

1. No Meeting Agenda

There is no agenda available for this meeting. Please view the minutes.

1.1. Viewpack

Documents:

10 HICKORY MEADOW - REV 1167 ROOF AND SIDING CHANGE.PDF
21 EEL POINT ROAD - PADDLE COURT.PDF
22 BOULEVARDE - ENTERTAINMENT BUILDING-BARN.PDF
22 BOULEVARDE - NEW 2ND DWELLING.PDF
28 SOUTH SHORE RD (LOT 1A)- NEW DWELLING.PDF
28 SOUTH SHORE RD (LOT 1B)- NEW DWELLING.PDF
28 SOUTH SHORE RD (LOT 2A)- NEW DWELLING.PDF
28 SOUTH SHORE RD (LOT 2B)- NEW DWELLING.PDF
36 LOW BEACH - REV 72855 RELOCATE AND OMIT PERGOLA.PDF
78 MILK ST - POOL.PDF
98 OLD SOUTH RD - DECK AND WINDOW ALTS.PDF
132 MAIN ST - ROOFTOP SOLAR.PDF

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 41 PARCEL N^o: 904
Street & Number of Proposed Work: 10 HICKORY MEADOW
Owner of record: ELIZABETH WETHERELL
Mailing Address: 10 HICKORY MEADOW LN
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EMERITUS
Mailing Address: 8 WILLIAMS LN
NANTUCKET MA
Contact Phone #: 3254995 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 2020-06-1167
- Pool (Zoning District _____) Roof Other ROOF AND SIDING MATERIAL CHANGE

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

NO CHANGE
Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

Fence: Height: _____
Type: _____
Length: _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof NATURAL / GALV. COPPER
Trim NATURAL Sash GREY Doors GREY
Deck _____ Foundation STONE Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 09.22.20 Signature of owner of record _____ Signed under penalties of perjury



2 Fairgrounds Road, Nantucket, Massachusetts 02554
 Telephone: 508.325.7587, Fax: 508.228.7298
www.nantucket-ma.gov/Pages/NantucketMA_HistDist/Index
CHECKLIST FOR HDC APPLICATIONS

REQUIRED WITH ALL APPLICATIONS:

- | | | |
|----------------|----|--|
| <u> X </u> | 1. | Completed Application Form: Description of ALL work must be indicated on application form. |
| <u> X </u> | 2. | Property Owner's Signature: Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided. |
| <u> X </u> | 3. | Application Fee: See back of application for fee schedule or call the office. |
| <u> X </u> | 4. | Locus Map (4 copies): Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) http://www.mapgeo.com/NantucketMA/ . |
| <u> X </u> | 5. | Site Plan (4 Copies): must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and <i>placement of HVAC units, electrical boxes, fuel tanks, etc.</i> |
| <u> X </u> | 6. | 8-1/2" x 11" Copies of ALL Application Materials: Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12) , collated and stapled. |
| <u> n/a </u> | 7. | Photographs: Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address. |
| <u> X </u> | 8. | Electronic submission: All documents submitted to the HDC office must also be converted to Adobe Acrobat format http://www.adobe.com/pdf/ ; this is free software that may have come pre-loaded on your computer. Electronic copies can also be created using the scanner located in the Department of Inspectional Services. |

REQUIRED WHERE APPLICABLE:

- | | | |
|----------------|----|---|
| <u> N/A </u> | 1. | Supplemental Information for Historic Buildings: It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application. |
| <u> X </u> | 2. | Exterior Elevations and Floor Plans (4 copies): Must be 1/4-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. All changes from approved or existing design must be clouded on drawings. All material MUST BE LEGIBLE , collated and stapled. Reduced sets should maintain a font size of 12. |
| <u> n/a </u> | 3. | As-Built Plans (1 copy): of existing elevations |
| <u> n/a </u> | 4. | Hardscaping Plans (4 copies): To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE , collated and stapled. |
| <u> N/A </u> | 5. | Topographic Map: Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan). |
| <u> X </u> | 6. | Door and Window Schedule (4 copies): Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number. |
| <u> X </u> | 7. | I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., <u>NOT</u> DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS. |
| <u> N/A </u> | 8. | Abutter Notification Materials – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet. |
| <u> n/a </u> | 9. | Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc. |

(initial to indicate read and understand)



HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road
Nantucket, Massachusetts 02554

Telephone: 508.325.7587
Email: hdcsubmissions@nantucket-ma.gov

COMMISSIONERS

Ray Pohl
Chairman

Diane Coombs
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

STAFF

Cathy Flynn
Land Use Specialist
cflynn@nantucket-ma.gov

Waiver of the HDC 10 Day Hearing Requirement

I Alex Bagmet / Emeritus LTD

AS AGENT FOR Elizabeth Wetherell

STREET ADDRESS 10 Hickory Meadow Ln

MAP/PARCEL 41/904

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON
09.22.20

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE
COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

**SECTION 8 of the HDC enabling legislation: ... The Commission shall meet
within ten (10) days of the receipt of an application for a certificate of
appropriateness or permit for removal...**

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

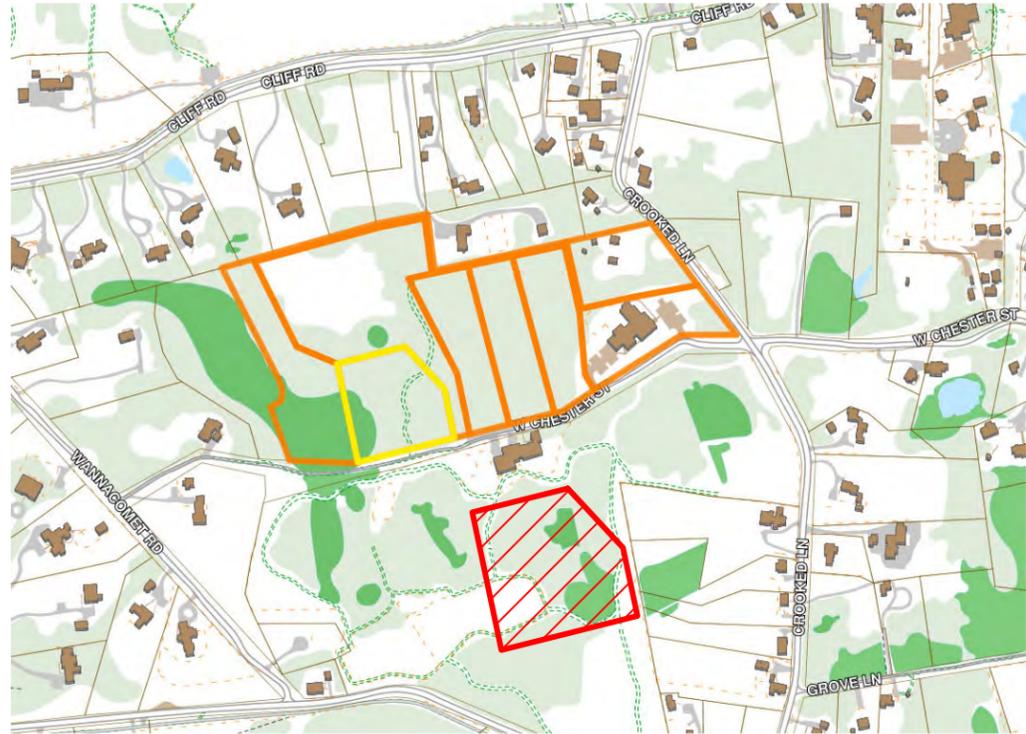
Signature

09.22.20

Date

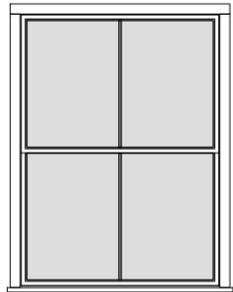
Wetherell Art Studio

10 Hickory Medow Ln Nantucket, MA 02554, Art Studio

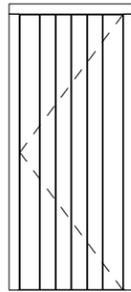


Locus Map

3/4" = 1'-0"



Double Hung
SDL
2/2



V-Groove
Dutch Door

Window & Door Legend

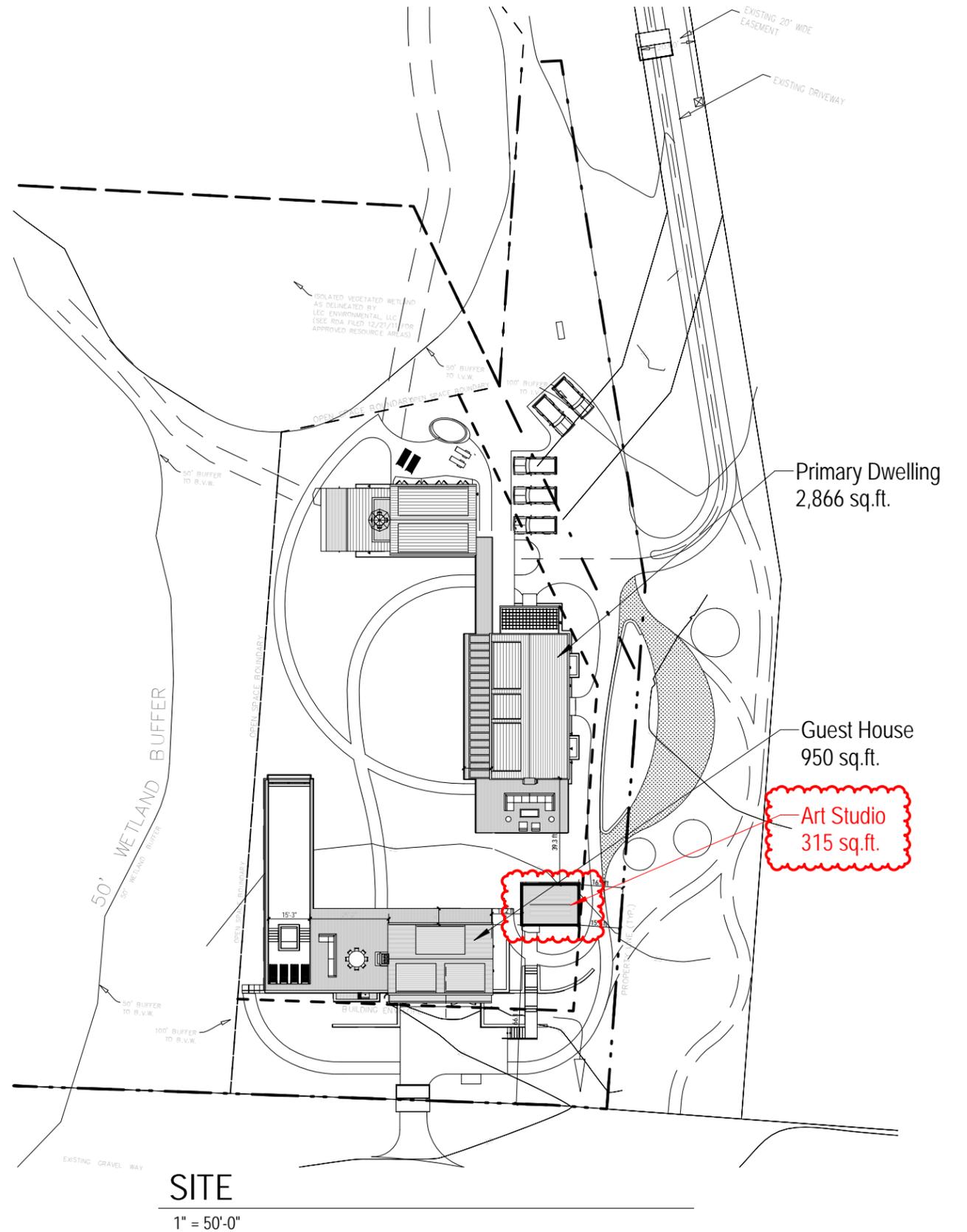
3/16" = 1'-0"

G.1.1

Wetherell Art Studio
10 Hickory Medow Ln Nantucket,
MA 02554, Art Studio

Zoning Information

Map & Parcel: 41/904
Current Zoning: LUG-2
Minimum Frontage: 150 ft.
Front Setback: 35 ft.
Side/Rear Setback: 15ft. / 15 ft.

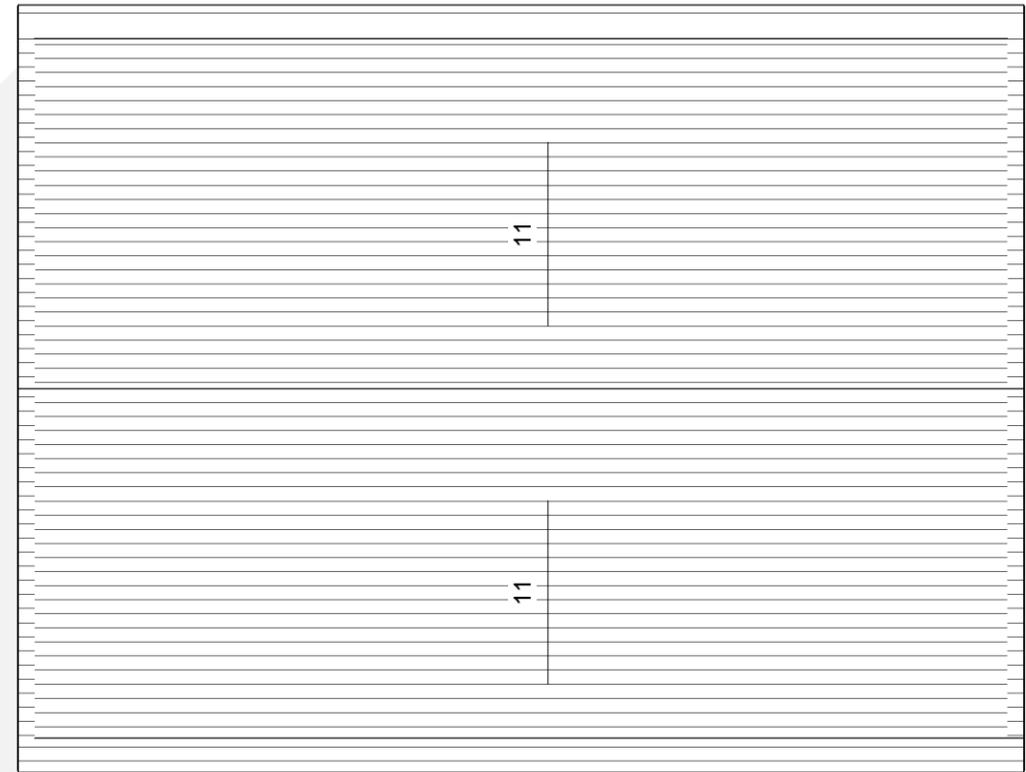
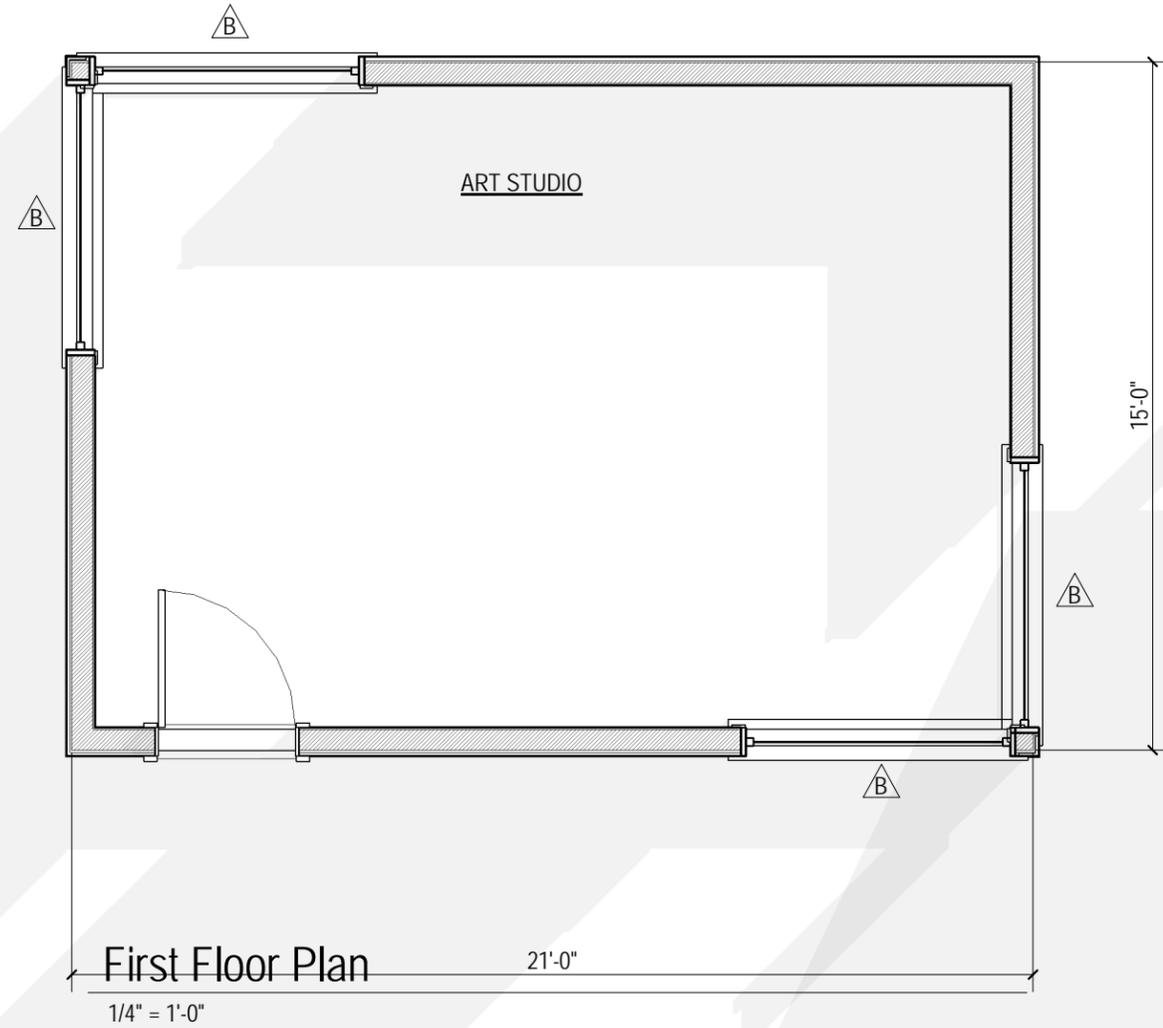


Site Plan, Locus Map

09.22.20



8 Williams Lane Nantucket, MA
02554
P. 508.325.4995
F. 508.325.6980
www.emeritusdevelopment.com



A.1.1

Wetherell Art Studio
10 Hickory Medow Ln Nantucket,
MA 02554, Art Studio

Zoning Information

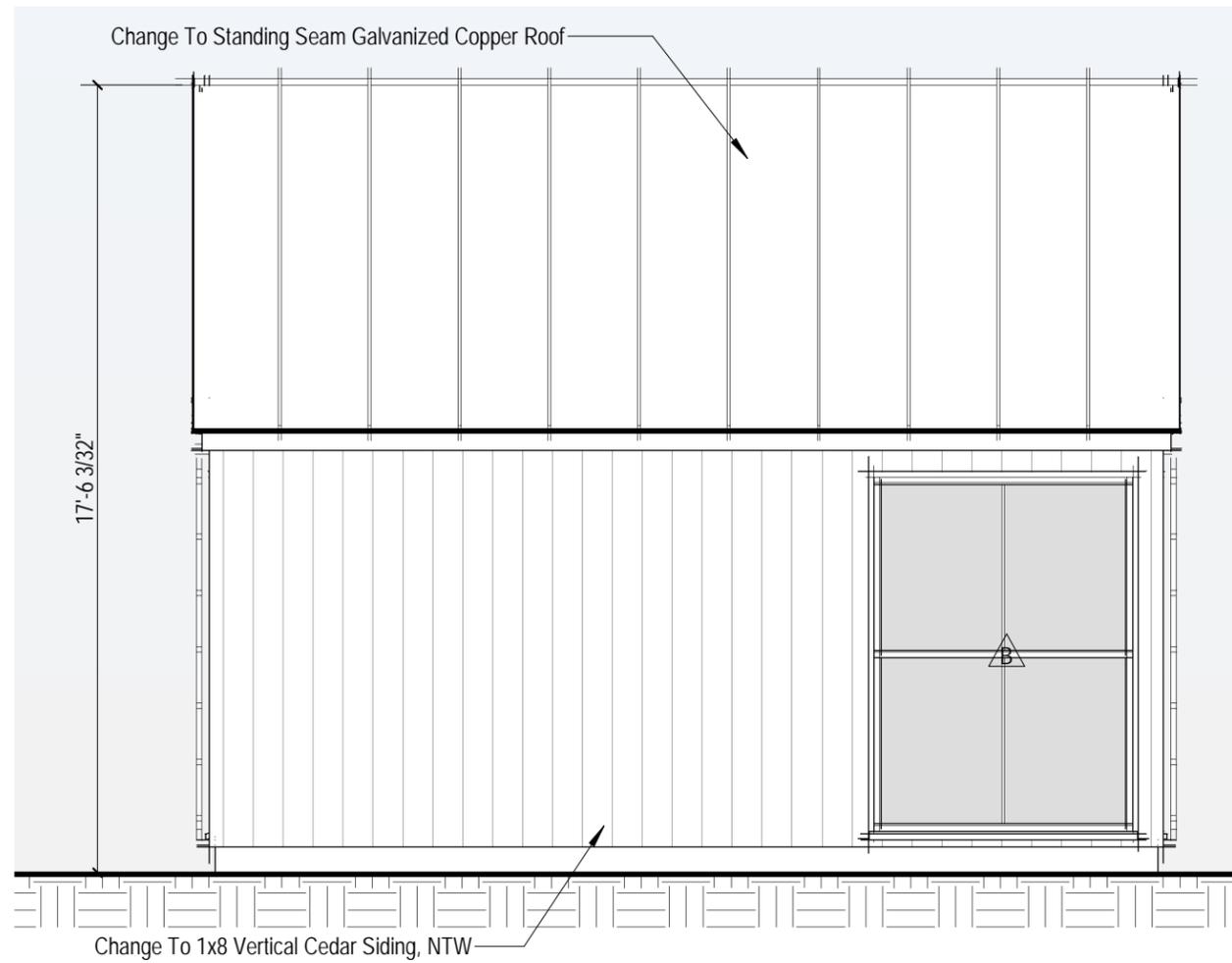
Map & Parcel: 41/904
Current Zoning: LUG-2
Minimum Frontage: 150 ft.
Front Setback: 35 ft.
Side/Rear Setback: 15ft. / 15 ft.

Floor & Roof Plans

09.22.20

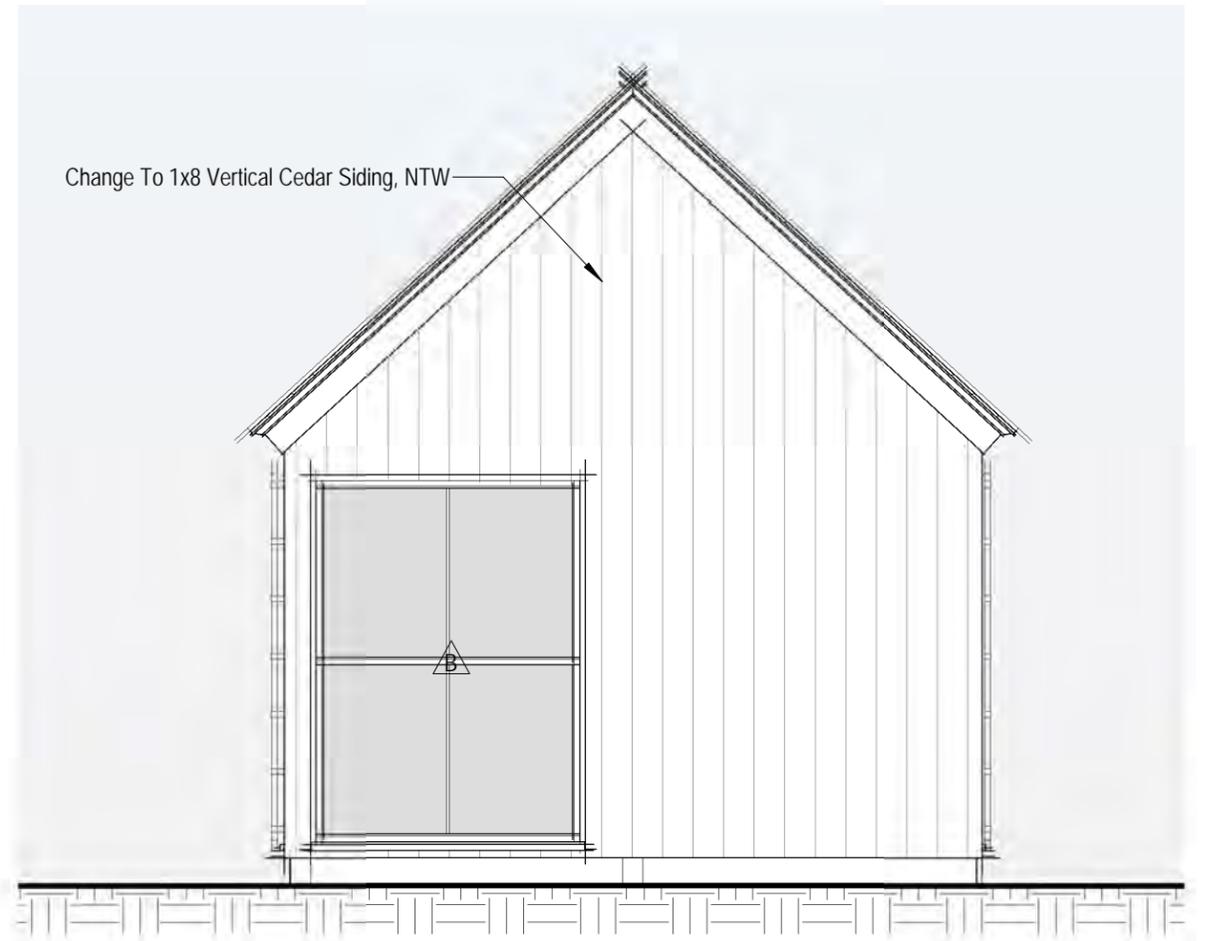


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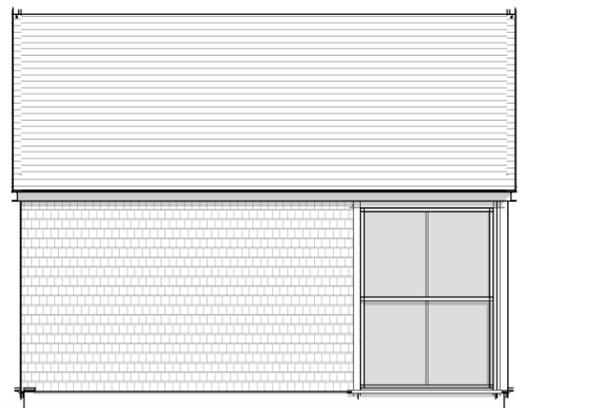
Proposed North Elevation

1/4" = 1'-0"



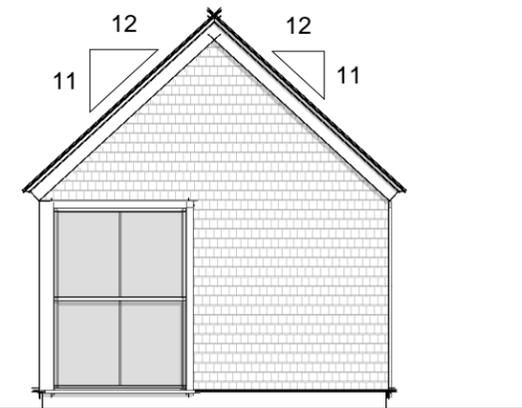
Proposed West Elevation

1/4" = 1'-0"



HDC Approved North Elevation

1/8" = 1'-0"



HDC Approved West Elevation

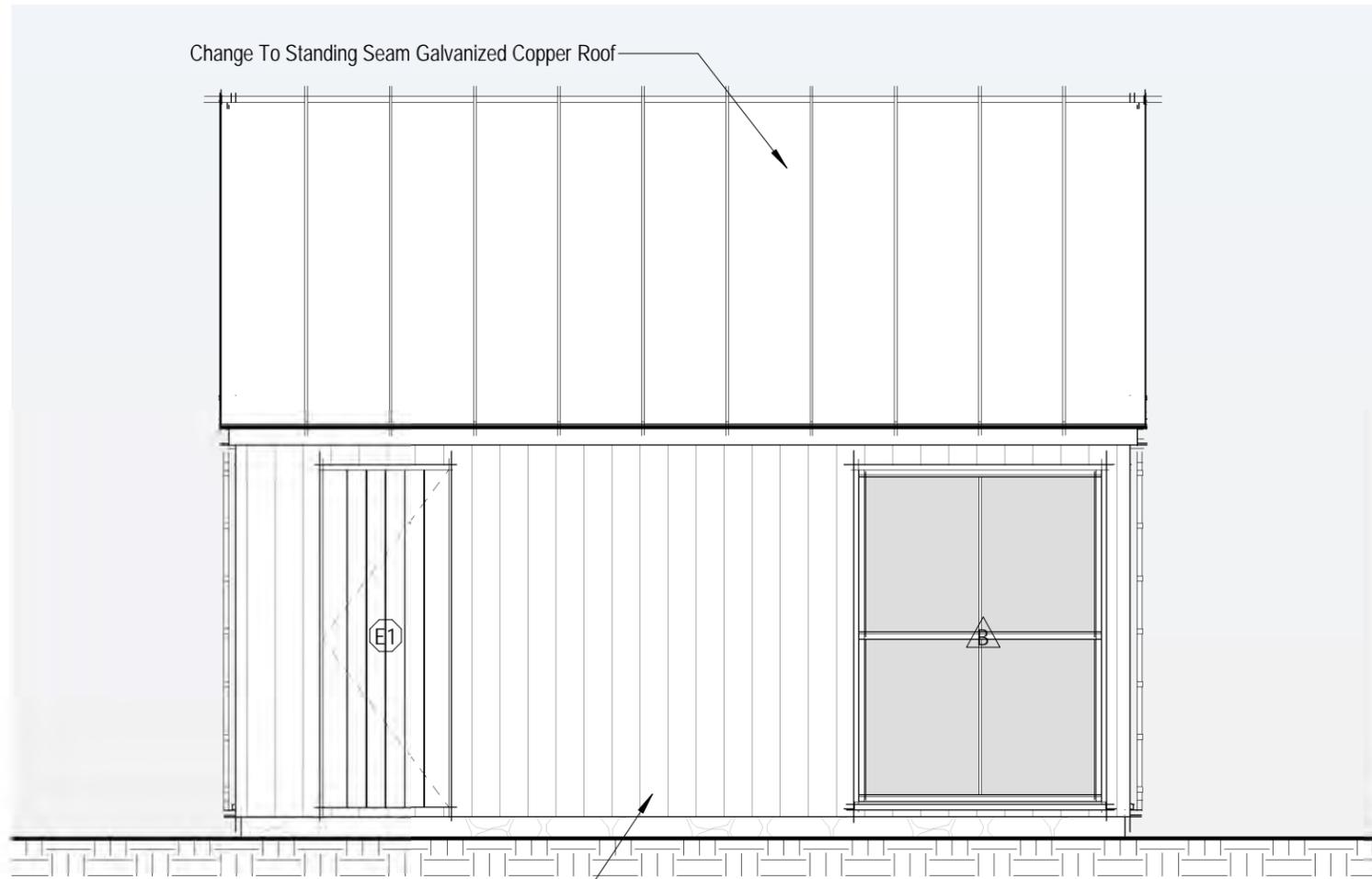
1/8" = 1'-0"

Zoning Information

Map & Parcel: 41/904
 Current Zoning: LUG-2
 Minimum Frontage: 150 ft.
 Front Setback: 35 ft.
 Side/Rear Setback: 15ft. / 15 ft.

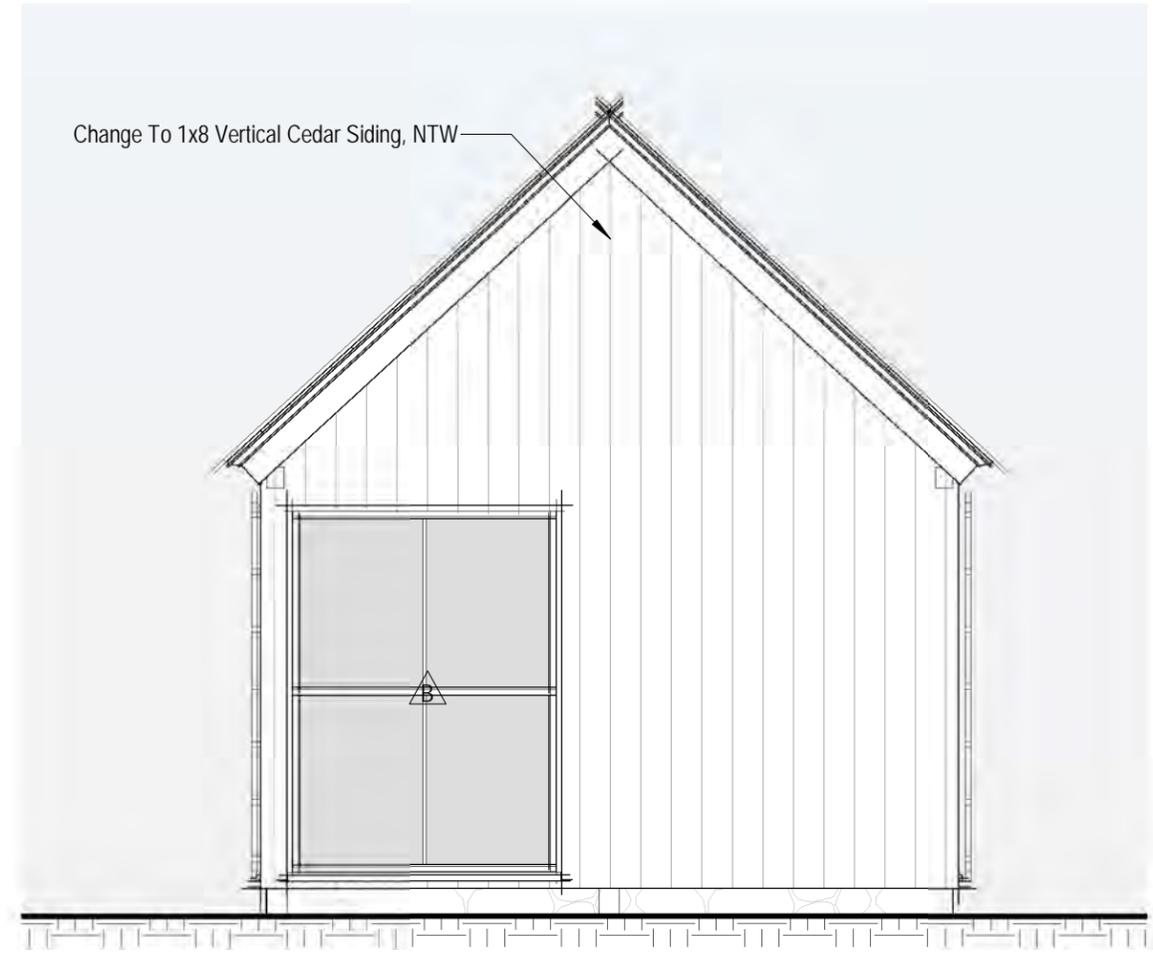
Exterior Elevations

09.22.20



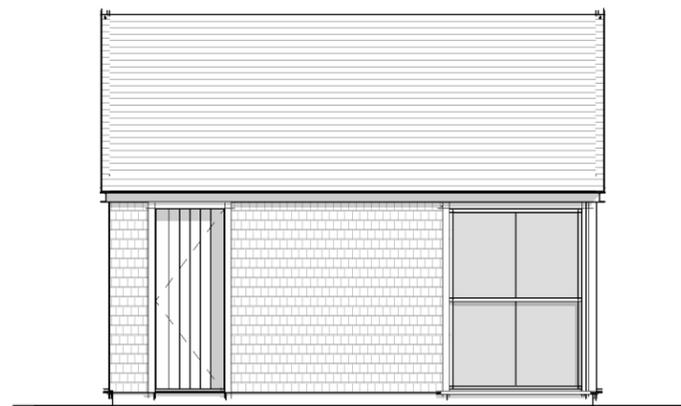
Proposed South Elevation

1/4" = 1'-0"



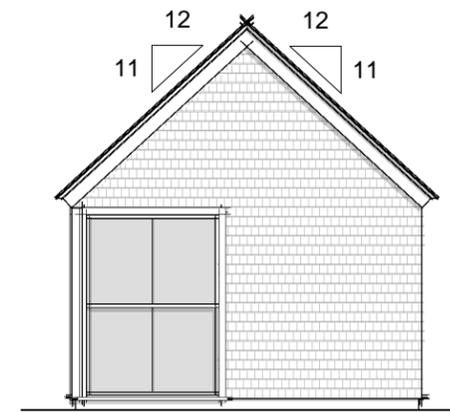
Proposed East Elevation

1/4" = 1'-0"



HDC Approved South Elevation

1/8" = 1'-0"



HDC Approved East Elevation

1/8" = 1'-0"

A.2.2

Wetherell Art Studio
 10 Hickory Meadow Ln Nantucket,
 MA 02554, Art Studio

Zoning Information

Map & Parcel: 41/904
 Current Zoning: LUG-2
 Minimum Frontage: 150 ft.
 Front Setback: 35 ft.
 Side/Rear Setback: 15ft. / 15 ft.

Exterior Elevations

09.22.20



emeritus

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 02554
 P. 508.325.4995
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 www.emeritusdevelopment.com

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 904
Street & Number of Proposed Work: 10 Hickory Meadow
Owner of record: Elizabeth Wetherell
Mailing Address: 10 Hickory Meadow
Nantucket, MA 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Emeritus
Mailing Address: 8 Williams Ln
Nantucket, MA 02554
Contact Phone #: 325-4995 E-mail: _____

FOR OFFICE USE ONLY

V# 344

Date application received: 6/17/2020 Fee Paid: \$ 5000

Must be acted on by: 8/22/2020

Extended to: _____

Approved: _____ Disapproved: _____

Chairman: Denzel B. Combs (Acting)

Member: _____

Member: _____

Member: _____

Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 2020-05-1033
- Pool (Zoning District _____) Roof Other Relocate Door

Size of Structure or Addition: Length: 21 ft. Sq. Footage 1st floor: 315 Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 15 ft. Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 6" +/- South 6" +/- East 6" +/- West 6" +/-
Height of ridge above final finish grade: North 17' South 17' East 17' West 17'

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other w/ stone veneer
Roof Pitch: Main Mass 11 /12 Secondary Mass _____ /12 Dormer _____ /12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Red Cedar

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 7 1/4" Rake 7 1/4" Soffit (Overhang) 5 1/2' Corner boards n/a Frieze _____
Window Casing 3 1/2" Door Frame 3 1/2" Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall Natural Clapboard (if applicable) n/a Roof Natural
Trim Grey Sash Grey Doors Grey
Deck Natural Foundation Natural Fence _____ Shutters _____

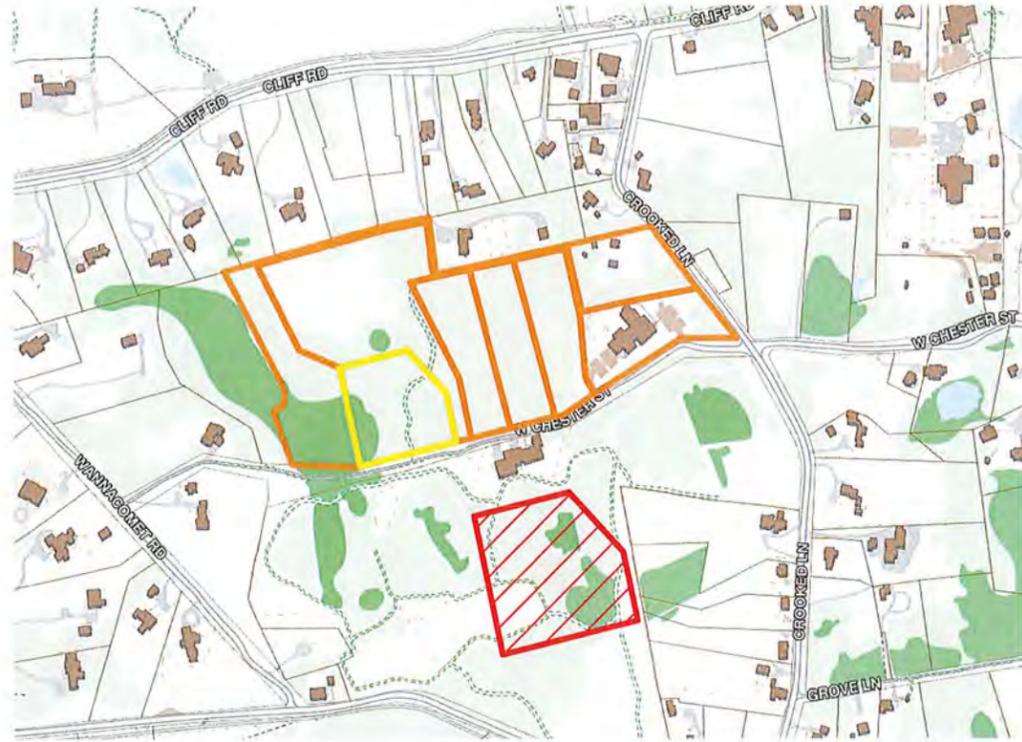
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 6.17.20 Signature of owner of record _____ Signed under penalties of perjury _____

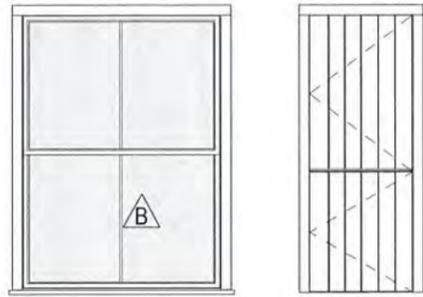
Wetherell Art Studio

10 Hickory Medow Ln Nantucket, MA 02554, Art Studio



Locus Map

3/4" = 1'-0"



Double Hung
SDL
2/2

V-Groove
Dutch Door

Window & Door Legend

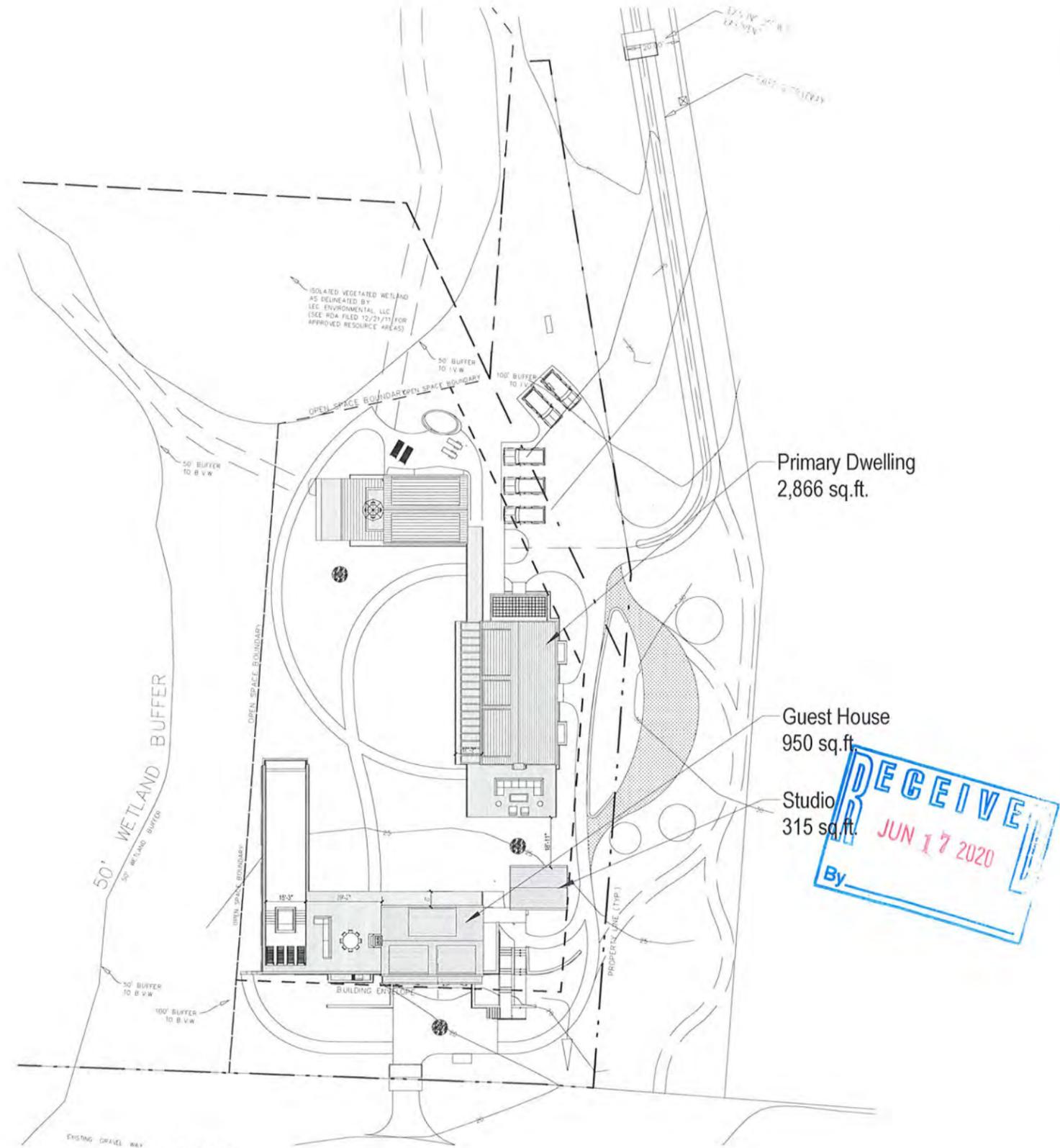
3/16" = 1'-0"

G.1.1

Wetherell Art Studio
10 Hickory Medow Ln Nantucket,
MA 02554, Art Studio

Zoning Information

Map & Parcel: 41/904
Current Zoning: LUG-2
Minimum Frontage: 150 ft.
Front Setback: 35 ft.
Side/Rear Setback: 15ft. / 15 ft.



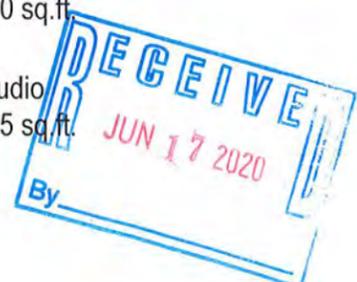
SITE

1" = 50'-0"

Primary Dwelling
2,866 sq.ft.

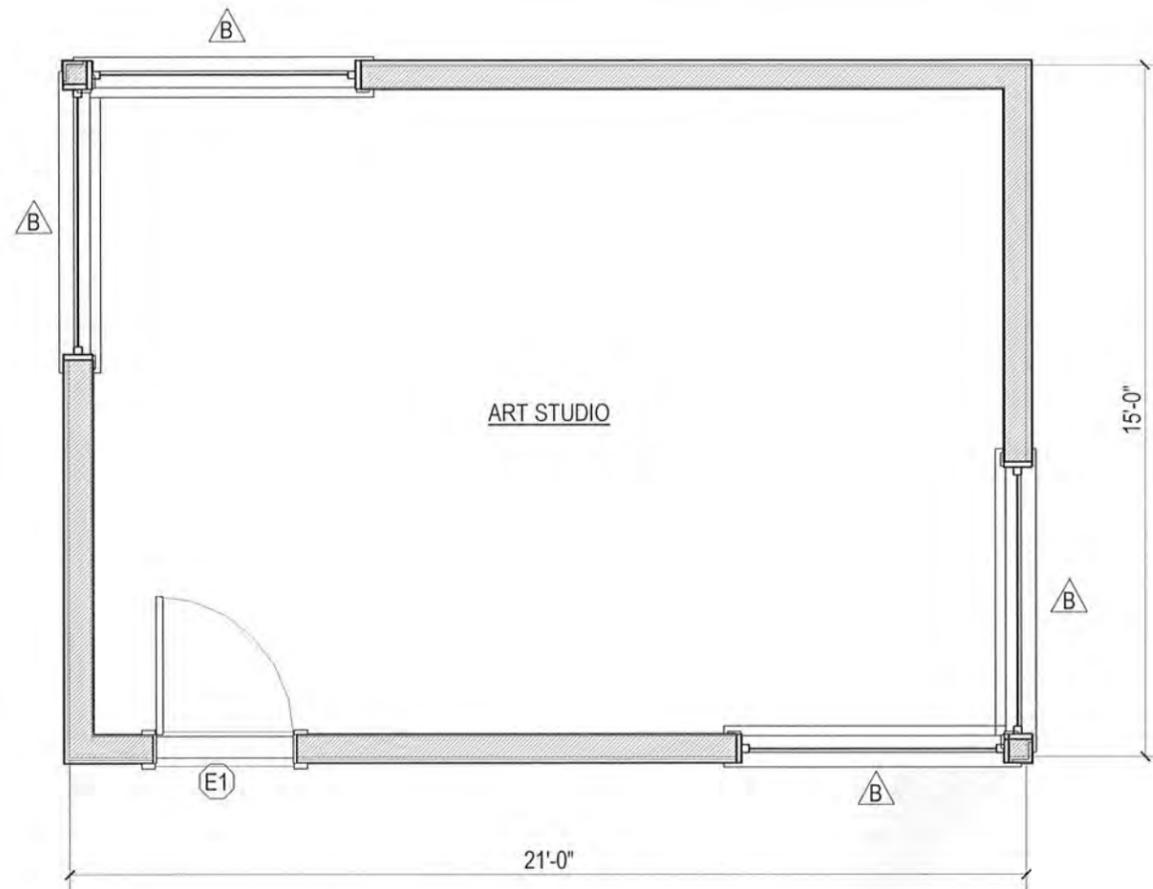
Guest House
950 sq.ft.

Studio
315 sq.ft.



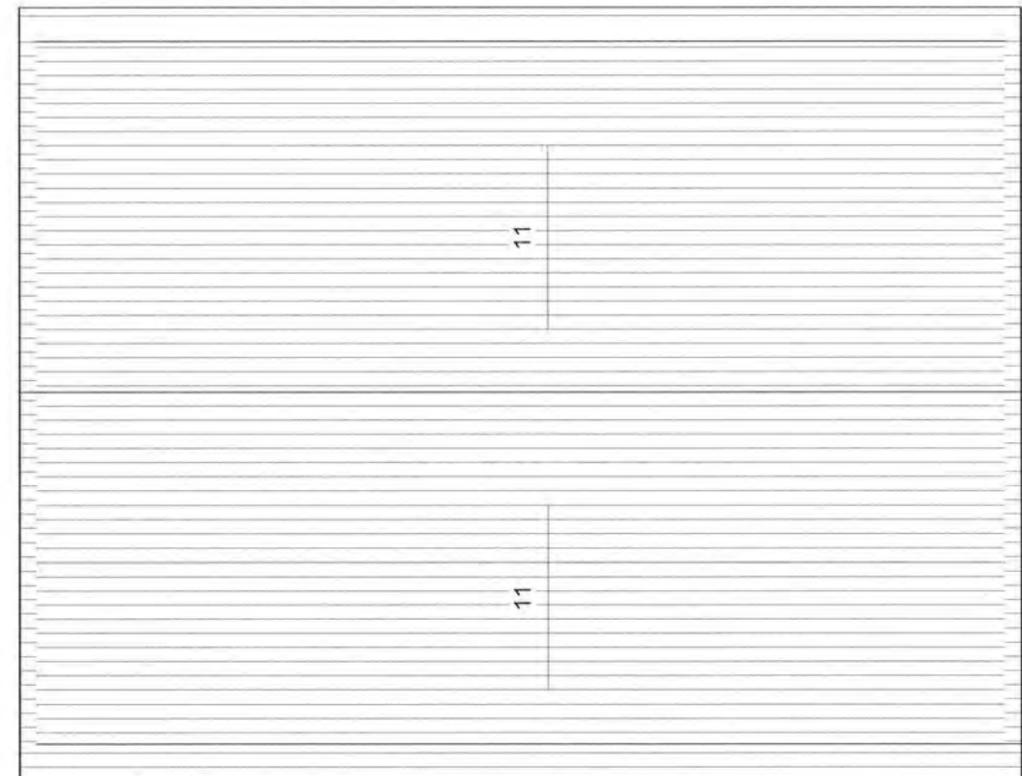
emeritus

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02554
P. 508.325.4995
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www.emeritusdevelopment.com



First Floor Plan

1/4" = 1'-0"



Roof Plan

1/4" = 1'-0"

Zoning Information

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Current Zoning: LUG-2
Minimum Frontage: 150 ft.
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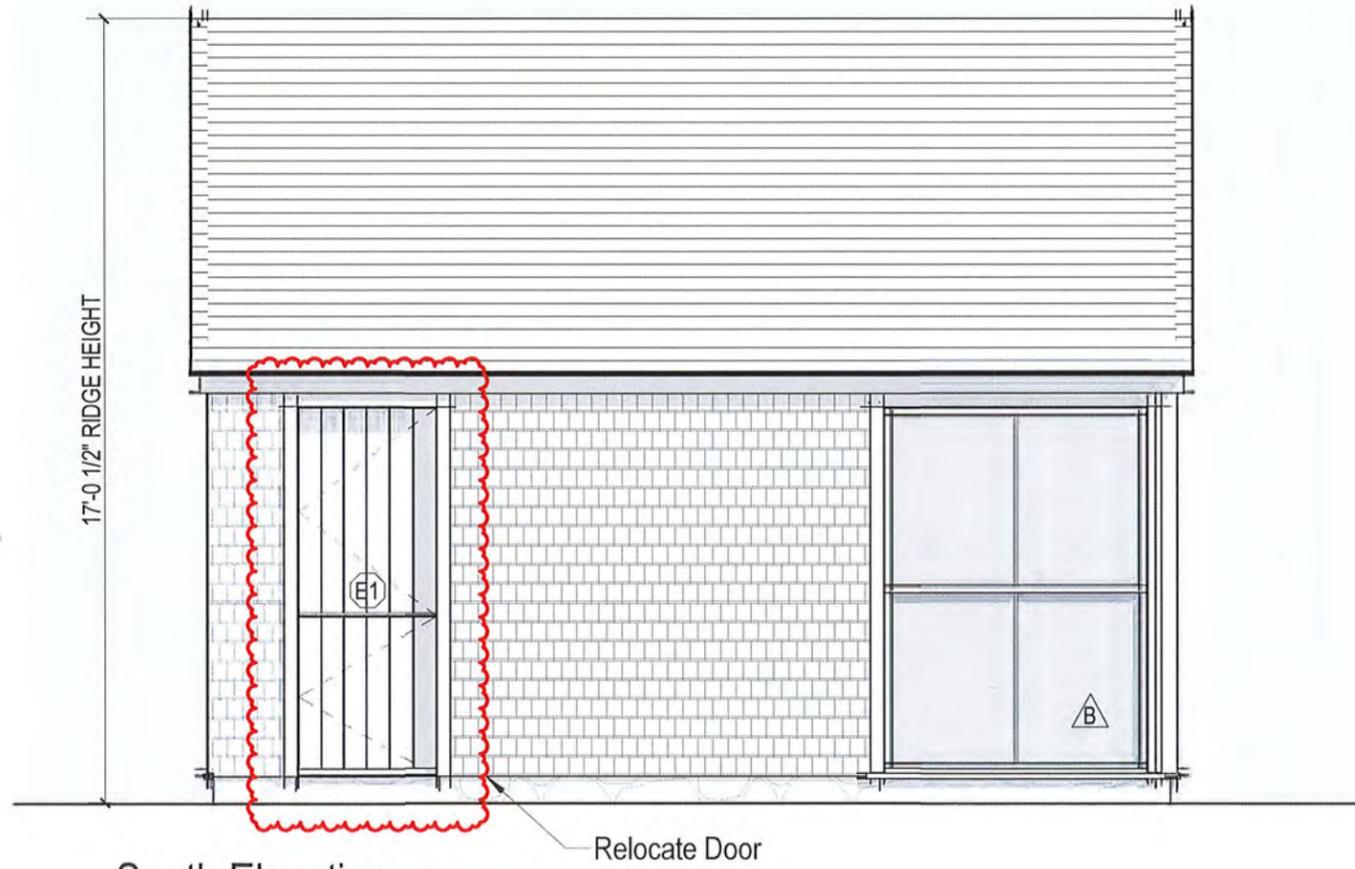
Floor & Roof Plans

06.17.20



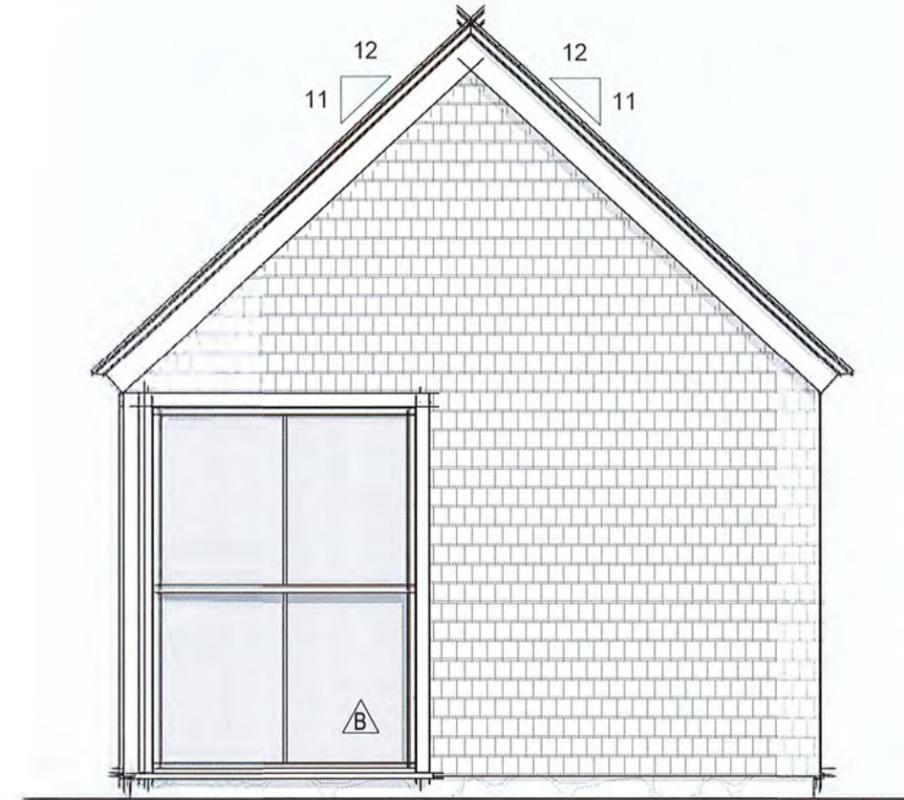
emeritus

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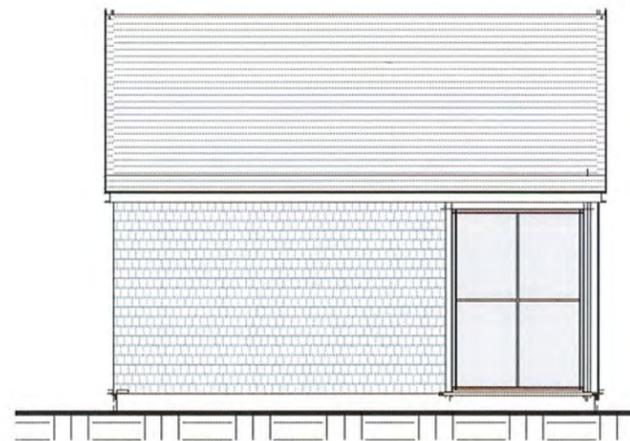
South Elevation

1/4" = 1'-0"



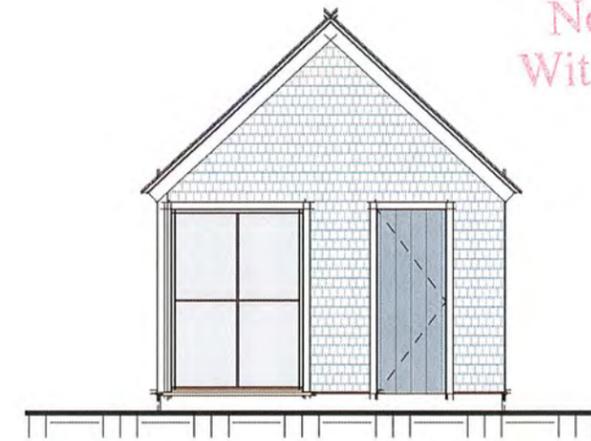
West Elevation

1/4" = 1'-0"



Previous South Elevation

1/8" = 1'-0"



Previous West Elevation

1/8" = 1'-0"

APPROVED

HDC 2020-06-1167

No Exterior Changes
Without HDC Approval



A.2.1

Wetherell Art Studio
10 Hickory Meadow Ln Nantucket,
MA 02554, Art Studio

Zoning Information

Map & Parcel: 41/904
Current Zoning: LUG-2
Minimum Frontage: 150 ft.
Front Setback: 35 ft.
Side/Rear Setback: 15ft. / 15 ft.

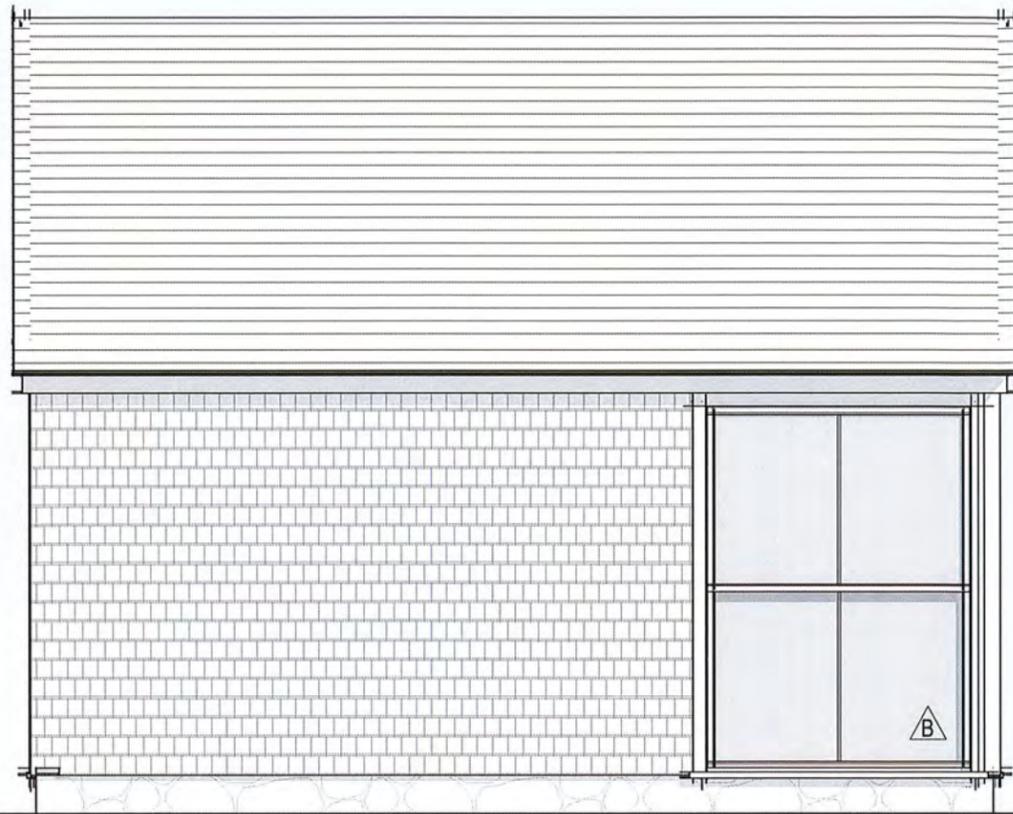
Exterior Elevations

06.17.20



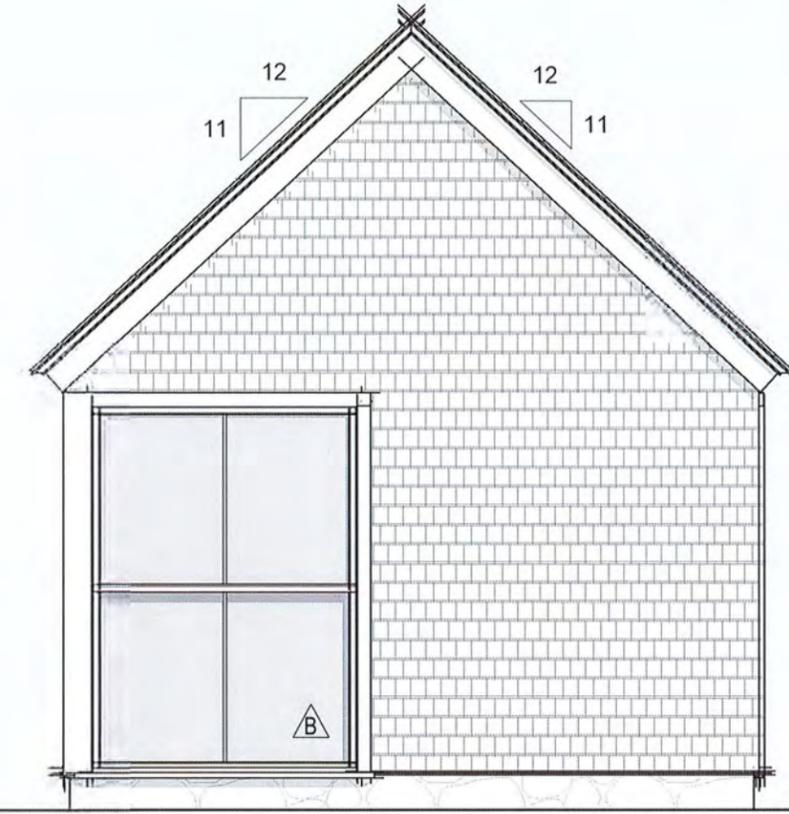
emeritus

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02554
P. 508.325.4995
F. 508.325.6980
www.emeritusdevelopment.com



North Elevation

1/4" = 1'-0"



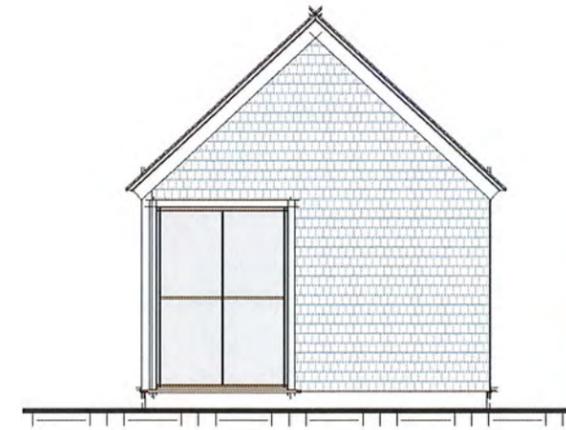
East Elevation

1/4" = 1'-0"



Previous North Elevation

1/8" = 1'-0"



Previous East Elevation

1/8" = 1'-0"



Zoning Information

Map & Parcel: 41/904
Current Zoning: LUG-2
Minimum Frontage: 150 ft.
Front Setback: 35 ft.
Side/Rear Setback: 15ft. / 15 ft.

Exterior Elevations

06.17.20



emeritus

8 Williams Lane Nantucket, MA
02554
P. 508.325.4995
F. 508.325.6980
www.emeritusdevelopment.com

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 40 PARCEL N°: 4
 Street & Number of Proposed Work: 21 Eel Point Road
 Owner of record: James + Kimberly Pallotta
 Mailing Address: 180 Ash Street
Weston, MA 02493
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Botticelli + Pohl
 Mailing Address: 11 Old South Road
Nantucket, MA 02554
 Contact Phone #: 228-5455 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other Padel Court 35' x 70'

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
 Original Date: _____
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
 1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

Fence: Height: _____
 Type: _____
 Length: _____

* Note: Complete door and window schedules are required.

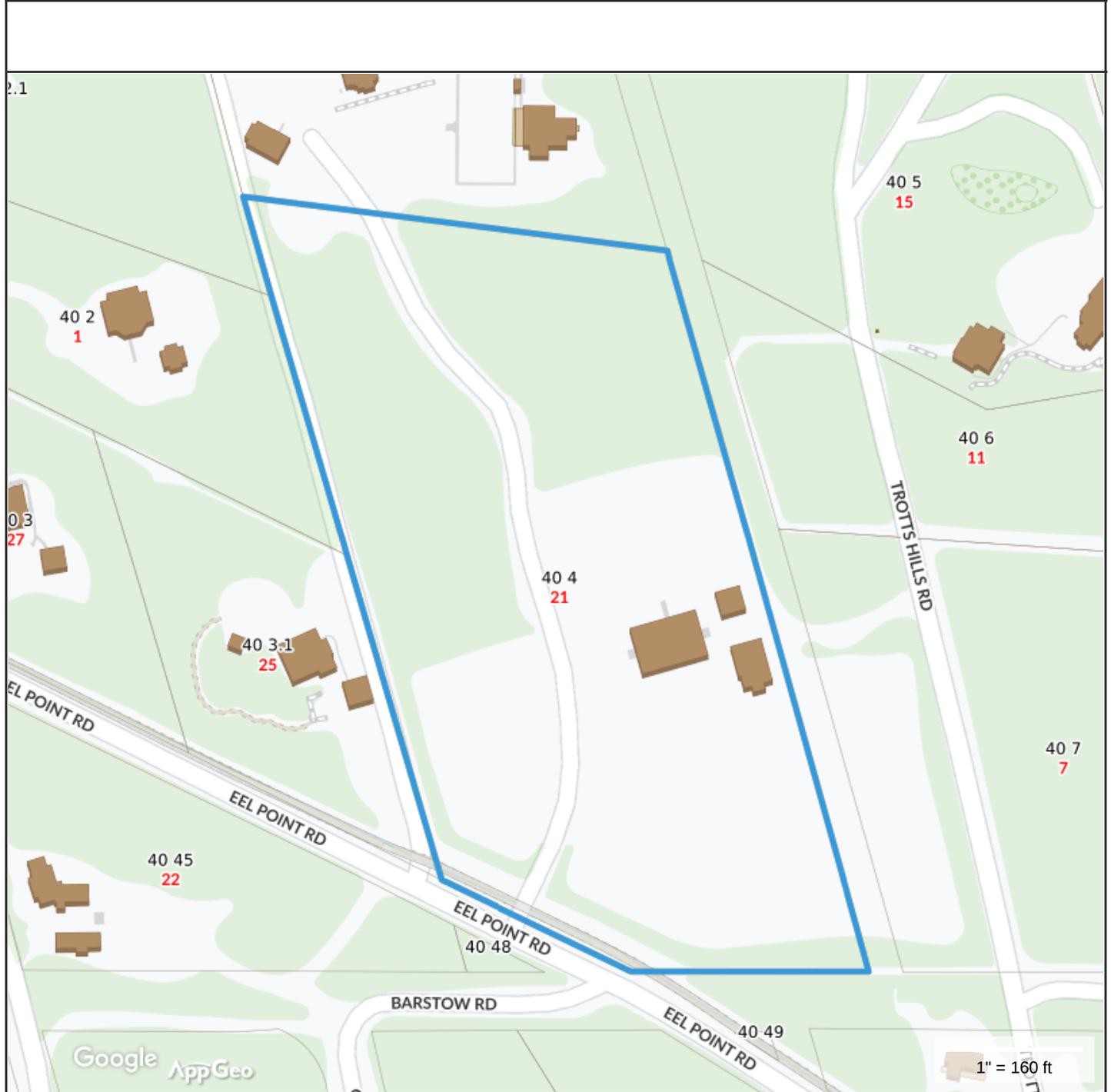
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 9/22/20 Signature of owner of record [Signature] Signed under penalties of perjury



Property Information

Property ID 40 4
Location 21 EEL POINT RD
Owner PALLOTTA JAMES J & KIMBERLY S



**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

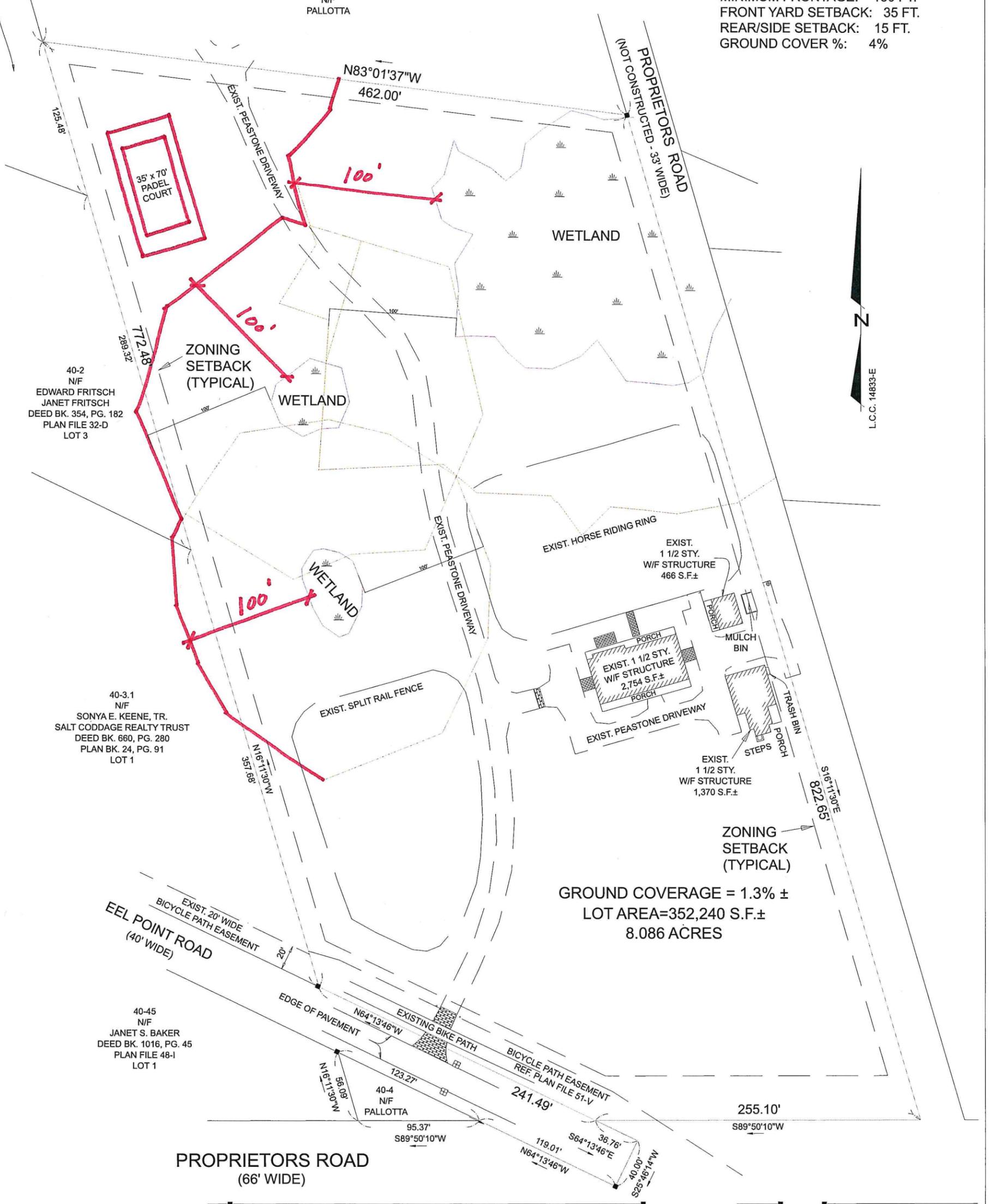
Geometry updated 11/13/2018
Data updated 11/19/2018

N/F
BETSY L. DANGEL
DEED BK. 788, PG. 160
PLAN FILE 32-D
LOT 4

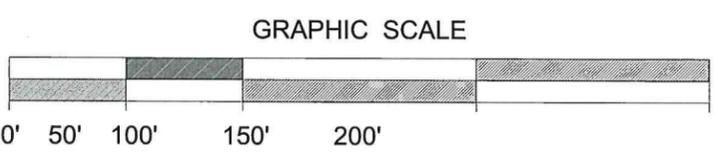
31-35
N/F
PALLOTTA

CURRENT ZONING CLASSIFICATION:
Limited Use General 2 (L.U.G.-2)

MINIMUM LOT SIZE: 80,000 S.F.
MINIMUM FRONTAGE: 150 FT.
FRONT YARD SETBACK: 35 FT.
REAR/SIDE SETBACK: 15 FT.
GROUND COVER %: 4%



GROUND COVERAGE = 1.3% ±
LOT AREA=352,240 S.F.±
8.086 ACRES



BUILDING LOCATION PLAN

In Nantucket, Mass.
Prepared for

JAMES J. PALLOTTA
KIMBERLY S. PALLOTTA

Scale: 1"= 100' NOVEMBER 22, 2010

21 EEL POINT ROAD
MAP 40 PARCEL 4

DEED BK. 723, PG. 108
PLAN BK. 1, PG. 98

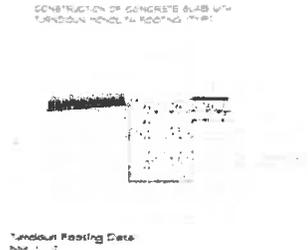
BLACKWELL & ASSOCIATES, Inc.

Professional Land Surveyors
20 TEASDALE CIRCLE
NANTUCKET, MASS. 02554
(508) 228-9026

THIS PLOT PLAN WAS PREPARED FOR THE TOWN OF NANTUCKET BUILDING DEPARTMENT ONLY AND SHOULD NOT BE CONSIDERED A PROPERTY LINE SURVEY. THIS PLAN SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES, FENCES, HEDGES OR ANY ANCILLARY STRUCTURES ON THE PREMISES. THE PROPERTY LINES SHOWN RELY ON CURRENT DEEDS AND PLANS OF RECORD. THIS PLOT PLAN IS NOT A CERTIFICATION AS TO TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR RECORDS.

All Racquet Sports is pleased to present the following proposal for a residential padel court. Padel is a social sport that we all can enjoy at the club or at home, especially at home! We look forward to partnering with you and providing the best padel court for your home!

Design, Layout & Site-work



Greg George Padel Court Layout with background
1/10/2021

Court Design and Layout: All Racquet Sports will partner with your local design and construction team to provide conceptual padel court layouts, 3d renderings and detail facility location drawings to ensure the installation and execution meet your expectations if needed.

Construction & Installation Services: All Racquet Sports will deploy its experienced US padel installation team to install your padel courts to highest standards. Installation and project management software will be implemented to keep projects on track, organized and professionally installed at all locations.

Terms: 50% due at time of order, 25% due at time when courts are delivered, 25% 1 week after installation.

Permitting: Permits and approval are not included in this proposal. ARS will assist your local contractor or site development team in obtaining any necessary permits, final approvals are the responsibility of our customers.

Warranties: Confidence and peace-of-mind are important points in a new business venture with high visibility and standards. ARS backs production and installation with some of the best warranties in the industry.

Manufacturers Warranties:

Steel: 2-15 years depending on treatments

Glass: 5 years

Turf UVA: Based on location

Installation Workmanship: 1 year



Best Court Options: Based on your location, All Racquet Sports recommends the newest, longest lasting and most innovative pillar court on the international market. The aluminum style Padel court is the first of its kind in the US with strong, durable, light and recyclable pillars for a smarter and sustainable forward thinking court.

Aluminum Reinforced Pillar Court

Exclusively Designed and Manufactured for All Racquet Sports



Highlighted Features:

- Aluminum alloy pillars lacquered with seal Qualicoat
- No welding
- Stainless steel fasteners
- 10 mm glass
- Longest lasting padel court on the market
- Wind tested to 130 mph
- Warranty on aluminum pillars: 15 years
- Warranty on mesh: 5 years

Included Upgrades:

- Mono fiber 10mm WPT SuperTurf Easy Maintenance Turf
- Additional 10mm 3x2 M replacement glass

\$42,625*
Including upgrades
Plus installation, duties
& shipping

**Estimated total pricing for installed courts noted on the following detailed quote sheet*

Padel la PalloTTa, Barcelona - December 2017

- 2-2,7 mm aluminum exclusive profiles
- 10mm toughened glass
- Thermoplastic coating in meshes and anchor plates
- Laser cut anchor plates for all posts
- AISI 316 stainless steel brackets for glass fixings
- No welding required with this system
- Led 238w or 317w
- AFP Turf Monofibre

Materials & Technologies

ALL RACQUET
SPORTS
USA

PALLOTTA PADEL PROPOSAL

The perfect padel court for your home!



THE RITZ-CARLTON
KEY BISCAWAYNE, MIAMI
Aluminum padel courts



ALL RACQUET
SPORTS
USA

www.allracquetsports.com

9756 Quail Ridge Road, Ste 101 Sandy, UT 84092

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 995 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N: 80 PARCEL N: 327
Street & Number of Proposed Work: 22 Boulevard
Owner of record: 22 BLVD LLC
Mailing Address: 14 Plum St, Nantucket MA 02554
Contact Phone #: E-mail:

AGENT INFORMATION (if applicable)

Name: Norman Residential
Mailing Address: PO Box 1375, Nantucket MA 02554
Contact Phone #: 778-2044 E-mail:

FOR OFFICE USE ONLY

Date application received: Fee Paid: \$
Must be acted on by:
Extended to:
Approved: Disapproved:
Chairman:
Member:
Member:
Member:
Member:
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- Checkboxes for New Dwelling, Addition, Garage, Driveway/Apron, Commercial, Historical Renovation, Deck/Patio, Steps, Shed, Color Change, Fence, Gate, Hardscaping, Move Building, Demolition, Revisions to previous Cert. No, Pool, Roof, Other Entertainment Building.
Size of Structure or Addition: Length: 30', Sq. Footage 1st floor: 751 sf, Decks/Patio: Size: 180 sf, 1st floor, 2nd floor.
Width: 22', Sq. Footage 2nd floor: 751 sf, Sq. Footage 3rd floor:
Difference between existing grade and proposed finish grade: North No change, South, East, West.
Height of ridge above final finish grade: North 25'0", South, East, West.

Additional Remarks

- REVISIONS: 1. East Elevation, 2. South Elevation, 3. West Elevation, 4. North Elevation

Historic Name:

Original Date:

Original Builder:

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8", Block, Block Parged, Brick (type), Poured Concrete, Piers
Masonry Chimney: Block Parged, Brick (type), Other
Roof Pitch: Main Mass 10/12, Secondary Mass 4/12, Dormer 10/12, Other
Roofing material: Asphalt, 3-Tab, Architectural, Wood (Type: Red Cedar, White Cedar, Shakes, etc.)
Fence: Height, Type, Length
Skylights (flat only): Manufacturer, Rough Opening, Size, Location
Gutters: Wood, Aluminum, Copper, Leaders (material)
Leaders (material and size):
Sidewall: White cedar shingles Natural, Clapboard (exposure: inches) Front, Side
Trim: A. Wood, Pine, Redwood, Cedar, Other; B. Treatment, Paint, Natural to weather, Other; C. Dimensions: Fascia 1x3, Rake 1x3, Soffit (Overhang) 6", Corner boards 8/4x6, Frieze 1x6
Window Casing 5/4x4, Door Frame 5/4x4, Columns/Posts Round, Square 6x6
Windows: Double Hung, Casement, All Wood, Other Fixed, True Divided Lights (muntins), single pane, SDL's (Simulated Divided Lights) Manufacturer Andersen
Doors: (type and material) TDL, SDL Front 4 light 1 panel, Rear, Side; Garage Door(s): Type Slider, Material Wood
Hardscape materials: Driveways, Walkways, Walls

* Note: Complete door and window schedules are required.

COLORS

Sidewall: Natural, Clapboard (if applicable), Roof: Natural
Trim: White, Sash: White, Doors: White
Deck: Natural, Foundation: Corex, Fence, Shutters

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date: 9/23/2020

Signature of owner of record

Signed under penalty of perjury

ben@normandresidential.com

From: Ryan <seanantucket@comcast.net>
Sent: Thursday, September 17, 2020 7:33 PM
To: Benjamin normand
Subject: 22 Boulevard

Historic District Commission,

I allow Benjamin Normand to sign applications and represent said applications for my property at 22 Boulevard.

*Sincerely,
Ryan Fitch*

Sent from my iPhone

BENJAMIN NORMAND RESIDENTIAL DESIGN INC

15 COMMERCIAL WHARF
NANTUCKET, MA 02554

CAPE COD 5
ORLEANS, MA 02653
53-7107/2113

1164

9/21/2020

PAY TO THE
ORDER OF

Town of Nantucket

\$ 300.40

Three hundred 40/100

DOLLARS

MEMO Fitch 22 BLVD - Barn HDC



[Signature]
AUTHORIZED SIGNATURE

Security features. Details on back

⑈001164⑈ ⑆211371078⑆ 832634751⑈

BENJAMIN NORMAND RESIDENTIAL DESIGN INC

1164

9/21/2020

T.O.N.

\$ 300.40

Fitch 22 BLVD - Barn HDC

BENJAMIN NORMAND RESIDENTIAL DESIGN INC

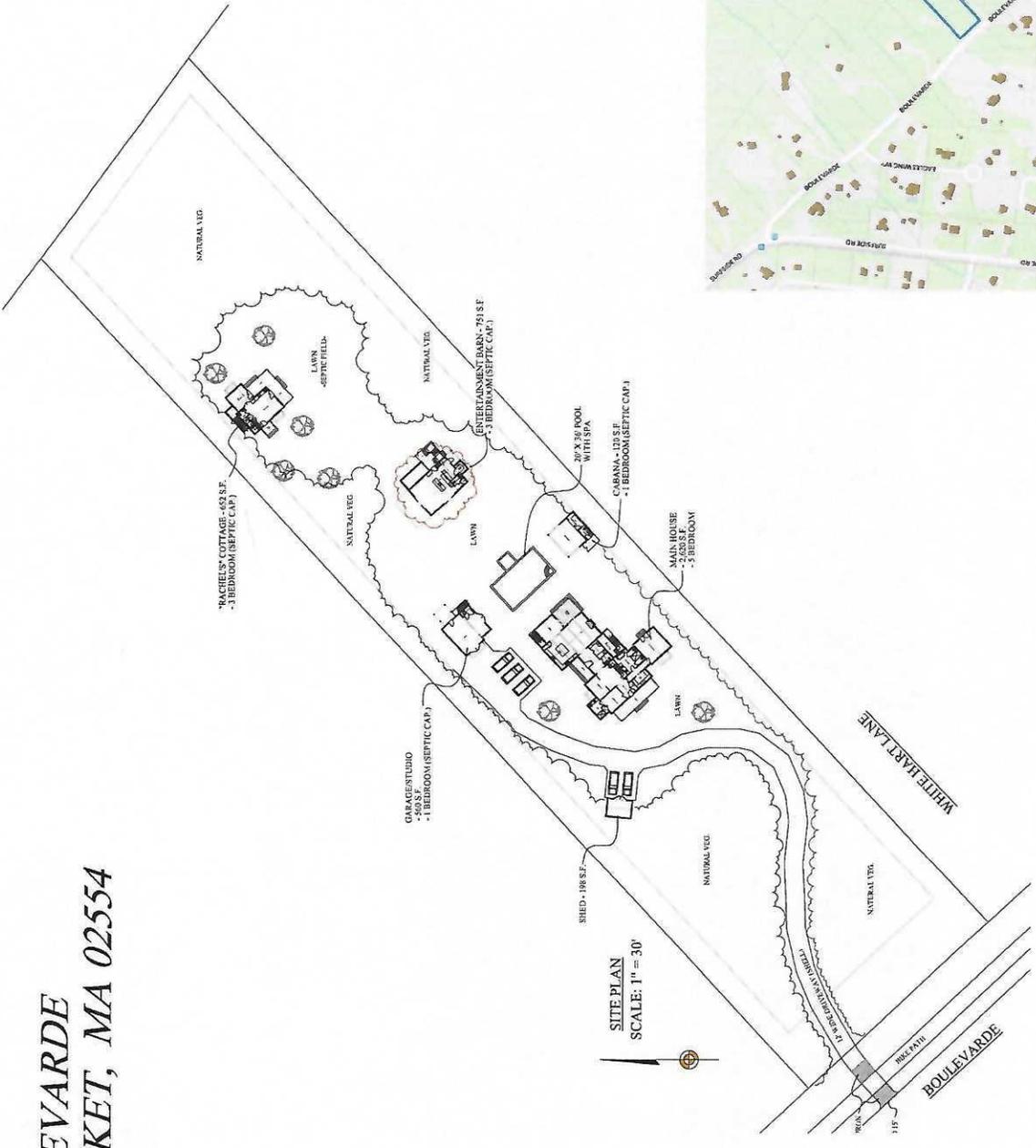
1164



22 BOULEVARDE NANTUCKET, MA 02554

MAP & PARCEL: 80 / 327
 ZONE: LUG - 2
 FRONT / REAR SETBACKS: 35' / 15'
 MINIMUM LOT SIZE: 80,000 s.f.
 LOT AREA: 117,608 s.f.
 GROUND COVER RATIO: 4%
 PROPOSED NEW GROUND COVER:
 MAIN HOUSE: 2,618 S.F.
 GARAGE: 560 S.F.
 CABANA: 120 S.F.
 BARN: 751 S.F.
 "RACHEL'S" COTTAGE: 652 S.F.F.
 TOTAL GROUND COVER: 4,701 S.F.
 ALLOWABLE GROUND COVER: 4,704 S.F.

SITE PLAN
 SCALE: 1" = 30'

A

22 BOULEVARDE
NANTUCKET, MA

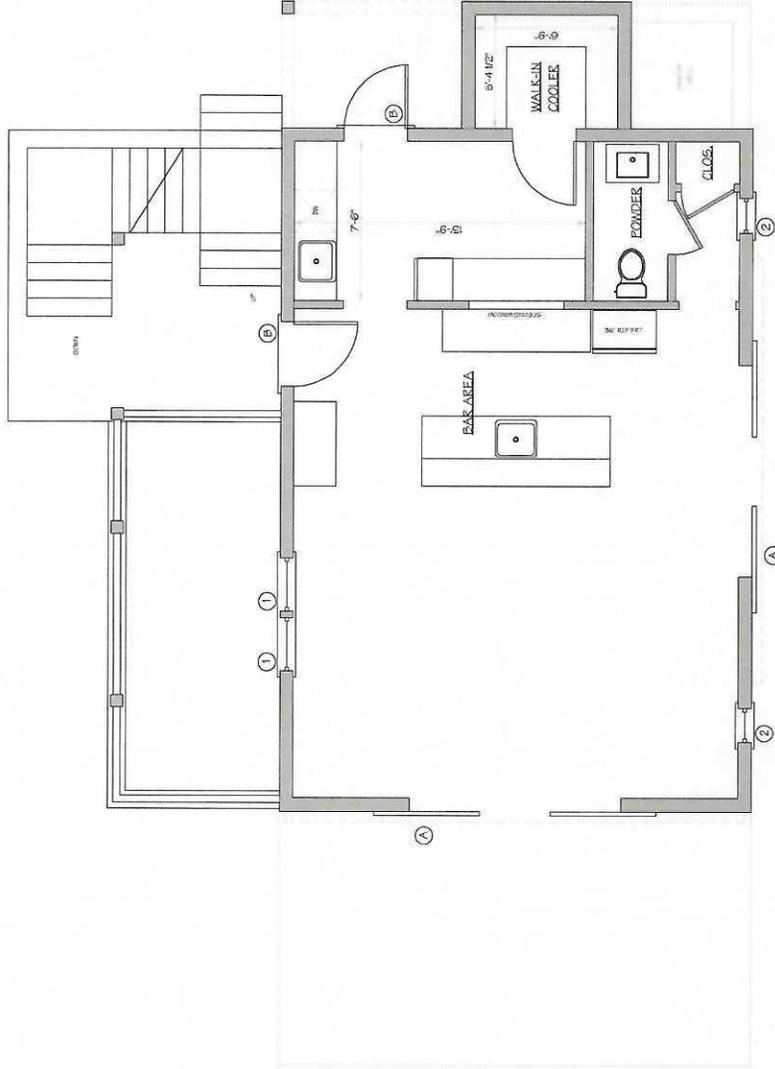
MP: 80 / 327

COVER SHEET
DATE: 09/21/2020
SCALE: AS NOTED

This plan shows existing conditions and proposed improvements. It is intended to be used in conjunction with the site plan and other documents. All dimensions are in feet and inches. All measurements are to the centerline unless otherwise noted.

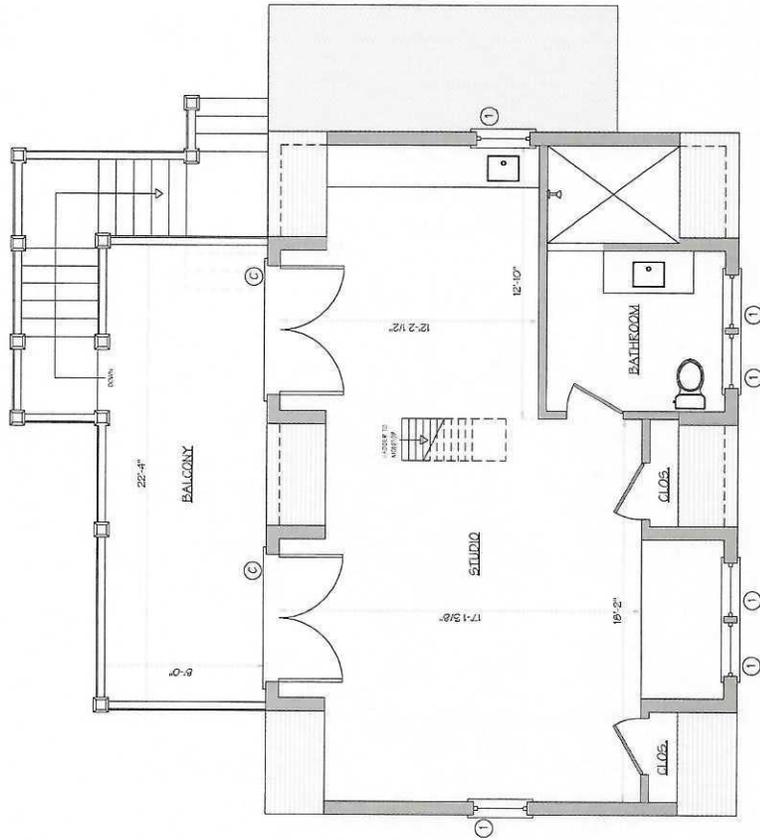
BENJAMIN
 NORMAND RESIDENTIAL
 DESIGN, INC.
 15 COMMERCIAL WHARF - NANTUCKET, MA 02554
 (508) 228-2644 NORMANDRESIDENTIAL.COM

Drawings are to be used only for the project and site shown. No other use or reproduction is permitted without the written consent of the architect.



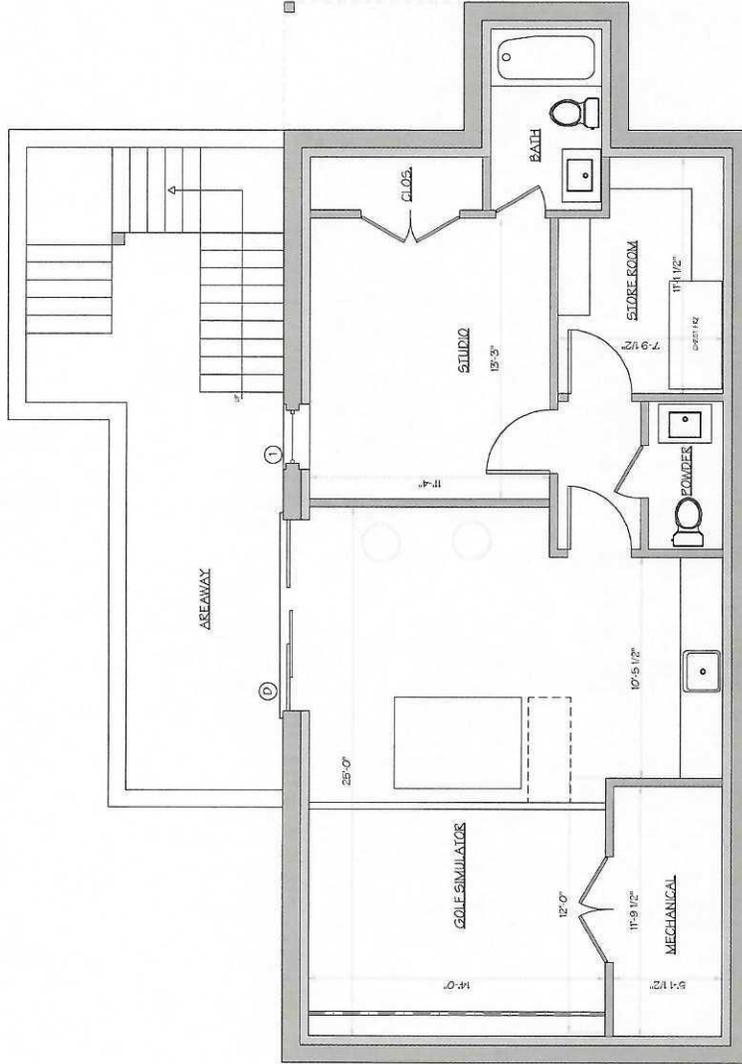
FIRST FLOOR PLAN
751 S.F. (GROUND COVER)

Dimensions of openings, unless otherwise noted, are shown in millimeters and rounded to the nearest millimeter.



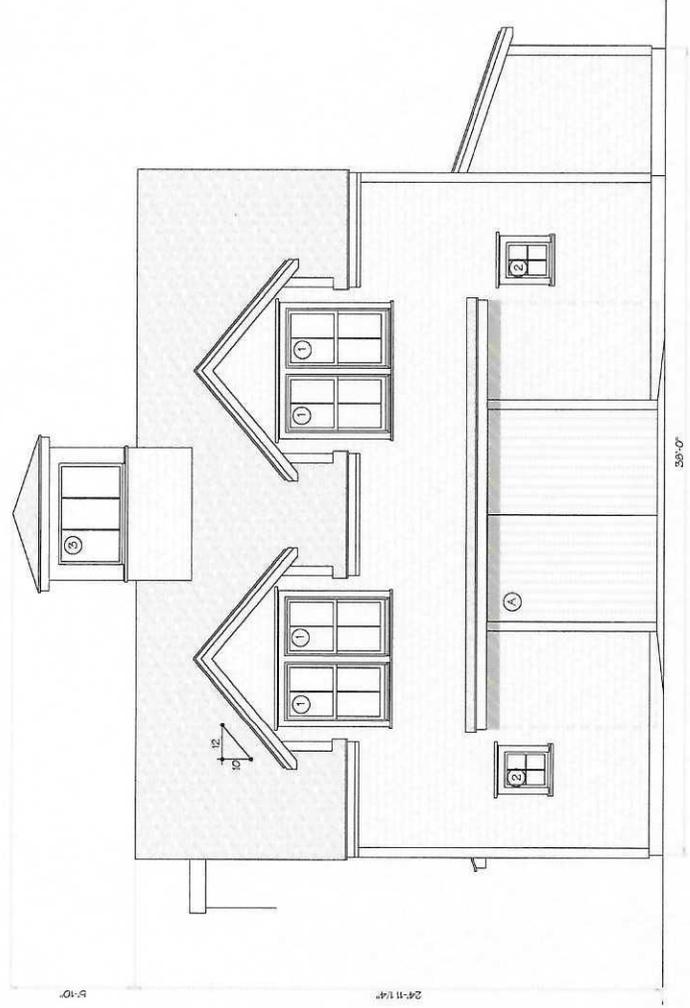
SECOND FLOOR PLAN

Dimensions shown are the overall dimensions of the building unless otherwise noted. All dimensions are in feet and inches. All dimensions are to the centerline of the wall unless otherwise noted.



BASEMENT PLAN

Dimensions and elevations shown are preliminary.
All dimensions are in feet and inches.
Copyright reserved. No part of this drawing may be reproduced without written permission.



SOUTHWEST ELEVATION

Boulevard Garage						9/21/2020	
Number	Open/Unit Size	Rough Opening	Manuf.	Type	Units	Comments	Quant.
1	7'9 5/8" x 5'0 7/8"	7'10 1/8" x 5'0 7/8"	Andersen	Double hung	Single		0
2	1'8" x 2'0"	TBD	Andersen	Fixed	Single		2
3	4'9" x 3'0"	TBD	Andersen	Fixed	Single		4
A	(2) 6'0" x 6'0"	TBD	TBD	Station	Double		2
B	3'0" x 6'8"	TBD	TBD	Slider	Slider		2
C	(2) 3'0" x 6'8"	TBD	TBD	4 light 1 panel	Single		2
D	(3) 3'0" x 6'8"	TBD	TBD	6 light	Triples		1

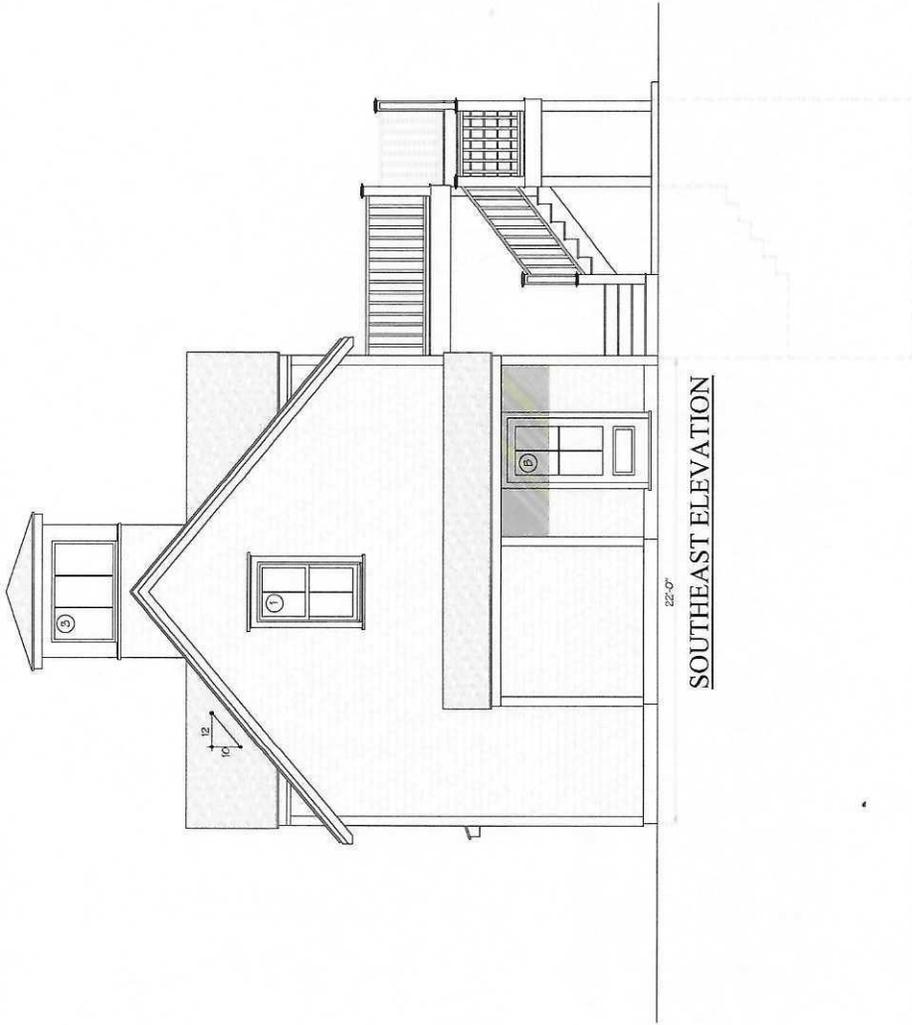
Window Notes (unless otherwise noted)

1. Jamb width to be determined on site before ordering windows.
2. All window casing details to match elevation.
3. All windows and doors must be DFP meet in accordance to Building Code 780 CMR § 5.01.2
4. All ganged windows to have double head pocket.

Notes:

Contractor is responsible for confirming window and door sizes and for verifying and updating any discrepancies.

These drawings were prepared by the Architectural Firm of Norman Residential Design, Inc. and are to be used only for the project and site identified on the title block. No other use or reproduction is permitted without the written consent of Norman Residential Design, Inc.

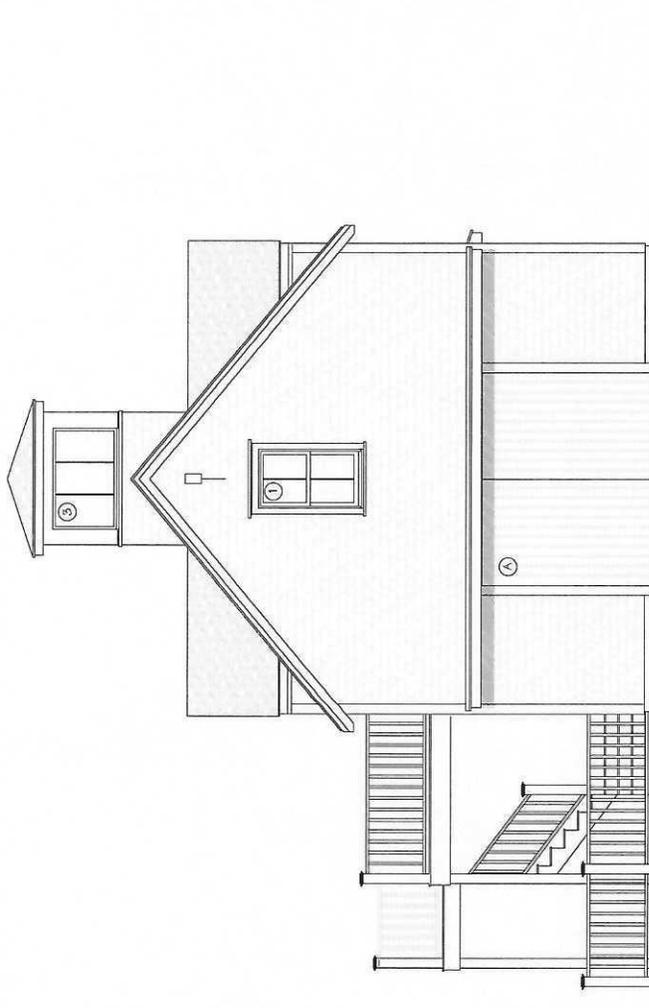


SOUTHEAST ELEVATION

These drawings were prepared by the Architectural Firm of Benjamin Normand Residential Design, Inc. and are the property of Benjamin Normand Residential Design, Inc. All rights reserved. No part of these drawings may be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Benjamin Normand Residential Design, Inc.



Residential elevations are provided for informational purposes only. They are not to be used for construction without the approval of the architect. All dimensions are to be confirmed on site.



NORTHWEST ELEVATION

TOWN OF NANTUCKET
HISTORIC DISTRICT COMMISSION

LIST OF PARTIES IN INTEREST IN THE MATTER OF THE PETITION OF:

PROPERTY OWNER.....ZZ BIND LLC.....
MAILING ADDRESS.....14 Plum St. Nantucket MA.....
PROPERTY LOCATION.....ZZ Boulevard.....
ASSESSORS MAP/PARCEL.....80/327.....
SUBMITTED BY:.....Ben Normand.....

SEE ATTACHED PAGES

I certify that the foregoing is a list of persons who are owners of land directly adjacent to the subject property or directly opposite the subject property on any public or private street or way, all as they appear on the most recent applicable tax list.

09-17-2020

DATE

Digitally signed by Rob Ranney
DN: cn=Rob Ranney, o=Town of
Nantucket, ou=Assessor's Office,
email=rranney@nantucket-ma.gov, c=US
Date: 2020.09.17 09:07:44 -04'00'

ASSESSOR'S OFFICE
TOWN OF NANTUCKET

CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com

Greenwich, CT 06830

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee \$0.00 (rate))	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.55
Total Postage and Fees	\$4.10

Sent To Priya & Douglas Traubler
 Street and Apt. No., or PO Box No. 114 North St.
 City, State, ZIP+4® Greenwich CT 06830

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com

Barrington, RI 02806

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee \$0.00 (rate))	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.55
Total Postage and Fees	\$4.10

Sent To Julie Mahoney - JA Mahoney 2009 Recd. of T.
 Street and Apt. No., or PO Box No. 316 Rumstick Rd.
 City, State, ZIP+4® Barrington RI 02806

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com

Rye, NY 10580

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee \$0.00 (rate))	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.55
Total Postage and Fees	\$4.10

Sent To Timothy Whiteley - White Hart Lane N.Y.
 Street and Apt. No., or PO Box No. 250 Highland Rd.
 City, State, ZIP+4® Rye NY 10580

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com

Nantucket, MA 02584

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee \$0.00 (rate))	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.55
Total Postage and Fees	\$4.10

Sent To Camp Richards Campers Assoc. Inc
 Street and Apt. No., or PO Box No. PO Box 3002
 City, State, ZIP+4® Nantucket MA 02584

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

U.S. Postal Service™ CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com

Nantucket, MA 02554

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee \$0.00 (rate))	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00

Postage	\$0.55
Total Postage and Fees	\$4.10

Sent To James & Mary Tooffe
 Street and Apt. No., or PO Box No. PO Box 1741
 City, State, ZIP+4® Nantucket MA 02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

TAAFFE JAMES & MARY
PO BOX 1241
NANTUCKET, MA 02554

WHITELEY TIMOTHY TR
WHITE HART LANE NOM TRUST
250 HIGHLAND RD
RYE, NY 10580

MAHONEY JULIE A TR
JA MAHONEY 2009 DECL OF TRUST
316 RUMSTICK ROAD
BARRINGTON, RI 02806

TRAUBER PRIYA G & DOUGLAS J
114 NORTH STREET
GREENWICH, CT 06830

CAMP RICHARDS CAMPERS
ASSOCIATION INC
PO BOX 3002
NANTUCKET, MA 02584

Abutters List

MBL U	Lot	Lot Cut	Owner Full Name	Co-Owner Full Name	Address Line 1	City
80	82		TAAFFE JAMES & MARY		PO BOX 1241	NANTUCKET
80	84		WHITELEY TIMOTHY TR	WHITE HART LANE NOM TRUST	250 HIGHLAND RD	RYE
80	84	1	MAHONEY JULIE A TR	JA MAHONEY 2009 DECL OF TRUST	316 RUMSTICK ROAD	BARRINGTON
80	127	1	TRAUBER PRIYA G & DOUGLAS J		114 NORTH STREET	GREENWICH
80	217		CAMP RICHARDS CAMPERS ASSOCIATION INC		PO BOX 3002	NANTUCKET
Count:	5					



HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road

Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Fax: 508.228.7298

NOTICE OF HDC APPLICATION

ABUTTERS AND INTERESTED PARTIES

Please be informed that the Nantucket Historic District Commission will be considering the following proposal:

Address of Proposed Work: 22 Boulevard

Tax Map Number: 80 Parcel Number: 327

Owner of Record: 22 BLVD LLC

Description of Proposal: 1) New second dwelling: 1st floor: 652 s.f.
2nd floor: 652 s.f.

2) New entertainment building: 1st floor: 751 s.f.
2nd floor: 751 s.f.

Anticipated HDC Submission Date: 9/22/2020

You have been identified either as an abutter or interested party to the above property and are being notified in accordance with the Town Bylaw. Please note that the above submission date is an estimate only; the actual meeting date will be determined once the HDC staff has established that a complete application has been submitted. Please contact the HDC office to verify the date. Please note that notification is only required at the time of initial submission of an application, not for each time an application goes before the Commission. Abutters are responsible for monitoring the status of applications.

If you wish to comment on the above proposal, you are encouraged to submit your comments in writing to the HDC office. If you wish to testify at a Commission meeting please be aware that your testimony may be limited by the Commission in accordance with Commission policies, which are included on the back of this form. Due to the large sizes of most applications, the HDC office may not be able to send faxed copies of the plans. Off-island abutters wishing more detailed information may enlist an on-island representative to view the plans in the HDC office.

If you have any questions, please contact the HDC office at 508.325.7587.

HDC Approved Site Plan

22 BOULEVARDE
NANTUCKET, MA 02554

BRANDEN
NORMAN RESIDENTIAL
DESIGN, INC.
12 COMMERCE STREET - NANTUCKET, MA 02554
(508) 228-2014

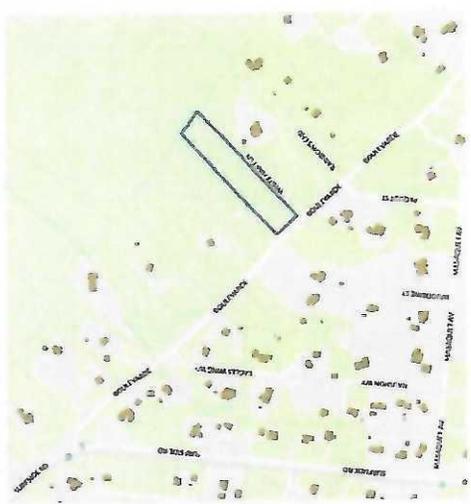
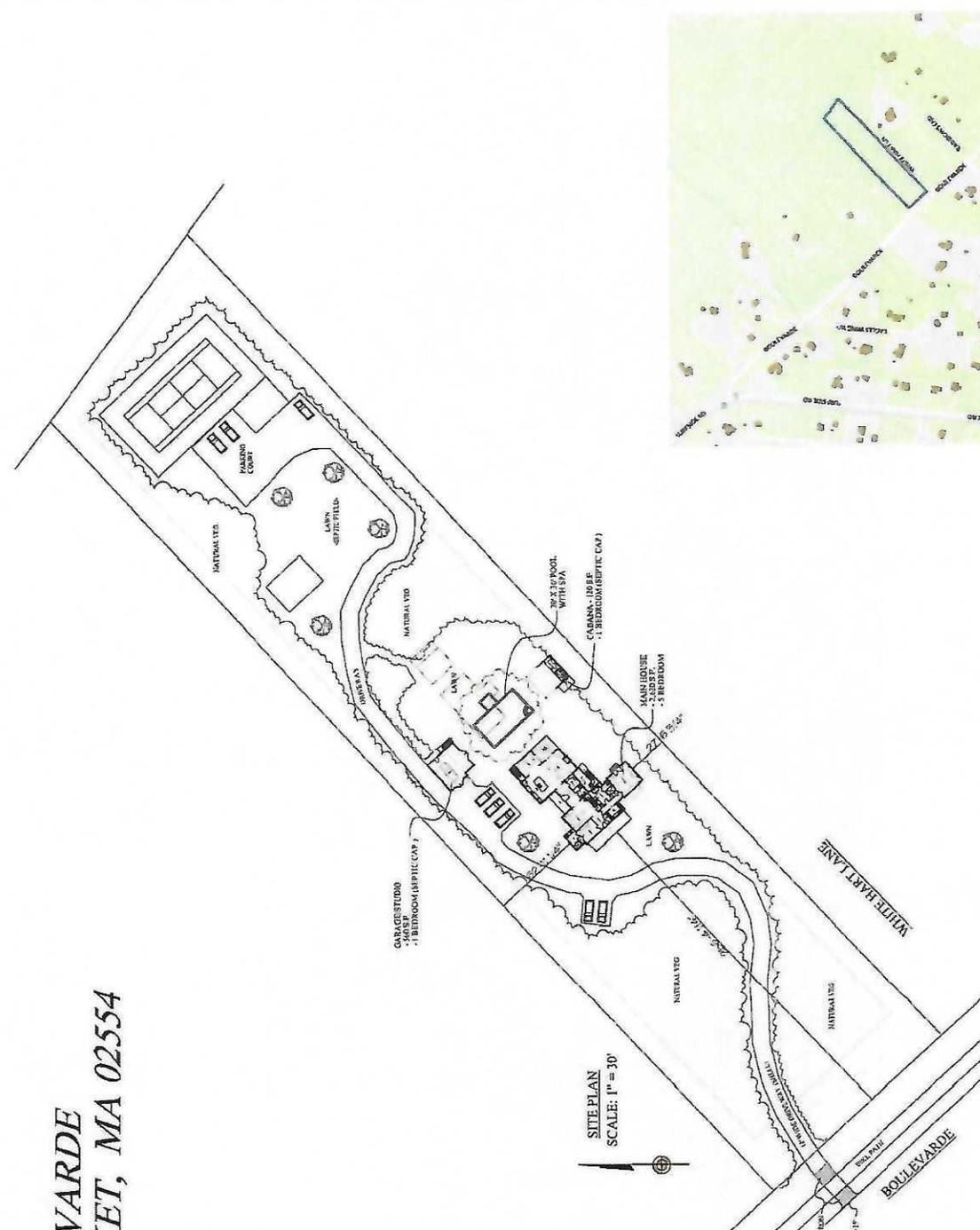
Professional Seal of the Architect
Professional Seal of the Engineer
Professional Seal of the Landscape Architect
Professional Seal of the Civil Engineer

COVER SHEET
DATE: 01/19/2020
SCALE: AS NOTED

MAP 80-327

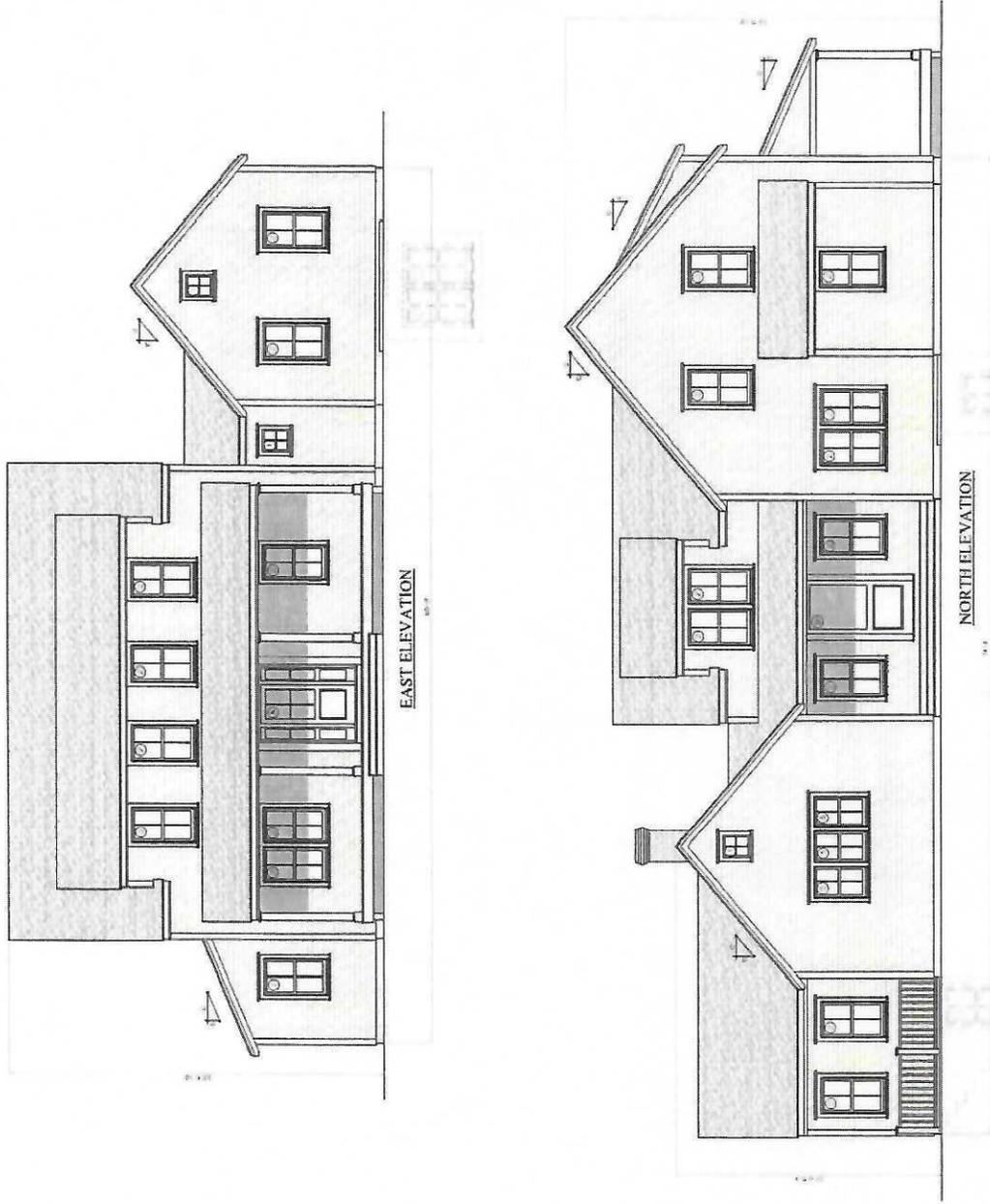
22 BOULEVARDE
NANTUCKET, MA

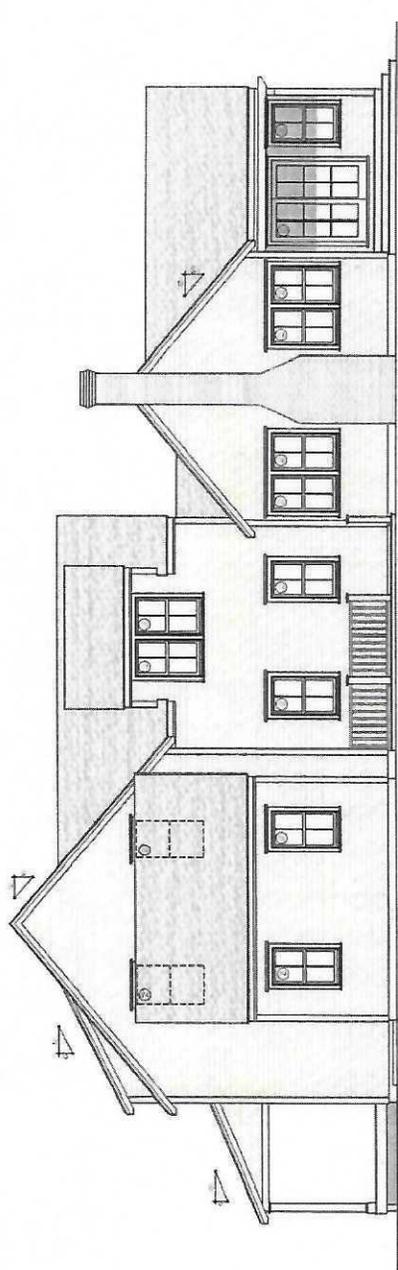
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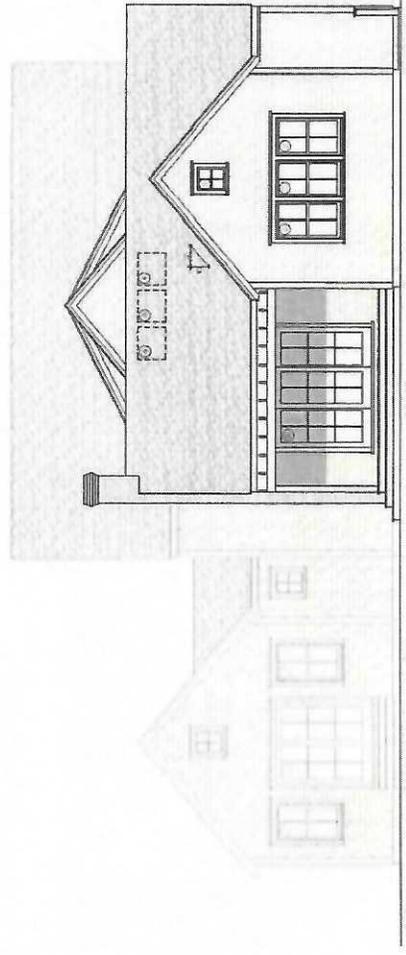
MAP & PARCEL: 80 / 327
 ZONE: LUG - 2
 FRONT / REAR SETBACKS: 35' / 15'
 MINIMUM LOT SIZE: 80,000 s.f.
 LOT AREA: 117,608 s.f.
 GROUND COVER RATIO: 4%
 PROPOSED NEW GROUND COVER:
 MAIN HOUSE: 2,618 S.F.
 GARAGE: 560 S.F.
 CABANA: 200 S.F.
 TOTAL GROUND COVER: 3,378 S.F.
 ALLOWABLE GROUND COVER: 4,704 S.F.

HDC Approved main house





SOUTH ELEVATION



WEST ELEVATION

22 Boulevard, Main House

Quantity	Description	Unit	Area	Volume	Notes
1	FOUNDATION	SQ. FT.	1,200		
2	FLOORING	SQ. FT.	2,400		
3	CEILING	SQ. FT.	2,400		
4	ROOFING	SQ. FT.	1,200		
5	PAINT	SQ. FT.	2,400		
6	GLASS	SQ. FT.	1,200		
7	DOORS	NO.	2		
8	WINDOWS	NO.	10		
9	STAIRS	NO.	1		
10	CHIMNEY	NO.	1		

NOTES:

1. See notes on drawings for all other work items.
2. All work to be done in accordance with the specifications.
3. All work to be done in accordance with the specifications.
4. All work to be done in accordance with the specifications.

REVISIONS:

No.	Description	Date
1	Issue for construction	11/08/09

Hbc Approved Garage

BRVAVN
NORMAN RESIDENTIAL
DESIGN, INC.
157 N. BOSTON ST. NANTUCKET, MA 01904
PHONE: 508-228-0044 FAX: 508-228-0044

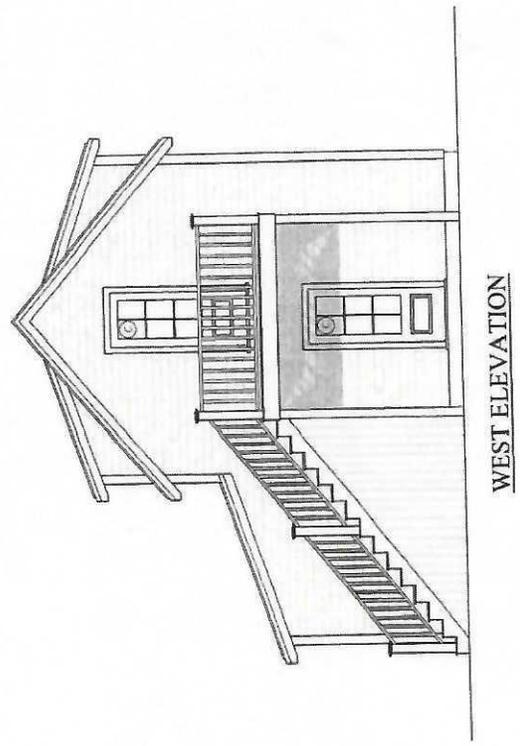
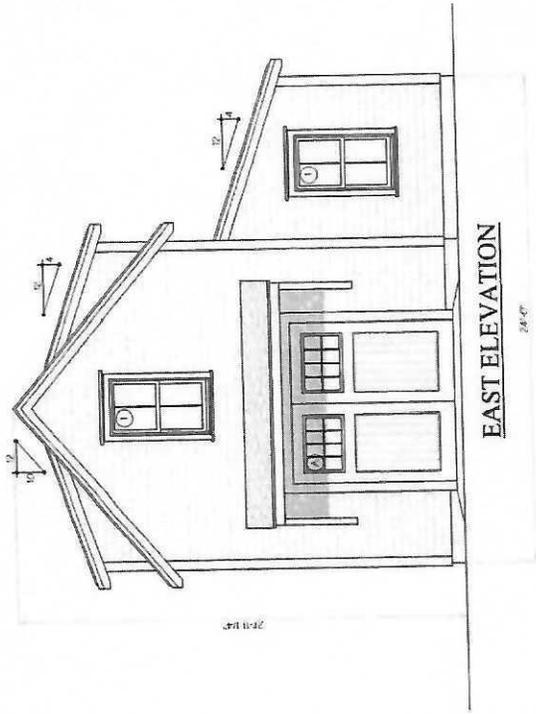
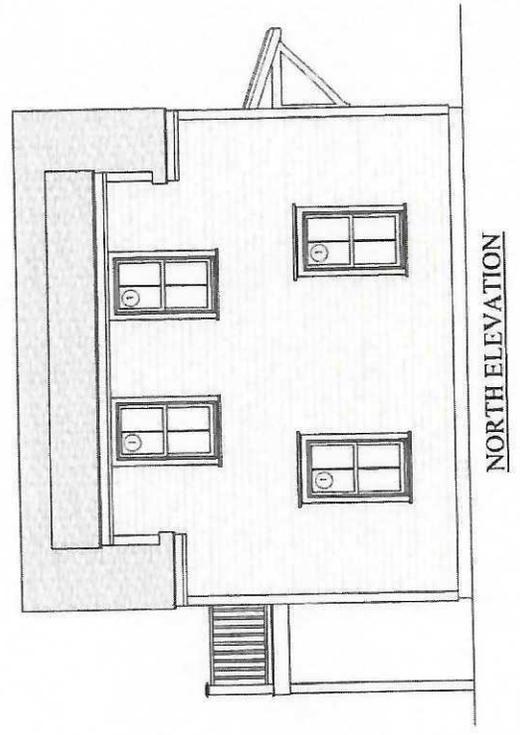
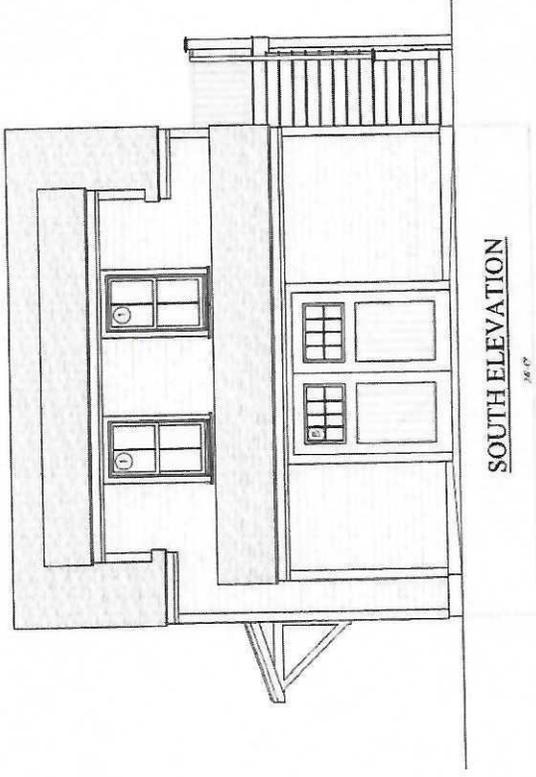
These drawings are to be used only for the project and location specified on the title block. Any other use without the written consent of the architect is prohibited.

ELEVATIONS
DATE: 11/08/2019
SCALE: 1/4" = 1'-0"

MP: 08-137

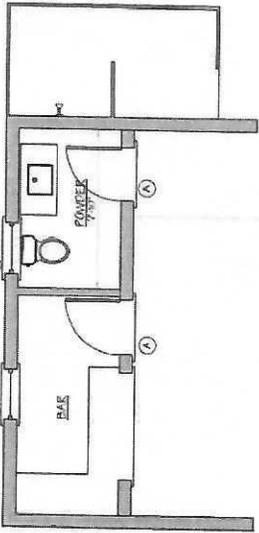
22 BOUTEVARDE
NANTUCKET, MA

2

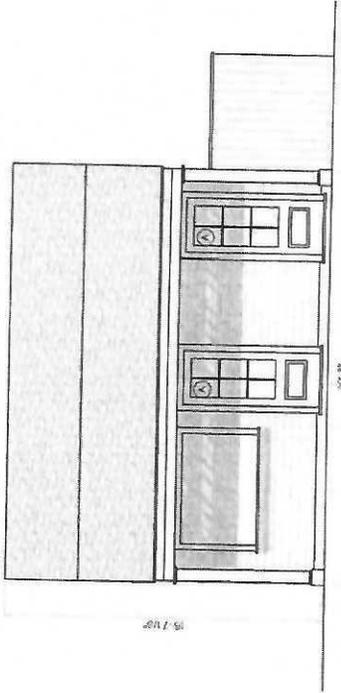


NOT FOR CONSTRUCTION

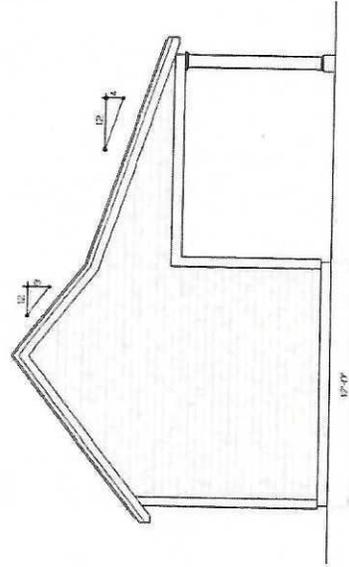
HDC Approved Cobana



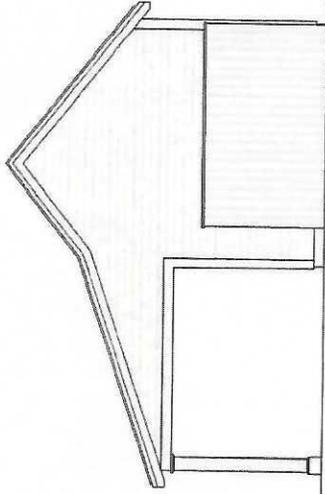
FIRST FLOOR PLAN



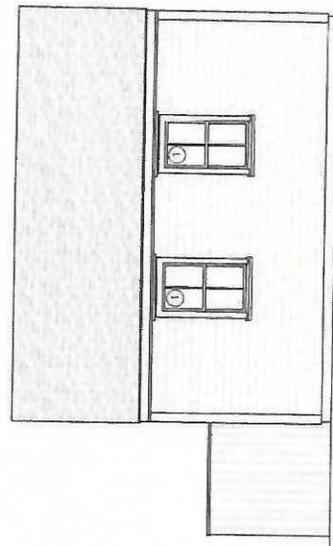
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION

HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road

Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Email: hdcsubmissions@nantucket-ma.gov



COMMISSIONERS

Ray Pohl

Chairman

Diane Coombs

Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

ASSOCIATE

COMMISSIONERS

Stephen Welch

TJ Waterson

Jesse Dutra

STAFF

Cathy Flynn

Land Use Specialist

cflynn@nantucket-ma.gov

Waiver of the HDC 10 Day Hearing Requirement

I Bernard Hornum

AS AGENT FOR 22 BWD LLC

STREET ADDRESS 22 Boulevard

MAP/PARCEL 20/327

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON

9/22/2020

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

SECTION 8 of the HDC enabling legislation: ... The Commission shall meet within ten (10) days of the receipt of an application for a certificate of appropriateness or permit for removal...

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

Signature [Handwritten Signature] Date 9/18/2020



REQUIRED WITH ALL APPLICATIONS:

-
-
-
-
-
-

1. **Completed Application Form:** Description of ALL work must be indicated on application form.
2. **Property Owner's Signature:** Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
3. **Application Fee:** See back of application for fee schedule or call the office.
4. **Locus Map (4 copies):** Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) <https://www.nantucket-ma.gov/151/GIS-Maps>
5. **Site Plan (4 Copies):** must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and *placement of HVAC units, electrical boxes, fuel tanks, etc..*
6. **8-1/2" x 11" Copies of ALL Application Materials:** Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12), collated and stapled.
7. **Photographs:** Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
8. **Electronic submission:** All documents submitted to the HDC office must be emailed to hdcsubmissions@nantucket-ma.gov.

REQUIRED WHERE APPLICABLE:

- NA
-
- NA
- NA
- NA
-
- BAN
- NA

1. **Supplemental Information for Historic Buildings:** It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application.
2. **Exterior Elevations and Floor Plans (4 copies):** Must be Y.-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. *All changes from approved or existing design must be clouded on drawing.* All material MUST BE LEGIBLE, collated and stapled. Reduced sets should maintain a font size of 12.
3. **As-Built Plans (1copy):** of existing elevations
4. **Hardscaping Plans (4 copies):** To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE, collated and stapled.
5. **Topographic Map:** Must show existing and proposed grade for any change of more than one foot in height on grade . Retaining walls must be applied for separately (see hardscaping plan).
6. **Door and Window Schedule (4 copies):** Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
7. **I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.**
8. **Abutter Notification Materials** – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet.
9. **Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc.**

(initial to indicate read and understand)

CERTIFICATE NO.

DATE ISSUED

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines. Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 295 of the Acts and Resolves of Mass., 1970 for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference. The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N° 80 PARCEL N° 327
 Street & Number of Proposed Work 22 Bolevonte
 Owner of record: 22 BOND LLC
 Mailing Address: 14 Plover St.
Nantucket MA 02554
 Contact Phone # _____ E-mail _____

AGENT INFORMATION (if applicable)

Name: Norman Residential
 Mailing Address: PO Box 1375
Nantucket MA 02554
 Contact Phone # 776 3444 E-mail _____

FOR OFFICE USE ONLY

Date application received _____ Fee Paid \$ _____
 Must be acted on by _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions _____

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No _____
 Roof (Zoning District _____) Roof Other _____
 Size of Structure or Addition: Length 26'6" Sq. Footage 1st floor 652 sf Decks/Patio: Size 200 sf 1st floor 2nd floor
 Width 30'6" Sq. Footage 2nd floor 652 sf Size _____ 1st floor 2nd floor
 Sq. Footage 3rd floor _____
 Difference between existing grade and proposed finish grade: North No Change South _____ East _____ West _____
 Height of ridge above final finish grade: North 7'30" South _____ East _____ West _____

Additional Remarks

Reason Name: _____ REVISIONS: 1. East Elevation New 2nd dwelling
 Original Date: _____ (describe) 2. South Elevation
 Original Builder: _____ 3. West Elevation
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation
 *Cloud on drawings and submit photographs of existing elevations

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 0 Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass 10/12 Secondary Mass 10/12 Dormer 4/12 Other _____
 Roofing material: Asphalt 3-Tab Architectural
 Wood (Type Red Cedar, White Cedar, Shakes, etc.)
 Fence: Height _____ Type _____ Length _____
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size) _____
 Siding: White cedar shingles Natural Clapboard (exposure _____ inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) 6' Corner boards 5/4x6 Frieze 1x6
 Window Casing 9/4x4 Door Frame 9/4x4 Columns/Posts Round _____ Square 6x6
 Windows: Double Hung Casement All Wood Other Fixed
 True Divided Lights (muntins) single pane SDL's (Simulated Divided Lights) Manufacturer Anderson
 Doors: (type and material) TDL SDL Front 6 panel Rear 4 light 1 panel Side _____
 Garage Door(s): Type _____ Material _____
 Hardscape materials: Driveways _____ Walkways _____ Walls _____

*Note: Complete door and window schedules are required.

COLORS

Siding: Natural Clapboard (if applicable) _____ Roof: Natural
 Trim: white Sash: white Doors: white
 Deck: Natural Foundation: gray Fence: _____ Shutters: _____

* Attach manufacturer's color samples if color is not from HCC approval list

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date: 9/21/2020 Signature of owner of record: [Signature] Signed under penalties of perjury

ben@normandresidential.com

From: Ryan <seanantucket@comcast.net>
Sent: Thursday, September 17, 2020 7:33 PM
To: Benjamin normand
Subject: 22 Boulevard

Historic District Commission,

I allow Benjamin Normand to sign applications and represent said applications for my property at 22 Boulevard.

*Sincerely,
Ryan Fitch*

Sent from my iPhone

BENJAMIN NORMAND RESIDENTIAL DESIGN INC

15 COMMERCIAL WHARF
NANTUCKET, MA 02554

CAPE COD 5
ORLEANS, MA 02653
53-7107/2113

9/21/2020

PAY TO THE
ORDER OF

Town of Nantucket
Two hundred & sixty ⁸⁰/₁₀₀

\$ 260.80

DOLLARS

MEMO Fitch 22 BLVD - HDC cottage



[Handwritten Signature]
AUTHORIZED SIGNATURE

⑈001166⑈ ⑆211371078⑆ 832634751⑈

Security features. Details on back.

BENJAMIN NORMAND RESIDENTIAL DESIGN INC

9/21/2020

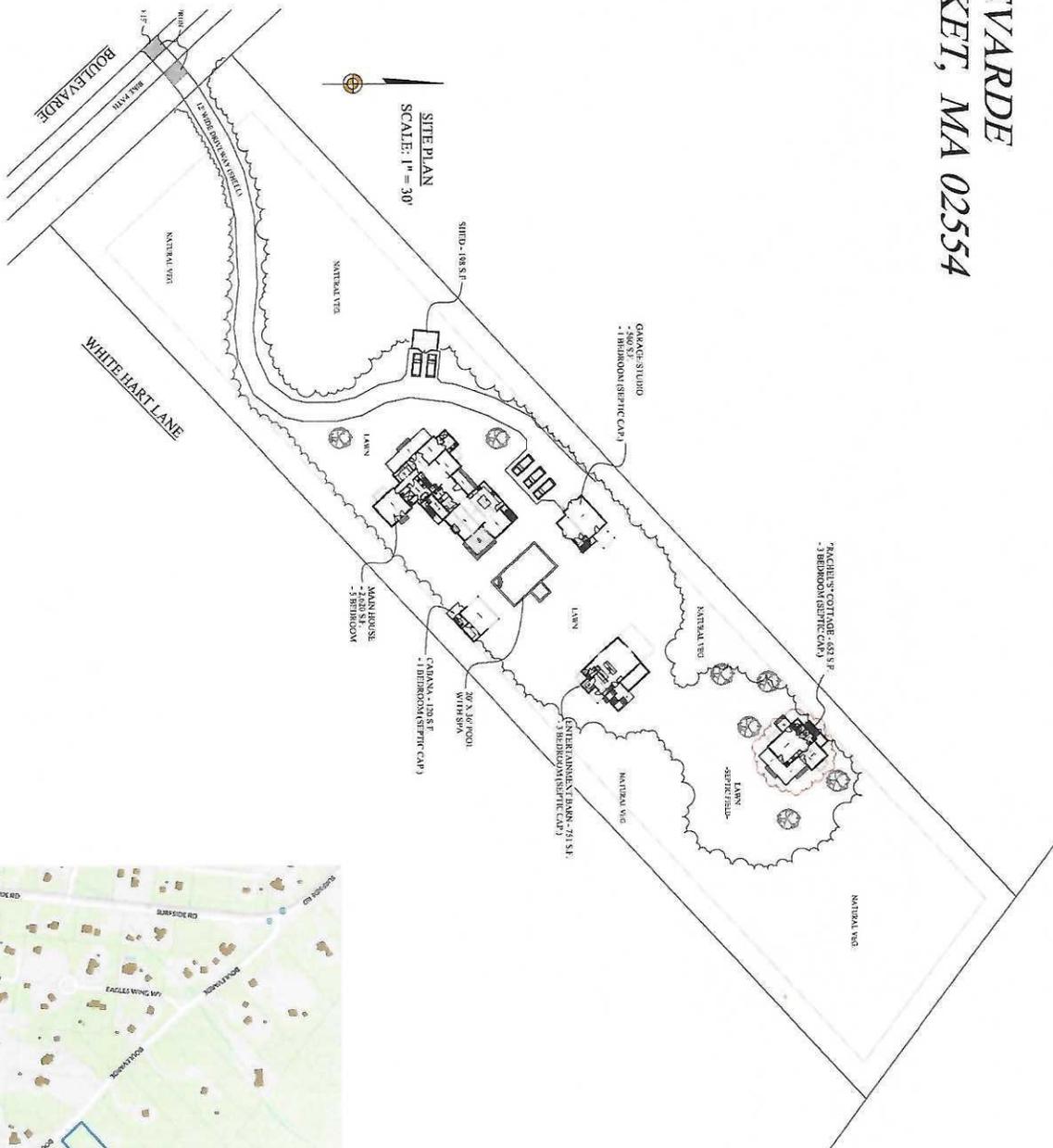
T.O.N.

\$ 260.80

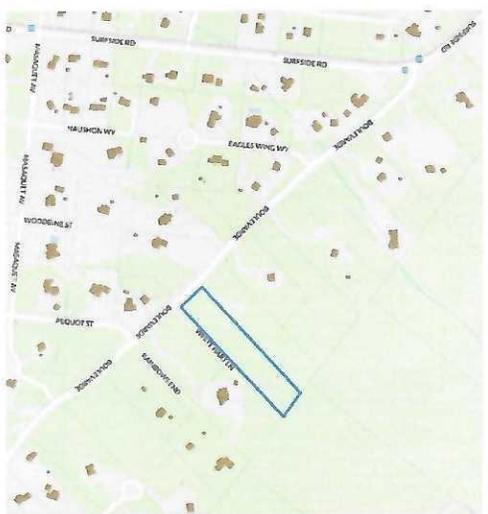
Fitch 22 BLVD - HDC cottage

BENJAMIN NORMAND RESIDENTIAL DESIGN INC

22 BOULEVARDE NANTUCKET, MA 02554



MAP & PARCEL: 80 / 327
 ZONE: DUG - 2
 FRONT / REAR SETBACKS: 35' / 15'
 MINIMUM LOT SIZE: 80,000 S.F.
 LOT AREA: 117,608 S.F.
 GROUND COVER RATIO: 4%
 PROPOSED NEW GROUND COVER:
 MAIN HOUSE: 2,618 S.F.
 GARAGE: 560 S.F.
 CABANA: 120 S.F.
 BARN: 751 S.F.
 "RACHEL'S" COTTAGE: 652 S.F.
 TOTAL GROUND COVER: 4,701 S.F.
 ALLOWABLE GROUND COVER: 4,704 S.F.



A

22 BOULEVARDE
NANTUCKET, MA

MAP 80/327

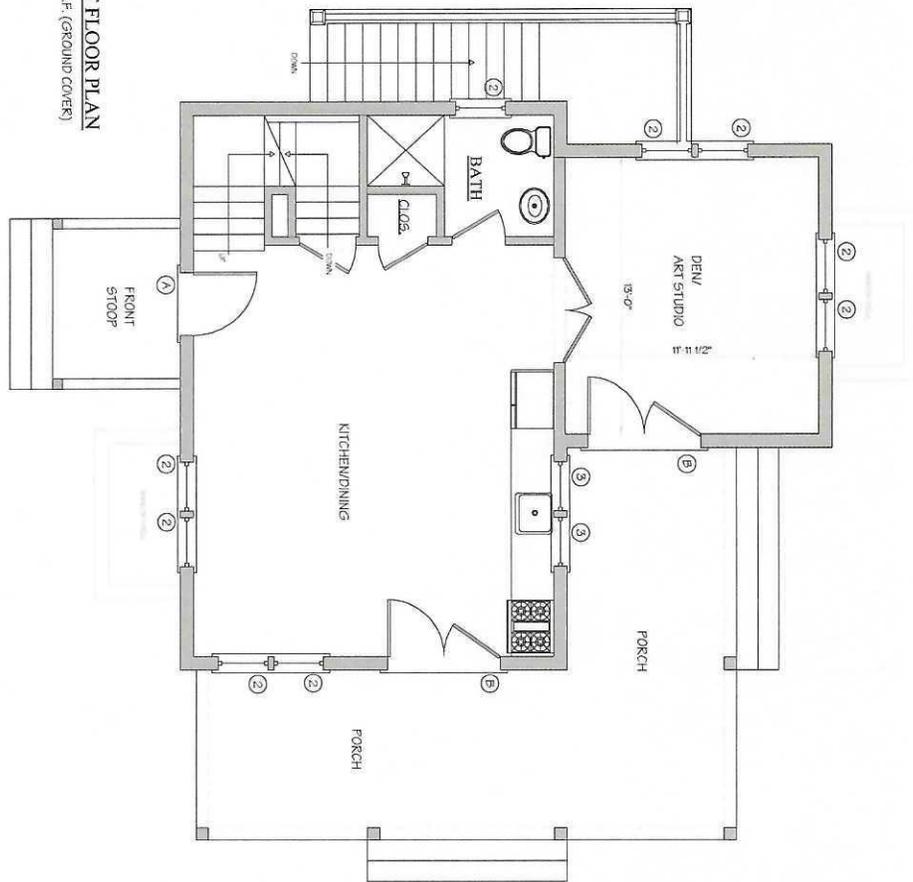
COVER SHEET
 DATE: 09/21/2020
 SCALE: AS NOTED

Details and drawings herein are property of Benjamin Normand Residential Design, Inc. and may not be used without their written authorization. © 2020 Benjamin Normand Residential Design, Inc.

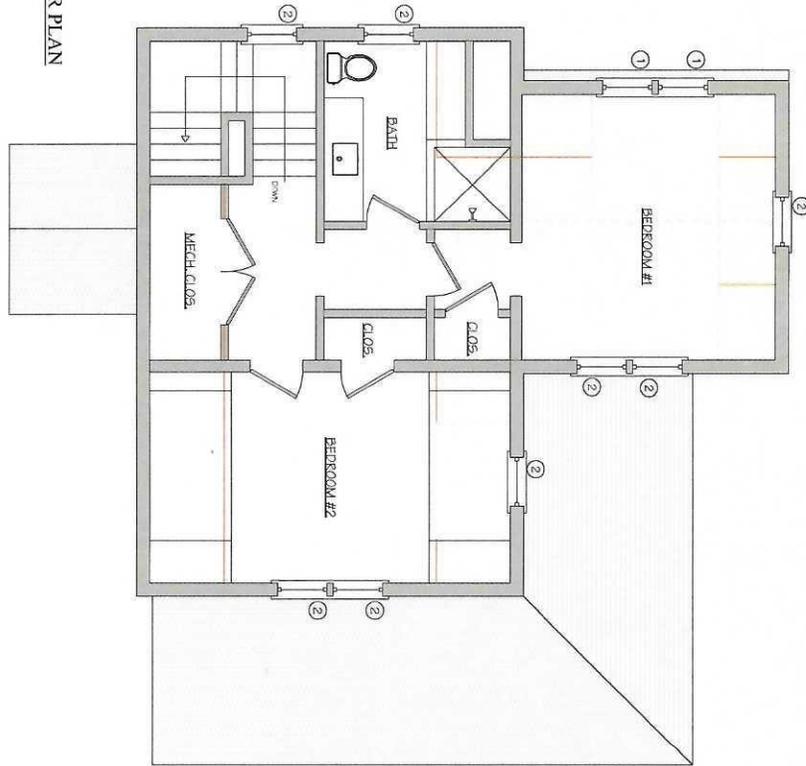
**BENJAMIN
NORMAND RESIDENTIAL
DESIGN, INC.**

15 COMMERCIAL WHARF - NANTUCKET, MA 02554
 (508) 228-2044 NORMANDRESIDENTIAL.COM

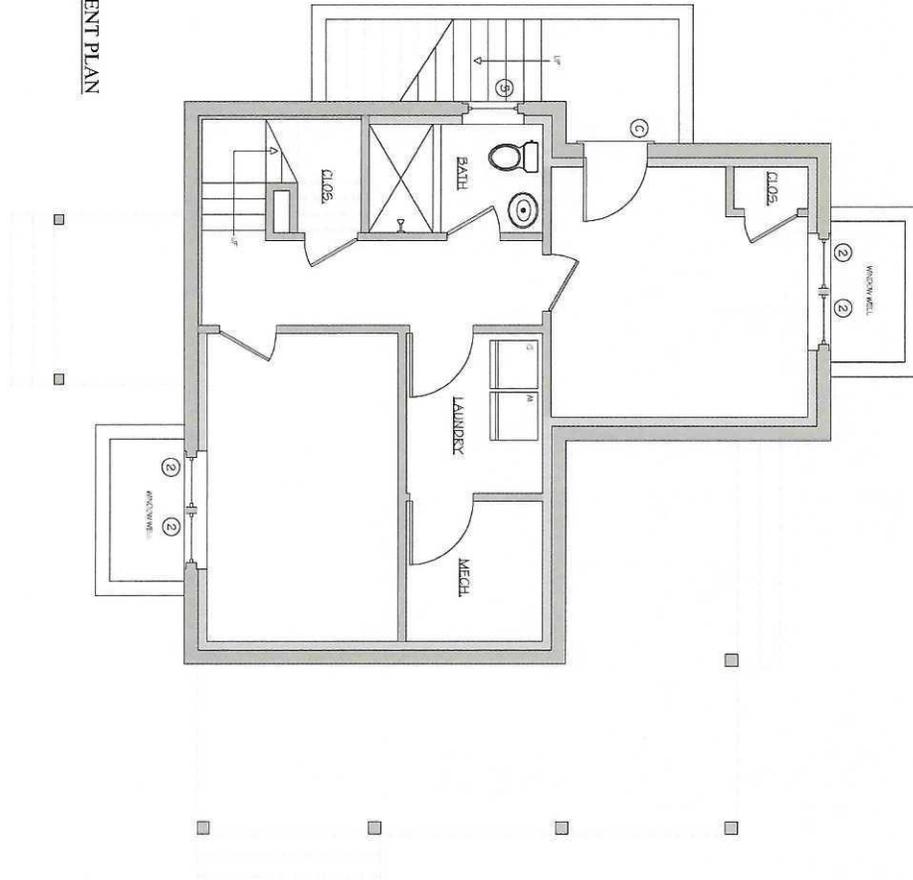
FIRST FLOOR PLAN
652 S.F. (GROUND COVER)

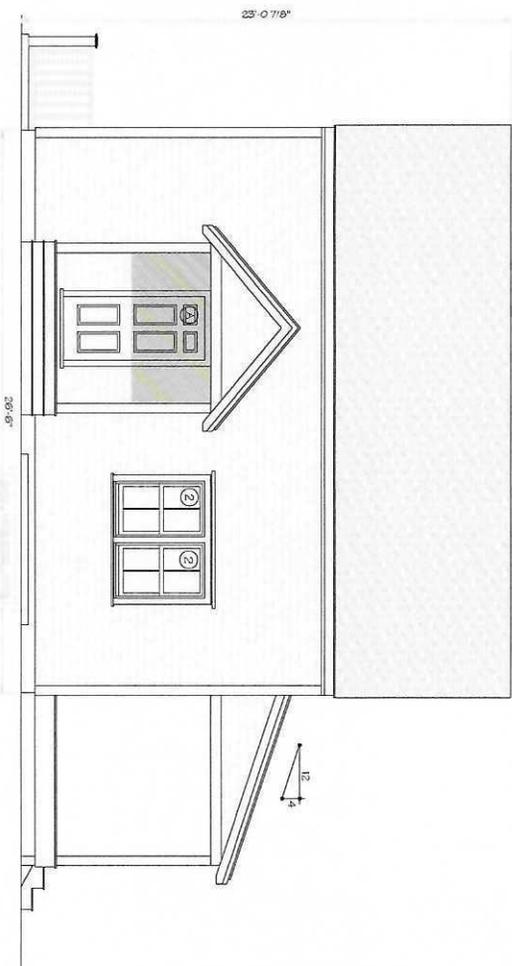


SECOND FLOOR PLAN

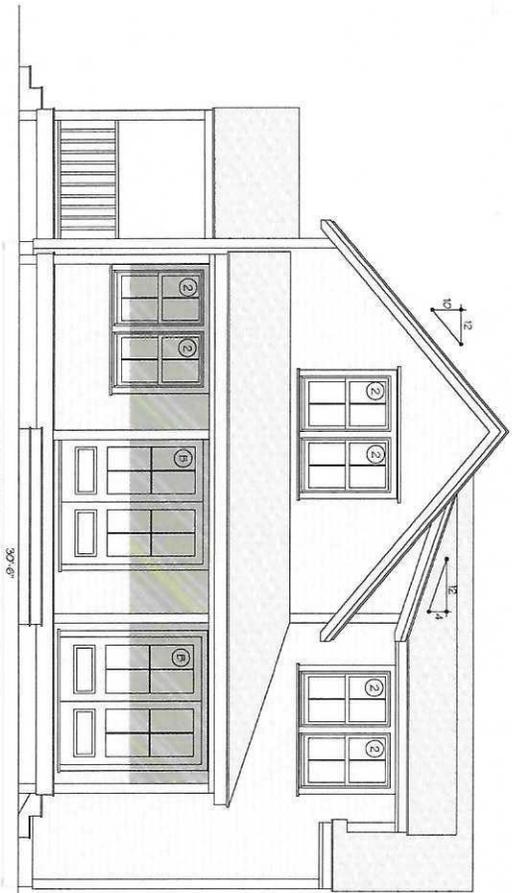


BASEMENT PLAN





SOUTHWEST ELEVATION



SOUTHEAST ELEVATION

22 Boulevard Cottage

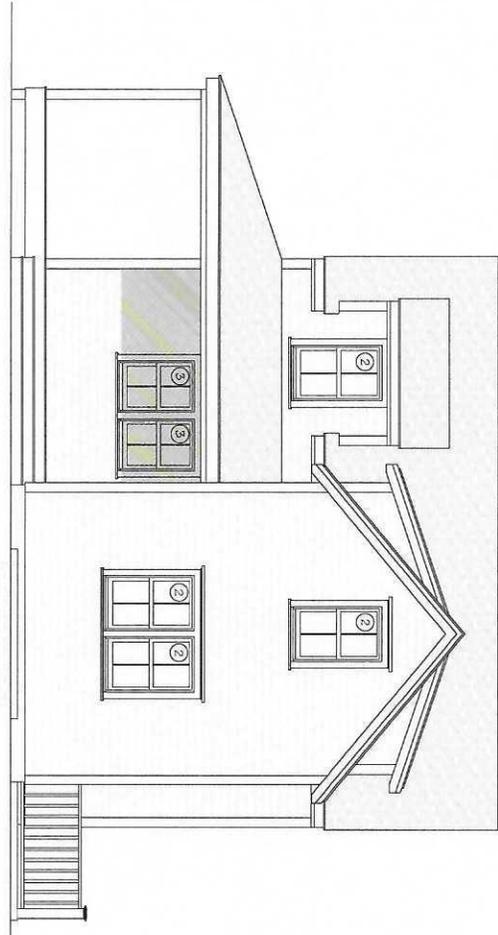
9/21/2020

Number	Manufacturer	Model	Material	Type	Location	Comments	Quant
1	2' x 4' x 1'	TBD	Anderson	End	Single		2
2	2' x 7.50' x 4.470'	TBD	Anderson	Double hung	Single		21
3	2' x 5.50' x 3.670'	TBD	Anderson	Double hung	Single		3
4	2' x 2' x 2'	TBD	Anderson	Awning	Single		3
A	3' 0" x 6' 6"	TBD	TBD	6 panel	Single		1
B	3' 0" x 6' 6"	TBD	TBD	4 light panel	Double		2
C	3' 0" x 6' 6"	TBD	TBD	4 light panel	Single		1

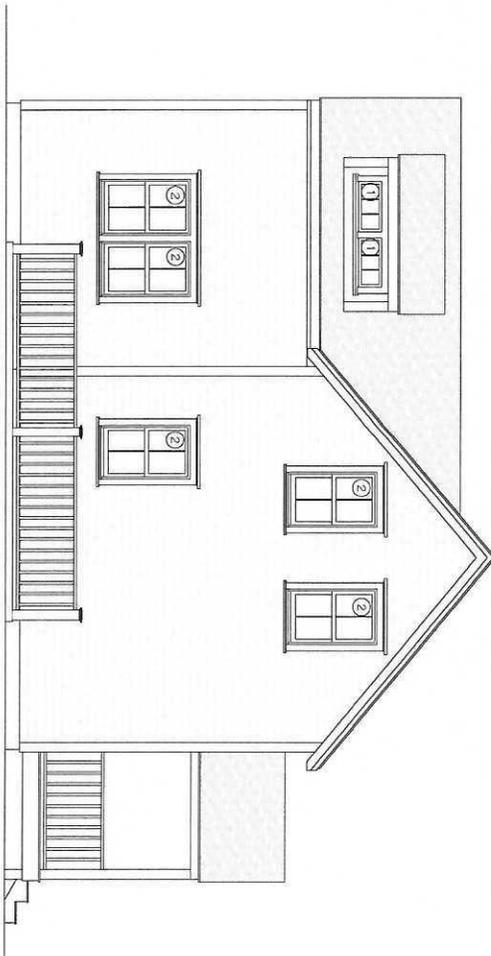
Window Notes, unless otherwise noted:
 1. Jamb width to be determined on site before ordering windows.
 2. All windows using drisks to match drisks.
 3. All windows and doors must be rated in accordance to Building Code, MINIMUM 1.
 4. All glazed windows to have double paneled glass.

Notes:
 Contractor is responsible for coordinating window and door sizes and for verifying and updating any inconsistencies.

NORTHEAST ELEVATION



NORTHWEST ELEVATION





HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road

Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Fax: 508.228.7298

NOTICE OF HDC APPLICATION

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2nd floor: 652 s.f.

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2nd floor: 751 s.f.

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If you have any questions, please contact the HDC office at 508.325.7587.

CERTIFIED MAIL® RECEIPT

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Greenwich, CT 06830

Certified Mail Fee	\$3.55	0554
\$		06
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	09/18/2020
\$		
Total Postage and Fees	\$4.10	

Sent To Priya & Douglas Trauber
 Street and Apt. No., or PO Box No. 114 North St.
 City, State, ZIP+4® Greenwich CT 06830

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Barrington, RI 02806

7020 0090 0001 2774 2100

Certified Mail Fee	\$3.55	0554
\$		06
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	09/18/2020
\$		
Total Postage and Fees	\$4.10	

Sent To Julie Mahoney - JA Mahoney 2009 Recl. of T.
 Street and Apt. No., or PO Box No. 316 Runstick Rd.
 City, State, ZIP+4® Barrington RI 02806

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Rye, NY 10580

Certified Mail Fee	\$3.55	0554
\$		06
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	09/18/2020
\$		
Total Postage and Fees	\$4.10	

Sent To Timothy Whiteley - White Hart Lane N.Y.
 Street and Apt. No., or PO Box No. 250 Highland Rd.
 City, State, ZIP+4® Rye NY 10580

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Nantucket, MA 02584

7020 0090 0001 2774 2094

Certified Mail Fee	\$3.55	0554
\$		06
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	09/18/2020
\$		
Total Postage and Fees	\$4.10	

Sent To Camp Richards Computers Assoc. Inc
 Street and Apt. No., or PO Box No. PO Box 3002
 City, State, ZIP+4® Nantucket MA 02584

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**U.S. Postal Service™
CERTIFIED MAIL® RECEIPT**

Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Nantucket, MA 02554

7020 0090 0001 2774 2063

Certified Mail Fee	\$3.55	0554
\$		06
Extra Services & Fees (check box, add fee as appropriate)	\$0.00	Postmark Here
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00	
<input type="checkbox"/> Return Receipt (electronic)	\$0.00	
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00	
<input type="checkbox"/> Adult Signature Required	\$0.00	
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00	
Postage	\$0.55	09/18/2020
\$		
Total Postage and Fees	\$4.10	

Sent To James & Mary Tooffe
 Street and Apt. No., or PO Box No. PO Box 1241
 City, State, ZIP+4® Nantucket MA 02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

TOWN OF NANTUCKET
HISTORIC DISTRICT COMMISSION

LIST OF PARTIES IN INTEREST IN THE MATTER OF THE PETITION OF:

PROPERTY OWNER.....ZZ BIND LLC
MAILING ADDRESS.....14 Plum St., Nantucket MA
PROPERTY LOCATION.....ZZ Boulevard
ASSESSORS MAP/PARCEL.....80/327
SUBMITTED BY:.....Ben Normand

SEE ATTACHED PAGES

I certify that the foregoing is a list of persons who are owners of land directly adjacent to the subject property or directly opposite the subject property on any public or private street or way, all as they appear on the most recent applicable tax list.

09-17-2020

DATE

Digitally signed by Rob Ranney
DN: cn=Rob Ranney, o=Town of
Nantucket, ou=Assessor's Office,
email=rranney@nantucket-ma.gov, c=US
Date: 2020.09.17 09:07:44 -04'00'

ASSESSOR'S OFFICE
TOWN OF NANTUCKET

TAAFFE JAMES & MARY
PO BOX 1241
NANTUCKET, MA 02554

WHITELEY TIMOTHY TR
WHITE HART LANE NOM TRUST
250 HIGHLAND RD
RYE, NY 10580

MAHONEY JULIE A TR
JA MAHONEY 2009 DECL OF TRUST
316 RUMSTICK ROAD
BARRINGTON, RI 02806

TRAUBER PRIYA G & DOUGLAS J
114 NORTH STREET
GREENWICH, CT 06830

CAMP RICHARDS CAMPERS
ASSOCIATION INC
PO BOX 3002
NANTUCKET, MA 02584

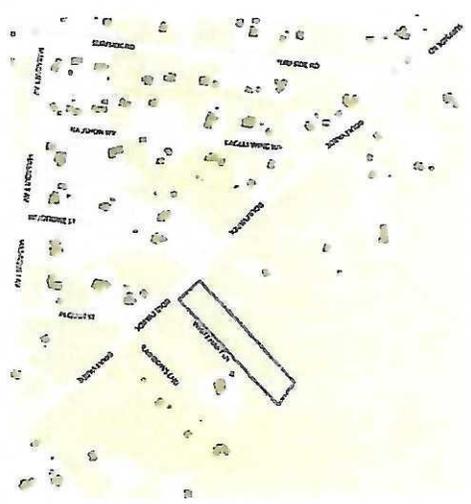
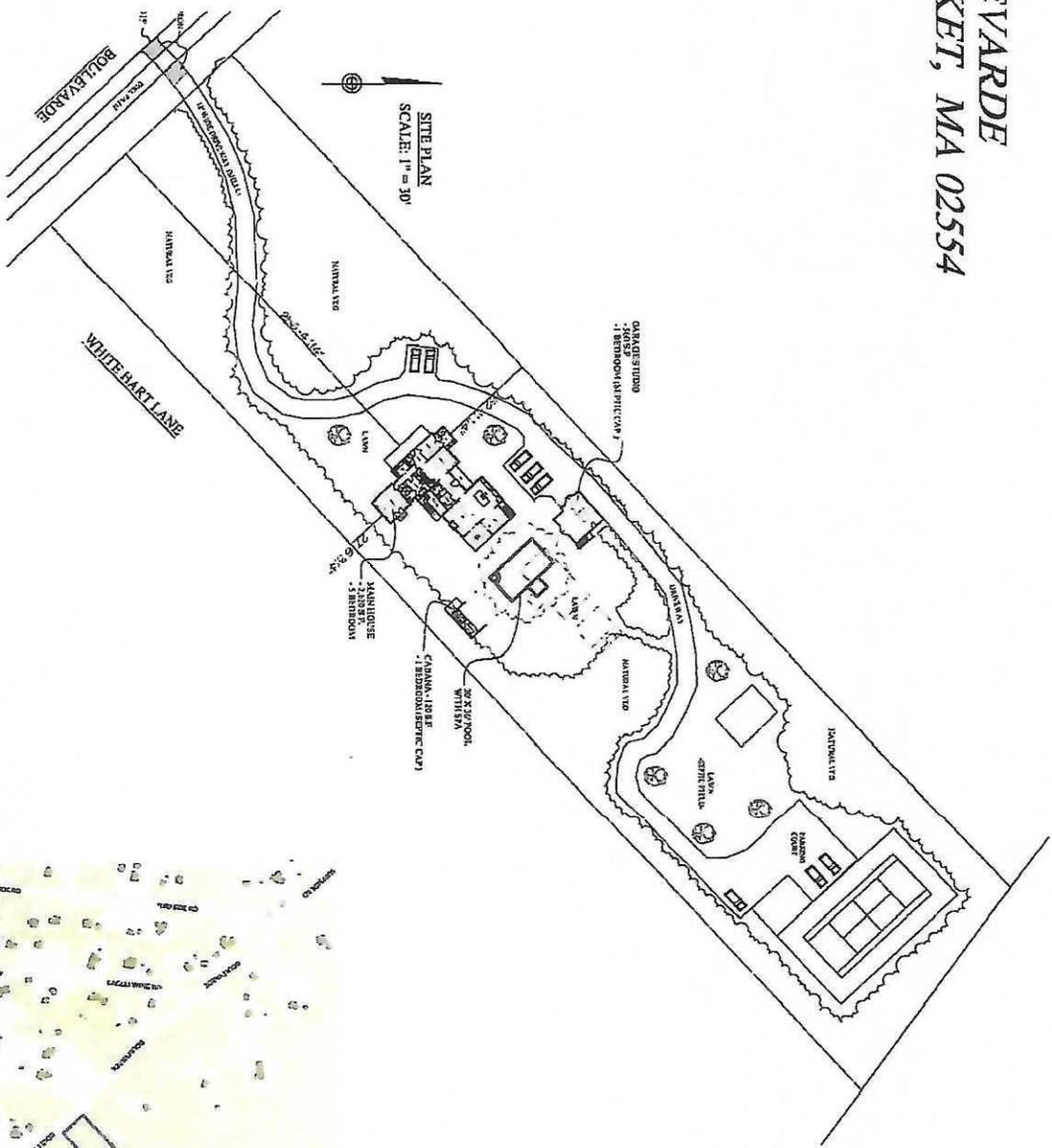
Abutters List

MBLU	Lot	Lot Cut	Owner Full Name	Co-Owner Full Name	Address Line 1	City
80	82		TAAFFE JAMES & MARY		PO BOX 1241	NANTUCKET
80	84		WHITELEY TIMOTHY TR	WHITE HART LANE NOM TRUST	250 HIGHLAND RD	RYE
80	84	1	MAHONEY JULIE A TR	JA MAHONEY 2009 DECL OF TRUST	316 RUMSTICK ROAD	BARRINGTON
80	127	1	TRAUBER PRIYA G & DOUGLAS J		114 NORTH STREET	GREENWICH
80	217		CAMP RICHARDS CAMPERS ASSOCIATION INC		PO BOX 3002	NANTUCKET
Count:	5					

HDC Approval Site Plan

22 BOULEVARDE
NANTUCKET, MA 02554

MAP & PARCEL: 80 / 327
 ZONE: LUG-2
 FRONT / REAR SETBACKS: 35' / 15'
 MINIMUM LOT SIZE: 80,000 s.f.
 LOT AREA: 117,608 s.f.
 GROUND COVER RATIO: 4%
 PROPOSED NEW GROUND COVER:
 MAIN HOUSE: 2,618 S.F.
 GARAGE: 560 S.F.
 CABANA: 200 S.F.
 TOTAL GROUND COVER: 3,378 S.F.
 ALLOWABLE GROUND COVER: 4,704 S.F.



A

22 BOULEVARDE
NANTUCKET, MA

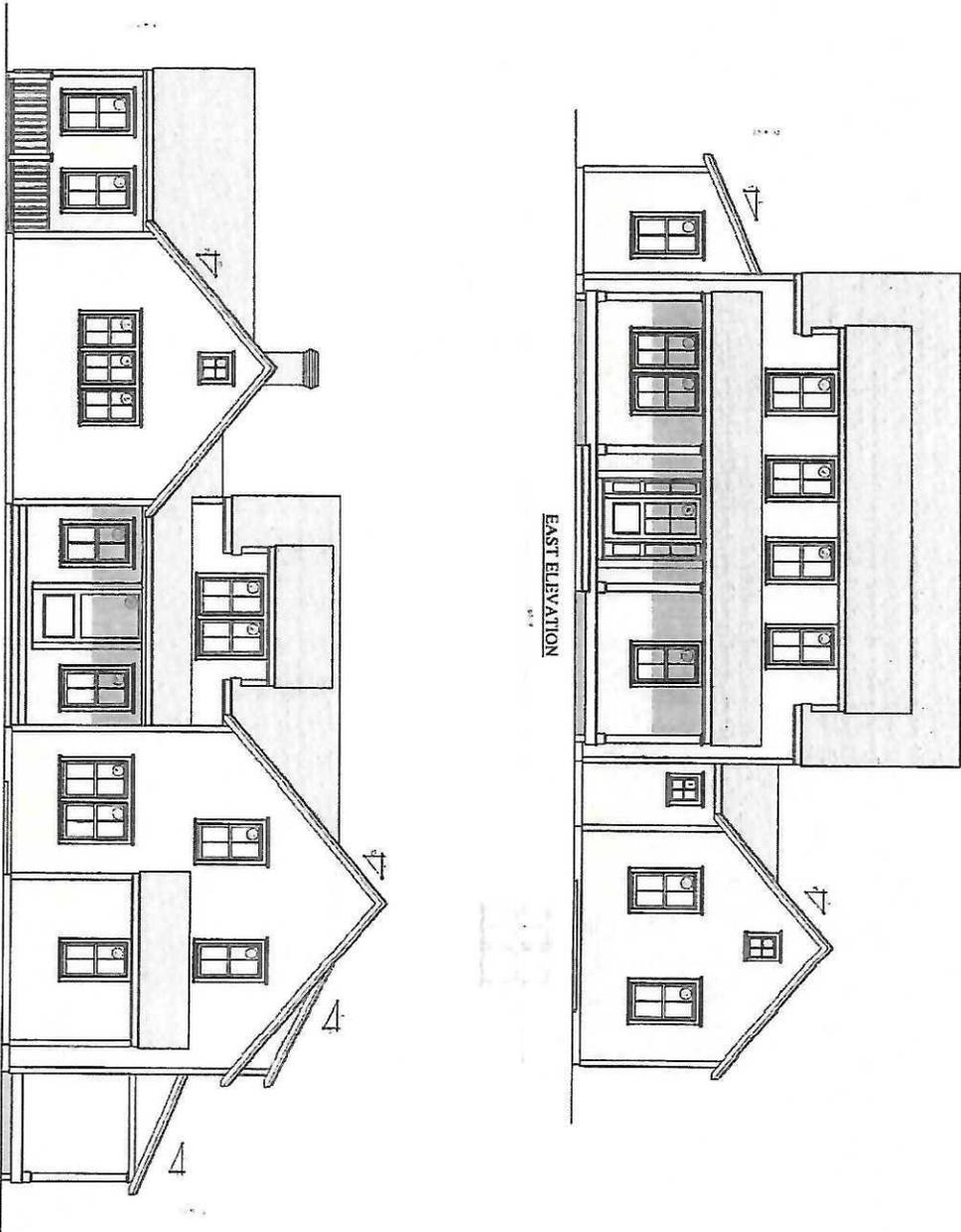
MAP 80-327

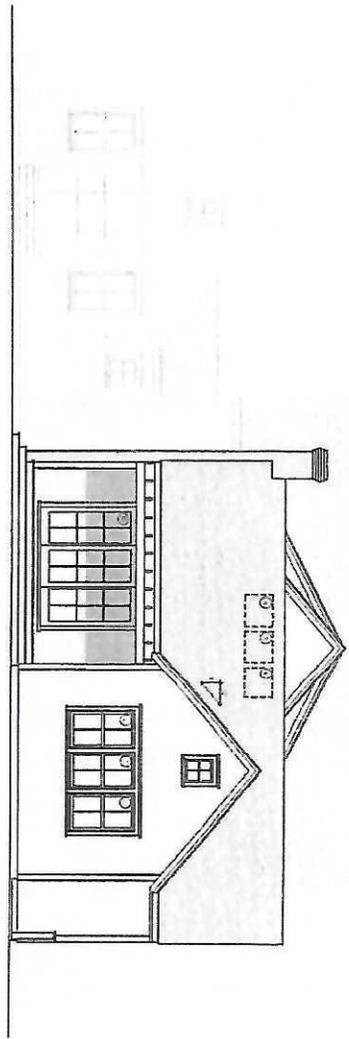
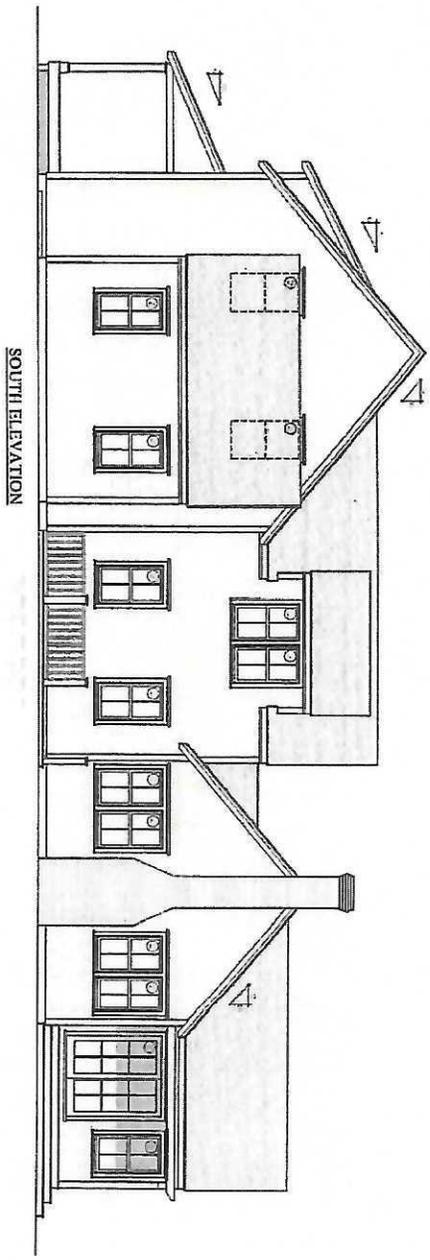
COVER SHEET
 DATE: 01/14/2020
 SCALE: AS NOTED

Normand Residential Design, Inc.
 15 COMMERCIAL WHARF - NANTUCKET, MA 02554
 (508) 228-7334 - NORMANDRESIDENTIAL.COM

BENJAMIN
 NORMAND RESIDENTIAL
 DESIGN, INC.
 15 COMMERCIAL WHARF - NANTUCKET, MA 02554
 (508) 228-7334 - NORMANDRESIDENTIAL.COM

Hbc Apprond moir house

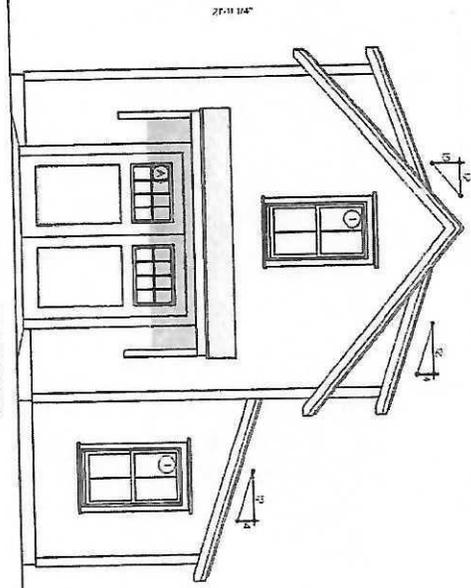




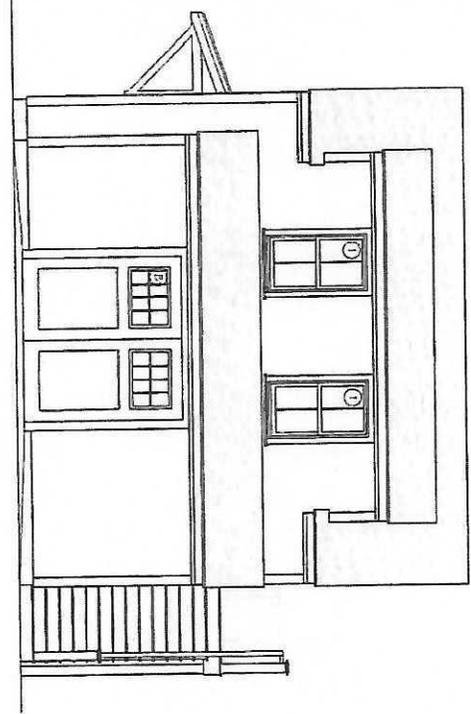
22 Boulevard, Nantucket

NO.	DESCRIPTION	QTY	UNIT	PRICE	TOTAL
1	FOUNDATION	1	SQ. FT.	1000	1000
2	FLOORING	1	SQ. FT.	1000	1000
3	CEILING	1	SQ. FT.	1000	1000
4	ROOFING	1	SQ. FT.	1000	1000
5	PAINT	1	SQ. FT.	1000	1000
6	PLUMBING	1	SQ. FT.	1000	1000
7	ELECTRICAL	1	SQ. FT.	1000	1000
8	MECHANICAL	1	SQ. FT.	1000	1000
9	LANDSCAPE	1	SQ. FT.	1000	1000
10	PERMITS	1	SQ. FT.	1000	1000
11	CONTRACTOR	1	SQ. FT.	1000	1000
12	INSURANCE	1	SQ. FT.	1000	1000
13	UTILITIES	1	SQ. FT.	1000	1000
14	MOVING	1	SQ. FT.	1000	1000
15	STAGING	1	SQ. FT.	1000	1000
16	FINISHES	1	SQ. FT.	1000	1000
17	APPLIANCES	1	SQ. FT.	1000	1000
18	FURNITURE	1	SQ. FT.	1000	1000
19	LANDSCAPE	1	SQ. FT.	1000	1000
20	PERMITS	1	SQ. FT.	1000	1000
21	CONTRACTOR	1	SQ. FT.	1000	1000
22	INSURANCE	1	SQ. FT.	1000	1000
23	UTILITIES	1	SQ. FT.	1000	1000
24	MOVING	1	SQ. FT.	1000	1000
25	STAGING	1	SQ. FT.	1000	1000
26	FINISHES	1	SQ. FT.	1000	1000
27	APPLIANCES	1	SQ. FT.	1000	1000
28	FURNITURE	1	SQ. FT.	1000	1000
29	LANDSCAPE	1	SQ. FT.	1000	1000
30	PERMITS	1	SQ. FT.	1000	1000
31	CONTRACTOR	1	SQ. FT.	1000	1000
32	INSURANCE	1	SQ. FT.	1000	1000
33	UTILITIES	1	SQ. FT.	1000	1000
34	MOVING	1	SQ. FT.	1000	1000
35	STAGING	1	SQ. FT.	1000	1000
36	FINISHES	1	SQ. FT.	1000	1000
37	APPLIANCES	1	SQ. FT.	1000	1000
38	FURNITURE	1	SQ. FT.	1000	1000
39	LANDSCAPE	1	SQ. FT.	1000	1000
40	PERMITS	1	SQ. FT.	1000	1000
41	CONTRACTOR	1	SQ. FT.	1000	1000
42	INSURANCE	1	SQ. FT.	1000	1000
43	UTILITIES	1	SQ. FT.	1000	1000
44	MOVING	1	SQ. FT.	1000	1000
45	STAGING	1	SQ. FT.	1000	1000
46	FINISHES	1	SQ. FT.	1000	1000
47	APPLIANCES	1	SQ. FT.	1000	1000
48	FURNITURE	1	SQ. FT.	1000	1000
49	LANDSCAPE	1	SQ. FT.	1000	1000
50	PERMITS	1	SQ. FT.	1000	1000

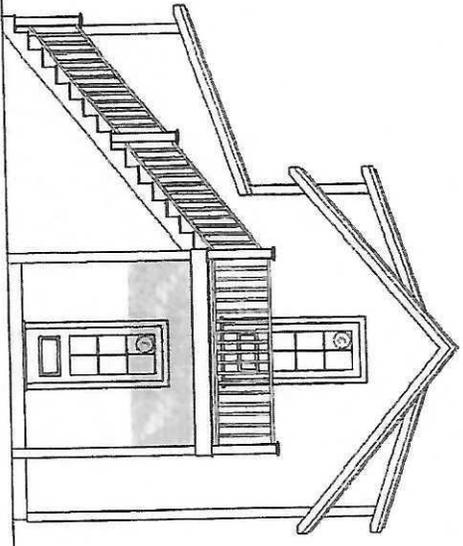
HDC Approved Garage



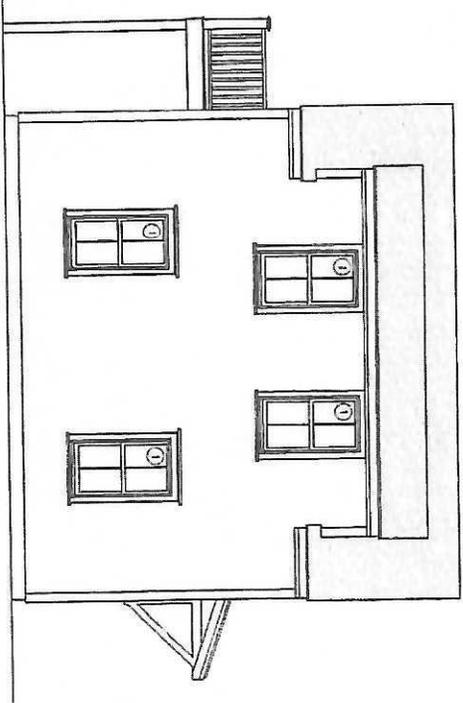
EAST ELEVATION



SOUTH ELEVATION

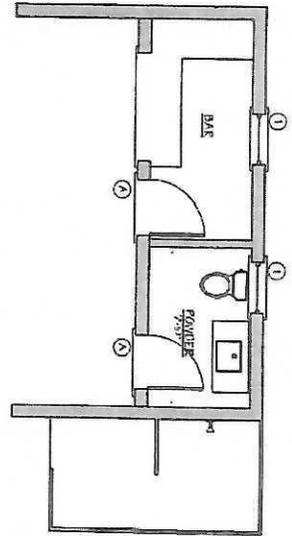


WEST ELEVATION



NORTH ELEVATION

HDC Approved Cabana



FIRST FLOOR PLAN

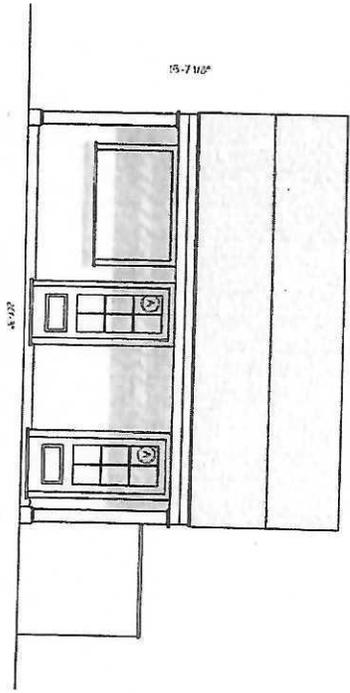
Boulevard Cabana

NO.	DATE	DESCRIPTION	BY	CHKD.
1	11/08/2019	ISSUED FOR PERMIT	BN	BN

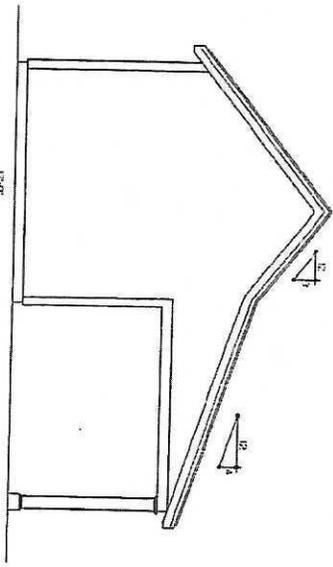
REVISIONS

1. ADJUSTED WINDOW SIZES TO MATCH EXISTING CABANA
1. ADJUSTED WINDOW SIZES TO MATCH EXISTING CABANA
1. ADJUSTED WINDOW SIZES TO MATCH EXISTING CABANA

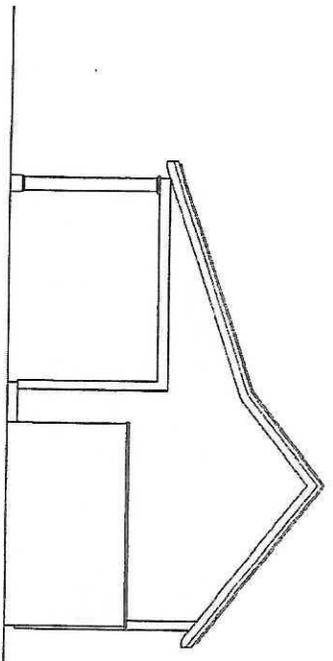
Notes:
 1. CHECK ALL DIMENSIONS AND SPACING AGAINST EXISTING CABANA.
 2. CHECK ALL DIMENSIONS AND SPACING AGAINST EXISTING CABANA.
 3. CHECK ALL DIMENSIONS AND SPACING AGAINST EXISTING CABANA.



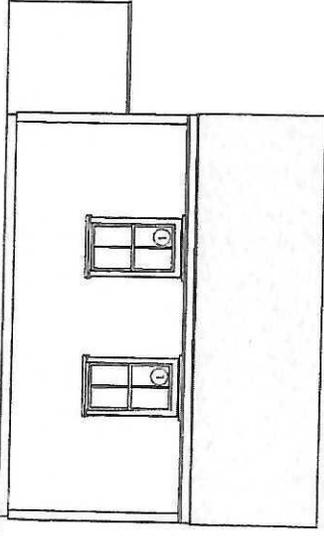
EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



WEST ELEVATION



HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road
Nantucket, Massachusetts 02554

Telephone: 508.325.7587
Email: hdcsubmissions@nantucket-ma.gov

COMMISSIONERS

Ray Pohl
Chairman

Diane Coombs
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

STAFF

Cathy Flynn
Land Use Specialist
cflynn@nantucket-ma.gov

Waiver of the HDC 10 Day Hearing Requirement

I Benjamin Normand
AS AGENT FOR 22 BLVD LLC
STREET ADDRESS 22 Boulevard

MAP/PARCEL 80/327

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON
9/22/2020

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

SECTION 8 of the HDC enabling legislation: ... The Commission shall meet within ten (10) days of the receipt of an application for a certificate of appropriateness or permit for removal...

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

[Signature] 9/18/2020
Signature Date

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application.
Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 80 PARCEL N°: 170 (1A)
Street & Number of Proposed Work: 20 S. G. HOWE RD.
Owner of record: DAVID CARLSON
Mailing Address: 403 WASHINGTON
WASHINGTON, MA 02421
Contact Phone #: 508-525-5500 E-mail: claycarlson@edramline.com

AGENT INFORMATION (if applicable)

Name: VAL DIVINA DESIGN LINE
Mailing Address: PO BOX 3057
NANTUCKET, MA 02584
Contact Phone #: 508-325-4319 E-mail: valdivina@valdivina.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$735.00
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 104' Sq. Footage 1st floor: 2002 Decks/Patio: Size: 5'6" x 2'6" 1st floor 2nd floor
Width: 41' Sq. footage 2nd floor: 11675 > 3077 Size: 12' x 35' 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South 29'-0" East _____ West _____
Height of ridge above final finish grade: North 29'-0" South 29'-0" East 29'-0" West 29'-0"

Additional Remarks

Historic Name: _____ REVISIONS: 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 9" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) 0 Other _____
Roof Pitch: Main Mass 9.5/12 Secondary Mass 0/12 Dormer 4/12 Other _____
Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other PTX
B. Treatment Paint Natural to weather Other PTX
C. Dimensions: Fascia 1x8 Rake 1x6 Soffit (Overhang) 0'-0" Corner boards 1x6 Frieze 1x6
Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round _____ Square 1x7

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer ANDERSON

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways STRIPS Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

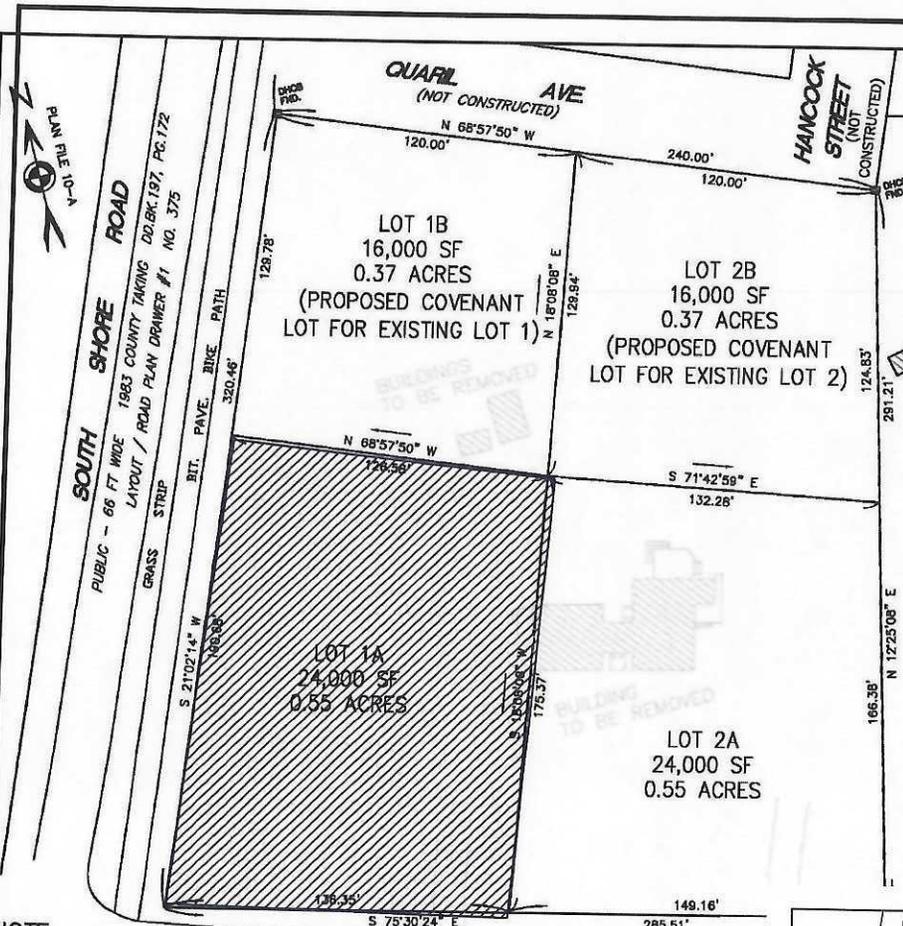
Sidewall NTW Clapboard (if applicable) _____ Roof DUAL BLACK TXD
Trim WHITE Sash BLACK Doors HAMILTON BLUE
Deck MIDHOLAND Foundation CORNY Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 9/20/20 Signature of owner of record _____

Signed under penalties of perjury

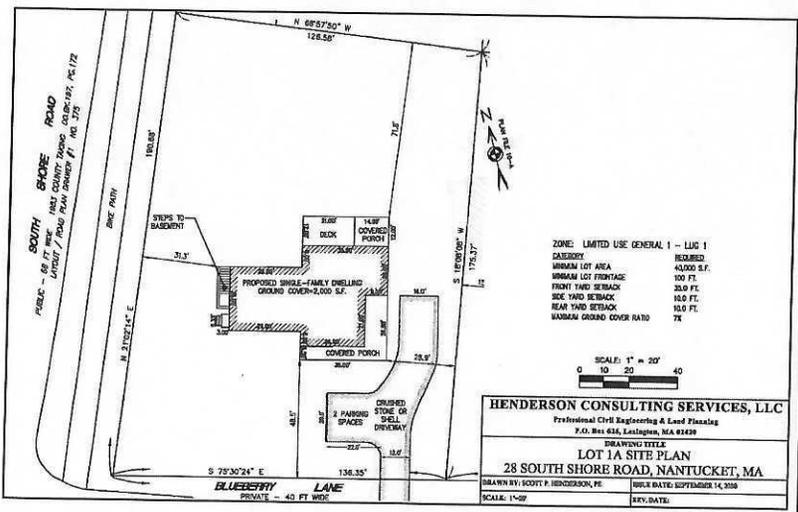


NOTE
 THE PROPERTY BOUNDARIES SHOWN
 HEREON ARE BASED ON A FIELD
 SURVEY PERFORMED BY EARLE &
 SULLIVAN, INC. IN AUGUST OF 2020.

BLUEBERRY LANE
 PRIVATE - 40 FT WIDE
 BIT. PAVEMENT
 PLOT PLAN
 (PROPOSED COVENANT LOTS SHOWN)



HENDERSON CONSULTING SERVICES, LLC
 Professional Civil Engineering & Land Planning



ZONE: LIMITED USE GENERAL 1 - LUG 1
 DENSITY REQUIRED:
 MINIMUM LOT AREA 43,000 S.F.
 MINIMUM LOT FRONTAGE 100 FT
 FRONT YARD SETBACK 30.0 FT
 SIDE YARD SETBACK 10.0 FT
 REAR YARD SETBACK 10.0 FT
 MINIMUM GRASS COVER RATIO 7%



HENDERSON CONSULTING SERVICES, LLC
 Professional Civil Engineering & Land Planning
 P.O. Box 636, Eastington, MA 01429
LOT 1A SITE PLAN
 28 SOUTH SHORE ROAD, NANTUCKET, MA
 DRAWN BY: SCOTT P. HENDERSON, PE
 SCALE: 1"=20'
 ISSUE DATE: SEPTEMBER 14, 2020
 REV. DATE:

SR:
REAMLINE MODULAR

CARLSON
28 SOUTH SHORE RD
LOT 1A

VERS SEAL

MODIFICATIONS

CT:
42805
TWO STORY

DRAWN BY:
 DATE: 9-8-20
 SCALE: 1/4"=1'-0"
 FILENAME: 42805

SHEET:
COVER

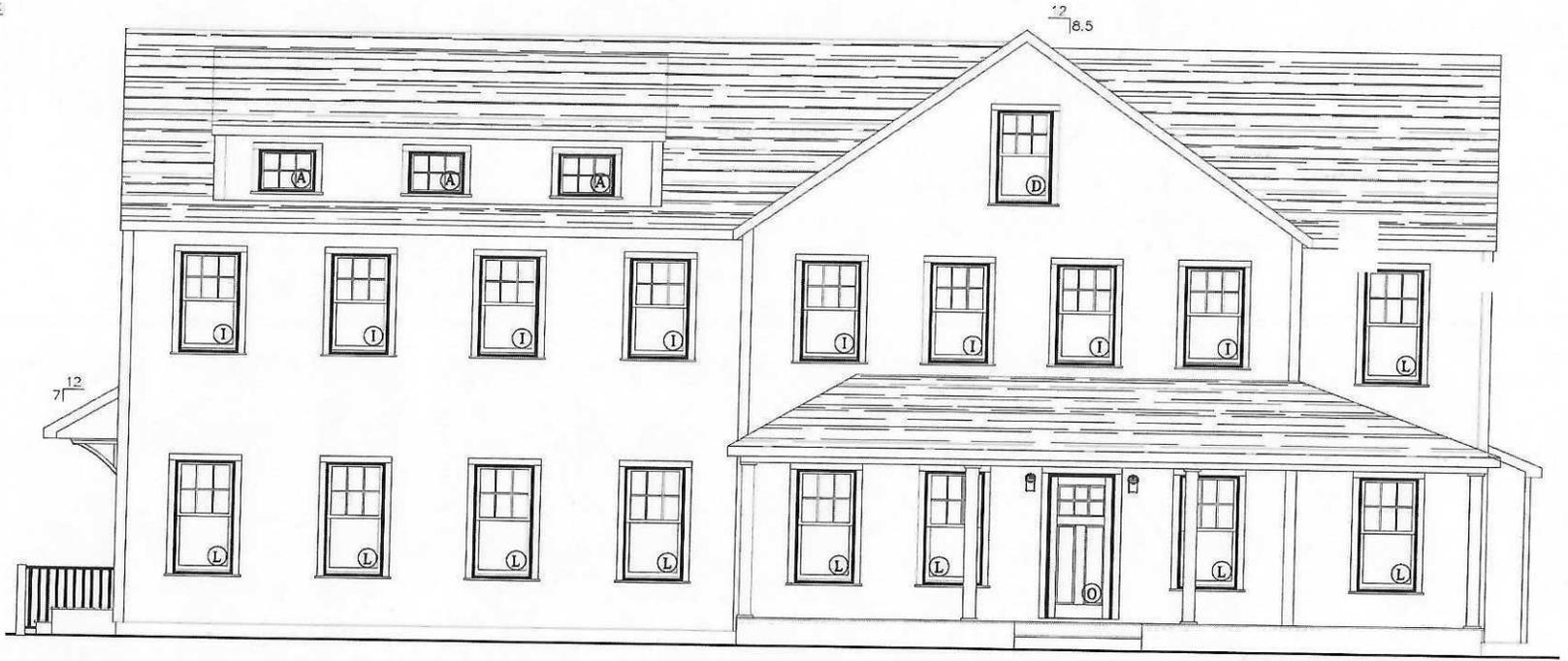
4'-28'-7" TOP OF SILL TO PEAK

8'-0" 2ND FLOOR CEILING HEIGHT

2ND FLOOR FLOOR

8'-0" 1ST FLOOR CEILING HEIGHT

1ST FLOOR FLOOR
TOP OF SILL
GRADE

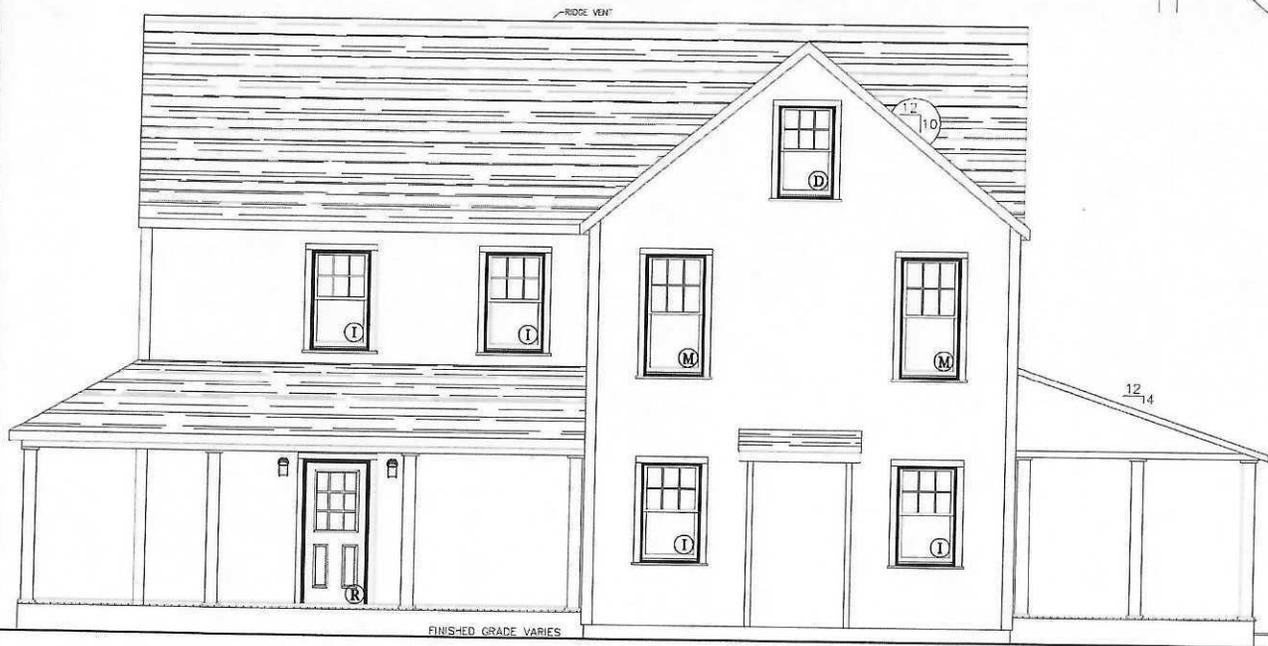


FRONT ELEVATION
SOUTH

CARLSON
28 SOUTH SHORE RD
LOT 1A



RIGHT (EAST)



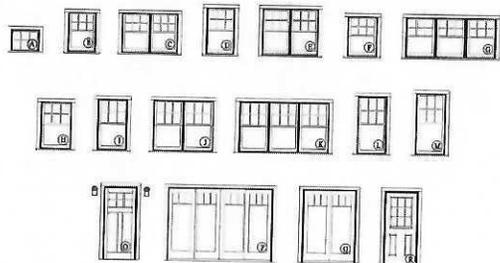
**LEFT ELEVATION
WEST**

**CARLSON
NEW DWELLING
28 SOUTH SHORE RD
LOT 1A**



REAR ELEVATION
NORTH

4290 WINDOW / DOOR SCHEDULE									
WINDOWS - ANDERSON 60 SERIES - SIMULATED DIVIDED LITES - IMPERIAL DESIGN									
NO.	SYMBOL	FINISH	GLASS	TYPE	UNIT	QTY	AREA	PERIMETER	PRICE
1	A	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
2	B	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
3	C	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
4	D	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
5	E	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
6	F	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
7	G	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
8	H	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
9	I	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
10	J	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
11	K	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
12	L	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
13	M	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
14	N	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
15	O	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
16	P	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
17	Q	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
18	R	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
19	S	CL	6-1/2" x 11-1/2"	DOUBLE HUNG	60-1000	3	21.00	42.00	105.00
DOORS									
20	1	CL	36" x 80"	PRELIMINARY	60-1000	2	72.00	144.00	210.00
21	2	CL	36" x 80"	PRELIMINARY	60-1000	2	72.00	144.00	210.00
22	3	CL	36" x 80"	PRELIMINARY	60-1000	2	72.00	144.00	210.00
23	4	CL	36" x 80"	PRELIMINARY	60-1000	2	72.00	144.00	210.00



BUILDER:
DREAMLINE MODULAR

CUSTOMER/PROJECT:
CARLSON

ENGINEER'S / ARCHITECT'S SEAL

APPROVER'S SEAL

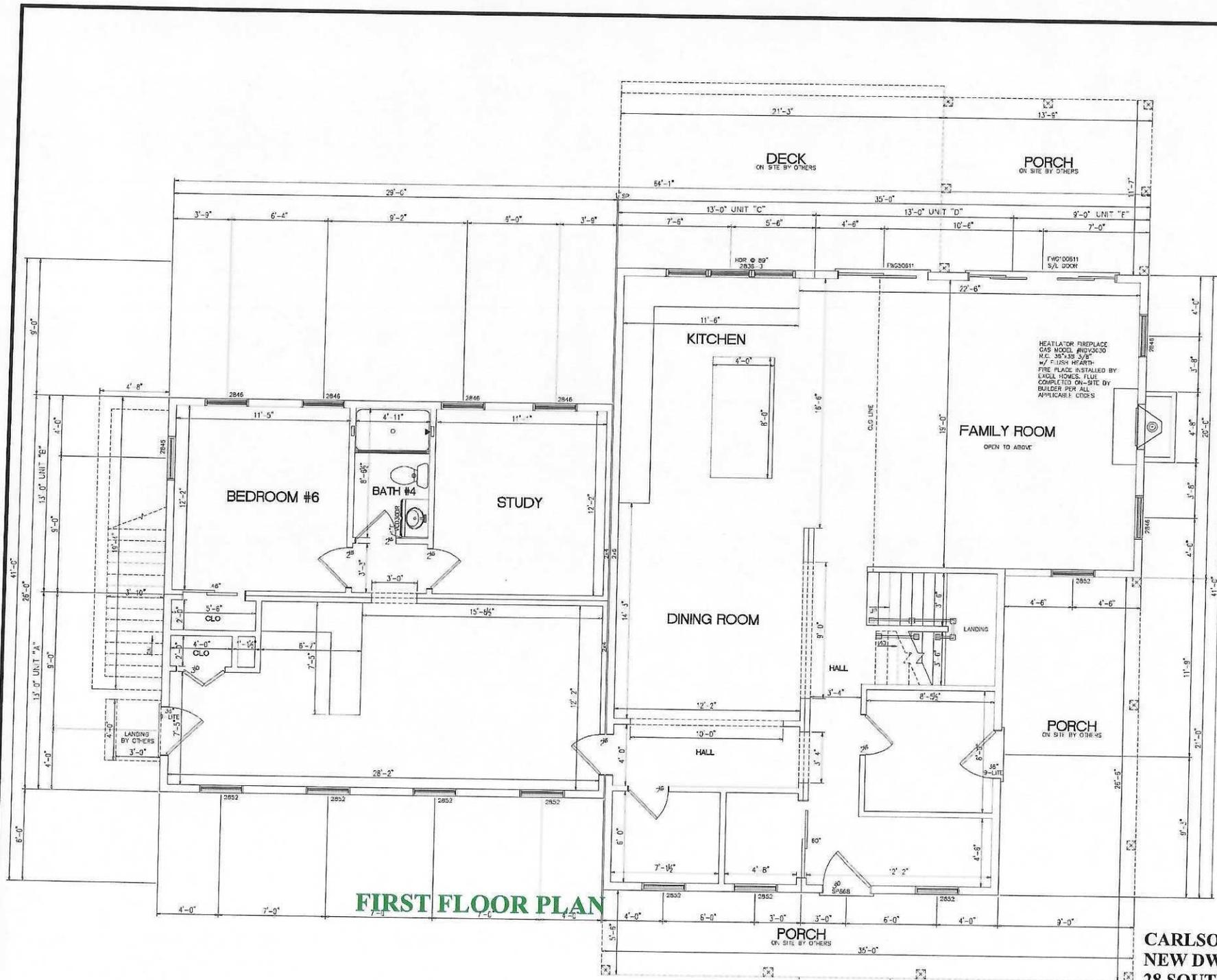
MODIFICATIONS

PROJECT:
**42944
TWO STORY**

TITLE:
COVER SHEET

DRAWN BY: ST
DATE: 9-18-20
SCALE: 1/4"=1'-0"
FILENAME: 42944

**CARLSON
NEW DWELLING
28 SOUTH SHORE RD
LOT 1A**



OWNER:
DREAMLINE MODULAR

STATION/PROJECT:
CARLSON

ENGINEER'S / ARCHITECT'S SEAL

PROVER'S SEAL

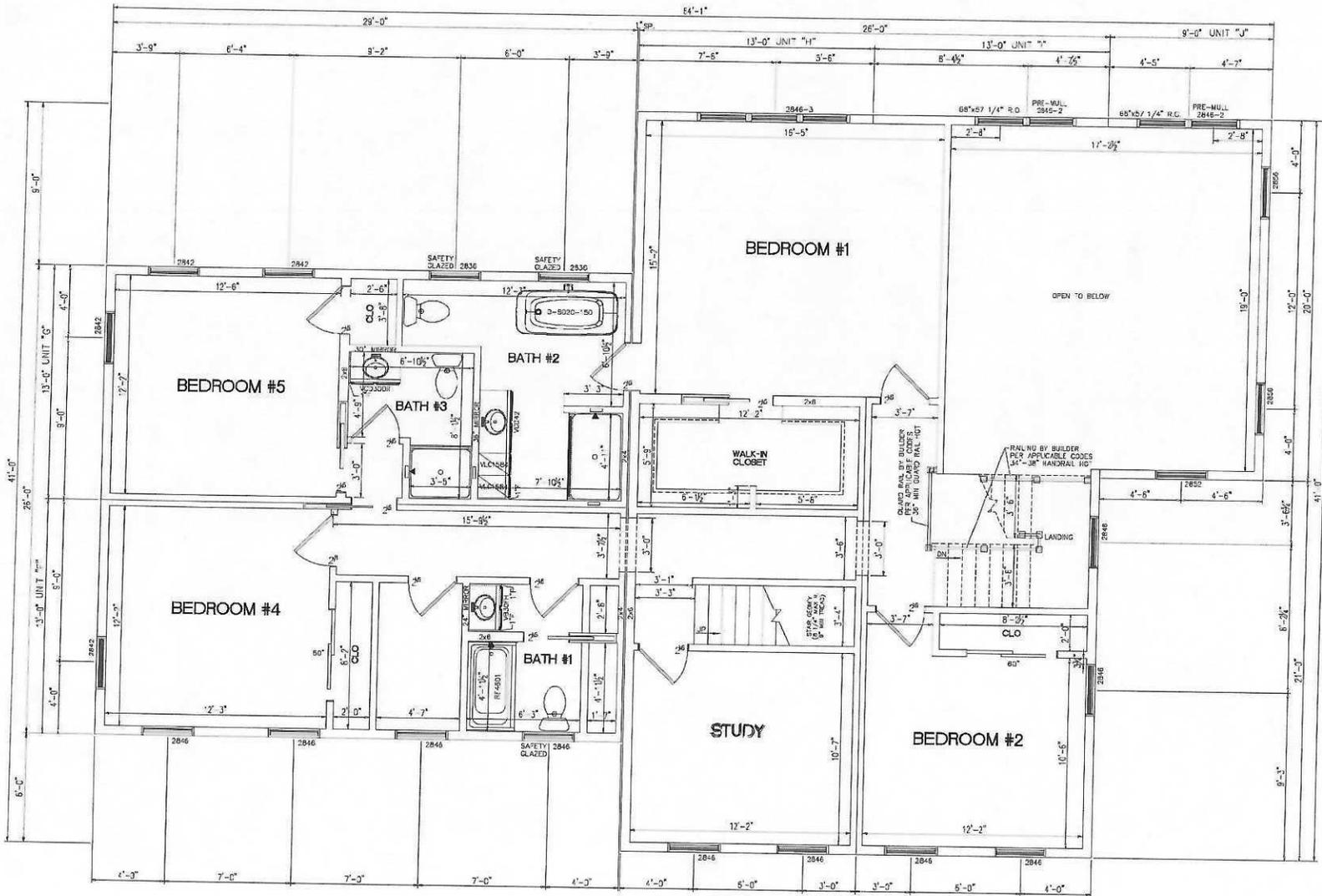
MODIFICATIONS

OBJECT:
**42944
TWO STORY**

FILE:
COVER SHEET

AWN BY: ST
TE: 9-18-20
ALE: 1/4"=1'-0"
EXAME: 42944

CARLSON
NEW DWELLING
28 SOUTH SHORE RD
LOT 1A



SECOND FLOOR PLAN

BUILDER:
DREAMLINE MODULAR

CUSTOMER/PI
CARLSON

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

MODIFICATIONS

PROJECT:
**42944
TWO STORY**

TITLE:
COVER SHEET

DRAWN BY: ST
DATE: 9-18-20
SCALE: 1/4"=1'-0"
FILENAME: 42944

**CARLSON
NEW DWELLING
28 SOUTH SHORE RD
LOT 1A**



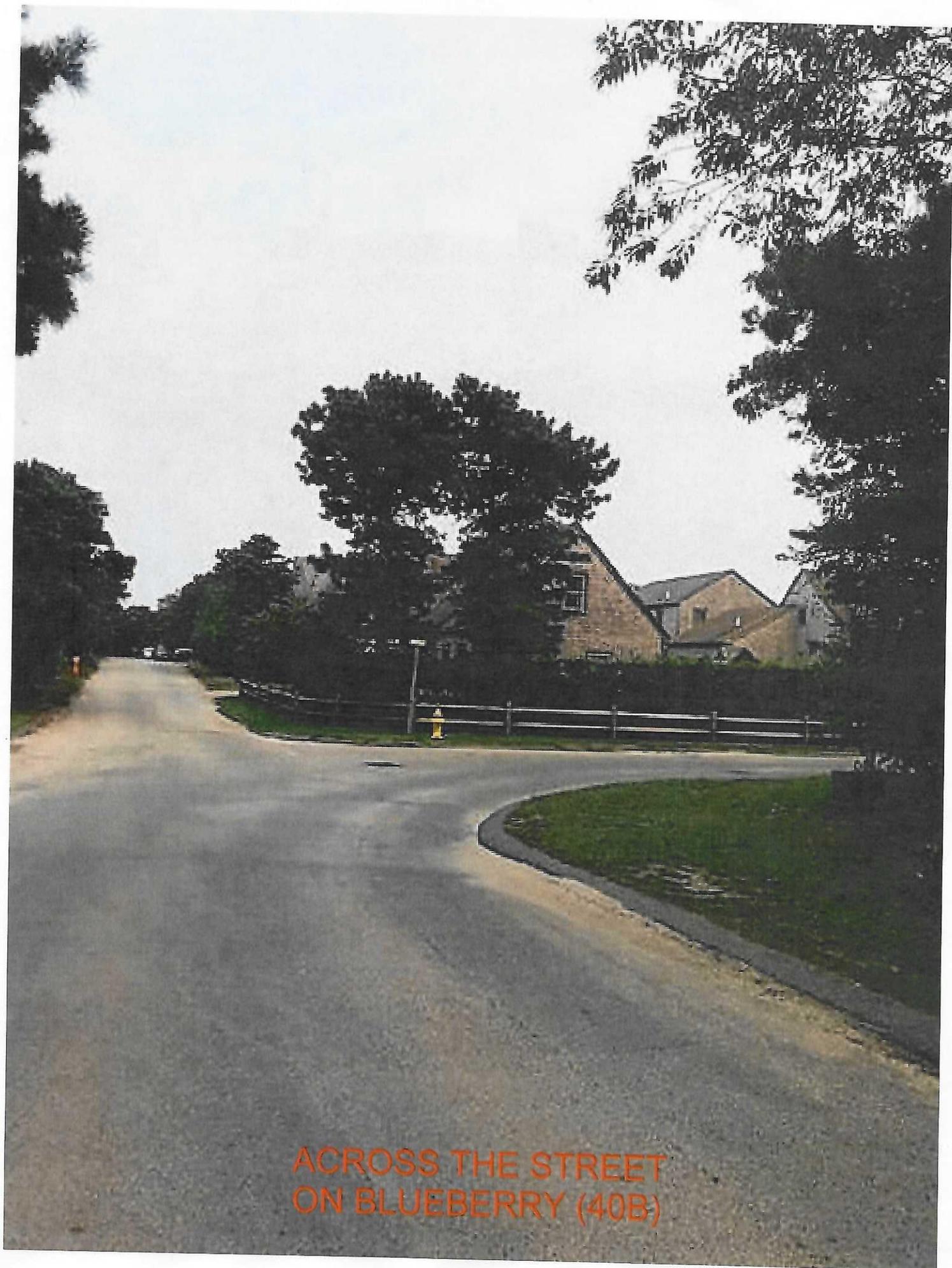
NEIGHBORING PROPERTY
ON SOUTH SHORE



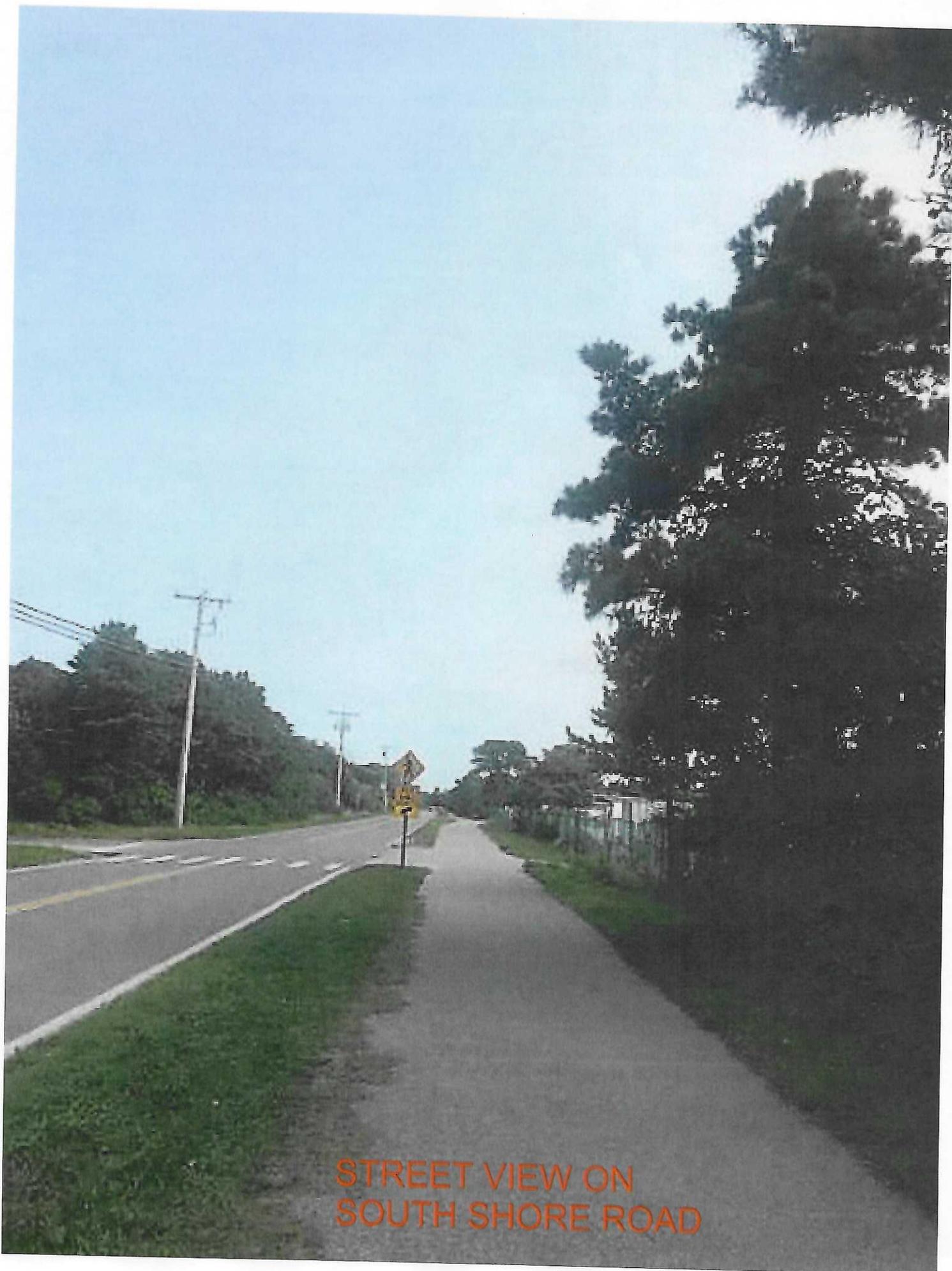
ACROSS THE STREET ON
SOUTH SHORE



ACROSS THE STREET
ON SOUTH SHORE



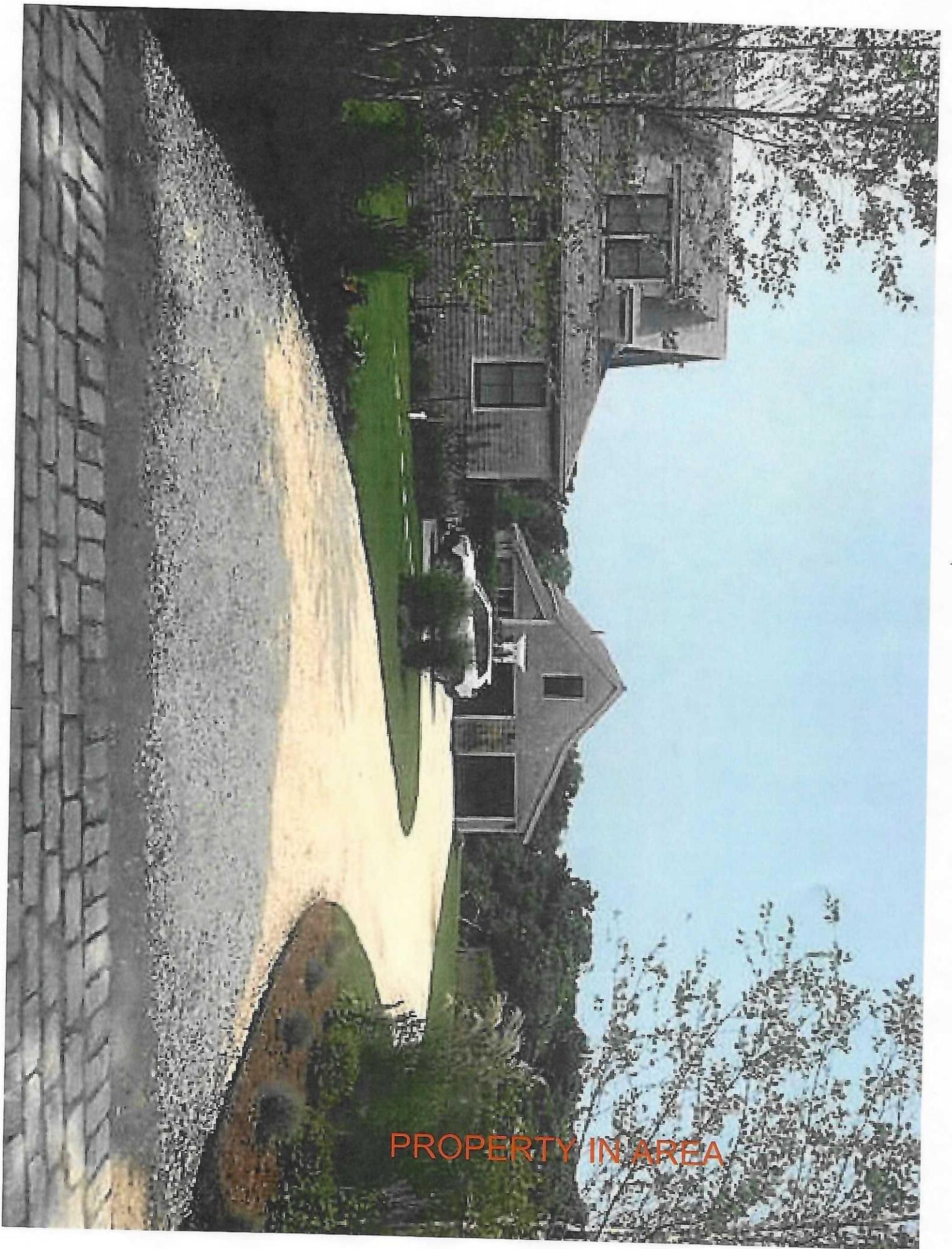
ACROSS THE STREET
ON BLUEBERRY (40B)



STREET VIEW ON
SOUTH SHORE ROAD



PROPERTY IN AREA



PROPERTY IN AREA



HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road

Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Fax: 508.228.7298

NOTICE OF HDC APPLICATION

ABUTTERS AND INTERESTED PARTIES

Please be informed that the Nantucket Historic District Commission will be considering the following proposal:

Address of Proposed Work: 28 South Shore Road

Tax Map Number: 80

Parcel Number: 178

Owner of Record: Nantucket Homes for People, Inc.

Description of Proposal: _____

Proposing to move/demolish existing structures on the property and construct (2) new Primary single family dwellings & (2) new Covenant/Secondary single family dwellings. We are currently in the process of subdividing the current lot through the planning board.

Anticipated HDC Submission Date: Submission Deadline 9/22/2020; Mtg Date 9/29/2020

You have been identified either as an abutter or interested party to the above property and are being notified in accordance with the Town Bylaw. Please note that the above submission date is an estimate only; the actual meeting date will be determined once the HDC staff has established that a complete application has been submitted. Please contact the HDC office to verify the date. Please note that notification is only required at the time of initial submission of an application, not for each time an application goes before the Commission. Abutters are responsible for monitoring the status of applications.

If you wish to comment on the above proposal, you are encouraged to submit your comments in writing to the HDC office. If you wish to testify at a Commission meeting please be aware that your testimony may be limited by the Commission in accordance with Commission policies, which are included on the back of this form. Due to the large sizes of most applications, the HDC office may not be able to send faxed copies of the plans. Off-island abutters wishing more detailed information may enlist an on-island representative to view the plans in the HDC office.

If you have any questions, please contact the HDC office at 508.325.7587.

7016 2710 0000 1972 7787

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Domestic Mail Only

For delivery information, visit our website at www.usps.com

Nantucket, MA 02584

Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee to appropriate total)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$4.10

0173
25

Postmark
Here

09/09/2020

Sent To Kilvest Lindsley; Ardmore Realty Trust
 Street and Apt. No., or PO Box No. P.O. Box 2231
 City, State, ZIP+4® Nantucket, MA 02584

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2710 0000 1972 7770

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<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$4.10

0173
25

Postmark
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09/09/2020

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 Street and Apt. No., or PO Box No. 2 South Pasture Ln.
 City, State, ZIP+4® Nantucket, MA 02554

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Extra Services & Fees (check box, add fee to appropriate total)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$4.10

0173
25

Postmark
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09/09/2020

Sent To Ramos Aquino C Trustee
 Street and Apt. No., or PO Box No. P.O. Box 311
 City, State, ZIP+4® Nantucket, MA 02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Certified Mail Fee	\$3.55
Extra Services & Fees (check box, add fee to appropriate total)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
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<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00
Postage	\$0.55
Total Postage and Fees	\$4.10

0173
25

Postmark
Here

09/09/2020

Sent To Nass Nicholas J
 Street and Apt. No., or PO Box No. 29A South Shore Rd.
 City, State, ZIP+4® Nantucket, MA 02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7016 2710 0000 1972 7763

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Nantucket, MA 02584

OFFICIAL USE

Certified Mail Fee	\$3.55		0173
Extra Services & Fees (check box, add fee as appropriate)	\$0.00		25
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00		
<input type="checkbox"/> Adult Signature Required	\$0.00		
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.55		
Total Postage and Fees	\$4.10		

Postmark Here
09/09/2020

Sent To McNeice Ian
 Street and Apt. No., or PO Box No. P.O. Box 2231
 City, State, ZIP+4® Nantucket, MA 02584

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Extra Services & Fees (check box, add fee as appropriate)	\$0.00		25
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.55		
Total Postage and Fees	\$4.10		

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09/09/2020

Sent To Mahoney Timothy South Shore Realty Trust
 Street and Apt. No., or PO Box No. 25 South Shore Road
 City, State, ZIP+4® Nantucket, MA 02554

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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Nantucket, MA 02584

OFFICIAL USE

Certified Mail Fee	\$3.55		0173
Extra Services & Fees (check box, add fee as appropriate)	\$0.00		25
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00		
<input type="checkbox"/> Return Receipt (electronic)	\$0.00		
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<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00		
Postage	\$0.55		
Total Postage and Fees	\$4.10		

Postmark Here
09/09/2020

Sent To Lowell Nathaniel & Ryder Andrea J
 Street and Apt. No., or PO Box No. P.O. Box 2353
 City, State, ZIP+4® Nantucket, MA 02584

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

TOWN OF NANTUCKET
HISTORIC DISTRICT COMMISSION

LIST OF PARTIES IN INTEREST IN THE MATTER OF THE PETITION OF:

PROPERTY OWNER.....Kristopher Megna and Douglas Carlson
MAILING ADDRESS.....
PROPERTY LOCATION.....28 South Shore Rd
ASSESSORS MAP/PARCEL.....80-178
SUBMITTED BY: Val Oliver Design Inc.....

SEE ATTACHED PAGES

I certify that the foregoing is a list of persons who are owners of land directly adjacent to the subject property or directly opposite the subject property on any public or private street or way, all as they appear on the most recent applicable tax list.

09-01-2020

DATE

Digitally signed by Rob Ranney
DN: cn=Rob Ranney, o=Town of Nantucket,
ou=Assessor's Office,
email=rranney@nantucket-ma.gov, c=US
Date: 2020.09.01 08:28:08 -04'00'

ASSESSOR'S OFFICE
TOWN OF NANTUCKET

CERTIFICATE NO: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a
CERTIFICATE OF APPROPRIATENESS
for structural work.

DATE ISSUED: _____

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application.
Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference. The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 80 PARCEL N°: 17B-(1071B)
Street & Number of Proposed Work: 28 SOUTH SHORE RD. L
Owner of record: DOUG CARLSON
Mailing Address: 405 WASHINGTON ST.
VENTNATION, MA. 02921
Contact Phone #: (508) 525-4500 E-mail: DougCarlson@premio.com

AGENT INFORMATION (if applicable)

Name: VALORAMA DESIGN INC.
Mailing Address: PO BOX 3057
NANTUCKET, MA 02584
Contact Phone #: 508-375-4319 E-mail: val@valoramadesign.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ 300.00
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 28' Sq. Footage 1st floor: 770 SF Decks/Patio: Size: 3'6" x 6' 1st floor 2nd floor
Width: 27'6" Sq. footage 2nd floor: 770 SF 1540 Size: 3'6" x 8' 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North 28'6" South 28'6" East 28'6" West 28'6"

Additional Remarks

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

REVISIONS: 1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation
*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 12" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 7/12 Secondary Mass 7/12 Dormer 7/12 Other _____
Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____
Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side Other _____

Trim: A. Wood Pine Redwood Cedar Other ASBY
B. Treatment Paint Natural to weather Other ASBY
C. Dimensions: Fascia 1x8 Rake 1x4 Soffit (Overhang) 6" x 8" Corner boards 1x6 Frieze 1x4
Window Casing 1x8 Door Frame 1x4 Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer AMERICAN
Doors* (type and material): TDL SDL Front 6 panel Rear slat Side _____
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways SMAL Walkways SMAL Walls N/A

* Note: Complete door and window schedules are required.

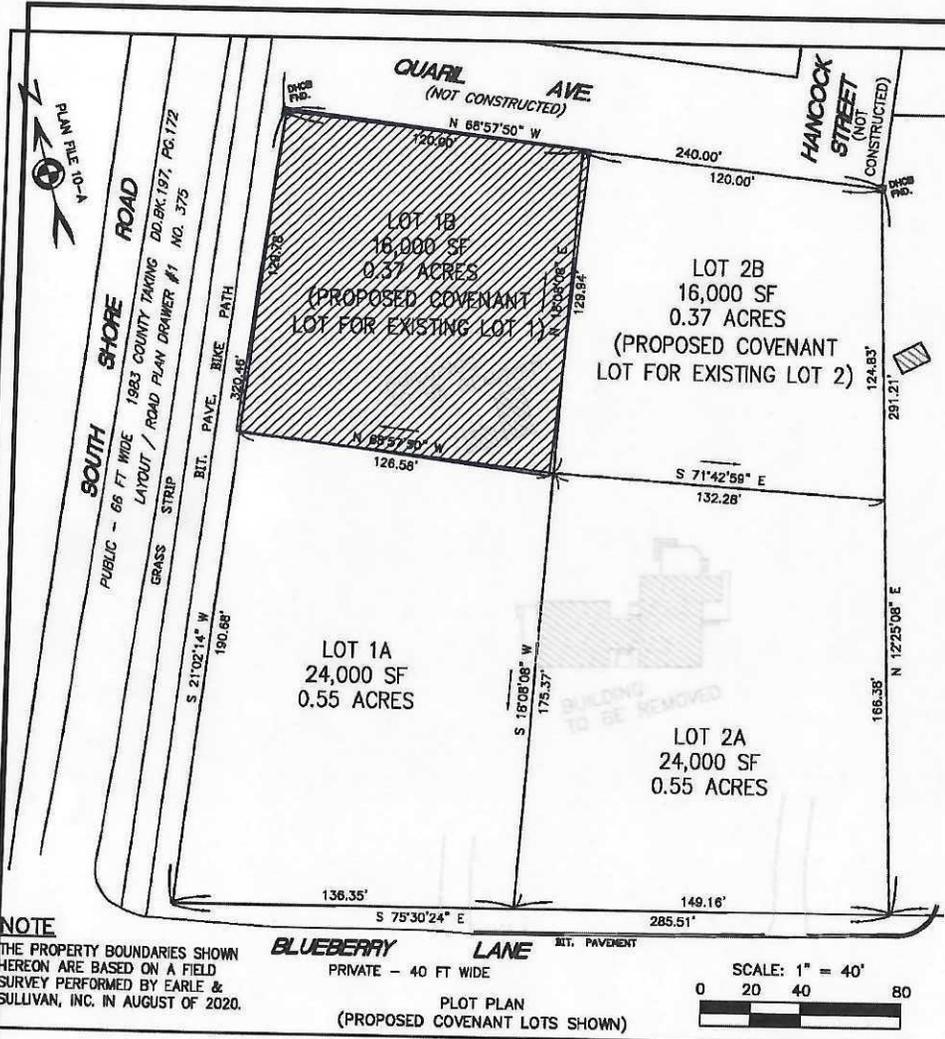
COLORS

Sidewall CEDAR NEW Clapboard (if applicable) _____
Trim AZUL WHITE Sash WHITE Roof DUN-BLACK 1x6
Deck MADHOLMANY Foundation GRAY Doors ESSEX GREEN
Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

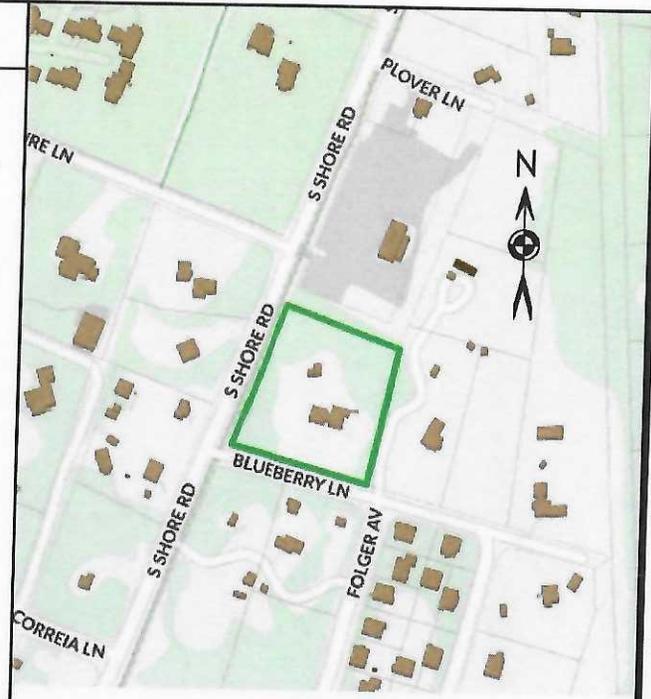
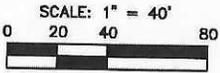
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 9/21/20 Signature of owner of record _____ Signed under penalties of perjury _____

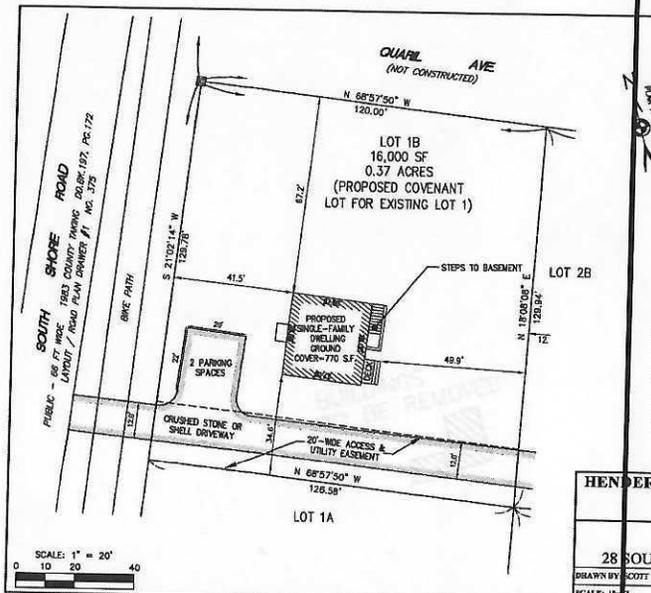


NOTE
 THE PROPERTY BOUNDARIES SHOWN
 HEREON ARE BASED ON A FIELD
 SURVEY PERFORMED BY EARLE &
 SULLIVAN, INC. IN AUGUST OF 2020.

BLUEBERRY LANE
 PRIVATE - 40 FT WIDE
 PLOT PLAN
 (PROPOSED COVENANT LOTS SHOWN)



LOCUS MAP
 (SCALE 1"=200')



SCALE: 1" = 20'

SR:
REAMLINE MODULAR

MEGNA-COVENANT LOT
 28 SOUTH SHORE RD
 LOT 1B

VERS SEAL

- ZONE: LIMITED USE GENERAL 1 - LUG 1
- CATEGORY: RESIDENTIAL
- MINIMUM LOT AREA: 40,000 SF.
- MINIMUM LOT FRONTAGE: 100 FT.
- FRONT YARD SETBACK: 35.0 FT.
- SIDE YARD SETBACK: 10.0 FT.
- REAR YARD SETBACK: 10.0 FT.
- MAXIMUM GROUND COVER RATIO: 7%

HENDERSON CONSULTING SERVICES, LLC
 Professional Civil Engineering & Land Planning
 P.O. Box 624, Lexington, MA 02410

DRAWING TITLE
LOT 1B SITE PLAN
28 SOUTH SHORE ROAD, NANTUCKET, MA

DRAWN BY: SCOTT P. HENDERSON, PE ISSUE DATE: SEPTEMBER 14, 2020
 SCALE: 1"=20' REV. DATE:

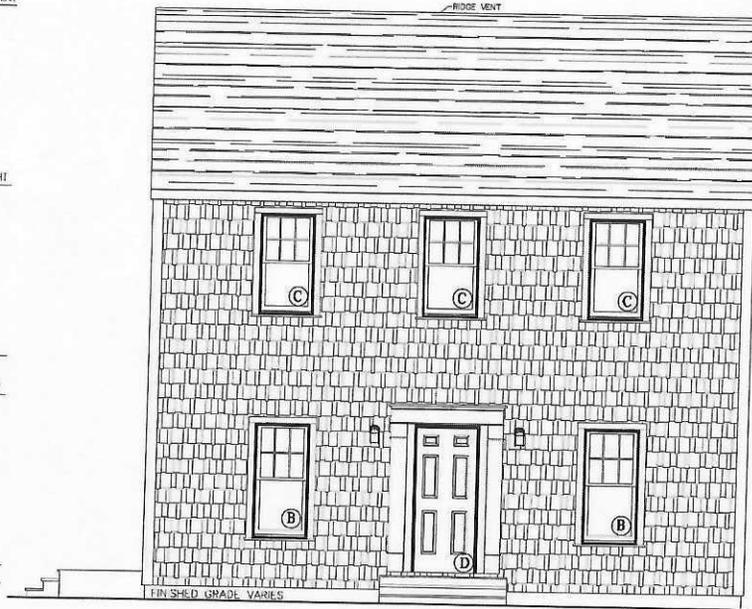
4'-27'-1" TOP OF SILL TO PEAK

8'-0" 2ND FLOOR CEILING HEIGHT

2ND FLOOR FLOOR

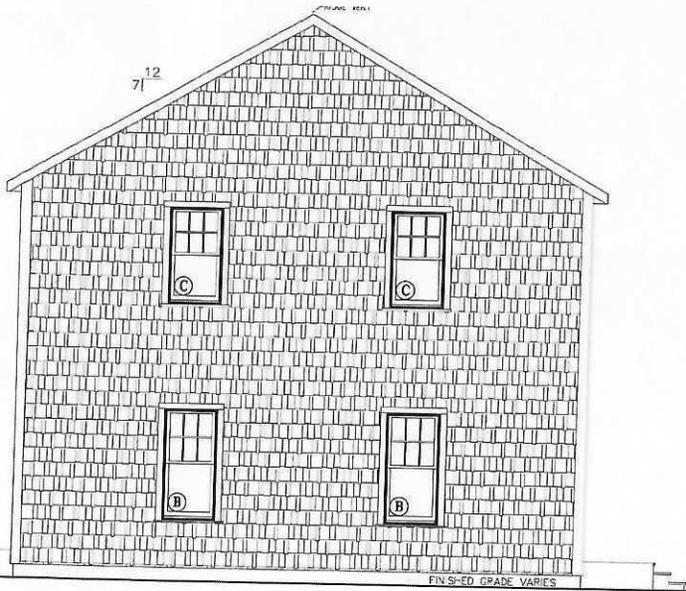
8'-0" 1ST FLOOR CEILING HEIGHT

1ST FLOOR FLOOR
TOP OF SILL
GRADE



FRONT ELEVATION

West



LEFT ELEVATION

North

BUILDER:
DREAMLINE MODULAR

CUSTOMER/PROJECT:
S SHORE COVENANT 1

ENGINEER'S / ARCHITECT'S SEAL

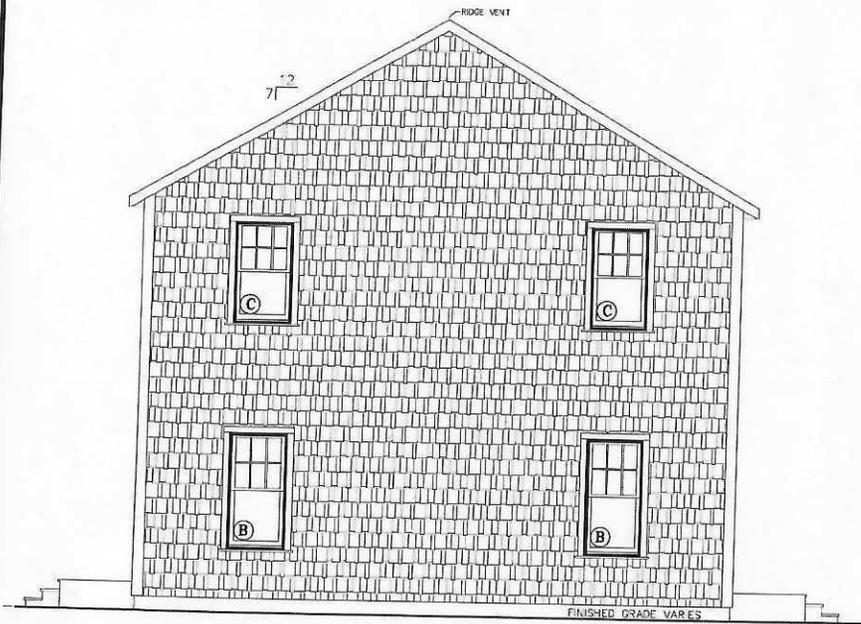
APPROVERS SEAL

**LOT 1B
28 SOUTH SHORE RD
COVENANT LOT**

MODIFICATIONS

PROJECT:
**42746
TWO STORY**

DATE: 9-8-20
SCALE: 1/4"=1'-0"
FILENAME: 42746



RIGHT ELEVATION
South



REAR ELEVATION
East

BUILDER:
DREAMLINE MODULAR

CUSTOMER/PROJECT:
S SHORE COVENANT 1

ENGINEER'S / ARCHITECT'S SEAL

APPROVERS SEAL

LOT 1B
28 SOUTH SHORE RD
COVENANT LOT

MODIFICATIONS

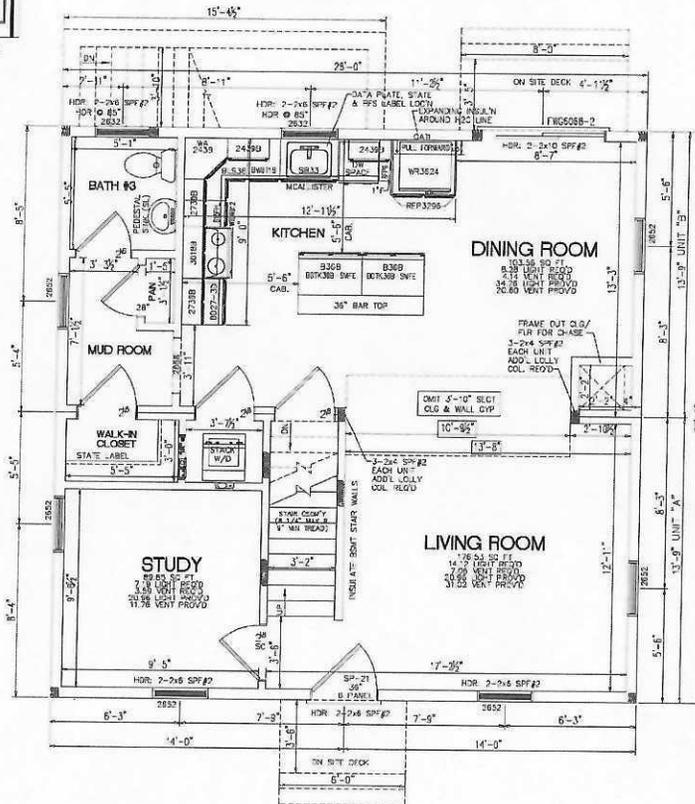
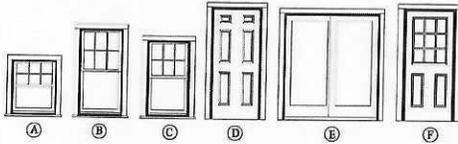
PROJECT:
42746
TWO STORY

DATE: 9-8-20
SCALE: 1/4"=1'-0"
FILENAME: 42746

42746 WINDOW / DOOR SCHEDULE

WINDOWS - ANDERSON 400 SERIES - SIMULATED DIVIDED LITES w/SPACER EXTERIOR									
WIND CODE	LOCATION	ROOF OPENING	MANUFACTURER	TYPE	W	H	AREA SQ. FT	WIND U.I.	WIND U.I.
2632	A	32'-7/8" X 43'-7/8"	ANDERSON 400	DN WINDOW	32'-5 1/4"	43'-5 1/4"	1408.0	3.30	3.30
2632	B	22'-7/8" X 64'-7/8"	ANDERSON 400	DN WINDOW	22'-5 1/4"	64'-5 1/4"	1408.0	3.30	3.30
2646	C	32'-7/8" X 55'-7/8"	ANDERSON 400	DN WINDOW	32'-5 1/4"	55'-5 1/4"	1764.0	3.30	3.30

DOORS									
WIND CODE	LOCATION	ROOF OPENING	MANUFACTURER	TYPE	W	H	AREA SQ. FT	WIND U.I.	WIND U.I.
971	D	36'-3/4" X 3'-7/4"	W. VIKER WALKING	36" x 36" PANEL DOOR	36"	3'-7 1/4"	12.24	1.9	1.9
F09098-2	E	70" X 80"	ANDERSON	SLIDING GLASS DOOR	30"	30"	36.0	3.30	3.30
F310	F	25'-2 1/4" X 3'-1/4"	W. VIKER WALKING	36" x 36" DOOR	36"	3'-1 1/4"	13.32	1.9	1.9



- NOTES
- 2x6 EXT WALLS @ 16" O.C./2x4 MARR WALLS @ 16" O.C. (EXCEPT AS NOTED)
 - 8'-0" C.G. HT.
 - 2x10 SFF#2 FLOOR JOISTS @ 16" O.C.
 - ROOF SYSTEM TO BE 16" O.C.
 - ANDERSON 400 SERIES WINDOWS
 - BASED ON 163 W.L.T. WIND LOAD & EXPOSURE 'B'
 - SITE LOCATION: NANTUCKET, MA; NANTUCKET COUNTY, 25 PSF GROUND SNOW LOAD
 - CEILING GIRDER OVER LR-DR TO BE 2-1 1/2"x11 1/4" LVL (PER MODULE/CALC. MAN. 6.7.68)
 - BUILDER SHALL SUPPLY AND INSTALL WHOLE HOUSE VENTILATION. THIS INSTALLATION SHALL BE INSPECTED AND APPROVED BY THE LOCAL JURISDICTION. THE FACTORY TO SUPPLY AND AN ENERGY STAR BATH FAN WITH TIMER IN MASTER BATH
 - BUILDER SHALL SUPPLY AND INSTALL A DUCT TIGHTNESS AND BLOWER DOOR TEST. ALL TESTING MUST BE DONE BY A MASS QUALIFIED PROFESSIONAL.

BUILDER:
DREAMLINE MODULAR

CUSTOMER/PROJECT:
S SHORE COVENANT 1

ENGINEER'S / ARCHITECT'S SEAL
**LOT 1B
28 SOUTH SHORE RD
COVENANT LOT**

APPROVERS SEAL

MODIFICATIONS

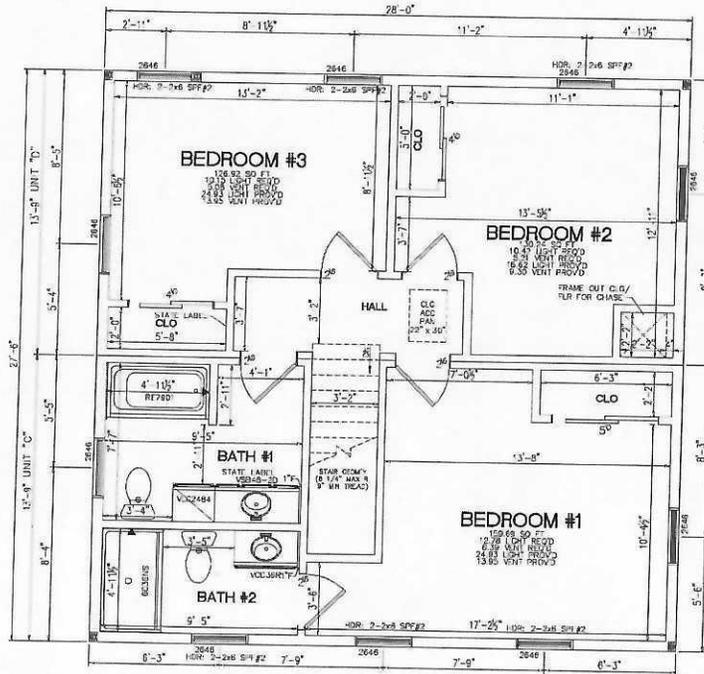
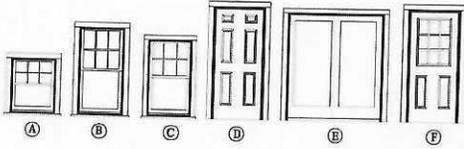
PROJECT:
**42746
TWO STORY**

TITLE:
**FIRST FLOOR
PLAN**

DRAWN BY:
DATE: 9-8-20
SCALE: 1/4"=1'-0"
FILENAME: 42746

SHEET:
1ST FLR

42746 WINDOW/DOOR SCHEDULE									
WINDOWS - ANDERSON 400 SERIES - SIMULATED DIVIDED LITES wSPACER EXTERIOR									
MARK	CODE	LOCATION	ROUGH OPENING	MANUFACTURER	TYPE	AREA	SG. FT	SG. FT	SG. FT
2632	A		22 1/8" X 42 7/8"	ANDERSON 400	24 WINDOW	30	9.58	3.30	3.30
2632	B		22 1/8" X 64 7/8"	ANDERSON 400	24 WINDOW	21	15.14	10.41	5.88
2648	C		22 1/8" X 56 7/8"	ANDERSON 400	24 WINDOW	30	12.48	8.31	4.65
DOORS									
SP21	D		36 3/4" X 82 3/4"	MILLER W.L.WORK	36" B. HALL DOOR	17	22.51	-	12.98
FW0665-1	E		72" X 82"	ANDERSON	SLIDING GLASS DOOR	30	26.34	15.25	11.22
F555	F		36 3/4" X 82 3/4"	MILLER W.L.WORK	36" B. HALL DOOR	17	22.51	4.8	12.26



- NOTES:
- 2x6 EXT WALLS @ 16" O.C./2x4 MARR WALLS @ 16" O.C. (EXCEPT AS NOTED)
 - 8'-0" CLO. HT.
 - 2x10 SFF#2 FLOOR JOISTS @ 16" O.C.
 - ROOF SYSTEM TO BE 6" O.C.
 - ANDERSON 400 SERIES WINDOWS
 - FLR GIRDER UNDER BR#1-BR#2 TO BE: 2-1 1/2"x8 1/4" LVL (PER MODULE)(CALC MAN. 6.7.68)

BUILDER:
DREAMLINE MODULAR
 CUSTOMER/PROJECT:
S SHORE COVENANT 1
 ENGINEER'S / ARCHITECT'S SEAL

LOT 1B
28 SOUTH SHORE RD
COVENANT LOT

APPROVERS SEAL

MODIFICATIONS

PROJECT:
42746
TWO STORY

TITLE:
SECOND FLOOR
PLAN

DRAWN BY:
 DATE: 9-8-20
 SCALE: 1/4"=1'-0"
 FILENAME: 42746

SHEET:
2ND FLR



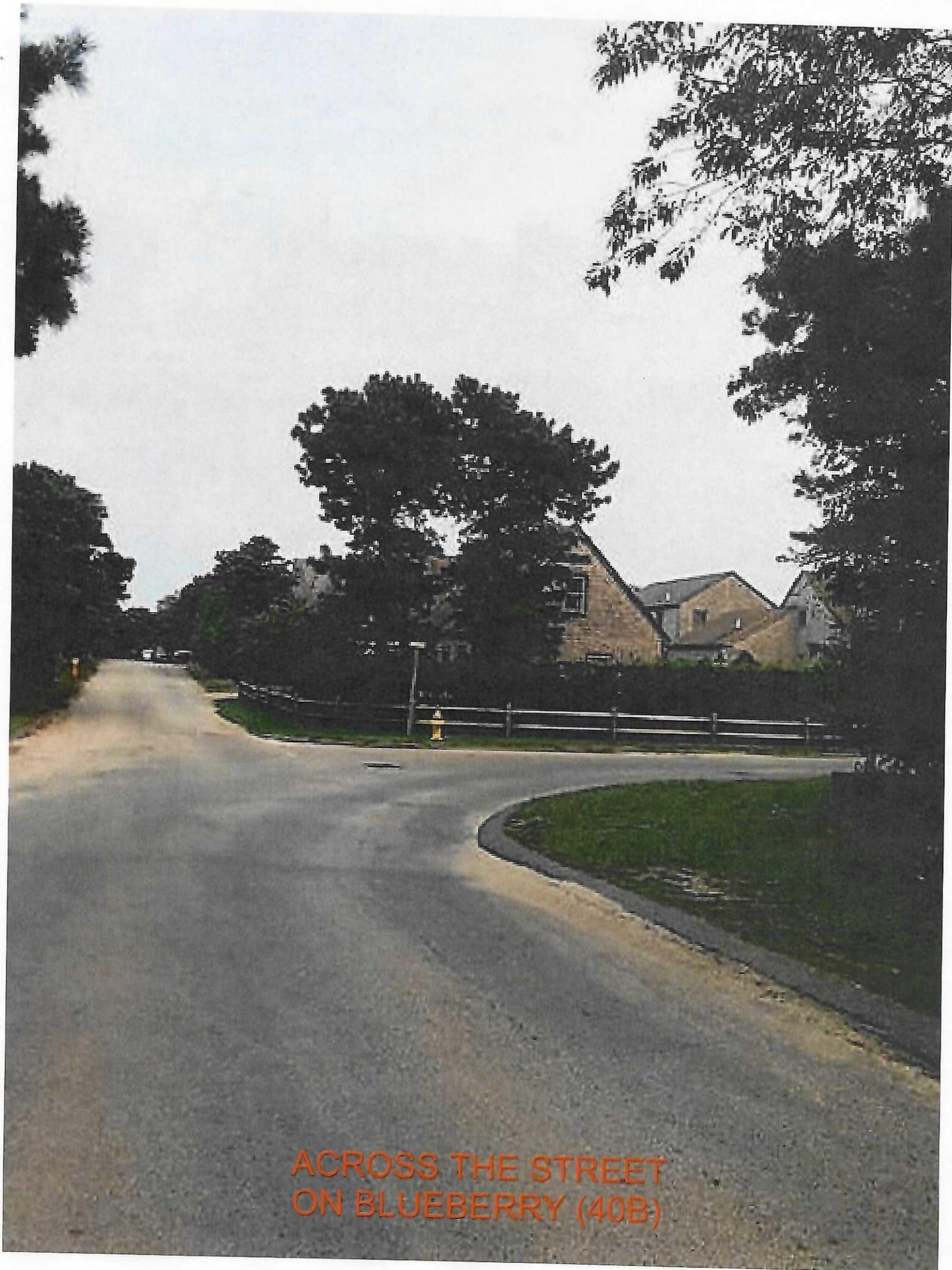
NEIGHBORING PROPERTY
ON SOUTH SHORE



ACROSS THE STREET ON
SOUTH SHORE



ACROSS THE STREET
ON SOUTH SHORE



ACROSS THE STREET
ON BLUEBERRY (40B)



STREET VIEW ON
SOUTH SHORE ROAD



PROPERTY IN AREA



PROPERTY IN AREA

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a
CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.
NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application.
Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 80 PARCEL N°: 138 (2A)
Street & Number of Proposed Work: 28 SOUTH SHORE RD.
Owner of record: KRIS NEENA
Mailing Address: 403 WATSON ST.
WASHINGTON, MA 02421
Contact Phone # (508) 576-5500 E-mail: Kris.Neena@comcast.net

AGENT INFORMATION (if applicable)

Name: VAL OLIVAR DESIGN INC.
Mailing Address: PO BOX 3057
NANTUCKET, MA 02584
Contact Phone # (508) 325-4319 E-mail: val@valdesign.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ 711.20
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED
See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No.
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 72' Sq. Footage 1st floor: 2000 SF Decks/Patio: Size: 5'11" x 4'6" 1st floor 2nd floor
Width: 30' Sq. Footage 2nd floor: 3550 Size: 12' x 45' 1st floor 2nd floor 4x8
Sq. Footage 3rd floor: _____ Size: 4' x 10' (2nd floor)

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North 29'-8" South 29'-8" East 29'-8" West 29'-8"

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 9" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 8 /12 Secondary Mass 11 /12 Dormer 4 /12 Other _____
Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____ Size _____ Location _____

Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side

Trim: A. Wood Pine Redwood Cedar Other ASPK
B. Treatment Paint Natural to weather Other ASPK
C. Dimensions: Fascia 1x8 Rake 1x6 Soffit (Overhang) 6x12 Corner boards 1x6 Frieze 1x6
Window Casing 1x4 Door Frame 1x6 Columns/Posts: Round _____ Square 1x7

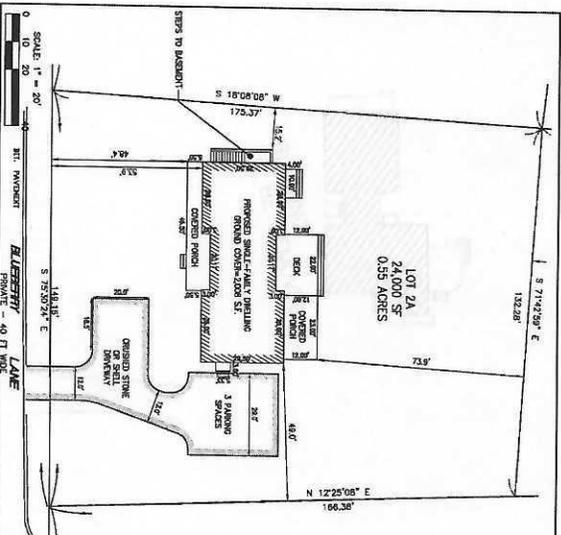
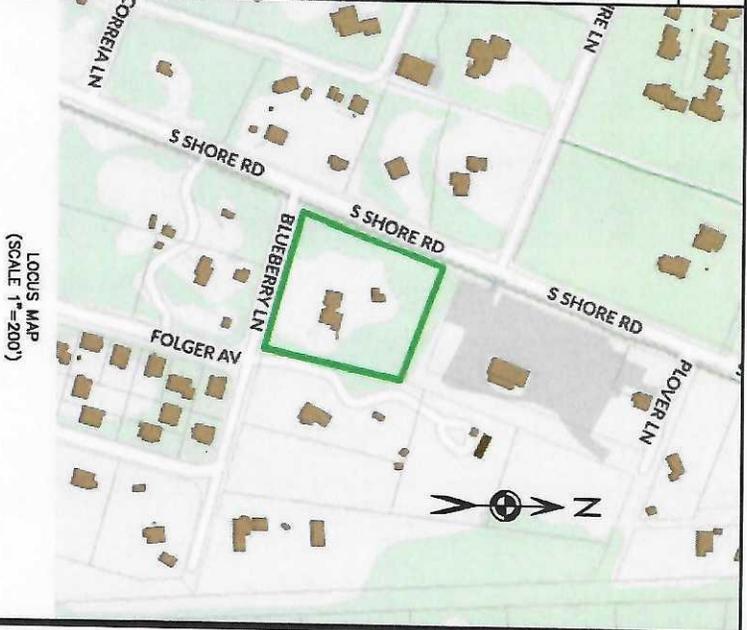
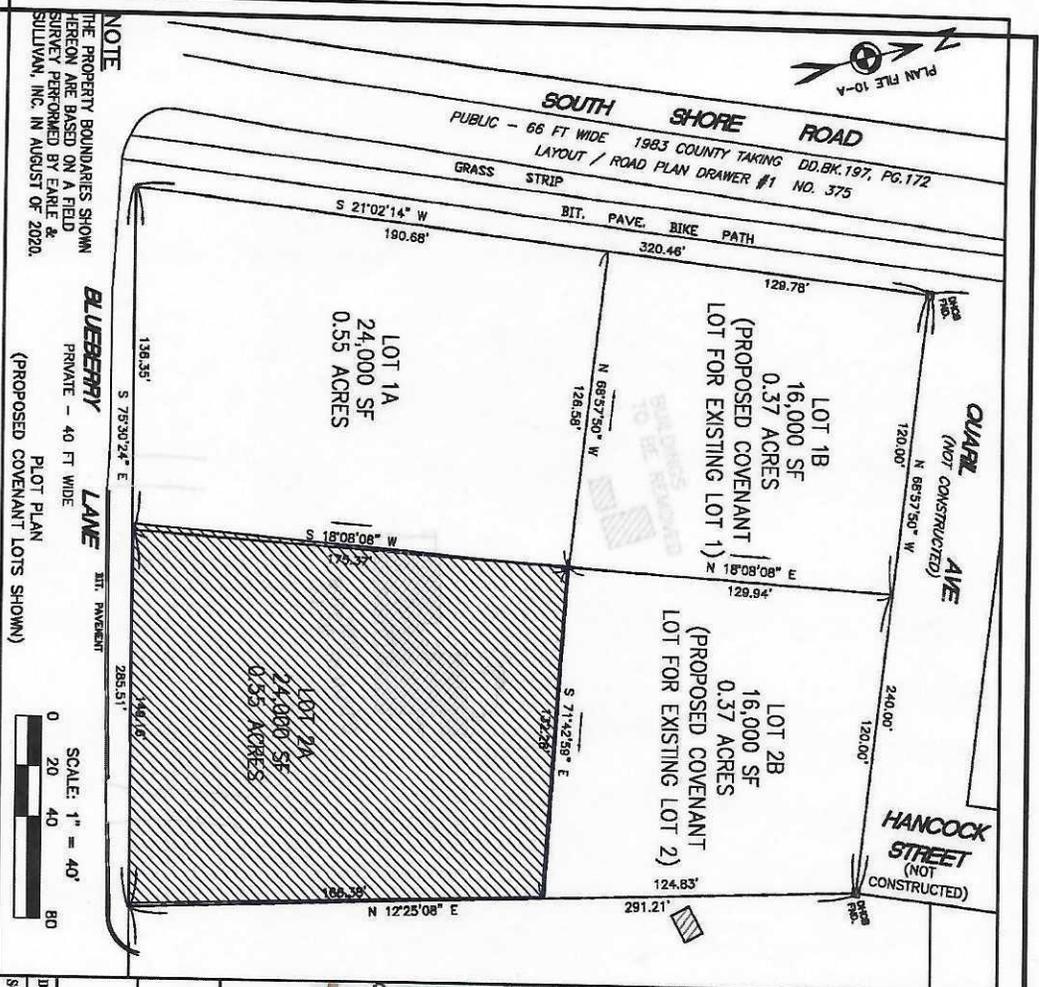
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer ANDERSEN

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways GRAVEL/STONES Walkways _____ Walls _____

* Note: Complete door and window schedules are required.
COLORS
Sidewall CELANO (WTR) Clapboard (if applicable) _____ Roof DUAL PINK IGO
Trim ASPK (WHITE) Sash WHITE Doors HAMPTON BLUE
Deck MADOLINO Foundation GRAY Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
Date 9/19/20 Signature of owner of record _____ Signed under penalties of perjury _____



BY: **REAMLINE MODULAR**
HE
ARCHITECTS
ARCHITECTS SEAL
28 SOUTH SHORE RD
LOT 1B
KRIS MEGNA
NEW DWELLING

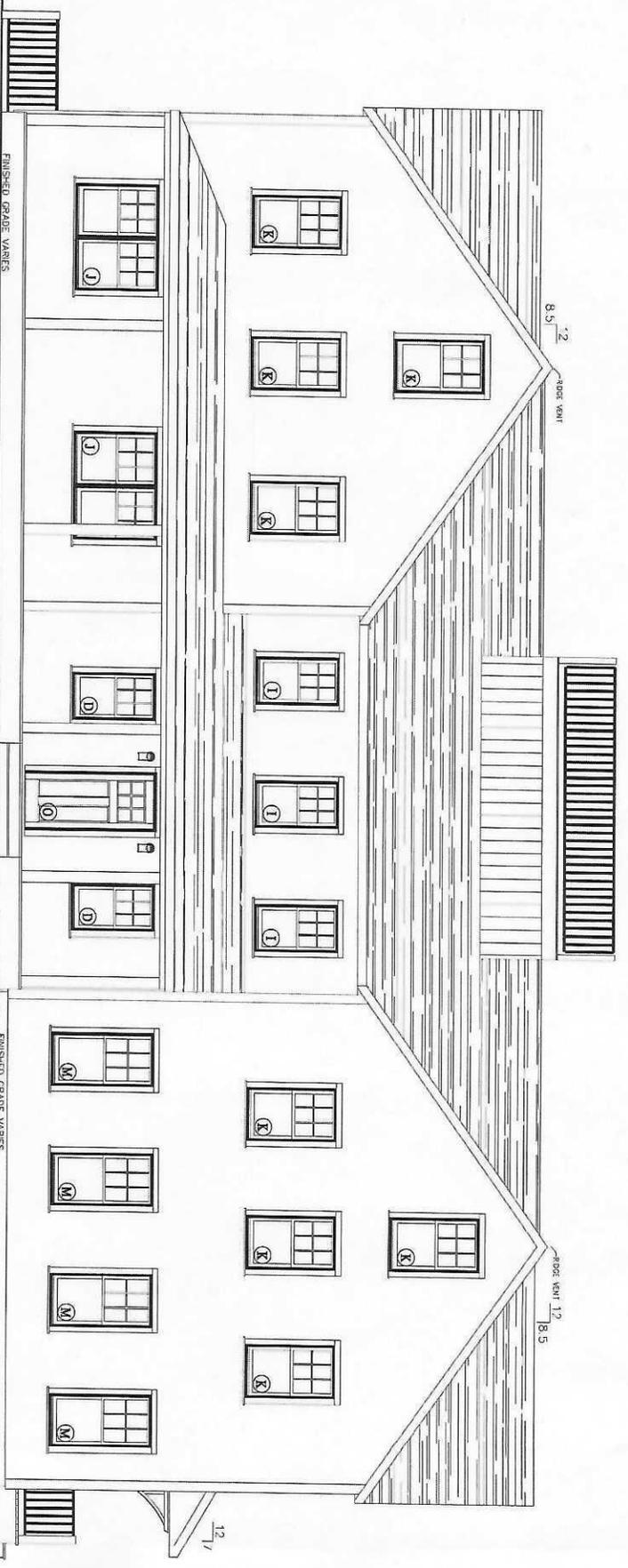
VERS SEAL

ZONE: LIMITED USE GENERAL 1 - LUG 1
MINIMUM LOT AREA: 6000 SQ. FT.
MINIMUM FRONT YARD SETBACK: 30.0 FT.
MINIMUM SIDE YARD SETBACK: 10.0 FT.
MINIMUM REAR YARD SETBACK: 10.0 FT.
MINIMUM OPEN SPACE: 10.0 FT.

HENDERSON CONSULTING SERVICES, LLC
Professional Civil Engineering & Land Planning
210 BRK BLDG, LANDOVER, MA 01926
REG. NO. 1100077
DATE: 11/15/2023

LOT 2A SITE PLAN
28 SOUTH SHORE ROAD, NANTUCKET, MA
REV. DATE:

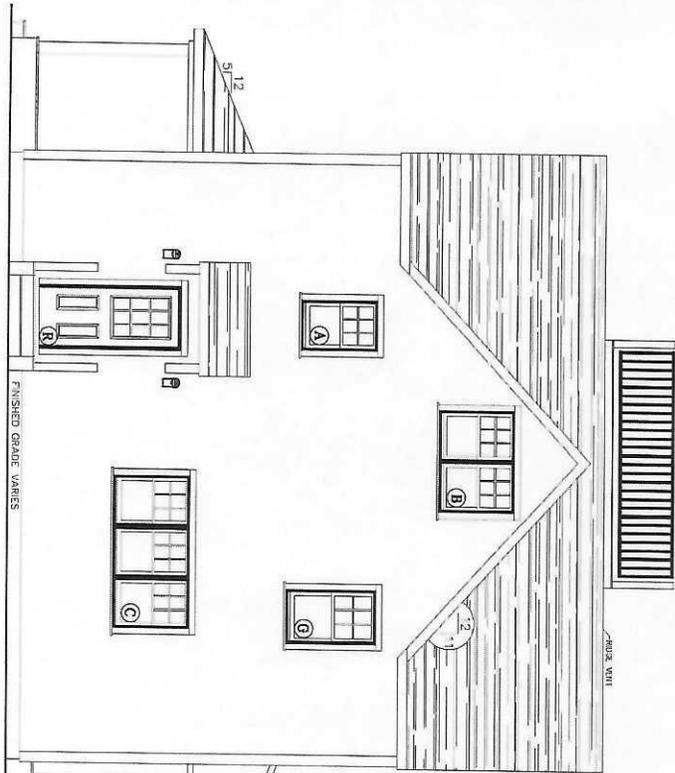
4'-7 1/2" TOP OF SILL TO PEAK
 3'-0" 2ND FLOOR CEILING HEIGHT
 5'-6" 1ST FLOOR CEILING HEIGHT
 2ND FLOOR FLOOR
 1ST FLOOR FLOOR
 TOP OF SILL TO GRADE



FRONT ELEVATION

SOUTH

**MEGNA
 NEW DWELLING
 28 SOUTH SHORE ROAD
 LOT 1B**



RIGHT ELEVATION

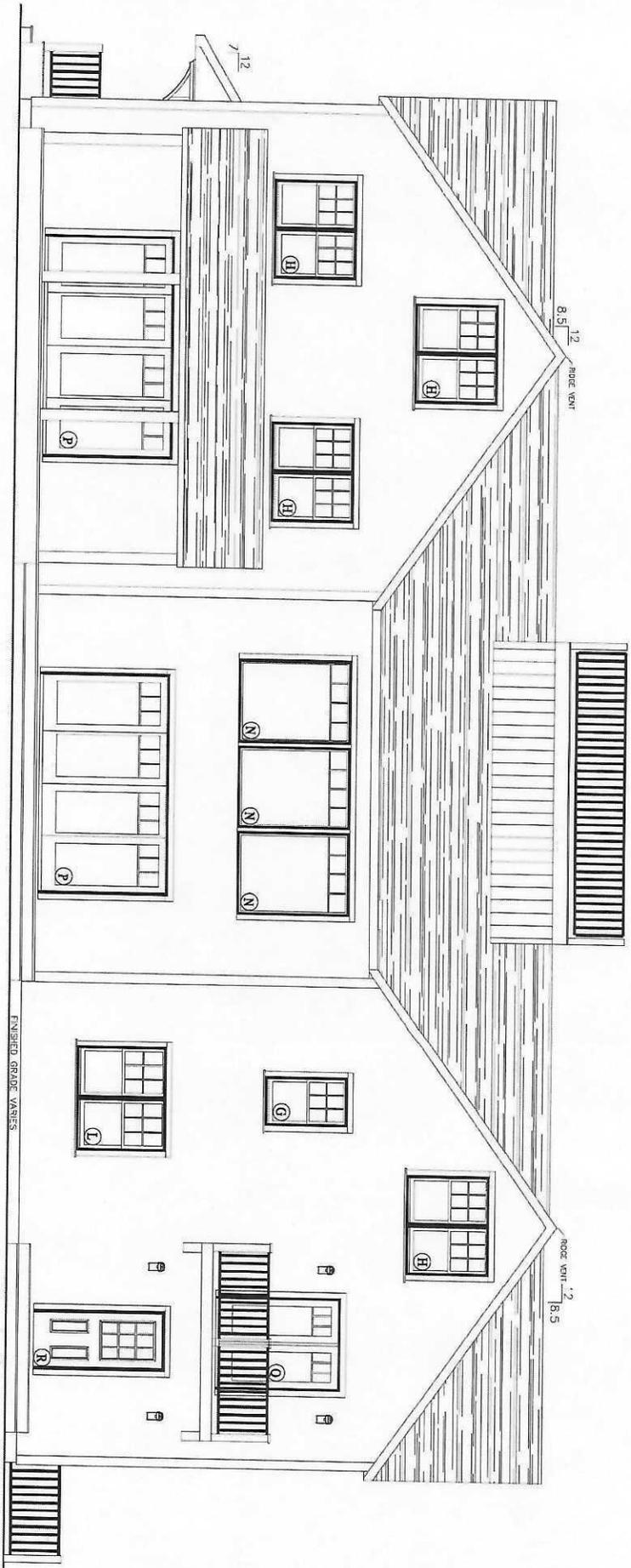
EAST



LEFT ELEVATION

WEST

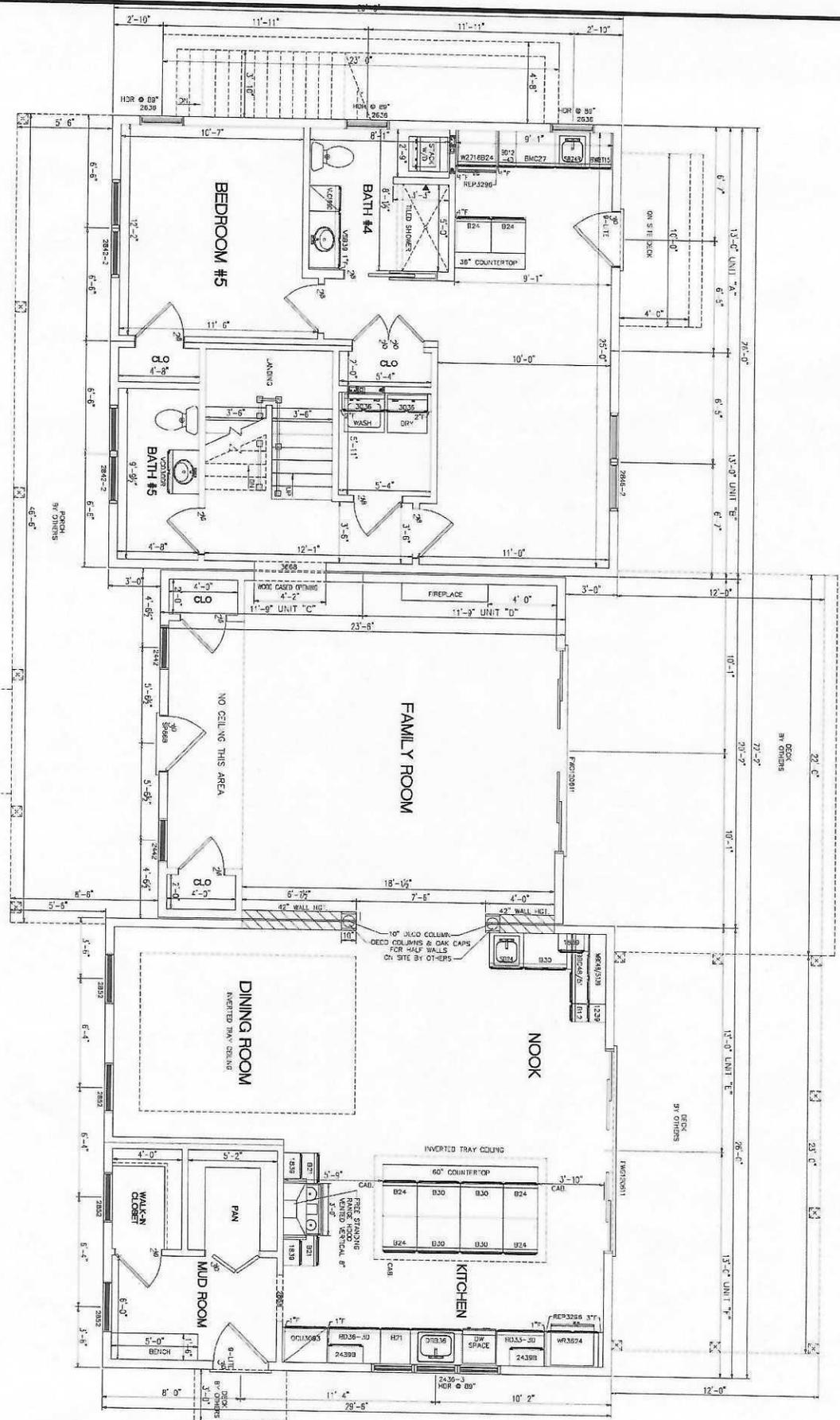
MEGNA
 NEW DWELLING
 28 SOUTH SHORE ROAD
 LOT 1B



REAR ELEVATION

MEGNA
 NEW DWELLING
 28 SOUTH SHORE ROAD
 LOT 1B

FIRST FLOOR PLAN



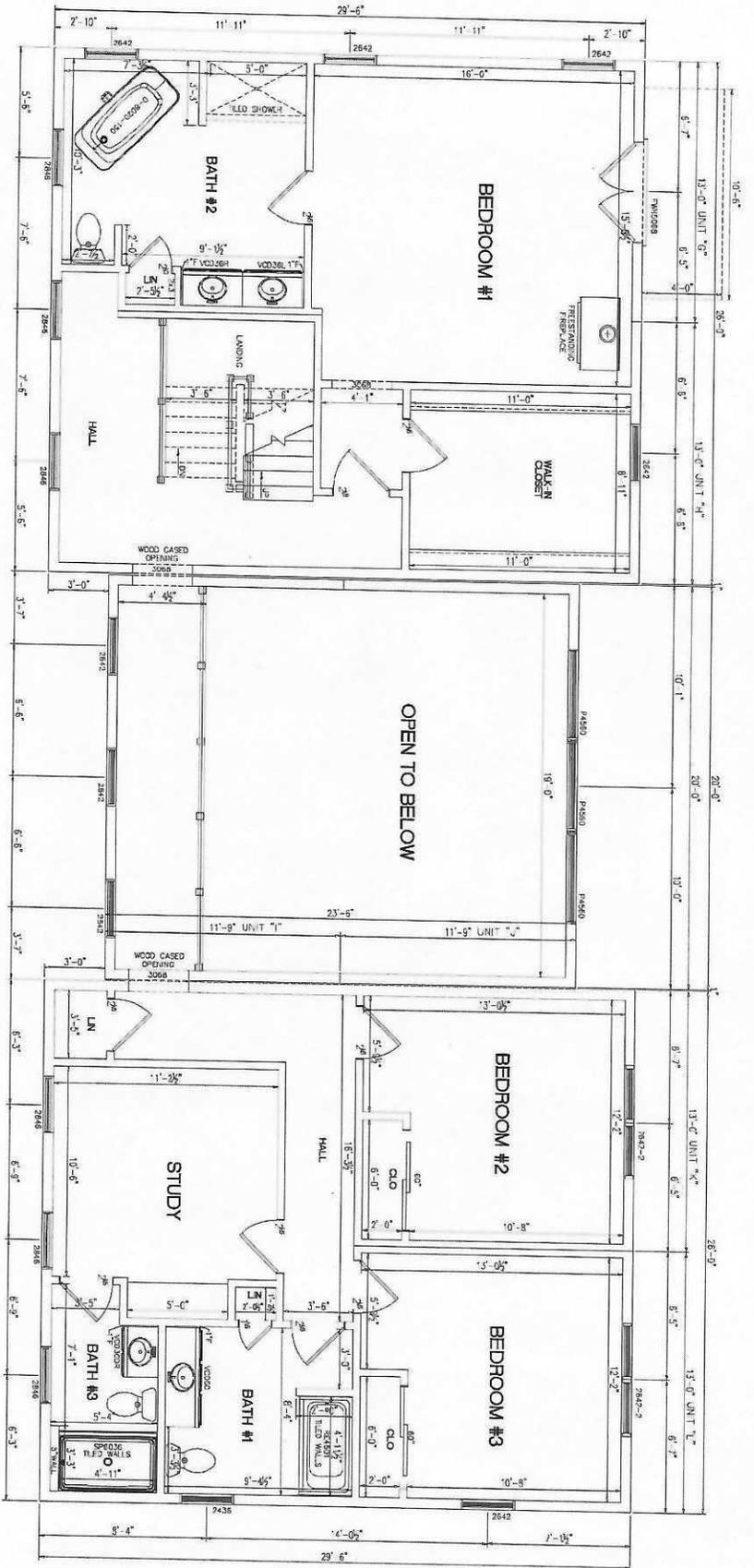
RM
REAMLINE MODULAR
 APPROVED BY
MEGNA
 BMS / ARCHITECT'S SEAL

REVISIONS
 1. 4/27/20
 2. 4/27/20
 3. 4/27/20

42760
TWO STORY
 COVER SHEET

COVER

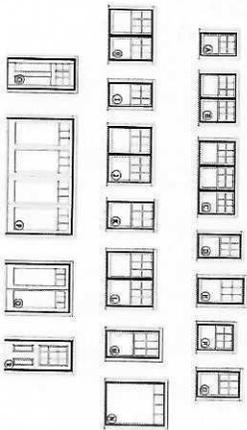
SECOND FLOOR PLAN



CHUB WINDOW / DOOR SCHEDULE

WINDOW: ANTIKICK OF 2" MIN. 2" SILL/VALANCE/SHUTTER/SCREEN DETAIL

NO.	TYPE	FINISH	GLASS	OPERATION	SWITCH	SCREEN	VALANCE	SHUTTER	SCREEN DETAIL
1	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
2	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
3	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
4	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
5	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
6	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
7	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
8	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
9	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
10	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
11	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
12	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
13	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
14	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
15	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
16	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
17	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
18	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
19	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
20	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
21	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
22	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
23	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
24	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
25	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
26	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
27	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
28	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
29	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
30	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
31	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
32	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
33	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
34	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
35	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
36	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
37	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
38	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
39	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
40	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
41	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
42	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
43	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
44	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
45	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
46	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
47	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
48	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
49	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO
50	6'-0" x 4'-0" DOUBLE HUNG	WOOD	CLERESTORY	UP/DOWN	NO	NO	NO	NO	NO



COVER

42760 TWO STORY COVER SHEET

DREAMLINE MODULAR

MICGNA

COVER SHEET

COVER



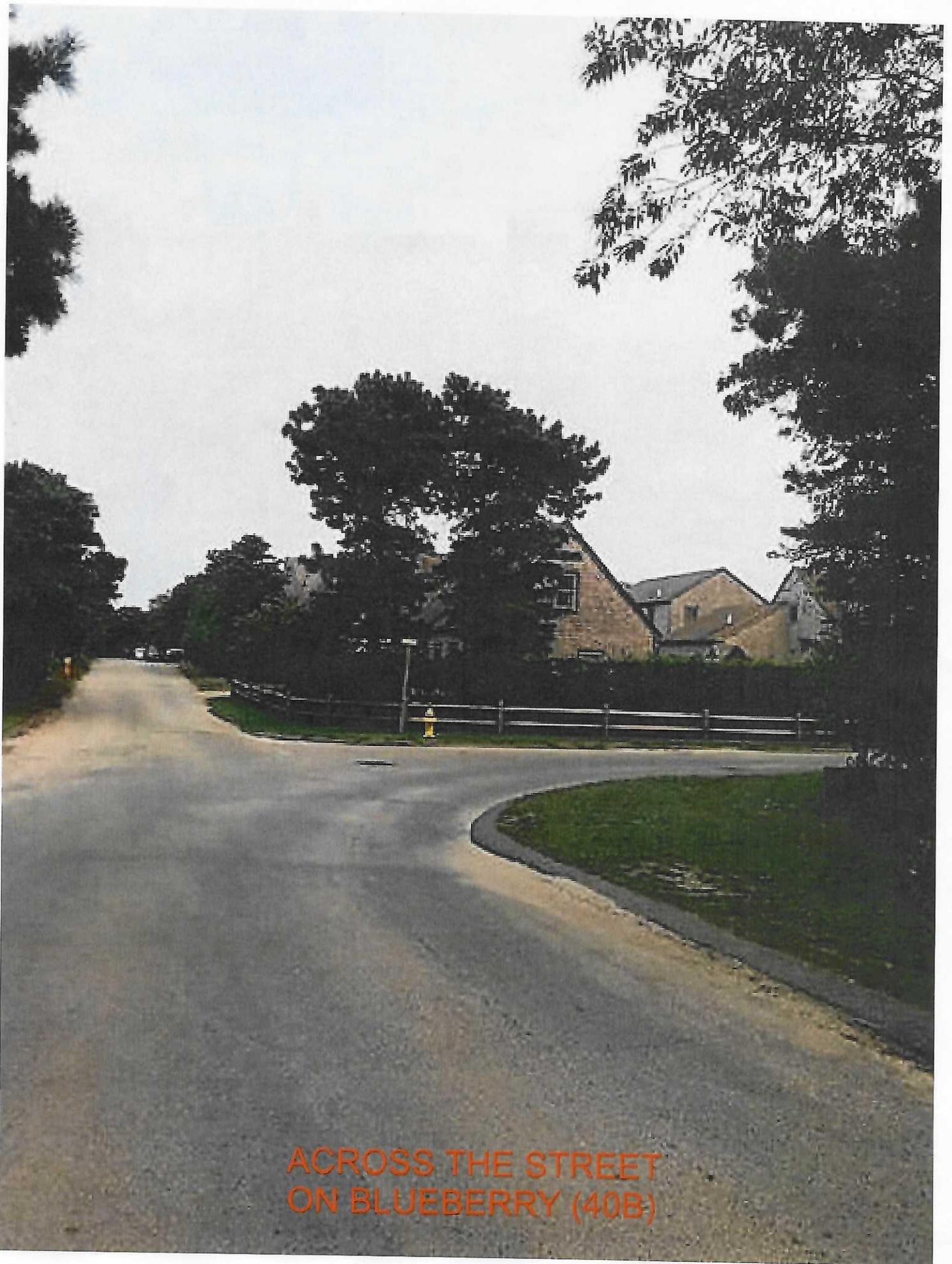
NEIGHBORING PROPERTY
ON SOUTH SHORE



ACROSS THE STREET ON
SOUTH SHORE



ACROSS THE STREET
ON SOUTH SHORE



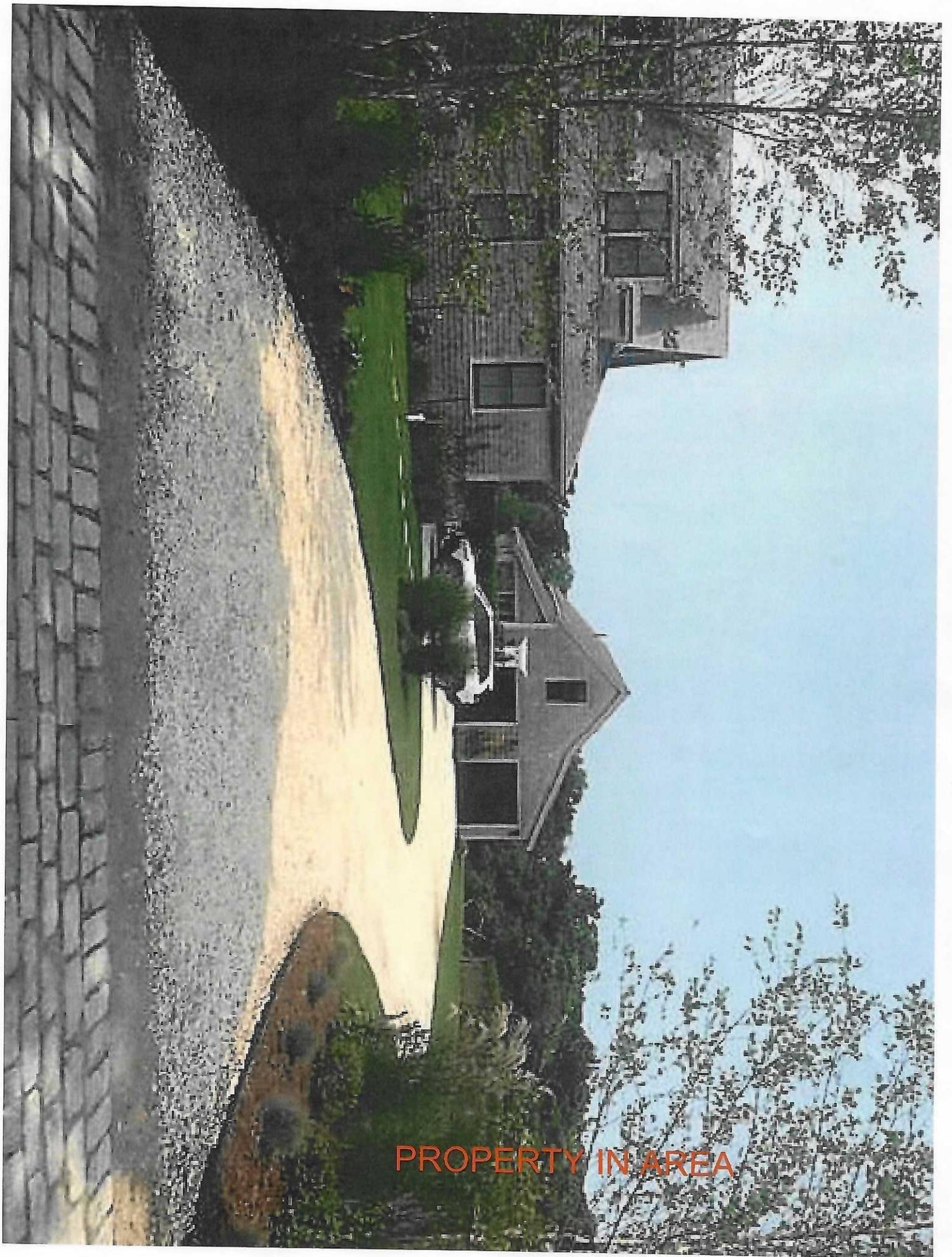
ACROSS THE STREET
ON BLUEBERRY (40B)



STREET VIEW ON
SOUTH SHORE ROAD



PROPERTY IN AREA



PROPERTY IN AREA

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference. The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 80 PARCEL N^o: 178 (LOT 25)
Street & Number of Proposed Work: 28 SOUTH SHORES RD.
Owner of record: MURPHY-ARNEY 90 (WENNA)
Mailing Address: 405 WALTHAM ST.
WINDHOLM, MA.
Contact Phone #: (508) 526-5500 E-mail: _____

AGENT INFORMATION (if applicable)

Name: VAL OLIVIER DESIGN INC.
Mailing Address: PO BOX 3057
NANTUCKET, MA 02547
Contact Phone #: (508) 526-4319 E-mail: olivier@valdesign.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ 32⁰⁰
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
Size of Structure or Addition: Length: 20' Sq. Footage 1st floor: 380 SF Decks/Patio: Size: 5'-0" x 24' 1st floor 2nd floor
Width: 30' Sq. footage 2nd floor: 380 SF Size: 4x8 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North 29'-3" South 29'-3" East 29'-3" West 29'-3"

Additional Remarks

REVISIONS*

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 12" Block Block Parged Brick (type) _____ Poured Concrete Piers _____
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 7/12 Secondary Mass 1/12 Dormer 1/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other ASPEX
B. Treatment Paint Natural to weather Other ASPEX

C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) 10" x 3" Corner boards 1x6 Frieze 1x6
Window Casing 1x4 Door Frame 1x4 Columns/Posts: Round _____ Square 1x7

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer ANDERSON

Doors* (type and material): TDL SDL Front _____ Rear ANDERSON Side _____
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways SHALICE CEMENT Walkways TPO Walls N/A

* Note: Complete door and window schedules are required.

COLORS

Sidewall COLORADO Clapboard (if applicable) N/A Roof Dark Blue IRO
Trim WHITE Sash WHITE Doors NANTUCKET RED
Deck NANTUCKET Foundation Color Fence _____ Shutters _____

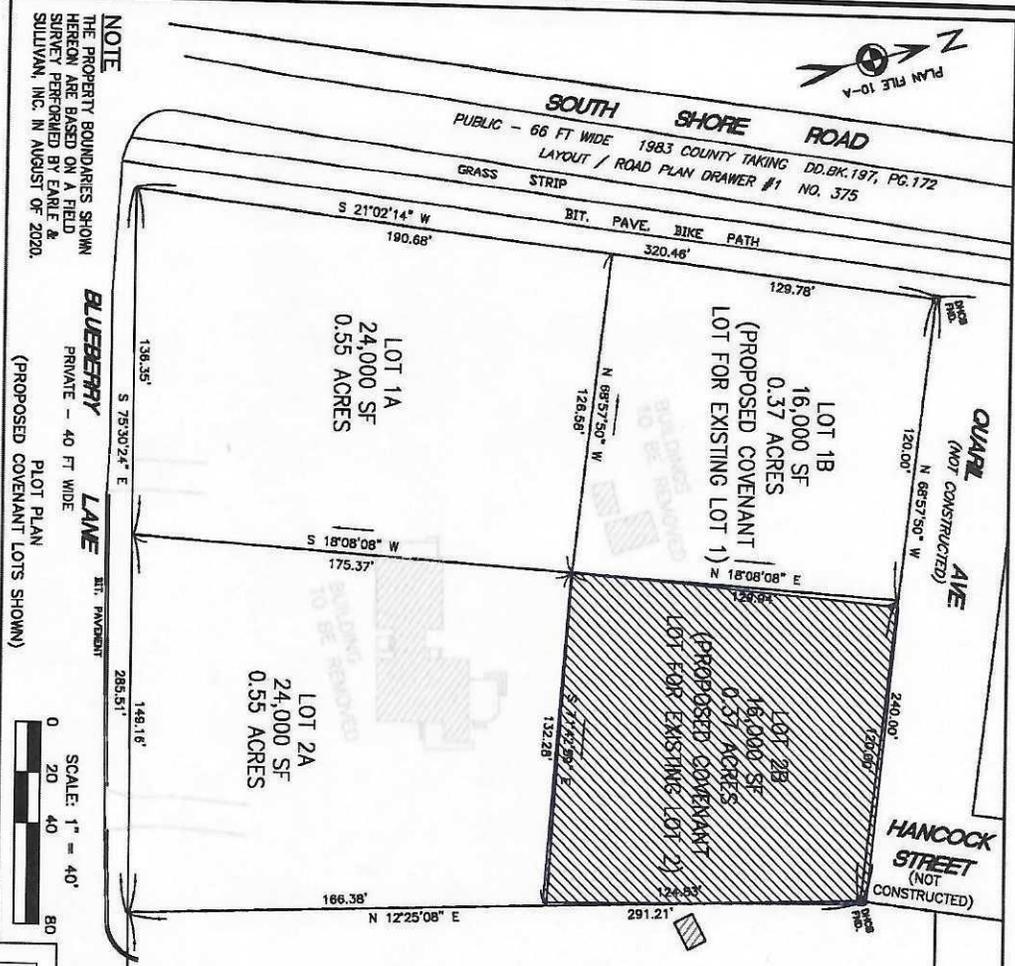
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 9/20/20

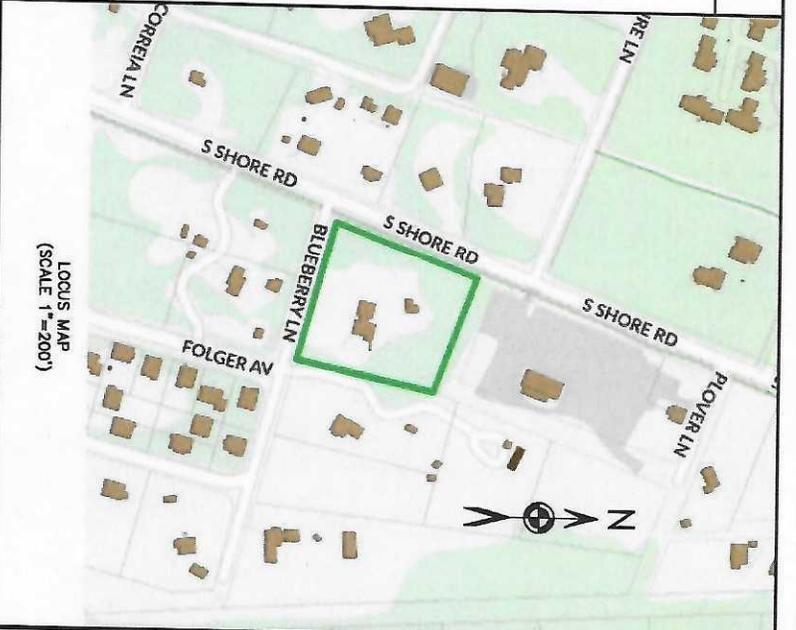
Signature of owner of record _____

Signed under penalties of perjury



NOTE
 THE PROPERTY BOUNDARIES SHOWN
 HEREON ARE BASED ON A FIELD
 SURVEY PERFORMED BY ENAL &
 SULLIVAN, INC. IN AUGUST OF 2020.

BLUEBERRY LANE
 PRIVATE - 40 FT WIDE
 PLOT PLAN
 (PROPOSED COVENANT LOTS SHOWN)



LOCUS MAP
 (SCALE 1"=200')

HENDERSON CONSULTING SERVICES, LLC
 Professional Civil Engineering & Land Planning
 P.O. Box 656, Lexington, MA 02420
 DRAWING TITLE:
LOCUS PLOT PLAN
28 SOUTH SHORE ROAD, NANTUCKET, MA



LOT 2B
COVENANT
LOT

HENDERSON CONSULTING SERVICES, LLC
 28 SOUTH SHORE ROAD, NANTUCKET, MA
 LOT 2B SITE PLAN
 28 SOUTH SHORE ROAD, NANTUCKET, MA
 PROJECT NUMBER: 42805
 DATE: 5-8-20
 SCALE: 1/4"=1'-0"
 FILENAME: 42805
 SHEET:
COVER

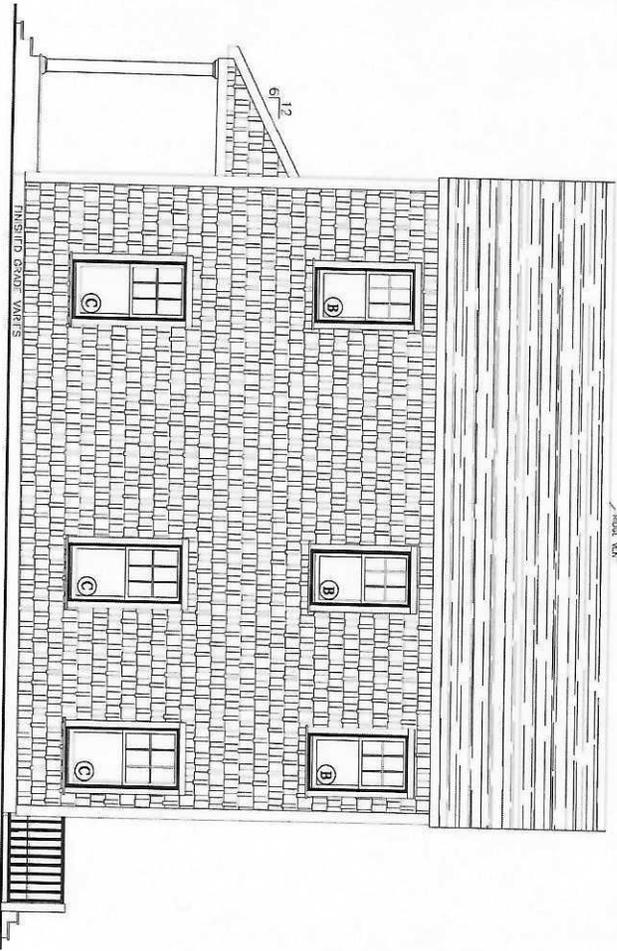
BUILDER:
DREAMLINE MODULAR
 CUSTOMER/PROJECT:
HERRICK ALBERRY
 ENGINEER'S / ARCHITECT'S SEAL
28 SOUTH SHORE RD
LOT 2B

APPROVER'S SEAL

MODIFICATIONS

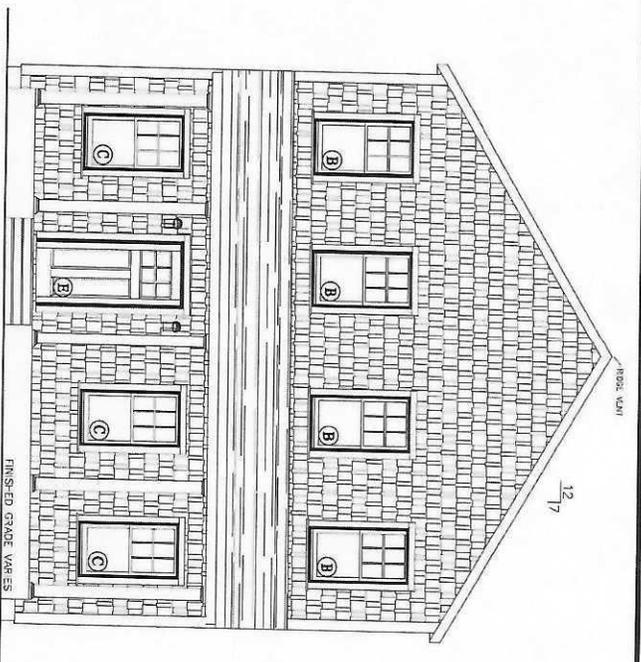
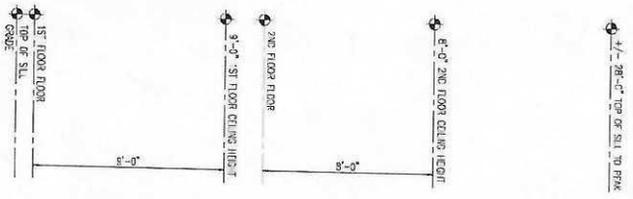
PROJECT:
42805
TWO STORY

TITLE:
COVER



RIGHT ELEVATION

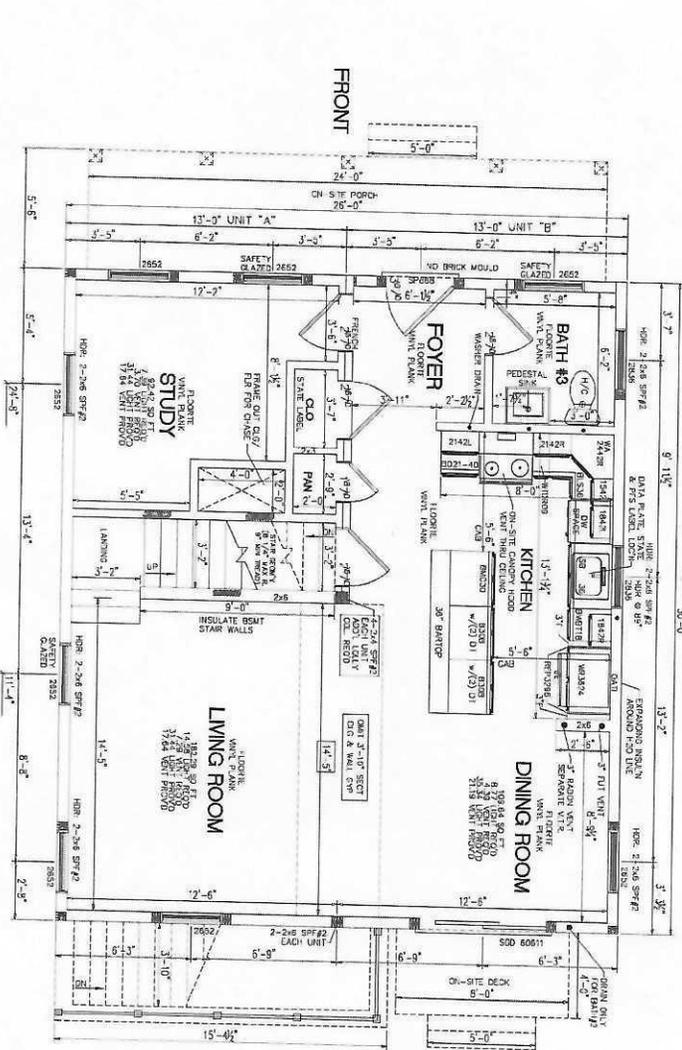
South



FRONT ELEVATION

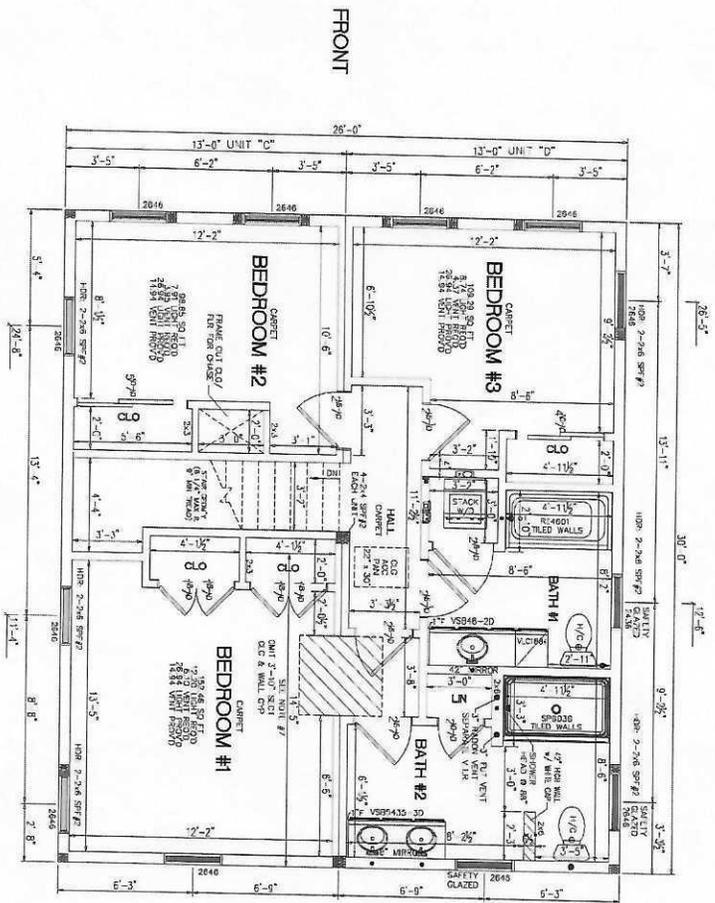
West

<p>APPROVER'S SEAL</p>	
<p>ENGINEER'S / ARCHITECT'S SEAL</p>	
<p>BUILDER: DREAMLINE MODULAR</p>	
<p>CUSTOMER/PROJECT: HERRICK ALBERRY</p>	
<p>MODIFICATIONS</p>	
<p>PROJECT: 42805 TWO STORY</p>	
<p>TITLE:</p>	
<p>DRAWN BY:</p>	
<p>DATE: 9-8-20</p>	
<p>SCALE: 1/4"=1'-0"</p>	
<p>FILENAME: 42805</p>	
<p>SHEET:</p>	
<p>COVER</p>	



- NOTES:
1. EXTERIOR WALLS @ 16" O.C. / 2x4 MARR WALLS @ 16" O.C. (EXCEPT AS NOTED)
 2. 9" O.D. G.P. PILING
 3. 2x10 SFR#2 FLOOR JOISTS @ 18" O.C.
 4. 2x10 SFR#2 FLOOR JOISTS @ 18" O.C.
 5. ANDERSEN 4100 SERIES WINDOWS
 6. BASED ON 140 WLLT MPH WIND LOAD & EXPOSURE "B"
 7. 1/2" MIN. INSULATION (R-19) IN ALL WALLS
 8. CEILING GIRDERS OVER 14" MAX. SPACING SHALL BE 16" O.C.
 9. BUILDER SHALL SUPPLY AND INSTALL WHOLE HOUSE VENTILATION (HVV) SHALL BE INSTALLED AND APPROVED BY THE LOCAL JURISDICTION. THE FACTORY TO SUPPLY AND AN ENERGY STAR RATED MODEL SHALL BE USED.
 10. BUILDER SHALL SUPPLY AND INSTALL A DUCT TIGHTNESS AND BLOWER DOOR TEST. ALL TESTING MUST BE DONE BY A MASS QUALIFIED PROFESSIONAL.

BUILDER: DREAMLINE MODULAR	
CUSTOMER/PROJECT: HERRICK ALBERRY	
ENGINEERS / ARCHITECT'S SEAL:	
APPROVERS SEAL:	
MODIFICATIONS:	
PROJECT: 42805 TWO STORY	
TITLE: FIRST FLOOR PLAN	
DRAWN BY: DATE: 9-8-20 SCALE: 1/4"=1'-0" FILENAME: 42805	SHEET: 1ST FLR



- NOTES:
1. 2x6 EXT WALLS @ 16" O.C./2x4 HALL WALLS @ 16" O.C. (EXCEPT AS NOTED)
 2. 2x10 CLG HT ORR ADJUST @ 16" O.C.
 3. 2x10 CLG HT ORR ADJUST @ 16" O.C.
 4. ROOF SYSTEM TO BE 18" O.C.
 5. ANDERSEN 600 SERIES WINDOWS
 6. ANDERSEN 600 SERIES WINDOWS
 7. CLG BEAM OVER BRG TO BE 1 1/2" X 18" C.C. (PER MODULR)(CALC MAIN 6.7.55)

BUILDER:
DREAMLINE MODULAR

CUSTOMER/PROJECT:
HERRICK ALBERRY

ENGINEERS / ARCHITECT'S SEAL

APPROVERS SEAL

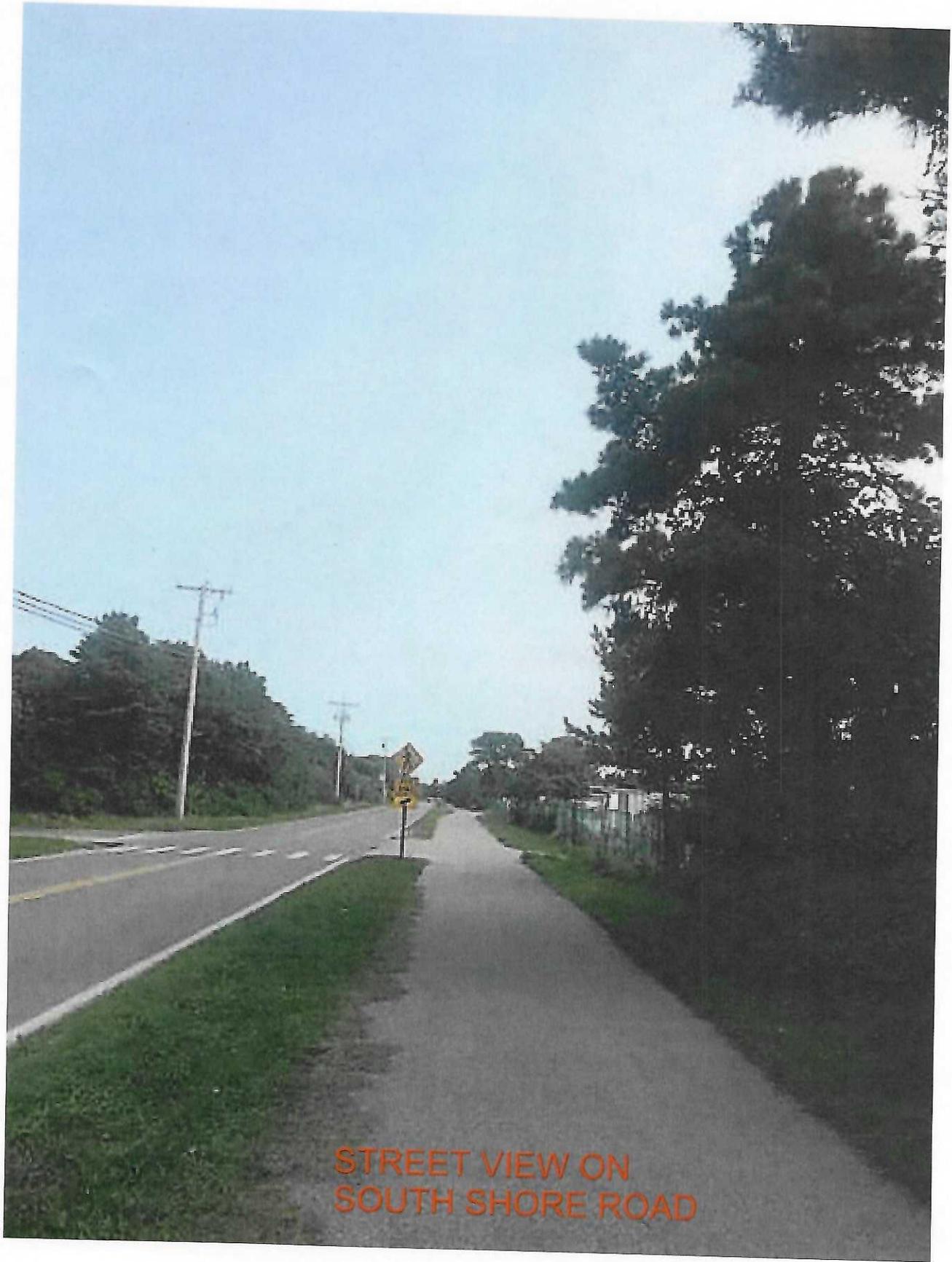
MODIFICATIONS

PROJECT:
42805
TWO STORY

TITLE:
SECOND FLOOR
PLAN

DRAWN BY:
DATE: 3-9-20
SCALE: 1/4"=1'-0"
FILENAME: 42805

SHEET:
2ND FLR



STREET VIEW ON
SOUTH SHORE ROAD



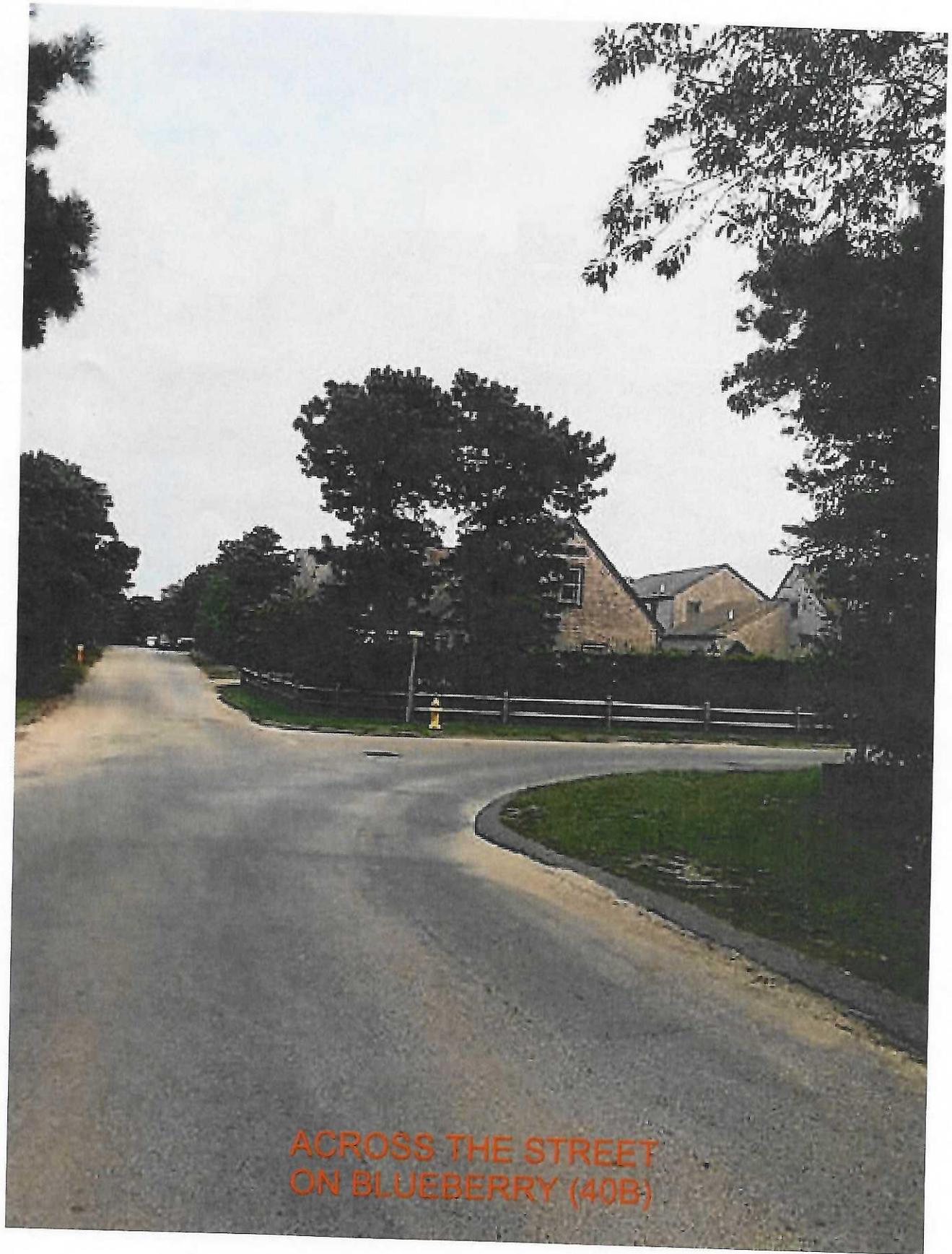
NEIGHBORING PROPERTY
ON SOUTH SHORE



ACROSS THE STREET
ON SOUTH SHORE



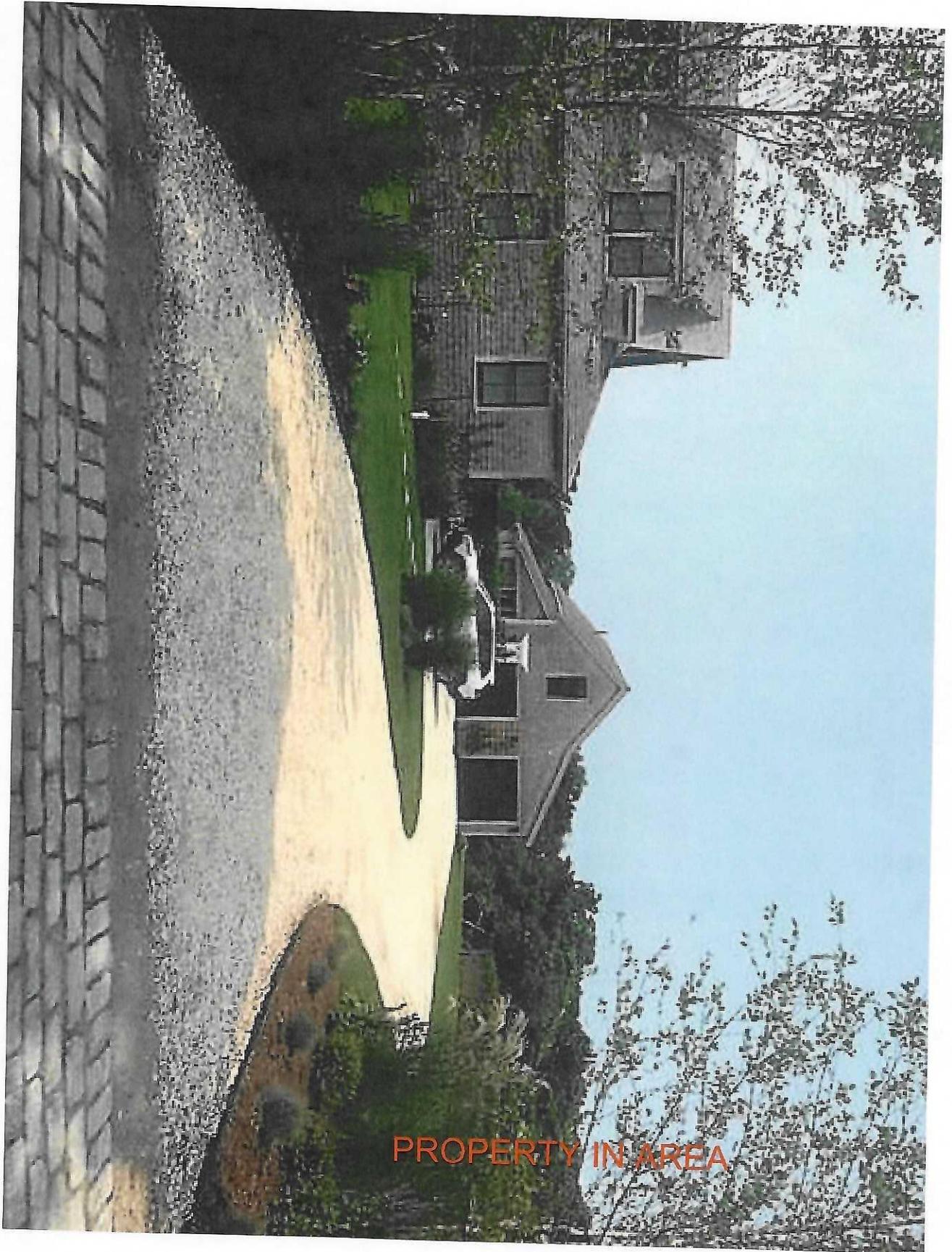
ACROSS THE STREET ON
SOUTH SHORE



ACROSS THE STREET
ON BLUEBERRY (40B)



PROPERTY IN AREA



PROPERTY IN AREA

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 74 PARCEL N°: 55
 Street & Number of Proposed Work: 36 LOW BEACH RD
 Owner of record: PETER O'BRIEN
 Mailing Address: 36 LOW BEACH RD
NANTUCKET MA
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EMERITUS
& WILLIAMS LN
 Mailing Address: NANTUCKET MA
 Contact Phone #: 3254995 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 72855
 Pool (Zoning District _____) Roof Other RELOCATE ON-SITE, OMIT PERGOLA,
 Size of Structure or Addition: Length: 22'11" Sq. Footage 1st floor: 417 Decks/Patio: Size: 115 1st floor 2nd floor
 Width: 21' Sq. footage 2nd floor: 417 Size: 80 1st floor 2nd floor
 Sq. footage 3rd floor: _____
 Difference between existing grade and proposed finish grade: North 6"± South 6"± East 6"± West 6"±
 Height of ridge above final finish grade: North 23'-3" South 23'-3" East 23'-3" West 23'-3"

Additional Remarks

Historic Name: _____
 Original Date: _____ (describe)
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

NO CHANGE

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Leaders (material and size): _____
 Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
 Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
 Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
 Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof NATURAL
 Trim WHITE Sash WHITE Doors WHITE
 Deck NATURAL Foundation NATURAL Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 09.22.20 Signature of owner of record _____ Signed under penalties of perjury



2 Fairgrounds Road, Nantucket, Massachusetts 02554
 Telephone: 508.325.7587, Fax: 508.228.7298
www.nantucket-ma.gov/Pages/NantucketMA_HistDist/index
CHECKLIST FOR HDC APPLICATIONS

REQUIRED WITH ALL APPLICATIONS:

- | | | |
|--------------------|----|--|
| <u> X </u> | 1. | Completed Application Form: Description of ALL work must be indicated on application form. |
| <u> X </u> | 2. | Property Owner's Signature: Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided. |
| <u> X </u> | 3. | Application Fee: See back of application for fee schedule or call the office. |
| <u> X </u> | 4. | Locus Map (4 copies): Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) http://www.mapgeo.com/NantucketMA/ . |
| <u> X </u> | 5. | Site Plan (4 Copies): must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and placement of HVAC units, electrical boxes, fuel tanks, etc. |
| <u> X </u> | 6. | 8-1/2" x 11" Copies of ALL Application Materials: Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12) , collated and stapled. |
| <u> n/a </u> | 7. | Photographs: Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address. |
| <u> X </u> | 8. | Electronic submission: All documents submitted to the HDC office must also be converted to Adobe Acrobat format http://www.adobe.com/pdf/ ; this is free software that may have come pre-loaded on your computer. Electronic copies can also be created using the scanner located in the Department of Inspectional Services. |

REQUIRED WHERE APPLICABLE:

- | | | |
|---|----|---|
| <u> N/A </u> | 1. | Supplemental Information for Historic Buildings: It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application. |
| <u> X </u> | 2. | Exterior Elevations and Floor Plans (4 copies): Must be 1/4-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. All changes from approved or existing design must be clouded on drawings. All material MUST BE LEGIBLE , collated and stapled. Reduced sets should maintain a font size of 12. |
| <u> n/a </u> | 3. | As-Built Plans (1 copy): of existing elevations |
| <u> X </u> | 4. | Hardscaping Plans (4 copies): To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE , collated and stapled. |
| <u> X </u> | 5. | Topographic Map: Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan). |
| <u> X </u> | 6. | Door and Window Schedule (4 copies): Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number. |
| <u> X </u> | 7. | I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., <u>NOT</u> DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS. |
| <u> X </u>
(initial to indicate read and understand) | 8. | Abutter Notification Materials – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet. |
| <u> n/a </u> | 9. | Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc. |



HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road
Nantucket, Massachusetts 02554

Telephone: 508.325.7587
Email: hdcsubmissions@nantucket-ma.gov

COMMISSIONERS

Ray Pohl
Chairman

Diane Coombs
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

STAFF

Cathy Flynn
Land Use Specialist
cflynn@nantucket-ma.gov

Waiver of the HDC 10 Day Hearing Requirement

I Emeritus / Alex Bagmets/

AS AGENT FOR Peter O'Brien

STREET ADDRESS 36 Low Beach Rd

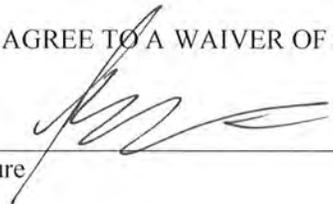
MAP/PARCEL 74 / 55

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON
09.22.20

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

SECTION 8 of the HDC enabling legislation: ... The Commission shall meet within ten (10) days of the receipt of an application for a certificate of appropriateness or permit for removal...

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

 09.22.20
Signature Date

O'Brien Guest House

36 Low Beach Rd
Nantucket, MA 02554

09.22.20



Locus Map



SOUTH



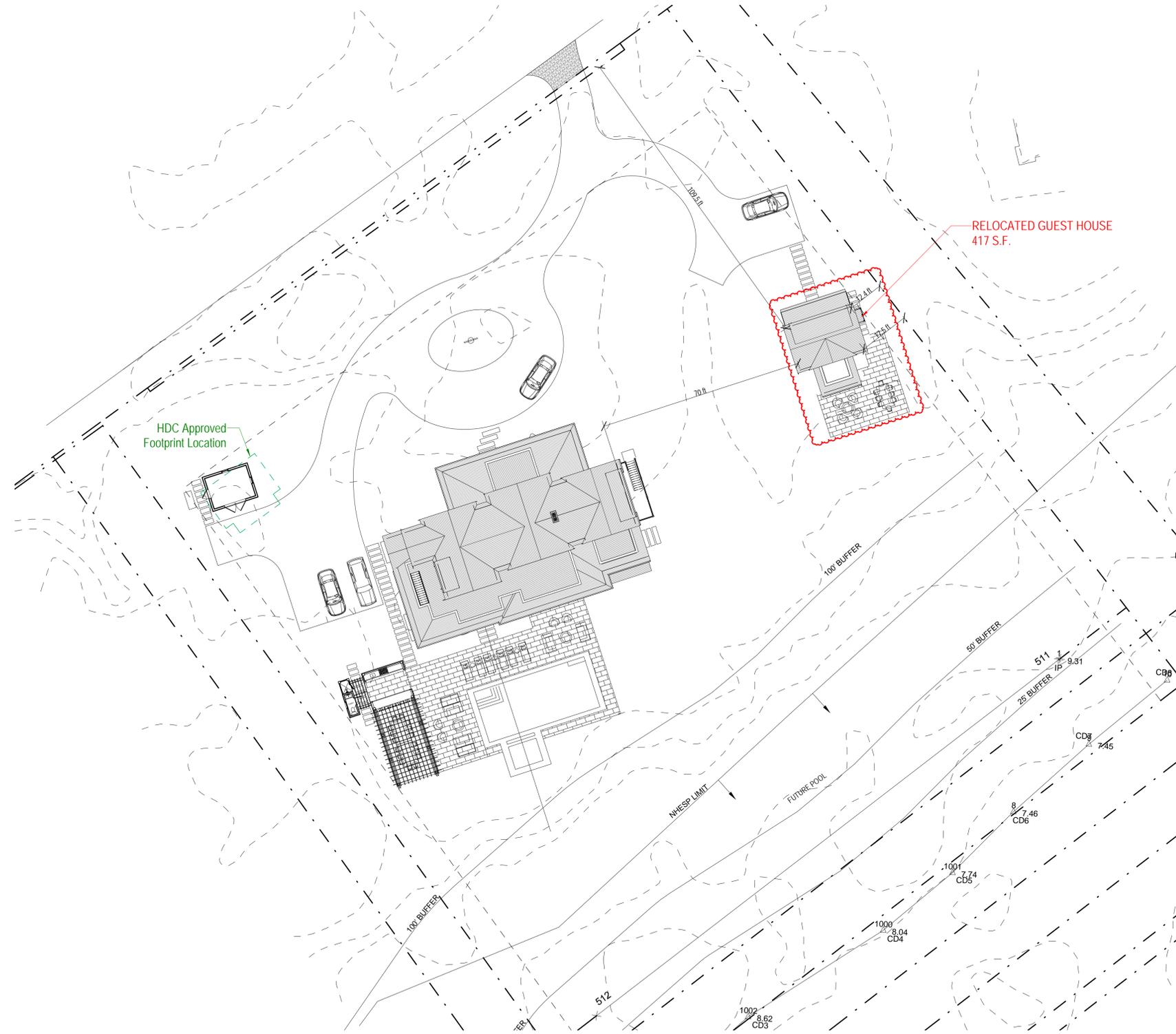
WEST



EAST

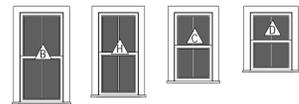


NORTH



HDC Approved
Footprint Location

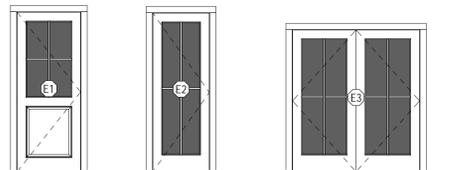
RELOCATED GUEST HOUSE
417 S.F.



Double Hung 2/2 SDL Double Hung 2/2 SDL Double Hung 2/2 SDL Double Hung 2/2 SDL

Window Legend

1/4" = 1'-0"



1 Panel Door w/ 4 Lite SDL French Door 4 Lite SDL Double French Door 4 Lite SDL

Door Legend

1/4" = 1'-0"

HDC SUBMISSION

Site Plan
1" = 20'-0"

1912 O'Brien Guest House

36 Low Beach Rd
Nantucket, MA 02554



COVER SHEET

Site Information

Map & Parcel:	74 / 55
Current Zoning:	LUG 3
Minimum Frontage:	200'
Front Setback:	35'
Side/Rear Setback:	10'
Lot Size:	58,507 sf
Min. Lot Size:	120,000 sf
Allowable G.C.:	2,147 sf
Existing G.C.:	N/A
Proposed G.C.:	417 sf
Total Proposed G.C.:	2,115

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.101 COVER SHEET
- A.101 FLOOR PLANS
- A.201 EXTERIOR ELEVATIONS

Revisions

Revision 1 Date 1

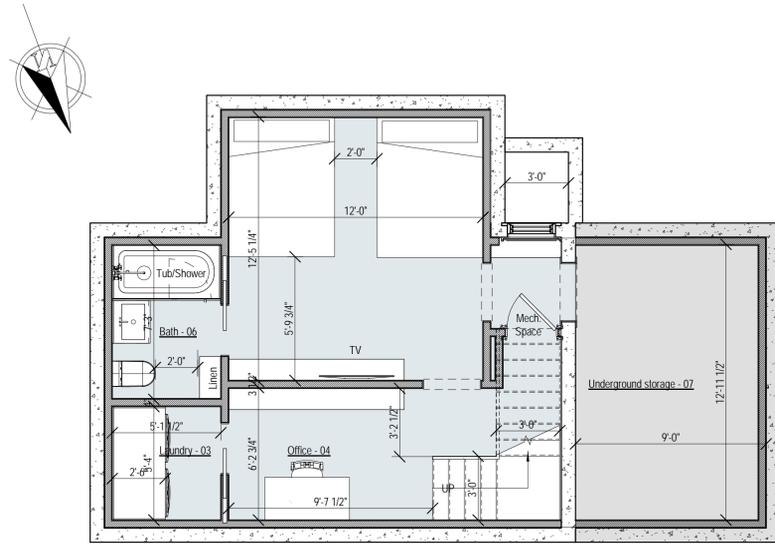
THESE DRAWINGS AND ANY CONDITIONS OF CONTRACT ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LLC. NO PART OF THESE DRAWINGS OR ANY PARTS THEREOF SHALL BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF EMERITUS DEVELOPMENT LLC. THESE DRAWINGS HAVE BEEN WIDENED DOWN AND PARAS HAVE BEEN ADDED TO THE DRAWINGS PERMIT TO FURTHER CONTRACT. ALL RIGHTS RESERVED. (2020)

G.101 1912

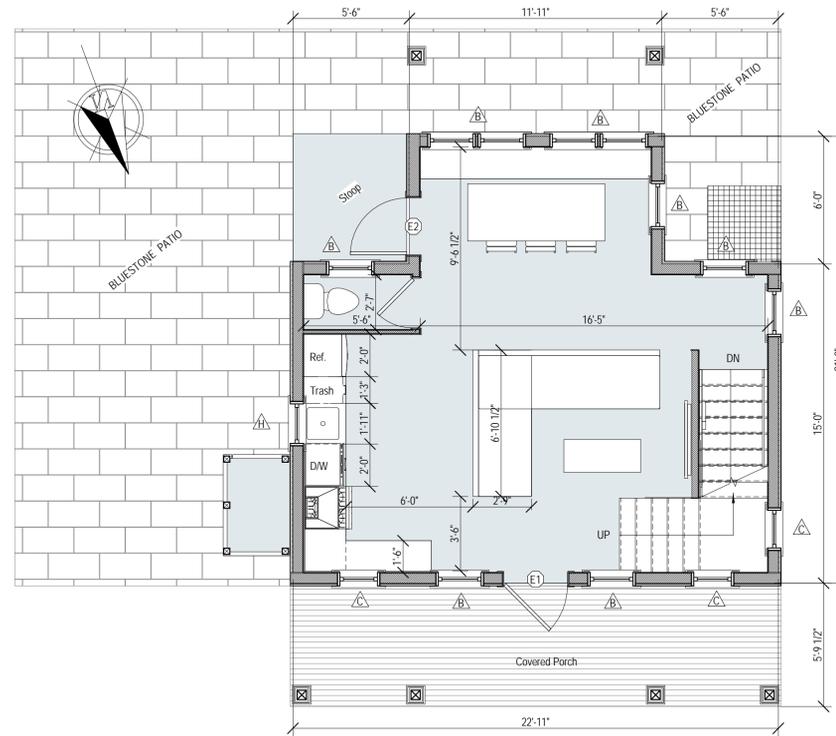


09.22.20

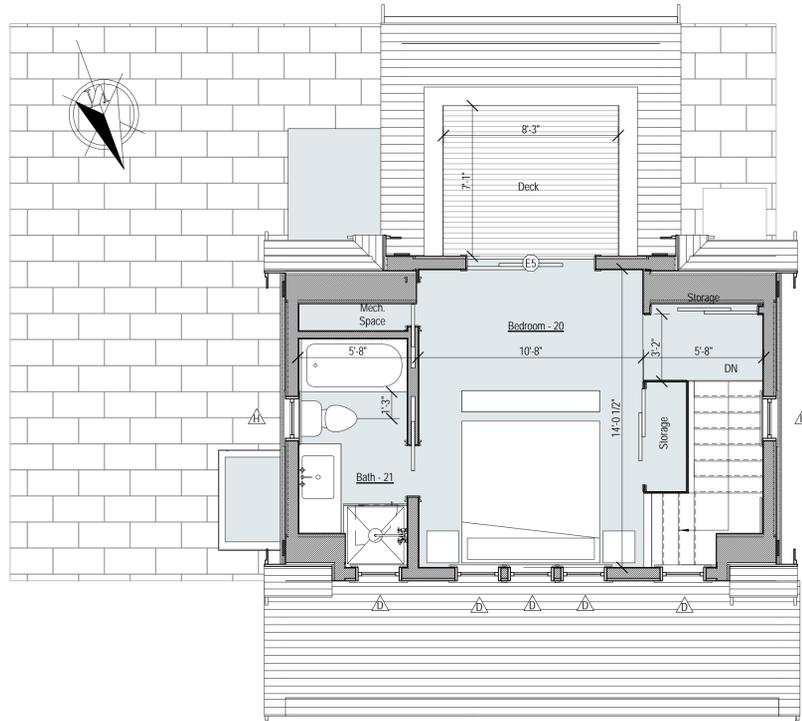
HDC SUBMISSION



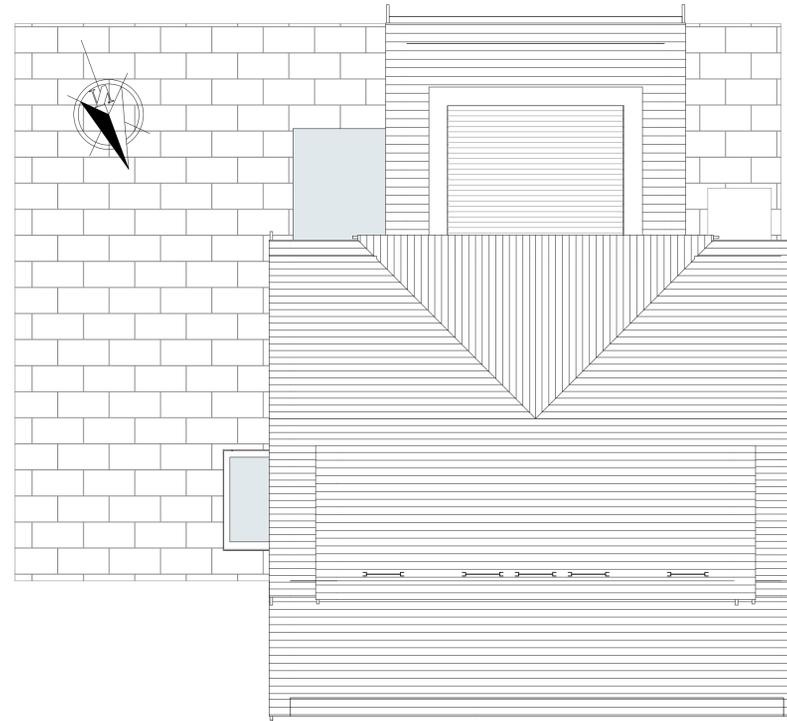
1 Basement Plan
1/4" = 1'-0"



2 First Floor Plan
1/4" = 1'-0"



3 Second Floor Plan
1/4" = 1'-0"



4 Roof Plan
1/4" = 1'-0"

1912

O'Brien Guest House

36 Low Beach Rd
Nantucket, MA 02554



FLOOR PLANS

Site Information

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Total Proposed G.C.:	2,115

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

Revisions

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A.101
1912

09.22.20

HDC SUBMISSION

1912

O'Brien Guest House

36 Low Beach Rd
Nantucket, MA 02554



EXTERIOR ELEVATIONS

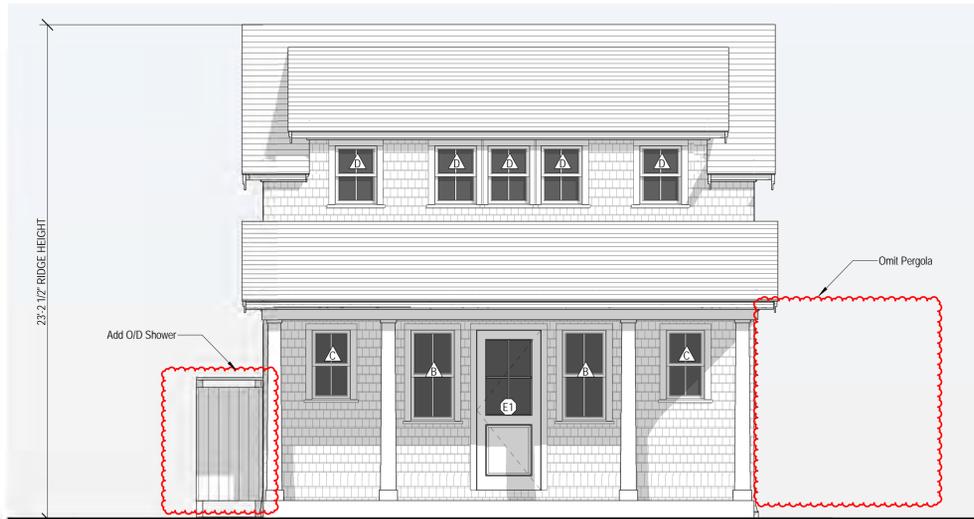
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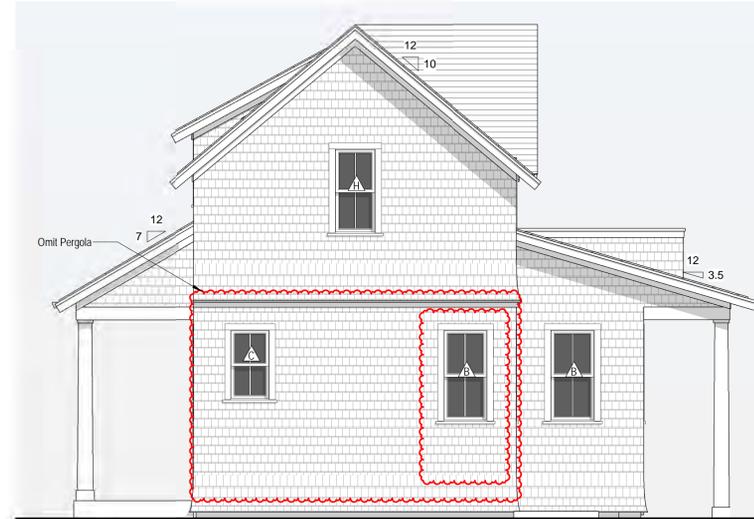
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SHEET INDEX

G.101	COVER SHEET
A.101	FLOOR PLANS
A.201	EXTERIOR ELEVATIONS



4 North Elevation
1/4" = 1'-0"



5 West Elevation
1/4" = 1'-0"



HDC Approved North Elevation
1/8" = 1'-0"



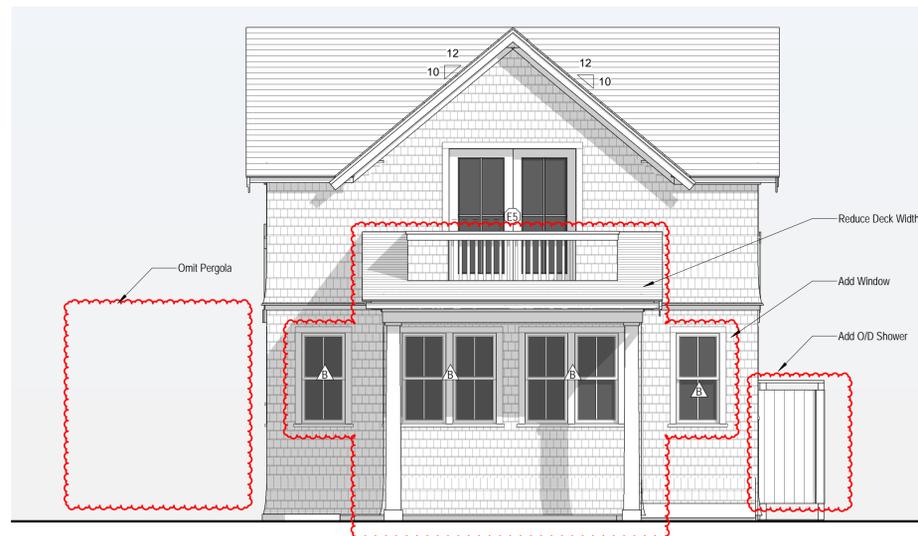
HDC Approved South Elevation
1/8" = 1'-0"



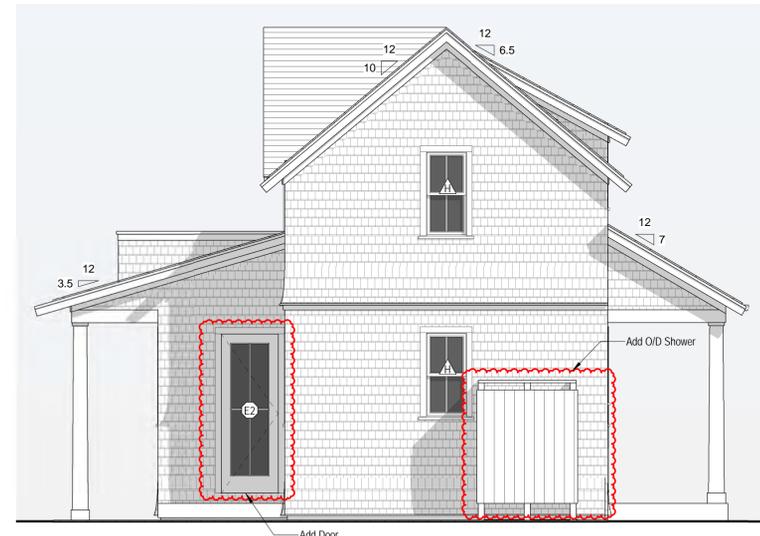
Previously Proposed East Elevation
1/8" = 1'-0"



Previously Proposed West Elevation
1/8" = 1'-0"



6 South Elevation
1/4" = 1'-0"



7 East Elevation
1/4" = 1'-0"

Revisions

Revision 1	Date 1
------------	--------

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A.201
1912

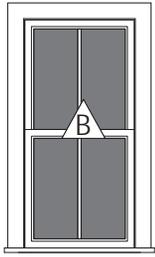
O'Brien Guest House

36 Low Beach Rd

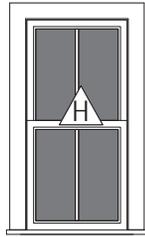
Nantucket, MA 02554



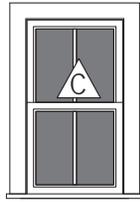
Locus Map



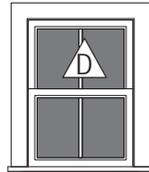
Double Hung
2/2 SDL



Double Hung
2/2 SDL



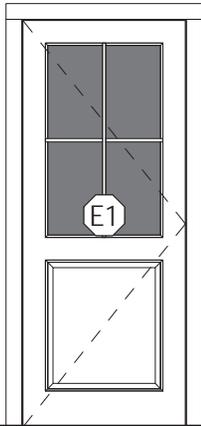
Double Hung
2/2 SDL



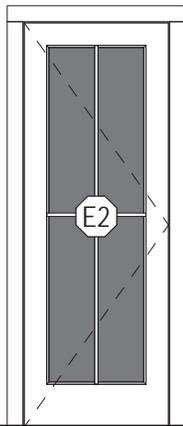
Double Hung
2/2 SDL

Window Legend

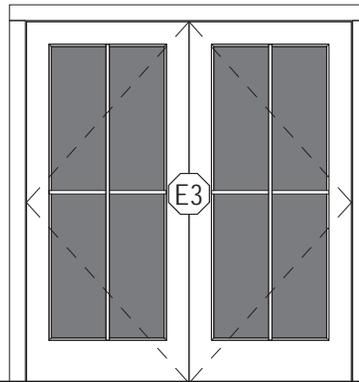
1/4" = 1'-0"



1 Panel Door w/ 4 Lite
SDL



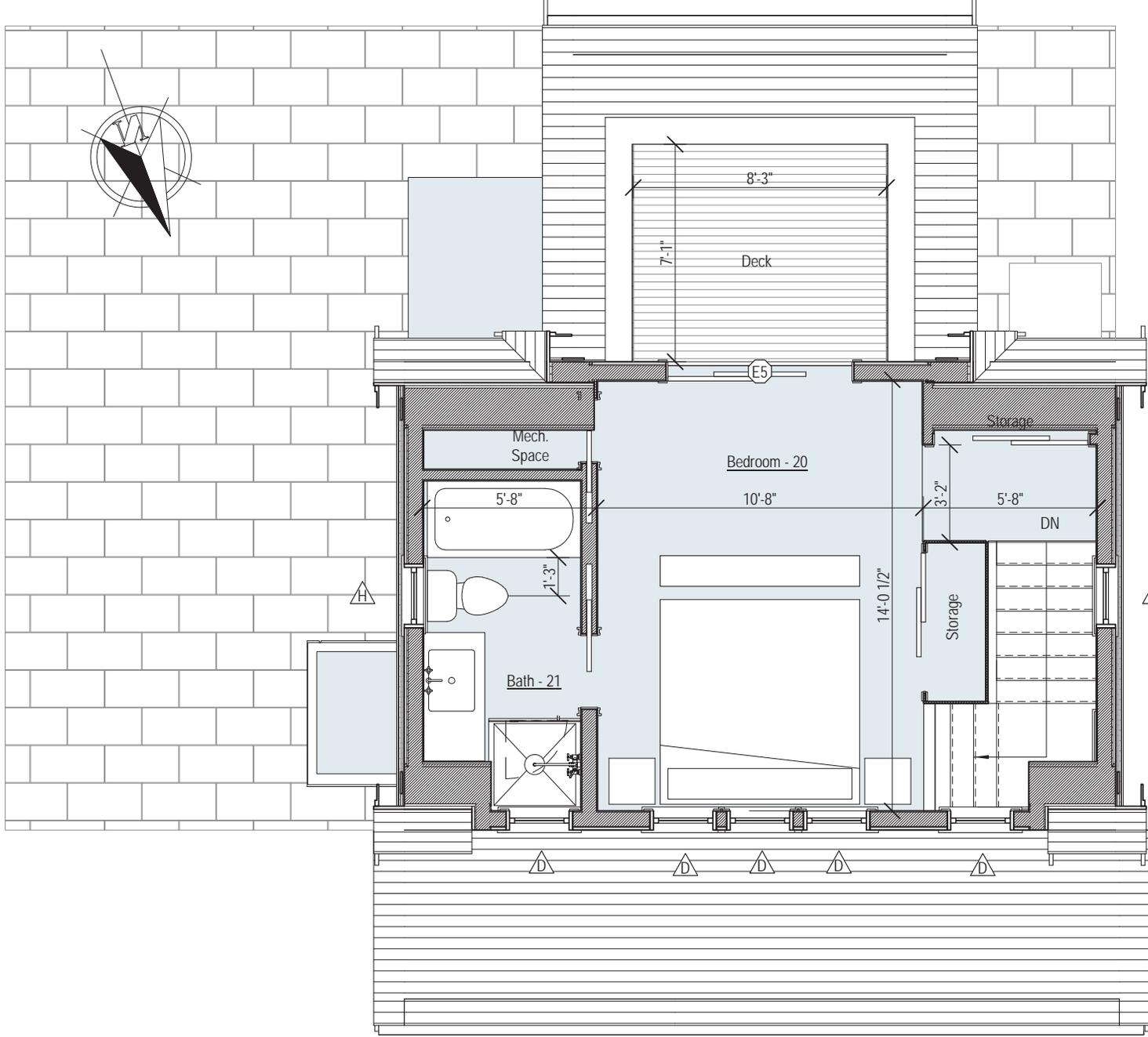
French Door
4 Lite SDL



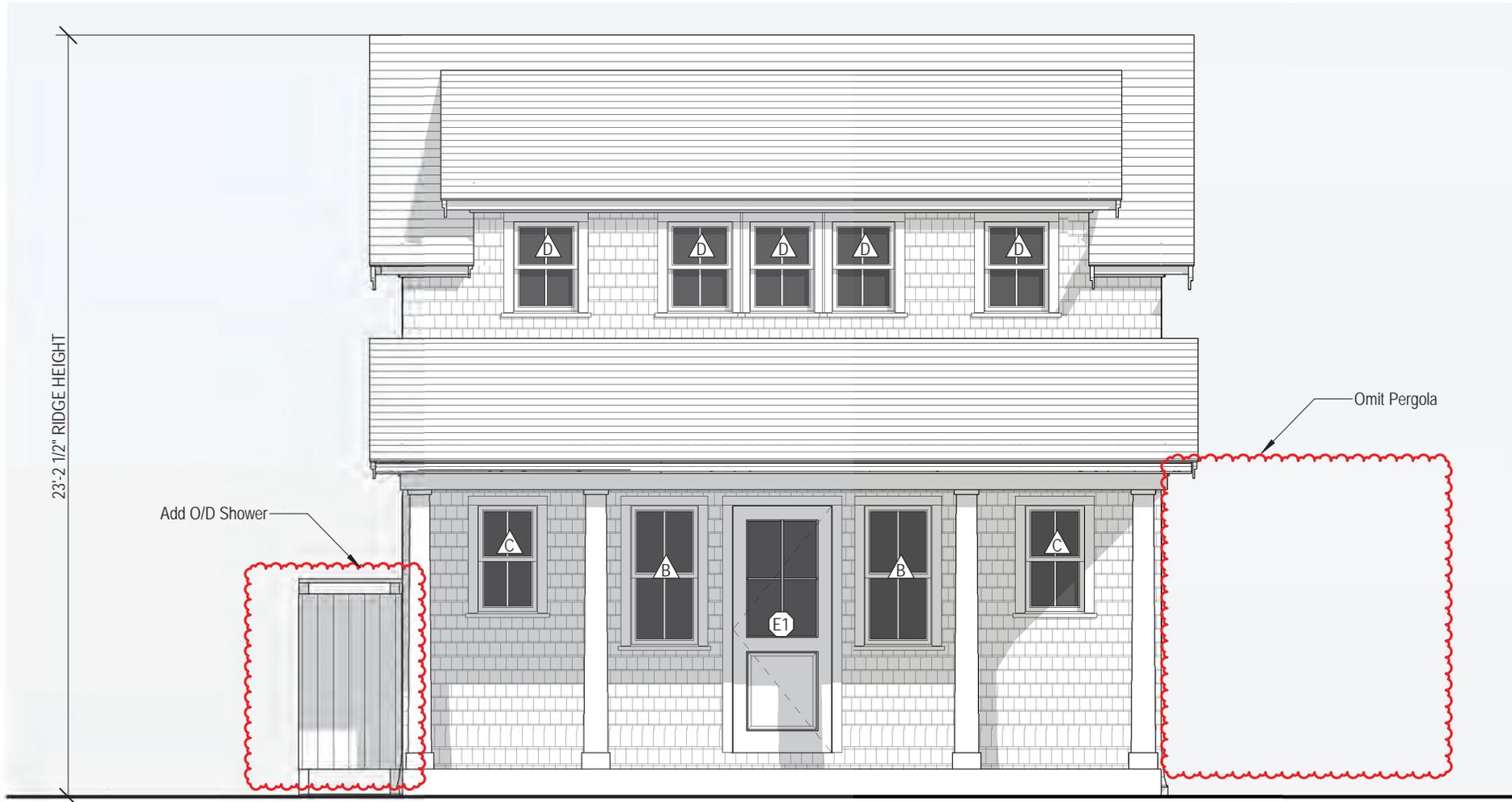
Double French Door
4 Lite SDL

Door Legend

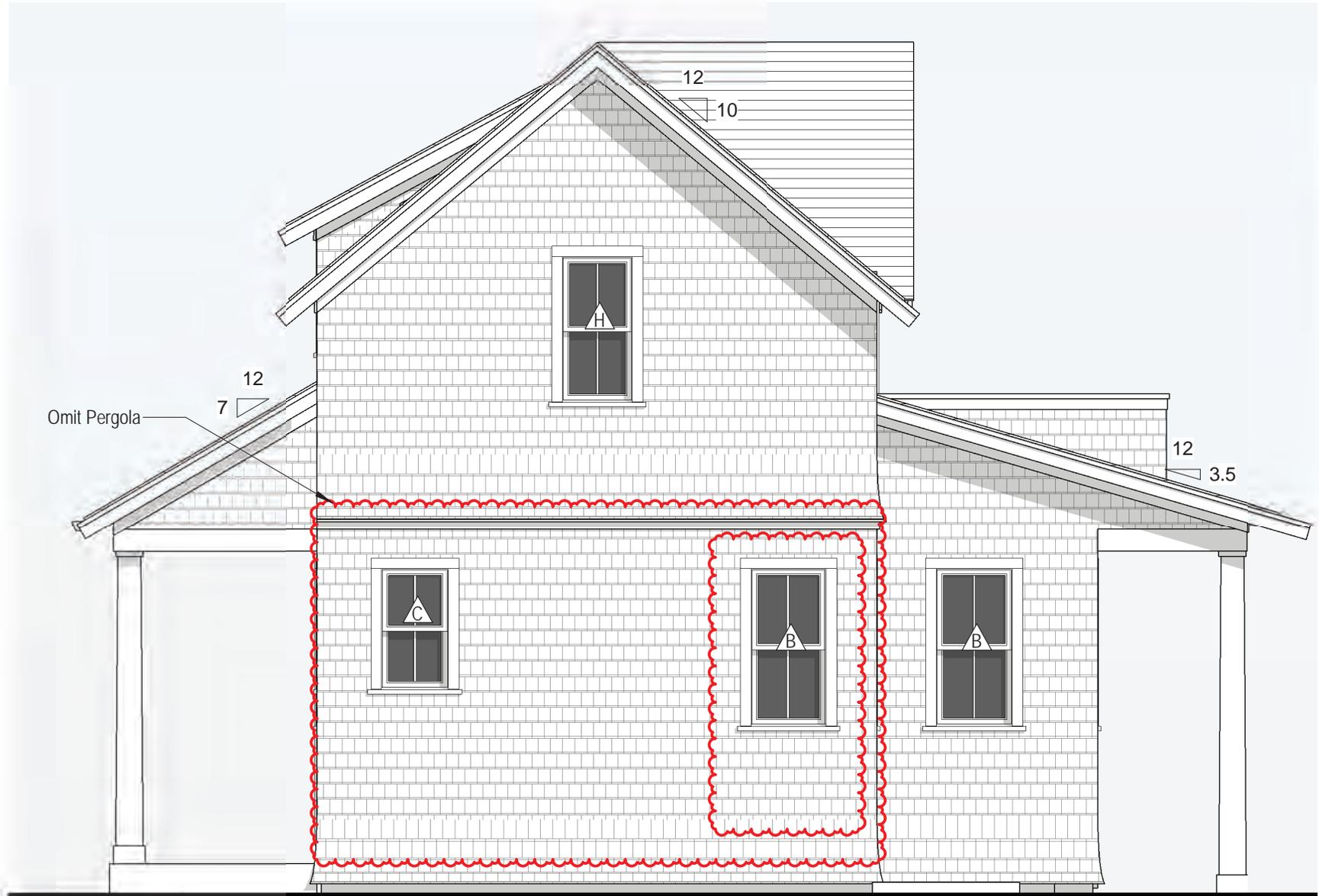
1/4" = 1'-0"



3 Second Floor Plan
 1/4" = 1'-0"

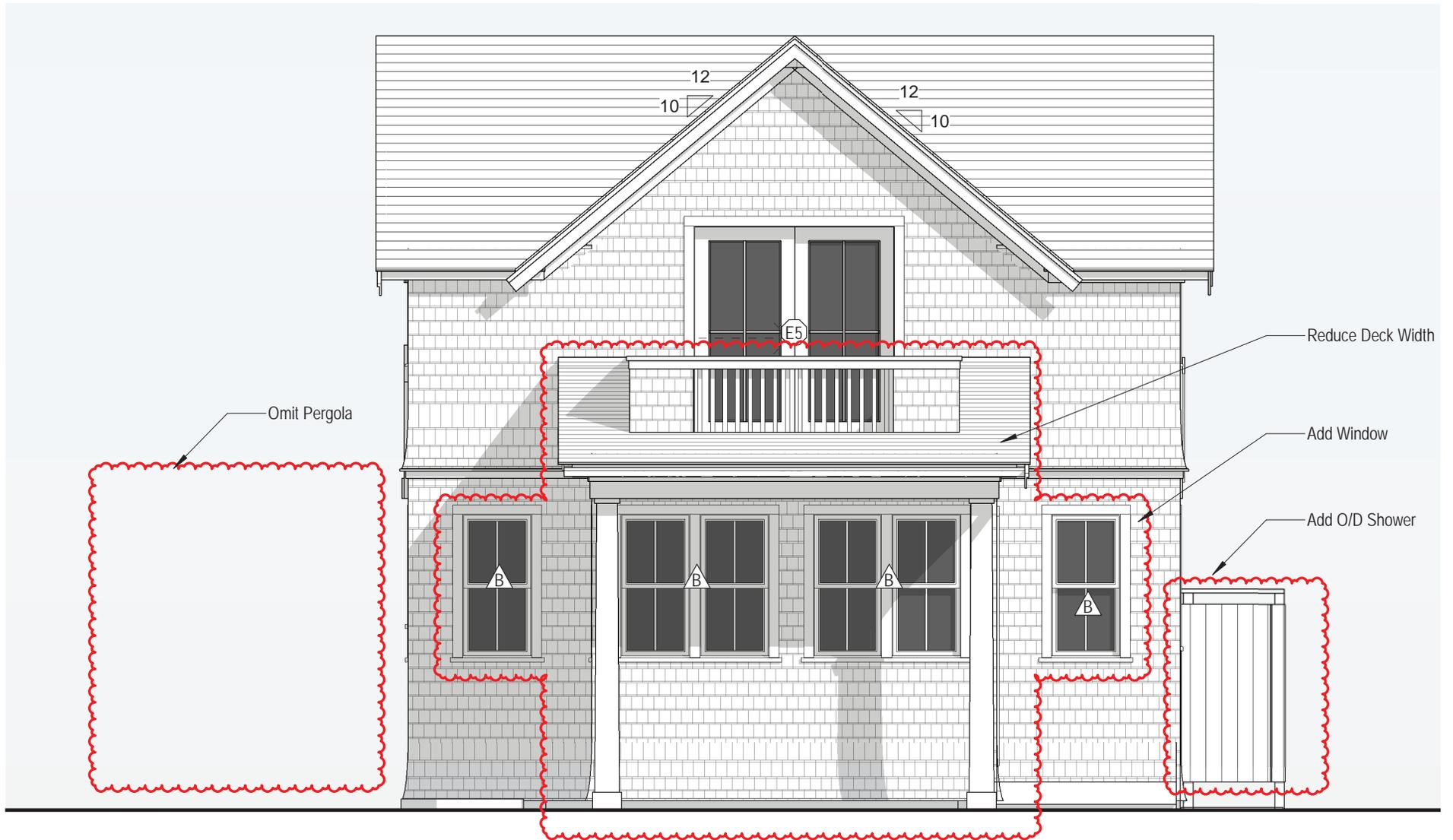


4 North Elevation
1/4" = 1'-0"

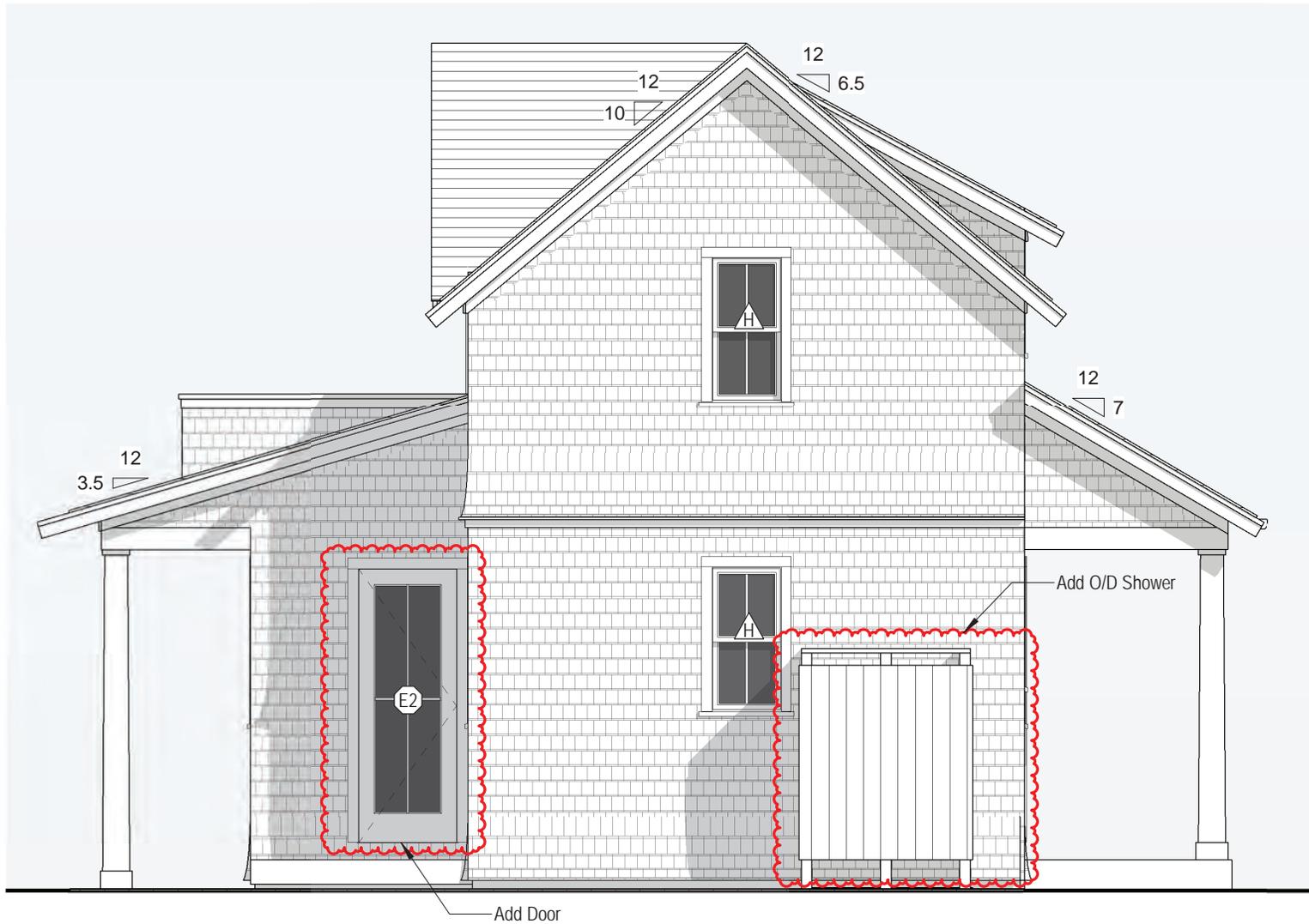


5 West Elevation

1/4" = 1'-0"



6 South Elevation
 1/4" = 1'-0"



7 East Elevation
1/4" = 1'-0"

CERTIFICATE NO: 72855

DATE ISSUED: 8/6/19

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a
CERTIFICATE OF APPROPRIATENESS
for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 84 PARCEL N°: 55
Street & Number of Proposed Work: 36 Low Beach Rd
Owner of record: Peter O'Brien
Mailing Address: 36 Low Beach Rd
Nantucket, MA, 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Emeritus
Mailing Address: 8 Williams Ln,
Nantucket, MA, 02554
Contact Phone #: 508 325 4995 E-mail: MATT@emeritus
development.com

FOR OFFICE USE ONLY

Date application received: 7/31/19 Fee Paid: \$ 151 ✓103
Must be acted on by: 10/5/19
Extended to: _____
Approved: [Signature] Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: [Signature] 8/6/19
Member: _____
Notes - Comments - Restrictions - Conditions
same as previous meeting
NO CHANGES TO BLUE NEIGHB

DESCRIPTION OF WORK TO BE PERFORMED
See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 22'11" Sq. Footage 1st floor: 411 SF Decks/Patio: Size: 228 SF 1st floor 2nd floor
Width: 19'0" Sq. footage 2nd floor: 344 SF Size: 58 SF 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North ±6" South ±6" East ±6" West ±6"
Height of ridge above final finish grade: North ±23'3" South ±23'3" East ±23'3" West ±23'3"

Additional Remarks

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 10/12 Secondary Mass 10/12 Dormer 7/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 5 1/2 Rake 5 1/2 Soffit (Overhang) 8" Corner boards N/A Frieze _____
Window Casing 3 1/2 Door Frame 3 1/2 Columns/Posts: Round _____ Square X

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof NATURAL
Trim WHITE Sash WHITE Doors WHITE/FRONT - NATURAL
Deck NATURAL Foundation NATURAL Fence _____ Shutters _____

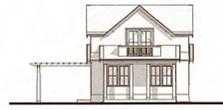
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
Date 08/31/19 Signature of owner of record _____ Signed under penalties of perjury

08.07.19

O'Brien Guest House

36 Low Beach Rd
Nantucket, MA 02554



SOUTH



WEST



EAST



NORTH

1912

O'Brien Guest House

36 Low Beach Rd
Nantucket, MA 02554



COVER SHEET

Site Information

Map & Parcel:	74 / 55
Current Zoning:	LUG 3
Minimum Frontage:	200'
Front Setback:	35'
Side/Rear Setback:	10'
Lot Size:	58,507 sf
Min. Lot Size:	120,000 sf
Allowable G.C.:	2,147 sf
Existing G.C.:	N/A
Proposed G.C.:	411 sf
Total Proposed G.C.:	2,109

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

G.101	COVER SHEET
A.101	FLOOR PLANS & EXTERIOR ELEVATIONS

APPROVED

AUG 06 2019 #72 855

NO EXTERIOR CHANGES
WITHOUT HDC APPROVAL

APPROVED

AUG 06 2019 #7.855

NO EXTERIOR CHANGES
WITHOUT HDC APPROVAL

Revisions

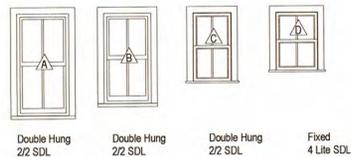
Revision	Date
Revision 1	Date 1

THESE DRAWINGS AND THE DECISIONS THEY ILLUSTRATE ARE THE SCALE PROPERTY OF EMERITUS DEVELOPMENT, LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION FROM EMERITUS DEVELOPMENT, LTD. THESE DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT WITHOUT THE NECESSARY TO OBTAIN A BUILDING PERMIT. ANY CHANGES TO THESE DRAWINGS WILL BE FORWARDED UPON REQUEST.

G.101 1912

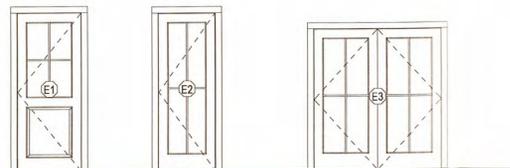


Locus Map



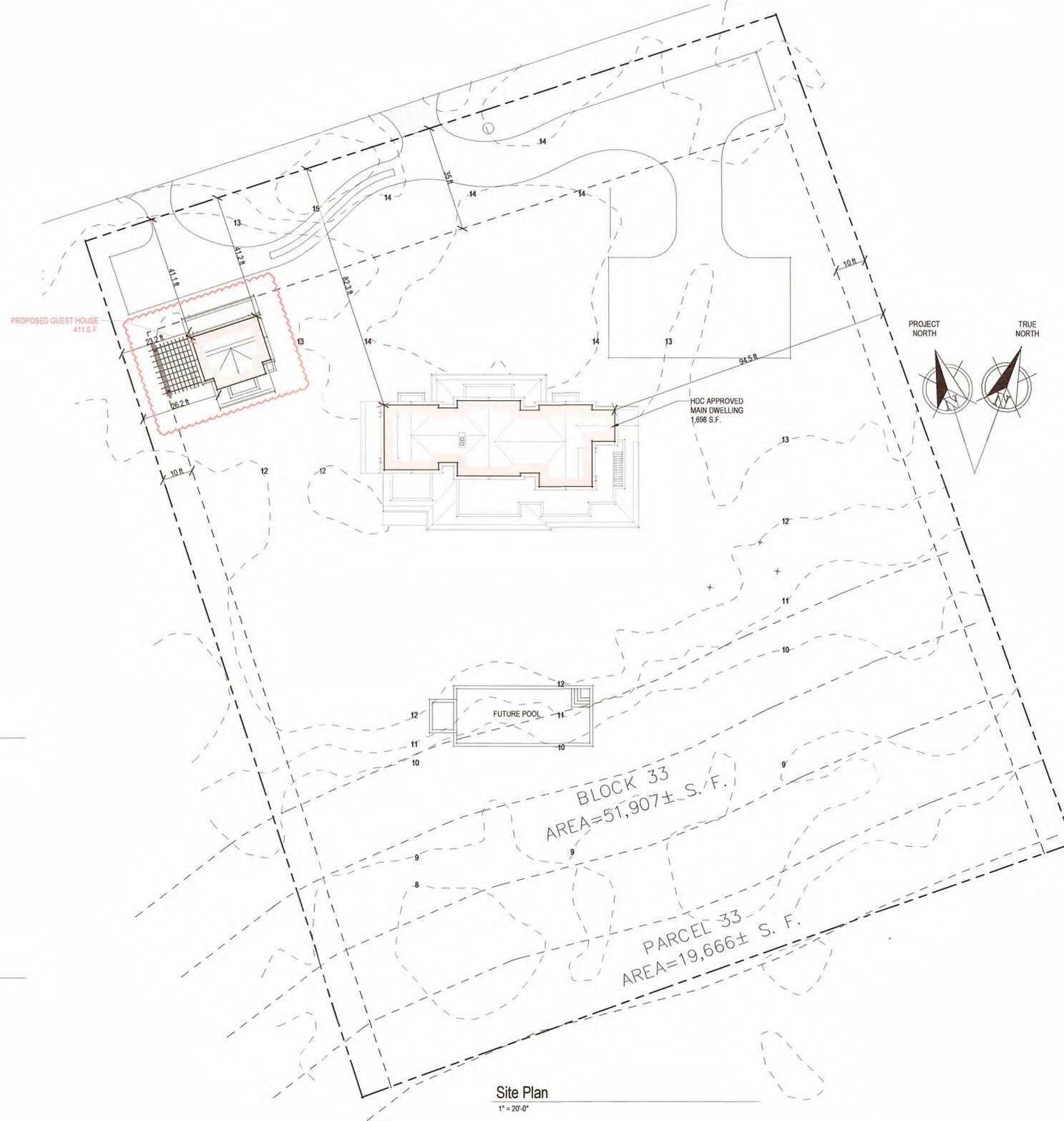
Window Legend

1/4" = 1'-0"



Door Legend

1/4" = 1'-0"

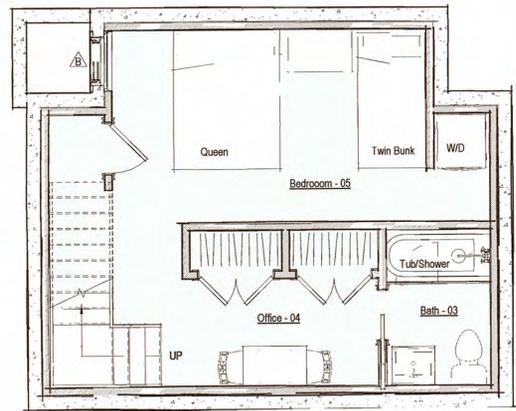


Site Plan

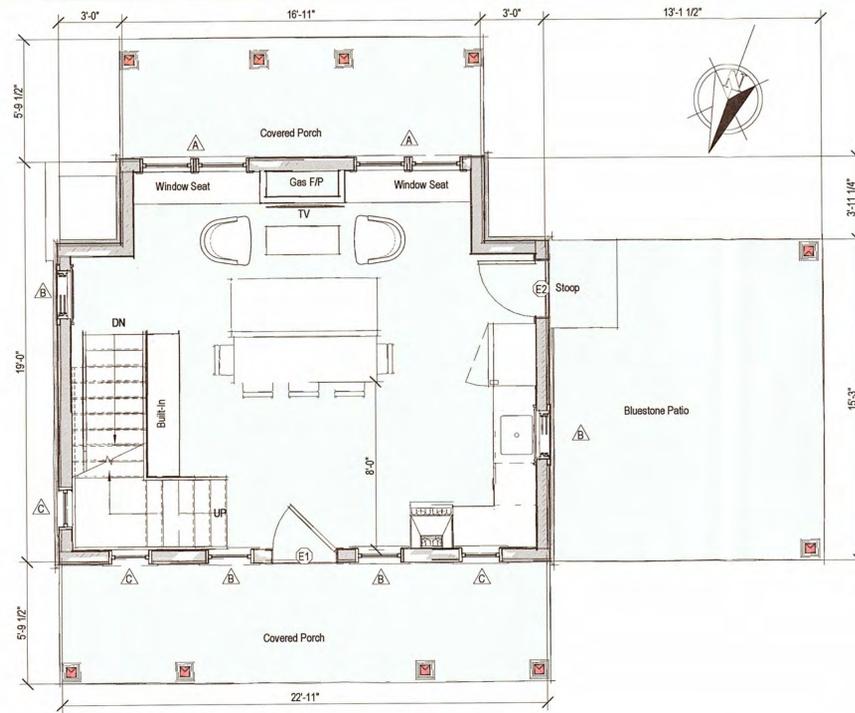
1" = 20'-0"

HDC Submission Through Staff

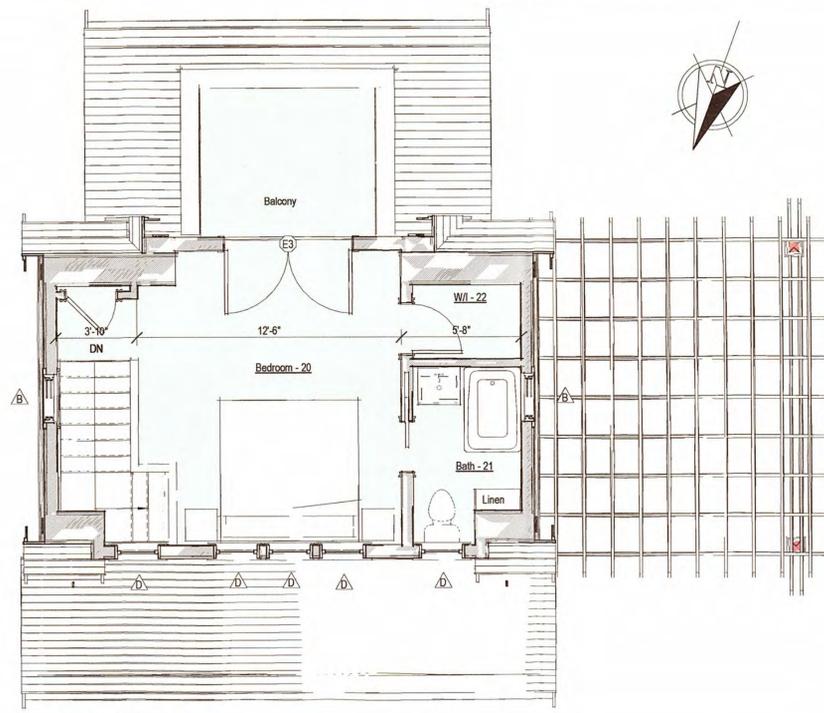
08.07.19



1 Basement Plan
1/4" = 1'-0"



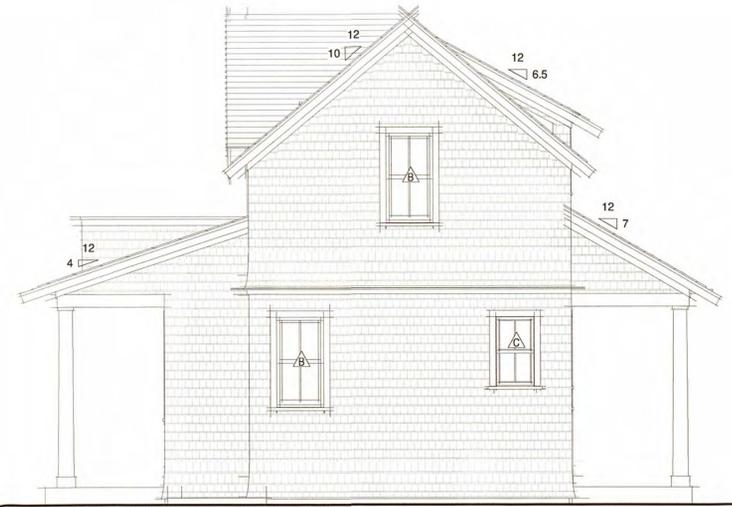
2 First Floor Plan
1/4" = 1'-0"



3 Second Floor Plan
1/4" = 1'-0"



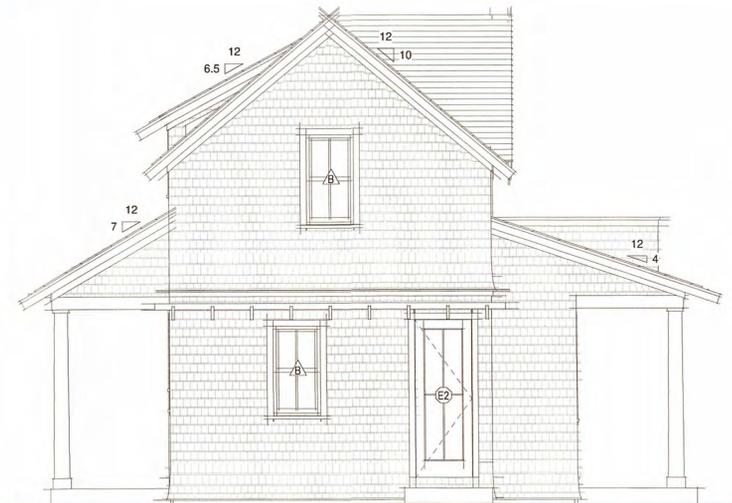
4 North Elevation
1/4" = 1'-0"



5 East Elevation
1/4" = 1'-0"



6 South Elevation
1/4" = 1'-0"



7 West Elevation
1/4" = 1'-0"

1912

O'Brien Guest House

36 Low Beach Rd
Nantucket, MA 02554



FLOOR PLANS & EXTERIOR ELEVATIONS

Site Information

Map & Parcel:	74 / 55
Current Zoning:	LUG 3
Minimum Frontage:	200'
Front Setback:	35'
Side/Rear Setback:	10'
Lot Size:	59,507 sf
Min. Lot Size:	120,000 sf
Allowable G.C.:	2,147 sf
Existing G.C.:	N/A
Proposed G.C.:	411 sf
Total Proposed G.C.:	2,109

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

G.101	COVER SHEET
A.101	FLOOR PLANS & EXTERIOR ELEVATIONS

APPROVED
AUG 06 2019 #72 855
NO EXTERIOR CHANGES WITHOUT HCC APPROVAL

Revisions

Revision 1	Date 1
------------	--------

THESE CHANGES AND THE REVISIONS ILLUSTRATED ARE THE SCALE AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN PERMISSION FROM THE ARCHITECT OR DEVELOPER. IT IS THE RESPONSIBILITY OF THE ARCHITECT AND DEVELOPER TO OBTAIN NECESSARY PERMITS AND APPROVALS FROM THE LOCAL GOVERNMENT. THE ARCHITECT'S OFFICE WILL BE FURNISHED UPON REQUEST.

A.101
1912



HDC Submission Through Staff

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 56 PARCEL N°: 6.2
Street & Number of Proposed Work: 78 MILK STREET
Owner of record: DM MCCANN
Mailing Address: 78 MILK STREET
NANTUCKET, MA. 02554
Contact Phone #: 203-673-4345 E-mail: TOMMCCANN@PS.COM

AGENT INFORMATION (if applicable)

Name: MARK LOMBARDO
Mailing Address: BOX 2364
NANTUCKET MA. 02554
Contact Phone #: 508-325-1695 E-mail: LOMBARDOBOYS@GMAIL.COM

FOR OFFICE USE ONLY	
Date application received: <u>9/16/2020</u>	Fee Paid: \$ <u>200.00</u>
Must be acted on by: <u>11/7/2020</u>	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No. _____
- Pool (Zoning District R-20)
- Roof
- Other _____

Size of Structure or Addition: Length: 32' Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 16' Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 6" South 6" East 6" West 6"
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____

Original Date: _____

Original Builder: _____

Is there an HDC survey form for this building attached? Yes N/A

REVISIONS*

1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation

BUILD AN GUNITE POOL 16X32 W/ AUTO COVER AND SURROUNDED BY GREEN GIANTS ARCHVITEA HESPIRING. TWO GATES. NO VISABILITY

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: <u>17-8" ARBOVITEX W/</u>
Type: <u>46" POOL MESH.</u>
Length: <u>250' LF</u>

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other GIPS NTW

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

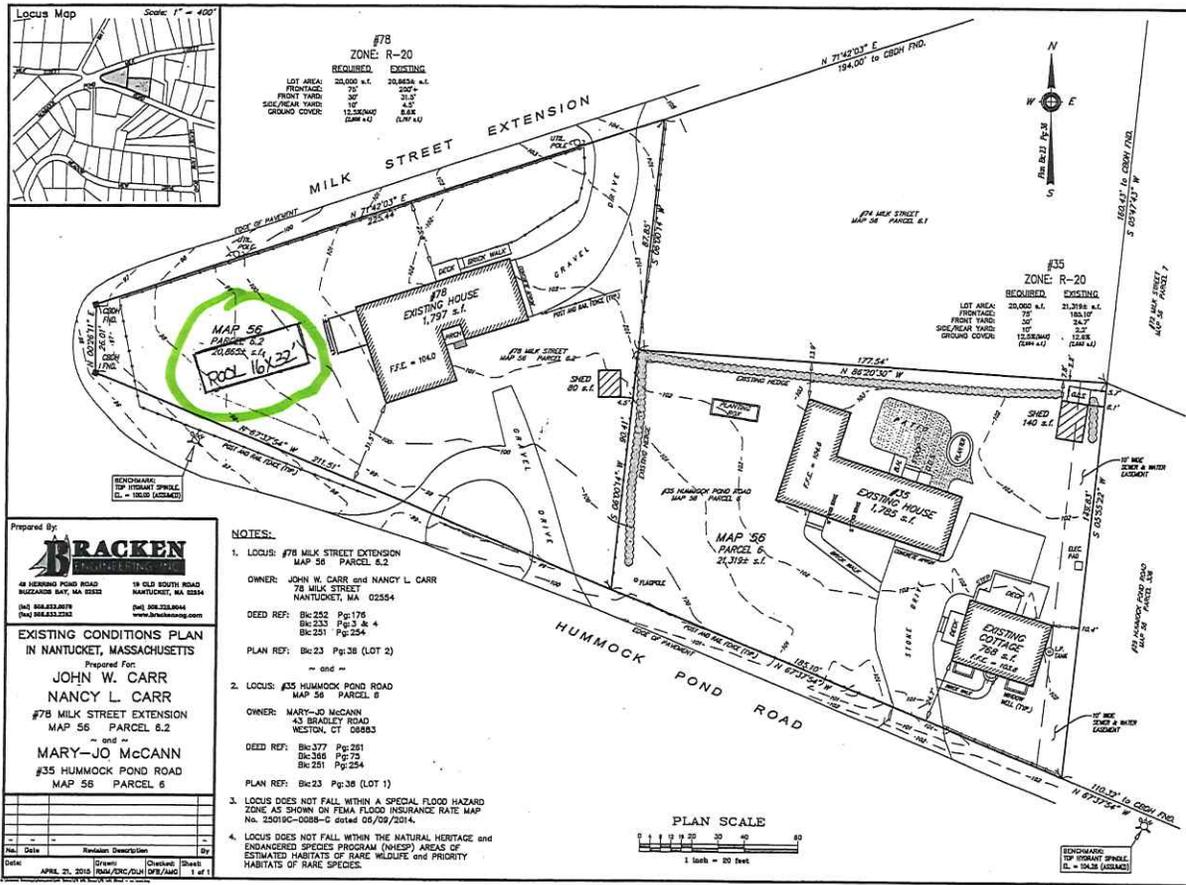
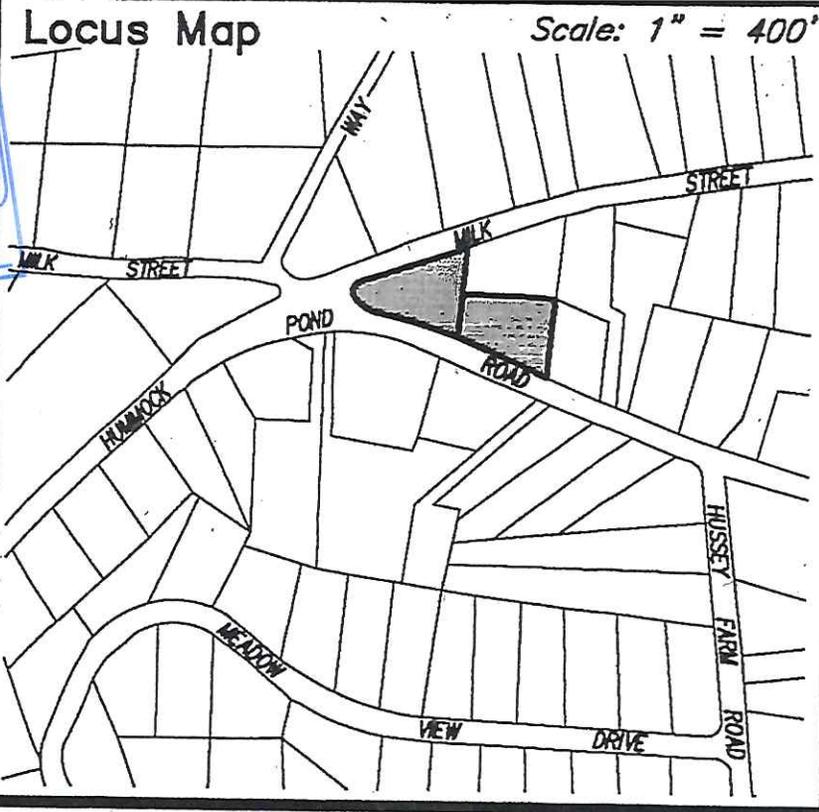
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence BLACK MESH IN Shutters _____
HEDGE (GIANT ARBOVITEX)

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
Date 9-13-20 Signature of owner of record Tom McCann Signed under penalties of perjury

RECEIVED
 SEP 16 2020
 By _____



#78
 ZONE: R-20

REQUIRED	EXISTING
LOT AREA: 20,000 s.f.	20,000 s.f.
FRONT YARD: 25'	20'
SIDE/REAR YARD: 10'	5.5'
GROUND COVER: 12.5% (MIN)	8.8% (MAX)

#35
 ZONE: R-20

REQUIRED	EXISTING
LOT AREA: 20,000 s.f.	21,388 s.f.
FRONT YARD: 25'	18.17'
SIDE/REAR YARD: 10'	24.7'
GROUND COVER: 12.5% (MIN)	2.2% (MAX)

Prepared By:
BRACKEN
 48 HERRING POND ROAD
 NANTUCKET, MA 02554
 TEL: 508.223.2978 FAX: 508.223.2343
 WWW.BRACKENMA.COM

EXISTING CONDITIONS PLAN
 IN NANTUCKET, MASSACHUSETTS

Prepared For:
JOHN W. CARR
NANCY L. CARR
 #78 MILK STREET EXTENSION
 MAP 56 PARCEL 6.2
 and
MARY-JO McCANN
 #35 HUMMOCK POND ROAD
 MAP 56 PARCEL 6

No.	Date	Revision Description	By
1	APRIL 21, 2018	FINAL/ERC/SH/DR/AMC	1 of 1

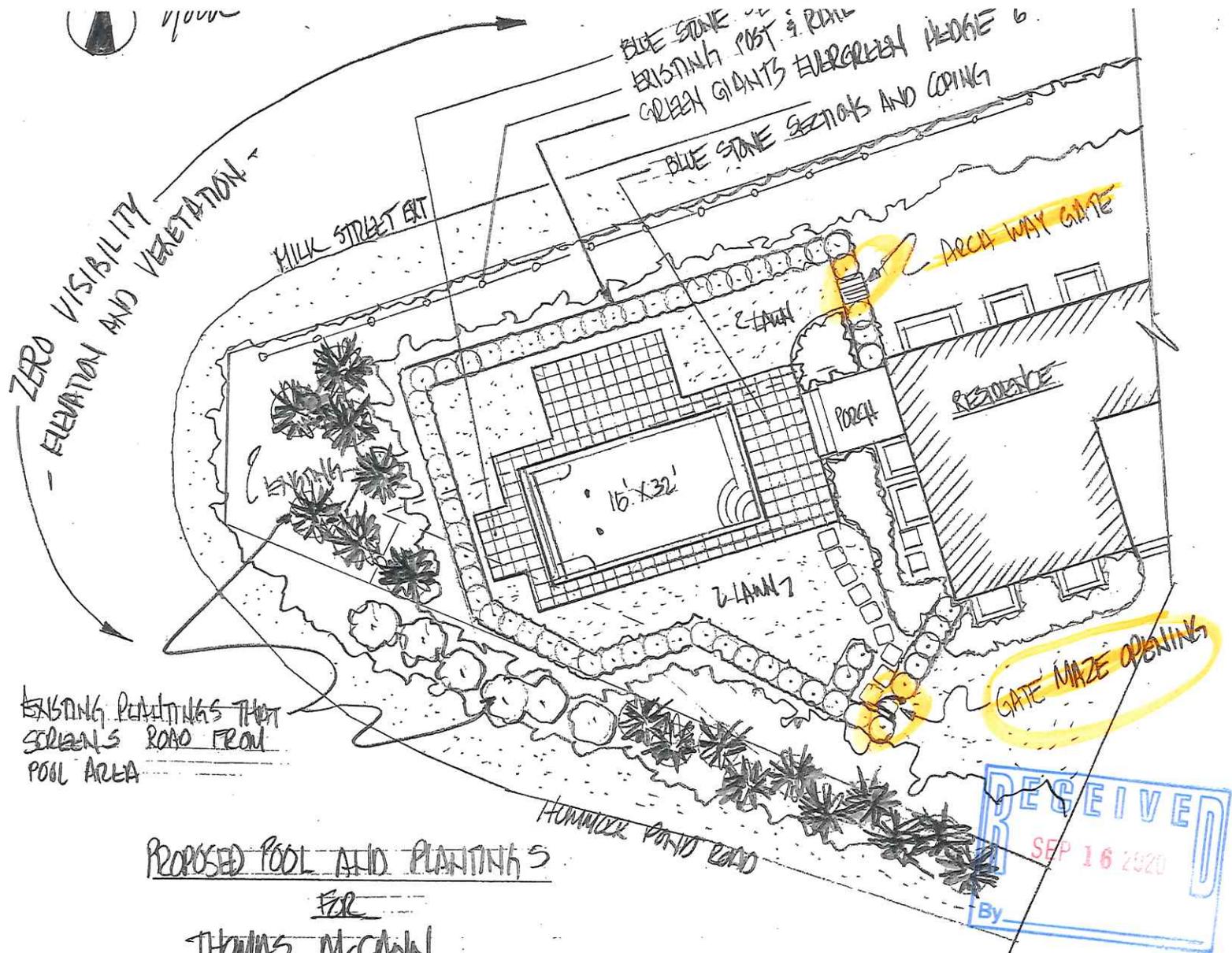
- NOTES:**
- LOCUS: #78 MILK STREET EXTENSION MAP 56 PARCEL 6.2
 OWNER: JOHN W. CARR and NANCY L. CARR
 78 MILK STREET
 NANTUCKET, MA 02554
 DEED REF: Bk: 252 Pg: 176
 Bk: 233 Pg: 2 & 4
 Bk: 251 Pg: 254
 PLAN REF: Bk: 23 Pg: 38 (LOT 2)
 -- old --
 - LOCUS: #35 HUMMOCK POND ROAD MAP 56 PARCEL 6
 OWNER: MARY-JO McCANN
 43 BRADLEY ROAD
 NANTUCKET, MA 02554
 DEED REF: Bk: 377 Pg: 251
 Bk: 368 Pg: 73
 Bk: 251 Pg: 254
 PLAN REF: Bk: 23 Pg: 38 (LOT 1)
 - LOCUS DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 25019C-008B-C dated 05/09/2014.
 - LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.

PROPOSED POOL & LANDSCAPE

TOM AND MARY JO McCANN

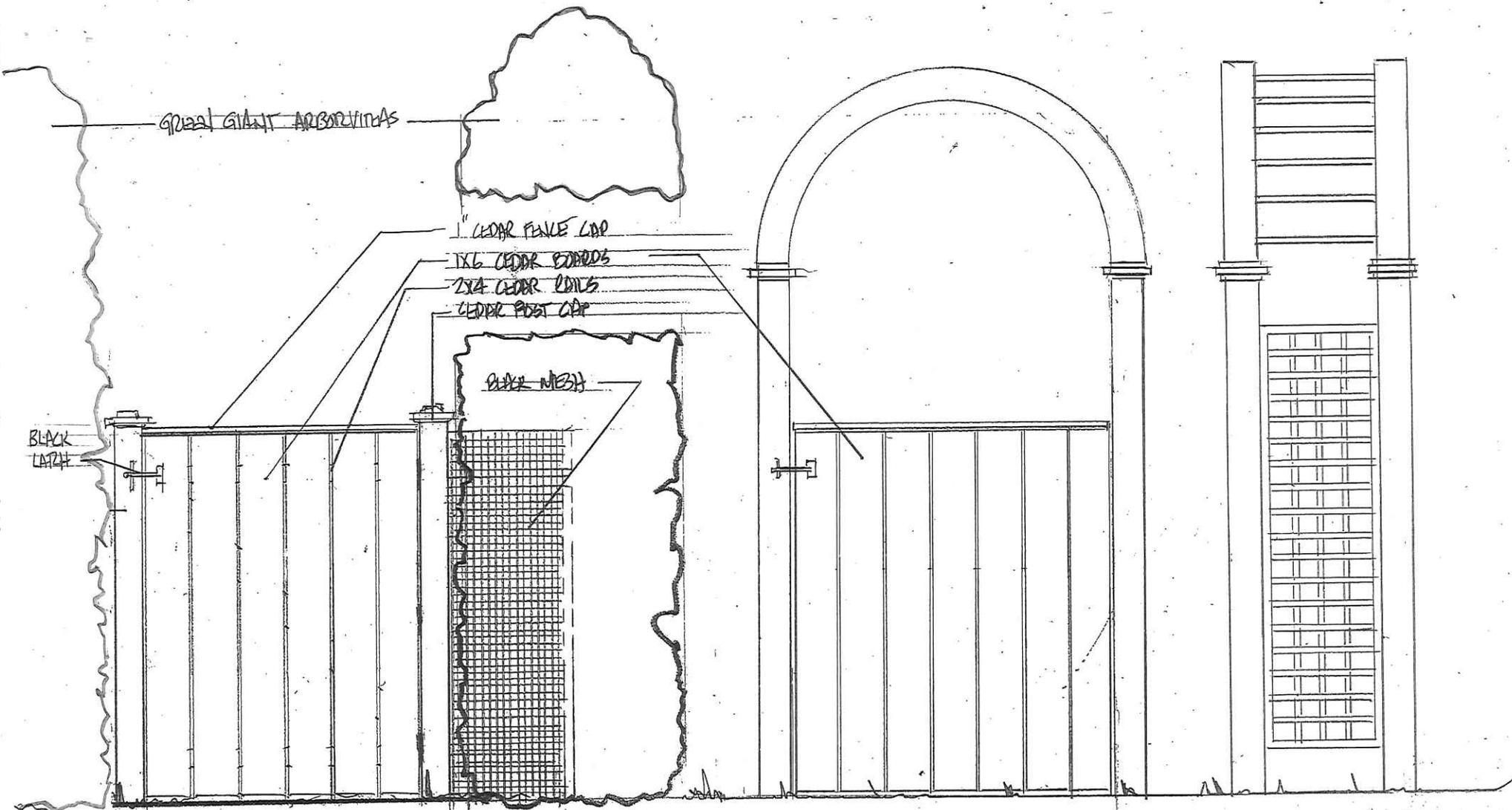
78 MILK STREET

MAP 56 PARCEL 6.2



PROPOSED POOL AND PLANTINGS
FOR
THOMAS MCCANN
78 MILK STREET
- 1" = 20'

DRAWN BY: MARK LOMBARDO!



CEDAR GATE DETAIL

SCALE 1"=1'

MCCANN RESIDENCE

78 MILK STREET

MAP 56 PARCEL 6.2

CEDAR ARCH WAY GATE DETAIL

SCALE 1"=1'

RECEIVED
 SEP 16 2020
 By _____



HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road
Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Email: hdcsubmissions@nantucket-ma.gov

COMMISSIONERS

Ray Pohl
Chairman

Diane Coombs
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

STAFF

Cathy Flynn
Land Use Specialist
cflynn@nantucket-ma.gov

Waiver of the HDC 10 Day Hearing Requirement

I Tom McCann

AS AGENT FOR Tom McCann

STREET ADDRESS 78 milk street

MAP/PARCEL map 56 Parcel 6.2

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON

9/18/20

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

SECTION 8 of the HDC enabling legislation: ... The Commission shall meet within ten (10) days of the receipt of an application for a certificate of appropriateness or permit for removal...

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

Tom McCann 9-21-20
Signature Date









Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: G2 PARCEL N^o: 429
Street & Number of Proposed Work: 98 Old South Rd.
Owner of record: Smith Geoffrey
Mailing Address: 98 Old South Rd.
Nantucket, MA
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: JDSstudio
Mailing Address: PO Box 3741
Nantucket, MA 02584
Contact Phone #: 508 332 9654 E-mail: juraj@thejbsstudio.com

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other Reduce Deck size, new window well, change roof into roof deck
Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: 1925F 1st floor 2nd floor
Width: _____ Sq. Footage 2nd floor: _____ Size: 1905F 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North no change South no change East no change West no change
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A
REVISIONS:
1. East Elevation Reduce deck size to 1925F
2. South Elevation change roof into roof deck, 1905F
3. West Elevation Add window well with metal grate
4. North Elevation _____

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 12 Secondary Mass 12 Dormer 12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing 1x4 Door Frame _____ Columns/Posts: Round _____ Square _____
Windows: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer Andersen
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NTW Clapboard (if applicable) _____ Roof Match exist.
Trim NTW Sash green Doors _____
Deck NTW Foundation NTW Fence NTW Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 9/9/2020 Signature of owner of record [Signature] Signed under penalties of perjury



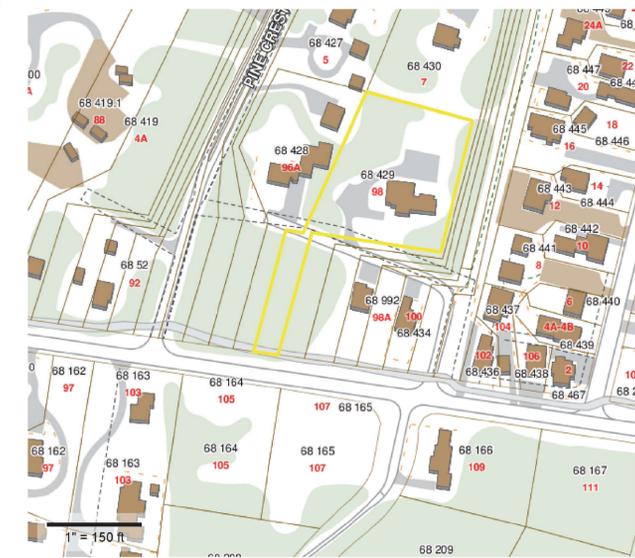
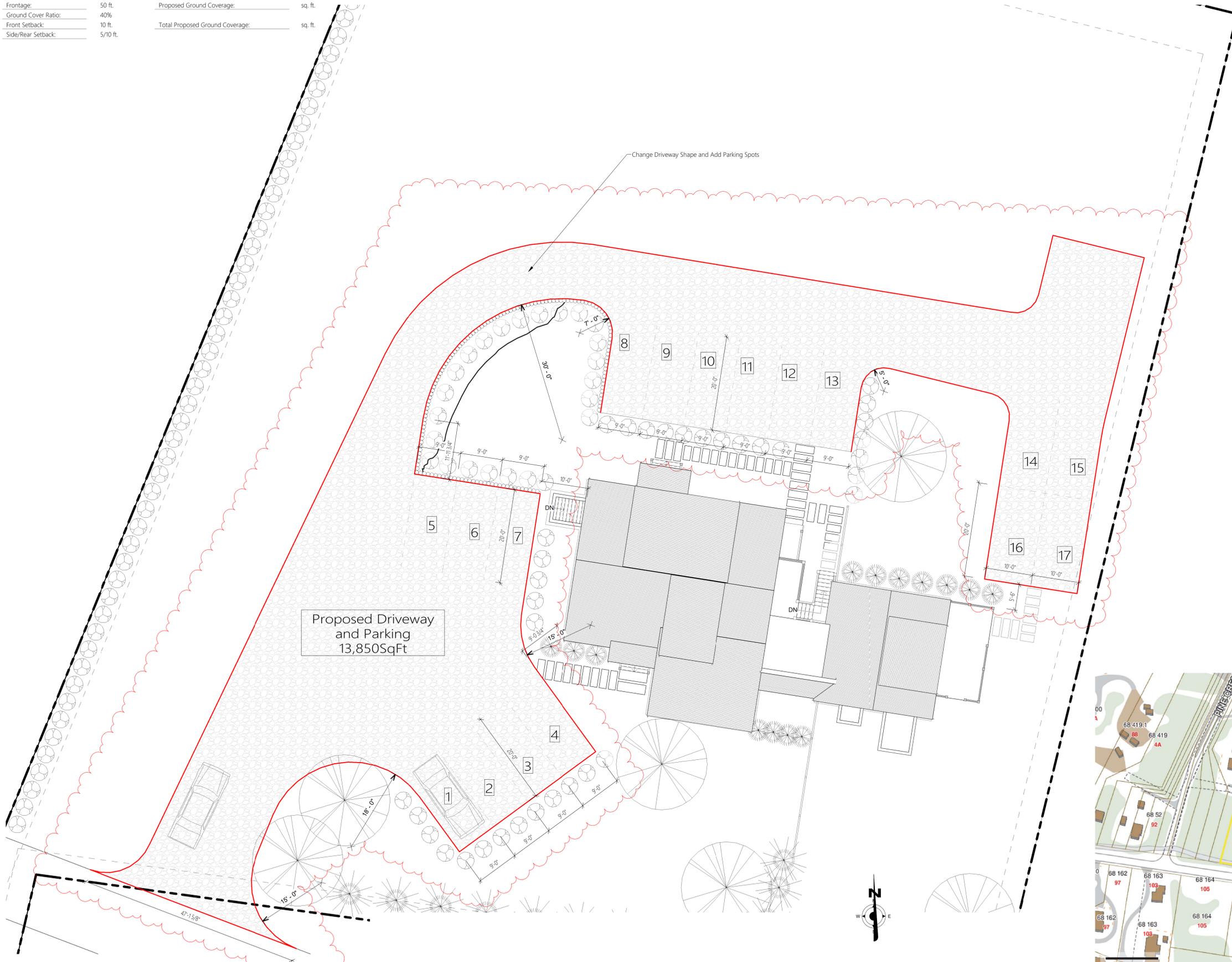
2 Locus Map
NTS

Property Info:

Map & Parcel:	42.4.3/16	Lot Size:	sq. ft.
District/Zoning:	CTEC	Allowable Ground Coverage:	sq. ft.
Minimum Lot Size:	10,000 sq.ft.	Existing Ground Coverage:	sq. ft.
Frontage:	50 ft.	Proposed Ground Coverage:	sq. ft.
Ground Cover Ratio:	40%	Total Proposed Ground Coverage:	sq. ft.
Front Setback:	10 ft.		
Side/Rear Setback:	5/10 ft.		

HDC Submission Only - Not For Construction

ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF JBSTUDIO. JBSTUDIO CANNOT BE HELD RESPONSIBLE FOR WORK INITIATED INCORRECTLY DUE TO MISUNDERSTANDING OR MISINTERPRETATION. IF THERE ARE ANY QUESTIONS, PLEASE CALL JBSTUDIO. THESE DRAWINGS AND DESIGNS THEY ILLUSTRATE ARE SOLE PROPERTY OF JBSTUDIO AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF JBSTUDIO. DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" CANNOT NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING CONSTRUCTION MATERIALS.



1 Site Plan - Proposed
1" = 10'-0"

2 Locus Map
NTS



www.theJBStudio.com

JBStudio
PO Box 3741
Nantucket, MA 02584

tel: (508) 332-9654
email: juraj@theJBStudio.com

Project

Burn The Ships LLC
98 Old South Rd., Nantucket, MA
02554

Sheet

Site Plan

SHEET INDEX

- C.101 Site Plan
- A.201 Exterior Elevations
- A.202 Exterior Elevations
- Grand total: 3

Date

09.08.2020

Revisions

No.	Description	Date
1	Main House Changes	09/08/2020

C.101

Scale

As indicated

9/8/2020 11:42:04 AM

HDC Submission Only - Not For Construction

ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF JBSTUDIO. JBSTUDIO CANNOT BE HELD RESPONSIBLE FOR WORK INITIATED INCORRECTLY DUE TO MISUNDERSTANDING OR MISINTERPRETATION. IF THERE ARE ANY QUESTIONS, PLEASE CALL JBSTUDIO. THESE DRAWINGS AND DESIGNS THEY ILLUSTRATE ARE SOLE PROPERTY OF JBSTUDIO AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF JBSTUDIO. DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" CANNOT NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING CONSTRUCTION MATERIALS.



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02554



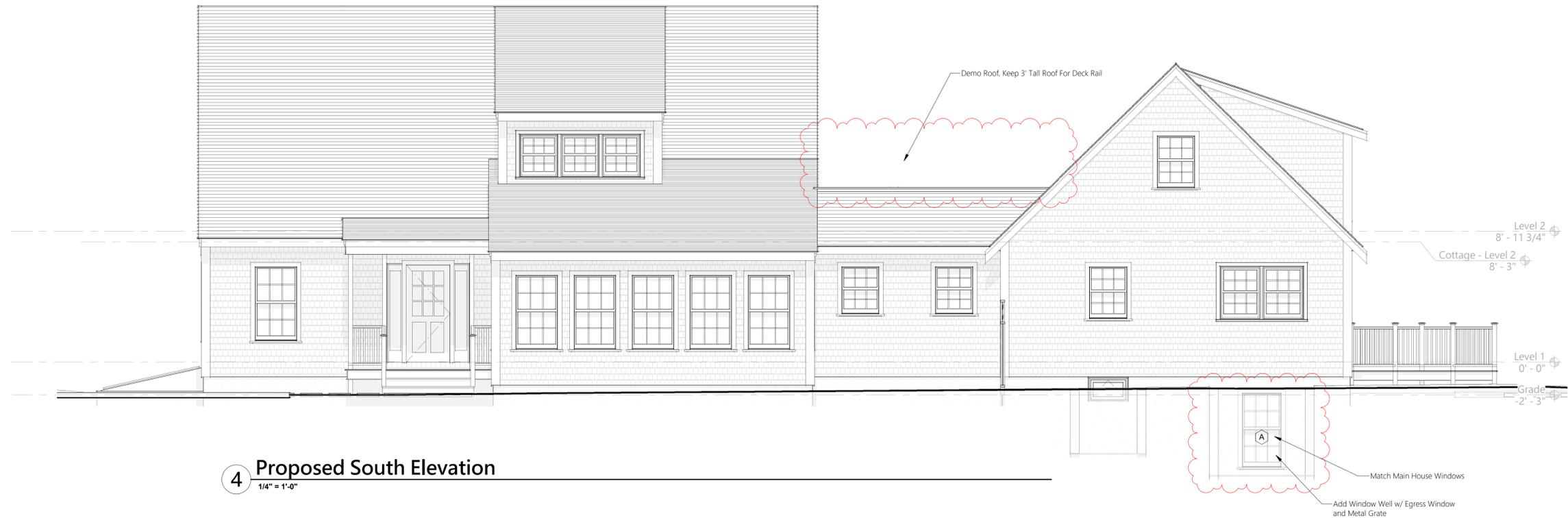
1 Existing/ Demo East Elevation
3/16" = 1'-0"



3 Proposed East Elevation
1/4" = 1'-0"



2 Existing/ Demo South Elevation
3/16" = 1'-0"



4 Proposed South Elevation
1/4" = 1'-0"

Sheet
Exterior Elevations

SHEET INDEX

- C.101 Site Plan
- A.201 Exterior Elevations
- A.202 Exterior Elevations
- Grand total: 3

Date
09.08.2020

Revisions		
No.	Description	Date
5	Main House Changes	09/08/2020

A.201

Scale As indicated

HDC Submission Only - Not For Construction

ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD. ANY DEVIATIONS FROM WHAT IS SHOWN SHALL BE BROUGHT TO THE ATTENTION OF JBSTUDIO. JBSTUDIO CANNOT BE HELD RESPONSIBLE FOR WORK INITIATED INCORRECTLY DUE TO MISUNDERSTANDING OR MISINTERPRETATION. IF THERE ARE ANY QUESTIONS, PLEASE CALL JBSTUDIO. THESE DRAWINGS AND DESIGNS THEY ILLUSTRATE ARE SOLE PROPERTY OF JBSTUDIO AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF JBSTUDIO. DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" CANNOT NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING CONSTRUCTION MATERIALS.



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Project

Burn The Ships LLC
98 Old South Rd., Nantucket, MA
02554

Sheet

Exterior Elevations

SHEET INDEX

- C.101 Site Plan
- A.201 Exterior Elevations
- A.202 Exterior Elevations
- Grand total: 3

Date

09.08.2020

Revisions

No.	Description	Date
5	Main House Changes	09/08/2020

A.202

Scale

As indicated

9/8/2020 11:41:56 AM



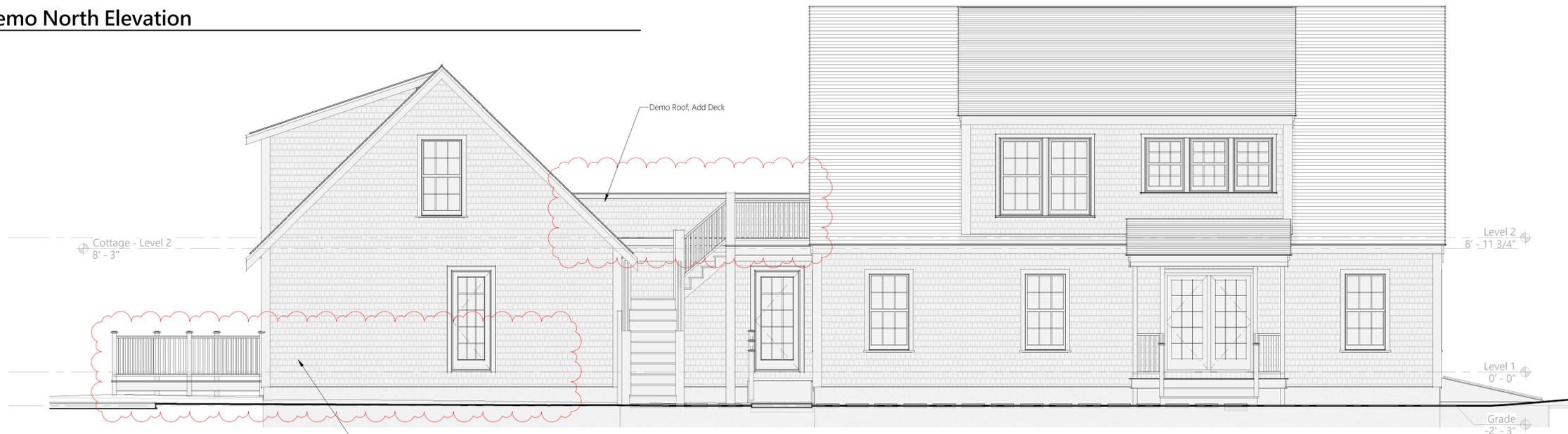
3 Existing/ Demo West Elevation
3/16" = 1'-0"



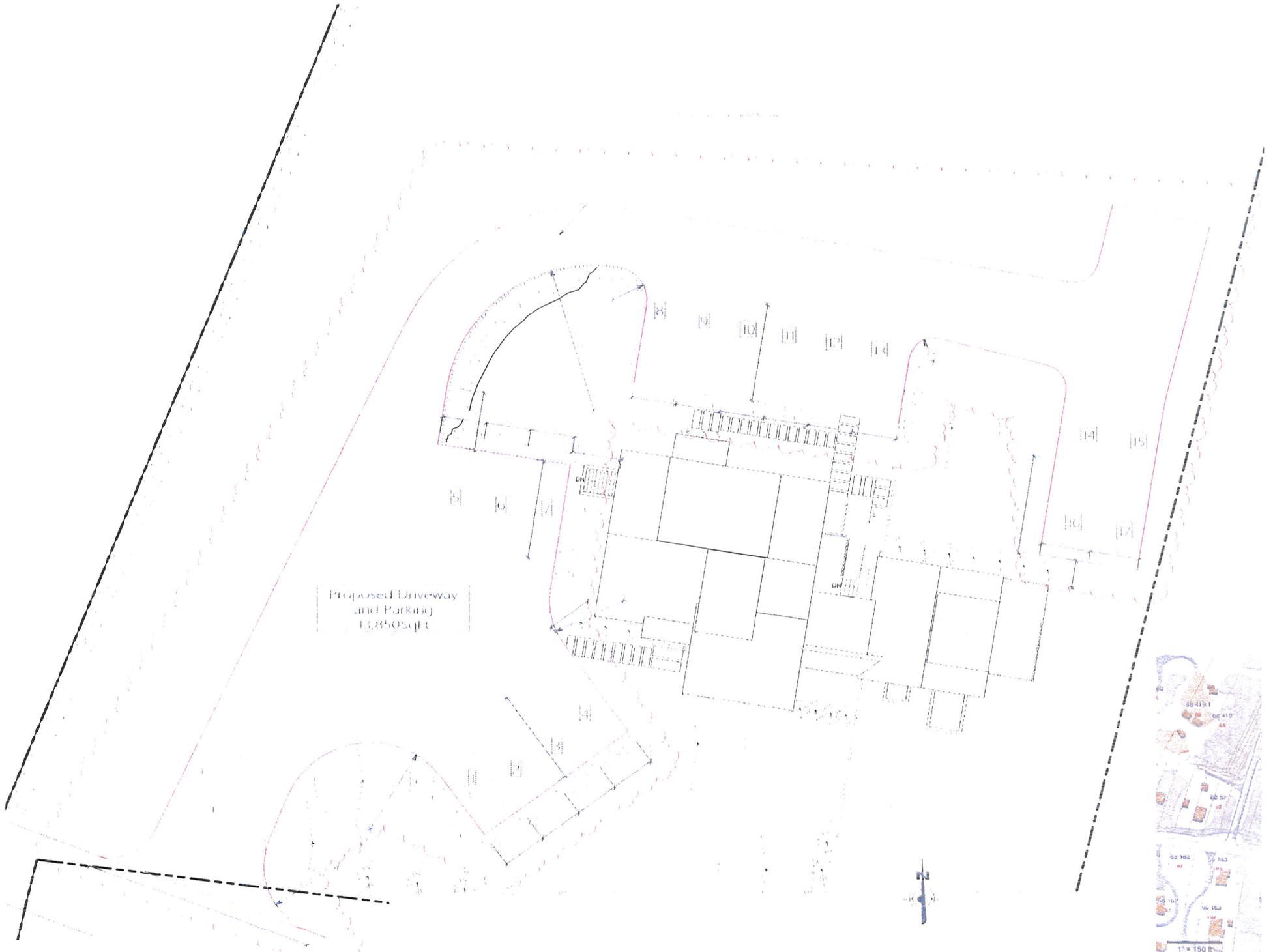
4 Proposed West Elevation - No Change
1/4" = 1'-0"



1 Existing/ Demo North Elevation
3/16" = 1'-0"



2 Proposed North Elevation
1/4" = 1'-0"



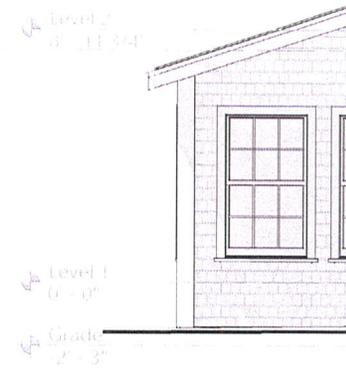
Proposed Driveway
and Parking
11,850sqft



1 Site Plan - Proposed



1 Existing/ Demo East Elevation
3/16" = 1'-0"

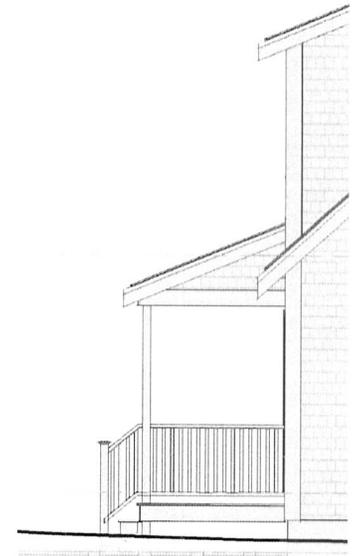


2 Existing/ Demo South Elevation
3/16" = 1'-0"

3 Prop
1/4" = 1'-0"



3 Existing/ Demo West Elevation
3/16" = 1'-0"



4 Proposed West Elevation
1/4" = 1'-0"



1 Existing/ Demo North Elevation
3/16" = 1'-0"



3 Proposed East Elevation

1/4" = 1'-0"





4 Proposed South Elevation
1/4" = 1'-0"

Callout 1: Detail of decorative horizontal band

Callout 2: Detail of circular element on front door

DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" CANNOT NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING CONSTRUCTION MATERIALS



4 Proposed West Elevation - No Change

1/4" = 1'-0"



emo North Elevation



2 Proposed North Elevation
1/4" = 1'-0"







CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 43.3.3 PARCEL N^o: 45
Street & Number of Proposed Work: 132 MAIN ST
Owner of record: BARBARA VON DER GROEBEN
Mailing Address: 132 MAIN ST
NANTUCKET MA 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: ACH SMART
Mailing Address: 61 OLD SOUTH RD #500
NANTUCKET MA 02554
Contact Phone #: 781 325 0120 E-mail: solano.achsmart@comcast.net

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No.
 Pool (Zoning District _____) Roof Other INSTALL 22 ALLBLACK SOLAR PV MODULES TO EAST/WEST DOCKWALKS
Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____ **REVISIONS*** 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) BLACK

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 9/10/2020

Signature of owner of record _____

Signed under penalties of perjury



THIS CHECKLIST IS TO BE SUBMITTED WITH ALL HDC APPLICATIONS

REQUIRED WITH ALL APPLICATIONS:

1. Completed Application Form: Description of ALL work must be indicated on application form.
2. Property Owner's Signature: Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
3. Application Fee: See back of application for fee schedule or call the office.
4. Locus Map (4 copies): Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) <http://www.mapgeo.com/NantucketMA/>.
5. Site Plan (4 Copies): must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and *placement of HVAC units, electrical boxes, fuel tanks, etc.*
6. 8-1/2" x 11" Copies of ALL Application Materials: Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material **MUST BE LEGIBLE** (font size no smaller than 12), collated and stapled.
7. Photographs: Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
8. Electronic submission: All documents submitted to the HDC office must also be converted to Adobe Acrobat format <http://www.adobe.com/pdf/>; this is free software that may have come pre-loaded on your computer. Electronic copies can also be created using the scanner located in the Department of Inspectional Services.

REQUIRED WHERE APPLICABLE :

1. Supplemental Information for Historic Buildings: It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application.
2. Exterior Elevations and Floor Plans (4 copies): Must be Y.-inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. *All changes from approved or existing design must be clouded on drawings.* All material **MUST BE LEGIBLE**, collated and stapled. Reduced sets should maintain a font size of 12.
3. As-Built Plans (1copy): of existing elevations
4. Hardscaping Plans (4 copies): To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material **MUST BE LEGIBLE**, collated and stapled.
5. Topographic Map: Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).
6. Door and Window Schedule (4 copies): Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
7. I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.
(initial to indicate read and understand)
8. Abutter Notification Materials – Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and 'Sconset Historic Core where the requirement for new construction is 100 square feet.
9. Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc.

Sent via email to: cflynn@nantucket-ma.gov
hdcsubmissions@nantucket-ma.gov

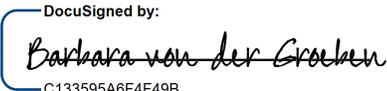
Cathy Flynn, Land Use Specialist
The Historic District Commission (HDC)
2 Fairgrounds Rd
Nantucket, MA 02554

Dear Ms. Flynn and the HDC,

I am the owner of the property located at 132 Main Street, Nantucket, MA 02554.

Please accept this letter as my written authorization for ACK Smart Energy to act as my limited agent for the purpose of signing, submitting the application, and taking other required actions before the HDC for the approval(s) required to install a solar array and perform related electrical work on the above referenced property. ACK Smart Energy are authorized to perform such work on my property as the HDC approves.

Sincerely,

Signature 
Name Barbara von der Groeben
Date 9/12/2020



HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road
Nantucket, Massachusetts 02554

Telephone: 508.325.7587
Email: hdcsubmissions@nantucket-ma.gov

COMMISSIONERS

Ray Pohl
Chairman

Diane Coombs
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

STAFF

Cathy Flynn
Land Use Specialist
cflynn@nantucket-ma.gov

Waiver of the HDC 10 Day Hearing Requirement

I ACK Smart

AS AGENT FOR Barbara Von Der Groeben

STREET ADDRESS 132 Main Str

MAP/PARCEL 42.3.3 / 45

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON

9/18/2020

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

SECTION 8 of the HDC enabling legislation: ... The Commission shall meet within ten (10) days of the receipt of an application for a certificate of appropriateness or permit for removal...

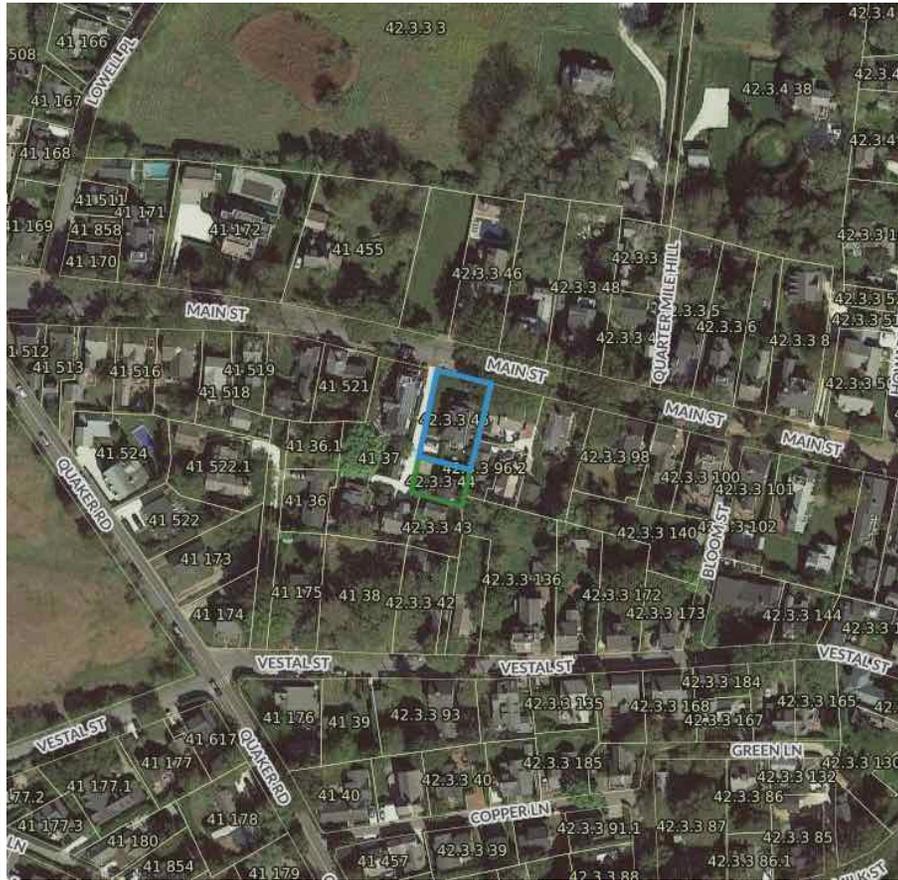
AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.



9/18/2020

Signature

Date

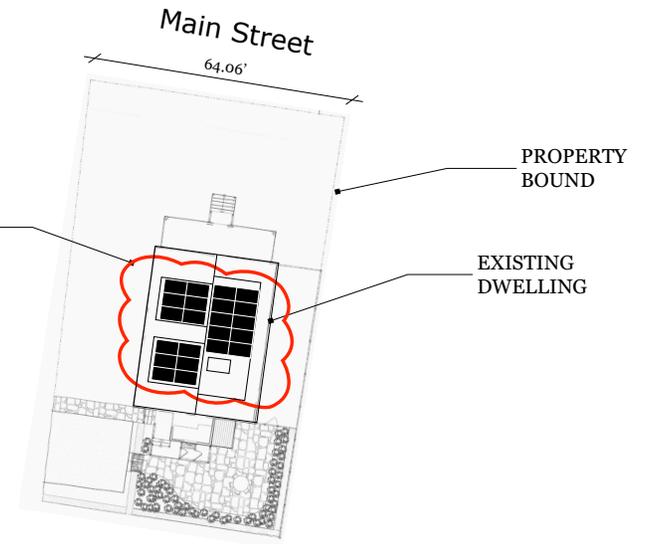


LOCUS MAP
SCALE: NOT TO SCALE

ZONING CLASS: ROH
FRONT SETBACK: 0 FT
SIDE/REAR SETBACK: 5 FT

SITE PLAN
SCALE: 1" = 30' 0"

PROPOSED LOCATION OF
(22) ALL BLACK SOLAR PV
MODULES ON EAST AND WEST
ROOF TOPS



GIS & SITE PLAN

ROOFTOP SOLAR ARRAY
6.83 KW DC, 7.6 KW AC

OWNER:	VON DER GROEBEN, BARBARA
SITE ADDRESS:	132 MAIN ST
CITY, STATE, ZIP:	NANTUCKET, MA 02554
MAP: 4233	PARCEL: 45

REVISIONS	
MM/DD/YY	REMARKS
1 9/16/2020	SUBMITTED FOR HD&C & PERMITTING REVIEW.
2	
3	
4	
5	

PV 01



EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION

PROPOSED INSTALLATION OF
(22) ALL BLACK SOLAR PV
MODULES TO SOUTH ROOFTOP

Scale: 1/8" = 1' 0"



Proposed Elevations

ROOFTOP SOLAR ARRAY
6.83 KW DC, 7.6 KW AC

OWNER: VON DER GROEBEN, BARBARA
SITE ADDRESS: 132 MAIN ST
CITY, STATE, ZIP: NANTUCKET, MA 02554
MAP: 4233 PARCEL: 45

REVISIONS	
MM/DD/YY	REMARKS
1 9/16/2020	SUBMITTED FOR HDIC & PERMITTING REVIEW.
2	
3	
4	
5	

PV 02



VIEWS LOOKING MAIN STR

SOLAR ARRAY WILL HAVE VERY LIMITED VISIBILITY (PROFILE ONLY) DUE TO:

- PROPERTY IS SET BACK 40'
- ROOF ELEVATIONS ARE PERPENDICULAR TO MAIN STR
- FLAT DORMER ROOF
- EXTENT TO WHICH PROPERTY IS RAISED ABOVE MAIN STR



Photos
 ROOFTOP SOLAR ARRAY
 6.83 KW DC, 7.6 KW AC

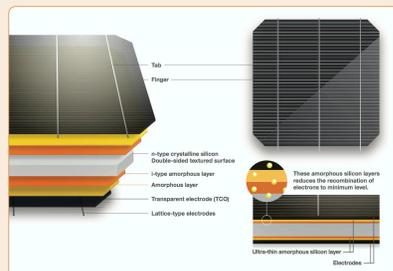
OWNER: VON DER GROEBEN, BARBARA
 SITE ADDRESS: 132 MAIN ST
 CITY, STATE, ZIP: NANTUCKET, MA 02554
 MAP: 4233 PARCEL: 45

REVISIONS	
MMDDYY	REMARKS
1 9/16/2020	SUBMITTED FOR HDIC & PERMITTING REVIEW.
2	
3	
4	
5	



N325K / N320K

Panasonic's unique heterojunction technology uses ultra-thin amorphous silicon layers. These thin dual layers reduce losses, resulting in higher energy output than conventional panels.



Panasonic HIT® Black is the brand new all-black module which features high efficiency 19.4%, industry leading temperature coefficient of -0.258%/°C and a sleek design. Powerful and aesthetically designed to make your roof look great.



Our competitive advantages



High Efficiency at High Temperatures
As temperature increases, HIT® continues to perform at high levels due to the industry leading temperature coefficient of -0.258%/°C. No other module even comes close to our temperature characteristics. That means more energy throughout the day.



25 Year Product and Performance Warranty**
Industry leading 25 year product workmanship and performance warranty is backed by a century old company- Panasonic. Power output is guaranteed to 90.76% after 25 years, far greater than other companies.



Quality and Reliability
Panasonic's vertical integration, 21 years of experience manufacturing HIT® and 20 internal tests beyond those mandated by current standards provides extreme quality assurance.



Higher Efficiency 19.4%
Enables higher power output and greater energy yields. HIT® provides maximum production for your limited roof space.



Low Degradation
HIT "N-type" cells result in extremely Low Light Induced Degradation (LID) and zero Potential Induced Degradation (PID) which supports reliability and longevity. This technology reduces annual degradation to 0.26% compare to 0.70% in conventional panels, guaranteeing more power for the long haul.



Enhanced Frame Design
A new 40mm frame increases durability and strength, being able to handle loads of up to 5400Pa. Also, the water drainage system gives rain water and snow melt a place to go, reducing water stains and soiling. Less dirt on the module means more sunlight getting through to generate power.

HIT® is a registered trademark of Panasonic Group



N325K / N320K



ELECTRICAL SPECIFICATIONS

Model	VBHN325KA03	VBHN320KA03
Rated Power (Pmax)	325W	320W
Maximum Power Voltage (Vmp)	59.2V	58.7V
Maximum Power Current (Imp)	5.50A	5.46A
Open Circuit Voltage (Voc)	70.9V	70.5V
Short Circuit Current (Isc)	5.94A	5.89A
Temperature Coefficient (Pmax)	-0.258%/°C	-0.258%/°C
Temperature Coefficient (Voc)	-0.17%/°C	-0.16%/°C
Temperature Coefficient (Isc)	3.27mA/°C	3.21mA/°C
NOCT	44.0°C	44.0°C
CEC PTC Rating (Tentative)	302.4	297.6
Cell Efficiency	21.8%	21.5%
Module Efficiency	19.4%	19.1%
Watts per Ft²	18.03W	17.8W
Maximum System Voltage	600V	600V
Series Fuse Rating	15A	15A
Warranted Tolerance (+/-)	+10%/ -0%*	+10%/ -0%*

MECHANICAL SPECIFICATIONS

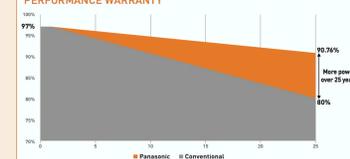
Model	VBHN325KA03, VBHN320KA03
Internal Bypass Diodes	4 Bypass Diodes
Module Area	18.02 Ft² (1.67m²)
Weight	41.89 Lbs (19kg)
Dimensions LxWxH	62.6 x 41.5 x 1.6 (1594x1053x40mm)
Cable Length +Male/-Female	40.2/40.2 in. (1020/1020 mm)
Cable Size / Type	No. 12 AWG / PV Cable
Connector Type	Multi-Contact® Type IV (MC4™)
Static Wind / Snow Load	112 PSF (5400Pa)****
Pallet Dimensions LxWxH	65.3x42.7x48.5 in. (USA) 63.7x42.2x48.4 in. (Malaysia)
Quantity per Pallet / Pallet Weight	24 pcs/1549 Lbs. (674 kg)
Quantity per 40' Container	672 pcs.
Quantity per 20' Container	288 pcs.

Operating Conditions & Safety Ratings

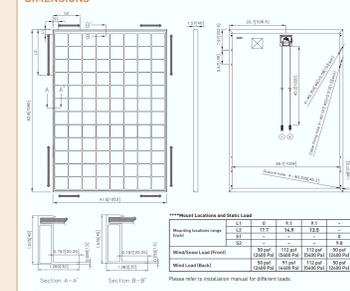
Model	VBHN325KA03, VBHN320KA03
Operating Temperature	-40°F to 185°F (-40°C to 85°C)
Hail Safety Impact Velocity	1" hailstone (25mm) at 52 mph (23m/s)
Safety & Rating Certifications	UL 1702, cUL, Certified by UL LLC, CEC, FSEC, ISO9001
UL 1703 Fire Classification	Type 2
Limited Warranty	25** Yrs Workmanship and Power Output (Linear)***
Manufacturing Locations	USA and Malaysia

NOTE: Standard Test Conditions: Air mass 1.5, irradiance = 1000W/m², cell temp. 25°C
 **Maximum power at delivery. For guarantee conditions, please check our guarantee document.
 ***Installation needs to be registered through our website: www.panasonicamericas.com within 60 days in order to receive twenty-five (25) year Product workmanship. Otherwise, Product Workmanship will be only fifteen (15) years.
 ****1st year: 97%, after 2nd year: 0.26% annual degradation to year 25.
 *STC: Cell temp. 25°C, AM1.5, 1000W/m²
 *Safety locking clip (PV-SSM) is not supplied with the module.
 NOTE: Specifications and information above may change without notice.

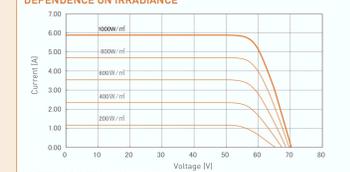
PERFORMANCE WARRANTY



DIMENSIONS



DEPENDENCE ON IRRADIANCE



Reference data for model: VBHN325KA03 (Cell temperature: 25°C)
 ⚠️ CAUTION! Please read the installation manual carefully before using the products. Used electrical and electronic products must not be mixed with general household waste. For proper treatment, recovery and recycling of old products, please take them to applicable collection points in accordance with your national legislation.



Panasonic Eco Solutions of North America
 Two Riverfront Plaza, 5th Floor, Newark, NJ 07102
 panasonichit@us.panasonic.com
 na.panasonic.com/us/solarpanels

All Rights Reserved © 2019 COPYRIGHT Panasonic Corporation
 Specifications are subject to change without notice
 092017

RS1747405_3_14_19



pv module specifications

ROOFTOP SOLAR ARRAY
 6.83 KW DC, 7.6 KW AC

OWNER:	VON DER GROEBEN, BARBARA
SITE ADDRESS:	132 MAIN ST
CITY, STATE, ZIP:	NANTUCKET, MA 02554
MAP: 4233	PARCEL: 45

MM/DD/YY	REVISIONS	REMARKS
1 9/16/2020	SUBMITTED FOR HDIC & PERMITTING REVIEW.	
2		
3		
4		
5		

PV 04