

1. No Meeting Agenda

There is no agenda available for this meeting. Please view the minutes.

1.1. Viewpack FOR 9/24/20

Documents:

[4 SLEETWING - CABANA FOR OB 9-22-20.PDF](#)

[8 CENTER CT SIAS - REV 12-0352 RELOCATE AC.PDF](#)

[10 SHEEPS COMMON- POOL RETAINING WALL FOR OB 9-22-20.PDF](#)

[10 SHEEPS COMMON- POOL RETAINING WALL- ORIGINAL SUB FOR NB.PDF](#)

[26 W CHESTER- HARDSCAPE FOR OB 9-22-20.PDF](#)

[45 W CHESTER ST - SHED - OB SUB FOR 09-22-2020.PDF](#)

[8 CENTER STREET- FOR OB 9-22-20.PDF](#)

8. Cannonbury Ln Hold 1 08-1565					
	7 Cannonbury Lane	New cabana	74/29	Workshop APD	
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver				
Alternates	Welch, Dutra				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, and advisory comments				
Representing	Michael Luft-Weissberg, Workshop APD				
Public	None				
Concerns (6:13)	<p>Luft-Weissberg – Presented project.</p> <p>Camp – The gable pitch should relate to the main house or the garage.</p> <p>McLaughlin – West elevation, asked what is right of the door (outdoor shower). North elevation, the opening in the roof over the shower is inappropriate.</p> <p>Oliver – No concerns.</p> <p>Coombs – No concerns as long as the roof pitch masses the house.</p>				
Motion	Motion to Approve as submitted. (Coombs)				
Roll-call Vote	Carried 4-1//Oliver, Camp, Coombs, and Pohl-aye; McLaughlin-nay		Certificate #	HDC2020-08-1565	
9. Cannonbury Ln Hold 1 08-1572					
	7 Cannonbury Lane	Hardscape & pool	74/29	Ahern, LLC	
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver				
Alternates	Welch, Dutra				
Recused	None				
Documentation	Landscape design plans, site plan, photos, and advisory comments				
Representing	Miroslava Ahern, Ahern Design, LLC				
Public	None				
Concerns (6:19)	<p>Ahern – Presented project.</p> <p>McLaughlin – This is the third pool of 30 lots; reiterated his concern about duplication. No others have concerns.</p>				
Motion	Motion to Approve. (Oliver)				
Roll-call Vote	Carried 5-0//Coombs, Camp, McLaughlin, Oliver, and Pohl-aye		Certificate #	HDC2020-08-1572	
10. Cannonbury Ln Hold 1 08-1569					
	4 Sleetwing Circle	New cabana	74/23	Workshop APD	
Voting	Pohl, Coombs, McLaughlin, Camp, Dutra				
Alternates	Welch				
Recused	(Oliver stepped out)				
Documentation	Architectural elevation plans, site plan, photos, and advisory comments				
Representing	Michael Luft-Weissberg, Workshop APD				
	Miroslava Ahern, Ahern Design, LLC				
Public	None				
Concerns (6:24)	<p>Luft-Weissberg – Presented project; Numbers 4 & 6 are being built as one lot; design same as just reviewed.</p> <p>Ahern – She would like to cut the driveway in a manner that maintains as much vegetation as possible between the <i>cul de sac</i> and cabana.</p> <p>Coombs – No concerns. She doesn't mind the open roof element.</p> <p>Camp – Not so sure about the orientation of the structure; it doesn't inhibit the view from the circle. It should be manipulated to be less visible. Right now, the cabana looks like the back of something.</p> <p>Dutra – We need to view this but need to know the location of where these are. If the natural vegetation remains, it will screen the cabana. The cabana needs more of a front elevation, unless it will not be visible at all.</p> <p>McLaughlin – There will be too many of these in a rural area; this is inappropriate.</p> <p>Pohl – The pool will be rather exposed on this lot. North elevation, with the open roof feature, faces the circle. Because the west elevation faces the road, it needs more going on and the open roof element is inappropriate.</p>				
Motion	Motion to View with height poles at both ends of the ridge and hold for revisions. (Coombs)				
Roll-call Vote	Carried 5-0//McLaughlin, Camp, Dutra, Coombs, and Pohl-aye		Certificate #		

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

BFC - Cabana
4 Sleetwing Cir

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 74 PARCEL N^o: 23
Street & Number of Proposed Work: 4 SLEETWING CIR
Owner of record: CANNONBURY HOLDINGS 2, LLC
Mailing Address: 105 NEWBURY STREET
BOSTON MA 02116
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: ANDREW KOTCHEN (WORKSHOP/APD)
Mailing Address: PO BOX 521
NANTUCKET, MA 02554
Contact Phone #: 212-273-9712 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other Cabana

Size of Structure or Addition: Length: 24'-0" Sq. Footage 1st floor: 339 Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 14'-0" Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 0' South 0' East 0' West 0'
Height of ridge above final finish grade: North 16'-10" South 16'-10" East 16'-10" West 16'-10"

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 12 /12 Secondary Mass _____ /12 Dormer _____ /12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer N/A Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles NATURAL Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia 1 x 8 Rake 1 x 4 Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing 1X4 Door Frame 1X4 Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer MARVIN

Doors* (type and material): TDL SDL Front FRENCH Rear _____ Side FRENCH

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof NATURAL
Trim NATURAL Sash WHITE Doors WHITE
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 08/25/2020 Signature of owner of record _____ Signed under penalties of perjury

BFC CABANA - LOT 4

BFC

CABANA - LOT 4

4 Sleetwing Cir
Nantucket, MA 02554

OWNER

CANNONBURY LANE PARTNERS, LLC
105 Newbury Street
Boston, MA 02116

ARCHITECT

WORKSHOP/APD

WORKSHOP/APD ARCHITECTURE DPC
39 W 38th Street, 7th Fl, New York, NY 10018
T: (212) 273-9712 info@workshopapd.com

STRUCTURAL ENGINEER

CRAFT - ENGINEERING STUDIO
39 West 38th Street, 7th Fl
New York, NY 10018
T: (646) 912-9867

LANDSCAPE ARCHITECT

MIROSLAVA AHERN LLC
PO Box 2213
Nantucket, MA 02584
T: (508) 333-5138

SURVEYOR

BLACKWELL & ASSOCIATES, INC.
20 Teasdale Circle
Nantucket, MA 02554
T: (508) 228-9028

CONTRACTOR

BLUEFLAG CONSTRUCTION, LLC
105 Newbury Street, 4th Fl
Boston, MA 02116
T: (508) 257-1325

HDC REVISION

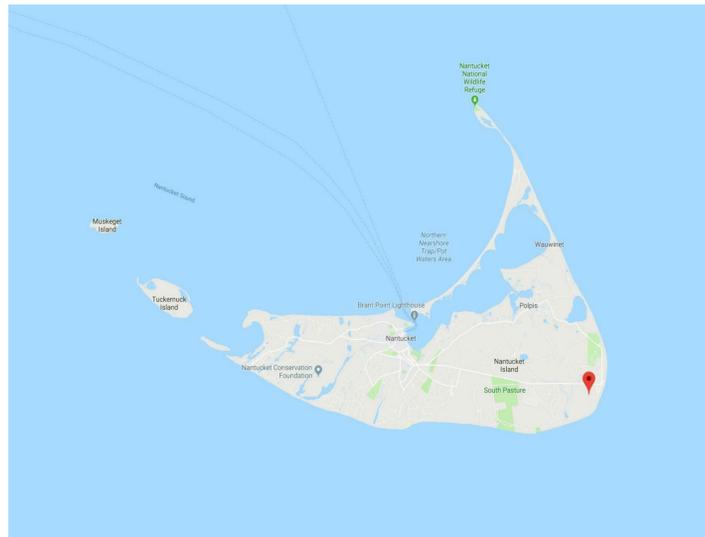
CABANA - LOT 4

16 SEPTEMBER 2020

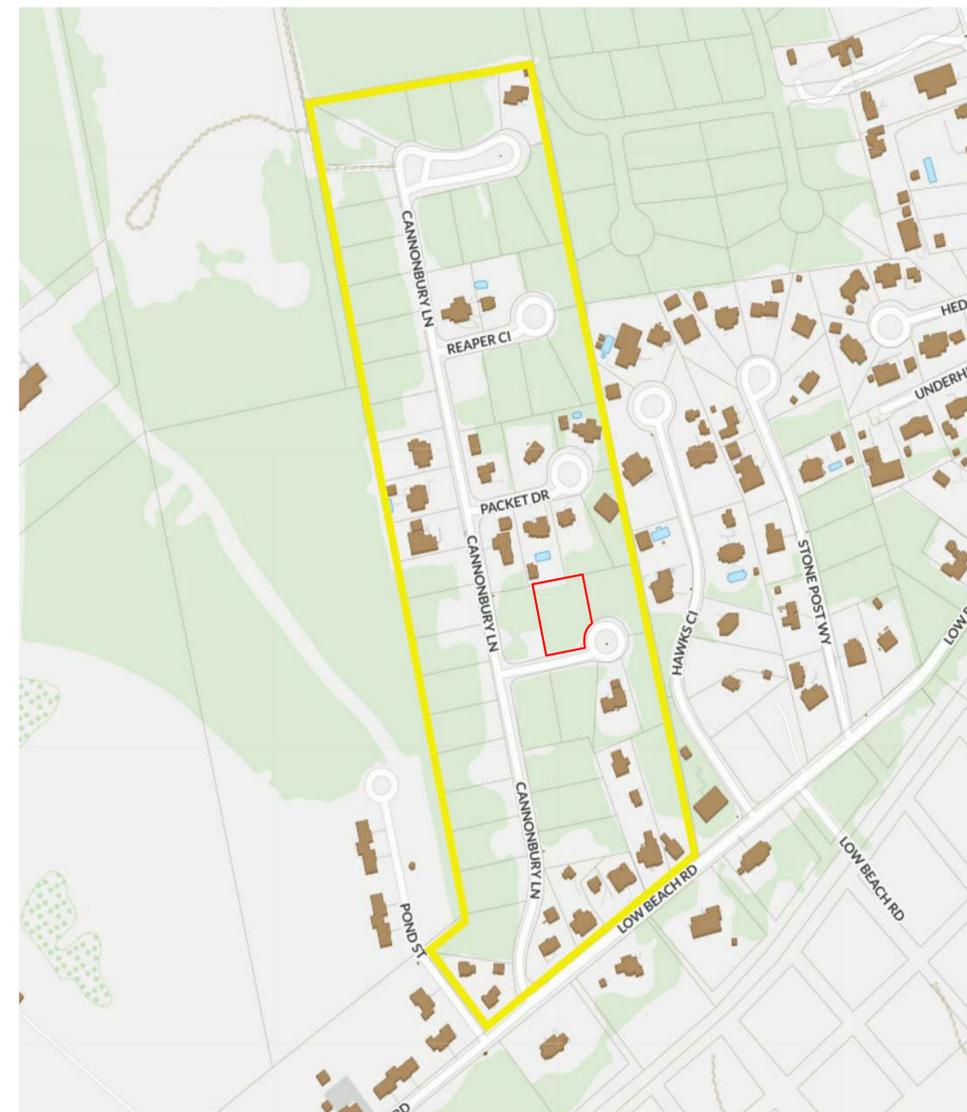
4 Sleetwing Cir
Nantucket, MA 02554

PROJECT NO. - 318008

LOCUS PLAN



LOCUS PLAN



NOT TO SCALE

LIST OF DRAWINGS

SHEET	TITLE	ISSUE TYPE	08/25/2020 HDC SUBMISSION		09/16/2020 HDC REVISION	
T-000	TITLE SHEET	HDC	■	■		
G-100	GENERAL NOTES	HDC	■	■		
L-100	SITE/LOT PLAN	HDC	■	■		
A-100	FLOOR PLANS	HDC	■	■		
A-201	BUILDING ELEVATIONS	HDC	■	■		

ZONING INFORMATION

Map & Parcel	74/23
Current Zoning	SR-20
Minimum Frontage	75 FT.
Front Setback	30 FT.
Side/Rear Setback	10 FT.

Lot Size	23,485 SF
Min. Lot Size	20,000 SF
Allowable G.C.	12.5 %
Max G.C.	2,935.62 SF
Proposed G.C. Cabana	339 SF
Total G.C.	339 SF

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION

FOR CONSTRUCTION



ISSUES

1	08/25/2020	HDC SUBMISSION
2	09/16/2020	HDC REVISION

CONSTRUCTION DOCUMENTS
DRAWN BY: MLW/IZM
CHECKED BY: T.J.Z
DATE: 07/17/2019
SCALE:
PROJ. NO. 318008

TITLE SHEET

T-000

WINDOW COLOR

SASH : WHITE
TRIM : NATURAL

ALL DESIGNS & SPECS ARE SUBJECT TO
VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DESCRIPTION

FOR CONSTRUCTION



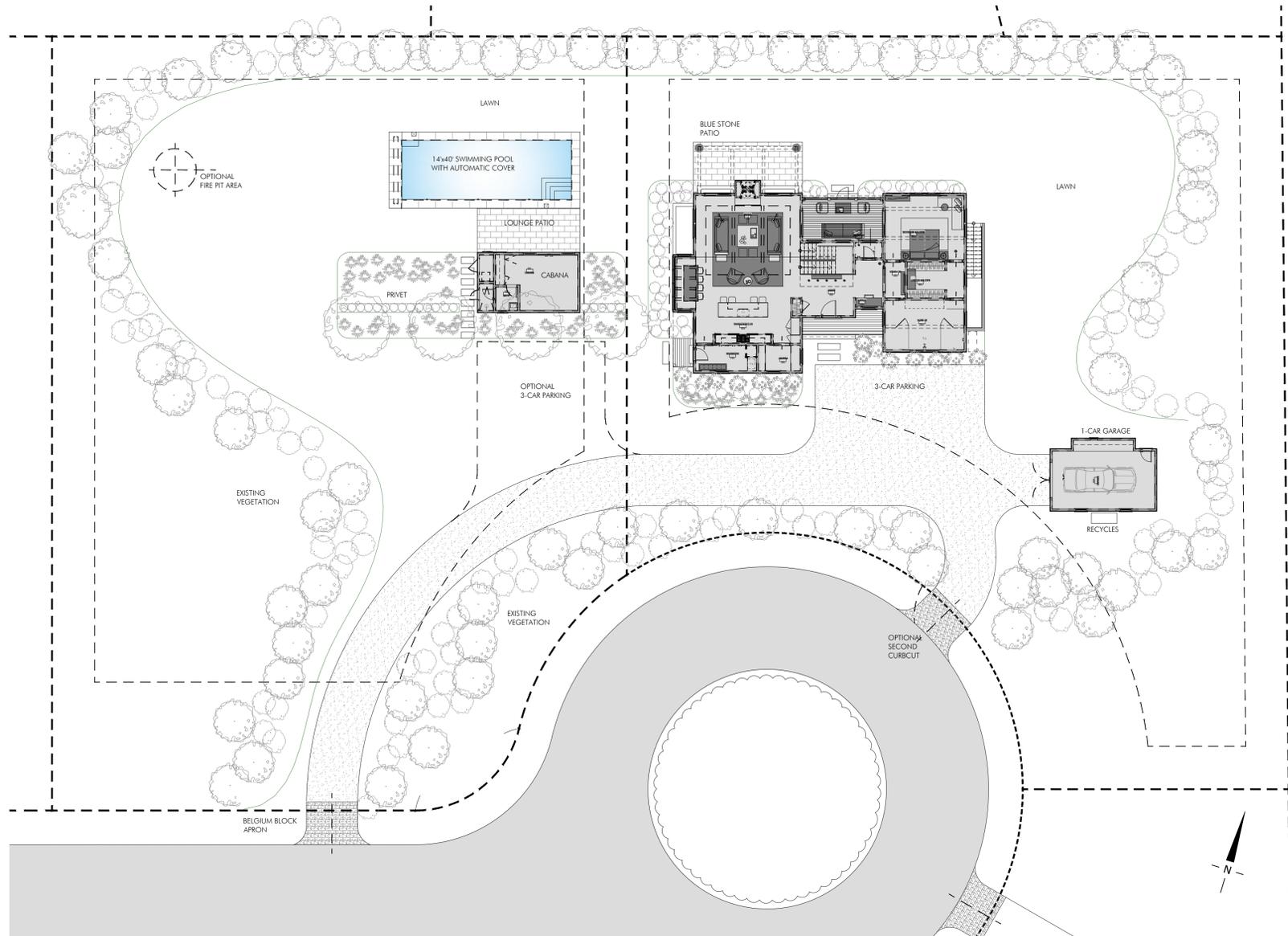
ISSUES

NO.	DATE	DESCRIPTION
1	08/25/2020	HDC SUBMISSION

DRAWING INFO

CONSTRUCTION DOCUMENTS
 DRAWN BY: MLW/IZM
 CHECKED BY: T.JZ
 DATE: 08/03/17
 SCALE:
 PROJ. NO. 318008

SITE/LOT PLAN

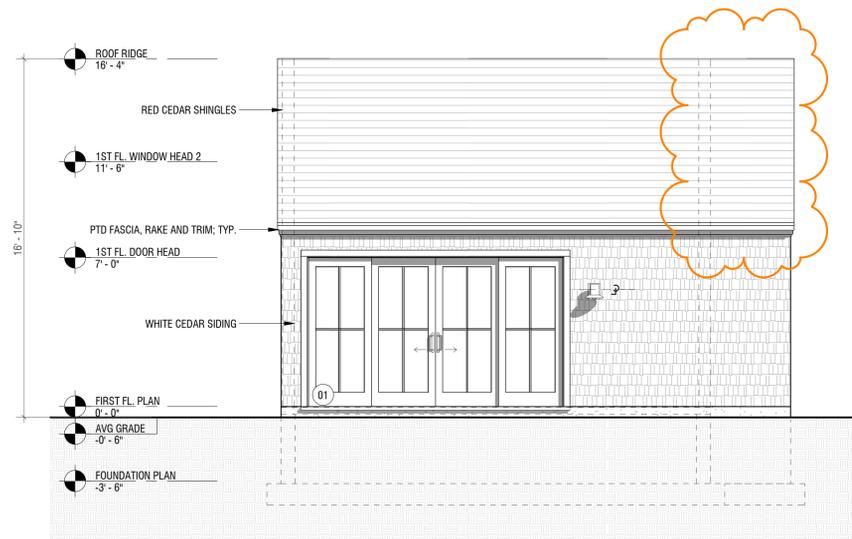


4 & 6 SWEETWING CIRCLE

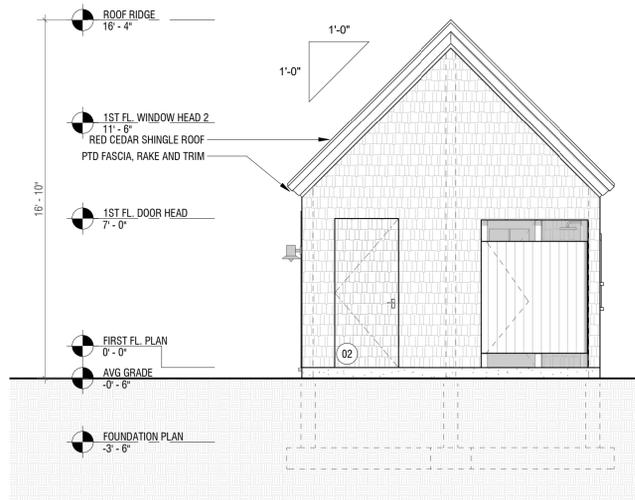
SCALE 1/16" = 1'-0"



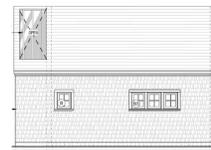
1. REMOVAL OF OPEN ROOF



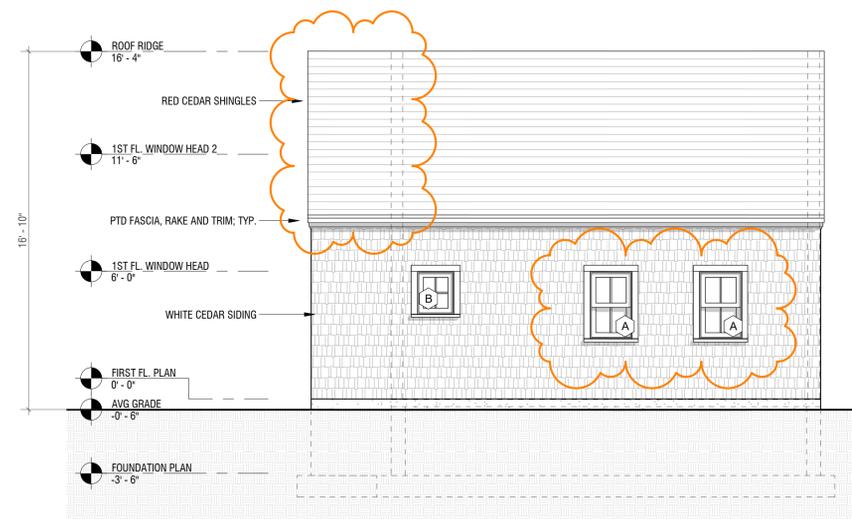
1 SOUTH ELEVATION
1/4" = 1'-0"



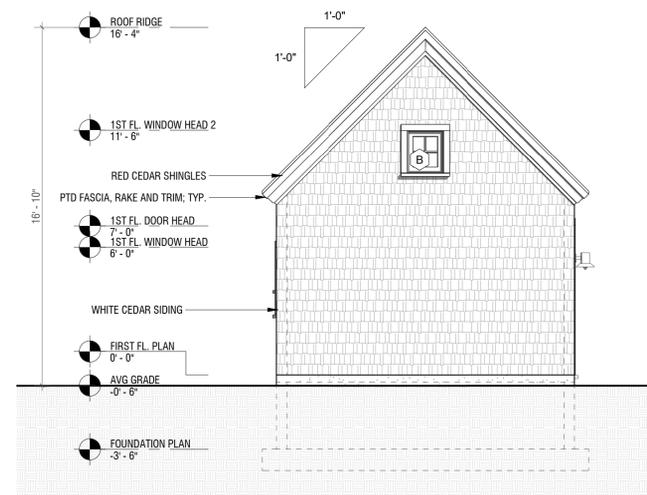
2 WEST ELEVATION
1/4" = 1'-0"



1. REMOVAL OF OPEN ROOF
2. REPLACED TRIPLE FIXED WINDOW WITH (2) DOUBLE HUNG WINDOWS



3 NORTH ELEVATION
1/4" = 1'-0"



4 EAST ELEVATION
1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO
VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION

FOR CONSTRUCTION



ISSUES

- 1 08/25/2020 HDC SUBMISSION
- 2 09/16/2020 HDC REVISION

DRAWING INFO

CONSTRUCTION DOCUMENTS
DRAWN BY: MLW/IZM
CHECKED BY: T.JZ
DATE: 01/16/2019
SCALE: 1/4" = 1'-0"
PROJ. NO. 318008

BUILDING ELEVATIONS

ALL DESIGNS & SPECS ARE SUBJECT TO
VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION

FOR CONSTRUCTION



ISSUES

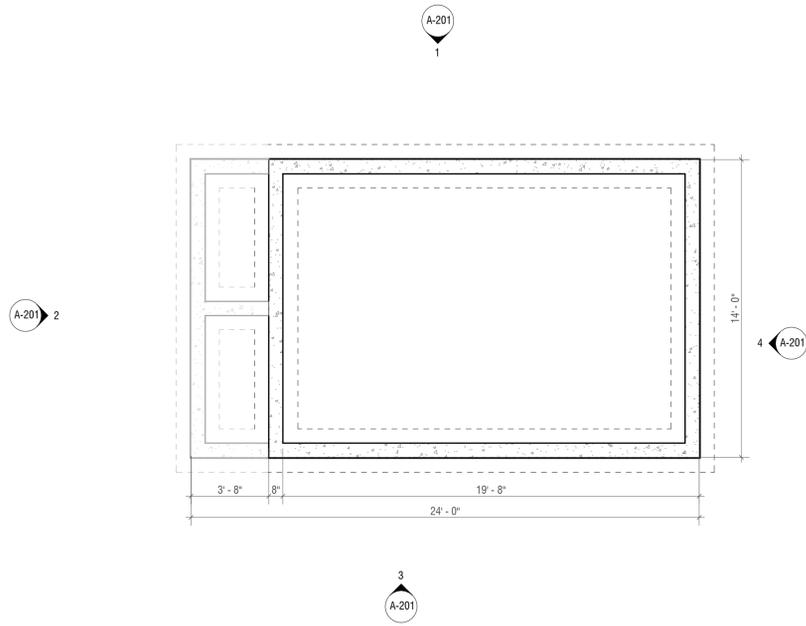
1	08/25/2020	HDC SUBMISSION
2	09/16/2020	HDC REVISION

DRAWING INFO

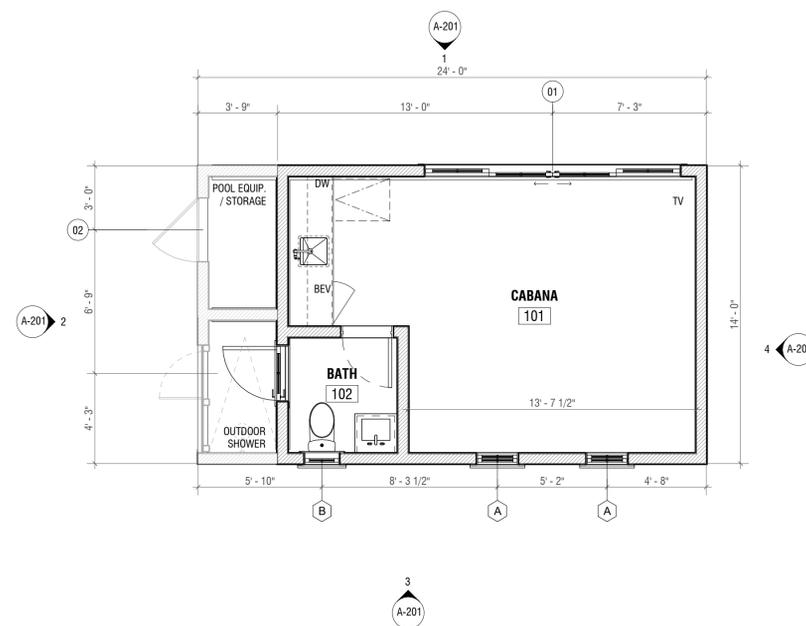
CONSTRUCTION DOCUMENTS
DRAWN BY: MLW/JM
CHECKED BY: T.JZ
DATE: 09/04/2018
SCALE: 1/4" = 1'-0"
PROJ. NO. 318008

FLOOR PLANS

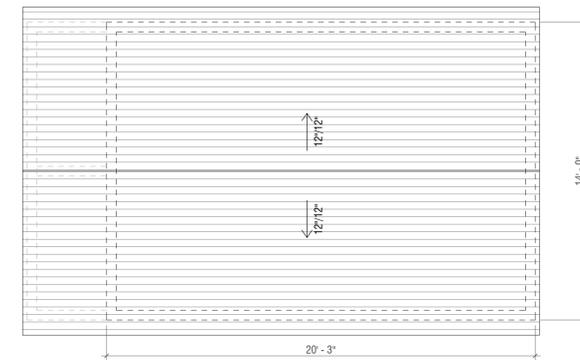
A-100



3 FOUNDATION PLAN
1/4" = 1'-0"



2 FIRST FL. PLAN
1/4" = 1'-0"



1 ROOF PLAN
1/4" = 1'-0"

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 73.1.13 PARCEL N°: 76
 Street & Number of Proposed Work: 8 Lentor St Sias
 Owner of record: Mary O'Connell
 Mailing Address: 8 Lentor St Sias
Siasconset, MA 02654
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Concept Design
 Mailing Address: 93 1/2 Vesper Lane
Nantucket MA 02559
 Contact Phone #: 5082212009 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. HDC 2019.12-03
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____

Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
 Original Date: _____ (describe) 2. South Elevation **relocate AC Condenser**
 Original Builder: _____ 3. West Elevation
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

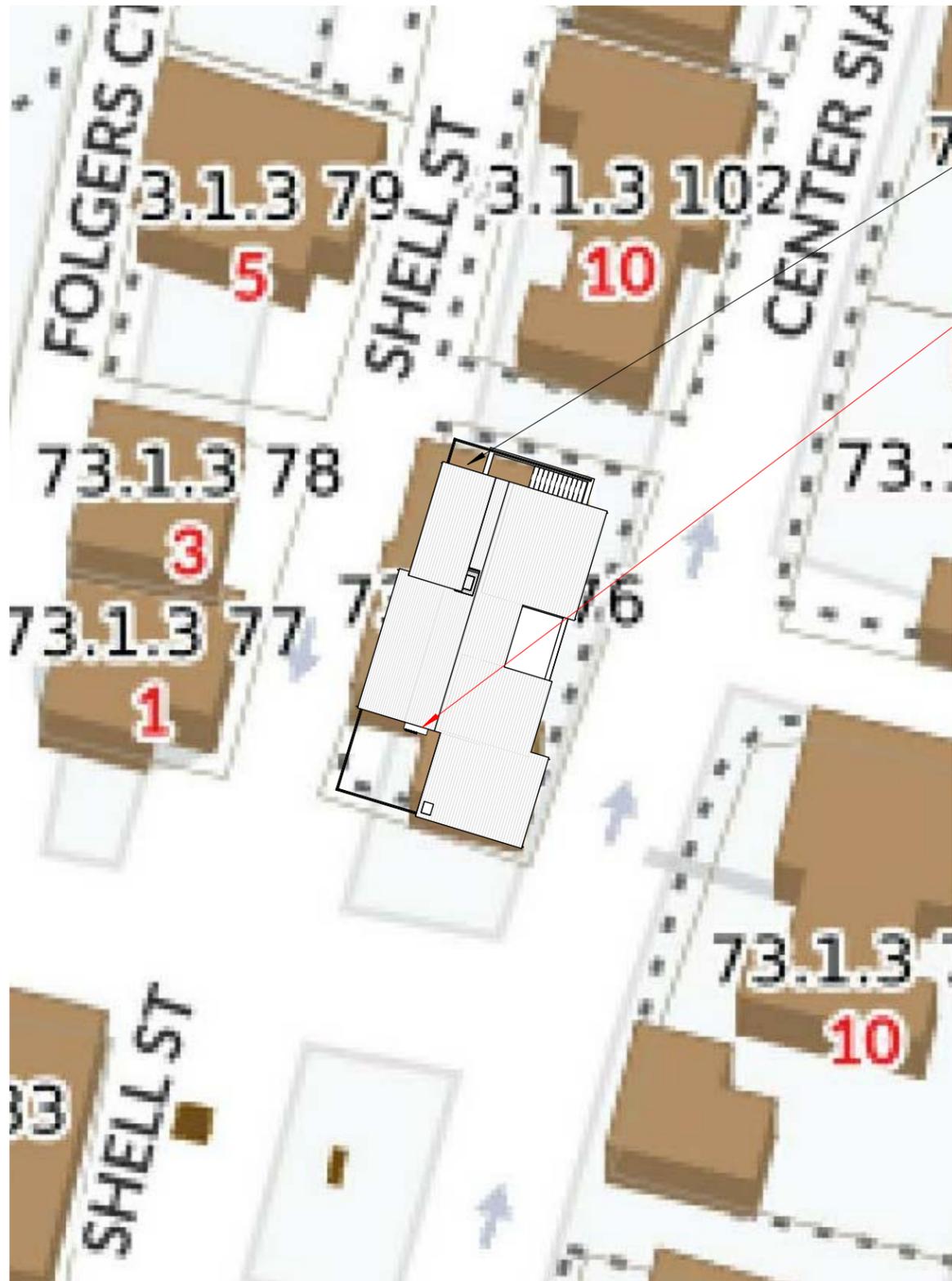
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date _____ Signature of owner of record _____ Signed under penalties of perjury



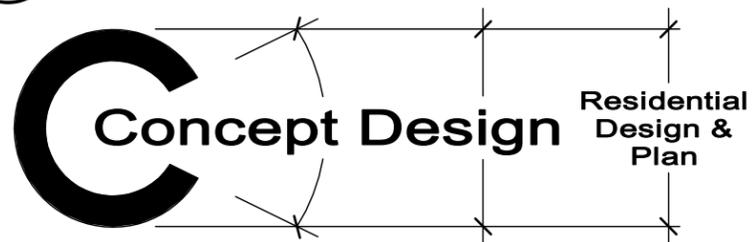
Previous Approved AC Location

New A/C Condenser Location



1 Site Plan
1" = 20'-0"

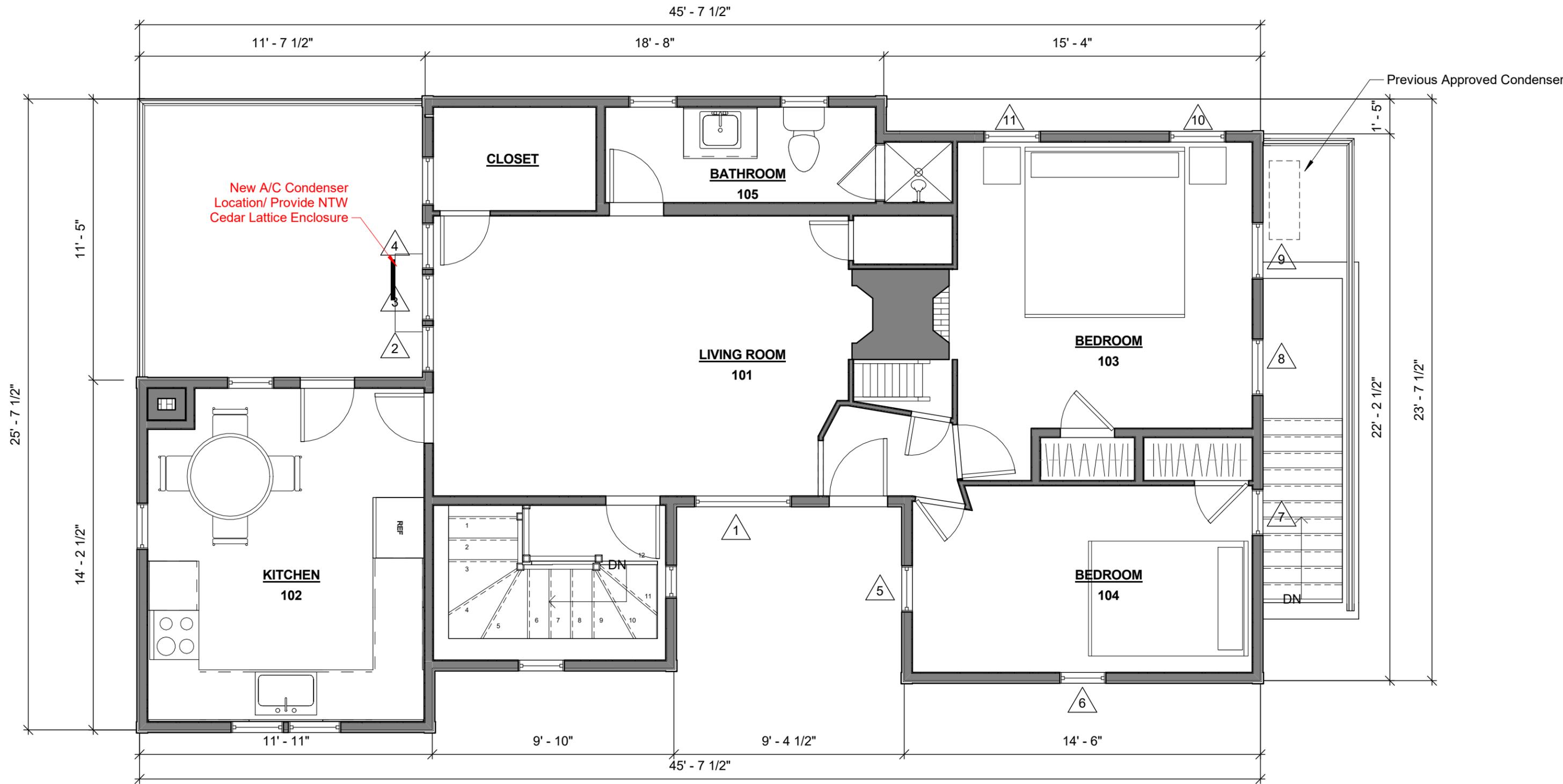
508.221.3009
33 1/2 Vesper Lane
Nantucket, MA 02554



Oconnell Residence
8 Center Street Sias
Nantucket, MA 02554

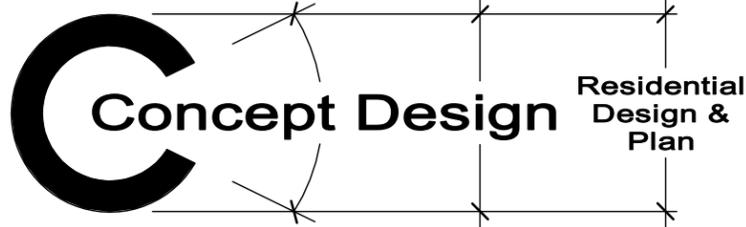
Map & Parcel	73.1.13 -76	Min. Lot Size	5,000 SF
Current Zoning	SOH	Allowable G.C.	x%, or xxxx SF
Minimum Frontage	50 FT	Lot Size	1,555 SF
Front Setback	0 FT	Existing G.C.	xxxx SF
Side/Rear Setback	5 FT	Proposed G.C.	xxxx SF
		Total Proposed G.C.	xxxx SF

C1.1
#1907



1 First Floor
1/4" = 1'-0"

508.221.3009
33 1/2 Vesper Lane
Nantucket, MA 02554



Oconnell Residence
8 Center Street Sias
Nantucket, MA 02554

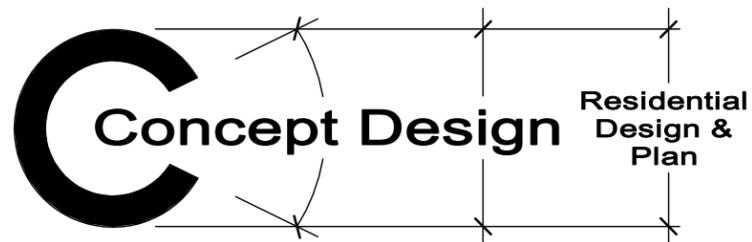
Map & Parcel	73.1.13 -76	Min. Lot Size	5,000 SF
Current Zoning	SOH	Allowable G.C.	x%, or xxxx SF
Minimum Frontage	50 FT	Lot Size	1,555 SF
Front Setback	0 FT	Existing G.C.	xxxx SF
Side/Rear Setback	5 FT	Proposed G.C.	xxxx SF
		Total Proposed G.C.	xxxx SF

A1.1
#1907



1 East Elevation
1/4" = 1'-0"

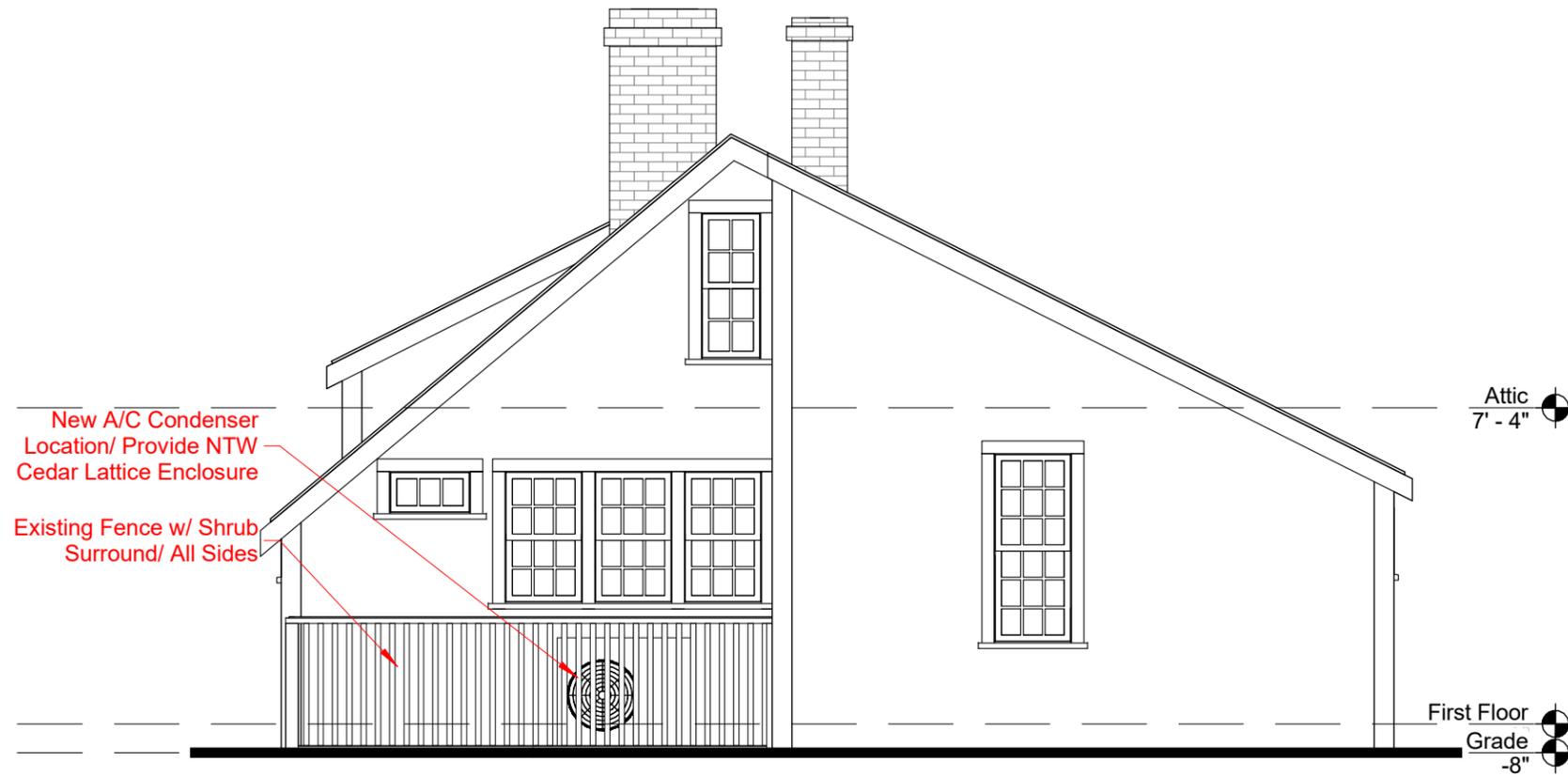
508.221.3009
33 1/2 Vesper Lane
Nantucket, MA 02554



Oconnell Residence
8 Center Street Sias
Nantucket, MA 02554

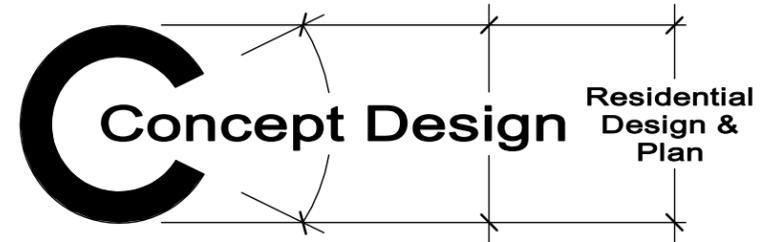
Map & Parcel	73.1.13 -76	Min. Lot Size	5,000 SF
Current Zoning	SOH	Allowable G.C.	x%, or xxxx SF
Minimum Frontage	50 FT	Lot Size	1,555 SF
Front Setback	0 FT	Existing G.C.	xxxx SF
Side/Rear Setback	5 FT	Proposed G.C.	xxxx SF
		Total Proposed G.C.	xxxx SF

A2.1
#1907



1 South Elevation
1/4" = 1'-0"

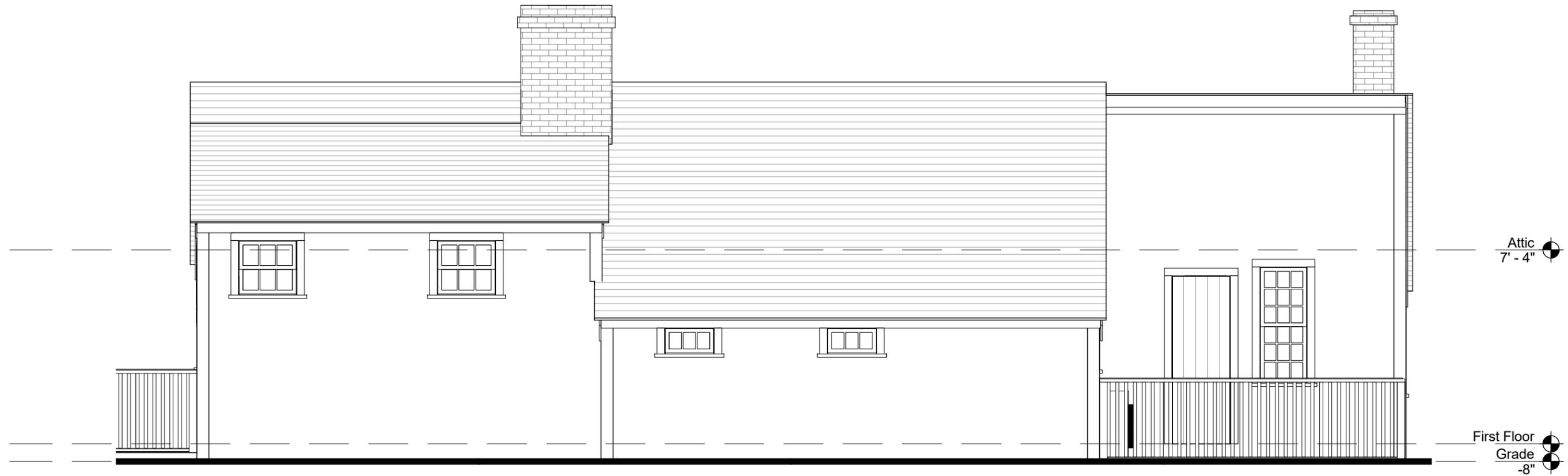
508.221.3009
33 1/2 Vesper Lane
Nantucket, MA 02554



Oconnell Residence
8 Center Street Sias
Nantucket, MA 02554

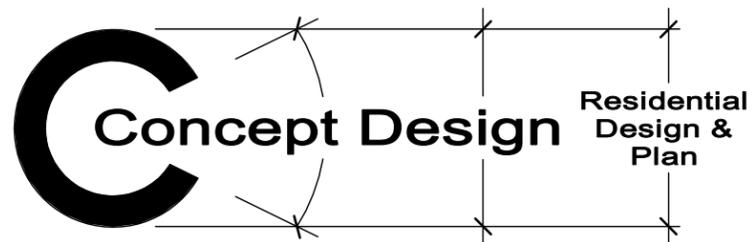
Map & Parcel	73.1.13 -76	Min. Lot Size	5,000 SF
Current Zoning	SOH	Allowable G.C.	x%, or xxxx SF
Minimum Frontage	50 FT	Lot Size	1,555 SF
Front Setback	0 FT	Existing G.C.	xxxx SF
Side/Rear Setback	5 FT	Proposed G.C.	xxxx SF
		Total Proposed G.C.	xxxx SF

A2.2
#1907



1 West Elevation
1/4" = 1'-0"

508.221.3009
33 1/2 Vesper Lane
Nantucket, MA 02554

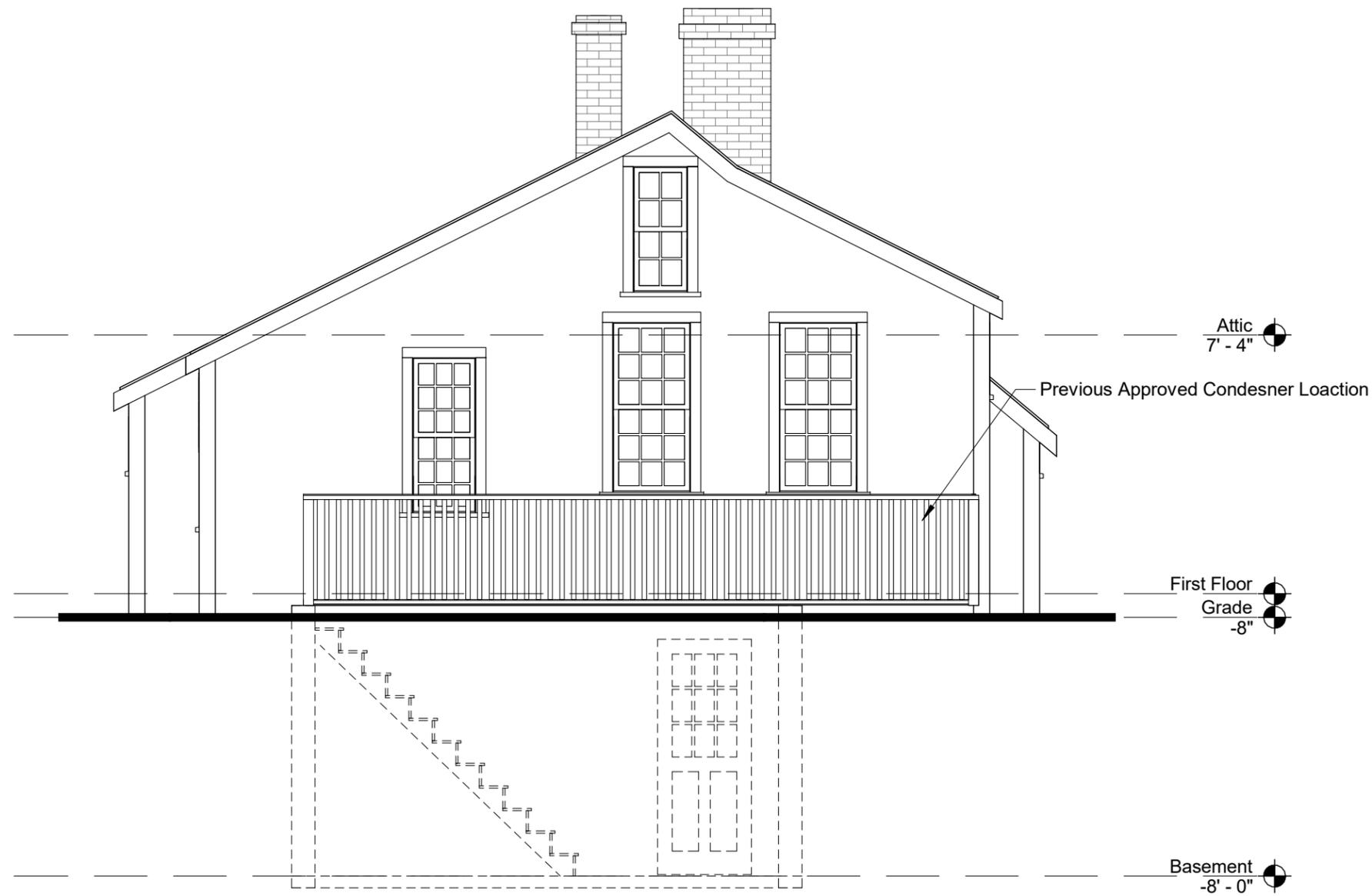


Oconnell Residence
8 Center Street Sias
Nantucket, MA 02554

Map & Parcel	73.1.13 -76	Min. Lot Size	5,000 SF
Current Zoning	SOH	Allowable G.C.	x%, or xxxx SF
Minimum Frontage	50 FT	Lot Size	1,555 SF
Front Setback	0 FT	Existing G.C.	xxxx SF
Side/Rear Setback	5 FT	Proposed G.C.	xxxx SF
		Total Proposed G.C.	xxxx SF

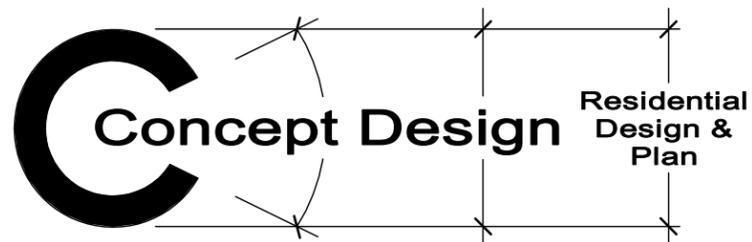
A2.3

#1907



1 North Elevation
1/4" = 1'-0"

508.221.3009
33 1/2 Vesper Lane
Nantucket, MA 02554



Oconnell Residence
8 Center Street Sias
Nantucket, MA 02554

Map & Parcel	73.1.13 -76	Min. Lot Size	5,000 SF
Current Zoning	SOH	Allowable G.C.	x%, or xxxx SF
Minimum Frontage	50 FT	Lot Size	1,555 SF
Front Setback	0 FT	Existing G.C.	xxxx SF
Side/Rear Setback	5 FT	Proposed G.C.	xxxx SF
		Total Proposed G.C.	xxxx SF

A2.4

#1907



EAST



SOUTH



WEST



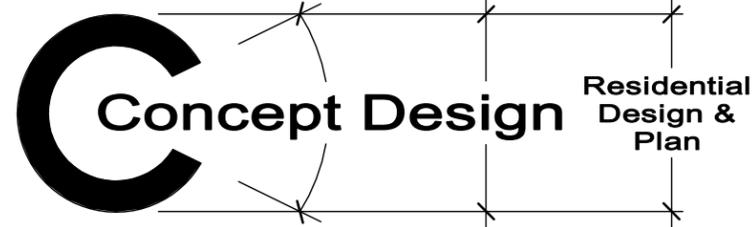
NORTH

New A/C Condenser Location

Oconnell Residence
8 Center Street Sias
Nantucket, MA 02554

Map & Parcel	73.1.13 -76	Min. Lot Size	5,000 SF
Current Zoning	SOH	Allowable G.C.	x%, or xxxx SF
Minimum Frontage	50 FT	Lot Size	1,555 SF
Front Setback	0 FT	Existing G.C.	xxxx SF
Side/Rear Setback	5 FT	Proposed G.C.	xxxx SF
		Total Proposed G.C.	xxxx SF

508.221.3009
33 1/2 Vesper Lane
Nantucket, MA 02554



C1.2
#1907

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 54 PARCEL N°: 274
Street & Number of Proposed Work: 10 SHEEP COMMONS LANE
Owner of record: O'CONNELL, CHRISTOPHER & JAMIE
Mailing Address: PO BOX 2992
NANTUCKET MA 02584
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: _____
Mailing Address: ATLANTIC LANDSCAPING
6 MARBLE WAY, NANTUCKET MA 02584
Contact Phone #: 508 367 3012 E-mail: LINDSAY@ATLANTICLANDSCAPING.INC.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District W63) Roof Other _____
Size of Structure or Addition: Length: 32' Sq. Footage 1st floor: _____ Sq. Footage 2nd floor: _____ Sq. Footage 3rd floor: _____
Width: 18' Sq. Footage 1st floor: _____ Sq. Footage 2nd floor: BLUESTONE Sq. Footage 3rd floor: _____
Size of Deck/Patio: Size: 11-6" x 24'-0" 1st floor 2nd floor
POOL Size: 24'-0" x 24'-0" 1st floor 2nd floor
8-6" x 12'-0"

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

REVISIONS*

Historic Name: _____
Original Date: _____ (describe) _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 06-21-2020 Signature of owner of record _____ Signed under penalties of perjury _____

Williams – We will ask the new Board that all prior information be incorporated into the new file so as not to have to resubmit all that information. This has happened in the past.

Andrews – Asked about the disposition of the hardscaping application in the face of this withdrawal.

Pohl – Wants to resolve the issue of this application first; we’ll discuss the landscaping application when we get to it.

Skehel – From what is being said, it would behoove us to withdraw and resubmit for a 5-member board.

No Action at This Time.

Motion

Roll-call Vote N/A

Certificate #

V. NEW BUSINESS

	<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1.	450 Green Park LLC	2 Stone Alley	Hardscape: gate/patio	42.3.1-102	LINK
Voting	Pohl, Coombs, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Landscape design plans, site plan, photos, advisory comments.				
Representing	Miroslava Ahern, Ahern Design, LLC Victoria Ewing, LINK				
Public	Sarah Alger, Sarah F. Alger P.C., for Virginia Andrews Linda Williams, for Virginia Andrews Virginia Andrews, 1 Stone Alley				
Concerns (1:26)	Ewing – We do not want to this heard at this time and ask this to track the new application for the addition. Not opened at this time.				
Motion	No Action at This Time.				
Roll-call Vote	N/A			Certificate #	
2.	Teddy Boomer, LLC 08-1544	94 Tom Nevers Road	Gate	91/41	Atlantic Landscaping
Voting	Pohl, Coombs, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Landscape design plans, site plan, and photos.				
Representing	Lindsay Congleton, Atlantic Landscaping Inc.				
Public	None				
Concerns (1:28)	Congleton – Presented project; provided precedent photos for white driveway gates; horizontal rails are thin Pohl – The horizontal members on the gate across the street, asked if they are wide board with narrow gaps or vice versa. Suggested the rails be 1X4. Camp – She has no concerns. Coombs – Prefers the gate design that’s across the street; thinks it would go better with the stone pillars. Oliver – It’s okay. Welch – Would like the horizontal members beefed up a bit more; otherwise it’s fine.				
Motion	Motion to Approve through staff with the horizontal members increased to be 1X4. (Camp)				
Roll-call Vote	Carried unanimously//Welch, Coombs, Oliver, Camp, and Pohl-aye			Certificate # HDC2020-08-1544	
3.	Chris O’Connell 08-1556	10 Sheep Commons	Pool & retaining walls	54-274	Atlantic Landscaping
Voting	Pohl, Coombs, Camp, Oliver, Welch				
Alternates	None				
Recused	None				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Lindsay Congleton, Atlantic Landscaping Inc.				
Public	None				
Concerns (1:35)	Congleton – Presented project; grade will be “sloping to the top of the wall.” Oliver – This is probably fine; however, would like more information delineating the details; it doesn’t say how high the walls are or how far the pool is sunken or anything. In the future we need to have all the information; there is nothing here for the inspector to reference. Welch – The topography of the Land Bank area is such that the back yard is within that contour; the pool is parallel to the contour that would hide it. This might be visible from the Land Bank property so would like to view this. Wants the information on the wall as well. Coombs – Agrees with Mr. Welch. Would like to see an elevation of the waterfall with its height. Camp – Wants to know what the vegetation will be in front of the stone wall; wants the stone softened from the outside with a natural vegetation. Pohl – Doesn’t understand what is meant by “sloping to the top of the wall?”; otherwise the wall is 4 feet.				
Motion	Motion to View and Hold for revisions and more information on topography and a cut through from the walls to pool and planting plan. (Oliver)				
Roll-call Vote	Carried unanimously//Camp, Coombs, Welch, Oliver, and Pohl-aye			Certificate #	



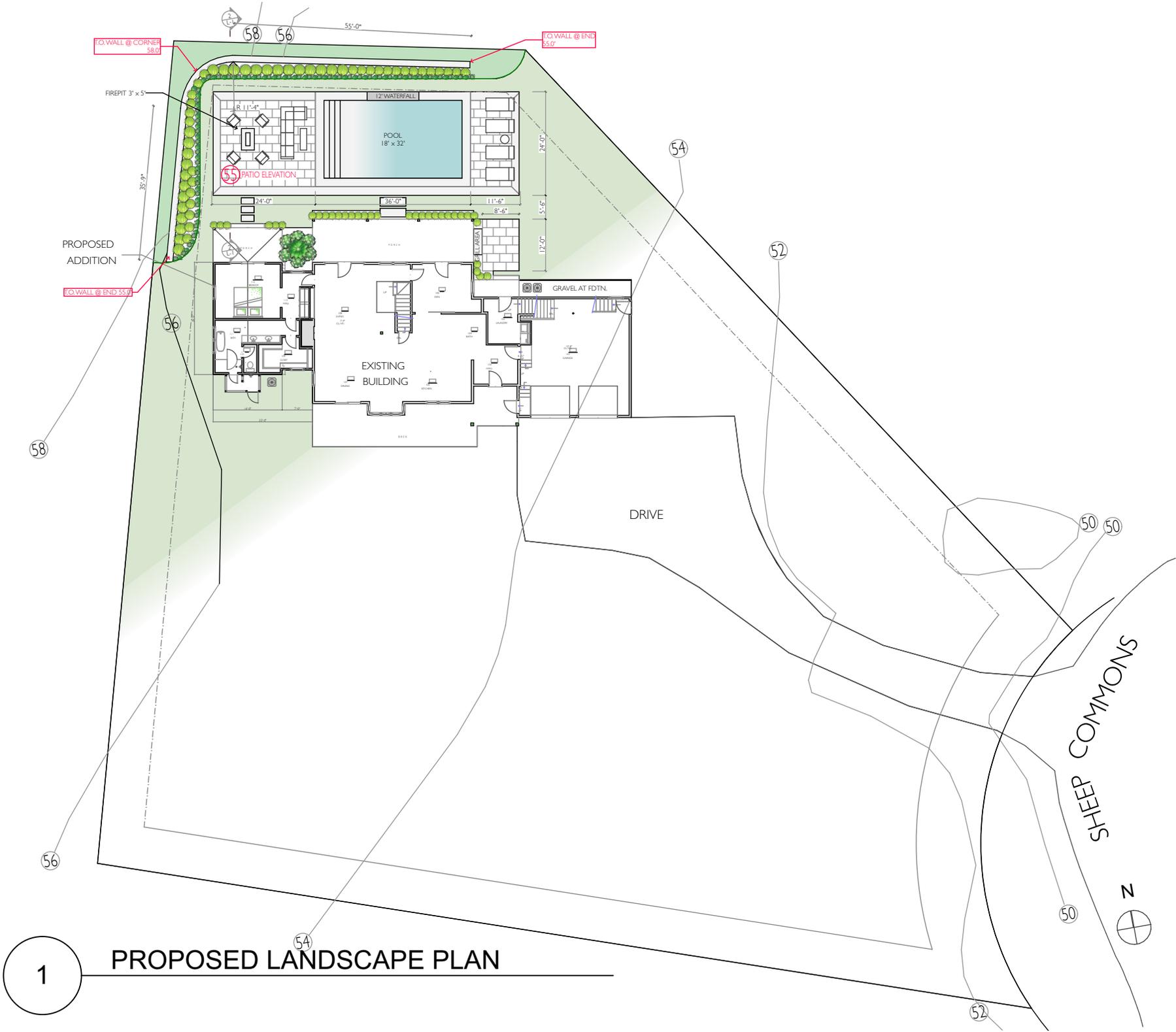
MARK	DATE

Site Plan 8.5 x 11

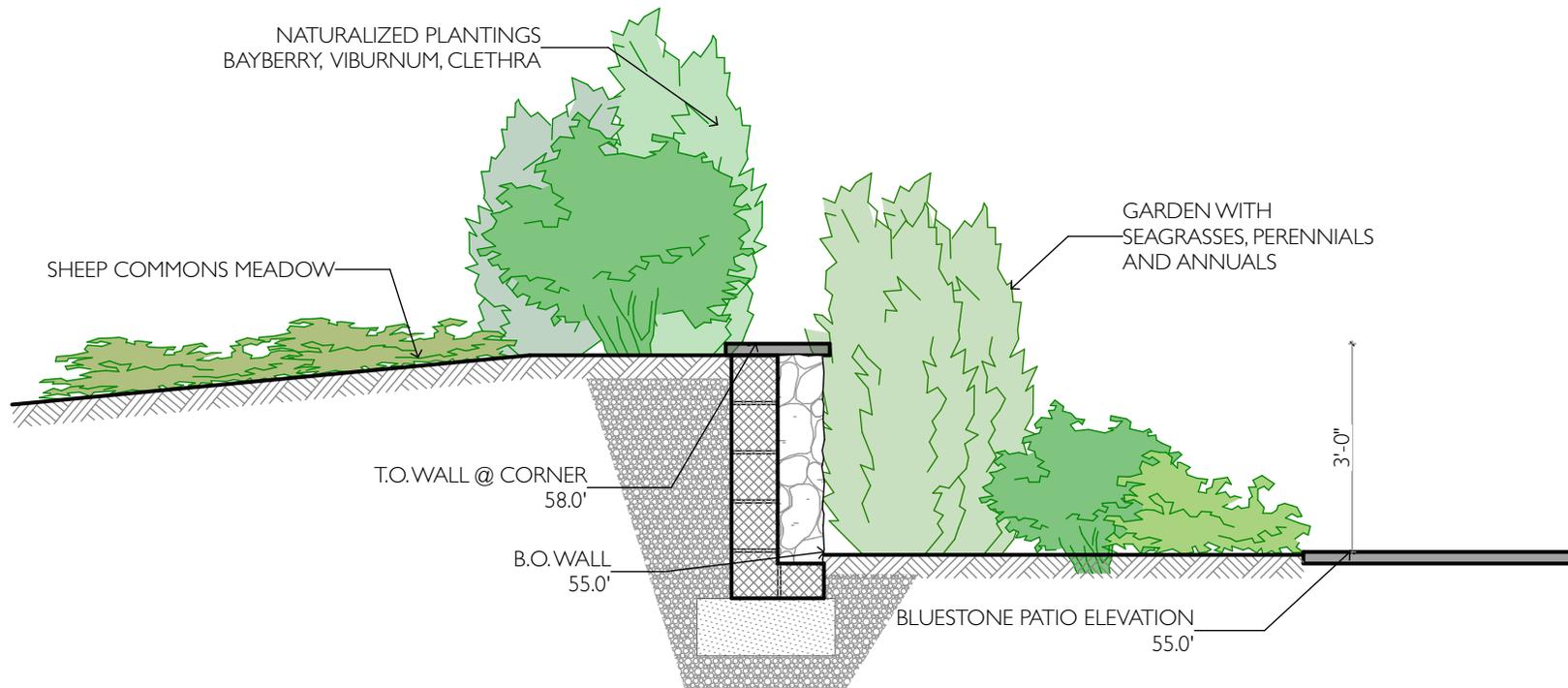
Pool at
10 SHEEP COMMONS
LANE
Nantucket, Ma. 02554

M: 54
P: 274
Zoning: LUG-3
Front Setback: 35 Ft
S&R Setback: 20 Ft
Scale: As Noted
Plotted: 9/10/20
Drawing No.:

HDC.2



1 PROPOSED LANDSCAPE PLAN



1

SECTION thru WALL AND PATIO
SCALE: 3/8" = 1'-0"

MARK	DATE

Section thru Wall and Bluestone

Pool at
10 SHEEP COMMONS
LANE
Nantucket, Ma. 02554

M: 54
P: 274
Zoning: LUG-3
Front Setback: 35 Ft
S&R Setback: 20 Ft
Scale: As Noted
Plotted: 9/10/20
Drawing No.:

HDC.3



MARK	DATE

Site Photos 8.5 x 11

Pool at
10 SHEEP COMMONS
LANE
Nantucket, Ma. 02554

M: 54
P: 274
Zoning: LUG-3
Front Setback: 35 Ft
S&R Setback: 20 Ft
Scale: As Noted
Plotted: 9/10/20
Drawing No.:

HDC.4



MARK	DATE

Site Photos 8.5 x 11

Pool at
10 SHEEP COMMONS
LANE
Nantucket, Ma. 02554

M: 54
P: 274
Zoning: LUG-3
Front Setback: 35 Ft
S&R Setback: 20 Ft
Scale: As Noted
Plotted: 9/10/20
Drawing No.:

HDC.5



1 POOL WITH BLUESTONE COPING



3 SHEER DESCENT WATERFALL



2 BLUESTONE PATIO AT POOL

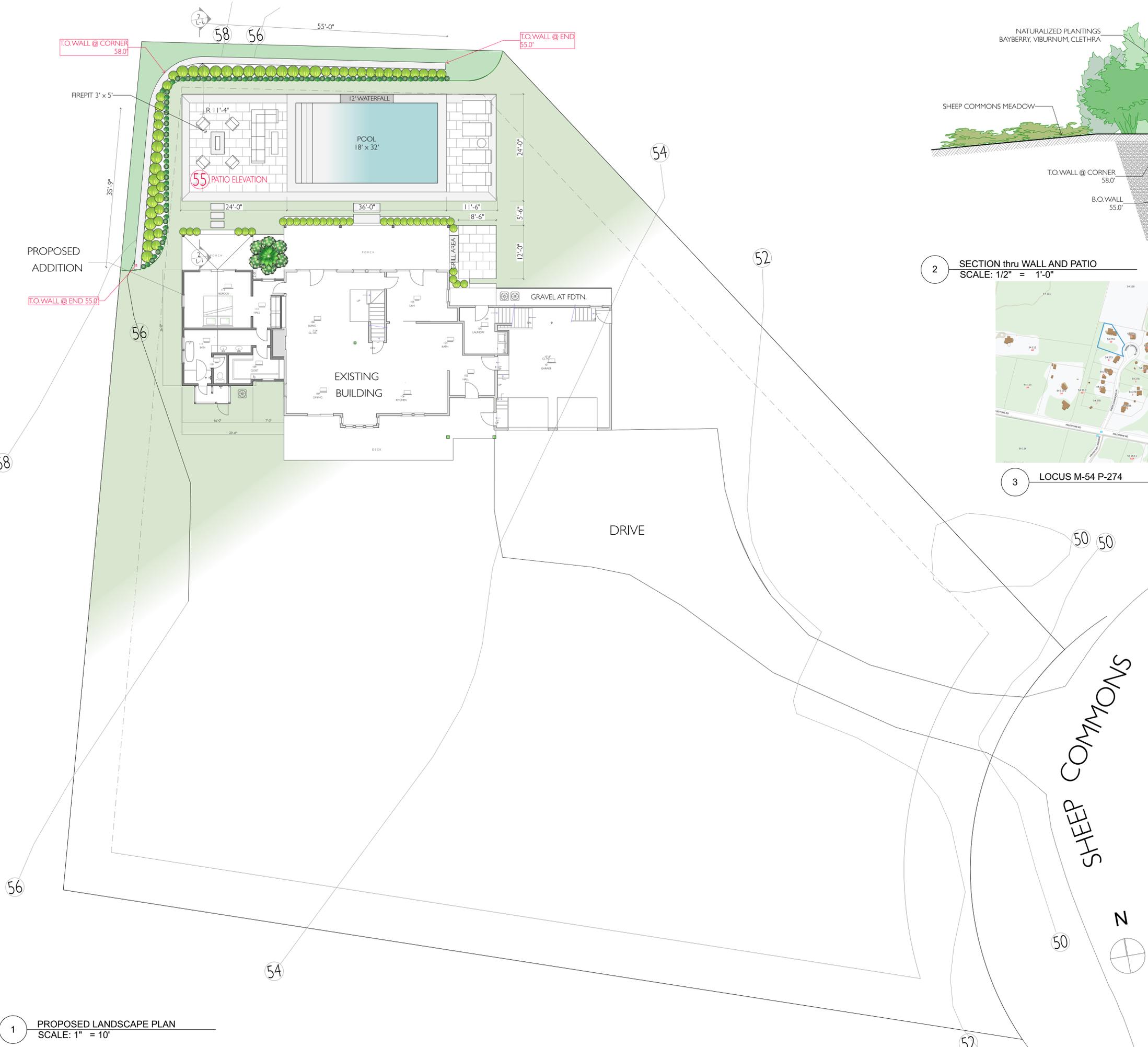


MARK	DATE

Materials Photos 8.5 x 11

Pool at
 10 SHEEP COMMONS
 LANE
 Nantucket, Ma. 02554
 M: 54
 P: 274
 Zoning: LUG-3
 Front Setback: 35 Ft
 S&R Setback: 20 Ft
 Scale: As Noted
 Plotted: 9/10/20
 Drawing No.:

HDC.6



1 PROPOSED LANDSCAPE PLAN
SCALE: 1" = 10'

2 SECTION thru WALL AND PATIO
SCALE: 1/2" = 1'-0"



3 LOCUS M-54 P-274



4 BLUESTONE PATIO AT POOL



6 SHEER DESCENT WATERFALL



5 POOL WITH BLUESTONE COPING



MARK	DATE

Proposed Landscape Plan

Pool at
10 SHEEP COMMONS
LANE
Nantucket, Ma. 02554

M: 54
P: 274
Zoning: LUG-3
Front Setback: 35 Ft
S&R Setback: 20 Ft
Scale: As Noted
Plotted: 9/10/20
Drawing No.:

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 54 PARCEL N^o: 274
Street & Number of Proposed Work: 10 SHEEP COMMONS LANE
Owner of record: O'CONNELL, CHRISTOPHER & JANIE
Mailing Address: PO BOX 2992
NANTUCKET MA 02584
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: _____
Mailing Address: ATLANTIC LANDSCAPING
6 MARBLE WAY, NANTUCKET MA 02554
Contact Phone #: 508 361 3012 E-mail: _____
lindsay@atlanticlandscapinginc.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED
See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District W63) Roof Other _____
Size of Structure or Addition: Length: 32' Sq. Footage 1st floor: _____ Deck/Patio: Size: 11-6" x 24-0" 1st floor 2nd floor
POOL Width: 18' Sq. Footage 2nd floor: _____ BLUESTONE Size: 24-0" x 24-0" 1st floor 2nd floor
Sq. Footage 3rd floor: _____ 8-6" x 12-0"

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

REVISIONS:

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____ /12 Secondary Mass _____ /12 Dormer _____ /12 Other _____
Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

Fence: Height: _____
Type: _____
Length: _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 08-21-2020 Signature of owner of record _____ Signed under penalties of perjury _____

HDC COPY 08-25-2020
NEW BUSINESS 08-31-2020
EMAIL



MARK	DATE

Locus 8.5 x 11

Pool at
10 SHEEP
COMMONS LANE
Nantucket, Ma.
02554

M: 54
P: 274
Zoning: LUG-3
Front Setback: 35 Ft
S&R Setback: 90 Ft
Scale: As Noted
Plotted: 8/21/2020
Drawing No.:

HDC.1



1 LOCUS M-54 P-274

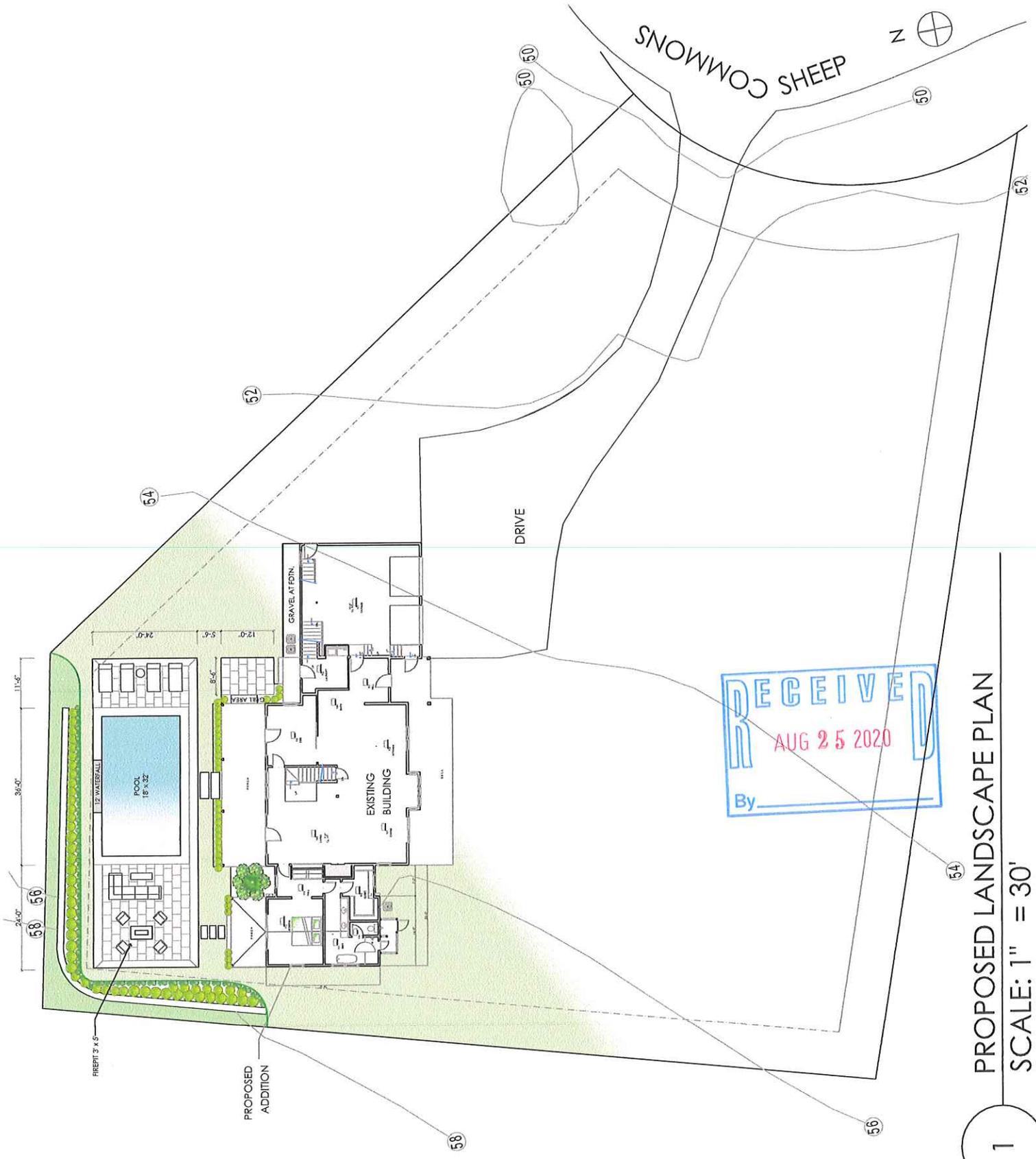


NO.	DATE

Site Plan 8.5 x 11

Pool at
 10 SHEEP
 COMMONS LANE
 Nantucket, Ma.
 02554
 M: 54
 P: 274
 Zoning: LUG-3
 Front Setback: 35 Ft
 S&R Setback: 20 Ft
 Scale: As Noted
 Plotted: 8/21/2020
 Drawing No.:

HDC.2

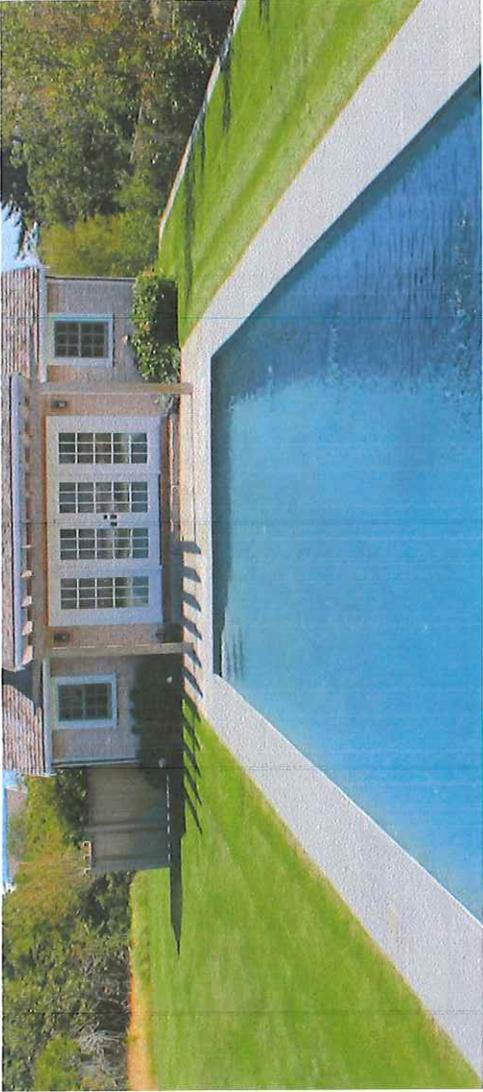


RECEIVED
 AUG 25 2020
 By _____

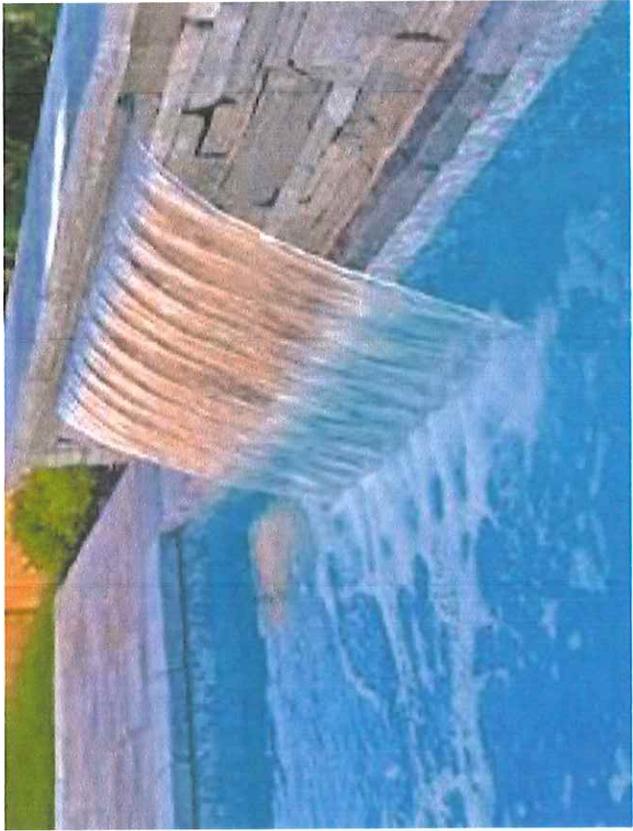
PROPOSED LANDSCAPE PLAN

SCALE: 1" = 30'

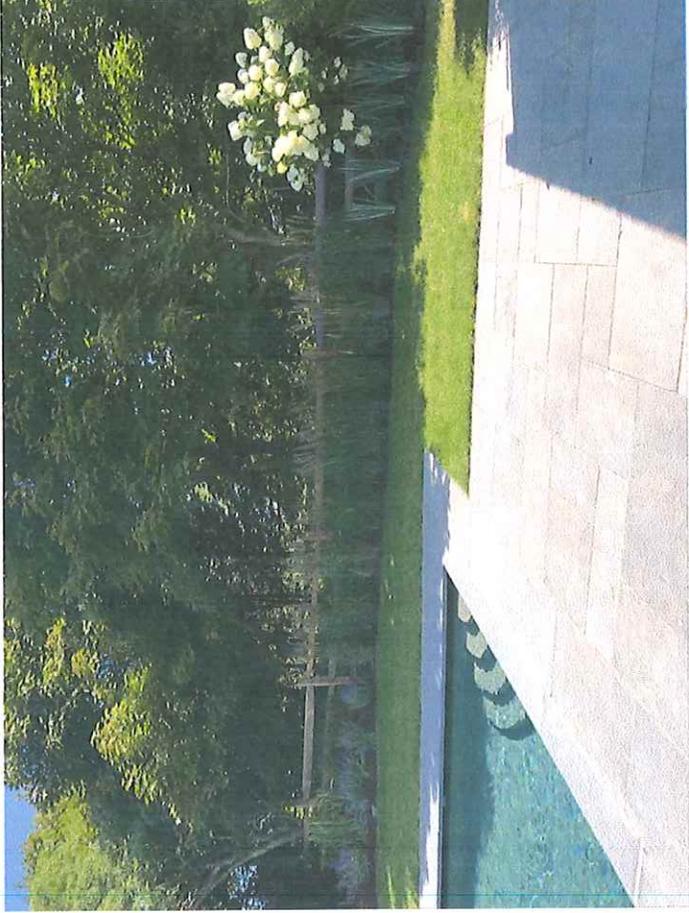
1



1 POOL WITH BLUESTONE COPING



3 SHEER DESCENT WATERFALL



2 BLUESTONE PATIO AT POOL

MARK	DATE



HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road
Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Email: hdcsubmissions@nantucket-ma.gov

COMMISSIONERS

Ray Pohl
Chairman

Diane Coombs
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

STAFF

Cathy Flynn
Land Use Specialist
cflynn@nantucket-ma.gov

Waiver of the HDC 10 Day Hearing Requirement

I LINDSAY CONBLETON
AS AGENT FOR O'CONNELL, CHRISTOPHER & JAMIE
STREET ADDRESS 10 SHEEP COMMONS LN.
MAP/PARCEL 54 | 274

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON
8/25/2020

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE
COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

**SECTION 8 of the HDC enabling legislation: ... The Commission shall meet
within ten (10) days of the receipt of an application for a certificate of
appropriateness or permit for removal...**

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

[Signature]
Signature

8/25/2020
Date

10 sheep commons



THIS CHECKLIST IS TO BE SUBMITTED WITH ALL HDC APPLICATIONS

Rev Jan 2020

REQUIRED WITH ALL APPLICATIONS:

- ✓
- ✓
- \$200 ✓
- ✓
- ✓
- ✓
- ✓
- ✓

1. **Completed Application Form:** Description of ALL work must be indicated on application form.
2. **Property Owner's Signature:** Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
3. **Application Fee:** See back of application for fee schedule or call the office.
4. **Locus Map (4 copies):** Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) <https://www.nantucket-ma.gov/151/GIS-Maps>
5. **Site Plan (4 Copies):** must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and *placement of HVAC units, electrical boxes, fuel tanks, etc..*
6. **8-1/2" x 11" Copies of ALL Application Materials:** Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12), collated and stapled.
7. **Photographs:** Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
8. **Electronic submission:** All documents submitted to the HDC office must be emailed to hdcsubmissions@nantucket-ma.gov.

REQUIRED WHERE APPLICABLE:

-
-
-
- ✓
-
-
-
-
-
-

1. **Supplemental Information for Historic Buildings:** It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application.
2. **Exterior Elevations and Floor Plans (4 copies):** Must be Y.-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. *All changes from approved or existing design must be clouded on drawing.* All material MUST BE LEGIBLE, collated and stapled. Reduced sets should maintain a font size of 12.
3. **As-Built Plans (1copy):** of existing elevations
4. **Hardscaping Plans (4 copies):** To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE, collated and stapled.
5. **Topographic Map:** Must show existing and proposed grade for any change of more than one foot in height on grade . Retaining walls must be applied for separately (see hardscaping plan).
6. **Door and Window Schedule (4 copies):** Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
7. **I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.**
8. **Abutter Notification Materials** – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet.
9. **Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc.**

(initial to indicate read and understand)

9. Ecklund/Furdak **08-1587** 26 West Chester Street Hardscape-spa/patio 42.4.3-56 Ahern, LLC

Voting Pohl, Coombs, Camp, Welch
 Alternates None
 Recused None
 Documentation Landscape design plans, site plan, photos, and advisory comments.
 Representing Miroslava Ahern, Ahern Design, LLC
 Public None
 Concerns (2:51) **Bakus** – Read HSAB comments: too formal, visible from Lily Pond; tone down hardscape; needs to be more natural.
Ahern – Presented project.
Coombs – 10X15 is not a spa; doesn't want these sneaking into the old historic district (OHD).
Welch – This is the OHD and a sensitive area. It is important to have more information on the existing and proposed grade on the site plan and a cross-section indexed to the site plan; the section line through the patio should be referenced through the spa and Goshen-stone patio. Asked the top of wall at the Goshen-stone patio get a stake with flag as well as at the top of the wall on the outside corner of the spa.
Camp – A hedge of holly is inappropriate; it has nothing to do with the Lily Pond. The spa is out of place in the OHD. A simplified water feature going into a very small pool would be okay. Looking back up toward West Chester Street, there are some beautiful landscapes with water features.
Pohl – The screening hedge could be moved closer to the “water feature”.
 Motion **Motion to View with stakes and hold for revisions. (Welch)**
 Roll-call Vote Carried 4-0//Camp, Coombs, Welch, and Pohl-aye Certificate # **HDC2020-08-1**

10. 2Old Westmoor Farm,LLC 08-1570	2 Old Westmoor Farm Rd	Rev. to MH; add pergola	41/820.1	Workshop APD
11. 2Old Westmoor Farm,LLC 08-1562	2 Old Westmoor Farm Rd	New garage with studio	41/820.1	Workshop APD
12. 2Old Westmoor Farm,LLC 08-1571	2 Old Westmoor Farm Rd	New cabana	41/820.1	Workshop APD
13. Cannonbury Ln Hold 08-1575	30 Cannonbury Lane	New dwelling	73/23	Workshop APD
14. Cannonbury Ln Hold 1 08-1581	7 Cannonbury Lane	New dwelling	74/29	Workshop APD
15. Cannonbury Ln Hold 1 08-1568	7 Cannonbury Lane	New garage	74/29	Workshop APD
16. Cannonbury Ln Hold 1 08-1565	7 Cannonbury Lane	New cabana	74/29	Workshop APD
17. Cannonbury Ln Hold 1 08-1572	7 Cannonbury Lane	Hardscape-pool	74/29	Ahern, LLC
18. Cannonbury Ln Hold 1 08-1569	4 Sleetwing Circle	New cabana	74/23	Workshop APD
19. Cannonbury Ln Hold 1 08-1566	4 Sleetwing Circle	Hardscape-pool	74/23	Ahern, LLC
20. Cannonbury Ln Hold 2 08-1577	6 Sleetwing Circle	New dwelling	74/24	Workshop APD
21. Cannonbury Ln Hold 2 08-1576	6 Sleetwing Circle	New garage	74/24	Workshop APD
22. Cannonbury Ln Hold 2 08-1578	6 Sleetwing Circle	Hardscape-patio	74/24	Ahern, LLC
23. Moira Parsons 08-1597	80 Old South Road	Fence	68/41	Self
24. Nerijus Paulauskas 08-1603	3 Cachalot Lane	Rev. 63393: fenest/dr clr	67/781	Self

Voting Pohl, Coombs, Camp, Welch
 Motion **Motion to Hold the following for the beginning of the September 15th meeting. (Camp)**
 Roll-call Vote Carried 4-0//Welch, Coombs, Camp, and Pohl-aye Certificate #

VI. OTHER BUSINESS

Approve Minutes	None
Review Minutes	August 25, 2020
Other Business	<ul style="list-style-type: none"> No HDC Zoom meeting Monday, 9/7/20 and Thursday 9/10/20: held. Next HDC Meeting is New Business Tuesday 9/15/20: held. HDC Zoom Webinar Meeting Schedule Oct-Dec 2020 vote <p>Motion to Approve the Schedule. (Camp) Carried 4-0//Welch, Coombs, Camp, and Pohl-aye</p> <ul style="list-style-type: none"> HDC review of revisions to HDC Background Summary to finalize for web page including vote: held. Review policy of Move/demo hearings in relation to new dwellings: held. Discussion of Certified Local Government (CLG) and possible vote: held. Discussion of adding Tuckernuck to MAB: held.
Commission Comments	Pohl – Asked for a quorum on September 11 th at 10:00 a.m. Anticipates a very short meeting to vote on transferring custody of a property from HDC to an organization better suited to be custodian.

- List of additional documents used at the meeting:
- Draft minutes as listed
 - HDC Meeting Schedule

Motion to Adjourn at 3:09 p.m. (Welch)
 Carried 4-0//Camp, Coombs, Welch, and Pohl-aye

Submitted by:
 Terry L. Norton

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS
for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 42.4.3 PARCEL N°: 56
Street & Number of Proposed Work: 26 W CHESTER STREET
Owner of record: ECKLUND / FURDAL
Mailing Address: 26 W CHESTER ST.
NANTUCKET MA
Contact Phone #: 508-223-5138 E-mail: ahern11c-wm

AGENT INFORMATION (if applicable)

Name: M. AHERN WL
Mailing Address: 6 WINDY WAY
NANTUCKET MA
Contact Phone #: 508-223-5138 E-mail: design@ahern11c-wm

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED
See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District R#9) Roof Other _____

Size of Structure or Addition: Length: 15' Sq. Footage 1st floor: _____ Decks/Patio Size: 157 sq ft 1st floor 2nd floor
Width: 10' Sq. Footage 2nd floor: _____ 275 sq ft 1st floor 2nd floor
Sq. Footage 3rd floor: _____ 192 sq ft

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

Historic Name: _____

(describe)

Original Date: _____

Original Builder: _____

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 12 Secondary Mass 12 Dormer 12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls FIELD STONE TRM

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 8-25-2020

Signature of owner of record _____

Signed under penalties of perjury

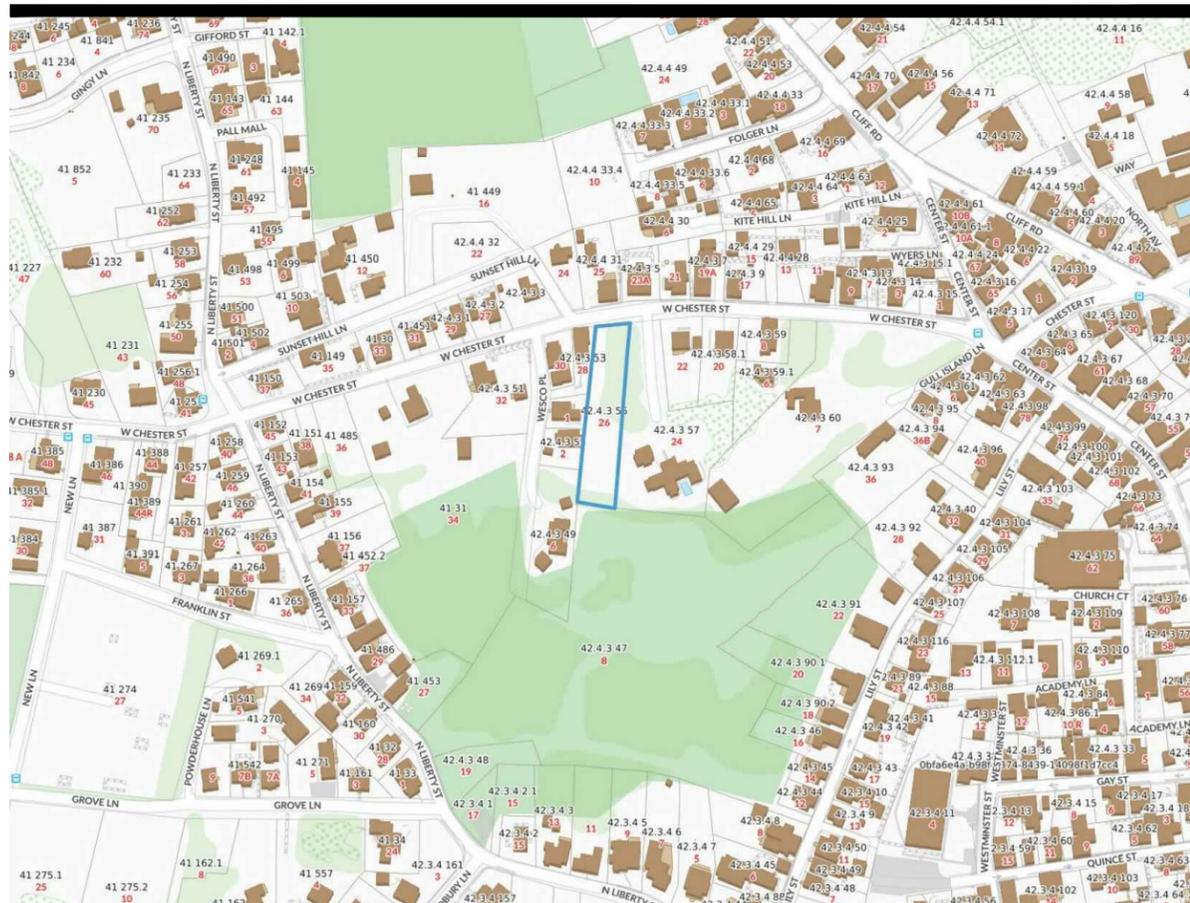
ECKLUND / FURDAK RESIDENCE

26 WEST CHESTER ROAD NANTUCKET MA



CURRENT ZONING: ROH
 MINIMUM LOT SIZE: 5,000 SF
 EXISTING LOT SIZE: 21,065 SF
 MINIMUM FRONTAGE: 50 FT
 FRONTYARD SETBACK: 0 FT
 SIDE AND READ SETBACK: 5 FT
 ALLOWABLE GCR: 50 %
 EXISTING GCR: 8.2 %

GIS MAP # 42.4.3 / 56



AERIAL MAP # 42.4.3 / 56



HDC.01

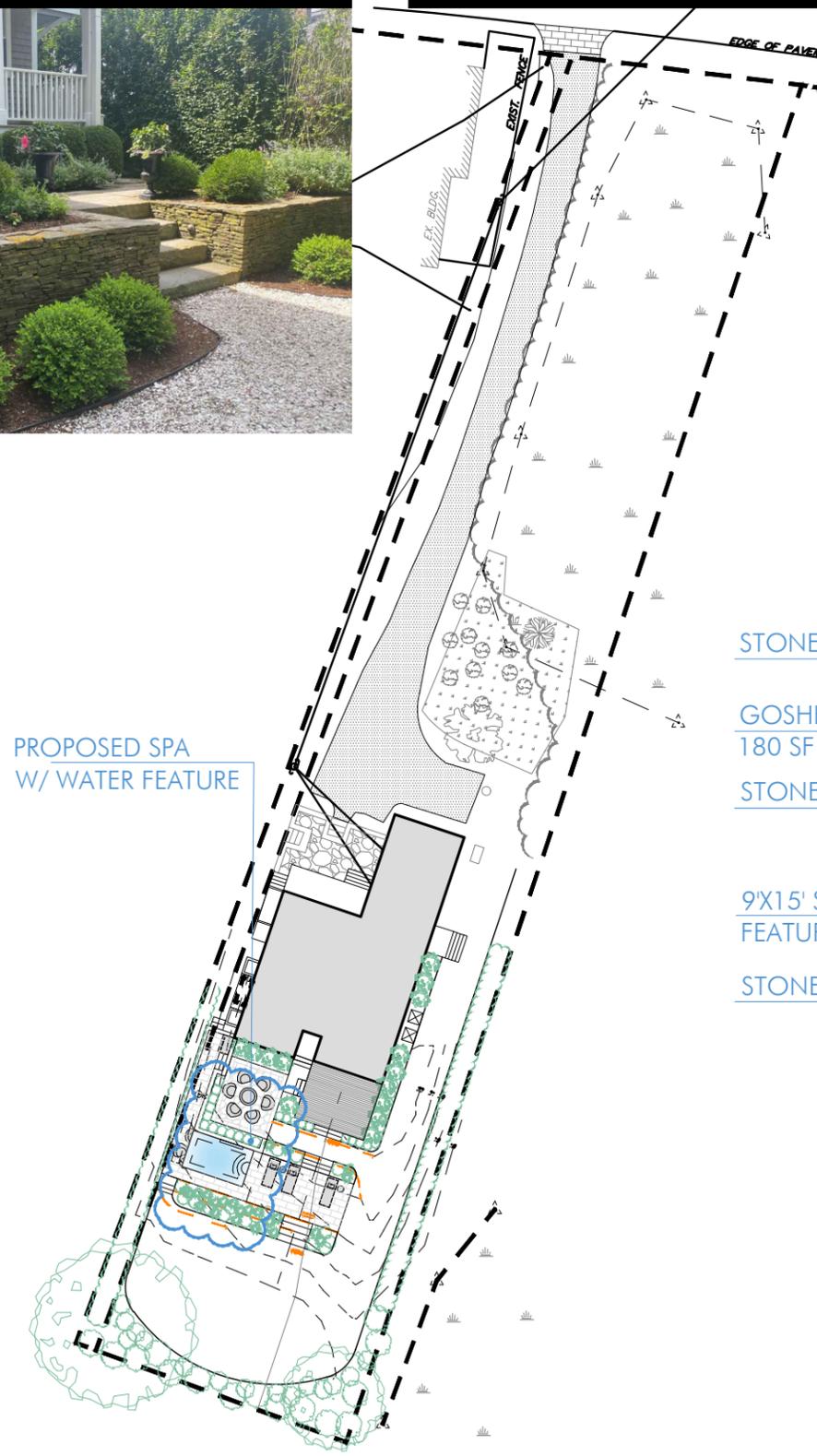
HDC SUBMISSION

FOR WATER FEATURE & HARDSCAPE
 REVISED SEPTEMBER 15, 2020

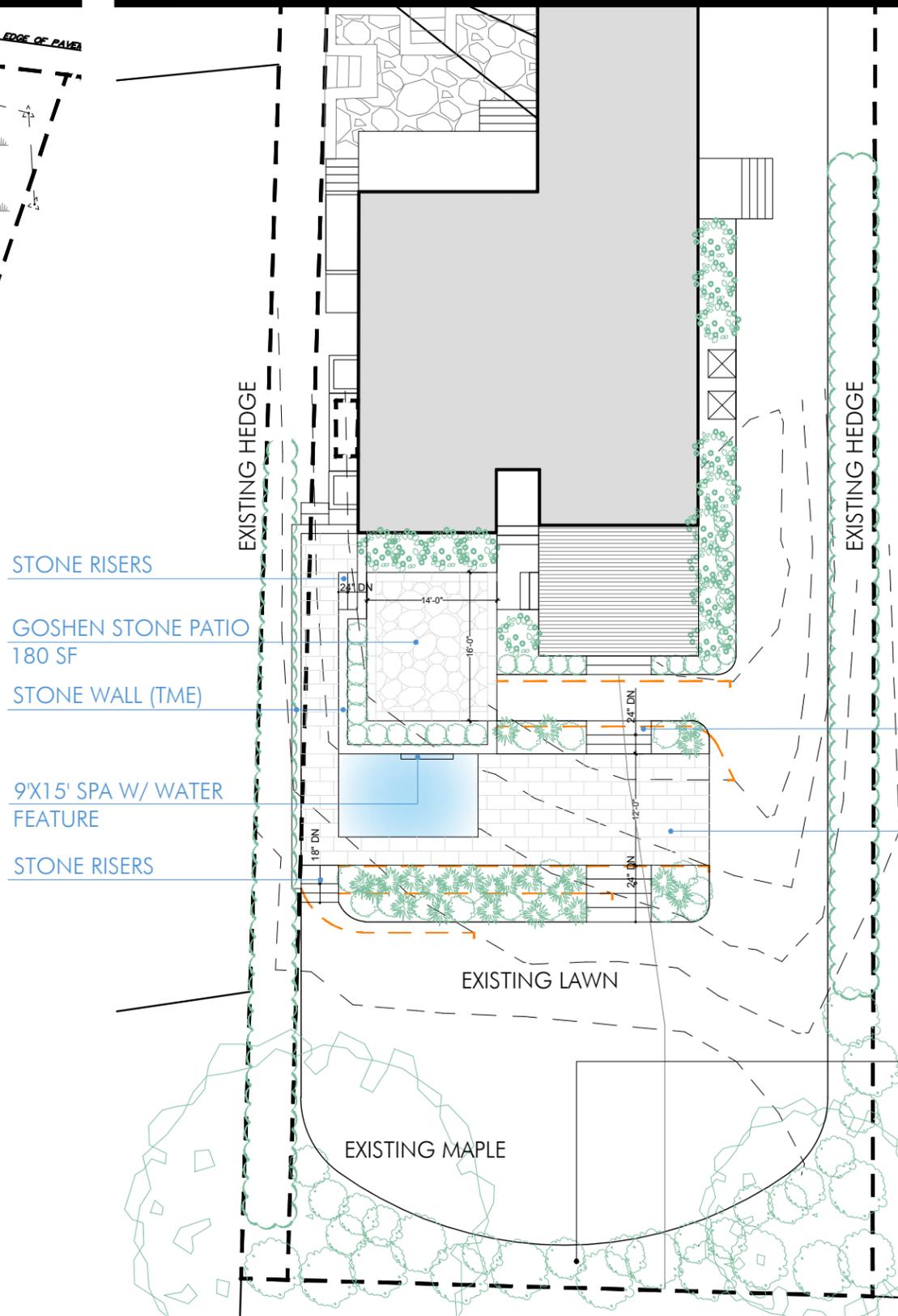
EXISTING STONE WALL TO MATCH



SITE PLAN Scale 1" = 40'



LANDSCAPE PLAN Scale 1/16" = 1'-0"



NATURAL SCREENING



WINTERBERRY



VIBURNUM



INKBERRY



HOLLY



CLETHRA



HYDRANGEA

GRANITE RISERS

GRANITE PAVERS
450 SF

NATURAL BUFFER TO BE ENHANCED CREATING PRIVACY SCREENING - MIX OF NATIVE EVERGREEN AND DECIDUOUS SHRUBS AS VIBURNUM, INKBERRY, WINTERBERRY, HOLLY, CLETHRA AND HYDRANGEAS

HDC.02

26 WEST CHESTER RD

HDC SUBMISSION

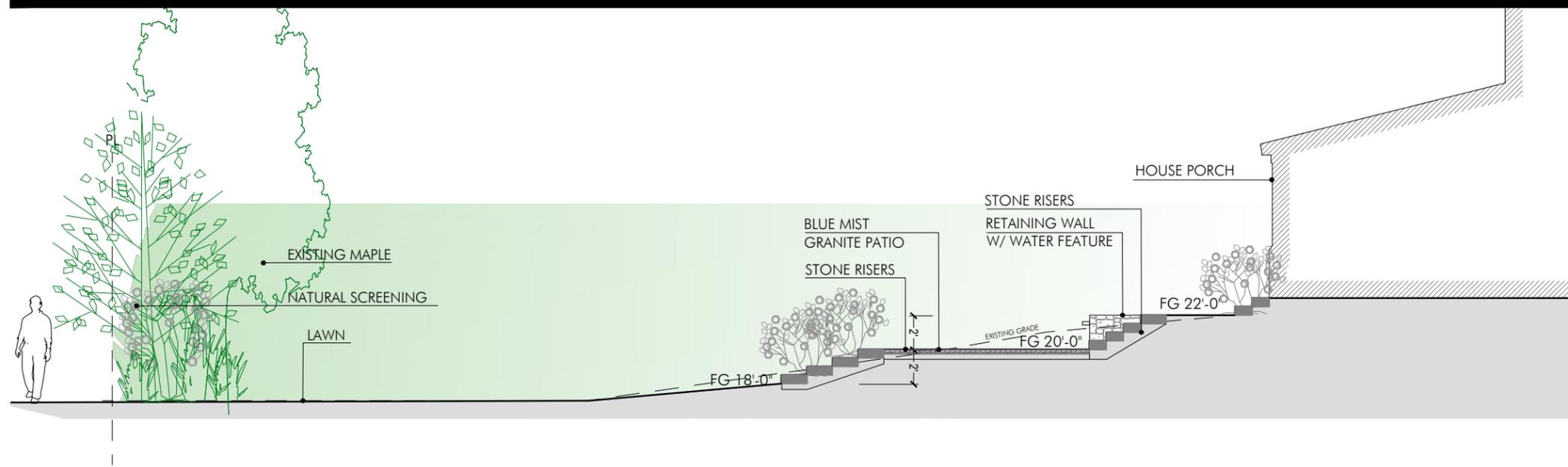
LANDSCAPE PLAN SCALE: 1/16" = 1'-0"

REVISED SEPTEMBER 15, 2020



LANDSCAPE DESIGN STUDIO
PO Box 2213, Nantucket MA 02584
T (508) 333-5138 F (508) 325-4616
design@ahernllc.com

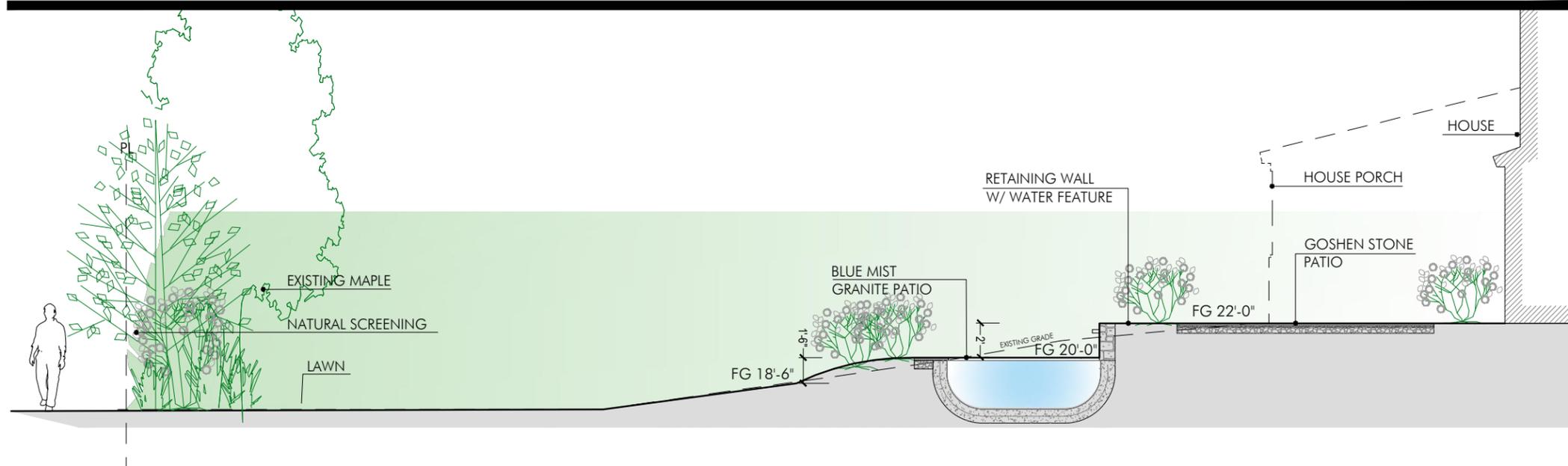
CROSS SECTION Scale 1/8" = 1'-0"



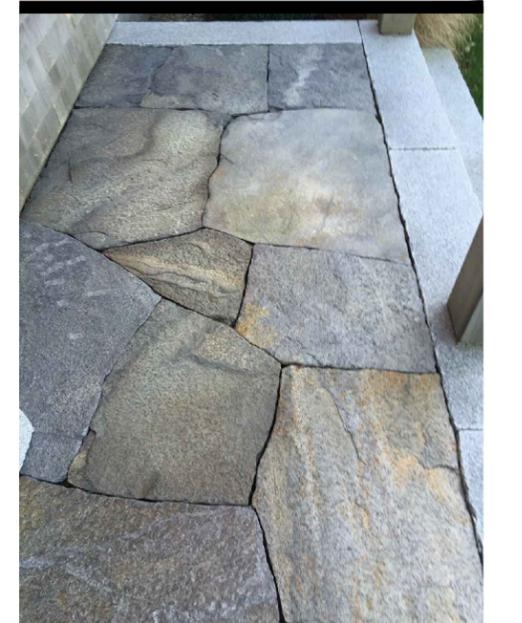
BLUE MIST GRANITE



CROSS SECTION Scale 1/8" = 1'-0"



GOSHEN STONE PATIO



HDC.03



HDC.04



26 WEST CHESTER RD

HDC SUBMISSION

PHOTOS
REVISED SEPTEMBER 15, 2020



HDC.05



LANDSCAPE DESIGN STUDIO
PO Box 2213, Nantucket MA 02584
T (508) 333-5138 F (508) 325-4616
design@ahernllc.com

26 WEST CHESTER RD

HDC SUBMISSION

WATER FEATURE LOCATION
REVISED SEPTEMBER 15, 2020

Historic District Commission

OLD BUSINESS CHECKLIST



Planning and Land Use Services

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	<u>Sign in submission at Front Desk</u>
✓	<u>HDC case number:</u> (ex HDC2020-xx-xxxx), if applicable 05-0895 08-1498
✓	<u>Copy of Minutes</u> (application item circled)
✓	<u>Reduced (8 ½ x 11) copy of application</u>
✓	<u>Locus Map:</u> 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
✓	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
✓	Four (4) Large sets of plans <u>at 3/16" or 1/4" scale</u> (circle all that apply) <ul style="list-style-type: none"> a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
✓	<u>One set reduced plans:</u> 8 ½ x 11
	<u>Electronic Submission:</u> Each of the foregoing documents (including this checklist) MUST BE scanned to a single PDF file and emailed to hdcsubmissions@nantucket-ma.gov .
✓	<u>Signed Affidavit:</u> see reverse side

Historic District Commission
OLD BUSINESS CHECKLIST

** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.

Affidavit Certifying Completeness of Old Business submission

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for an Old Business submission have been met.

Signature: Nancy L. Sredzyl Date: 9/16/2020

13. Dex Dog, LLC 08-1440 6B Arrowhead Drive Solar revisions 69/58.1 SunWind, LLC

Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and manufacturer spec sheet.
 Representing Timothy Holmes, SunWind, LLC
 Public None
 Concerns (6:46) **Flynn** – This came out of a failed inspection.
 Holmes – Presented project; explained the shingles would be painted black.
 Welch – Asked for a view.
 Motion **Motion to View. (Coombs)**
 Roll-call Vote Carried 5-0//Oliver, Camp, Welch, Coombs, and Pohl-aye Certificate #

14. NIR 08-1485 29 Broad Street Hardscape – walls&A/C screen 42.4.2/38 Linda Williams

Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Landscape design plans, site plan, photos, historic documentation, and advisory comments.
 Representing Linda Williams
 Mike Duffy, NIR.
 Public None
 Concerns (6:54) **Backus** – JC House, circa 1835. Read HSAB comments: mitigate A/C or move; significant structure/high-profile space; atrocious.
 Duffy – Presented project.
 Williams – Paid the as-built fee. A/C can't be dropped lower; explained why the idea of a fence was dropped.
 Coombs – She has a problem with one of our oldest most significant buildings having this done to it and hearing “we can't change it.” Would like to see some approach that didn't look like the A/Ce is being covered. Wants to see several options.
 Oliver – It does look better than what was there. Agrees with Ms. Coombs. The as-built stuff has to stop; people have to stop work and come back in. The A/C has to be screened in perpetuity.
 Welch – Doesn't disagree with what's been said. At some point, we need to address rising as-built occurrences. The square compressor in the middle, unless there's an overwhelming issue, could be moved next to the other square unit with fences screening the group; the generator area could be screened with lower plants. He appreciates the effort to screen with plants but is concerned about throwing tall screening at this vs. having stepped planting and fencing, which will not hide the building or obstruct view from the sidewalk. Considering these are in retained areas, a fence on top of the retaining wall wouldn't have to be more than perhaps 3 feet tall.
 Camp – Agrees with Mr. Welch. Suggested a blue spruce that takes up the corner and gives the building presence. Suggested fencing be reduced as much as possible by keeping the units together – 6-foot natural to weather would be best. With revisions, suggested a photoshop view of what the building would look like from Broad Street and Centre Street.
 Pohl – Loves the idea of two-different heights – larger toward the back – of fence and vegetation.
 Motion **Motion to Hold for revisions. (Coombs)**
 Roll-call Vote Carried 5-0//Welch, Camp, Oliver, Coombs, and Pohl-aye Certificate #

15. Anne McGivney 08-1498 45 West Chester Street Shed 41/230 Structures Unlimited

Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.
 Representing Linda Williams, for Structures Unlimited
 Public None
 Concerns (7:14) **Backus** – Main dwelling is circa 1900; shed should be behind main dwelling. Read HSAB comments: relocate, reduce roof pitch; need better graphics; not on the street; prefer gable forward; move deeper into the yard to be more discrete.
 Williams – Presented project; asked the commissioners to view this while the applicant makes revisions.
 Pohl – It's drawn with the wrong roof pitch; application says 9/12 but drawn 12/12.
 Oliver – Likes turning it gable forward. Can't be white.
 Coombs – Not everyone can have a shed. Wants to see other proposals reducing the height and size of the shed.
 Camp – Thinks gable forward is “noisier”; prefers the eave forward. Should be behind the hedge.
 Welch – He would not want the gable forward unless it's on the far side of the privet with a small walk through to it. Suggested a lean-to shed placed instead against the front right wall of the structure, setback a few feet further from the street side.
 Motion **Motion to View and hold for revisions. (Camp)**
 Roll-call Vote Carried 5-0//Coombs, Welch, Oliver, Camp, and Pohl-aye Certificate #

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 230
 Street & Number of Proposed Work: 45 W. Chester St.
 Owner of record: Anne & William McGivrey
 Mailing Address: 45 W. Chester St.
NANTUCKET, MA 02554
 Contact Phone #: 508-228-0689 E-mail: Structurescunlde@gmail.com

AGENT INFORMATION (if applicable)

Name: NANTUCKET Structures UNLTD, Inc.
 Mailing Address: 20 Gordon Ave
NANTUCKET, MA 02554
 Contact Phone #: 508-228-0689 E-mail: Structurescunlde@gmail.com

FOR OFFICE USE ONLY

Date application received: 8/14/2020 Fee Paid: \$ 50.00
 Must be acted on by: 9/24/2020
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 10 Sq. Footage 1st floor: 705F Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 7 Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0
 Height of ridge above final finish grade: North 11'6" South 11'6" East 11'6" West 11'6"

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
 Original Date: _____ (describe) 2. South Elevation
 Original Builder: _____ 3. West Elevation
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 9/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Red Cedar/Pine/Tongue
 Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Natural Clapboard (exposure: _____ inches) Front Side

Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1" X 5" Rake 1" X 5" Soffit (Overhang) 1" X 5" Corner boards 1" X 6" Frieze 1" X 5"

Window Casing 1" X 4" Door Frame 1" X 4" Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other Hopper Style/Pine
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front T&G-Preprimed Pine Rear _____ Side T&G-Preprimed Pine

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

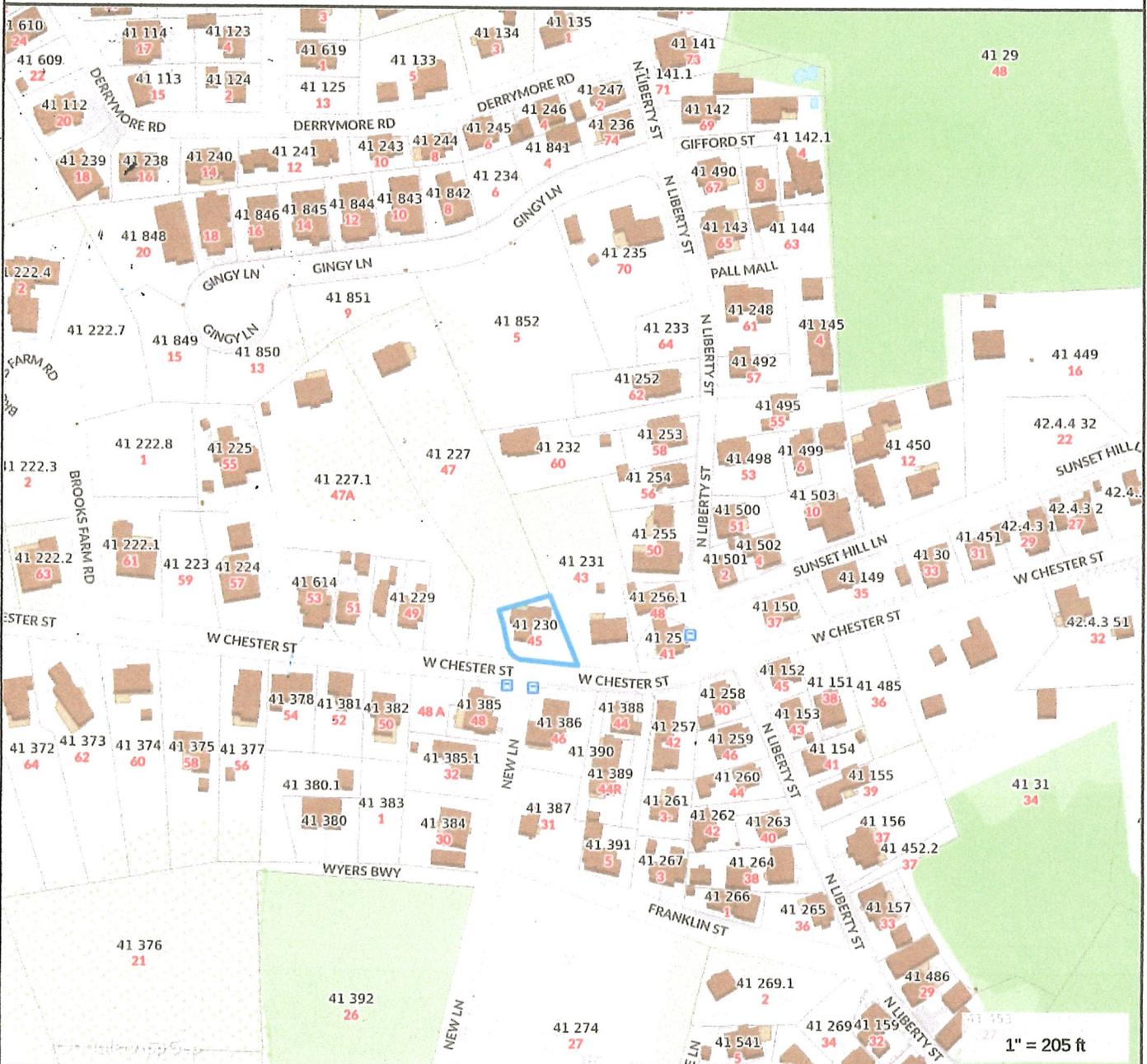
Sidewall to weather Clapboard (if applicable) _____ Roof to weather
 Trim white Sash white Doors white
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 7/31/20 Signature of owner of record Penelope Drabge, agent Signed under penalties of perjury

45 WEST CHESTER STREET - LOCUS MAP



Property Information

Property ID 41 230
Location 45 W CHESTER ST
Owner MCGIVNEY ANNE O & WILLIAM T



MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

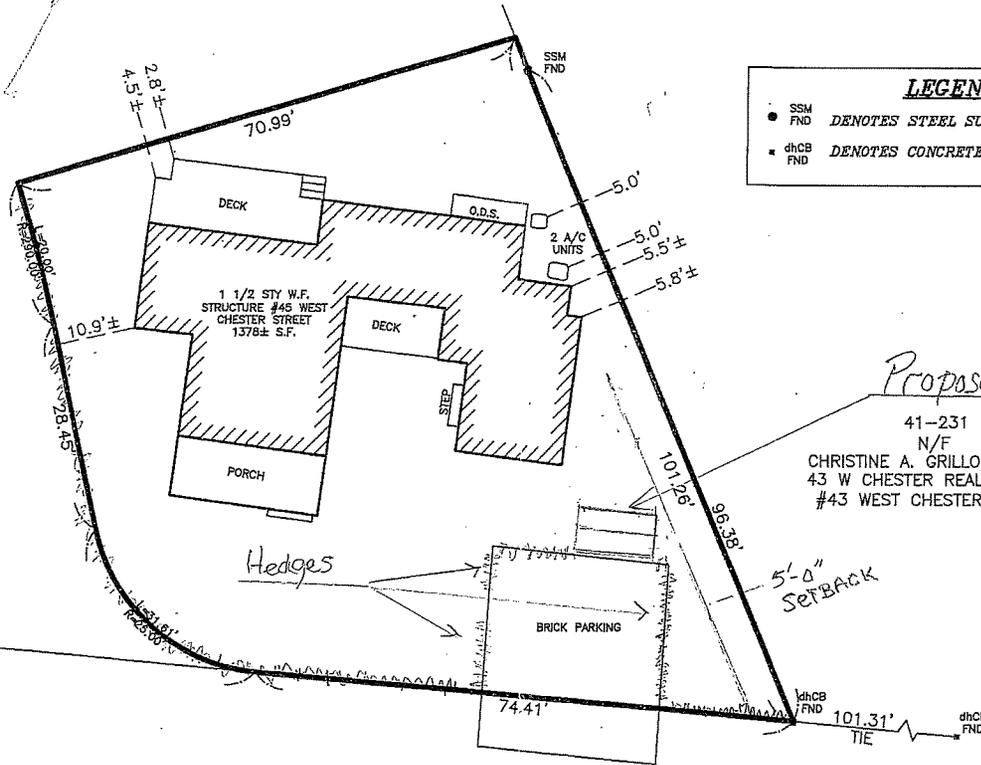
Geometry updated 11/13/2018
 Data updated 11/19/2018

CURRENT ZONING CLASSIFICATION:
Residential (R-1)

MINIMUM LOT SIZE:	5000 S.F.	<u>Existing:</u>	6429 S.F.±
MINIMUM FRONTAGE:	50 FT.		SEE PLAN
FRONT YARD SETBACK:	10 FT.		SEE PLAN
REAR/SIDE SETBACK:	5 FT.		SEE PLAN
GROUND COVER % :	30 %		21±%

WETLANDS

41-227
N/F
CHRISTOPHER BEVIS TRUSTEE
BEVIS-NISHIMURA LIVING TRUST
#47 WEST CHESTER STREET



LEGEND

- SSM FND DENOTES STEEL SURVEY MARKER FOUND
- dhCB FND DENOTES CONCRETE BOUND WITH DRILL HOLE FOUND

41-231
N/F
CHRISTINE A. GRILLO TRUSTEE
43 W CHESTER REALTY TRUST
#43 WEST CHESTER STREET

**BUILDING LOCATION PLAN
OF LAND IN
NANTUCKET, MASS.**

SCALE: 1" = 20' DATE: FEBRUARY 16, 2016

Owner: **ANNE O. MCGIVNEY**
WILLIAM T. MCGIVNEY

Deed Bk./Pg.: 1221/44 . Plan File: 15-D (LOT 1)
24/60
Deed Bk./Pg.: 1221/44 . Bk./Pg.: (LOTS 1 & 1B)

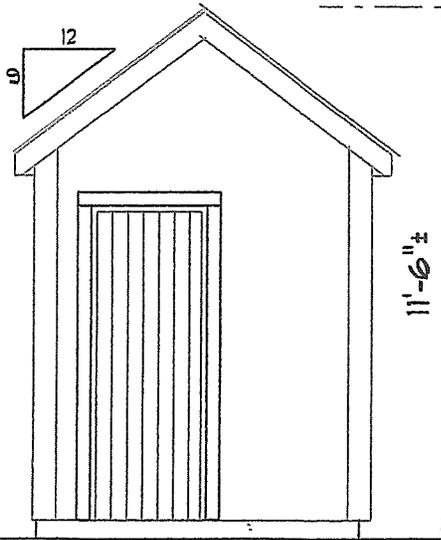
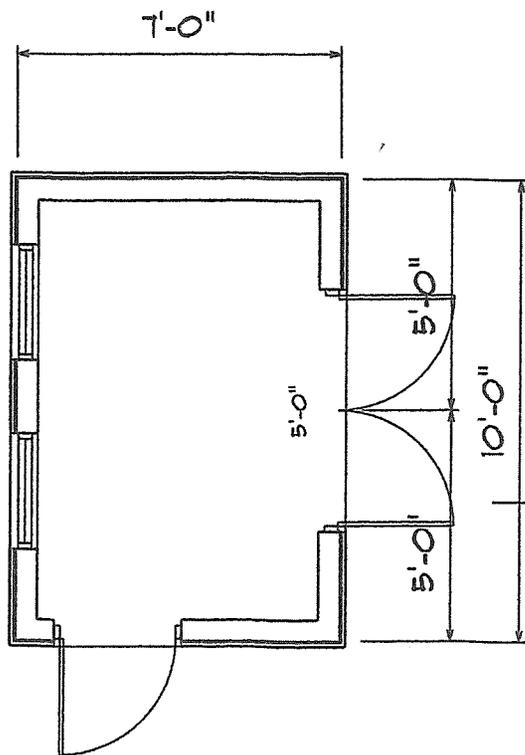
Locus: . . . 45, WEST CHESTER STREET . . .

BLACKWELL & ASSOCIATES, Inc.
Professional Land Surveyors
20 TEASDALE CIRCLE
NANTUCKET, MASS. 02554
(508) 228-9026

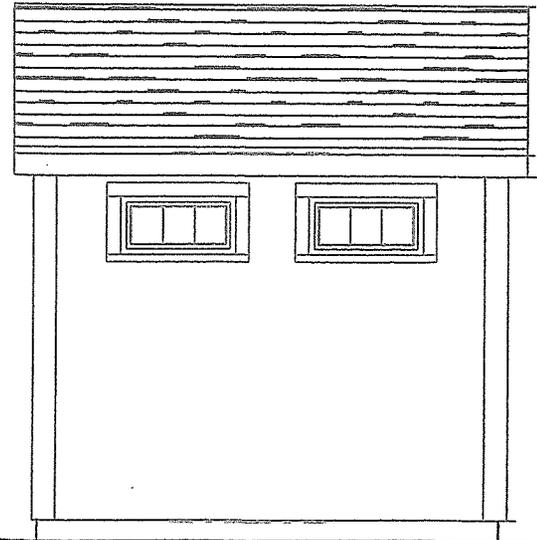


THIS PLOT PLAN WAS PREPARED FOR THE TOWN OF NANTUCKET BUILDING DEPARTMENT ONLY AND SHOULD NOT BE CONSIDERED A PROPERTY LINE SURVEY. THIS PLAN SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES, FENCES, HEDGES OR ANY ANCILLARY STRUCTURES ON THE PREMISES. THE PROPERTY LINES SHOWN RELY ON CURRENT DEEDS AND PLANS OF RECORD. THIS PLOT PLAN IS NOT A CERTIFICATION AS TO TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR RECORDS.

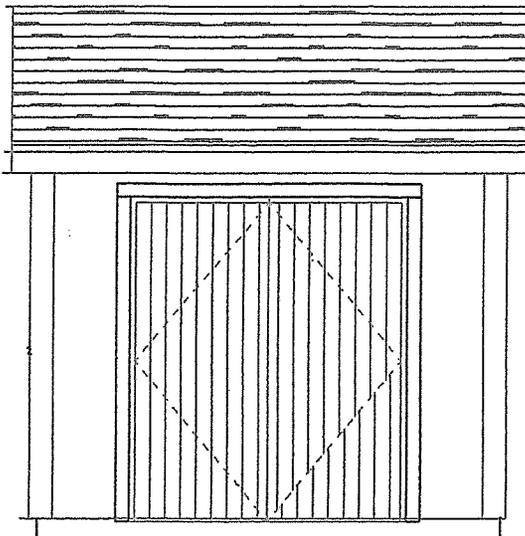
ASSESSOR MAP: . 41. . . , PARCEL: . 230. .



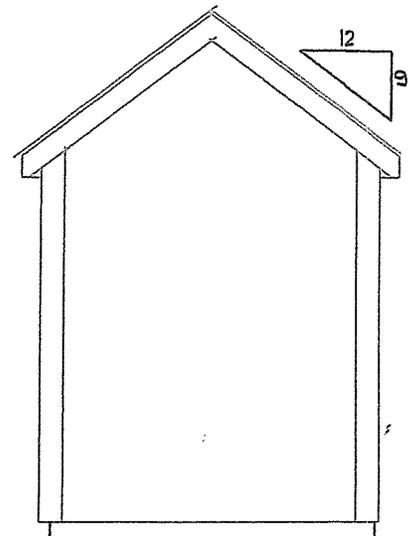
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



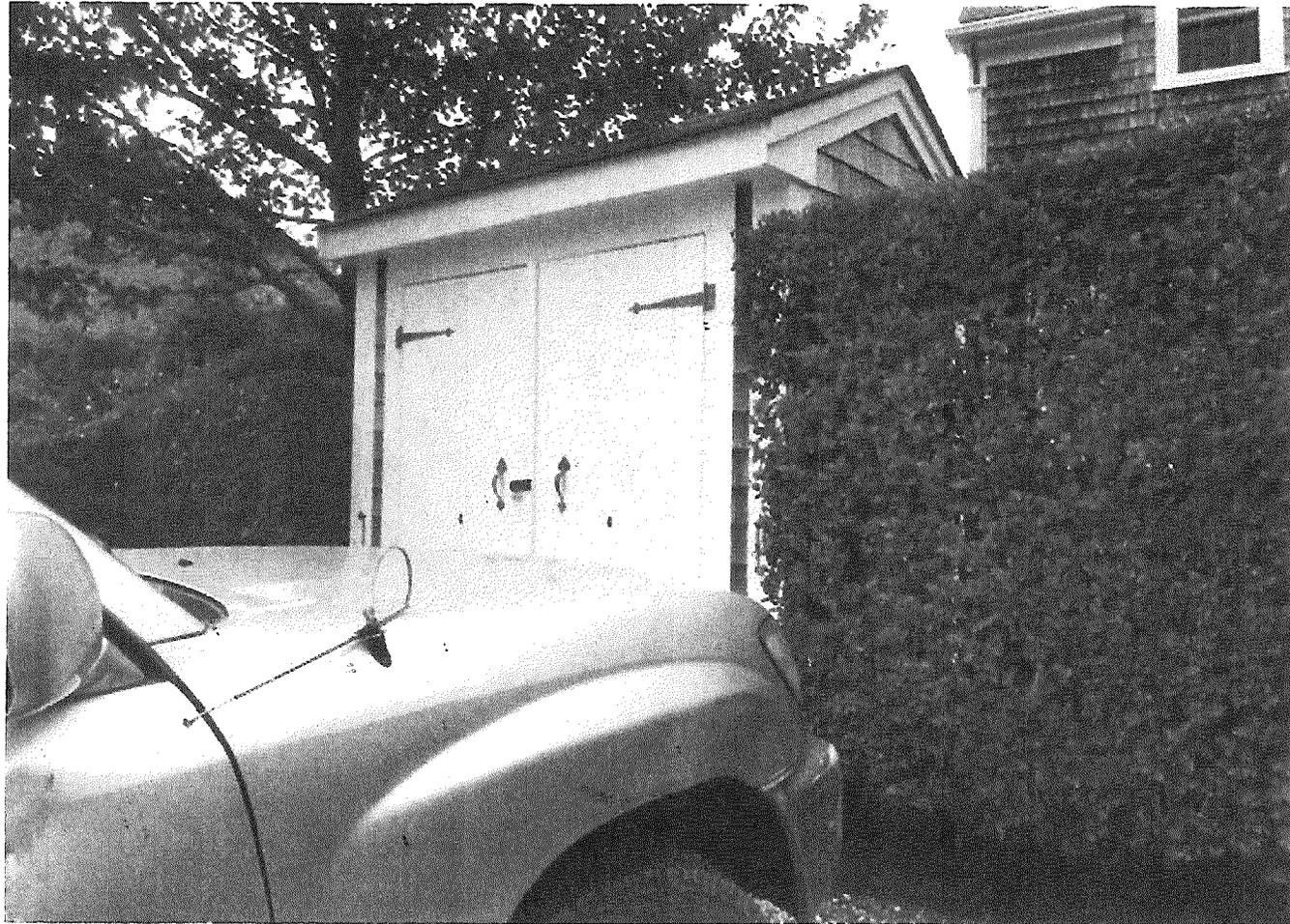
EAST ELEVATION

Scale 1/4" = 1'-0"

45 W. Chestee St.



These two pictures are of a shed we did located at 81 Orange Street. Shed is sited at head of parking area and faces York St. in the ROH, hedges screen all but face of shed. During peak seasons cars are parked in front of the shed screening it mostly from direct view. This is exactly what we are proposing for 45 W. Chester Street.





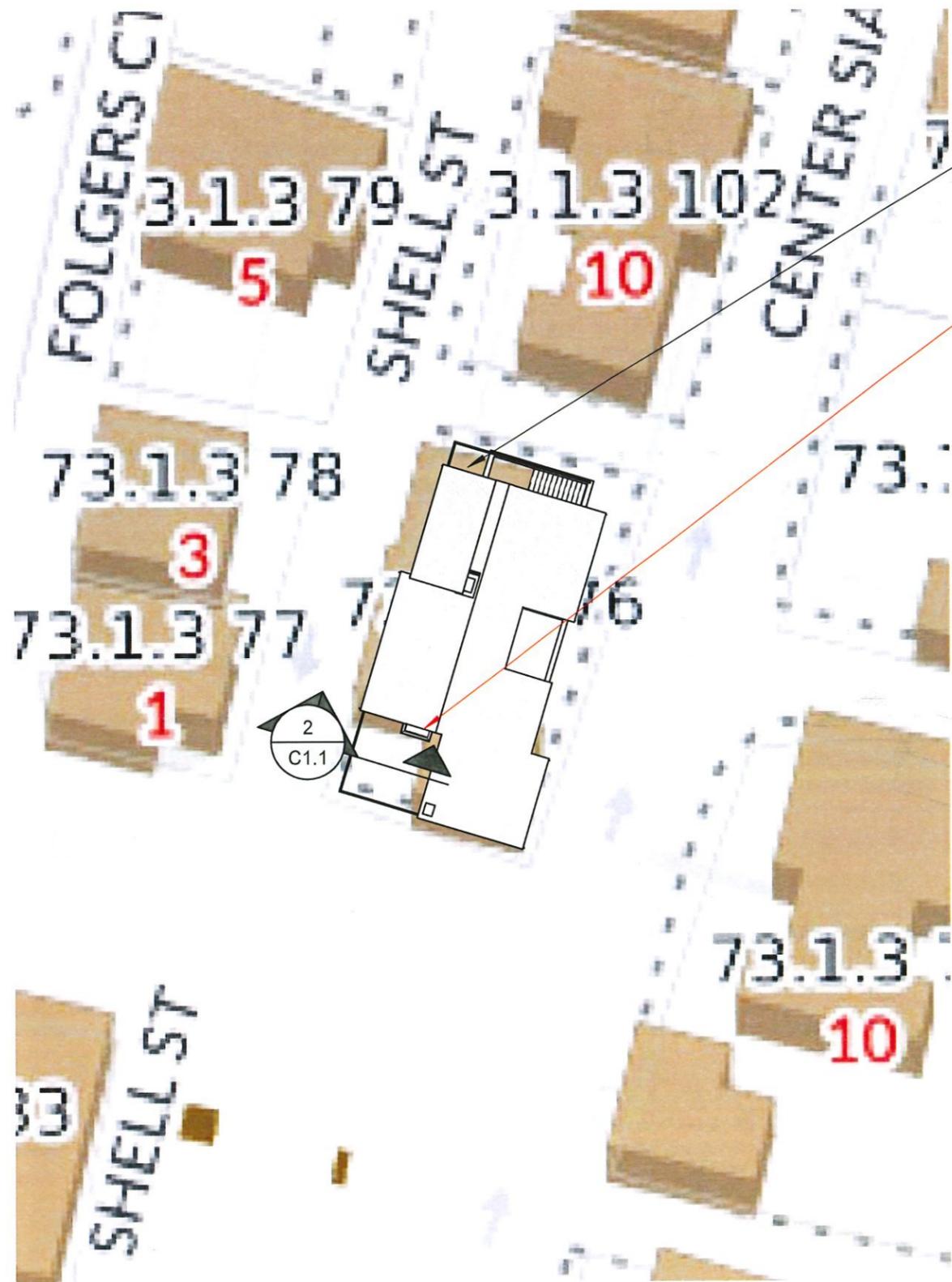
Parking area at 45 West Chester St, showing surrounding hedge, and area to the right at the head of the parking area where shed is proposed. If one looks at the site map, the property does not provide any other area for a shed, due to setback requirements, including wetland setbacks as the backyard is surrounded by wetlands (refer to Locus Map) this lot does not offer options.



Example of a similar shed, size – 7' x 9', this parallels the shed we're proposing at 45 W Chester St. in living color. It should be noted that the roof proposed for W. Chester St. is to be red cedar, adding a more weathered appearance as it ages.

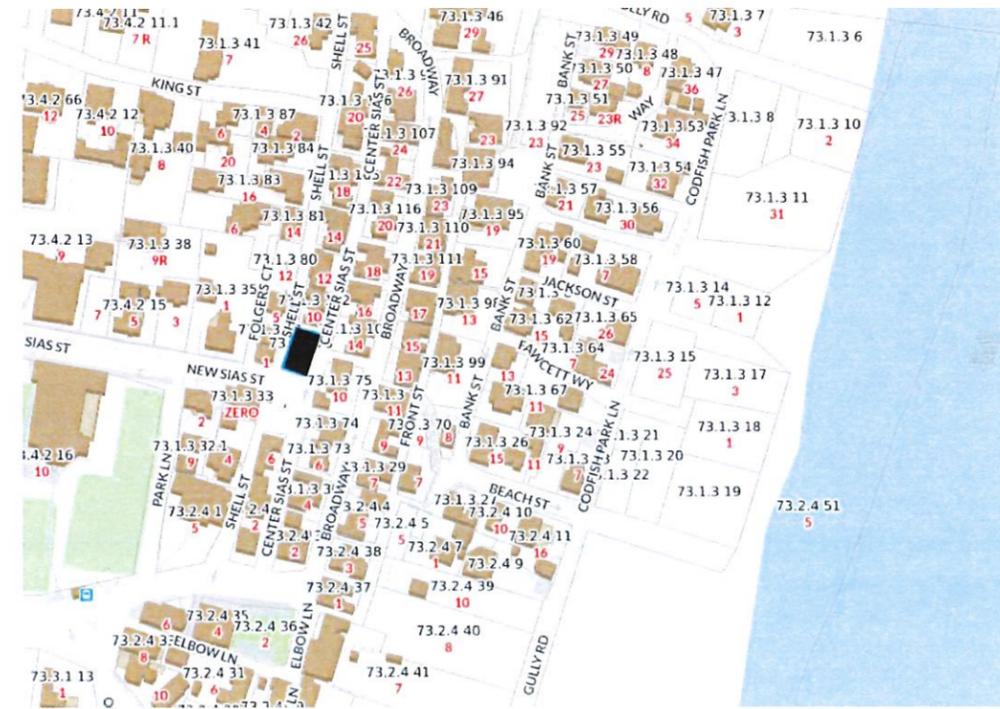
Old Biz

15. Jim Caulfield 08-1455 8 Sheep Pond Road Shed 63/3 M. Cutone Architecture
 Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.
 Representing Mark Cutone, Mark Cutone Architecture
 Public None
 Concerns (7:14) No concerns.
 Motion **Motion to Approve as submitted. (Welch)**
 Roll-call Vote Carried unanimously//Oliver, Coombs, Camp, Welch, and Pohl-aye Certificate # **HDC2020-08-1455**
16. Steven L Cohen Trust 08-1521 55 Sankaty Road Pool 49/69 Atlantic Landscaping
 Voting Pohl, Coombs, Oliver, Welch
 Alternates (Camp stepped off for a break)
 Recused None
 Documentation Landscaping design plans, site plan, photos, and advisory comments.
 Representing Lindsay Congleton, Atlantic Landscaping Inc.
 Public None
 Concerns (7:14) **Backus** – Read SAB comments: no concerns due to lack of visibility.
Congleton – Presented project and described existing hedging, which screens the pool.
Oliver – If SAB has no concerns, neither does she.
Coombs – Agrees. This pool is 15X30; this is as big as the room she’s in.
Welch – Looking on google, this setting is inappropriate for a pool of this side.
 Motion **Motion to Approve with the pool to be screened at time of inspection and thereafter. (Oliver)**
 Roll-call Vote Carried 4-0//Coombs, Welch, Oliver, and Pohl-aye Certificate # **HDC2020-08-1521**
17. Mary O’Connell 08-1508 8 Center Street (Sias) Rev. 12-0352: relocate A/C cond 73.1.3/76 Concept Design
 Voting Pohl, Coombs, Oliver, Welch
 Alternates (Camp still out.)
 Recused None
 Documentation Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.
 Representing T.J. Watterson, Concept Design
 Public None
 Concerns (7:20) **Watterson** – Presented project; to be enclosed in natural-to-weather, cedar lattice.
Backus – Circa 1790. Read SAB comments: A/C might be noisy and visible to visitors in the square; previous location preferred; want to know about screening.
Coombs – Lattice screening has worked well on Shell Street; thinks this will work.
Welch – Given the location, he’d like a detailed drawing in the file showing the lattice enclosure from inside the fence; some of these units need a ground clearance of 10 to 12 inches.
Oliver – She wants to view this.
 Motion **Motion to View and hold for additional information on the lattice. (Coombs)**
 Roll-call Vote Carried 4-0//Welch, Oliver, Coombs, and Pohl-aye Certificate #
18. James Crowley 08-1532 8 Wall Street Drvway/walkway crushed shell 82/79 Paulo Vicente
 Voting Pohl, Coombs, Oliver, Welch
 Alternates (Camp still stepped out)
 Recused None
 Documentation Landscaping design plans, site plan, and photos.
 Representing Paulo Vicente, Vincente burin Architecture, LLC.
 Public None
 Concerns (7:28) **Pohl** – This was going on consent until a neighbor voiced concern; she never expressed the concerns.
McCarthy – This has to go to the Planning Board for the double curb cut.
Vincente – There is no curbing; the drawing is deceptive. Went to the Planning Board, the two curb cuts are grandfathered.
Backus – They don’t need an apron on the dirt road.
Welch – There are other properties on this road with two curb cuts. Asked the drawings be modified to eliminate what appears to be banding. The “stockade” fence should be labeled “existing split rail.”
Oliver – Curbing on a dirt road is very heavy.
 Motion **Motion to Approve through staff with drawings corrected to show the stockade fence labeled existing split rail and the banding representing curbing removed. (Welch)**
 Roll-call Vote Carried 4-0//Coombs, Oliver, Welch, and Pohl-aye Certificate # **HDC2020-08-1532**



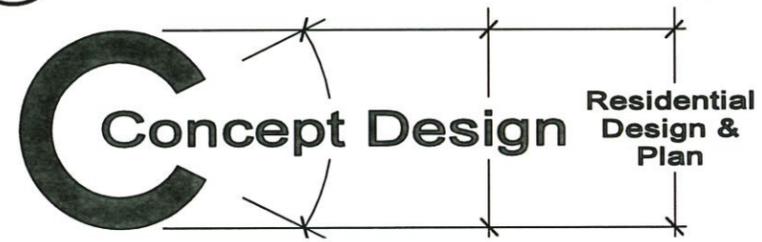
Previous Approved AC Location

New A/C Condenser Location

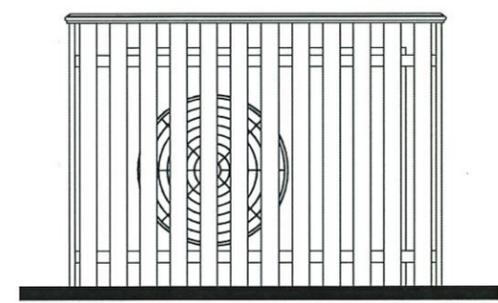


1 Site Plan
1" = 20'-0"

2 Fence Detail
1/2" = 1'-0"



Oconnell Residence
8 Center Street Sias
Nantucket, MA 02554



508.221.3009
33 1/2 Vesper Lane
Nantucket, MA 02554

Map & Parcel	73.1.13 -76	Min. Lot Size	5,000 SF
Current Zoning	SOH	Allowable G.C.	x%, or xxxx SF
Minimum Frontage	50 FT	Lot Size	1,555 SF
Front Setback	0 FT	Existing G.C.	xxxx SF
Side/Rear Setback	5 FT	Proposed G.C.	xxxx SF
		Total Proposed G.C.	xxxx SF

C1.1
#1907



EAST



SOUTH



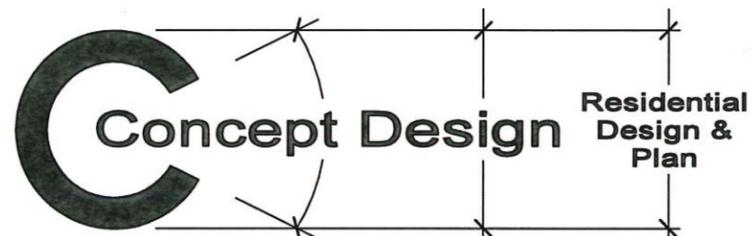
WEST

New A/C Condenser Location



NORTH

508.221.3009
33 1/2 Vesper Lane
Nantucket, MA 02554



Oconnell Residence
8 Center Street Sias
Nantucket, MA 02554

Map & Parcel	73.1.13 -76	Min. Lot Size	5,000 SF
Current Zoning	SOH	Allowable G.C.	x%, or xxxx SF
Minimum Frontage	50 FT	Lot Size	1,555 SF
Front Setback	0 FT	Existing G.C.	xxxx SF
Side/Rear Setback	5 FT	Proposed G.C.	xxxx SF
		Total Proposed G.C.	xxxx SF

C1.2
#1907