2'



SIGNIFICANCE

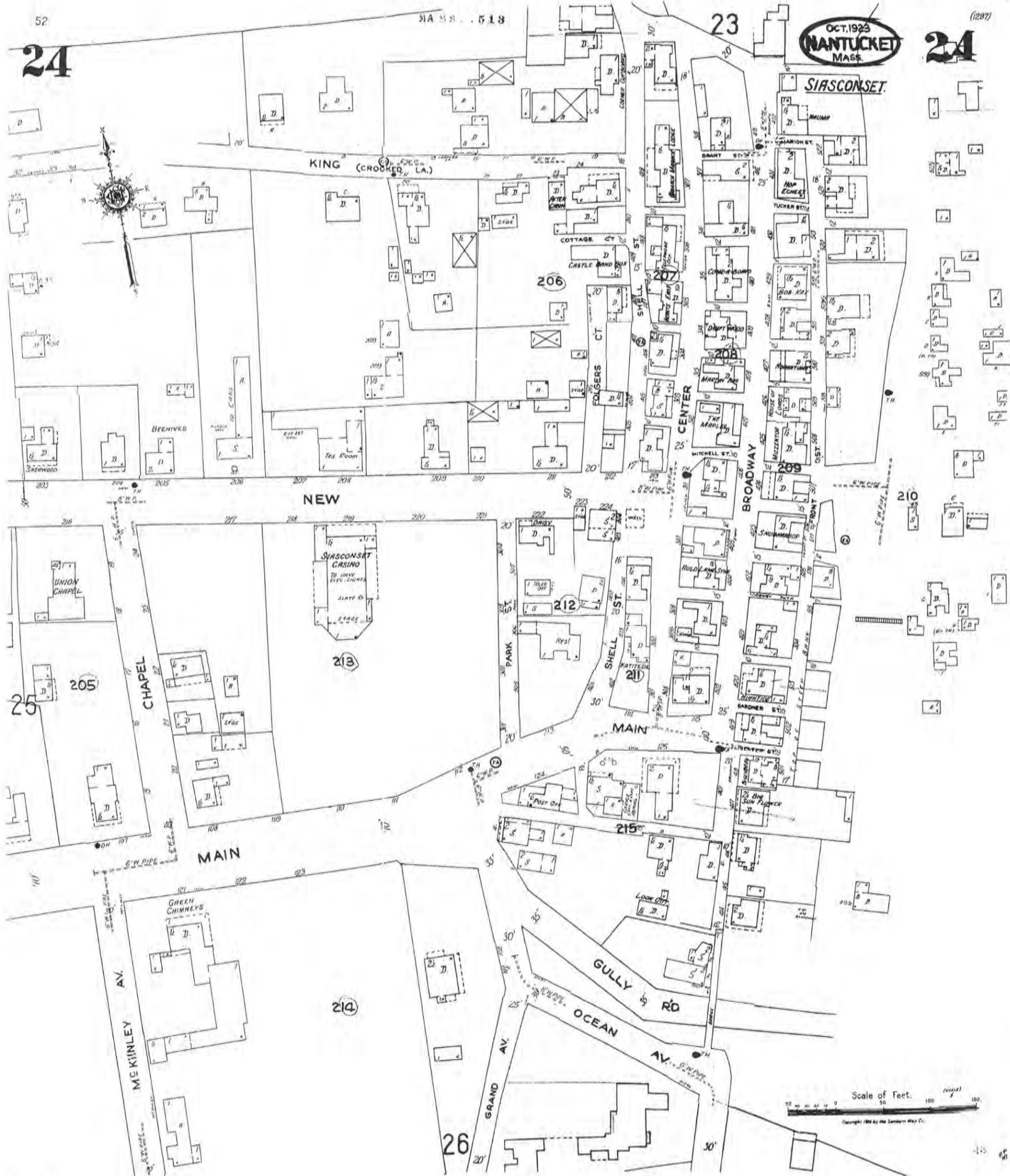
- 42. Role the Building Plays: National Register: Contributing
- 43. Date of Initial Construction: Circa 1930
Source: Sanborn Maps, Aerial Photo 1938
Architect: Unknown Builder: Unknown
- 44. Building Type: Box, Gable Front
- 45. Architectural Style: N/A
- 46. Historical and Architectural Importance:
Unknown

- 47. Sources: Sanborn Maps 1923, 1923/49,
Aerial Photo 1938

24

OCT. 1923
NANTUCKET
MASS.

24



Scale of Feet.

0 50 100 150

Copyright 1923 by the Sanborn Map Co.

OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 1/2 x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 1/2 x 11
	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: Anton Dimov Date: _____

eliminated. This house is going to draw attention to itself. Everything should be consolidated; an open yard with perimeter screening won't help. This needs to be simplified.

Pohl – Agrees with much that's been said. Moving plantings closer to the problem area will make the screening more effective without making it look like the owners are fencing themselves off from the neighborhood. North side of the property lacks screening. Equipment should be in the basement.

Motion **Motion to Hold for revisions and a more significantly detailed planting plan and reduction in the pool size. (Oliver)**

Roll-call Vote Carried unanimously//Coombs, Camp, Welch, Oliver, and Pohl-aye Certificate #
 7. Nicole Whidden **08-1473** 11 Davis Lane Cabana 82/75 Emeritus

Voting Pohl, Coombs, Camp, Oliver, Welch

Alternates None

Recused None

Documentation Landscaping design plans, site plan, correspondence, and photos.

Representing Matt MacEachern, Emeritus Development

Public None

Concerns (6:38) **MacEachern** – Presented project; pool equipment will go into the basement.

Oliver – This could be simplified even more: don't need gable windows; it could be as simple as a natural-to-weather pergola; anything to mitigate the structure would go a long way.

Coombs – Agrees. South elevation, looks like a takeout area at Surfside Beach. This is only 14 feet from the house; she doesn't see the need for it to have a barbeque and bathrooms. It needs to be simpler.

Welch – Not adverse to a simpler structure. He's concerned about the cabana that was approved there; this is not in keeping with the neighborhood. North and west walls should be open, and this placed closer to the pool.

Camp – Agrees. This looks modern; suggested a lean-to or broke back.

Pohl – The consensus is smaller.

Motion **Motion to Hold for revisions. (Coombs)**

Roll-call Vote Carried unanimously//Camp, Welch, Oliver, Coombs, and Pohl-aye Certificate #

8. Linda Flanagan **08-1464** 19 Longwood Drive Move/demo guest house 71/41 M. Cutone Architecture

Voting Pohl, Coombs, Camp, Oliver, Welch

Alternates None

Recused None

Documentation Architectural elevation plans, site plan, photos, and historic documentation.

Representing Mark Cutone, Mark Cutone Architecture

Public None

Concerns (6:45) **Cutone** – Presented project, circa 1998; have had interest in the building. No concerns.

Motion **Motion to Approve as a move-off/demolition. (Welch)**

Roll-call Vote Carried unanimously//Camp, Coombs, Oliver, Welch, and Pohl-aye Certificate # **HDC2020-08-1464**
 9. Linda Flanagan **08-1459** 19 Longwood Drive New guest house 71/41 M. Cutone Architecture

Voting Pohl, Coombs, Camp, Oliver, Welch

Alternates None

Recused None

Documentation Architectural elevation plans, site plan, and photos.

Representing Mark Cutone, Mark Cutone Architecture

Public None

Concerns (6:50) **Cutone** – Presented project; this will also act as a pool house so has a mud sill. Neither structure is visible from the street. Review of a photo of the existing house.

Oliver – Looking for photos of the house wastes a lot of meeting time. This is larger than the existing house; she wants to understand the relationship.

Welch – This is a net gain; it has additive massing. His concern is the east elevation dormers relative to the roof size, however, this will not be visible. It would be helpful in the future take photos and have them handy out of respect for our time.

Coombs – This is nicer than the main house; if it blocks the main house, great.

Camp – No concerns.

Oliver – The thing over the shower is different but won't be visible.

Pohl – Agrees this is an improvement over the main house. He supports it.

Motion **Motion to Approve as submitted. (Welch)**

Roll-call Vote Carried unanimously//Camp, Coombs, Oliver, Welch, and Pohl-aye Certificate # **HDC2020-08-1459**

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 82 PARCEL N°: 75
Street & Number of Proposed Work: 11 DAVIS LN
Owner of record: 11 DAVIS LLC
Mailing Address: 11 DAVIS LN
NANTUCKET, MA, 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EMERITUS
Mailing Address: 8 WILLIAMS LN
NANTUCKET, MA, 02554
Contact Phone #: 508 325 4995 E-mail: MATT@EMERITUS
DEVELOPMENT.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other POOL HOUSE / CABANA
Size of Structure or Addition: Length: 13'0" Sq. Footage 1st floor: 48 SF Decks/Patio: Size: #250 SF 1st floor 2nd floor
Width: 3'8" Sq. footage 2nd floor: N/A Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: N/A

Difference between existing grade and proposed finish grade: North +6" South +6" East +6" West +6"
Height of ridge above final finish grade: North +16'11" South +16'11" East +16'11" West +16'11"

Additional Remarks

REVISIONS*

- 1. East Elevation
- 2. South Elevation
- 3. West Elevation
- 4. North Elevation

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed ±8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) N/A Other _____
Roof Pitch: Main Mass 12/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR
Skylights (flat only): Manufacturer N/A Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): COPPER
Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) ±10" Corner boards N/A Frieze 1x4
Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round _____ Square Tapered 5'4" x 11/4"
Windows*: Double Hung Casement All Wood Other FIXED
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Panel Front _____ Rear _____ Side 1 panel
Garage Door(s): Type N/A Material _____
Hardscape materials: Driveways N/A Walkways N/A Walls N/A

Fence: Height: _____
Type: _____
Length: _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) N/A Roof NATURAL
Trim WHITE Sash WHITE Doors WHITE
Deck NATURAL Foundation NATURAL Fence N/A Shutters N/A

* Attach manufacturer's color samples if color is not from HDC approval list.

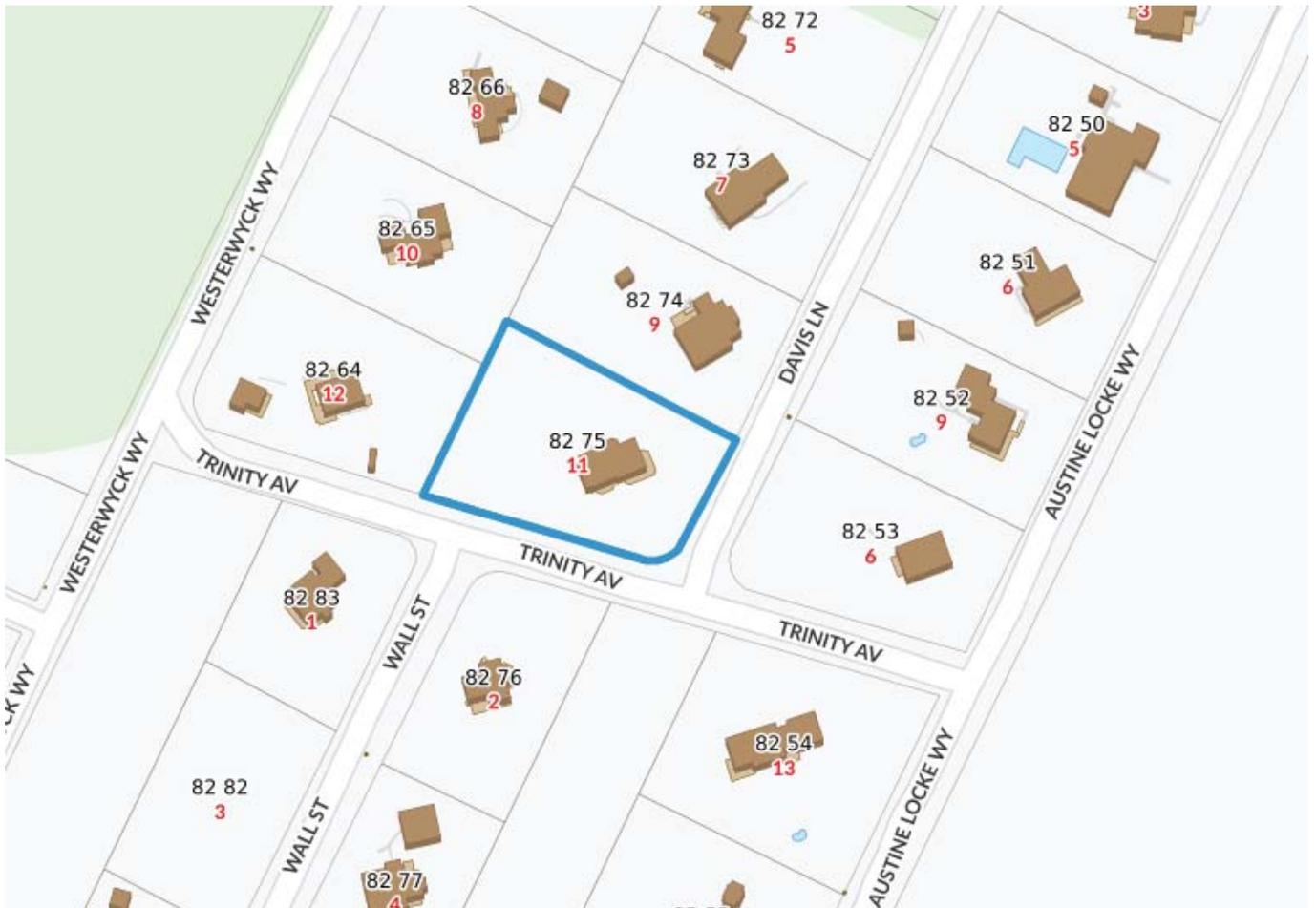
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
Date 03/04/20 Signature of owner of record _____ Signed under penalty of perjury _____

Cabana

11 Davis Ln

Nantucket, MA 02554

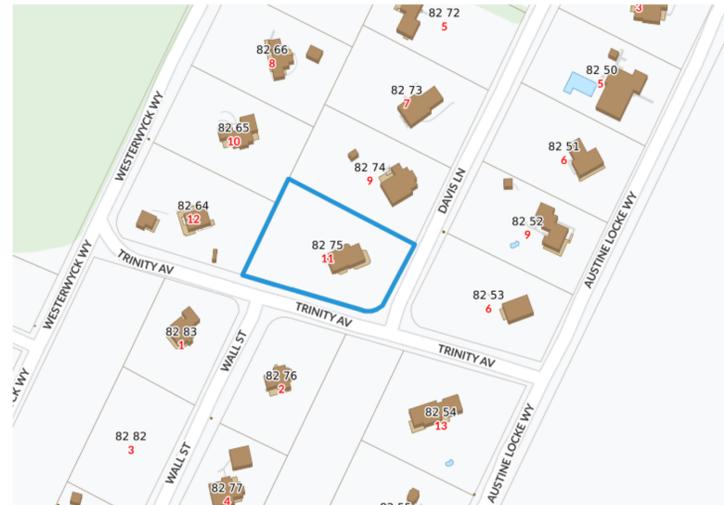
08.17.20



Cabana

11 Davis Ln
Nantucket, MA 02554

08.17.20



1 Locus Map
Not to Scale



Fixed
4 Lite SGL

Window Legend

1/4" = 1'-0"



Door Legend

1/4" = 1'-0"

WINDOW & DOOR NOTES

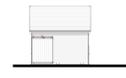
1. Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
2. Windows w/ DP Rating of 30 or Greater Required
3. Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
4. Refer To Plan For Tempered Glass Locations; Contrator To Verify Tempered Windows Are Provided Where Required
5. Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
6. General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
7. General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
8. Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
9. Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
10. The Unit Measurements Given In This Document Are For A Guide Only
11. Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



South



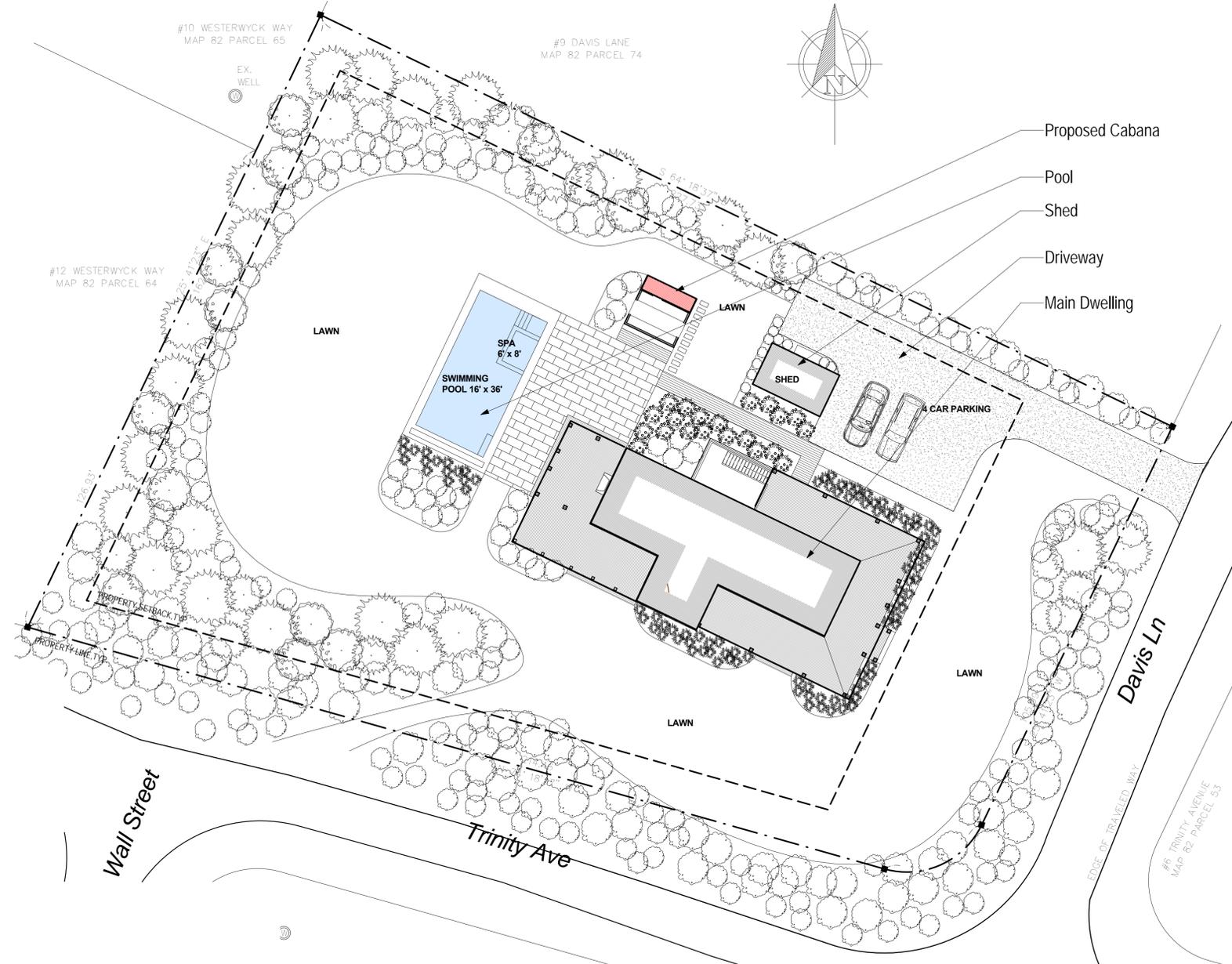
West



North



East



3 Site Plan
1/16" = 1'-0"

2004

Cabana

11 Davis Ln
Nantucket, MA 02554



Cover Sheet

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq.ft.
Min. Lot Size:	80,000 sq.ft.
Allowable G.C.:	1,500 sq.ft. (per 139-33E(1b))
Existing G.C.:	1,351 sq.ft. (to be demolished)
Proposed G.C.:	48 sq.ft.
Total Proposed G.C.:	1,490 sq.ft.

Information for this site plan was taken from the Nantucket C.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 Floor Plan & Elevations

Revisions

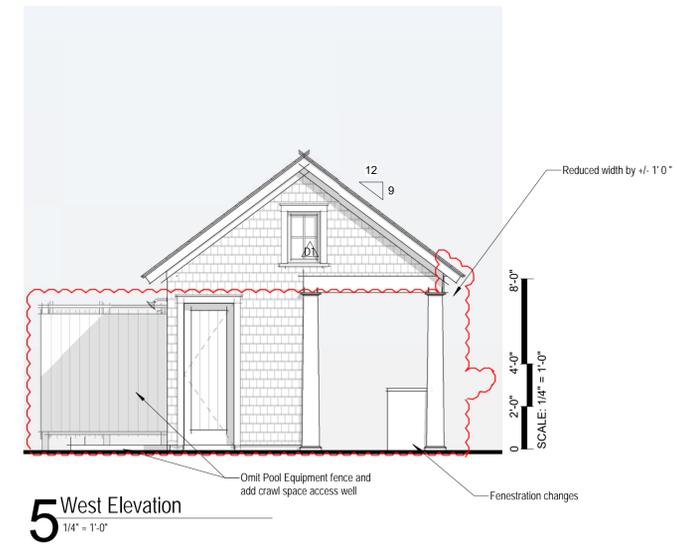
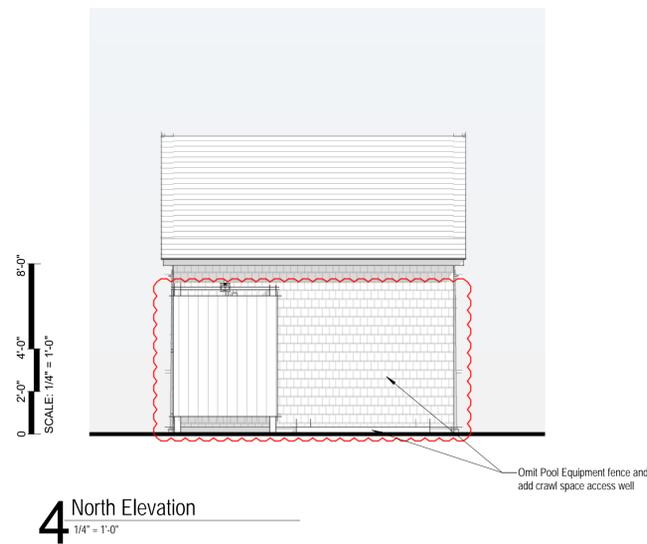
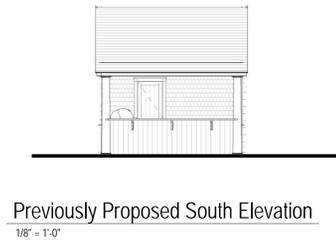
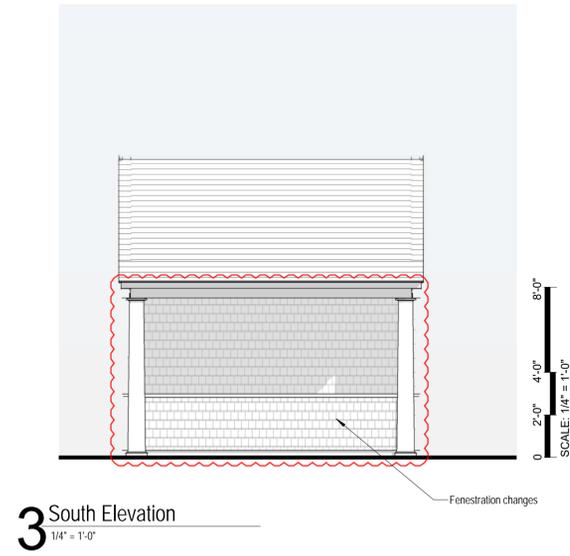
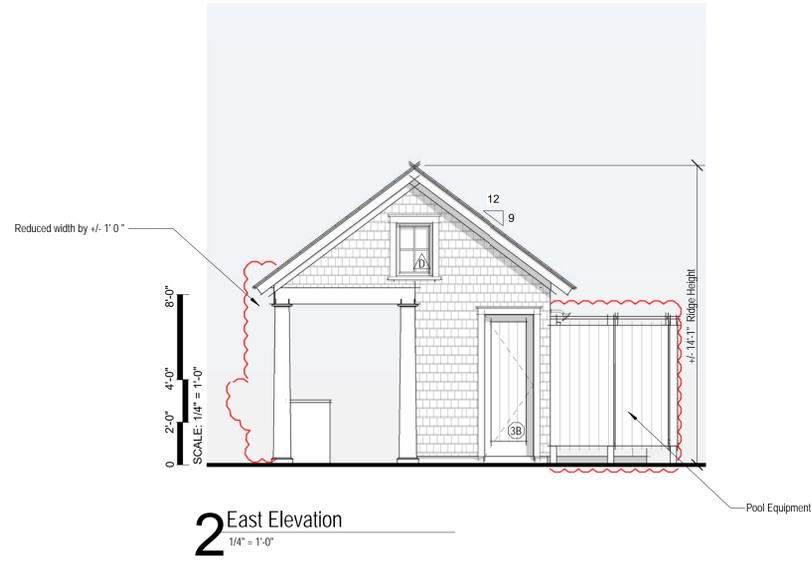
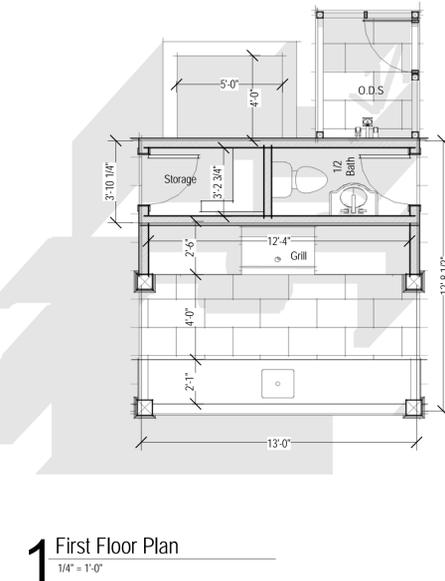
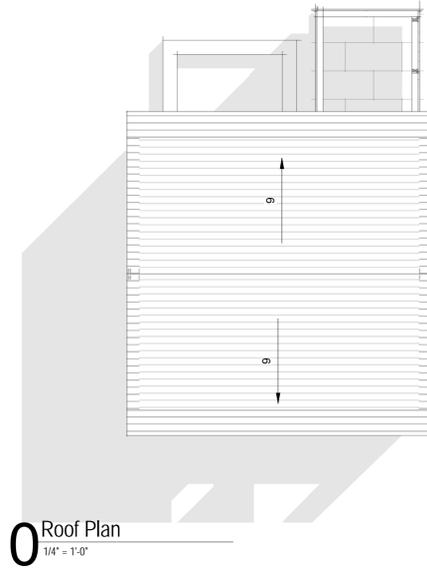
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G.1.1
2004

HDC Submission Only

08.17.20

HDC Submission Only



2004

Cabana

11 Davis Ln
Nantucket, MA 02554



Floor Plan & Elevations

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq. ft.
Min. Lot Size:	80,000 sq. ft.
Allowable G.C.:	1,500 sq. ft. (per 139-33E(1b))
Existing G.C.:	1,351 sq. ft. (to be demolished)
Proposed G.C.:	48 sq. ft.
Total Proposed G.C.:	1,490 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

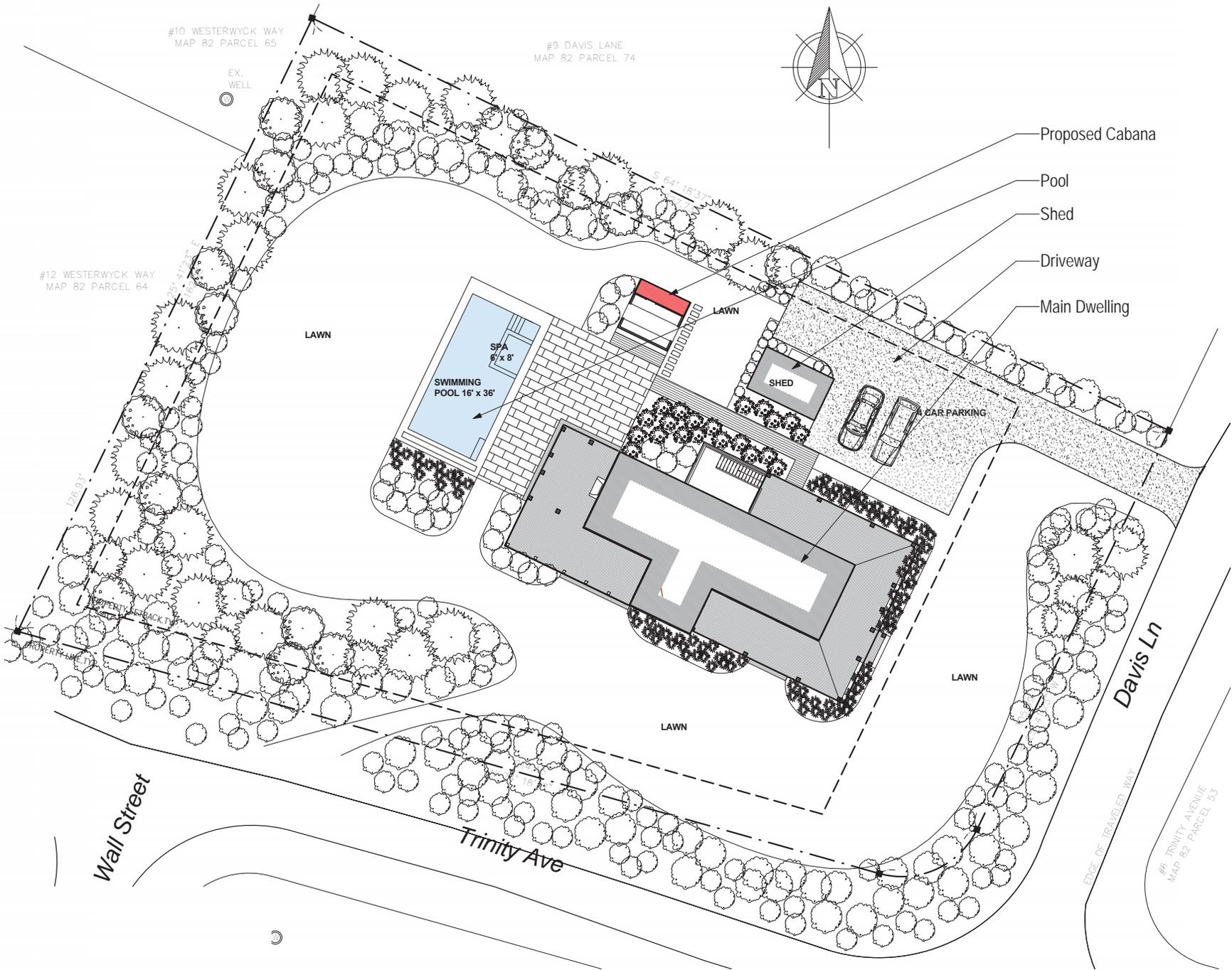
SHEET INDEX

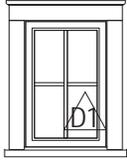
- G.1.1 Cover Sheet
- A.1.1 Floor Plan & Elevations

Revisions

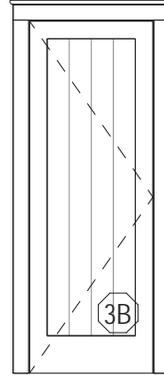
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A.1.1
2004





Fixed
4 Lite SDL



Window Legend

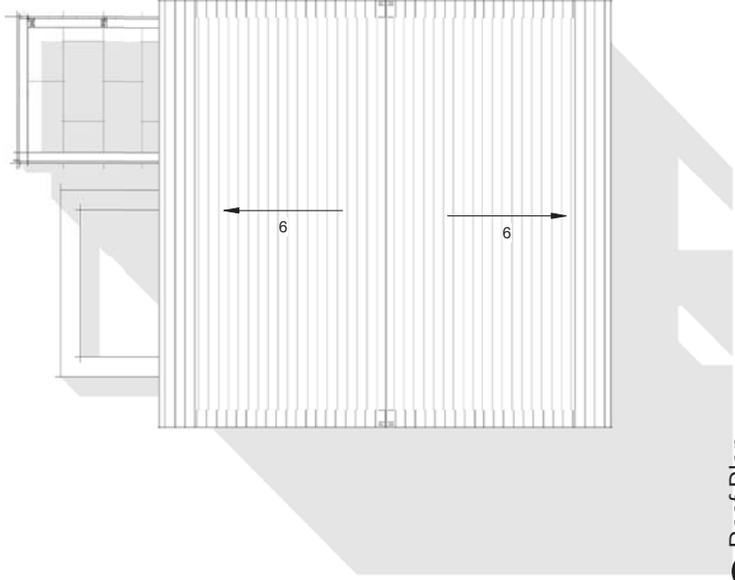
1/4" = 1'-0"

Door Legend

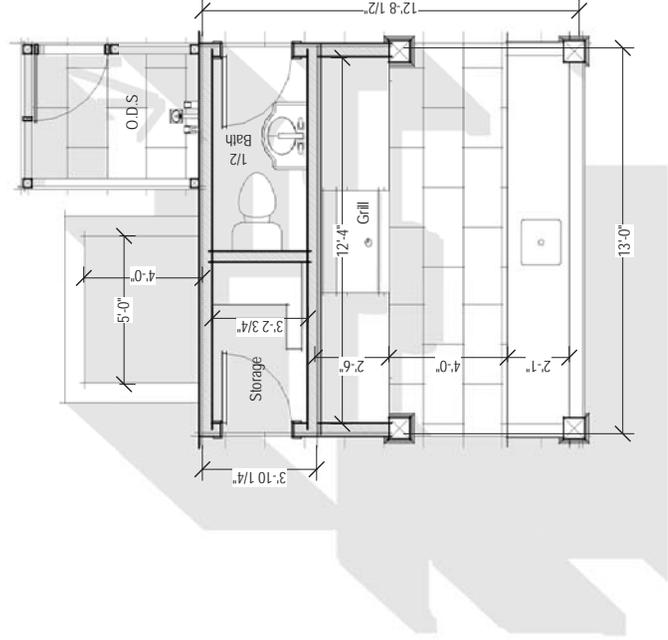
1/4" = 1'-0"

WINDOW & DOOR NOTES

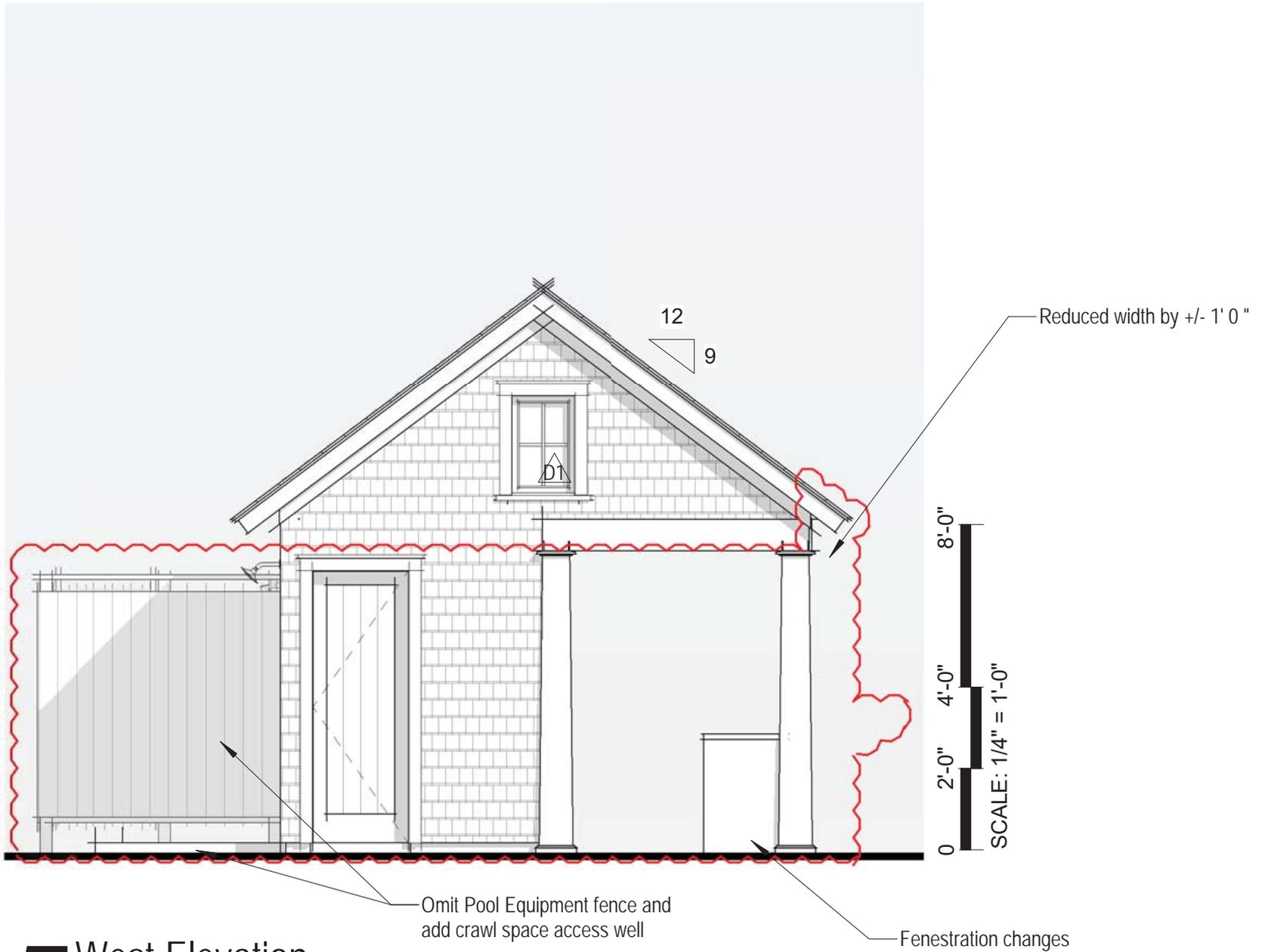
1. Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
2. Windows w/ DP Rating of 30 or Greater Required
3. Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
4. Refer To Plan For Tempered Glass Locations; Contrator To Verify Tempered Windows Are Provided Where Required
5. Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
6. General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
7. General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
8. Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
9. Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
10. The Unit Measurements Given In this Document Are For A Guide Only
11. Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



0 Roof Plan
 $\frac{1}{4}'' = 1'-0''$



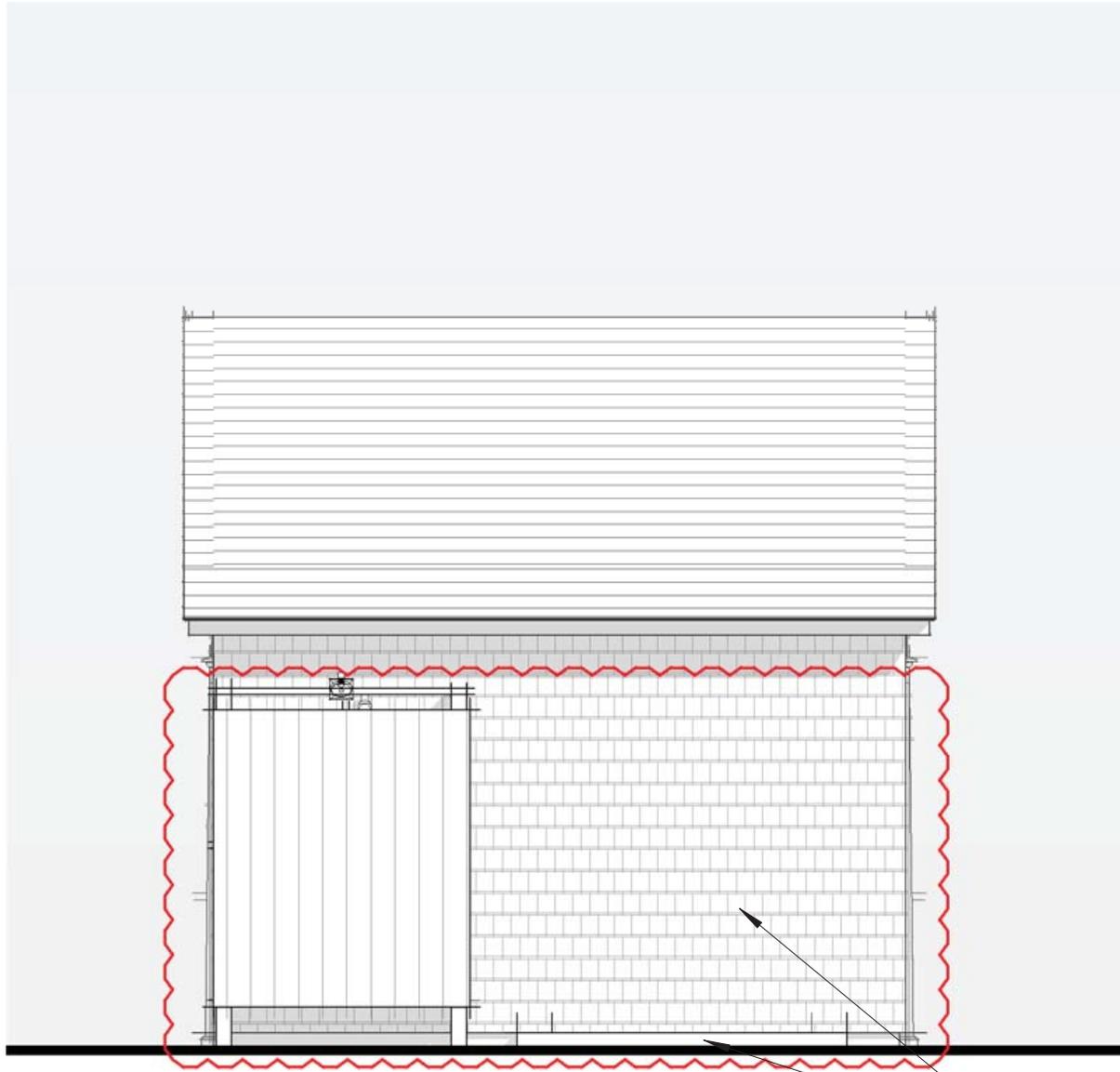
1 First Floor Plan
 $\frac{1}{4}'' = 1'-0''$



5 West Elevation

1/4" = 1'-0"

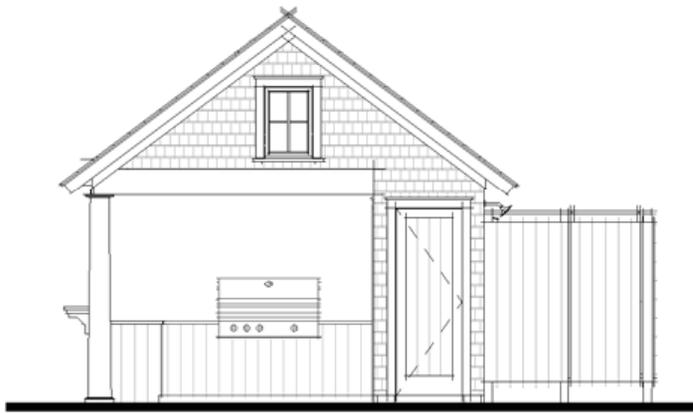
8'-0"
4'-0"
2'-0"
0
SCALE: 1/4" = 1'-0"



Omit Pool Equipment fence and
add crawl space access well

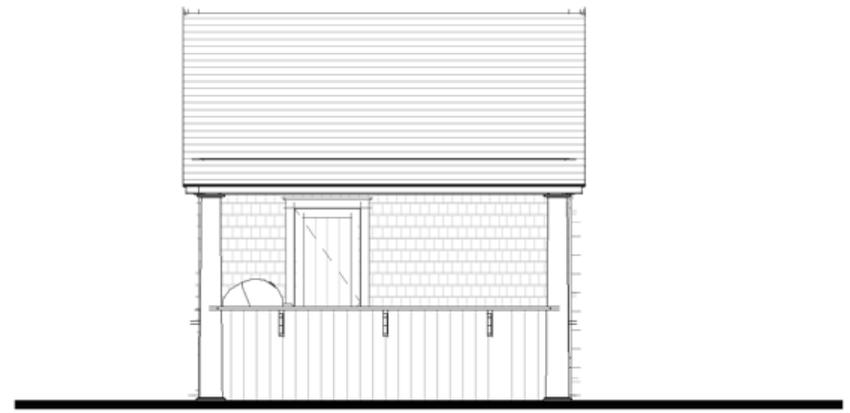
4 North Elevation

1/4" = 1'-0"



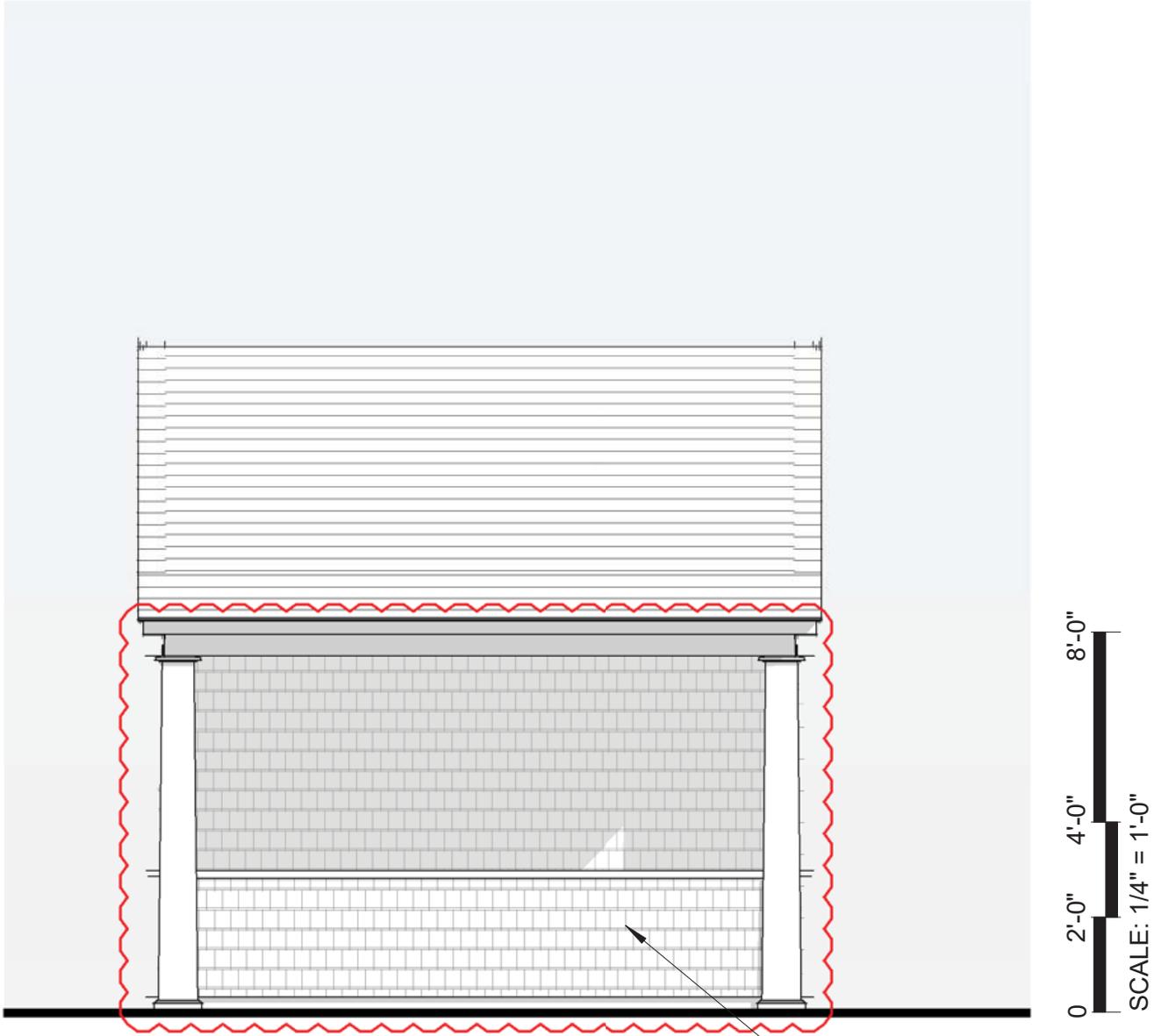
Previously Proposed East Elevation

1/8" = 1'-0"



Previously Proposed South Elevation

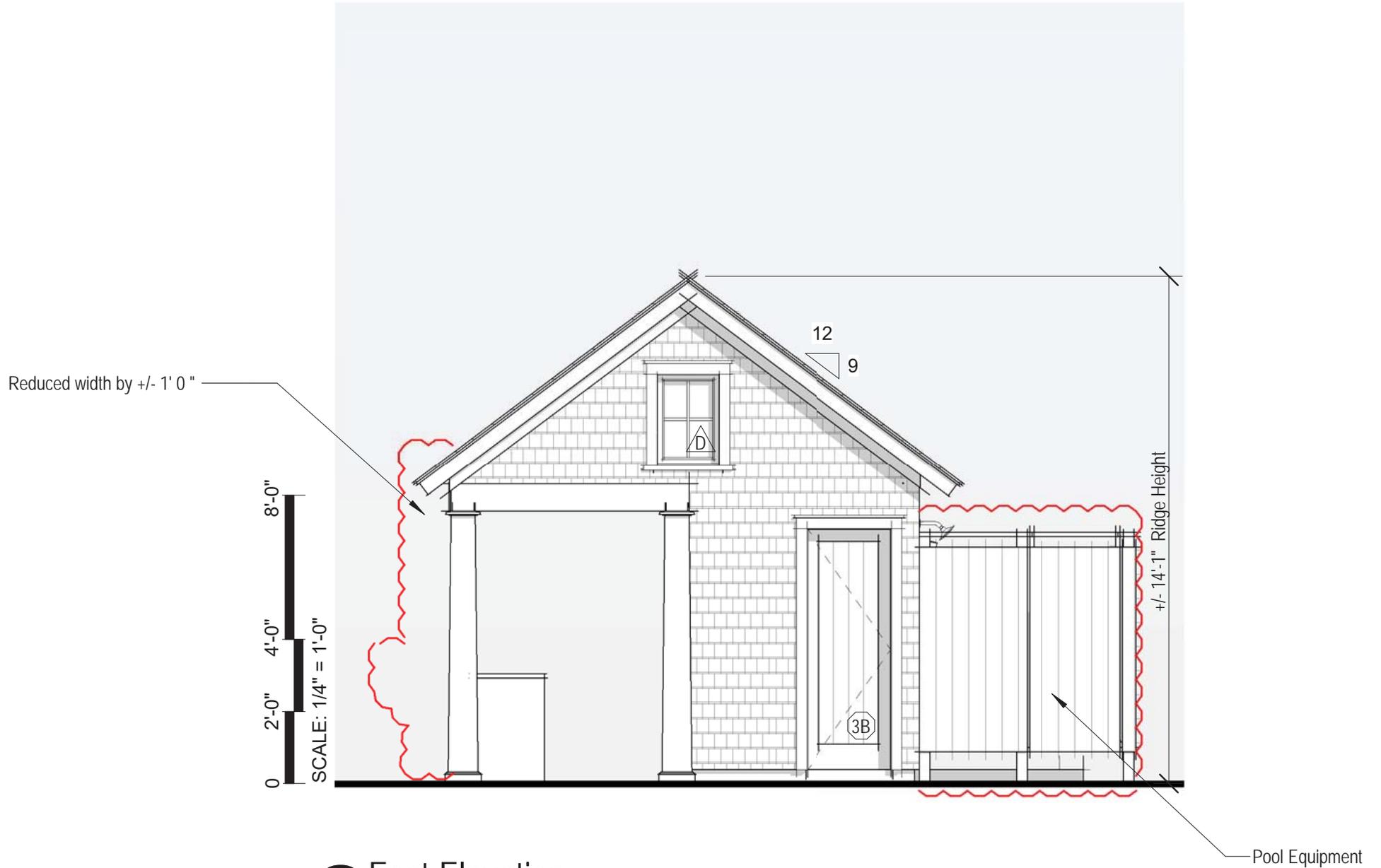
1/8" = 1'-0"



3 South Elevation

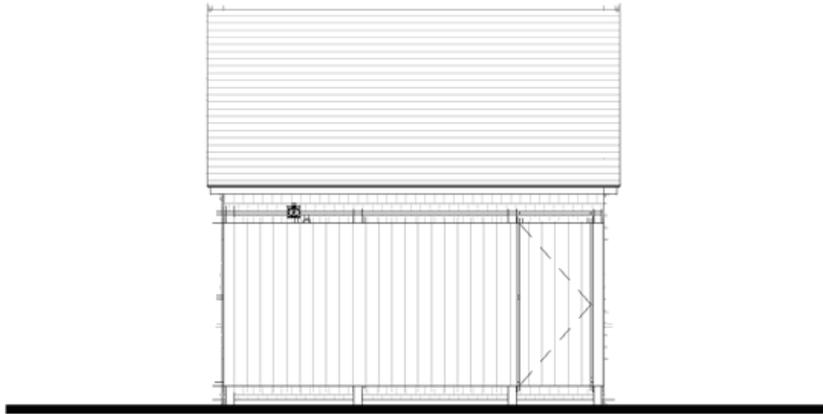
1/4" = 1'-0"

Fenestration changes



2 East Elevation

1/4" = 1'-0"



Previously Proposed North Elevation

1/8" = 1'-0"



Previously Proposed West Elevation

1/8" = 1'-0"