

1. No Meeting Agenda

There is no agenda available for this meeting. Please view the minutes.

1.1. Old Business 10-05-2020

Documents:

10 DELANEY RD POOL NB FOR 10-5-20 TRACK WITH ND.PDF  
10 DELANEY RD SHED FOR OB 10-5-20 TRACK WITH ND.PDF  
11 DAVIS LANE - CABANA - OB SUB FOR 10-05-2020.PDF  
11 DAVIS LANE - POOL SPA - OB SUB FOR 10-05-2020.PDF  
28 EEL POINT RD - SPORTS COURT - OB SUB FOR 10-05-2020.PDF  
30 CANNONBURY - NEW DWELLING - OB REV 10-05-20.PDF  
31 SHELL ST - HARDSCAPE - OB SUB FOR 10-05-20.PDF  
38 PROSPECT - 2ND DWELLING - OB SUB FOR 10-05-20.PDF  
45 HULBERT - BEACH SIDE REVIEW - OB SUB FOR 10 05.PDF  
45 HULBERT - NEW DWELLING REVISIONS - OB SUB FOR 10 05.PDF  
45 W CHESTER - SHED - OB SUB FOR 10-05-2020.PDF  
59R POLPIS RD - NEW DWELLING - OB SUB FOR 10-05-20.PDF  
100 LOW BEACH RD - NEW POOL HOUSE - OB SUB 10 05 2020.PDF  
5 SOUTH WATER STREET - 2ND AND 3RD FL ADDITION - OB SUB FOR 10-05-20.PDF  
7 CANNONBURY LANE - NEW DWELLING - OB SUB FOR 10-05-20.PDF  
8 CENTER STREET - FOR OB 10-05-20.PDF  
8 SHEEP POND ROAD - POOL - OB SUB FOR 10-05-20.PDF  
10 BEACH STREET - DEMO - OB SUB FOR 10-05-20.PDF  
10 BEACH STREET - NEW DWELLING - OB SUB FOR 10-05-20.PDF  
10 DELANEY RD NEW DWELLING OB FOR 10-5-20.PDF

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 120  
 Street & Number of Proposed Work: 10 Delaney Rd Lot C  
 Owner of record: ARI Real Estate LLC  
 Mailing Address: 17 Smiths Pt  
Manchester MA 01944  
 Contact Phone # 508 954 4531 E-mail: john.d.lampe@yahoo.com

#### AGENT INFORMATION (if applicable)

Name: \_\_\_\_\_  
 Mailing Address: \_\_\_\_\_  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 26' Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 13' Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
 Original Builder: \_\_\_\_\_ 3. West Elevation  
 Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

#### Leaders (material and size):

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
 Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
 Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

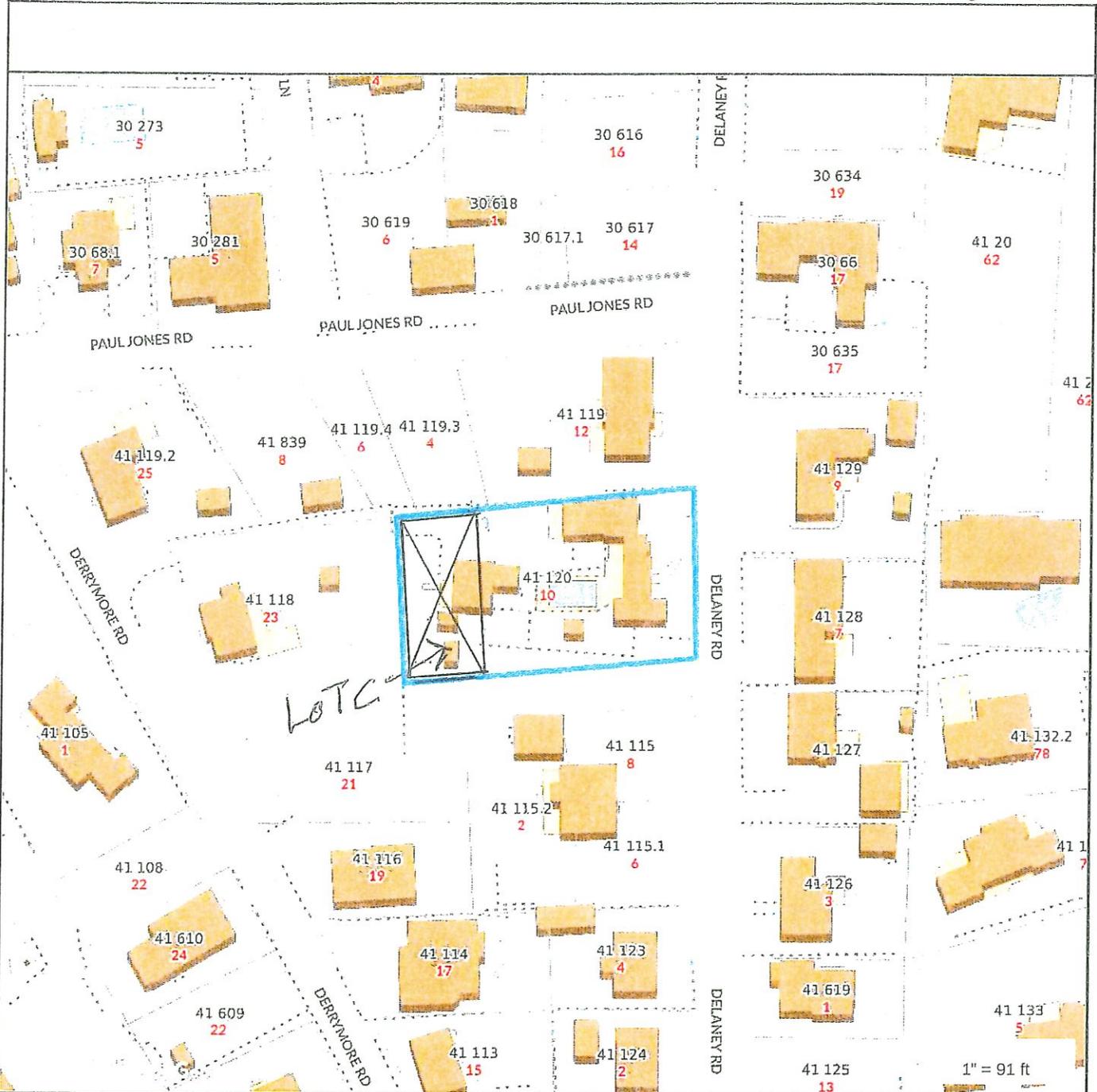
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 8/20/20

Signature of owner of record [Signature]

Signed under penalties of perjury



**Property Information**  
 Property ID 41 120  
 Location 10 DELANEY RD  
 Owner ARI REAL ESTATE LLC



**MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.  
 Geometry updated 11/13/2018  
 Data updated 11/19/2018



# HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road  
Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Email: [hdcsubmissions@nantucket-ma.gov](mailto:hdcsubmissions@nantucket-ma.gov)

## COMMISSIONERS

Ray Pohl  
Chairman

Diane Coombs  
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

## ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

## STAFF

Cathy Flynn  
Land Use Specialist  
[cflynn@nantucket-ma.gov](mailto:cflynn@nantucket-ma.gov)

## Waiver of the HDC 10 Day Hearing Requirement

I John Lampe  
AS AGENT FOR ARI Real Estate LLC  
STREET ADDRESS 10 Delaney Rd Lot C  
MAP/PARCEL 41-120

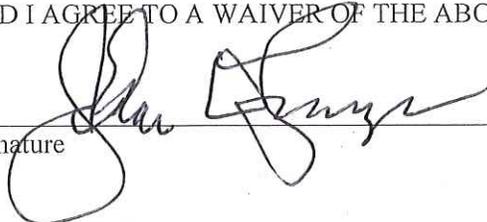
UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON

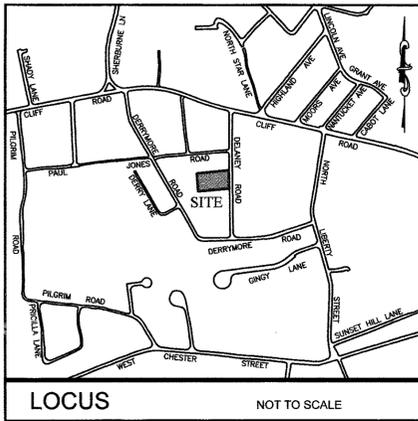
8/20/20

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

**SECTION 8 of the HDC enabling legislation: ... The Commission shall meet within ten (10) days of the receipt of an application for a certificate of appropriateness or permit for removal...**

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

Signature  Date 8/20/20



**LEGEND**

- CONCRETE BOUND TO BE SET
- CONCRETE BOUND (FOUND)
- X- FENCE

**CURRENT OWNER & APPLICANT**

ARI REAL ESTATE, LLC.  
17 SMITHS POINT ROAD  
MANCHESTER, MA 01944

TITLE REFERENCE:  
L.C. CERT. #27259

PLAN REFERENCES:  
L.C. PLAN #13199-M (LOT 28)  
L.C. PLAN #13199-25 (PARCELS B & C)

SITE LOCATION:  
10 DELANEY ROAD  
NANTUCKET, MA

ASSESSORS REFERENCE:  
MAP 41, PARCEL 120

ZONING REQUIREMENTS				
ZONING DISTRICT: RESIDENTIAL 1 (R-1)				
	REQUIRED	PROVIDED		
		LOT 1	LOT 2	LOT 3
LOT AREA	5,000 S.F.	7,249 S.F.	7,251 S.F.	7,270 S.F.
LOT FRONTAGE	50 FT.	63.21 FT.	63.20 FT.	62.09 FT.
FRONT YARD SETBACK	10 FT.	36.94 FT.	-	-
REAR YARD SETBACK	5 FT.	7.86 FT.	-	-
SIDE YARD SETBACK	5 FT.	6.96 FT.	-	-
MAX. GROUND COVER RATIO	30 %	21.9 %	-	-
REGULARITY FACTOR "R"	≥0.55	0.91	0.91	0.91

REGULARITY FACTOR CALCULATIONS INCLUDE ENTIRE AREA AND PERIMETER.

OVERLAY DISTRICT APPLICABILITY	
TOWN	YES
TOWN SEWER	YES

**NOTES:**

- THIS PLAN REPRESENTS A SUBDIVISION OF MAP 41, PARCEL 120 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE TOWN OF NANTUCKET.
- THIS PLAN REPRESENTS A SUBDIVISION OF LOT 28 ON LAND COURT PLAN 13199-M AND PARCELS B AND C SHOWN ON PLAN NO. 13199-25.
- THE SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 250230 0086 G (EFFECTIVE DATE JUNE 9, 2014).
- THIS PLAN AND THE ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ADJUTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

J. MARCKLINGER & ASSOCIATES, INC.  
PROFESSIONAL LAND SURVEYORS  
P.O. BOX 896  
NANTUCKET, MA 02554  
(310) 945-7054



**SITE DESIGN ENGINEERING, LLC.**  
11 CUSHMAN STREET  
MIDDLEBORO, MA 02346  
T: 508-967-0673 F: 508-967-0674  
WWW.SDE-LDEC.COM

NO.	DATE	DESCRIPTION	APPROVED
2.	1/29/20	REVISED PER FIRE DEPARTMENT COMMENTS	DCM
1.	11/25/19	REVISED PER PEER REVIEW COMMENTS	DCM

DATE: JULY 16, 2018  
DRAWN BY: AME/SKD CHECK BY: DCM/JEM  
PROJECT NO. 16111

ISSUED FOR: APPROVAL



**DEFINITIVE SUBDIVISION PLAN**  
**RELiance WAY SUBDIVISION**

10 DELANEY ROAD  
ASSESSOR'S MAP 41, PARCELS 120  
NANTUCKET, MASSACHUSETTS

PREPARED FOR ARI REAL ESTATE, LLC.

I CERTIFY THAT AS OF THE DATE OF THIS SURVEY, THE MONUMENTS CONTROLLING PRIOR PLANS ARE IN THE GROUND AS SHOWN AND DESCRIBED HEREON. I FURTHER CERTIFY THAT ANY ADDITIONAL MONUMENTS SHOWN HEREON HAVE BEEN SET IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2006 AS OF THE DATE OF THIS SURVEY.

I FURTHER CERTIFY THAT THIS PLAN WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2006 ON OR BETWEEN 9/22/16 AND 12/6/19.

*Joseph Marcklinger*  
PROFESSIONAL LAND SURVEYOR 1/29/20 DATE

"I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE NANTUCKET PLANNING BOARD WAS RECEIVED AND RECORDED **NOVEMBER 5, 2018**. AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE."  
**APPEAL DISMISSED APRIL 25, 2019**

*Laura L. Raimo* 2/10/2020 DATE  
ASST. TOWN CLERK, NANTUCKET, MA

NANTUCKET PLANNING BOARD  
APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

APPROVED (DATE): SEPTEMBER 10, 2018

ENDORSED (DATE): 12-09-2019

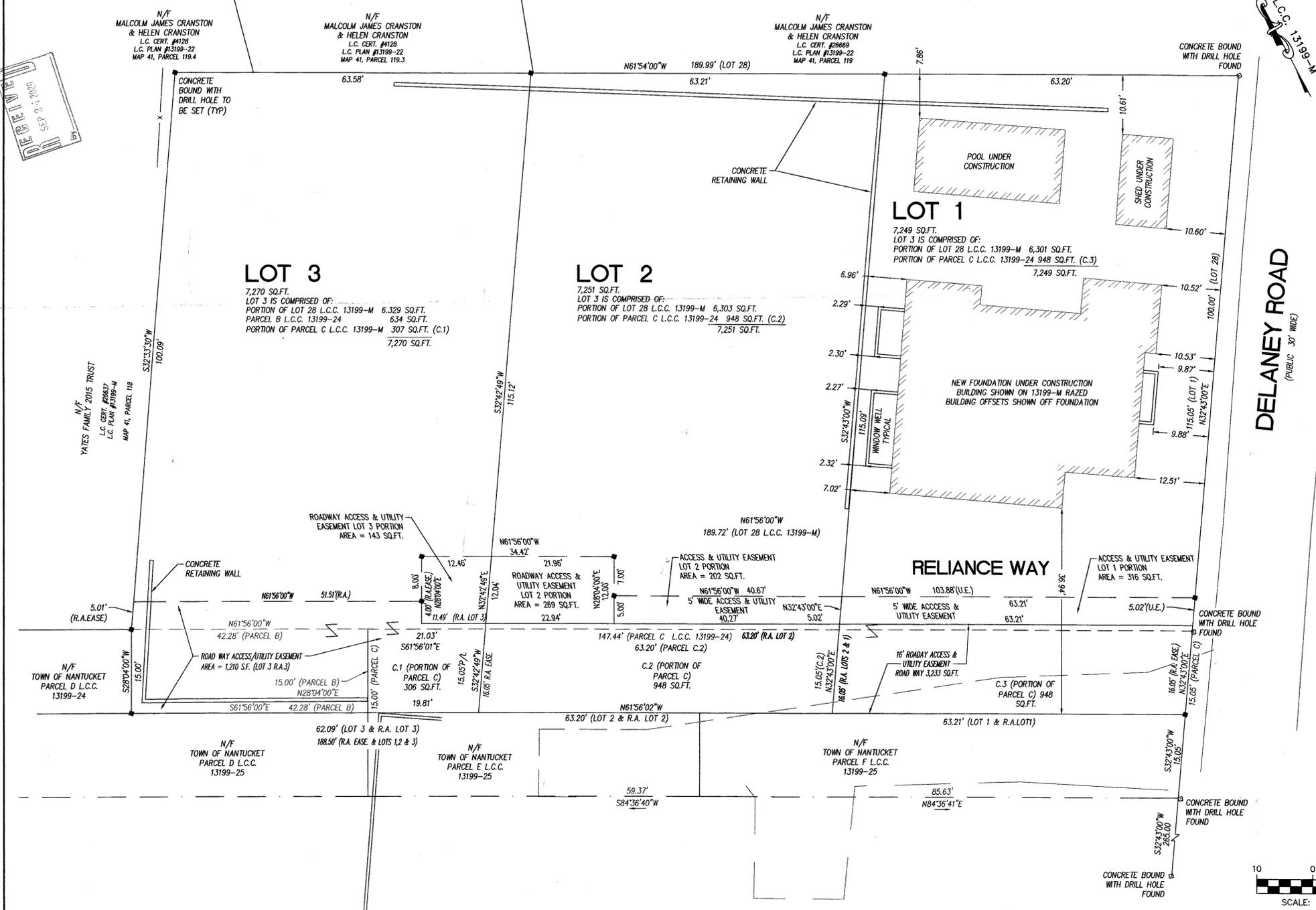
P.B. FILE NUMBER: 8254

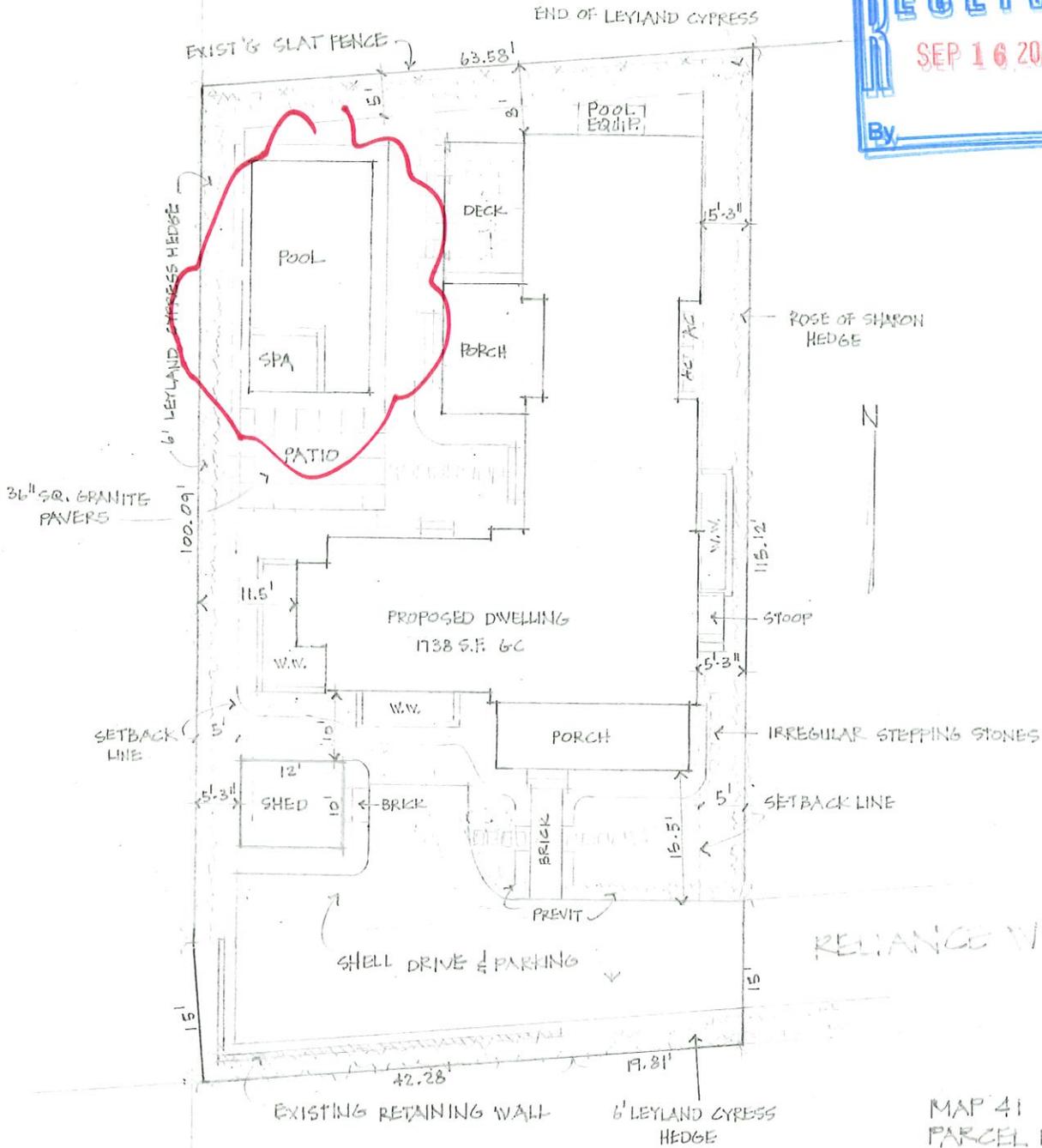
*John Negus*  
*Nathaniel*  
*Frank McChase*

DRAWING TITLE: LOTTING PLAN

SCALE: 1"=10'

SHEET NO. 2 OF 4





SITE PLAN LOT C

1"=10'

MAP 41  
PARCEL 140



















LIGHTSHIP LN



Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

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**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 41 PARCEL N<sup>o</sup>: 120

Street & Number of Proposed Work: \_\_\_\_\_

Owner of record: ARI Real Estate LLC

Mailing Address: 17 Smith's Point Rd

Manchester MA 01944

Contact Phone #: 5089544531 E-mail: johnhd@amjpe@yahoo.com

**AGENT INFORMATION (if applicable)**

Name: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Must be acted on by: \_\_\_\_\_

Extended to: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Garage/Apartment
- Commercial
- Historical Renovation
- Deck
- Steps
- Shed
- Color Change
- Fence
- Gate
- Paving
- Move Building
- Demolition
- Revisions to previous Cert. No. \_\_\_\_\_
- Roof
- Other

Size of Structure or Addition: Length: 12' Sq. Footage 1st floor: 120 SF Decks: Size: \_\_\_\_\_  1st floor  2nd floor

Width: 10' Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor

Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 12'-6" South 12'-6" East 12'-6" West 12'-6"

Height of ridge above final finish grade: North 0" South 0" East 0" West 0"

**Additional Remarks**

**REVISIONS\***  
(describe)

Historic Name: \_\_\_\_\_ 1. East Elevation

Original Date: \_\_\_\_\_ 2. South Elevation

Original Builder: \_\_\_\_\_ 3. West Elevation

Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 10/12 Secondary Mass 1/12 Dormer 1/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): Copper 2"φ

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) 1x4 Corner boards 5/4x6 Frieze \_\_\_\_\_

Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other fixed transom 4 lite  
 True Divided Lights(muntins)  SDL's (Simulated Divided Lights) Manufacturer Anderson 400 series

Doors\* (type and material): Front 4 lite / 1 panel Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type WOOD Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall nat'l white cedar Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_

Trim white Sash white Doors white

Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 9/16/20

Signature of owner of record \_\_\_\_\_

Signed under penalties of perjury



# HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road  
Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Email: [hdcsubmissions@nantucket-ma.gov](mailto:hdcsubmissions@nantucket-ma.gov)

## COMMISSIONERS

Ray Pohl  
Chairman

Diane Coombs  
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

## ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

## STAFF

Cathy Flynn  
Land Use Specialist  
[cflynn@nantucket-ma.gov](mailto:cflynn@nantucket-ma.gov)

## Waiver of the HDC 10 Day Hearing Requirement

I John Lampe  
<sup>owner</sup>  
AS AGENT FOR ARI Real Estate LLC  
STREET ADDRESS Lot C Reliance Way  
MAP/PARCEL 41 - 120

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON

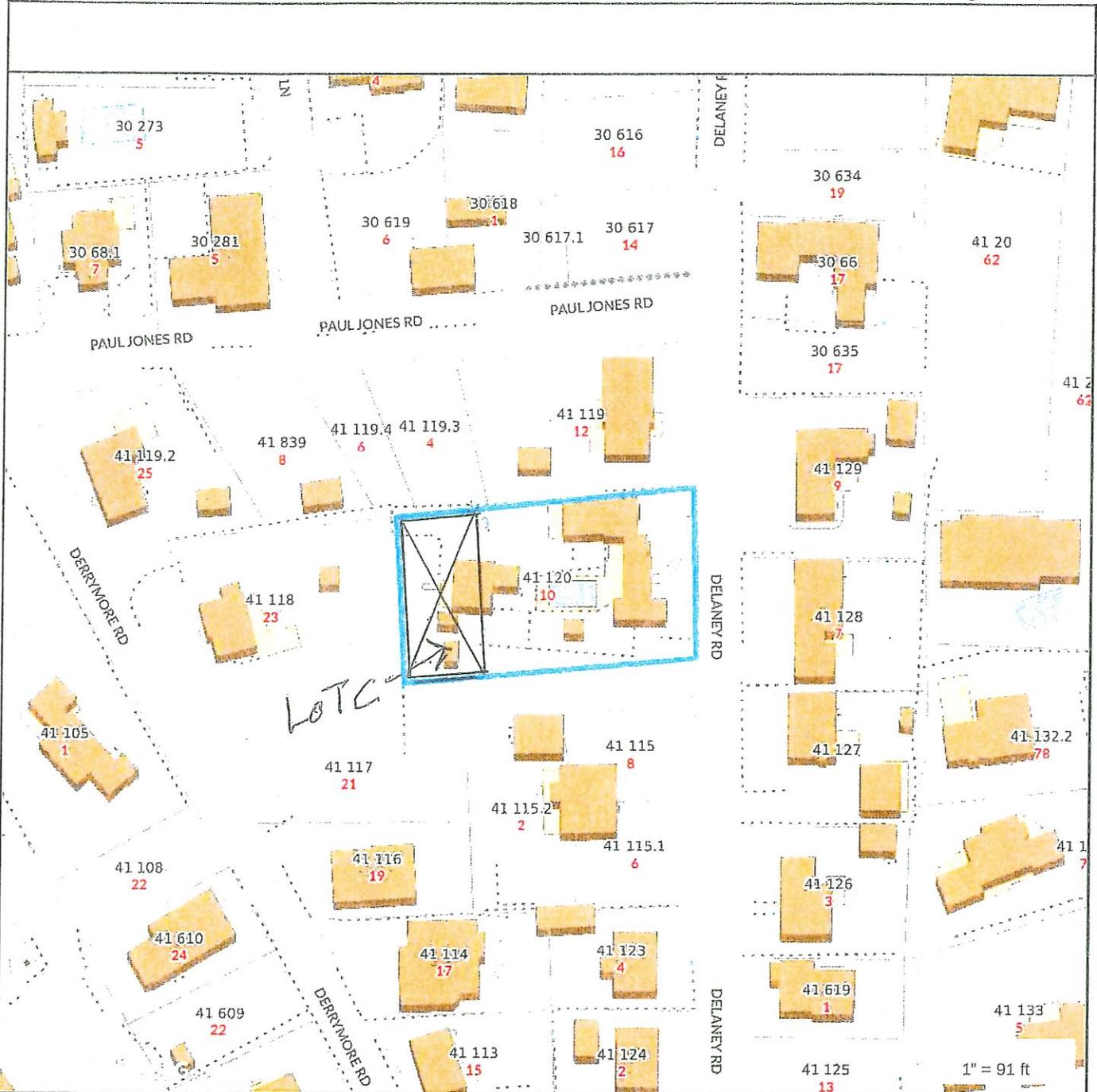
9/16/20

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

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AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

John Lampe Signature Date 9/16/20



**Property Information**

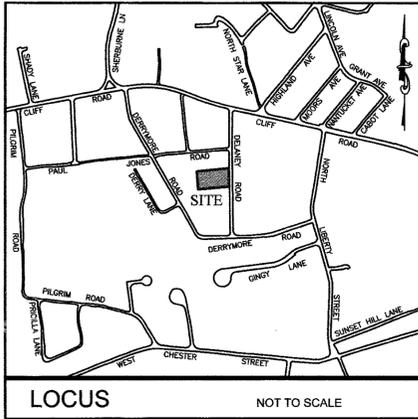
Property ID 41 120  
 Location 10 DELANEY RD  
 Owner ARI REAL ESTATE LLC



**MAP FOR REFERENCE ONLY  
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Geometry updated 11/13/2018  
 Data updated 11/19/2018



**LEGEND**

- CONCRETE BOUND TO BE SET
- CONCRETE BOUND (FOUND)
- x- FENCE

**CURRENT OWNER & APPLICANT**

ARI REAL ESTATE, LLC.  
17 SMITHS POINT ROAD  
MANCHESTER, MA 01944

**TITLE REFERENCE:**  
L.C. CERT. #27259

**PLAN REFERENCES:**  
L.C. PLAN #13199-M (LOT 28)  
L.C. PLAN #13199-25 (PARCELS B & C)

**SITE LOCATION:**  
10 DELANEY ROAD  
NANTUCKET, MA

**ASSESSORS REFERENCE:**  
MAP 41, PARCEL 120

ZONING REQUIREMENTS				
ZONING DISTRICT: RESIDENTIAL 1 (R-1)				
	REQUIRED	PROVIDED		
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LOT AREA	5,000 S.F.	7,249 S.F.	7,251 S.F.	7,270 S.F.
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REAR YARD SETBACK	5 FT.	7.86 FT.	-	-
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MAX. GROUND COVER RATIO	30 %	21.9 %	-	-
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REGULARITY FACTOR CALCULATIONS INCLUDE ENTIRE AREA AND PERIMETER.

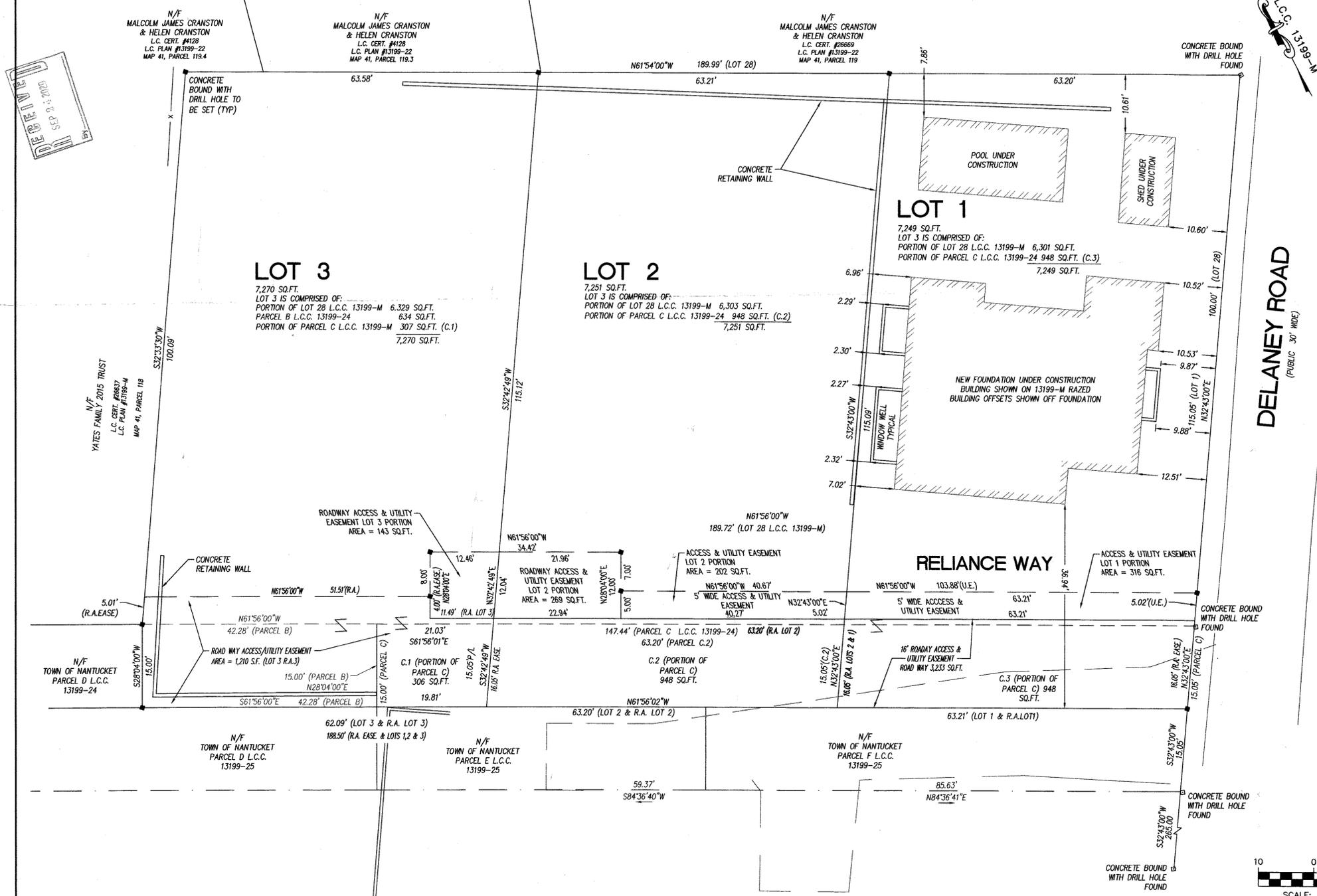
OVERLAY DISTRICT APPLICABILITY	
TOWN	YES
TOWN SEWER	YES

- NOTES:**
- THIS PLAN REPRESENTS A SUBDIVISION OF MAP 41, PARCEL 120 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE TOWN OF NANTUCKET.
  - THIS PLAN REPRESENTS A SUBDIVISION OF LOT 28 ON LAND COURT PLAN 13199-M AND PARCELS B AND C SHOWN ON PLAN NO. 13199-25.
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T: 508-967-0673 F: 508-967-0674  
WWW.SDE-LDEC.COM

NO.	DATE	DESCRIPTION	APPROVED
2.	1/29/20	REVISED PER FIRE DEPARTMENT COMMENTS	DCM
1.	11/25/19	REVISED PER PEER REVIEW COMMENTS	DCM



I CERTIFY THAT AS OF THE DATE OF THIS SURVEY, THE MONUMENTS CONTROLLING PRIOR PLANS ARE IN THE GROUND AS SHOWN AND DESCRIBED HEREON. I FURTHER CERTIFY THAT ANY ADDITIONAL MONUMENTS SHOWN HEREON HAVE BEEN SET IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2006 AS OF THE DATE OF THIS SURVEY.

I FURTHER CERTIFY THAT THIS PLAN WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2006 ON OR BETWEEN 9/22/16 AND 12/6/19.

*Joseph Marcklinger* 1/29/20  
PROFESSIONAL LAND SURVEYOR DATE

"I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE NANTUCKET PLANNING BOARD WAS RECEIVED AND RECORDED NOVEMBER 6, 2019. AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE."  
**APPEAL DISMISSED APRIL 25, 2019**

*Laura L. Raimo* 2/10/2020  
ASST. TOWN CLERK, NANTUCKET, MA DATE

NANTUCKET PLANNING BOARD  
APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

APPROVED (DATE): SEPTEMBER 10, 2018

ENDORSED (DATE): 12-09-2019

P.B. FILE NUMBER: 8254

*John Negus*  
*Nathaniel*  
*Frank McChase*

DATE: JULY 16, 2018  
DRAWN BY: AME/SKD CHECK BY: DCM/JEM  
PROJECT NO. 16111  
ISSUED FOR: APPROVAL



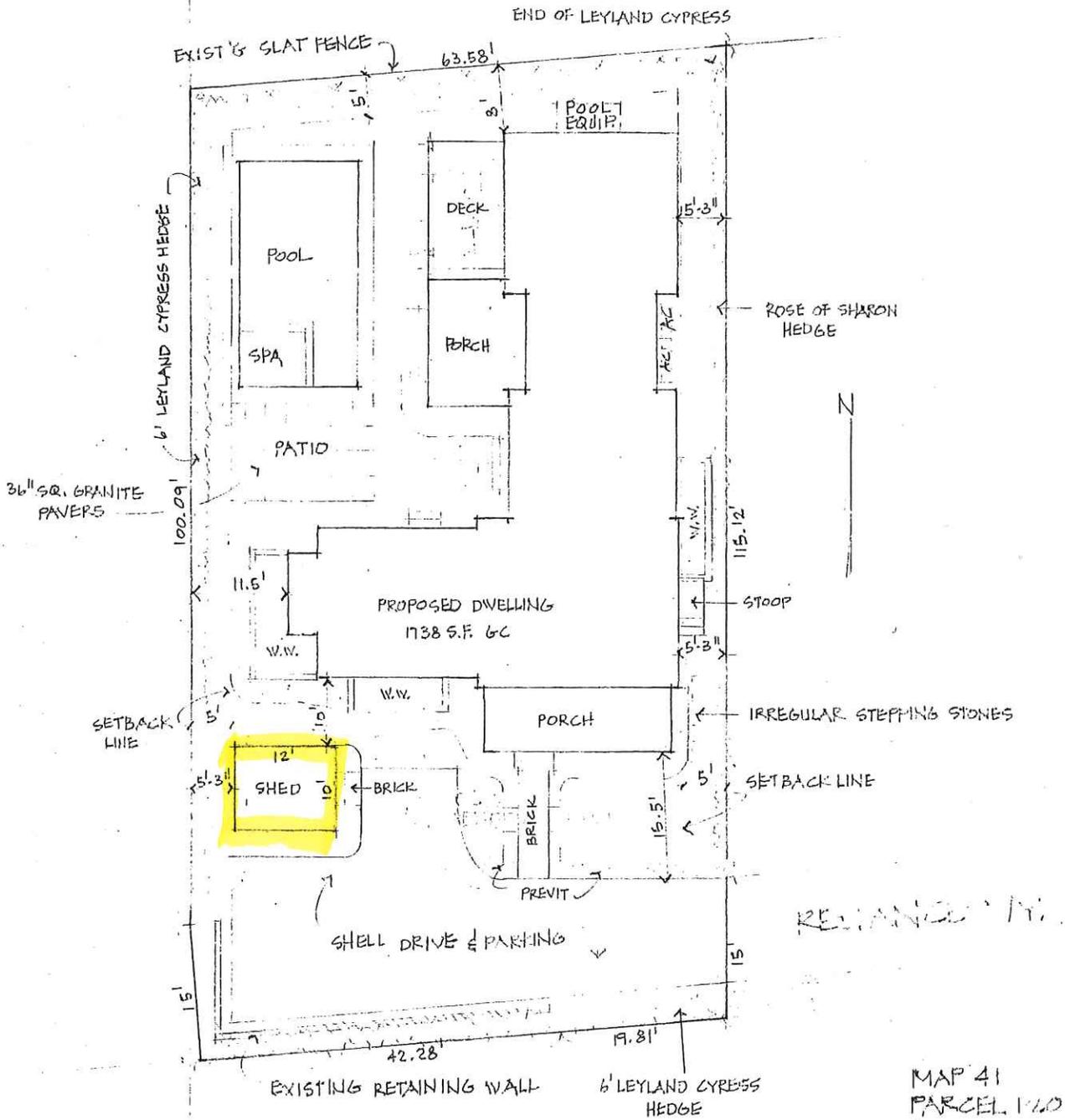
**DEFINITIVE SUBDIVISION PLAN**  
**RELiance WAY SUBDIVISION**

10 DELANEY ROAD  
ASSESSOR'S MAP 41, PARCELS 120  
NANTUCKET, MASSACHUSETTS

PREPARED FOR ARI REAL ESTATE, LLC.

DRAWING TITLE:  
**LOTING PLAN**

SCALE: **1"=10'**  
SHEET NO. **2 of 4**

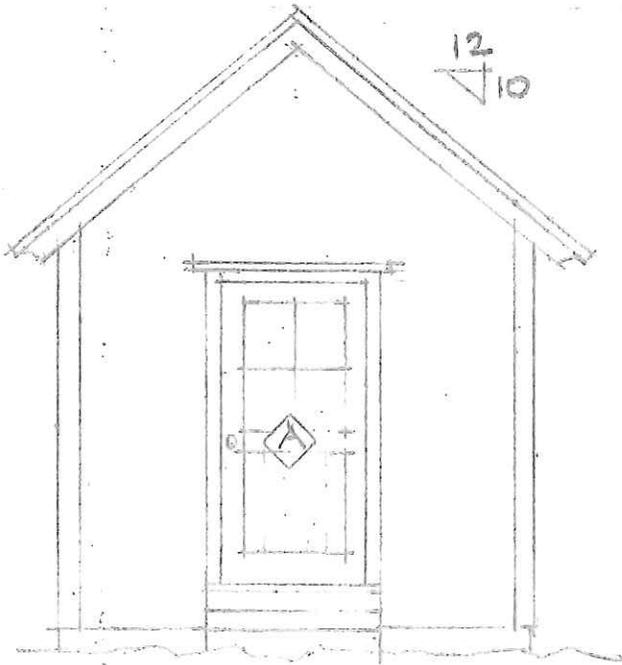


SITE PLAN LOT C  
 1"=10'

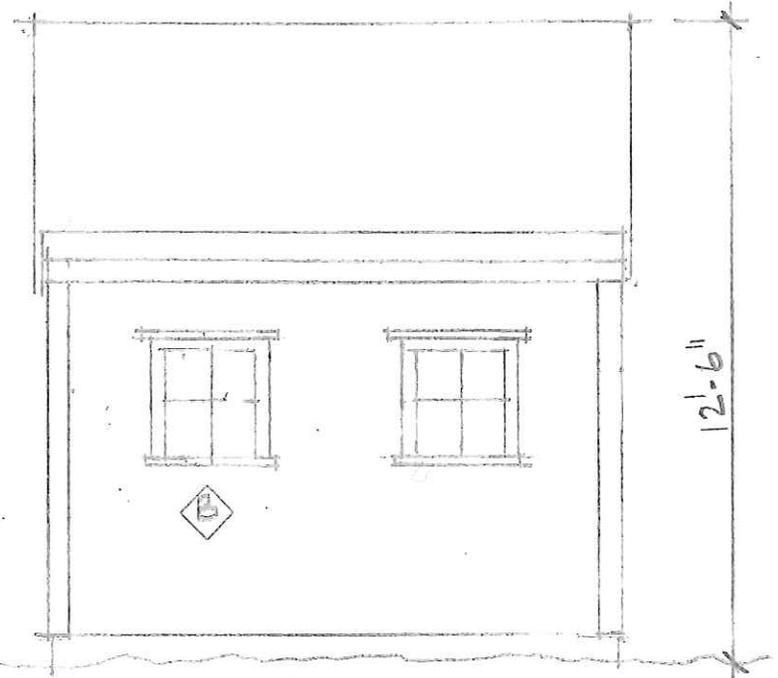
MAP 41  
 PARCEL 170

⬡ 3°x6° 39" x 81" RO

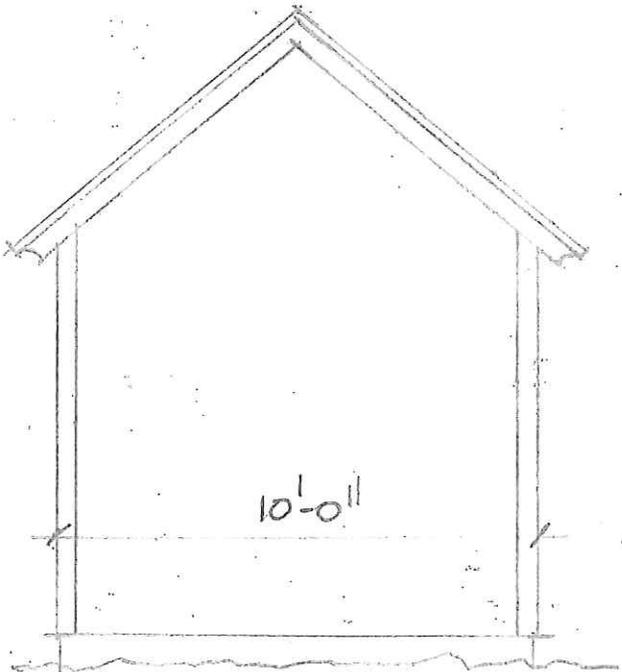
⬡ TR 18111 22" x 26" RO



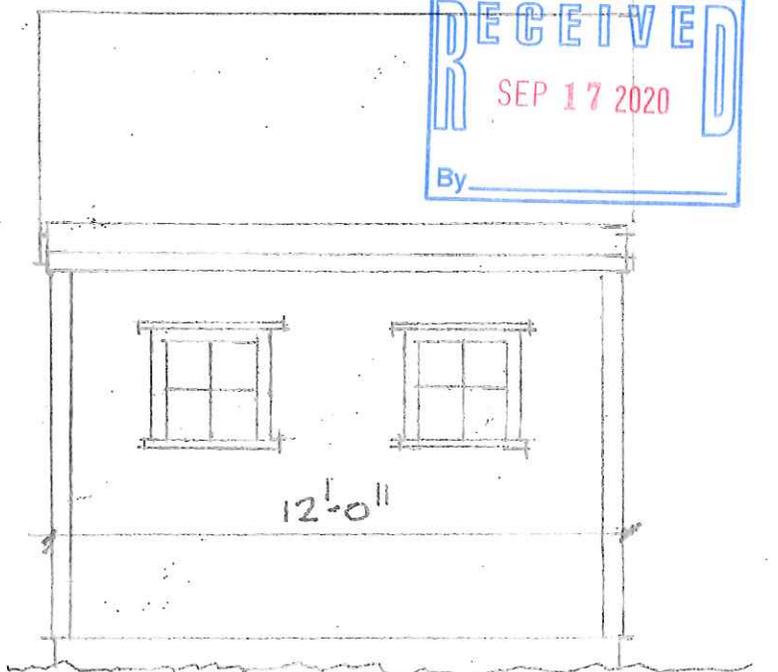
EAST ELEV.



NORTH ELEV.



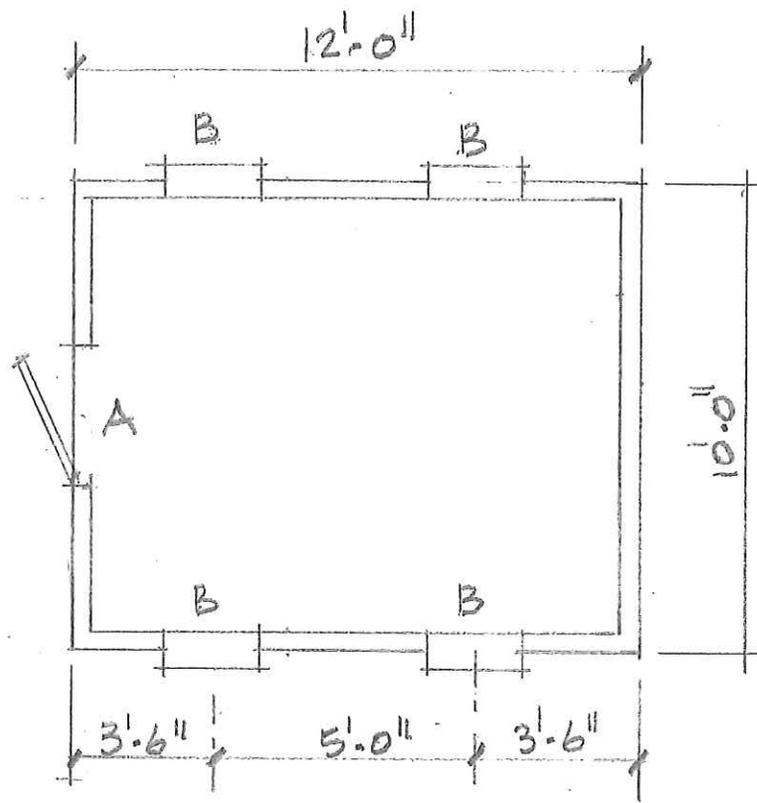
WEST ELEV.



SOUTH ELEV.

SHED

LOT C RELIANCE WY.



FLOOR PLAN

$\frac{1}{4}'' = 1'-0''$

SHED  
 LOT C RELIANCE WAY

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 82 PARCEL N°: 75  
Street & Number of Proposed Work: 11 DAVIS LN  
Owner of record: 11 DAVIS LLC  
Mailing Address: 11 DAVIS LN  
NANTUCKET, MA, 02554  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: EMERITUS  
Mailing Address: 8 WILLIAMS LN  
NANTUCKET, MA, 02554  
Contact Phone #: 508 325 4995 E-mail: MATT@EMERITUS  
DEVELOPMENT.COM

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

CABANA  
 New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other POOL HOUSE / CABANA  
Size of Structure or Addition: Length: 13'0" Sq. Footage 1st floor: 48 SF Decks/Patio: Size: #250 SF  1st floor  2nd floor  
Width: 3'8" Sq. Footage 2nd floor: N/A Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: N/A  
Difference between existing grade and proposed finish grade: North +6" South +6" East +6" West +6"  
Height of ridge above final finish grade: North +16'11" South +16'11" East +16'11" West +16'11"

**Additional Remarks**

**REVISIONS\***

- 1. East Elevation
- 2. South Elevation
- 3. West Elevation
- 4. North Elevation

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_ (describe)  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed ±8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) N/A  Other \_\_\_\_\_  
Roof Pitch: Main Mass 12/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR  
Skylights (flat only): Manufacturer N/A Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): COPPER  
Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) ±10" Corner boards N/A Frieze 1x4  
Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round \_\_\_\_\_ Square Tapered 5 1/4" x 1 1/4"  
Windows\*:  Double Hung  Casement  All Wood  Other FIXED  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
Doors\* (type and material):  TDL  SDL  Panel Front \_\_\_\_\_ Rear \_\_\_\_\_ Side 1 panel  
Garage Door(s): Type N/A Material \_\_\_\_\_  
Hardscape materials: Driveways N/A Walkways N/A Walls N/A

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall NATURAL Clapboard (if applicable) N/A Roof NATURAL  
Trim WHITE Sash WHITE Doors WHITE  
Deck NATURAL Foundation NATURAL Fence N/A Shutters N/A

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.  
Date 03/04/20 Signature of owner of record \_\_\_\_\_ Signed under penalty of perjury \_\_\_\_\_

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 ½ x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 ½ x 11
	<u>Electronic Submission</u> : ALL documents <b>MUST BE</b> scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

**\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

### **Affidavit Certifying Completeness of Application**

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: Anton Dimov Date: \_\_\_\_\_

HDC Meeting Date: September 24th , 2020.

11 Davis Ln

Emeritus Development

Map 82; Parcel 75

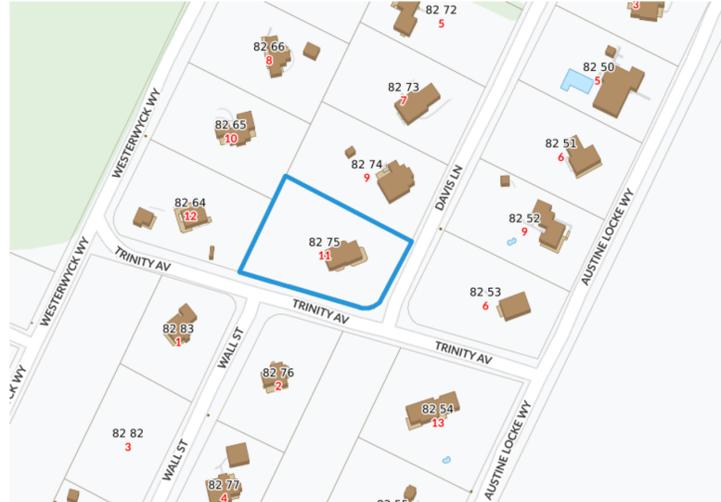
New Cabana

OLD

# Cabana

11 Davis Ln  
Nantucket, MA 02554

10.01.20



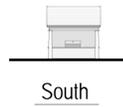
1 Locus Map  
Not to Scale



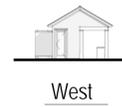
Door Legend  
1/4" = 1'-0"

#### WINDOW & DOOR NOTES

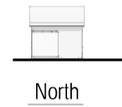
1. Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
2. Windows w/ DP Rating of 30 or Greater Required
3. Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
4. Refer To Plan For Tempered Glass Locations; Contrator To Verify Tempered Windows Are Provided Where Required
5. Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
6. General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
7. General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
8. Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
9. Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
10. The Unit Measurements Given In This Document Are For A Guide Only
11. Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



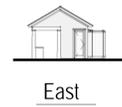
South



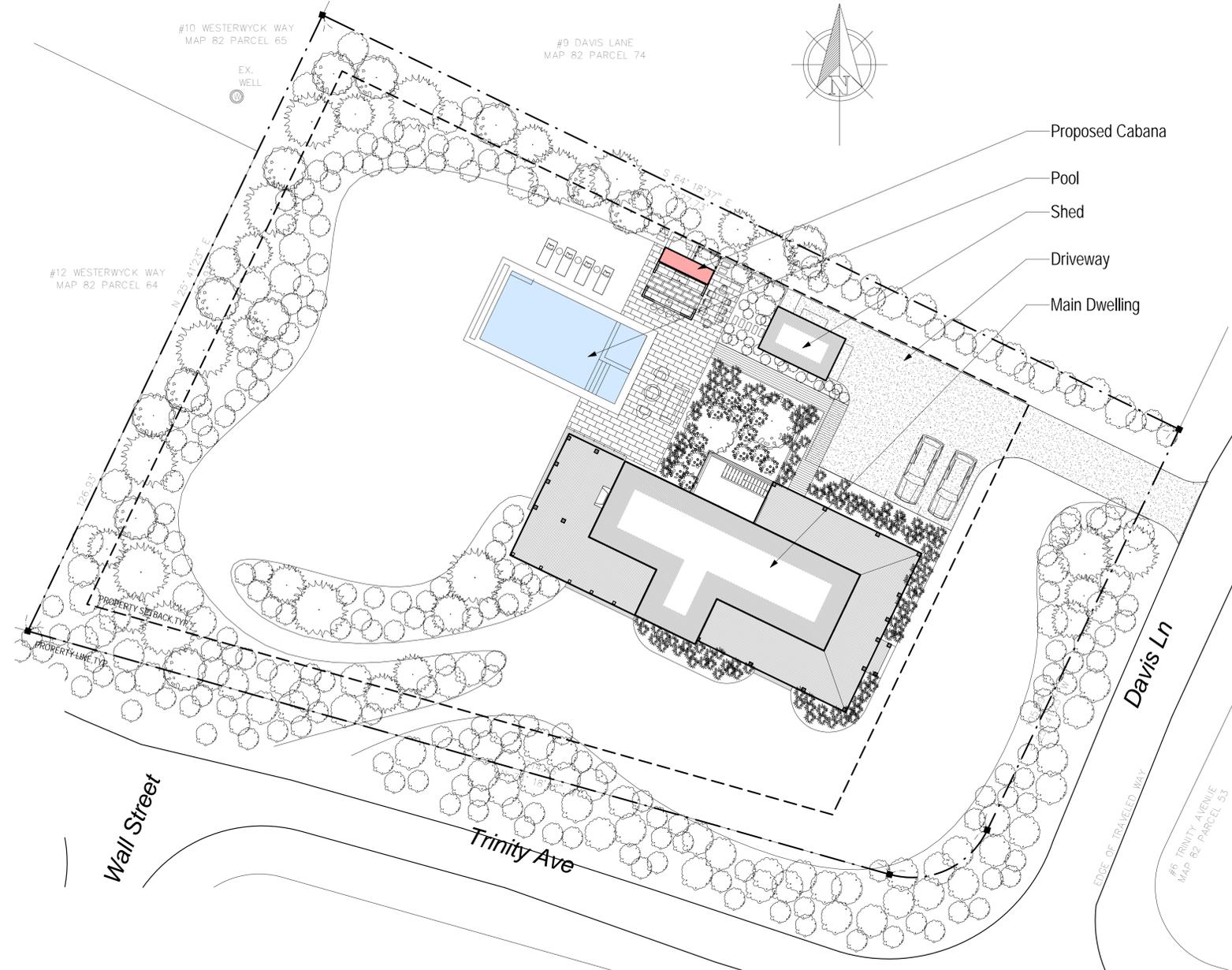
West



North



East



3 Site Plan  
1/16" = 1'-0"

2004

Cabana

11 Davis Ln  
Nantucket, MA 02554



Cover Sheet

#### Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq.ft.
Min. Lot Size:	80,000 sq.ft.
Allowable G.C.:	1,500 sq.ft. (per 139-33E(1b))
Existing G.C.:	1,351 sq.ft. (to be demolished)
Proposed G.C.:	42 sq.ft.
Total Proposed G.C.:	1,490 sq.ft.

Information for this site plan was taken from the Nantucket C.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

#### SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 Floor Plan & Elevations

Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.  
DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

G.1.1  
2004

HDC Submission Only / For Review

10.01.20

HDC Submission Only / For Review

2004

Cabana

11 Davis Ln  
Nantucket, MA 02554



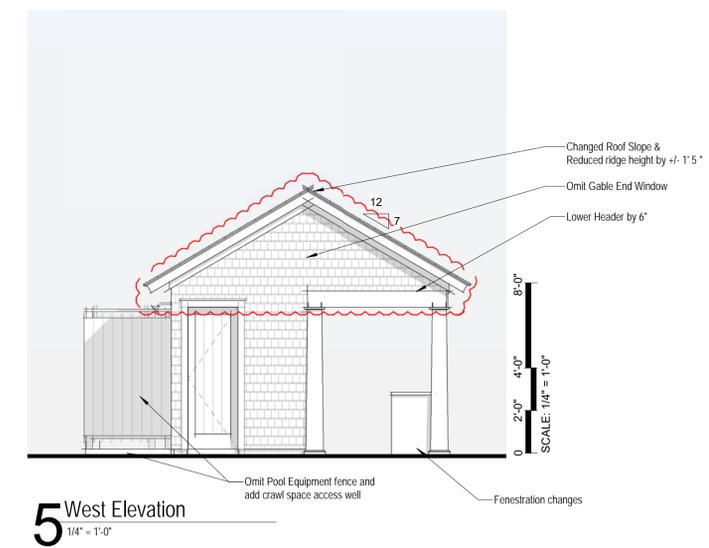
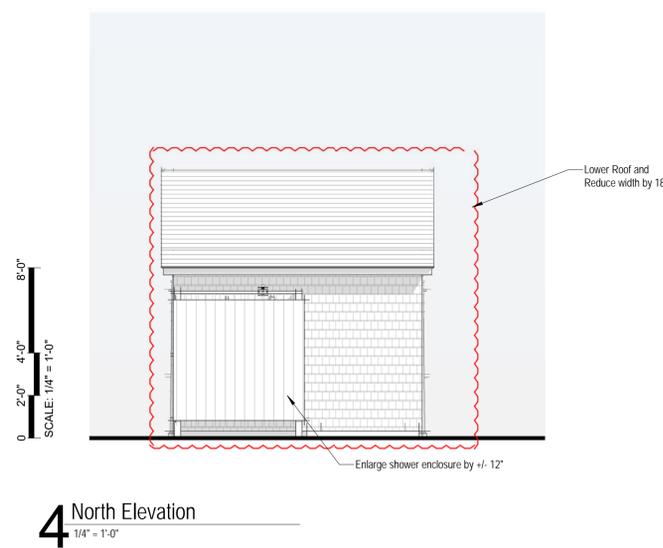
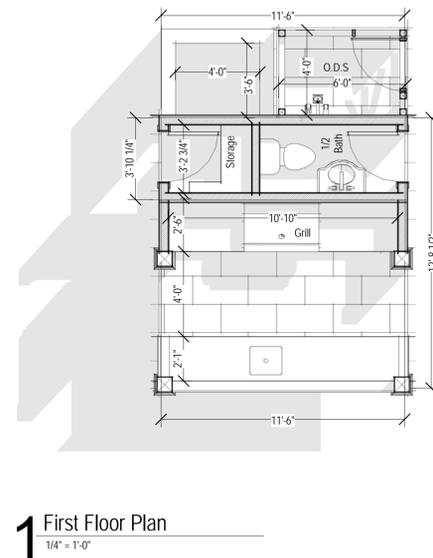
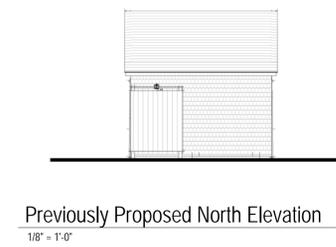
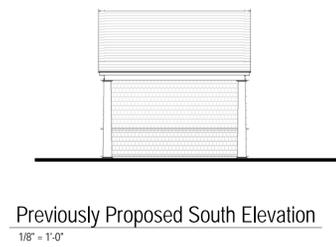
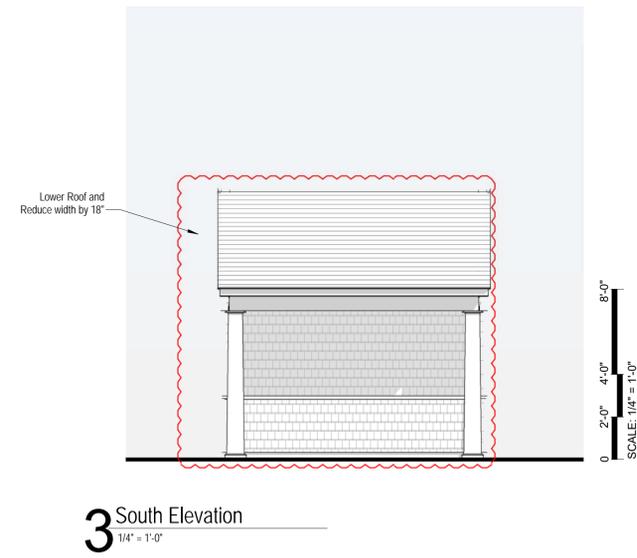
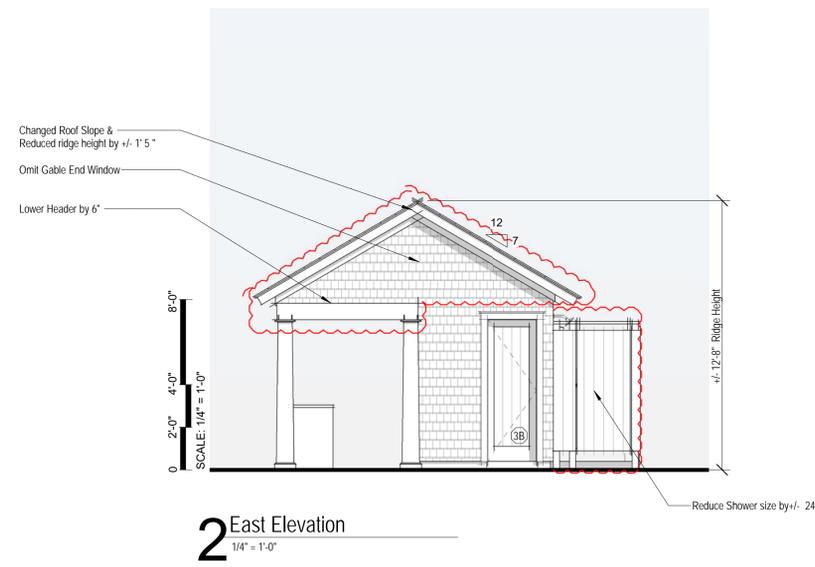
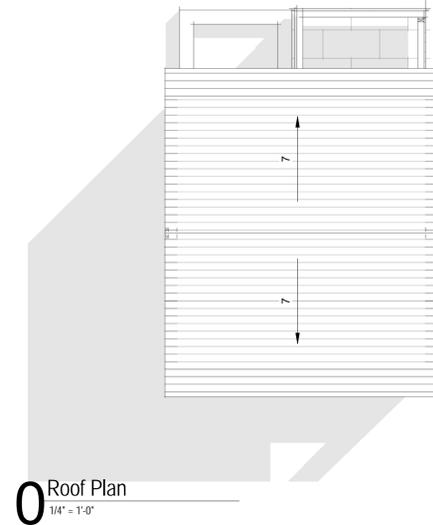
Floor Plan & Elevations

Site Information

Map & Parcel: 82 / 75  
 Current Zoning: LUG - 2  
 Minimum Frontage: 150 ft.  
 Front Setback: 35 ft.  
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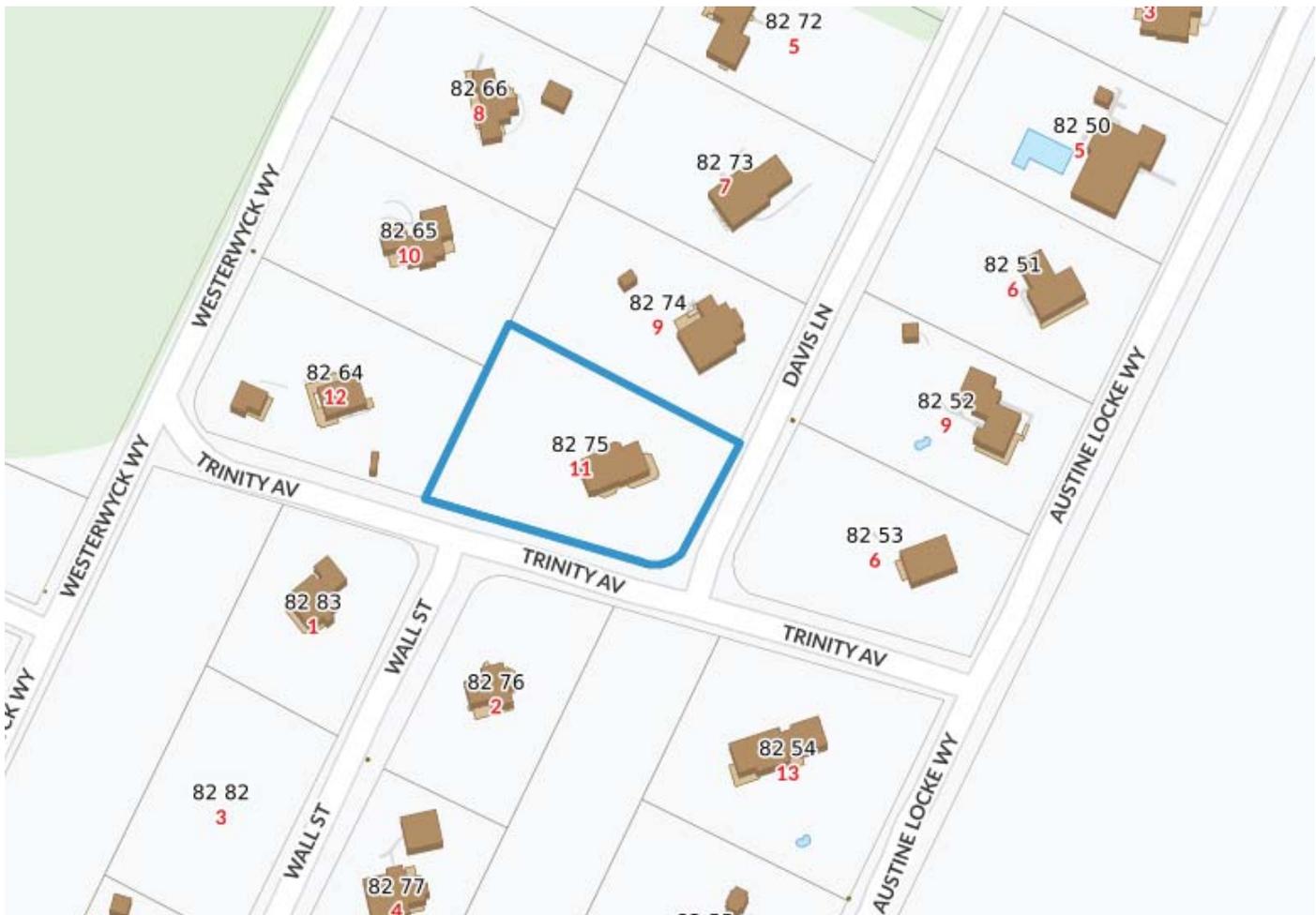
A.1.1  
2004

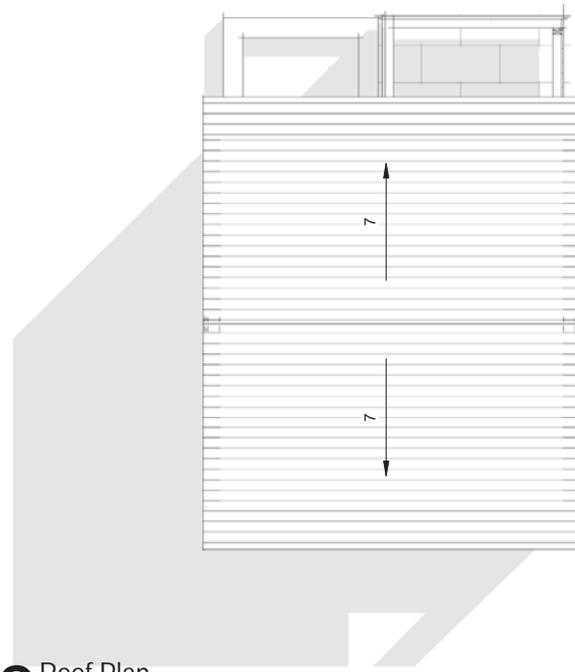
# Cabana

11 Davis Ln

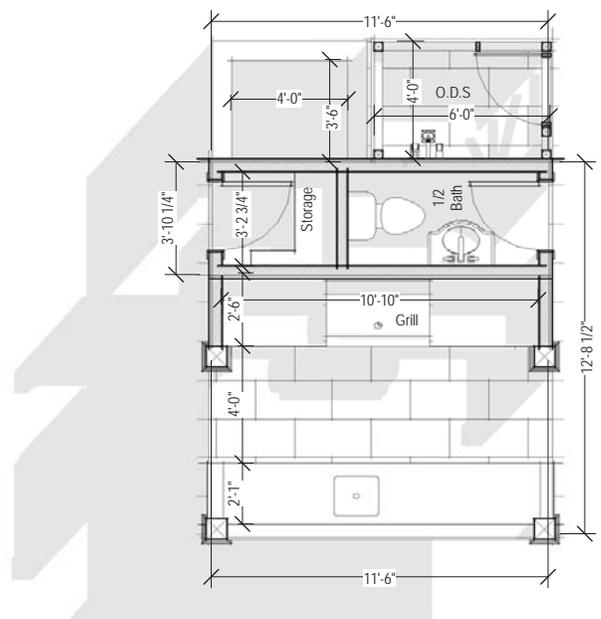
Nantucket, MA 02554

10.01.20

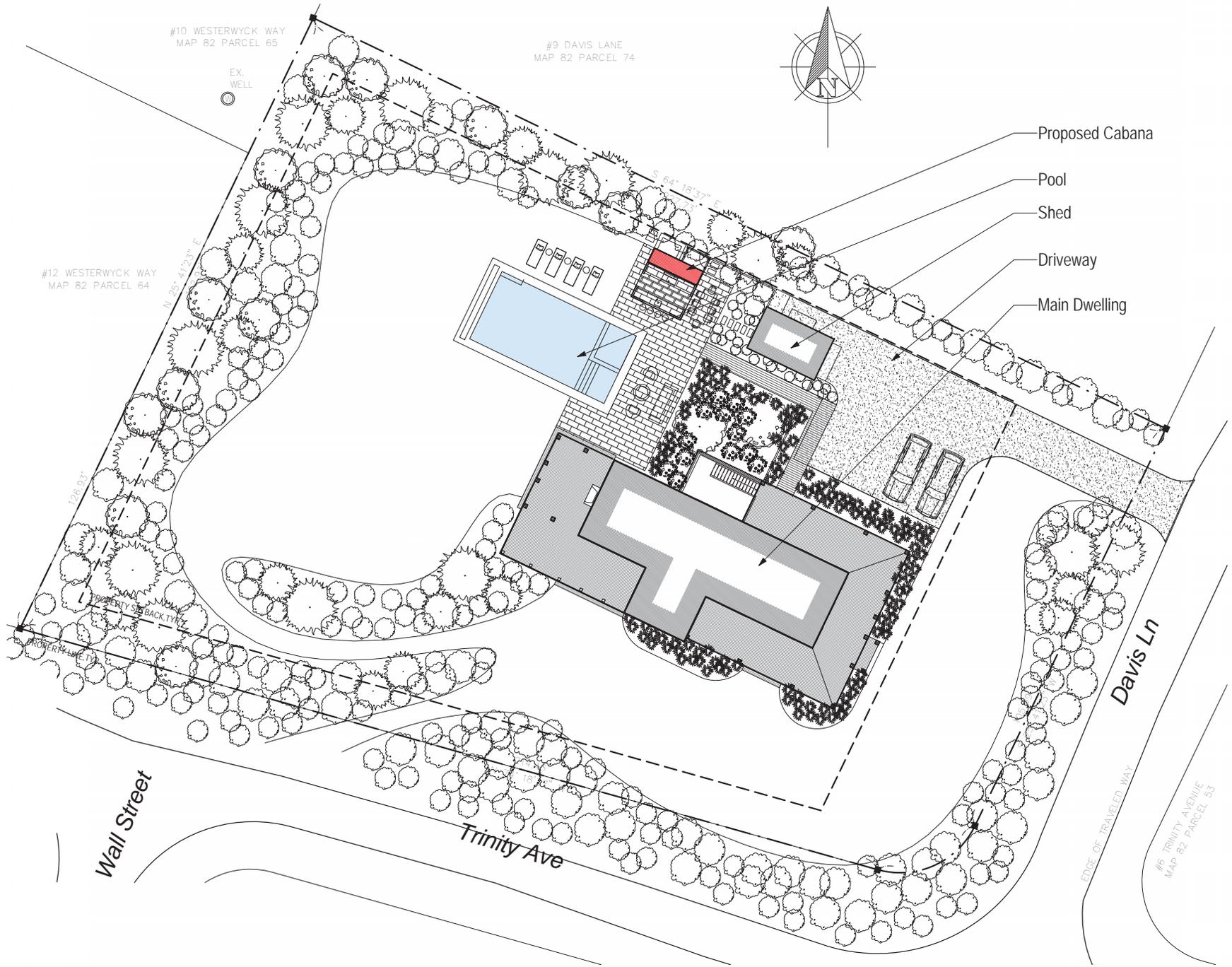




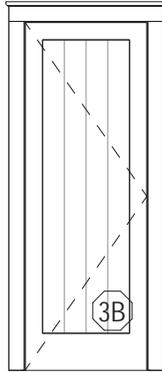
**0** Roof Plan  
 1/4" = 1'-0"



**1** First Floor Plan  
 1/4" = 1'-0"



- Proposed Cabana
- Pool
- Shed
- Driveway
- Main Dwelling



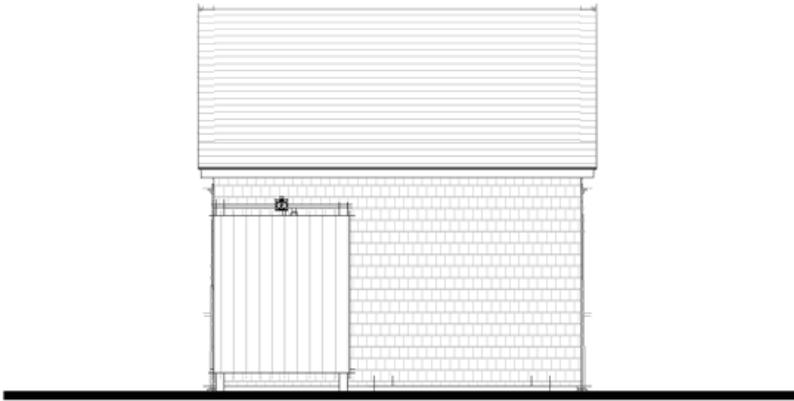
## Door Legend

---

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### WINDOW & DOOR NOTES

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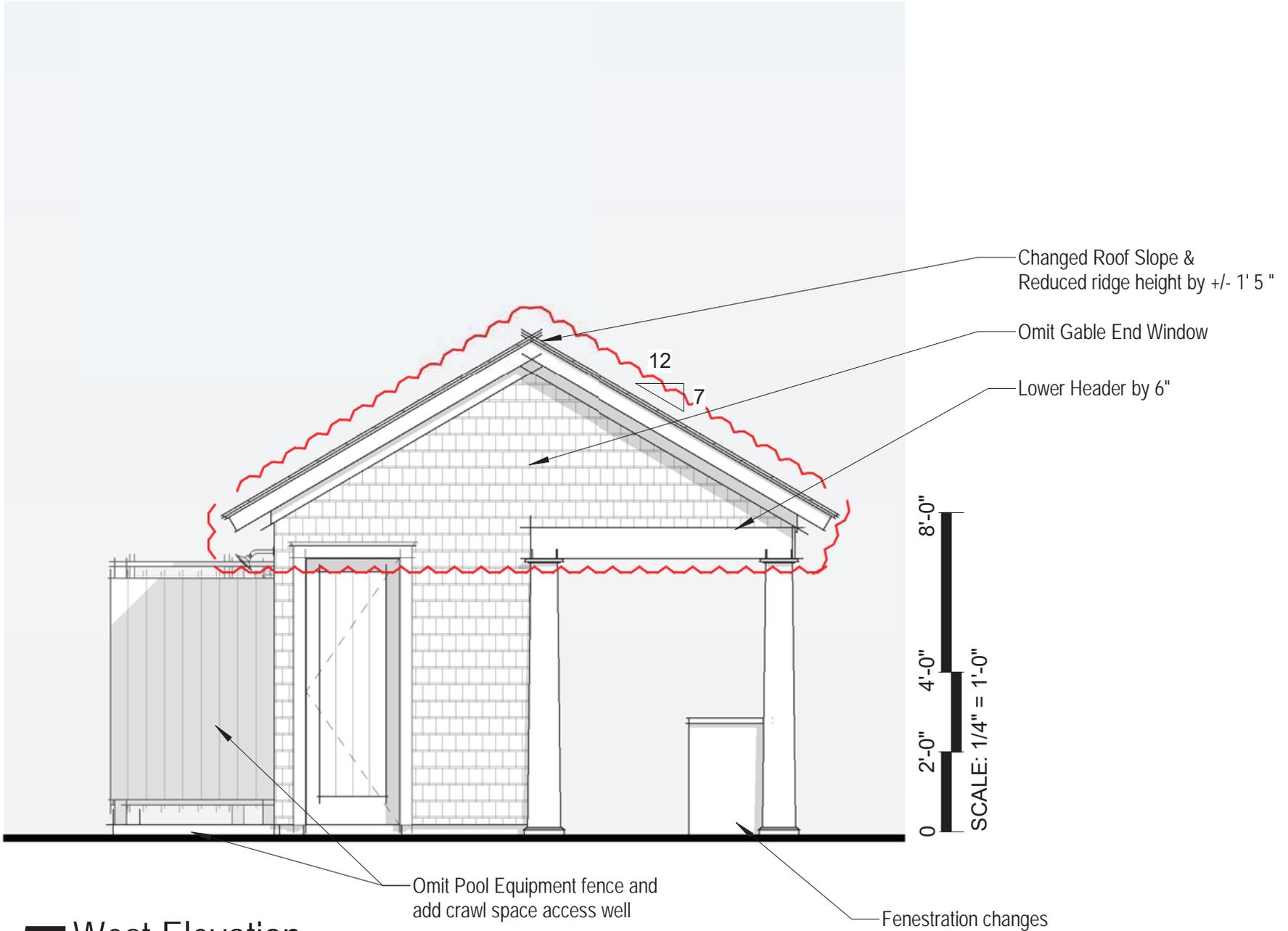
Previously Proposed North Elevation

$1/8" = 1'-0"$



Previously Proposed West Elevation

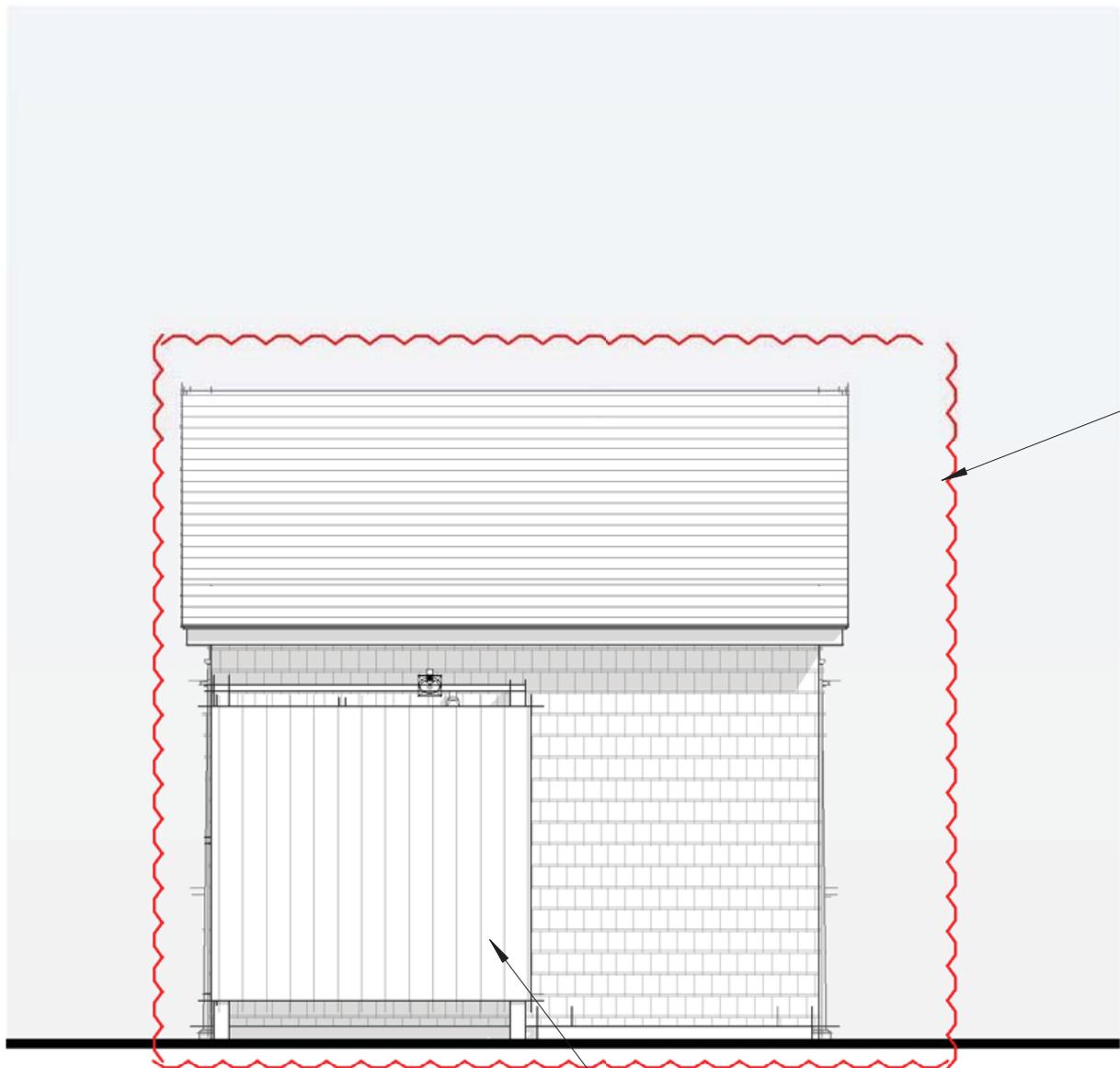
$1/8" = 1'-0"$



# 5 West Elevation

1/4" = 1'-0"

8'-0"  
4'-0"  
2'-0"  
0  
SCALE: 1/4" = 1'-0"

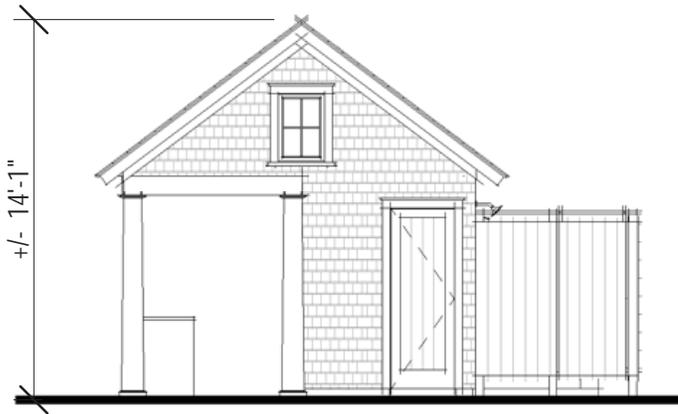


Lower Roof and  
Reduce width by 18"

Enlarge shower enclosure by +/- 12"

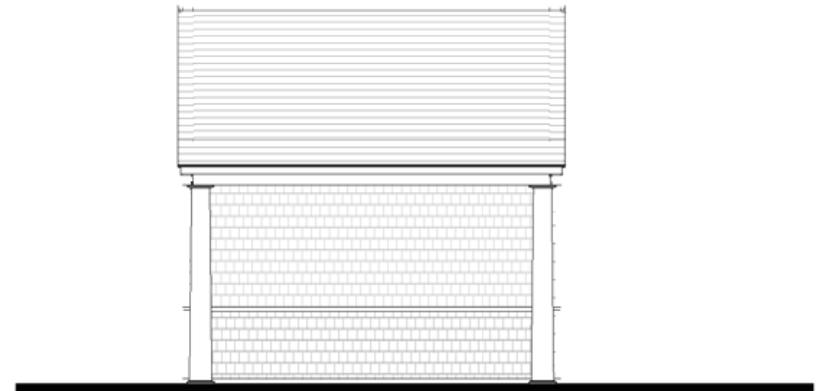
# 4 North Elevation

1/4" = 1'-0"



Previously Proposed East Elevation

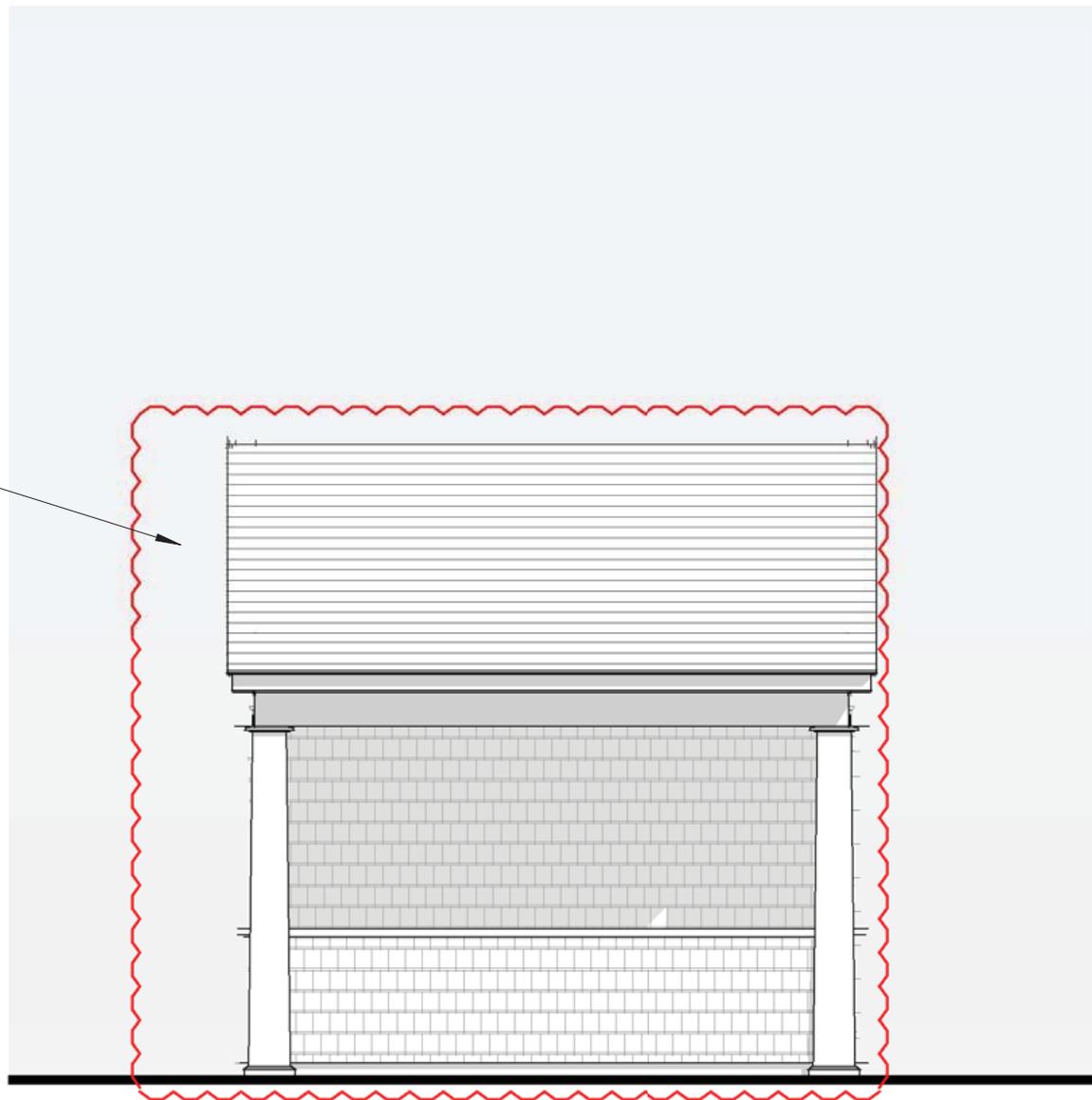
1/8" = 1'-0"



Previously Proposed South Elevation

1/8" = 1'-0"

Lower Roof and  
Reduce width by 18"



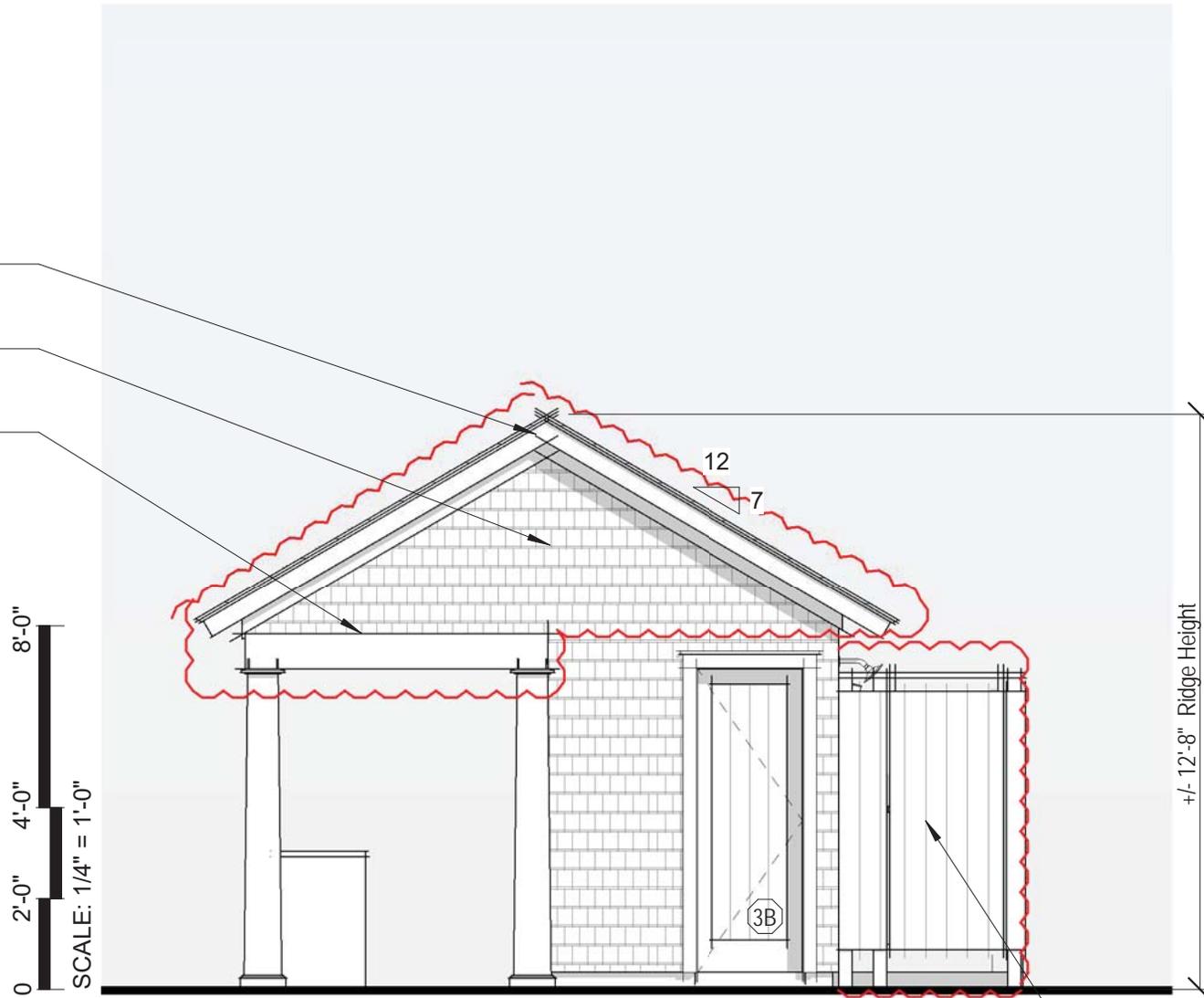
# 3 South Elevation

1/4" = 1'-0"

Changed Roof Slope &  
Reduced ridge height by +/- 1' 5"

Omit Gable End Window

Lower Header by 6"



+/- 12'-8" Ridge Height

Reduce Shower size by +/- 24"

# 2 East Elevation

1/4" = 1'-0"

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 82 PARCEL N°: 75  
 Street & Number of Proposed Work: 11 DAVIS LANE  
 Owner of record: NICOLE AND JOEL WHIDDEN  
 Mailing Address: 47 HIGH POINT RD,  
WESTPORT, CT 06880  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: AHERN LLC  
 Mailing Address: 6 WINDY WAY, NANTUCKET, MA 02554  
 Contact Phone #: 508-333-5138 E-mail: DESIGN@AHERNLLC.COM

FOR OFFICE USE ONLY

Date application received: 8-11-2010 Fee Paid: \$ 100  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions  
 \_\_\_\_\_  
 \_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District LVG2)  Roof  Other SPA 10'x8', BOARDWALK @ GRADE  
 Size of Structure or Addition: Length: 44' Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: 930 SF  1st floor  2nd floor  
 Width: 18' Sq. Footage 2nd floor: \_\_\_\_\_ Size: 270 SF  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_  
 Original Builder: \_\_\_\_\_  
 Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
 Roof Pitch: Main Mass /12 Secondary Mass /12 Dormer /12 Other \_\_\_\_\_  
 Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
 Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
 Leaders (material and size): \_\_\_\_\_  
 Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
 Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
 Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
 Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
 Hardscape materials: Driveways PEA STONE Walkways BOARDWALK Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
 Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
 Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date: 8-11-2010 Signature of owner of record \_\_\_\_\_

Signed under penalties of perjury



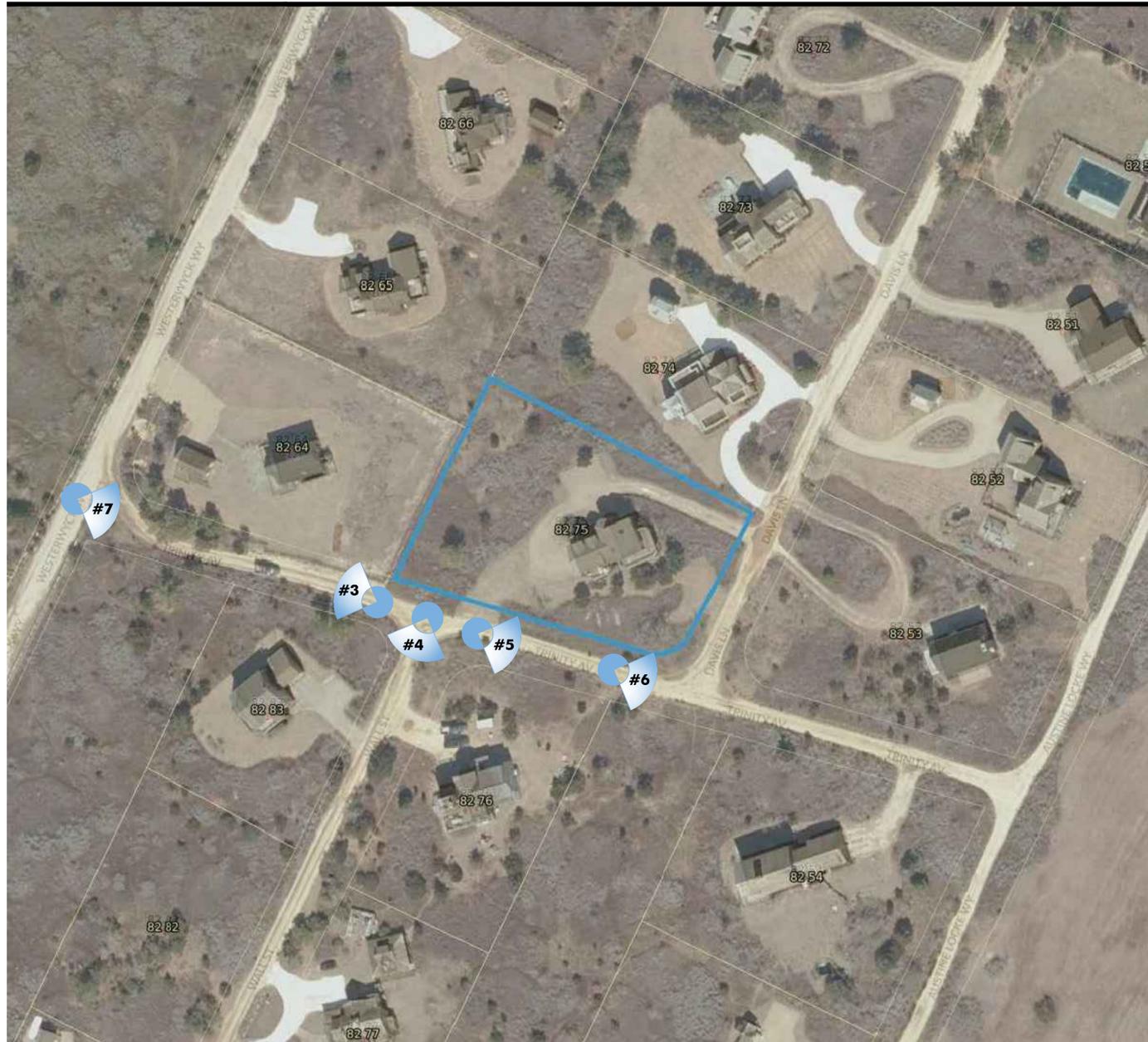


PHOTO #7



PHOTO #6



PHOTO #3



PHOTO #4



PHOTO #5



**PROJECT**  
**WHIDDEN RESIDENCE**  
 11 DAVIS LANE NANTUCKET MA 02554

**OWNER**  
 NICOLE AND JOEL WHIDDEN

**ARCHITECT**  
 EMERITUS Development Ltd.  
 8 Williams Lane, Nantucket, MA 02554  
 T (508) 325-4995 F (508) 325-8960

**SURVEYOR**  
 BRACKEN ENGINEERING, INC  
 18 Old South Rd., Nantucket, MA 02554  
 T (508) 325-0044



**HDC SUBMISSION**  
**for SWIMMING**  
**POOL & SPA**

**DRAWING INFO**  
 DATE SEPTEMBER 30, 2020  
 SCALE N/A

**REVISIONS**


LEGEND:

-  - PITCH PINE
-  - EASTERN RED CEDAR
-  - BEACH PLUM
-  - WINTERBERRY
-  - VIBURNUM
-  - BAYBERRY
-  - INKBERRY

# WHIDDEN RESIDENCE

11 DAVIS LANE NANTUCKET MA 02554

## PLANTING PLAN colored version

### DRAWING INFO

DATE SEPTEMBER 30, 2020

SCALE 1" = 20' - 0"

# HDC.03



PLANTED BUFFER TO ENHANCE REAR YARD PRIVACY & RE-NATURALIZE THE STREET SCAPE INTO PRE-EXISTING CONDITIONS

PLANTED BUFFER TO RE-NATURALIZE THE STREETSCAPE INTO PRE-EXISTING CONDITIONS

TRINITY AVE

DAVIS LANE

SWIMMING POOL 16' x 36'

SPA 7' x 9'

CABANA

LOUNGE PATIO

Hydrangeas

RECYCLES

SHED

4 CAR PARKING

Native grasses

Native grasses

LAWN

LAWN

LAWN

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 40 PARCEL N°: 44  
 Street & Number of Proposed Work: 28 EEL POINT RD  
 Owner of record: MICHAEL BLACK  
 Mailing Address: 28 EEL POINT RD  
NANTUCKET, MA  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: AHERN LLC  
 Mailing Address: 60 WINDY WAY  
NANTUCKET, MA  
 Contact Phone #: 508-333-5338 E-mail: DESIGN@AHERNLLC.COM

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
  - Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
  - Pool (Zoning District \_\_\_\_\_)  Roof  Other MULTI GAME SPORTS COURT (GREEN)
- Size of Structure or Addition: Length: 28' Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 50' Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

#### Additional Remarks

Historic Name: \_\_\_\_\_

Original Date: \_\_\_\_\_

Original Builder: \_\_\_\_\_

Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

**Roof Pitch:** Main Mass \_\_\_\_\_/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

**Roofing material:**  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

**Leaders (material and size):** \_\_\_\_\_

**Sidewall:**  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Other \_\_\_\_\_

**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls PT TIMBER

Fence: Height: 8'  
 Type: WIRE MESH  
 Length: 148 LF

\* Note: Complete door and window schedules are required. FISHERS (1/2 GRADE): COTTAGE STONE SPORTS COURT: GREEN

#### COLORS

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
 Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
 Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 05-07-20 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_









CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

BFC - Bayberry  
30 Cannonbury

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 73 PARCEL N°: 23  
Street & Number of Proposed Work: 30 CANNONBURY LANE  
Owner of record: CANNONBURY HOLDINGS 1, LLC  
Mailing Address: 105 NEWBURY STREET  
BOSTON MA 02116  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: ANDREW KOTCHEN (WORKSHOP/APD)  
Mailing Address: PO BOX 521  
NANTUCKET, MA 02554  
Contact Phone #: 212-273-9712 E-mail: \_\_\_\_\_

FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Landscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 68'-10" Sq. Footage 1st floor: 2,208 Decks/Patio: Size: 19' X 9'-6"  1st floor  2nd floor  
Width: 41'-11" Sq. Footage 2nd floor: 1,301 Size: 19' X 4'  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 0' South 0' East 0' West 0'  
Height of ridge above final finish grade: North 30' South 30' East 30' West 30'

**Additional Remarks**

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
Original Builder: \_\_\_\_\_ 3. West Elevation  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

**Foundation:** Height Exposed 6"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass 10 /12 Secondary Mass 4 /12 Dormer \_\_\_\_\_ /12 Other 5/12  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR  
Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_  
**Skylights (flat only):** Manufacturer N/A Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles NATURAL  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia 1 x 8 Rake 1 x 4 Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing 1X4 Door Frame 1X4 Columns/Posts: Round \_\_\_\_\_ Square 8 x 8  
**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer MARVIN  
**Doors\* (type and material):**  TDL  SDL Front CUSTOM (PAINT) Rear FRENCH Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways BLUESTONE Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

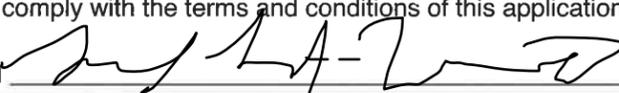
Sidewall NATURAL Clapboard (if applicable) NATURAL Roof NATURAL  
Trim QUAKER GREY Sash WHITE Doors WHITE  
Deck MAHOGANY Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 08/25/2020

Signature of owner of record \_\_\_\_\_



Signed under penalties of perjury

2.	2 Old Westmoor Farm LLC <b>08-1562</b>	2 Old Westmoor Farm Road	New garage with studio	41/820.1	Workshop APD
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver				
Alternates	Welch, Dutra				
Recused	None				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Michael Luft-Weissberg, Workshop APD				
Public	None				
Concerns (5:08)	<p><b>Luft-Weissberg</b> – Resubmission of an expired approval.  <b>Oliver</b> – This is perfectly acceptable and appropriate to the house.  <b>Coombs</b> – East elevation, drop the right-hand addition roof a foot so it looks less imposing for a garage.  <b>Camp</b> – Agrees with Ms. Coombs. The west elevation doesn't look as vertical as the east.  <b>McLaughlin</b> – South elevation, another window would fill the large wall space.  <b>Pohl</b> – East elevation looks vertical because it is so narrow.</p>				
Motion	<b>Motion to Approve through staff with a center window added to the south elevation and the side addition roof dropped 6 inches. (Coombs)</b>				
Roll-call Vote	Carried 5-0//Oliver, Camp, McLaughlin, Coombs, and Pohl-aye			Certificate #	<b>HDC2020-08-1562</b>
3.	2 Old Westmoor Farm LLC <b>08-1571</b>	2 Old Westmoor Farm Road	New cabana	41/820.1	Workshop APD
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver				
Alternates	Welch, Dutra				
Recused	None				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Michael Luft-Weissberg, Workshop APD				
Public	None				
Concerns (5:15)	<p><b>Luft-Weissberg</b> – Presented project.  <b>Oliver</b> – Except for the horizontal siding, it's fine.  <b>Camp</b> – No concerns; it's not visible.  <b>Coombs</b> – The enclosed portion could be shingled to match the house.  <b>McLaughlin</b> – Believes hiding pools is an unnecessary expense and questions hiding them; they are what they are.  <b>Pohl</b> – This will be natural to weather and he believes will be invisible from the road.</p>				
Motion	<b>Motion to Approve as submitted. (Coombs)</b>				
Roll-call Vote	Carried 5-0//Oliver, McLaughlin, Camp, Coombs, and Pohl-aye			Certificate #	<b>HDC2020-08-1571</b>

4.	Cannonbury Ln Hold <b>08-1575</b>	30 Cannonbury Lane	New dwelling	73/23	Workshop APD
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver				
Alternates	Welch, Dutra				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, correspondence, and advisory comments				
Representing	Michael Luft-Weissberg, Workshop APD				
Public	None				
Concerns (5:22)	<p><b>Backus</b> – Read correspondence from SAB members expressing concern about the overall project and suburbanization of outskirts of Sconset. Read SAB Comments.  <b>Luft-Weissberg</b> – Presented project; model Bayberry; the development has 5 model homes, each with a name; natural to weather siding, door &amp; windows white, Quaker grey trim.  <b>Camp</b> – In general, she is concerned that the area is naturalistic dune and here is a farmhouse; she would prefer more cottage styles. Agrees this is a suburban treatment. The 2<sup>nd</sup>-floor over the front porch feels cut off.  <b>Coombs</b> – Asked how many houses will be on Cannonbury Land (30). With five models, this will end up looking like a 40B project; that is unacceptable along Low Beach Road. West elevation, the way the chimney is corbelled is not typical to Nantucket and is inappropriate; the sliders are drawn as single pane (those are screen panels); there are different pane patterns. Asked to hold this for a better image.  <b>Oliver</b> – With the exception of a few changes, this is okay. They aren't the only ones building houses in Cannonbury; there will be a mix of styles. Front elevation is missing a little roof that connects the 1-story gable. Concerned about clapboard on the middle section.  <b>McLaughlin</b> – West elevation, wants to know what's behind the screen panels; tops of the screens shouldn't be rounded.  <b>Pohl</b> – The chimney could come down about two feet and still meet code. Scanned images of the plans are very hard to read; should coordinate with staff about getting the actual computer images for screen-sharing at the meetings. Doesn't like clapboard on the center. Like SAB, the 4-panel door should be a 6-panel. Can't picture white door and sash set into grey trim; would prefer all grey.</p>				
Motion	<b>Motion to Hold for revisions. (Coombs)</b>				
Roll-call Vote	Carried 5-0//McLaughlin, Camp, Oliver, Coombs, and Pohl-aye			Certificate #	

# BFC

# BAYBERRY - LOT 30

**HDC REVISION**  
28 September 2020

30 Cannonbury Lane  
Nantucket, MA 02564  
PROJECT NO. - 318008

# BFC

BAYBERRY

30 Cannonbury Ln  
Nantucket, MA 02564

**OWNER**

CANNONBURY LANE PARTNERS, LLC  
105 Newbury Street  
Boston, MA 02116

**ARCHITECT**

**WORKSHOP/APD**

WORKSHOP/APD ARCHITECTURE DPC  
39 West 38th Street, 7th Fl, New York, NY 10018  
T: (212) 273-9712 info@workshopapd.com

**STRUCTURAL ENGINEER**

CRAFT - ENGINEERING STUDIO  
39 West 38th Street, 7th Fl  
New York, NY 10018  
T: (646) 912-9867

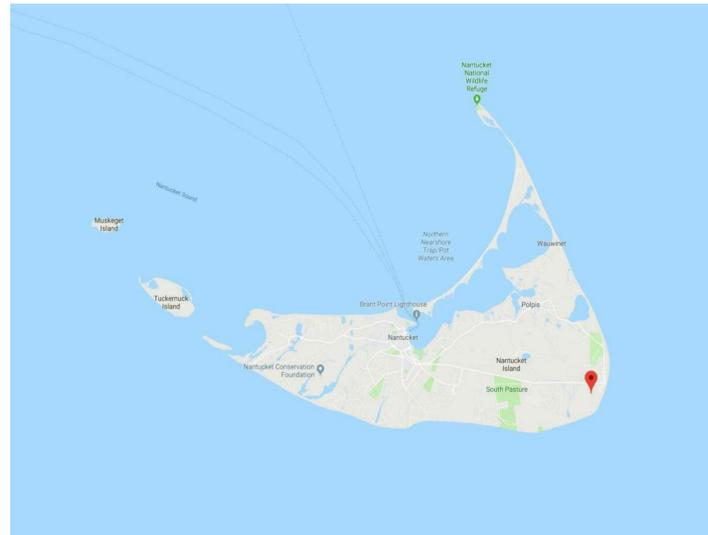
**SURVEYOR**

GREEN SEAL ENVIRONMENTAL, INC  
114 State Road, Building B  
Sagamore Beach, MA 02562  
T: (508) 888-6034

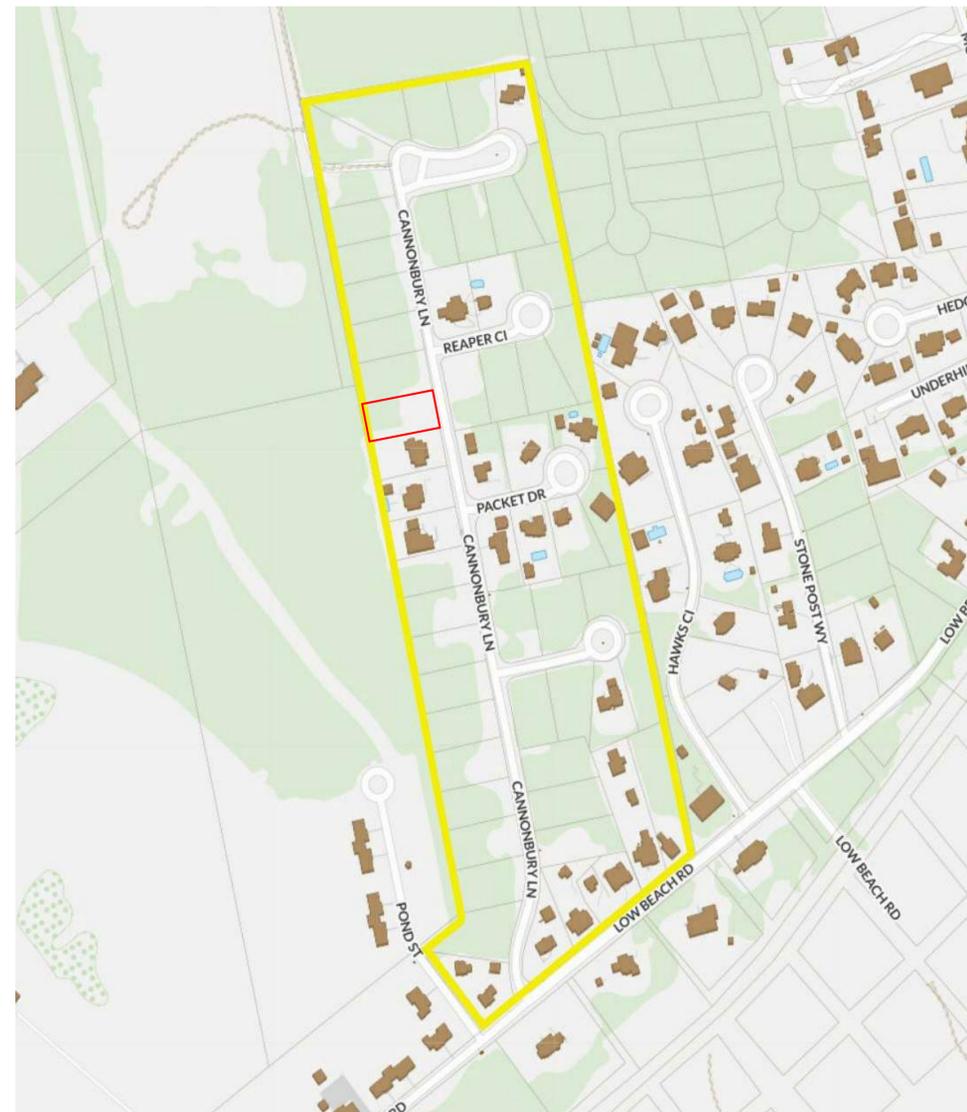
**CONTRACTOR**

GREY LADY CONSTRUCTION, LLC  
105 Newbury Street, 4th Fl  
Boston, MA 02116  
T: (608) 257-1325

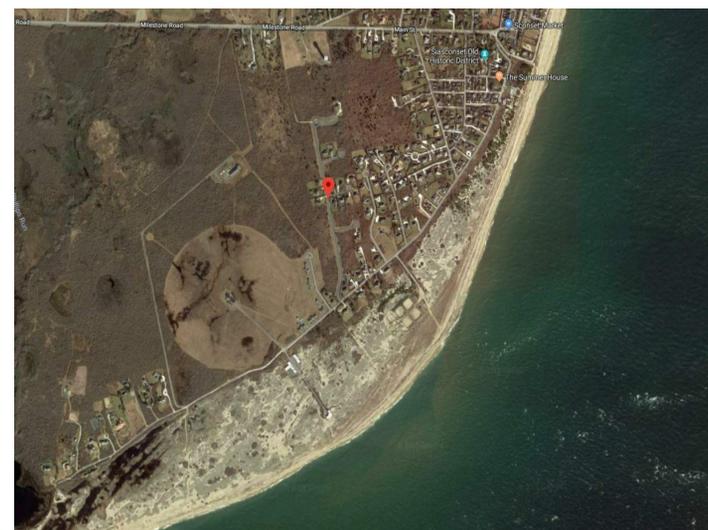
**LOCUS PLAN**



**LOCUS PLAN**



NOT TO SCALE



**LIST OF DRAWINGS**

SHEET LIST - LOT 30			
SHEET NUMBER	TITLE	ISSUE TYPE	
T-000	TITLE SHEET	HDC	•
G-100	GENERAL NOTES	HDC	•
L-100	SITE/LOT PLAN	HDC	•
A-100	BASEMENT PLAN	HDC	•
A-101	FIRST FLOOR PLAN	HDC	•
A-102	SECOND FLOOR PLAN	HDC	•
A-103	ROOF PLAN	HDC	•
A-200	ELEVATIONS	HDC	•
A-201	ELEVATIONS	HDC	•
A-202	ELEVATIONS	HDC	•

**PERSPECTIVE**



ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

**REVISIONS**

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

**NOT FOR CONSTRUCTION**



**ISSUES**

NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

**DRAWING INFO**

CONSTRUCTION DOCUMENTS  
DRAWN BY: MLW/IZM/JSJ  
CHECKED BY: TJZ  
DATE: AUGUST 30, 2017  
SCALE: AS NOTED  
PROJ. NO. BFC - 318008

**TITLE SHEET**

**T-000**

**HDC APPROVED COLORS**

SASH : WHITE  
TRIM : QUAKER GREY  
FRONT DOOR : NEWPORT BLUE

**ZONING INFORMATION**

Map & Parcel	73/23
Current Zoning	SR-20
Minimum Frontage	75 FT.
Front Setback	30 FT.
Side/Rear Setback	10 FT.
Lot Size	20,000 SF
Min. Lot Size	20,000 SF
Allowable G.C.	12.5 %
Max G.C.	2,500 SF
Proposed G.C. Dwelling	2,208 SF
Total G.C.	2,208 SF

## GENERAL NOTES:

- DRAWINGS ARE REPRESENTATIVE DOCUMENTS TO FACILITATE CONSTRUCTION. CONTRACTOR SHOULD FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. THE HEIGHTS OF GRADE INDICATED ON DRAWINGS ARE APPROXIMATE AND ARE PROVIDED FOR INFORMATION ONLY. NOTIFY DESIGNER OF ANY ALTERATIONS OR DISCREPANCIES IMMEDIATELY UPON DISCOVERY AND BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF DRAWINGS TO THE SUB-CONTRACTORS UNDER HIS JURISDICTION.
- THE CONTRACTOR IS TO COORDINATE THE WORK OF ALL SUB-CONTRACTORS, INCLUDING THE TIMING AND SCHEDULING OF THEIR WORK AND THE LAYOUT OF THEIR SYSTEMS. THE CONTRACTOR SHALL PROVIDE ALL SUB-CONTRACTORS WITH NECESSARY POWER AND ACCESS AND CONNECTIONS THROUGH FOUNDATION WALLS AS REQUIRED.
- WORKSHOP/APD IS CONTRACTED TO SERVE AS THE OWNERS REPRESENTATIVE DURING CONSTRUCTION. A REPRESENTATIVE OF WORKSHOP/APD SHALL MAKE PERIODIC SITE VISITS TO VERIFY CONSTRUCTION PROGRESS AND WILL REPORT FINDINGS TO THE OWNER AND CONTRACTOR IN THE FORM OF A WRITTEN REPORT. THE CONTRACTOR SHALL PROVIDE FREE ACCESS TO THE WORK TO THE OWNER, ARCHITECT, SUBCONTRACTOR, AND THEIR REPRESENTATIVES AT ALL TIMES.
- THE CONTRACTOR SHALL ACKNOWLEDGE THAT JOB SITES ARE DIFFICULT AND DANGEROUS PLACES TO WORK BY NATURE. AS SUCH, ALL NECESSARY PRECAUTIONS WILL BE TAKEN TO ENSURE THE SAFETY AND GENERAL WELL BEING OF HIS EMPLOYEES. CONTRACTOR SHALL PROVIDE GUARDS, RAILS, BARRICADES, FENCES, CATCH PLATFORMS, BRIDGING, DECKING, NIGHT LIGHTING, ETC. AS REQUIRED. THE USE OF ANY STEERERS AND/OR RADIOS AND THE PRESENCE OF PETS OF ANY KIND ARE PROHIBITED ON THE JOB SITE.
- DRAWINGS SHALL NOT BE SCALED BY HAND. USE ONLY PRINTED DIMENSIONS TO IDENTIFY SIZE AND DIMENSION OF MATERIALS AS SHOWN. CONTACT THE DESIGNER TO VERIFY ANY DIMENSION THAT HAS BEEN OMITTED FROM THESE PLANS.
- CONTRACTOR TO PROVIDE ALL MATERIALS FOR A COMPLETE JOB AS INDICATED IN THE DRAWINGS BOTH GRAPHICALLY AND WRITTEN. IN CASE OF DISCREPANCIES, THE MORE STRINGENT AND/OR COSTLY EXAMPLE SHALL BE ASSUMED. CONSULT DESIGNER IF SUCH A SITUATION OCCURS.
- SHOP DRAWINGS FOR CONSTRUCTION TO WORKSHOP/APD. PRIOR TO PROCEEDING WITH WORK, FOR ALL MATERIALS THAT REQUIRE FABRICATION, WORKSHOP/APD SHALL REVIEW AND RETURN SHOP DRAWINGS TO CONTRACTOR WITHIN A PERIOD OF TEN WORKING DAYS FROM THE DATE OF SUBMITTAL.
- CONTRACTOR SHALL FURNISH SAMPLES OF ALL MATERIALS, AND/OR FINISHES AS REQUIRED FOR CONSTRUCTION TO THE OWNER OR DESIGNER.
- ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS NOTED OTHERWISE OR AT THE SPECIFIC AUTHORIZATION OF THE OWNER.
- ALL WORK SHALL BE ERRECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE. THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE WORK OR MAKE PARTS FIT TOGETHER PROPERLY, WITHOUT COMPROMISING QUALITY OF WORK.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING AND PROTECTING ALL WORK FROM DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MIS-ALIGNMENT ACCORDING TO APPLICABLE BUILDING CODES AND STANDARDS OF GOOD PRACTICE.
- CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING SYSTEMS AT ALL TIMES FROM THE EFFECTS OF ADVERSE WEATHER (RAIN, SNOW, COLD, ETC.) AT NO ADDITIONAL COST TO THE OWNER.
- ALL WORK SHALL BE INSTALLED SO THAT REQUIRED PARTS ARE READILY ACCESSIBLE AND AVAILABLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR.
- CONTRACTOR SHALL MAINTAIN CLEAR AND UNOBSTRUCTED ACCESS FROM ALL FLOORS TO STAIRWELLS AND EXTERIOR EXITS AT ALL TIMES.
- CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
- CONTRACTOR SHALL PROVIDE PROTECTION OF ALL WINDOWS AND DOORS DURING CONSTRUCTION. MEANS OF PROTECTION SHALL NOT BE ATTACHED TOWARD AND DOOR FRAMES.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE REQUIRED TO COORDINATE WITH OTHER SUBCONTRACTORS AS NECESSARY, INCLUDING THOSE HIRED UNDER SEPARATE CONTRACT BY THE OWNER. EACH SUBCONTRACTOR SHOULD COMPLETE WORK ON AN EXPEDITED AND REASONABLE SCHEDULE, IN A MANNER THAT DOES NOT DELAY OTHER TRADES AND SUBCONTRACTORS FROM COMPLETION OF WORK.
- ALL NAILS AND FASTENERS IN AREAS PRONE TO MOISTURE SHALL BE "HOT DIPPED GALVANIZED" UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL KEEP SUFFICIENT WORKMAN ON THE JOB SITE AT ALL TIMES TO PERFORM WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTEREST OF THE OWNER.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTION SERVICES OF LOCAL AUTHORITIES OTHER THAN THE ACTUAL BUILDING PERMIT AND HISTORIC DISTRICT COMMISSION APPROVAL, WHICH SHALL BE SECURED BY THE OWNER OR DESIGNER PRIOR TO THE SCHEDULED START DATE. ALL INSPECTIONS, RECORDS AND CERTIFICATE OF OCCUPANCY SHALL BE GIVEN TO THE OWNER AT THE END OF THE JOB. THE JOB SHALL NOT BE CONSIDERED COMPLETE UNTIL THE CERTIFICATE OF OCCUPANCY IS ISSUED.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING, PLUMBING, ELECTRICAL, AND LIFE SAFETY CODES, EVEN WHEN NOT SPECIFIED IN THE DRAWING, NOTES, OR SPECIFICATIONS. IF ANY CODE IS IN CONFLICT WITH THESE, THE CONTRACTOR SHALL REPORT SUCH TO OWA FOR REVISIONS PRIOR TO BIDDING. IN THE EVENT OF CONFLICT BETWEEN APPLICABLE CODES OR REGULATIONS AND REFERENCE STANDARDS OF THESE PLANS AND SPECIFICATION, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES TO ENSURE SAFE DIGGING.
- A REGISTERED SURVEYOR SHALL BE REQUIRED TO SET ALL FOUNDATION CORNERS, ELEVATIONS AND DIMENSIONS ON SITE.
- USE OF THESE DRAWINGS MUST BE IN COMPLIANCE WITH ALL OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.

## FOUNDATION NOTES:

- FOUNDATION NOTES ARE APPLICABLE TO ALL CONDITIONS UNLESS OTHERWISE NOTED.
- ALL FOUNDATION WALLS SHALL BE 10" THICK CONCRETE, MINIMUM 3000PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
- FOUNDATION WALLS SHALL BE KEPT FOLD INTO FOOTINGS.
- FOOTINGS SHALL BE A MINIMUM OF 1'-0" X 2'-0" W/ WITH 3-#4 CONTINUOUS HORIZONTAL BARS. HORIZONTAL REINFORCING SHALL BE PLACED AT 3" ABOVE BOTTOM OF FOOTING.
- ALL FOOTINGS AND CONCRETE PIERS SHALL EXTEND 4'-0" BELOW GRADE MINIMUM.
- CONCRETE SHALL HAVE BELL CAST FOOTING. BASE OF BELL SHALL BE 3 TIMES WIDTH OF PIER; DEPTH OF BELL SHALL EQUAL WIDTH OF PIER. TAPER OF BELL SHALL BE 45 DEG. ANGLE MINIMUM.
- ALL PERIMETER FOUNDATION WALLS SHALL HAVE WATERPROOFING APPLIED TO THE EXTERIOR.
- FOUNDATION WALLS SHALL INCORPORATE 16" LONG - 1/2" DIAMETER ANCHOR BOLTS AT 32" O.C. MINIMUM, ON ALL PERIMETER WALLS. A MINIMUM OF WHO BO BOLTS SHALL BE USED AT EACH SILL PLATE. HOLD BOLTS 18" OFF CORNERS MINIMUM. APPROVAL OF TOPSOIL REMOVAL SHALL BE IN THE FORM OF EXCHANGE ORDER.
- CONCRETE FLOOR SLABS SHALL BE 4" THICK MINIMUM AND BE REINFORCED WITH WELDED WIRE MESH OR FIBER MESH REINFORCING. REINFORCING SHALL BE PLACED AT THE CENTER OF THE SLAB. FLOOR SLABS SHALL BE POURED OVER 4" GRAVEL BASE AND 6 MIL. POLY-VAPOR BARRIER ON STRUCTURALLY COMPACTED OR UNDISTURBED SOIL.
- CONTRACTOR AND SUBCONTRACTORS SHALL USE CLEAN SAND, WELL GRADED AND FREE FROM ANY DELETERIOUS SUBSTANCES, AND CLEAN WATER, TAKEN FROM A SOURCE SUITABLE FOR DOMESTIC CONSUMPTION.
- FOR ALL BRICK OR STONE FINISHES THE CONTRACTOR SHALL SUBMIT A SAMPLE TO THE DESIGNER FOR APPROVAL. PRIOR TO INSTALLATION.
- ANCHORS AND TIES SHALL BE CORROSION PROOF AND GALVANIZED AFTER FABRICATION.
- COLD WEATHER INSTALLATIONS FOR CONCRETE, WHEN AIR TEMPERATURE IS BELOW 40 DEGREES F, REQUIRE APPROVAL BY THE DESIGNER.
- MASONRY WORK SHALL BE PLUMB, TRUE TO LINE, WITH COURSES LEVEL. BUILD IN ALL METAL TIES AND ANCHORS AS WORK PROGRESSES.
- CONCRETE MASONRY UNIT CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING STANDARDS: HOLLOW UNITS - ASTM C-90, SOLID UNITS - ASTM C-145, PORTLAND CEMENT - ASTM C-150, MASONRY CEMENT - ASTM C-91 (NON-STAINING CEMENT SHALL BE USED FOR NON-STAINING MORTAR IS REQUIRED), HYDRATED LIME - ASTM C-207, 6. C.M.U., BOTH BOTTOM AND ENDS, SHALL BE SET IN A FULL BED OF MORTAR WITH JOINTS OF UNIFORM THICKNESS AND HEAD JOINTS IN ALTERNATE COURSES PLUMB OVER THE ONES BELOW.
- ALL JOINTS SHALL BE TOoled AS SOON AS POSSIBLE AFTER INITIAL SET. FLUSH JOINTS SHALL NOT BE PERMITTED.
- REFER TO DETAILS FOR FURTHER INFORMATION.

## PLUMBING/MECHANICAL NOTES:

- STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.
- ALL PLUMBING/MECHANICAL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, BE PERFORMED BY A LICENSED TRADESPERSON, AND BE COMPLETED IN ACCORDANCE WITH THE DIRECTION OF LOCAL BUILDING CODE OFFICIALS. SUBCONTRACTORS AND TRADESPERSONS ARE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS FOR THEIR TRADE, SCHEDULING AND COMPLETING REQUIRED INSPECTIONS AND OPERATING ON A REASONABLE AND EFFICIENT SCHEDULE THAT DOES NOT DELAY THE WORK OR OTHER TRADES.
- ALL MATERIALS SHALL BE SIZED IN ACCORDANCE WITH THE PROPOSED PLANS, ALLOWING FOR FUTURE EXPANSION IF INDICATED. ALL WORK SHALL BE INSTALLED SO THAT REQUIRED PARTS ARE READILY ACCESSIBLE AND AVAILABLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR.
- ALL PRODUCTS, MATERIALS AND FIXTURES SHALL BE INSTALLED IN A MANNER CONSISTENT WITH SOUND PRACTICE AND QUALITY WORKMANSHIP.
- PLUMBING WORK SHALL INCLUDE ALL LABOR AND MATERIALS FOR ALL PIPING, FIXTURES, HOT WATER HEATER, AND SEWER/SEPTIC CONNECTIONS. THIS INCLUDES CONNECTIONS FOR AN ICEMAKER IN THE REFRIGERATOR, THE DISHWASHER, AND WASHING MACHINE AS INDICATED ON PLANS. THE KITCHEN SINK WILL HAVE A GARBAGE DISPOSAL.
- HOT WATER HEATER SHALL BE PROPANE FIRED HOT WATER HEATER, POWER VENTED, 45 GALLON CAPACITY (SUPER STORE) OR APPROVED EQUIVALENT).
- PLUMBER SHALL FURNISH AND INSTALL 500 GAL. UNDERGROUND PROPANE STORAGE TANK, AND ALL REQUIRED PIPING TO BOILER, CLOTHES DRYER AND KITCHEN RANGE.
- HEATING WORK SHALL INCLUDE ALL LABOR AND MATERIALS, ELECTRICAL/PLUMBING CONNECTIONS, AND INSTALLATION AS THEY OCCUR. DESCRIPTION OF SPECIFIC UNIT SHALL BE PART OF THE BID. STANDARD HEATING UNIT SHALL BE PROPANE FIRED RADIANT HOT WATER BASEBOARD SYSTEM WITH EFFICIENCY RATINGS OF 94 UNIT IS TO BE SIDEWALL VENTED. UNIT SIZE SHALL BE SIZED TO ACCOMMODATE THE ENTIRE HOUSE AT 70°F AT A 10°F EXTERIOR TEMPERATURE. HEATING SYSTEM SHALL BE CAPABLE OF OPERATING AT PEAK EFFECENCY AT A TEMPERATURE OF 72°F. HEATING SYSTEM SHALL BE DIVIDED INTO WHO ZONES. THERMOSTATS SHALL BE DIGITAL AND PROGRAMMABLE.
- VENT TO THE EXTERIOR ALL BATHROOMS WHICH DO NOT HAVE OPERABLE WINDOWS.

## FRAMING NOTES:

- ALL WOOD FRAMING MEMBERS SHALL BE STRUCTURAL GRADE #2 OR BETTER.
- ALL WOOD SHALL COMPLY WITH THE U.S. DEPARTMENT OF COMMERCE AMERICAN LUMBER STANDARDS SIMPLIFIED PRACTICE AND GRADING REQUIREMENTS OF A RECOGNIZED ASSOCIATION UNDER WHOSE RULES THE LUMBER IS PRODUCED.
- WOOD SHALL BE FROM LIVE STOCK, THOROUGHLY SEASONED, WELL MANUFACTURED AND GENERALLY FREE FROM WARPAGE THAT CANNOT BE CORRECTED BY BRIDGING OR NAILING.
- MOISTURE CONTENT OF LUMBER SHALL NOT EXCEED 19 % AT THE TIME OF CONSTRUCTION.
- ALL PLAN DIMENSIONS ARE TO OUTSIDE OF FRAMING MEMBERS AND CENTERLINE OF OPENINGS. EXCEPT ALL ROUGH OPENINGS WITH WINDOW AND DOOR SCHEDULE.
- ALL EXTERIOR WALLS, AND INTERIOR PARTITION WALLS BEHIND TOILETS, SHALL BE 2X8" STUD CONSTRUCTION AT 16" O.C. TYPICAL. ALL OTHER INTERIOR PARTITION WALLS SHALL BE 2X4" STUD CONSTRUCTION AT 16" O.C. TYPICAL. WALLS SHALL HAVE SINGLE SHOE AND DOUBLE TOP PLATE.
- JOIST HANGARS SHALL BE USED AT ALL FLUSH-FRAMED FLOOR JOISTS. JOISTS OVERLAPPING AT A SUPPORTING BEAM, SHALL OVERLAP 3" MINIMUM.
- PROVIDE WOOD BLOCKING OR METAL BRIDGING AT 1/3RD POINTS ON ALL FLOOR JOISTS. BLOCKING SHOULD BE SPACED 4'-0" O.C. MINIMUM AND 8'-0" O.C. MAXIMUM.
- DOUBLE FLOOR JOISTS OR BLOCKING SHALL BE PROVIDED BELOW ALL INTERIOR PARTITION WALLS.
- SIZES OF WOOD MEMBERS ARE NOMINAL SIZES. ALL LUMBER SHALL BE SURFACED ON FOUR SIDES, UNLESS NOTED OTHERWISE.
- STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.
- INSTALL GIRDER MEMBERS WITH JOINTS OVER SUPPORTS, PROVIDE 1/2" AIRSPACE AT ENDS AND SIDES OF GIRDERS FRAMED INTO MASONRY OR CONCRETE. WOOD SHIMS UNDER THE ENDS OF GIRDERS SHALL NOT BE PERMITTED.
- MINIMUM BEARINGS OF JOISTS FRAMED INTO MASONRY SHALL BE 3".
- JOISTS EXTENDING OVER BEARING PARTITIONS OR BEAMS MAY BE BUTTED AND TIED TOGETHER, OR NAILED TOGETHER WITH A MINIMUM OVERLAP OF 4".
- EXTERIOR AND BEARING WALL CONSTRUCTION SHALL INCLUDE ADEQUATE RESISTANCE TO WRAPPING BY THE USE OF CORNER BRACING OR ANCHORAGE OF STRUCTURAL SHEATHING TO PLATES.
- JAMB STUDS, EXTENDING IN ONE PIECE FROM HEADER TO SOLE PLATE, SHALL BE INSTALLED AT ALL WINDOW AND DOOR OPENINGS TO FORM RIGID ENCLOSURE.
- PLYWOOD SHALL COMPLY WITH ALL APPLICABLE STANDARDS OF THE APA (AMERICAN PLYWOOD ASSOCIATION)
- EXTERIOR TYPE HARDWOOD PLYWOOD, "TECHNICAL" OR "TYPE 1", MAY BE USED FOR ANY PART OF THE STRUCTURE.
- STRUCTURAL INTERIOR TYPE, "STRUC-INT.", PLYWOOD MAY BE USED FOR ALL INTERIOR WORK AND EXTERIOR WORK NOT DIRECTLY EXPOSED TO THE WEATHER.
- INTERIOR PLYWOOD, "INT" OR "TYPE 2" MAY BE USED FOR INTERIOR WORK, EXCEPT BATHROOM AND SHOWER ENCLOSURES.
- ROOF SHEATHING: 3/4" EXTERIOR GRADE T&G "TECHNICAL" PLYWOOD NAILED AT 10" O.C. WITH GALVANIZED 10D COMMON NAILS.
- FLOOR SHEATHING: 3/4" STRUCTURAL "STRUCT-INT" PLYWOOD NAILED AT 10" O.C. WITH 10D COMMON NAILS.
- FLOOR SHEATHING: 1/2" EXTERIOR GRADE "TECHNICAL" PLYWOOD NAILED AT 6" O.C. WITH GALVANIZED 6D COMMON NAILS.
- ALL OTHER SHEATHING: 1/2" INTERIOR GRADE "INT" PLYWOOD NAILED AT 6" O.C. WITH 6D COMMON NAILS.
- FRAME ALL RAFTERS OPPOSITE EACH OTHER AT RIDGE WITH TIES OR RIDGE BOARD. THE DEPTH OF THE RIDGE BOARD SHALL BE NO LESS THAN THE CUT OF THE RAFTERS.

## EXTERIOR FINISH NOTES:

- BUILDING PAPER SHALL BE INSTALLED OVER ALL EXTERIOR SHEATHING TO RESIST MOISTURE AND WIND INFILTRATION. WALLS SHALL HAVE MINIMUM 15 #FELT PAPER, ROOFS SHALL HAVE MINIMUM 30# ASPHALT IMPREGNATED FELT PAPER, WITH NOT LESS THAN 4" OVERLAP. FELT SHALL CONTINUE BEHIND ALL EXTERIOR TRIM, DOUBLE AND FOLDED INTO OPENINGS.
- PROMPTLY REMOVE ALL MANUFACTURERS' STICKERS FROM GLASS AFTER INSTALLATION.
- KEEP AREAS TO BE INSULATED CLEAN AND DRY. DO NOT INSTALL INSULATION WHERE IT MAY BE EXPOSED TO WATER. INSTALL AS PER MANUFACTURERS' INSTRUCTIONS AND WITH ALL CODE REQUIREMENTS. PROVIDE INSECT SCREEN OR BARRIER AT ALL VENT OPENINGS.
- EXTERIOR FOUNDATION TO BE PARGE.
- DECKS SHALL USE 1" X 4" MAHOGANY, CONFIRM, LAID FLAT WITH 1/4" REGULAR SPACING. ALL FLOORING AND DECKING SHALL BE TREATED % BOILED LINSEED OIL 50% OF WORKMAN AND WITH A MIXTURE OF 50% TRAFFIC SHALL BE PREVENTED OVER FINISHED SURFACES FOR THE PERIOD OF ONE WEEK.
- EXTERIOR STEPS SHALL BE EQUAL TO DECK CONSTRUCTION, TRIM AND FINISH. RISERS SHALL MATCH TRIM MATERIAL. NOSING SHALL PROJECT 3/4".
- ALL EXTERIOR STEPS SHALL LAND ON TO A 4" CONCRETE PAD SET ON A 4" GRAVEL BASE ON STRUCTURALLY COMPACTED SOIL. PAD SHALL BE 6" WIDER THAN STEPS AND PROJECT FROM LAST RISER 6" TOWARD DECK AND 18" AWAY FROM DECK.
- PORCH CEILINGS SHALL BE 1X8 CEDAR NATURAL TO WEATHER, SQUARE GROVE.
- PORCH POSTS SHALL BE 4X4 STRUCT. CORE WRAPPED W/ 5 1/4" SQ. NATURAL OR UNDISTURBED SOIL.
- SIDEWALL SHINGLES SHALL HAVE A MAXIMUM EXPOSURE OF 5". WITH DOUBLED SHINGLES AT ALL EAVES AND STARTER COURSE. BUTTS OF THE SHINGLES SHALL PROJECT 1 1/2" MINIMUM FROM THE EDGE OF THE ROOF EAVES TO ENSURE PROPER SPILLAGE.
- WINDOW CAPS OR TRIM AND ALL OTHER PROJECTIONS AT POINTS WHERE RAIN ACCUMULATES OR RUNS OFF SHALL BE PROVIDED WITH FLASHING FLASHING FOR RED CEDAR SHINGLES SHALL BE COPPER. SUCH FLASHING SHALL EXTEND A MINIMUM OF 6" UP THE WALL UNDER THE SHEATHING PAPER AND NOT LESS THAN 6" HORIZONTALLY. FLASHING SHALL BE SUFFICIENT LENGTH TO COVER THE COURSE ABOVE WITHOUT BEING COVERED BY WALLS.
- A CONTINUOUS RIDGE VENT SHALL BE PROVIDED AT ALL ROOF RIDGES, WHERE REQUIRED. SOFFIT VENTING SHALL BE PROVIDED AS INDICATED ON DETAIL DRAWINGS.
- PROVIDE STEP FLASHING AT ALL CHIMNEY LOCATIONS.
- WINDOW SILLS: WHEN NOT WOOD BY MANUFACTURER SHALL BE PRIMED PINE 2X2 W/ 70 TOP BEVEL EXTENDED 3/4" BEYOND JAMB CASING. DOORSILLS: INSTALLED BY MANUFACTURER
- CORNER BOARDS: 6" EA. WY. RED CEDAR (IF APPLICABLE)
- RAKE BOARDS: 1X8 RED CEDAR
- FASCIA BOARDS: 1X8 RED CEDAR
- RAKE/FASCIA TRIM BOARDS: 1X3 RED CEDAR
- FRIEZE BOARDS TO BE 1X6 BLOCKED OUT 1 1/2" TO ACCOMMODATE SOFFIT VENTING & TOP OF SHINGLES (IF APPLICABLE)
- ALL TRIM TO BE PAINTED; SEE SCHEDULE
- DOOR AND WINDOW SASHES PAINTED: BLACK
- ALL EXTERIOR TRIM SHALL BE PLANED ON ALL FOUR SIDES AND HAVE SQUARED EDGES.
- WINDOW & DOOR MANUFACTURERS AND SIZES AND HARDWARE SHALL BE SPECIFIED IN DOOR AND WINDOW SCHEDULE.
- INSULATION SHALL BE SPECIFIED AS FOLLOWS:
  - EXTERIOR WALLS: 5" R-21 BATT INSULATION, INSTALL 4 MIL. POLY-VAPOR BARRIER AT INSIDE FACE OF ALL EXTERIOR WALLS.
  - ROOF: 9 1/4" R-38 BATT INSULATION, INSTALL 4 MIL. POLY-VAPOR BARRIER AT INSIDE FACE OF ALL EXTERIOR WALLS
  - INTERIOR WALLS AND CEILINGS: USG 3" TERMAFIBER SOUND ATTENUATION BLANKETS
  - FOUNDATION INSULATION: 4" RIGID INSULATION SECURED TO EXTERIOR FACE OF WALL
  - FIRST FLOOR INSULATION: 9 1/4" R-30 BATT INSULATION
- CAVITIES SHALL SUPPORT PROPER VENTING, INCLUDING THE INSTALLATION OF BAFFLES BETWEEN ALL RAFTERS. KEEP ALL VENTILATION SPACE UNOBSTRUCTED.
- EXTERIOR BRICK SHALL MEET STANDARDS OF THE BRICK INSTITUTE OF AMERICA (BIA) FOR EXTERIOR/SEVERE WEATHER USE.

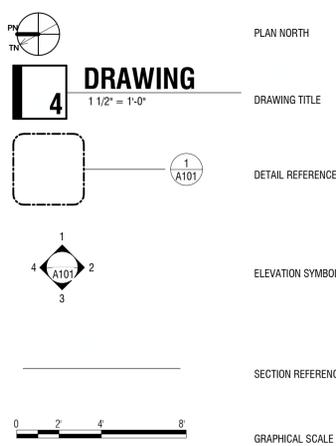
## GLAZING NOTES:

- IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE ALL GLAZING (WINDOW, DOOR, OR OTHERWISE) ADJACENT TO A WALKING SURFACE, STAIR, LANDING, TUB OR SHOWER SAFETY LAMINATED GLASS MEETING THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE, NANTUCKET, AND ANY OTHER APPLICABLE LOCAL OR NATIONAL CODE.
- PROVIDE SHOWER ENCLOSURES AS INDICATED ON THE PLANS. GLASS TO BE LOW IRON, CLEAR GLASS.

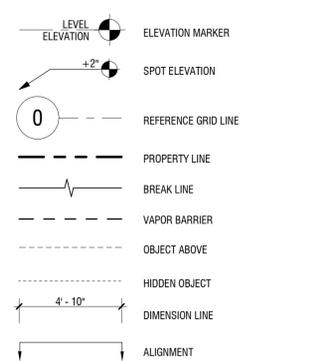
## ABBREVIATIONS

ABOVE FINISHED FLOOR ACCESS PANEL	AFF. A.P.	MATERIAL MAXIMUM MECH.	MATL. MAX.
AIR CONDITIONING ADJACENT	A/C. ADJ.	METAL	MTL.
ALUMINUM APPROXIMATE ARCHITECTURAL BLOCKING BY OTHER/OWNER	AL. APPROX. ARCH. BLKG.	MINIMUM	MIN.
CEILING CENTER LINE CERAMIC TILE COLUMN	CLG. C.H. CL. C.T. COL.	MISCELLANEOUS MOLDING MULLION NOMINAL	MISC. MLD. MUL. NOM.
CONCRETE CONTINUOUS DETAIL DIMENSION DOOR DOUBLE DOWN DRAINING EACH ELECTRIC/ELECTRICAL ELEVATION EMERGENCY EQUAL EQUIPMENT EXISTING EXTERIOR FINISH FINISH FLOOR FIREPROOF FLOOR FLOOR FLUORESCENT FOOR/FEET GLASS GRILLE GROUND FAULT INTER. GYPSUM WALLBOARD HANDRAIL HARDBOARD HEATING, VENT. & A/C HOLLOW CORE HOLLOW METAL HORIZONTAL INCHES INSULATION JUNCTION BOX LAMINATE LOW VOLTAGE	CONC. CONT. CONT. DTL. DIM. DR. DBL. DN. DRNG. EAC. ELEC. ELEV. EMER. EQ. EQPT. EXIST. EXT. FIN. FIN. FL. FPF. FL. FLOR. FL. FLOR. FT. GL. GRIL. GFI. GWB. HANDRL. HARBDB. HEAT. VENT. & A/C HC. HM. HORIZ. IN. INSUL. J.B. LAM. LV.	NOT APPLICABLE NOT IN CONTRACT NUMBER ON CENTER OPENING OPPOSITE/OPPOSITE HAND PAINTED PARTITION PLASTER PLASTIC LAMINATE PLYWOOD QUANTITY RECESSED REQUIRED RETURN AIR REVISION/REVISION ROUGH OPENING SCHEDULE SECTION SHEET SIMILAR SOLID CORE SQUARE FOOT STAINLESS STEEL STANDARD STEEL STORAGE TELEPHONE TO BE DETERMINED TYPICAL UNLESS OTHERWISE NOTED VERIFY IN FIELD VINYL COMPOSITION TILE WITH WITHOUT WOOD	N.A. N.I.C. O.C. OPNG. OPP./OPH. PTD. PARTN. PL. PLAM. PLYWD. QTY. REC. REOQD. R.A. REV. REV. ROUGH. SCHED. SECT. SHT. SIM. S.C. S.F. STL. STOR. TEL. T.B.D. TYP. U.O.N. V.I.F. V/T/WCT. W/O W/D.

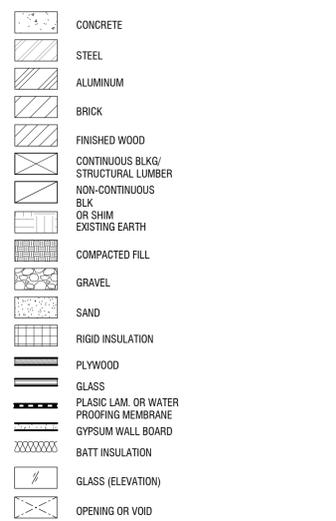
## REFERENCE SYMBOLS



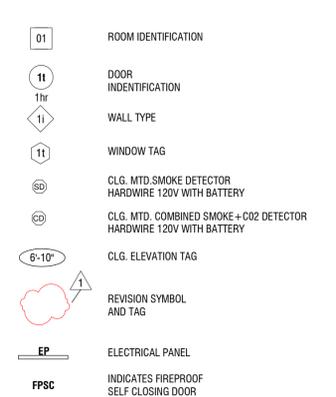
## DRAWING SYMBOLS



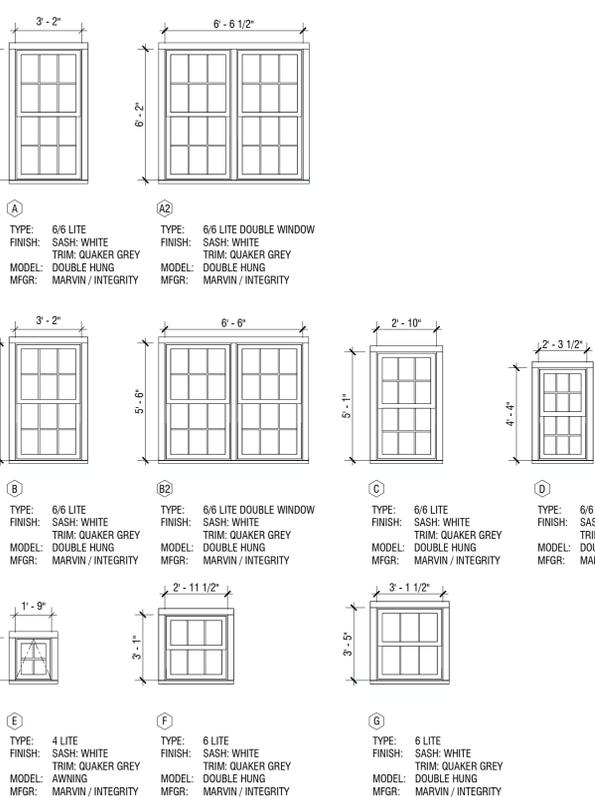
## MATERIAL SYMBOLS



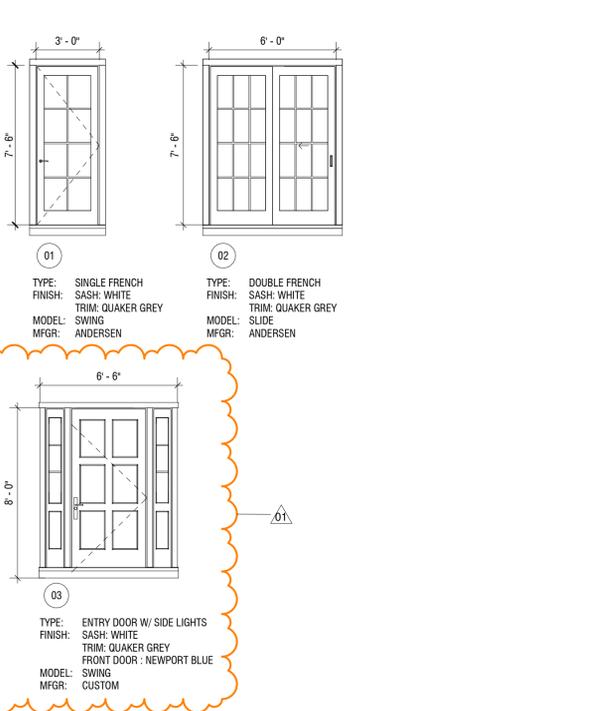
## IDENTIFICATION SYMBOLS



## WINDOW TYPES



## DOOR TYPES



# BFC

BAYBERRY

30 Cannonybury Ln  
Nantucket, MA 02564

OWNER

CANNONBURY LANE PARTNERS, LLC  
105 Newbury Street  
Boston, MA 02116

ARCHITECT

WORKSHOP/APD  
WORKSHOP/APD ARCHITECTURE DPC  
39 West 38th Street, 7th Fl. New York, NY 10018  
T: (212) 273-9712 info@workshopapp.com

STRUCTURAL ENGINEER

CRAFT - ENGINEERING STUDIO  
39 West 38th Street, 7th Fl  
New York, NY 10018  
T: (646) 912-9867

SURVEYOR

BLACKWELL & ASSOCIATES, INC  
20 Treadwell Circle  
Nantucket, MA 02554  
T: (508) 228-9026

CONTRACTOR

BLUE FLAG CONSTRUCTION, LLC  
105 Newbury Street, 4th Floor  
Boston, MA 02116  
T: (508) 257-1325

LANDSCAPE ARCHITECT

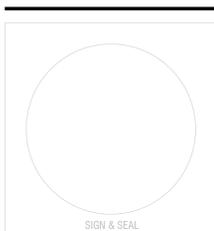
MIROSLAVA AHERN LLC  
PO Box 2213  
Nantucket, MA 02554  
T: (508) 333-5138

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

DATE	DESCRIPTION
01 09/28/2020	HDC REVISION

FOR CONSTRUCTION



ISSUES

DATE	DESCRIPTION
01 08/24/2020	HDC SUBMISSION

DRAWING INFO

CONSTRUCTION DOCUMENTS  
DRAWN BY: MLW/IZM/JSL  
CHECKED BY: TJZ  
DATE: AUGUST 30, 2017  
SCALE: AS NOTED  
PROJ. NO. BFC - 318008

GENERAL NOTES

# G-100

ALL DESIGNS & SPECS ARE SUBJECT TO  
VERIFICATION OF EXG. FIELD CONDITIONS

### REVISIONS

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

### FOR CONSTRUCTION



### ISSUES

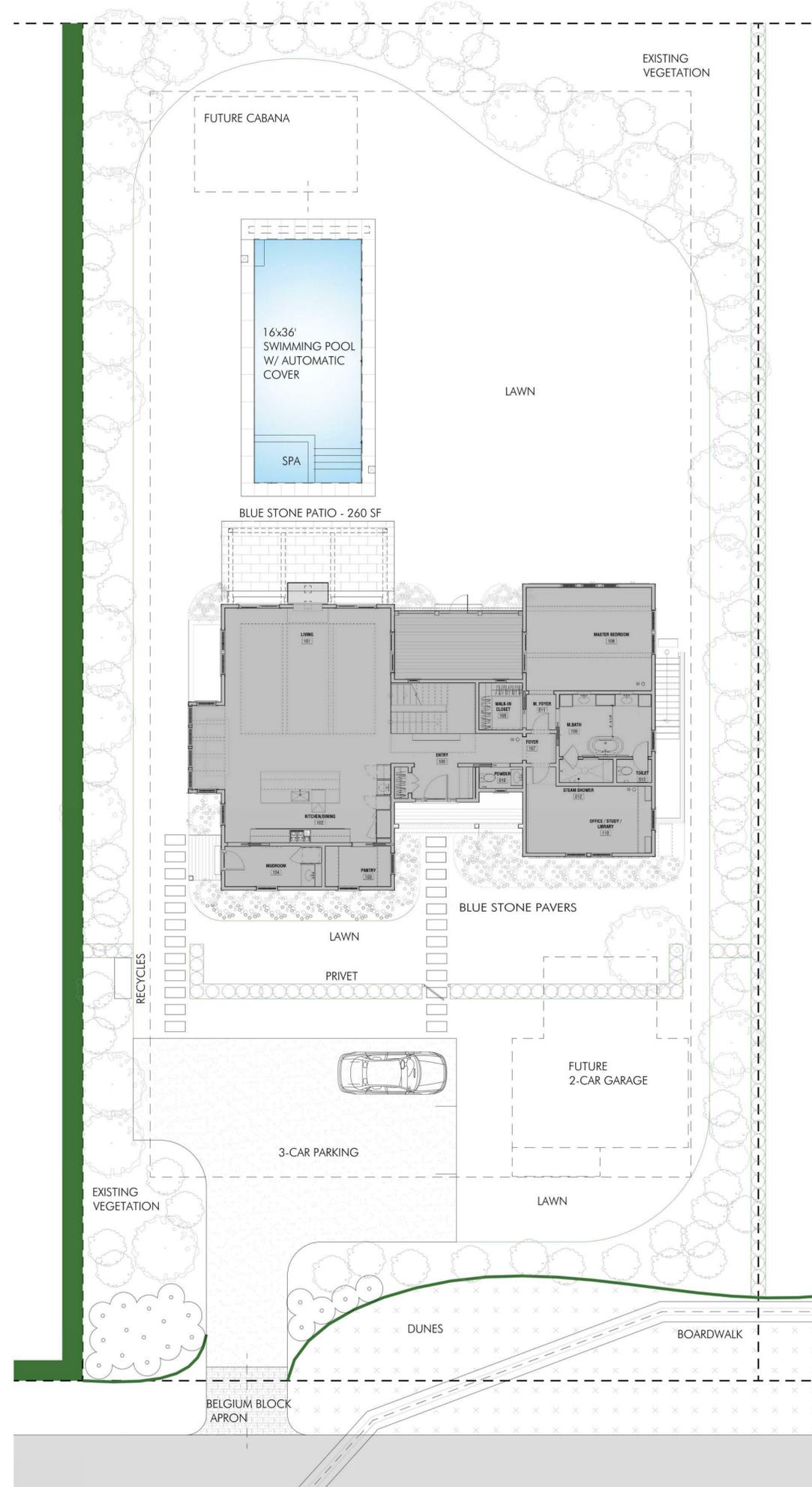
NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

### DRAWING INFO

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 PROJ. NO. BFC - 318008

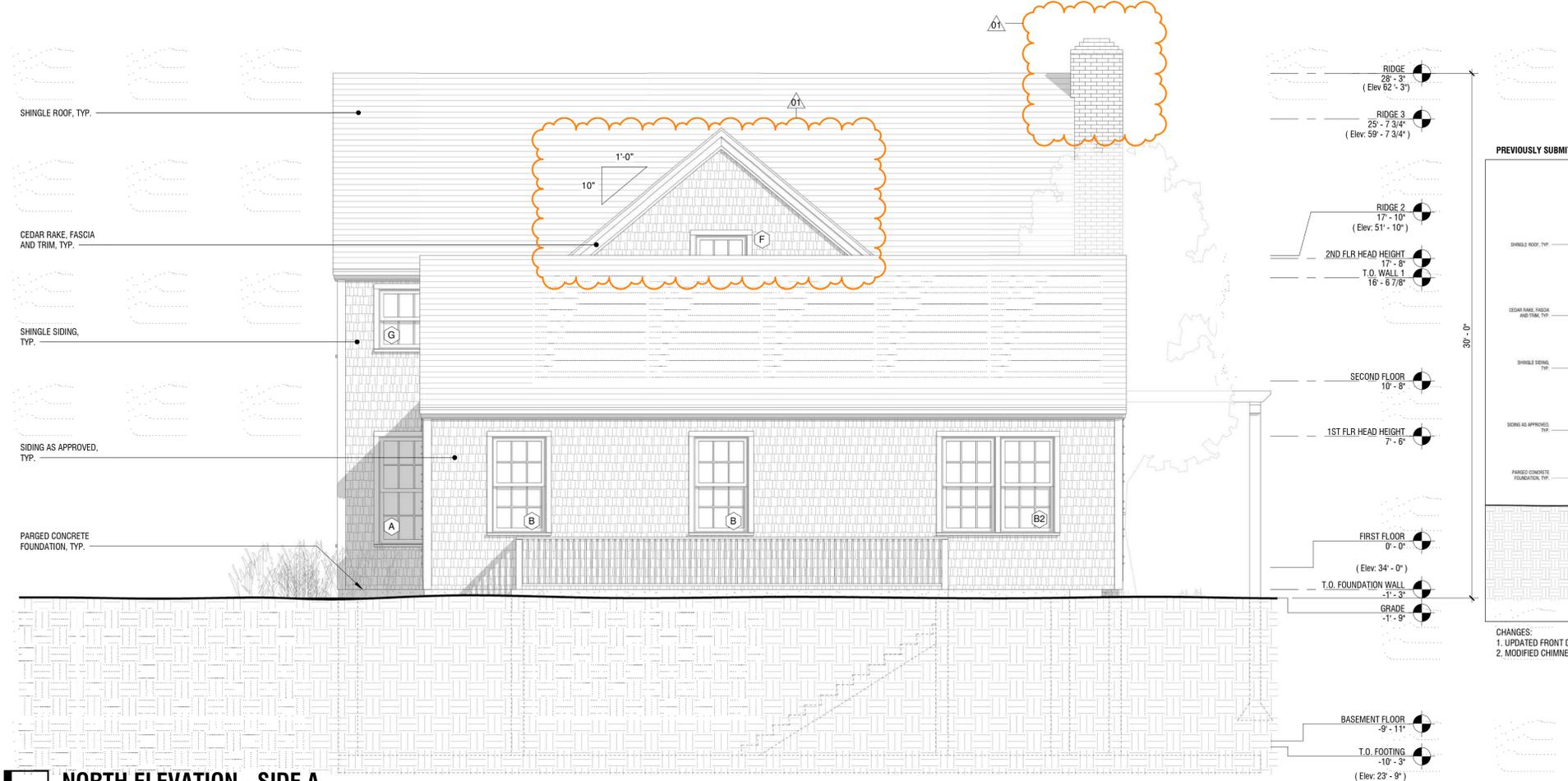
### SITE/LOT PLAN

# L-100





**1 EAST ELEVATION - FRONT**  
1/4" = 1'-0"



**2 NORTH ELEVATION - SIDE A**  
1/4" = 1'-0"



CHANGES:  
1. UPDATED FRONT DOOR STYLE  
2. MODIFIED CHIMNEY CAP



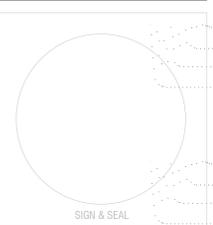
CHANGES:  
1. UPDATED FRONT DOOR STYLE  
2. MODIFIED CHIMNEY CAP

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

FOR CONSTRUCTION



ISSUES

NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

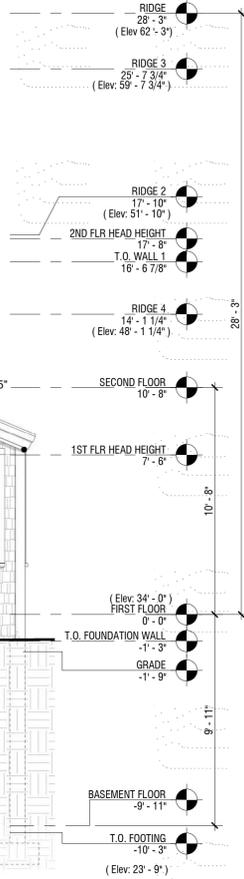
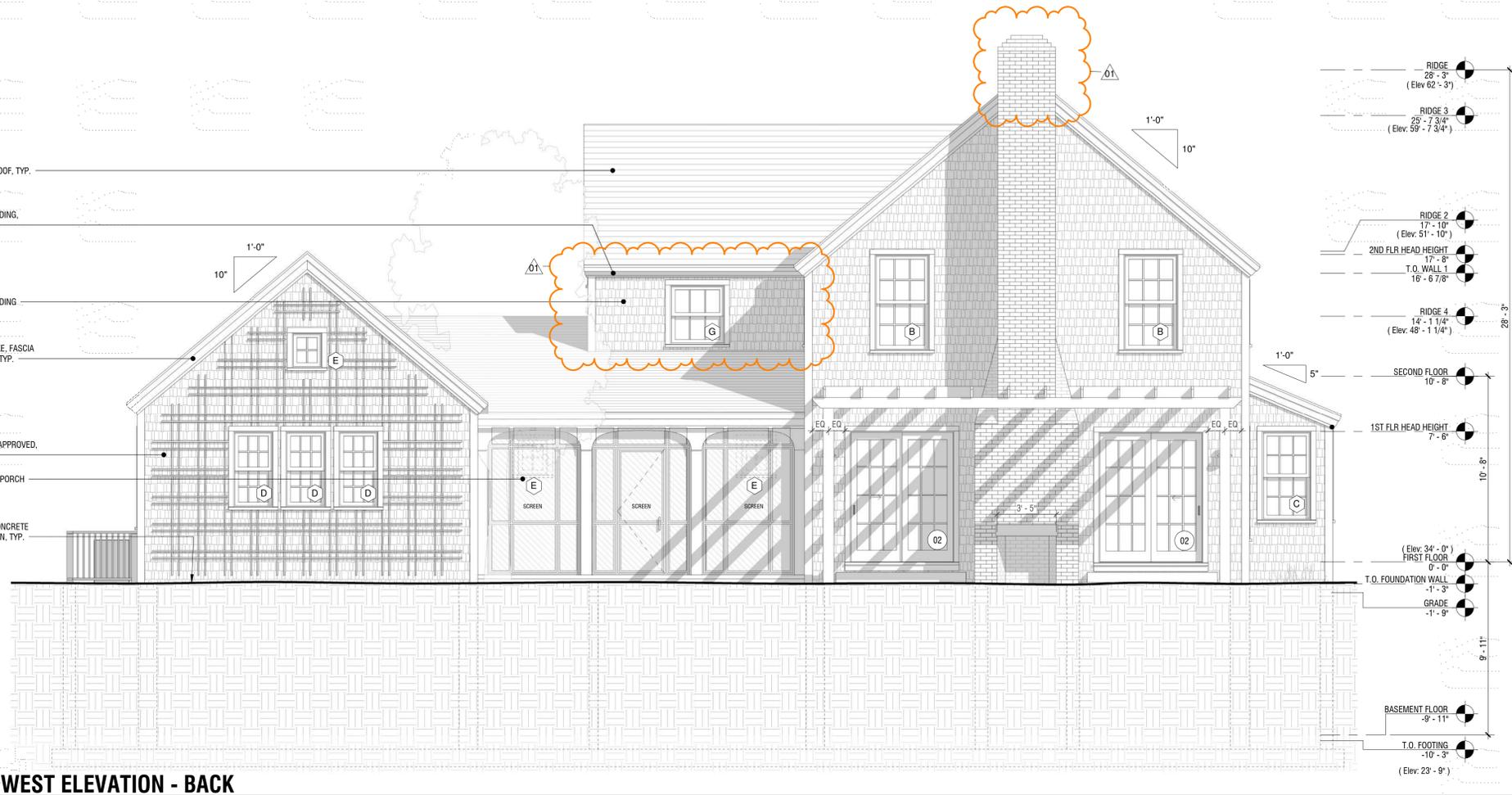
DRAWING INFO

CONSTRUCTION DOCUMENTS  
 DRAWN BY: MLW/IZM/USL  
 CHECKED BY: TJJ  
 DATE: AUGUST 30, 2017  
 SCALE: AS NOTED  
 PROJ. NO. BFC - 318008

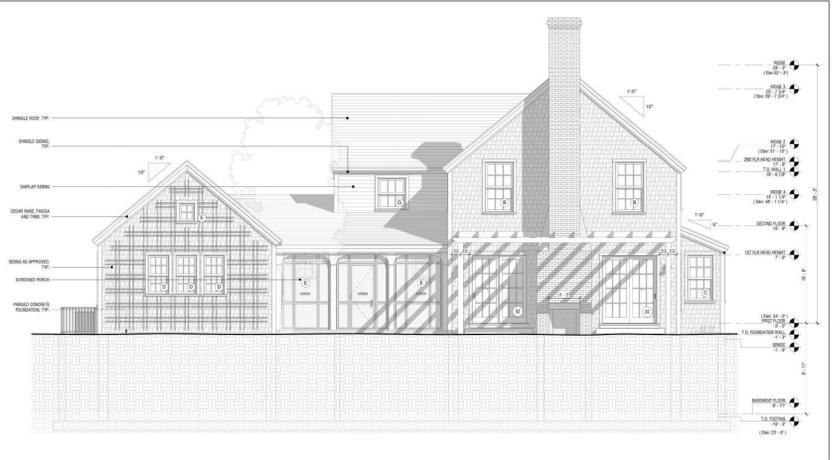
ELEVATIONS

**A-200**

- SHINGLE ROOF, TYP.
- SHINGLE SIDING, TYP.
- SHINGLE SIDING
- CEDAR RAKE, FASCIA AND TRIM, TYP.
- SIDING AS APPROVED, TYP.
- SCREENED PORCH
- PARGED CONCRETE FOUNDATION, TYP.



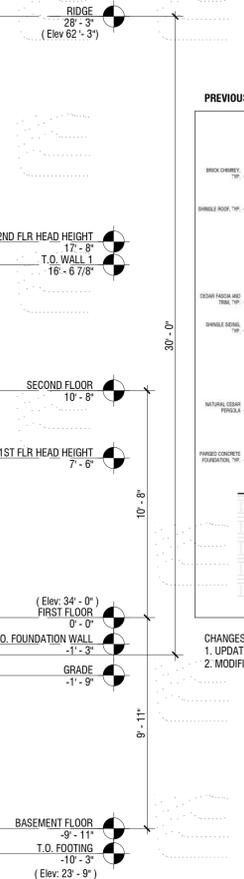
PREVIOUSLY SUBMITTED ELEVATION



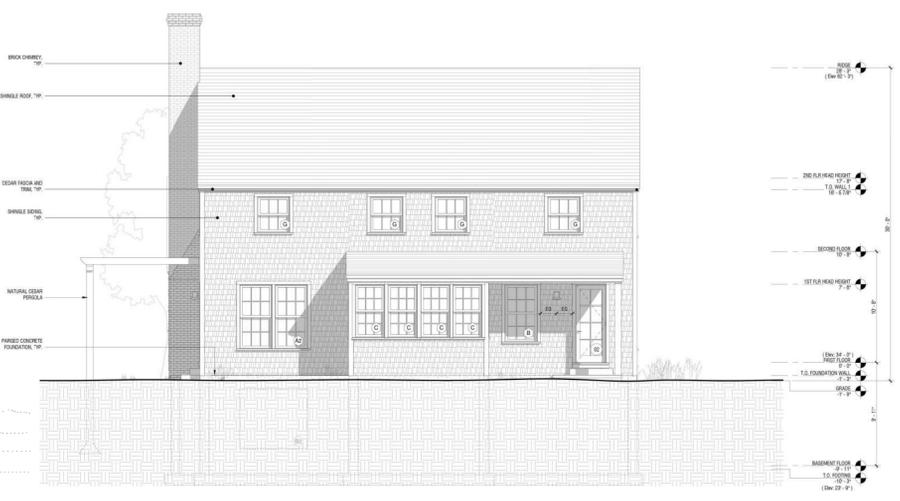
- CHANGES:
1. UPDATED FRONT DOOR STYLE
  2. MODIFIED CHIMNEY CAP

**1 WEST ELEVATION - BACK**  
1/4" = 1'-0"

- BRICK CHIMNEY, TYP.
- SHINGLE ROOF, TYP.
- CEDAR FASCIA AND TRIM, TYP.
- SHINGLE SIDING, TYP.
- NATURAL CEDAR PERGOLA
- PARGED CONCRETE FOUNDATION, TYP.



PREVIOUSLY SUBMITTED ELEVATION



- CHANGES:
1. UPDATED FRONT DOOR STYLE
  2. MODIFIED CHIMNEY CAP

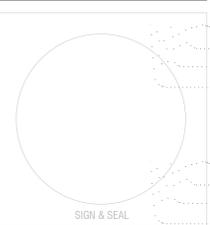
**2 SOUTH ELEVATION - SIDE B**  
1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

FOR CONSTRUCTION



ISSUES

NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

DRAWING INFO

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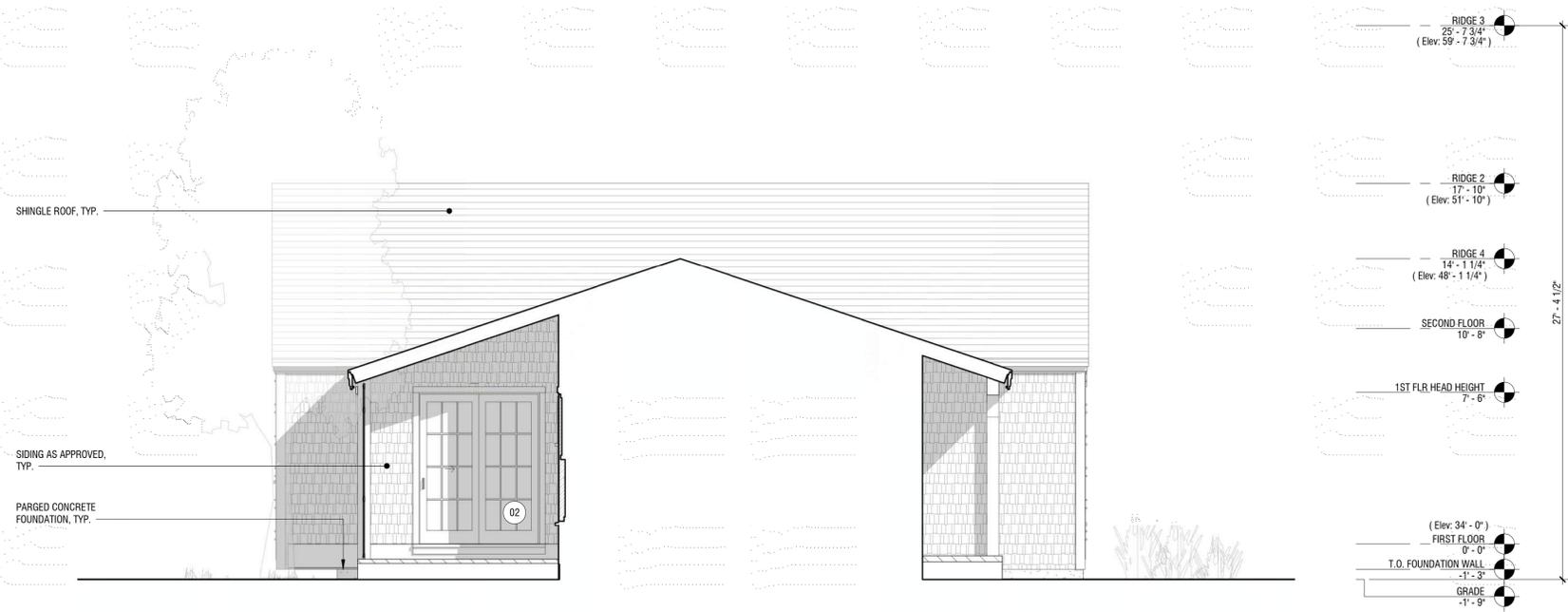
ELEVATIONS

**A-201**



**1 NORTH ELEVATION - SIDE A (PARTIAL)**

1/4" = 1'-0"



**2 SOUTH ELEVATION - SIDE B (PARTIAL)**

1/4" = 1'-0"

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REVISIONS

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

FOR CONSTRUCTION



ISSUES

NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

DRAWING INFO

CONSTRUCTION DOCUMENTS  
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 CHECKED BY: TJZ  
 DATE: AUGUST 30, 2017  
 SCALE: AS NOTED  
 PROJ. NO. BFC - 318008

ELEVATIONS

**A-202**

ALL DESIGNS & SPECS ARE SUBJECT TO  
VERIFICATION OF EXG. FIELD CONDITIONS

**REVISIONS**

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

**FOR CONSTRUCTION**



**ISSUES**

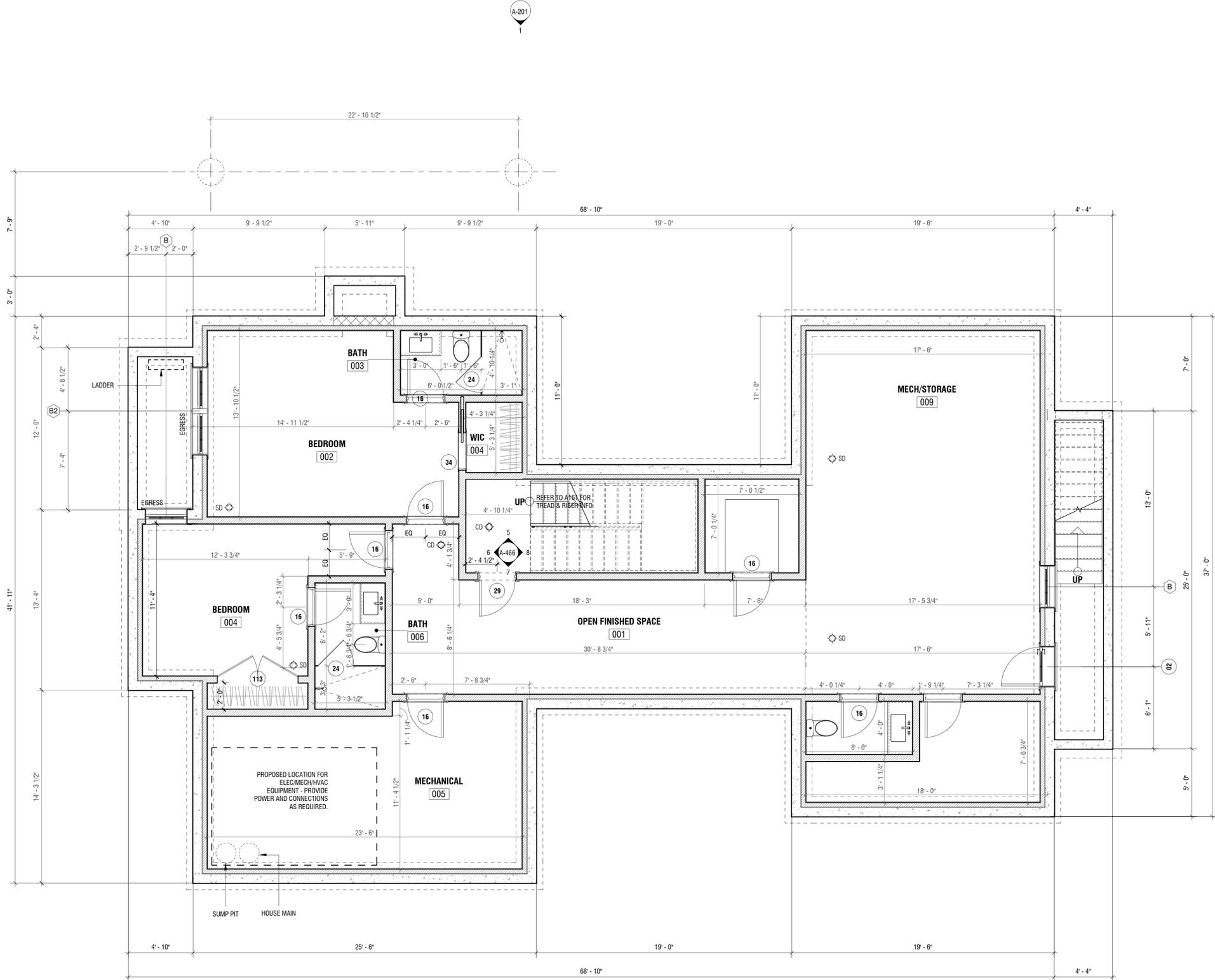
NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

**DRAWING INFO**

CONSTRUCTION DOCUMENTS  
 DRAWN BY: MLW/IZM/USL  
 CHECKED BY: TJZ  
 DATE: AUGUST 30, 2017  
 SCALE: AS NOTED  
 PROJ. NO. BFC - 318008

**BASEMENT PLAN**

# A-100



## BASEMENT FLOOR PLAN

1/4" = 1'-0"

1

ALL DESIGNS & SPECS ARE SUBJECT TO  
VERIFICATION OF EXG. FIELD CONDITIONS

### REVISIONS

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

### FOR CONSTRUCTION



### ISSUES

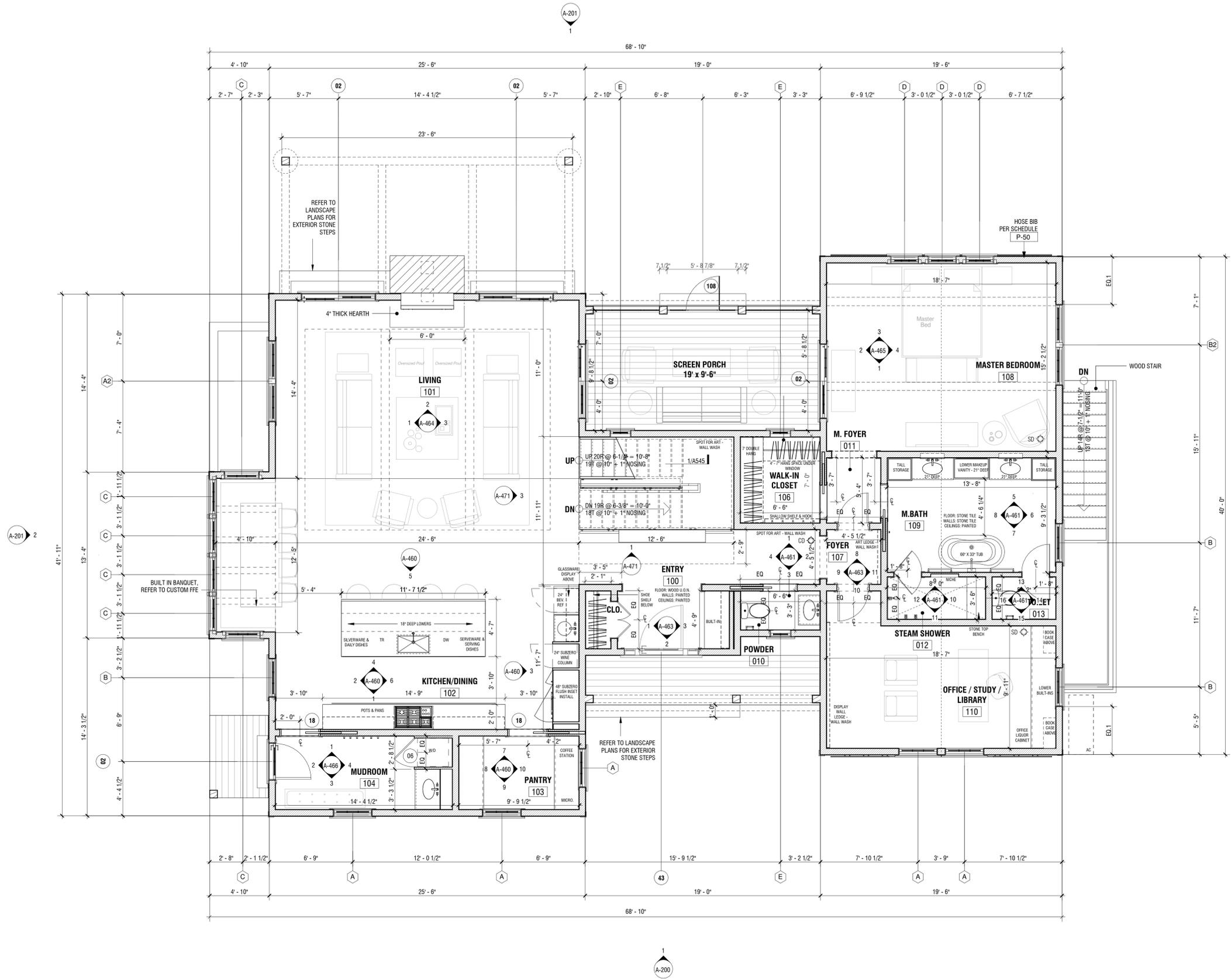
NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

### DRAWING INFO

CONSTRUCTION DOCUMENTS  
 DRAWN BY: MLW/IZM/JSJ  
 CHECKED BY: TJJ  
 DATE: AUGUST 30, 2017  
 SCALE: AS NOTED  
 PROJ. NO. BFC - 318008

### FIRST FLOOR PLAN

# A-101



## FIRST FLOOR PLAN

1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO  
VERIFICATION OF EXG. FIELD CONDITIONS

**REVISIONS**

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

**FOR CONSTRUCTION**



**ISSUES**

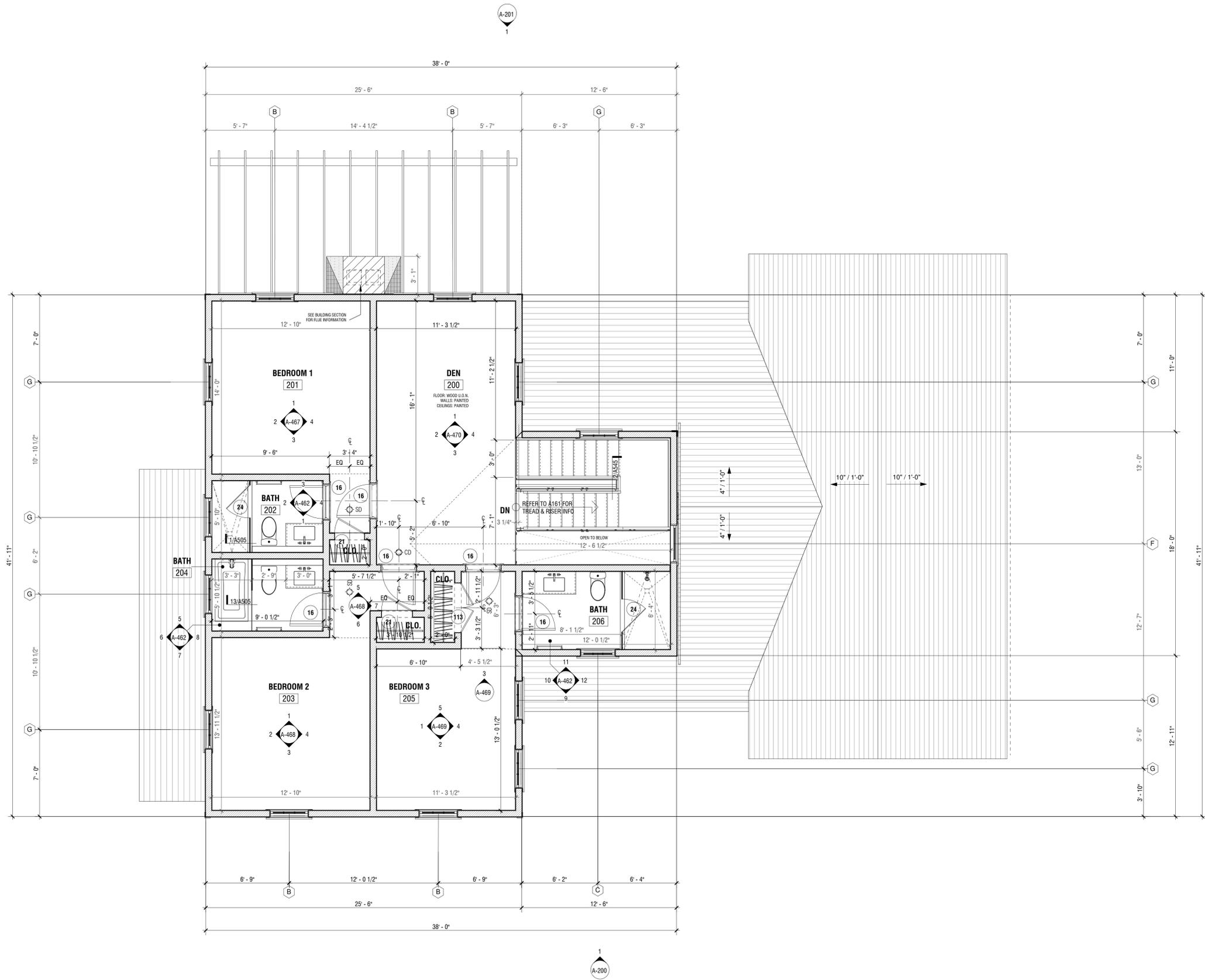
NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

**DRAWING INFO**

CONSTRUCTION DOCUMENTS  
DRAWN BY: MLW/IZM/JSL  
CHECKED BY: TJJ  
DATE: AUGUST 30, 2017  
SCALE: AS NOTED  
PROJ. NO. BFC - 318008

**SECOND FLOOR PLAN**

**A-102**



**1 SECOND FLOOR PLAN**  
1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO  
VERIFICATION OF EXG. FIELD CONDITIONS

**REVISIONS**

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

**FOR CONSTRUCTION**



**ISSUES**

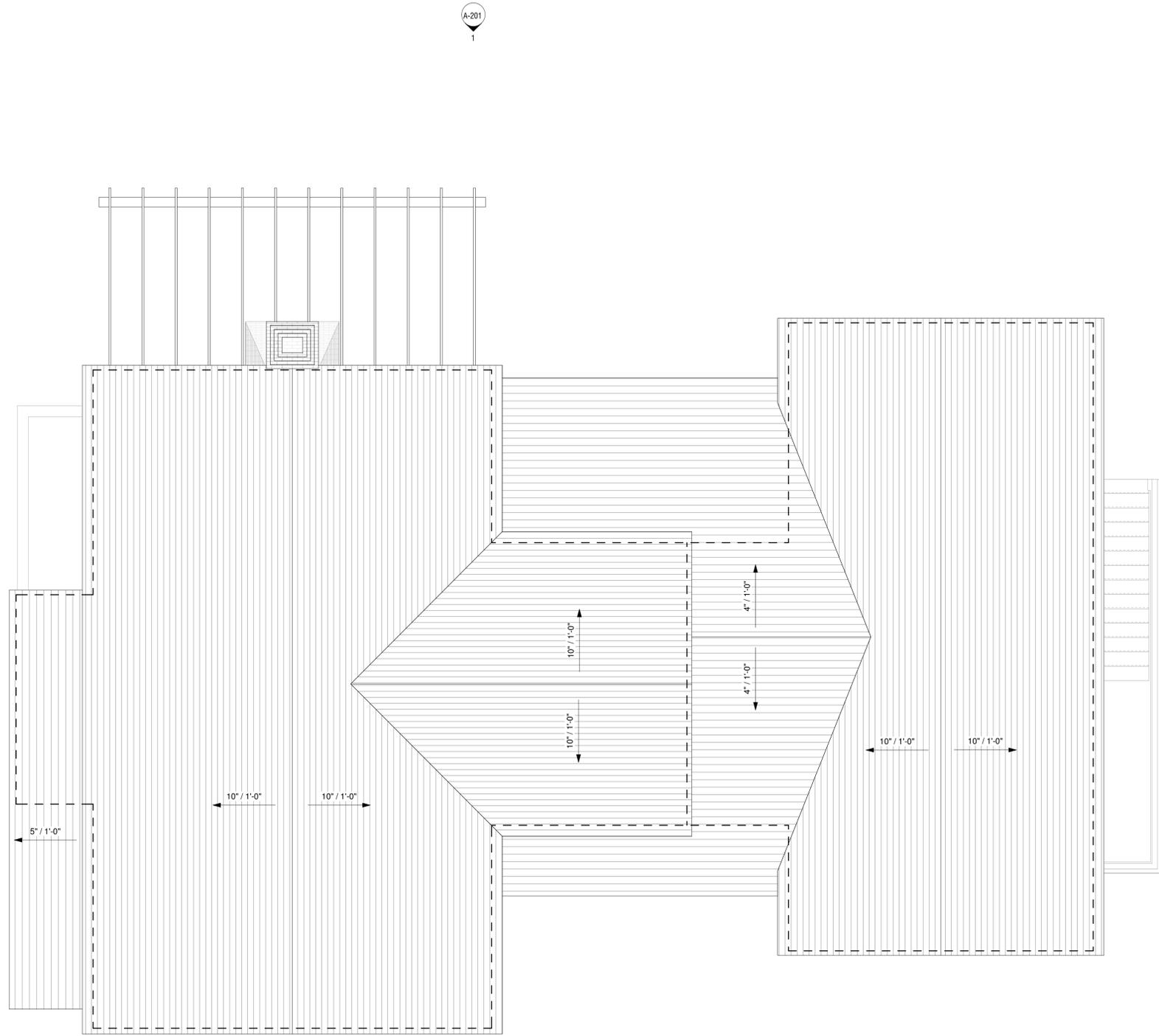
NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

**DRAWING INFO**

CONSTRUCTION DOCUMENTS  
 DRAWN BY: MLW/IZM/JSJ  
 CHECKED BY: T.JZ  
 DATE: AUGUST 30, 2017  
 SCALE: AS NOTED  
 PROJ. NO. BFC - 318008

**ROOF PLAN**

# A-103



A-201  
1

A-201  
2

A-200  
2

A-200  
1

**CANNONBURY LANE**

CANNONBURY LANE  
NANTUCKET, MA 02564



NANTUCKET, MA



CANNONBURY LANE



PROJECT SITE





VIEW 1 - ENTRANCE GATE FROM LOW BEACH ROAD





VIEW 2 - NORTHEMND OF CANNONBURY LOOKING SOUTH



CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

This certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of occupancy.

#### PROPERTY DESCRIPTION

MAP NO: 73.1.3 PARCEL NO: 5.3  
 Street & Number of Proposed Work: 31 Shell St Siasconset  
 Owner of record: Alix Keating  
 Mailing Address: 31 Shell St Siasconset  
Nantucket MA 02584  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Kate Morrish  
 Mailing Address: PO Box 477  
Nantucket MA 02584  
 Contact Phone #: 978-325-3112 E-mail: Kate@nanhucet.com  
homebuilders.com

#### FOR OFFICE USE ONLY

Date application received: 8/25/2020 Fee Paid: \$ 300  
 Must be acted on by: 10/10/2020  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other General Landscaping Plan  
 Type of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_  
 Reference between existing grade and proposed finish grade: North N/A South N/A East N/A West N/A  
 Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

Additional Remarks: Wade Cottage #1

#### REVISIONS\*

1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation 2 A/C UNITS

Where an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
 Roof Pitch: Main Mass 12 Secondary Mass 12 Dormer 12 Other \_\_\_\_\_  
 Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
 Fencing: Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_  
 Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
 Soffits (material and size): \_\_\_\_\_  
 Siding:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
 Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
 Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
 Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
 Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
 Landscape materials: Driveways Belgian Block Walkways Bluestone + GRANITE STEPS

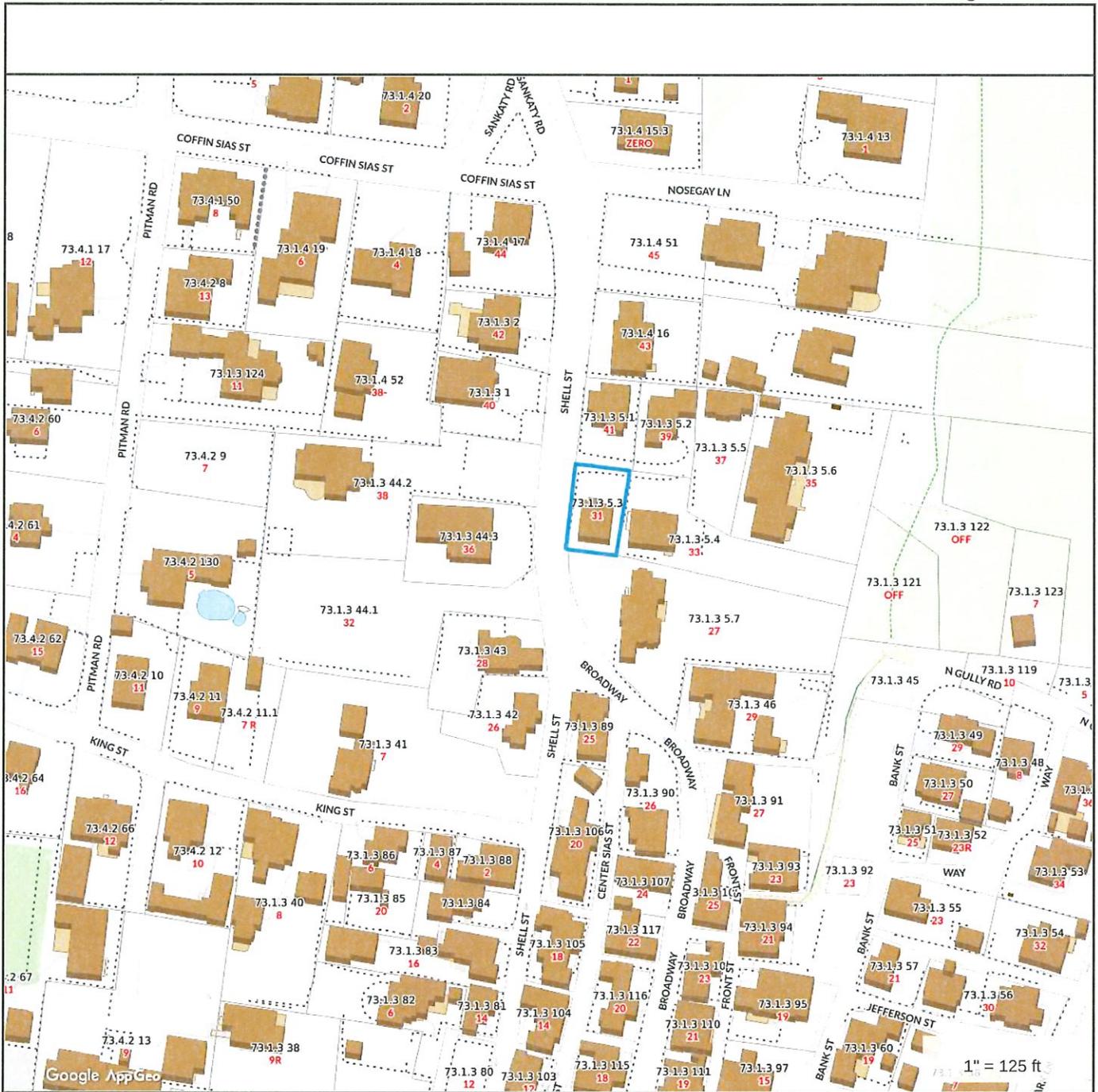
Note: Complete door and window schedules are required.

#### COLORS

Siding \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
 Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
 Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence WHITE Shutters \_\_\_\_\_  
 Attach manufacturer's color samples if color is not from HDC approval list. + DOORS

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of

10. NT Development <b>08-1517</b>	7 Hydrangea Lane	New dwelling	73/95	Val Oliver
Voting	Pohl, Coombs, Welch			
Alternates	None			
Recused	Oliver			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Val Oliver, V. Oliver Design			
Public	None			
Concerns (8:02)	<p><b>Oliver</b> – Reviewed changes made per previous concerns; white trim and white sash matches the neighborhood.</p> <p><b>Welch</b> – He liked the shutters on the front; made it more appropriate with the large dormer. Appreciates the changes. White everywhere is too much for this structure; the shutters and trim should be a different color. Appreciates the change to the south elevation dormer and ganged windows and same on the north. He would prefer light grey over white.</p> <p><b>Coombs</b> – The changes are an improvement. Also likes the shutters. Dark green shutters and doors with white trim would be nice.</p> <p><b>Pohl</b> – He too supports having shutters. Again, black shutters with white is very Main Street.</p>			
Motion	<b>Motion to Approve through staff with the front elevation to have the farmers porch and shutters with dark green sash, shutters, and door and light grey trim. (Welch)</b>			
Roll-call Vote	Carried 4-0//Oliver, Coombs, Welch, and Pohl-aye		Certificate #	<b>HDC2020-08-1517</b>
11. Mary O'Connell <b>08-1508</b>	8 Center Street Sias	Rev. 12-0352: relocate A/C	73.1.3/76	Concept Design
Voting	Pohl, Coombs, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	None			
Representing	None			
Public	None			
Concerns (8:12)	Not opened at this time.			
Motion	<b>Motion to Hold for representation. (Welch)</b>			
Roll-call Vote	Carried 4-0//Coombs, Oliver, Welch, and Pohl-aye		Certificate #	
12. Alix Keeting <b>08-1592</b>	31 Shell Street	Steps, arbor, driveway/apron	73.1.3/5.3	Kent Murphy
Voting	Pohl, Coombs, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Landscape design plans, site plan, photos, and advisory comments.			
Representing	Kent Murphy			
Public	None			
Concerns (8:12)	<p><b>Murphy</b> – Held for a view and more photos; explained placement of the hedge; reviewed the changes made.</p> <p><b>Backus</b> – Did not go back to SAB. Mr. Pohl previously said it should be less formal and that cobble was more rural</p> <p><b>Oliver</b> – She viewed this; the biggest concern was the parking and apron was going to be Belgium block; parking in that area usually has a shell parking area with Belgium block apron.</p> <p><b>Welch</b> – We need a complete application; there should be a copy of the minutes and a copy of the proposed. With respect to the hedge, the privet as installed at 27 Shell Street is not typical in that area. It's odd to have a 5-foot strip of shell behind a full-sized apron; the applicant should ask the Planning Board for a 5-foot apron of cobble and the rest shell.</p> <p><b>Coombs</b> – Shell would be good.</p> <p>Discussion about the driveway apron material and parking area material: cobble apron and shell parking.</p>			
Motion	<b>Motion to Hold for revision and complete application. (Welch)</b>			
Roll-call Vote	Carried 4-0//Oliver, Coombs, Welch, and Pohl-aye		Certificate #	



**Property Information**

Property ID	73.1.3 5.3
Location	31 SHELL ST
Owner	AMK LLC

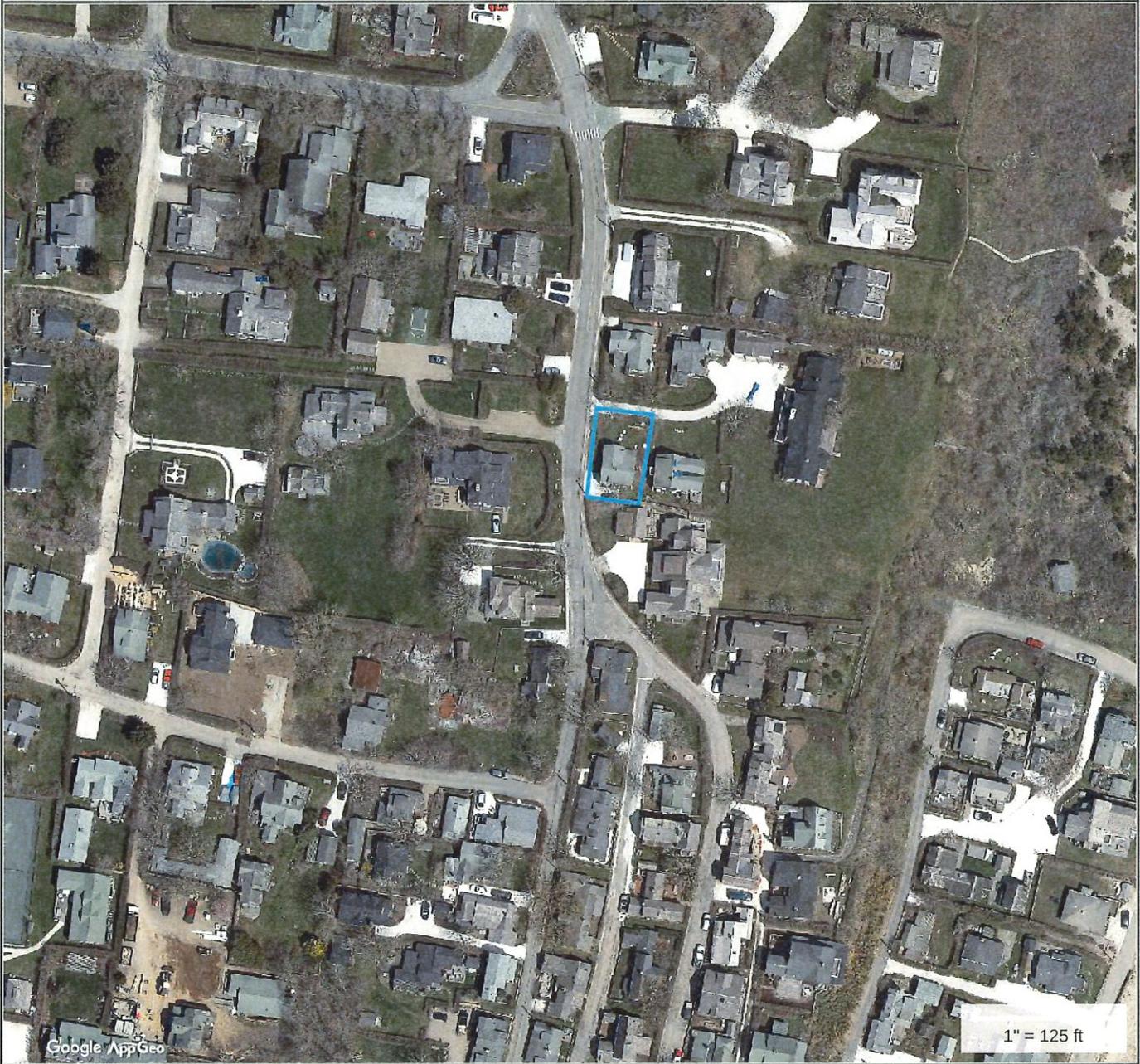


**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018  
Data updated 11/19/2018

1" = 125 ft



**Property Information**

Property ID 73.1.3 5.3  
Location 31 SHELL ST  
Owner AMK LLC



**MAP FOR REFERENCE ONLY  
NOT A LEGAL DOCUMENT**

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Geometry updated 11/13/2018  
Data updated 11/19/2018

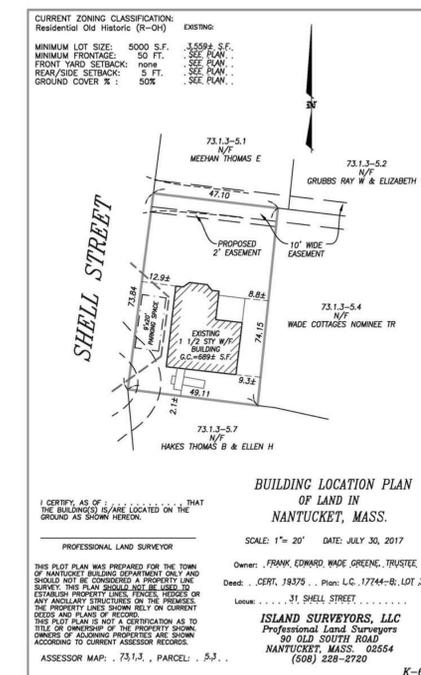
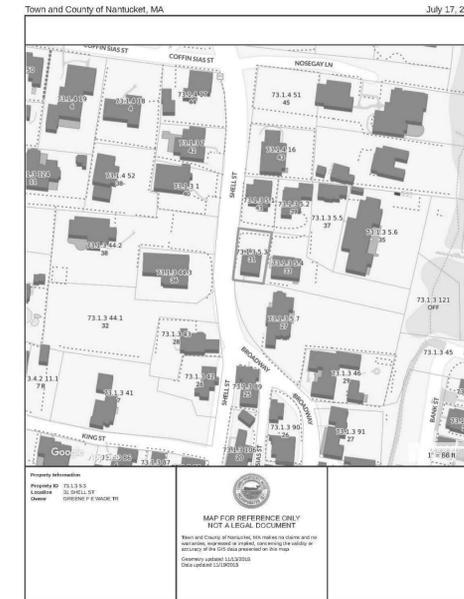
# Keating Residence 31 Shell Street Proposed Landscape

Map 73.1.3 Parcel 5.3



www.Nantuckethomebuilders.com

**Nantucket Design**  
Residential Design/Build  
PO Box 477 Nantucket Ma  
508-228-9730  
div. KentMurphy Builders Inc.

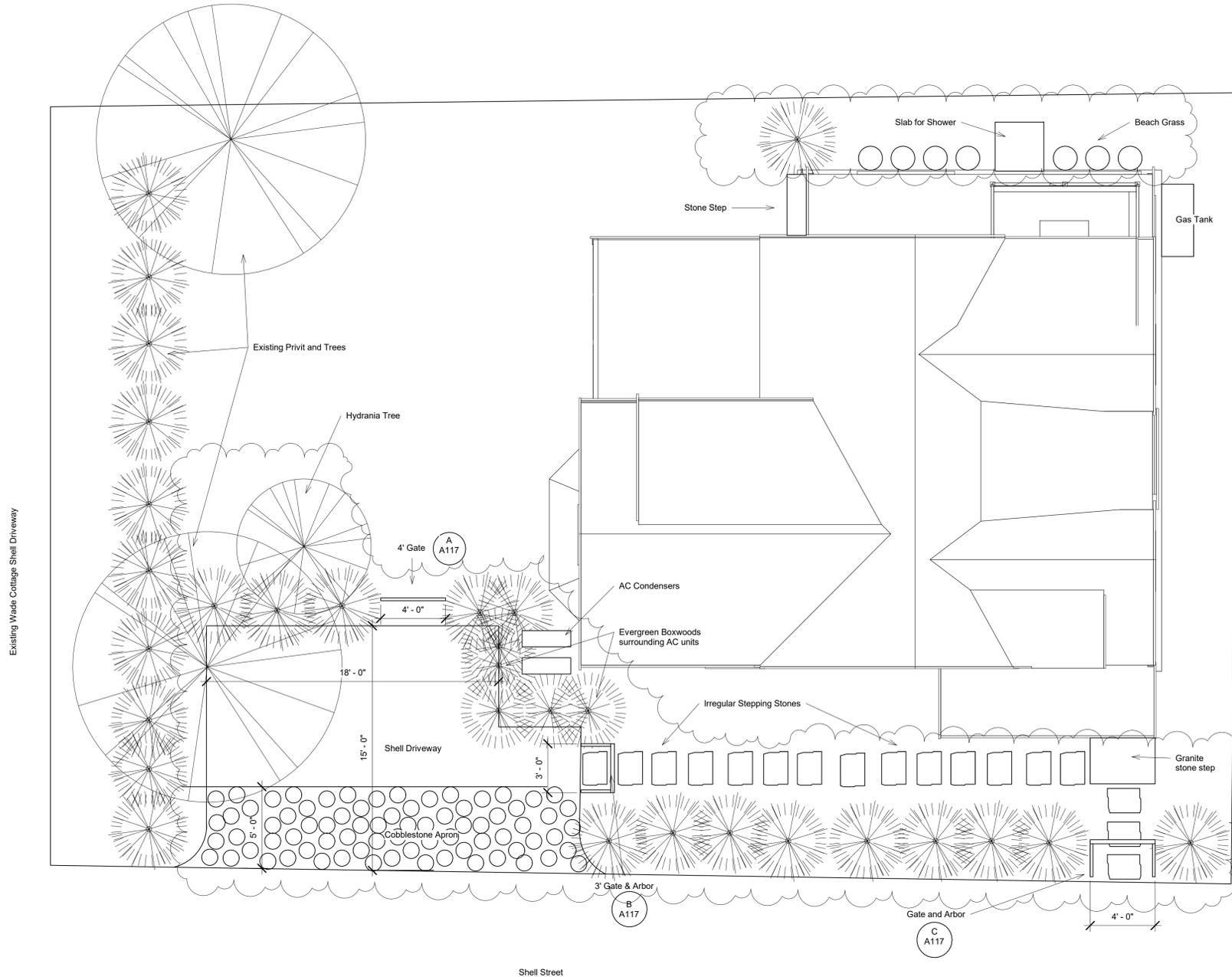


**Keating  
Additions  
Proposed Landscape**

Project number 2019 122  
Date 10-1-2020  
Drawn by KM  
Checked by KM

**C1**

Scale 1/4" = 1'-0"



1 Proposed Landscape REVISED  
1/4" = 1'-0"









WADE  
COTTAGES





# CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

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The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

## PROPERTY DESCRIPTION

TAX MAP N<sup>o</sup>: 55.4.4 PARCEL N<sup>o</sup>: 56 (PORTION)  
 Street & Number of Proposed Work: 38 PROSPECT ST (LOT 29)  
 Owner of record: 38 PROSPECT LLC  
 Mailing Address: 197 8th ST; APT 524  
CHARLESTOWN, MA 02129  
 Contact Phone #: 781.424.8396 E-mail: \_\_\_\_\_

## AGENT INFORMATION (if applicable)

Name: BROOK MEERBERGEN  
 Mailing Address: PO BOX 673  
02554  
 Contact Phone #: 81388 E-mail: \_\_\_\_\_

## FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)
- Roof
- Other \_\_\_\_\_

Size of Structure or Addition: Length: 28'-0" Sq. Footage 1st floor: 504 Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 18'-0" Sq. footage 2nd floor: 504 Size: \_\_\_\_\_  1st floor  2nd floor  
 1008 \* .20 => \$201.60 Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North LEVEL LOT @ THE 55'5" TOPOLINE South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
 Height of ridge above final finish grade: North 22'-2" South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

## Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_

**REVISIONS\***  
 1. East Elevation  
 2. South Elevation  
 (describe)

Original Date:

(describe)

3. West Elevation

Original Builder:

4. North Elevation

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6"  Block  Block Parged  Brick (type)  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type)  Other

Roof Pitch: Main Mass 9 /12 Secondary Mass \_\_\_ /12 Dormer 9 /12 Other 4/12 PENT ROOF (REAR)

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) FIBERGLASS GUTTER CD 6.75

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1x10 Rake 1x8 Soffit (Overhang) 10" Corner boards 5/4x8 Frieze 1x6  
Window Casing 5/4x4 Door Frame 5/4x4 Columns /Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer ANDERSEN

Doors\* (type and material):  TDL  SDL Front 6LT/PANEL Rear 3LT/2 PANEL Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways WHITE SHELL Walkways BLUESTONE STEPS Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

COLORS

Sidewall NTW Clapboard (if applicable) \_\_\_\_\_ Roof NTW  
Trim WHITE Sash WHITE Doors WHITE  
Deck MAHOG NTW Foundation GREY Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 09.02.2020

Signature of owner of record [Signature]

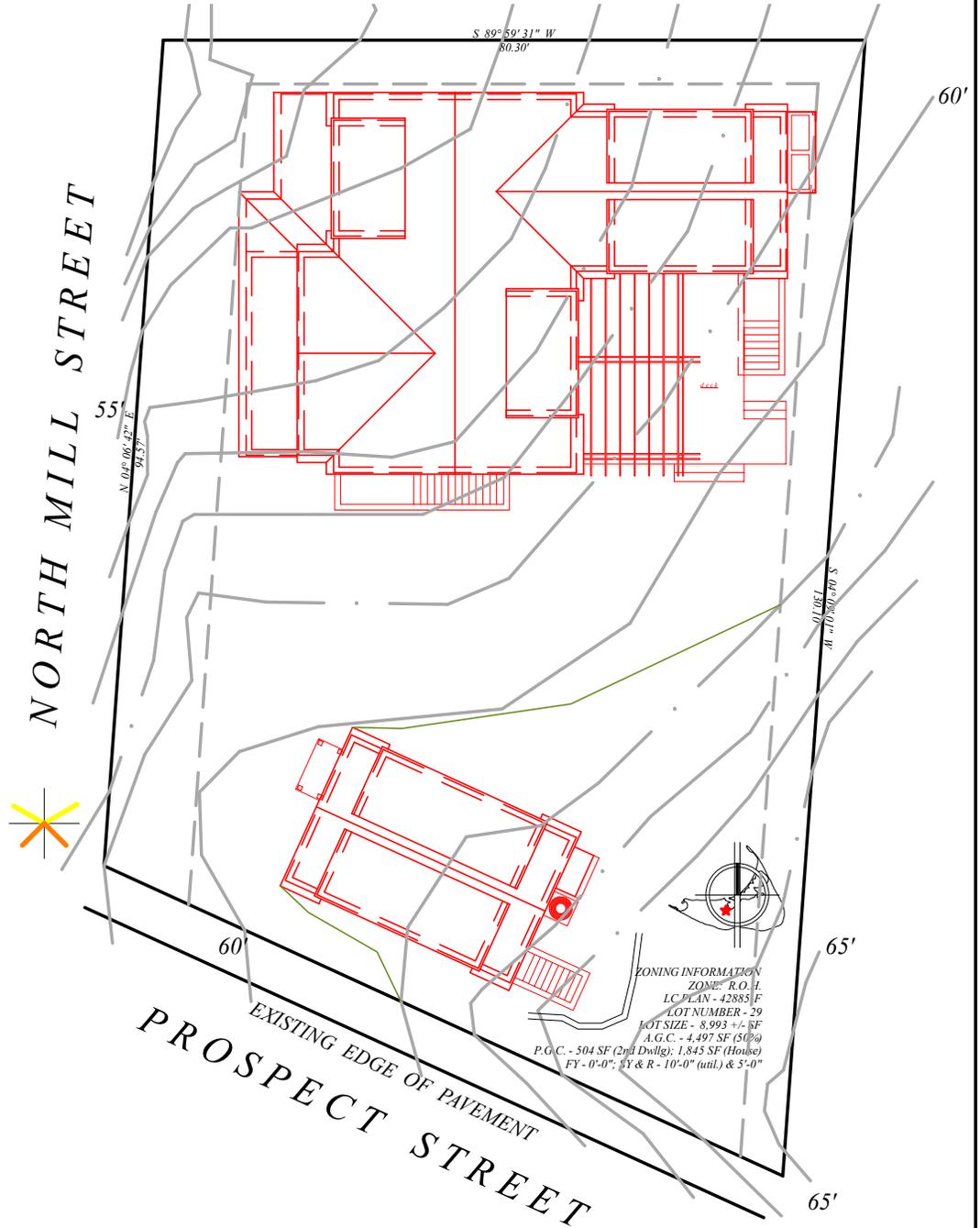
Signed under penalties of perjury

38 PROSPECT LLC  
 NEW SECOND DWELLING  
 38 PROSPECT STREET (PORTION)  
 SCALE: 1" = 20'-0"

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LOCUS MAP - NOT TO SCALE  
 38 PROSPECT LLC - MAP 55.4.4; PCL 56 (PORTION)

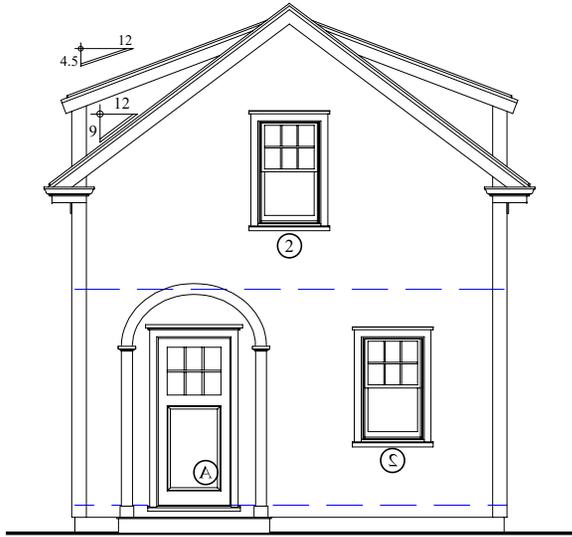


- |   |   |   |  |  |  |
|---|---|---|--|--|--|
| ①   | ②   | ③   | A  | B  | C  |
|   |   |   |  |  |  |
| ANDERSEN THREE CUSTOM<br>35 DOUBLE HUNG<br>MANUF. R.D. 2'-10 1/8" x 4'-7 7/8"<br>QTY. THREE (3)<br>TRIM COLOR: WHITE<br>UNIT COLOR: WHITE<br>SINGLE CAP - NO SCOTIA | ANDERSEN TWO 61<br>61 DOUBLE HUNG<br>MANUF. R.D. 2'-10 1/8" x 4'-7 7/8"<br>QTY. THREE (3)<br>TRIM COLOR: WHITE<br>UNIT COLOR: WHITE<br>SINGLE CAP - NO SCOTIA | ANDERSEN TWO 61<br>61 DOUBLE HUNG<br>MANUF. R.D. 2'-10 1/8" x 4'-7 7/8"<br>QTY. THREE (3)<br>TRIM COLOR: WHITE<br>UNIT COLOR: WHITE<br>SINGLE CAP - NO SCOTIA | CUSTOM WOOD DOOR<br>6 LIGHT - ONE PANEL (SIDE)<br>SLAB SIZE: 3'-6" x 7'-6"<br>QTY. ONE (1)<br>SLAB COLOR: WHITE<br>TRIM COLOR: WHITE | CUSTOM WOOD DOOR<br>6 LIGHT - ONE PANEL (SIDE)<br>SLAB SIZE: 3'-6" x 7'-6"<br>QTY. ONE (1)<br>SLAB COLOR: WHITE<br>TRIM COLOR: WHITE | ANDERSEN TWO 2611<br>FULL LIGHT ON SWING<br>MANUF. R.D. 2'-9" x 6'-11"<br>QTY. ONE (1)<br>TRIM COLOR: WHITE<br>UNIT COLOR: WHITE |

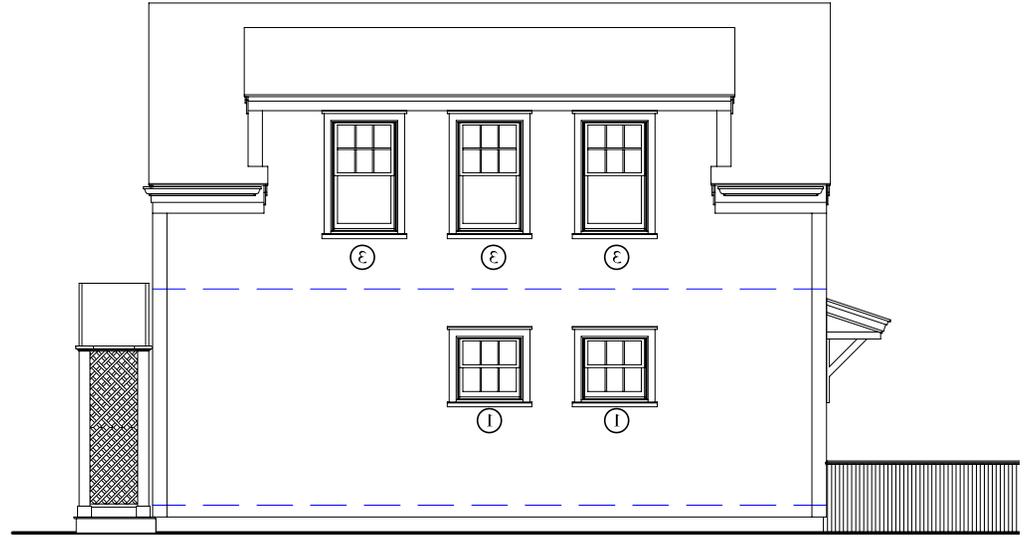
MEERBERGEN DESIGNS  
 PO BOX 673  
 NANTUCKET, MA 02554  
 508.228.1388

38 PROSPECT LLC  
 NEW SECOND DWELLING  
 38 PROSPECT STREET (PORTION)  
 SCALE: 1/8" = 1'-0"

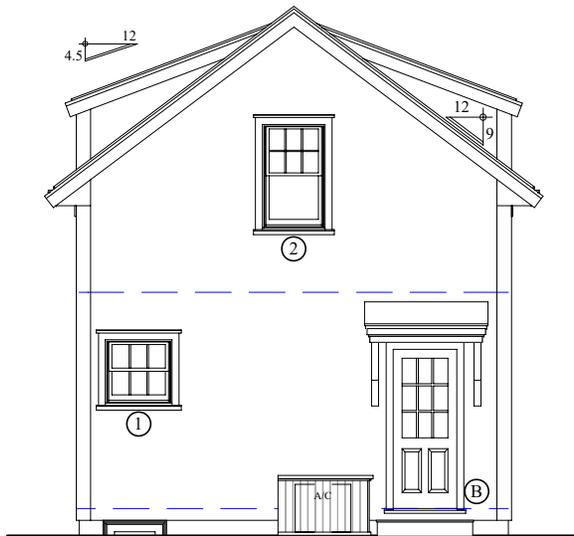
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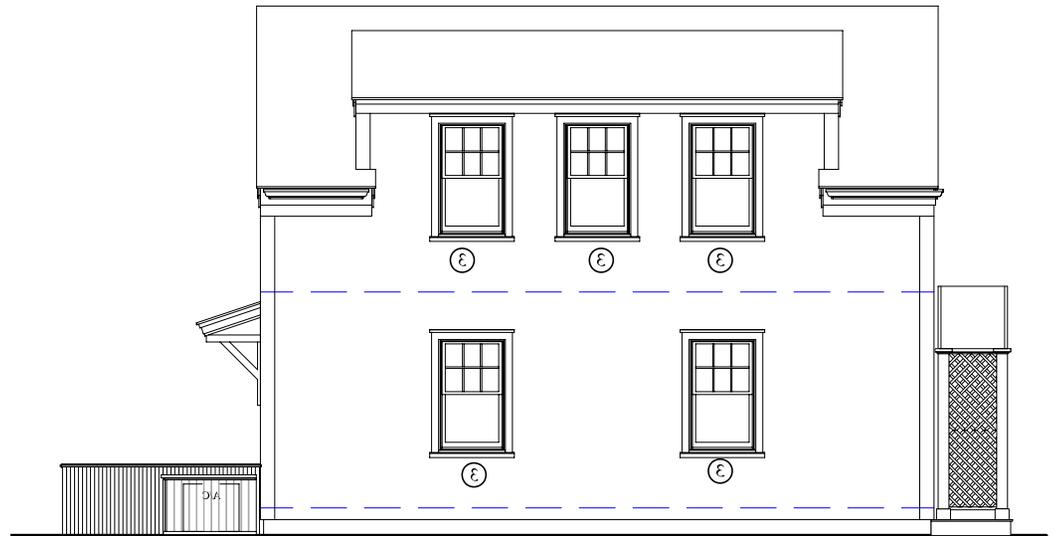
WEST ELEVATION  
 FACING NORTH MILL STREET



SOUTH ELEVATION  
 FACING PROSPECT STREET



EAST ELEVATION  
 FACING FRAKER PROPERTY

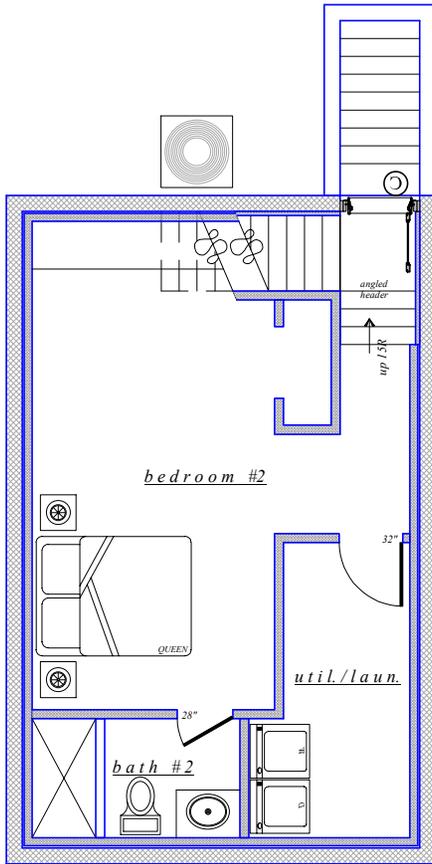


NORTH ELEVATION  
 FACING HOUSE

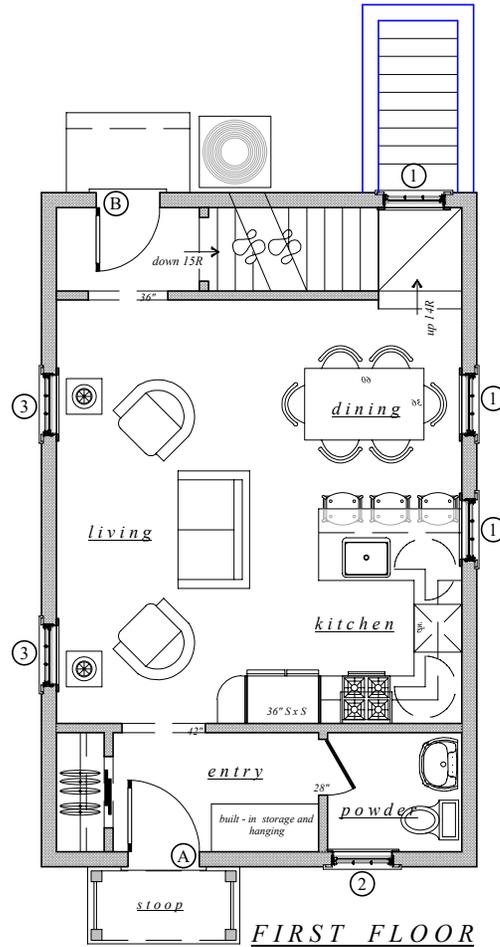
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38 PROSPECT LLC  
 NEW SECOND DWELLING  
 38 PROSPECT STREET (PORTION)  
 SCALE: 1/8" = 1'-0"

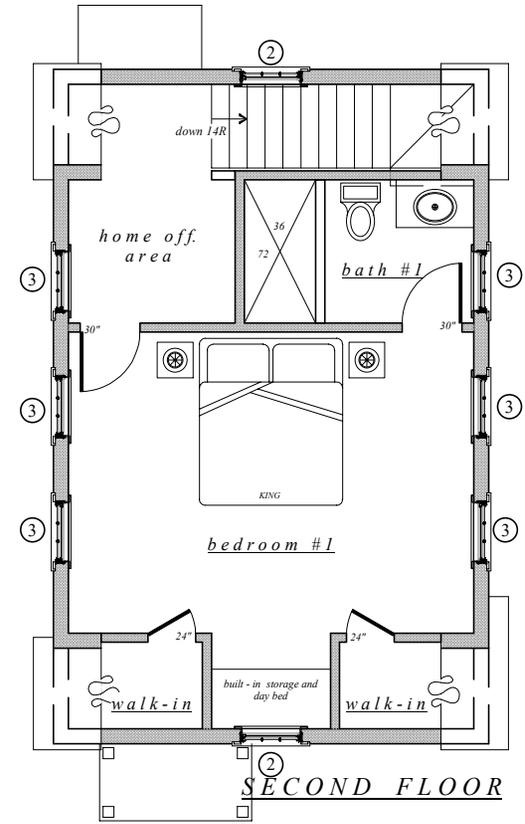
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BASEMENT PLAN



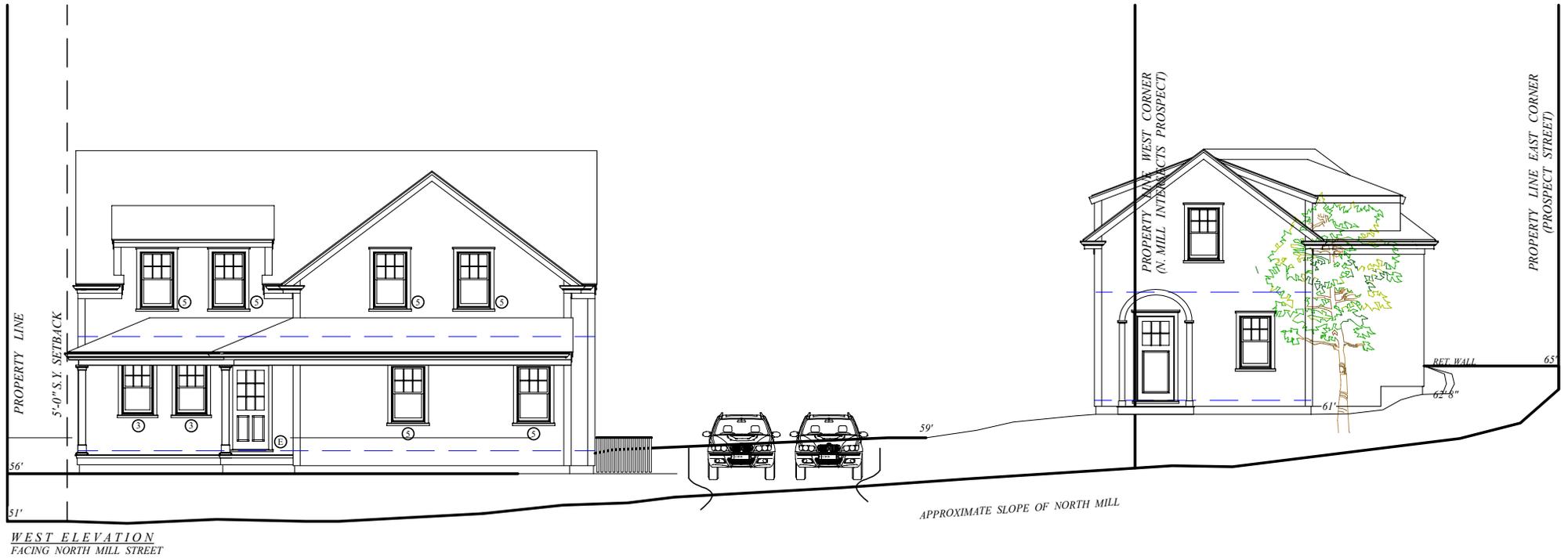
FIRST FLOOR



SECOND FLOOR

LOT SLOPE PERSPECTIVE  
38 PROSPECT LLC  
38 PROSPECT STREET (PORTION)  
SCALE: NO SCALE

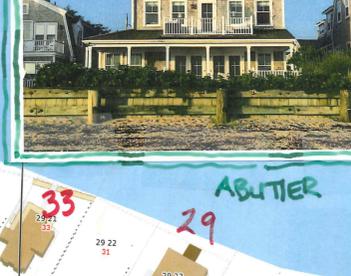
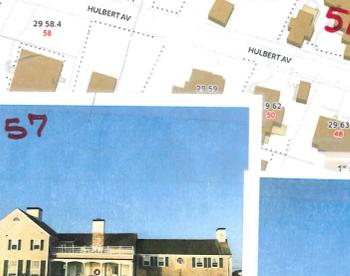
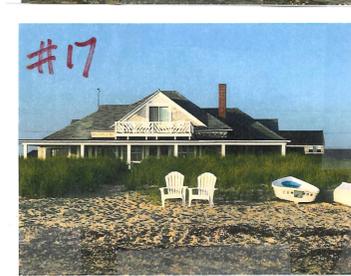
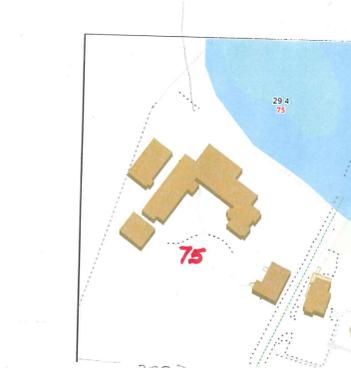
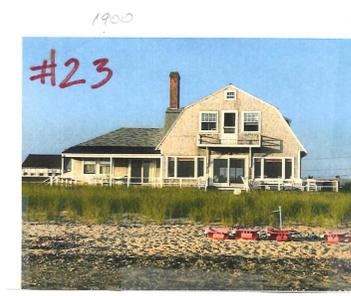
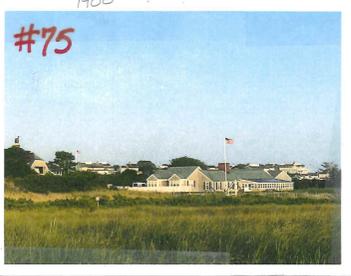
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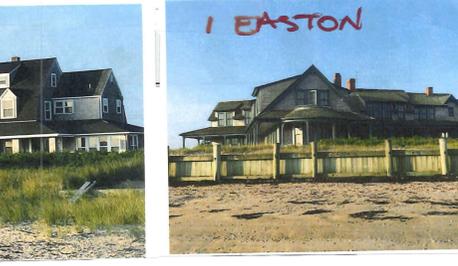
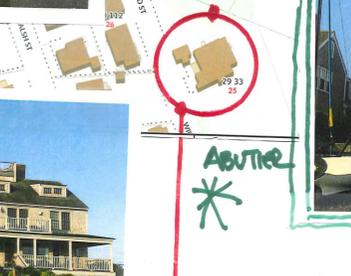
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508.228.1388

# PHOTO BEACH SIDE REVIEW

THIS SHOWS THE WIDE VARIETY OF ARCHITECTURAL STYLES ALONG THE SHORELINE.



SUBJECT #45 HOUSE & CONTEXT



ORIGINAL HOUSE 45 HULBERT BUILT IN 1900 - MOVED TO MILLARD ST. IN 1939

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 29 PARCEL N°: 16  
 Street & Number of Proposed Work: 45 Fulbert Ave  
 Owner of record: ActWetherill trust  
 Mailing Address: 45 Fulbert Ave  
Nantucket Ma  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Thornhill Design LLC  
 Mailing Address: 48 Dukes Road  
Nantucket, Ma  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_  
 Size of Structure or Addition: Length: 70 Sq. Footage 1st floor: 2305 Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 52 Sq. footage 2nd floor: 1772 Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0  
 Height of ridge above final finish grade: North 30'-3" & 29" South 28'-3" & 29" East 28'-3" & 30'-3" West 29" & 28'-3"

#### Additional Remarks

#### REVISIONS\*

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_ (describe)  
 Original Builder: \_\_\_\_\_

1. East Elevation  
 2. South Elevation  
 3. West Elevation  
 4. North Elevation

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 3"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
 Roof Pitch: Main Mass 24/12 Secondary Mass 24/12 Dormer 5/12 Other 5/12 GAMBREL TOP chord  
 Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Red cedar

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): 4x4 WOOD

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake 1x8 & 3 Soffit (Overhang) 8" Corner boards 1x6 Frieze \_\_\_\_\_

Window Casing 1x5 Door Frame 1x5 Columns/Posts: Round \_\_\_\_\_ Square 8"

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer MARVIN

Doors\* (type and material):  TDL  SDL Front 6 panel Rear 15 light Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways shell Walkways bluestone Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall Nat Clapboard (if applicable) \_\_\_\_\_ Roof Nat  
 Trim white Sash white Doors white  
 Deck \_\_\_\_\_ Foundation Nat Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date: 8/10/08 Signature of owner of record: Luke Thornhill for Dave Wetherill Tr. Signed under penalties of perjury

9. A.C. Wetherill Trust 09-1655 45 Hulbert Avenue New dwelling

Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
Alternates Welch, Dutra  
Recused None  
Documentation Architectural elevation plans, site plan, photos, and advisory comments.  
Representing Luke Thornewill, Thornewill Design  
Linda Williams  
Sarah Alger, Sarah F. Alger P.C.

Public  
Concerns (8:26)

None  
**Thornewill** – Presented project; Conservation Commission wants the indoor:outdoor ratio to remain the same as the existing.  
**Backus** – Read HSAB comments: fine with gambrel; look at other gambrel examples; make dormers smaller; lack of hierarchy; roofwalk looks lopsided; long ridge on water side; need central front door; focus should be on front door. She recommends having an outline of the existing with a floor plan to understand the changes.  
**Camp** – Agrees about seeing how this fits on the old footprint. North elevation, if the porch went all the way across, it would unify that elevation. West elevation, there are two planes going back and no hierarchy. Not sure about the roofwalk.  
**Oliver** – Agrees the larger mass from the south could be wider; that would make the left wing more additive. Likes the gambrel style.  
**Coombs** – The 6-over-1 windows don't go with the 1940s feel Mr. Thornewill is going for. East and west elevations look like they belong. South elevation is just a big rectangle. The front facade is not interesting. Houses along Hulbert fronted on the water with Hulbert Avenue as the rear. This should have at least 2 chimneys.  
**McLaughlin** – No comments at this time.  
**Pohl** – South elevation doesn't have enough difference between the main mass and the left mass; should drop the secondary ridge 2 feet; all the windows are too small; too much horizontal boarding; bring shingles down farther.

Motion  
Roll-call Vote

**Motion to Hold for revisions. (Oliver)**  
Carried 5-0//Coombs, McLaughlin, Camp, Oliver, and Pohl-aye Certificate #

10. Nan. Westmoor Farm, LLC 09-1691 8 Old Westmoor Farm Move off/demo red barn

41/822 Workshop APD

REVISIONS

Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
Alternates Welch, Dutra  
Recused None  
Documentation Architectural elevation plans, site plan, photos, and historic documentation.  
Representing Michael Luft-Weissberg, Workshop APD  
Public None  
Concerns (8:46)

**Luft-Weissberg** – Presented overall project; the Red Barn is circa 1991 and Green Barn circa 1997; we have takers for the buildings.  
**Oliver** – Hopes these get reused; feels sinful to demolish.  
**Camp** – This is a wonderful building.  
**McLaughlin** – Doesn't like to see new stuff being demolished.  
**Coombs** – She'd be sorry to see them demolished.  
**Pohl** – We are charged with saving historic buildings and these are not; doesn't think they could be moved.  
**Motion to Approve the move-off/demolition. (Oliver)**  
Carried 3-2//McLaughlin, Oliver, and Pohl-aye; Coombs & Camp-nay Certificate #

Motion  
Roll-call Vote

Carried 3-2//McLaughlin, Oliver, and Pohl-aye; Coombs & Camp-nay Certificate # HDC2020-09-1691  
41/822 Workshop APD

11. Nan. Westmoor Farm, LLC 09-1690 8 Old Westmoor Farm Move off/demo green barn

Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
Alternates Welch, Dutra  
Recused None  
Documentation Architectural elevation plans, site plan, photos, and historic documentation.  
Representing Michael Luft-Weissberg, Workshop APD  
Public None  
Concerns (time)

See concerns for Item 10.  
**Motion to Approve the move-off/demolition. (Oliver)**  
Carried 3-2//McLaughlin, Oliver, and Pohl-aye; Coombs & Camp-nay Certificate # HDC2020-09-1690  
41/822 Workshop APD

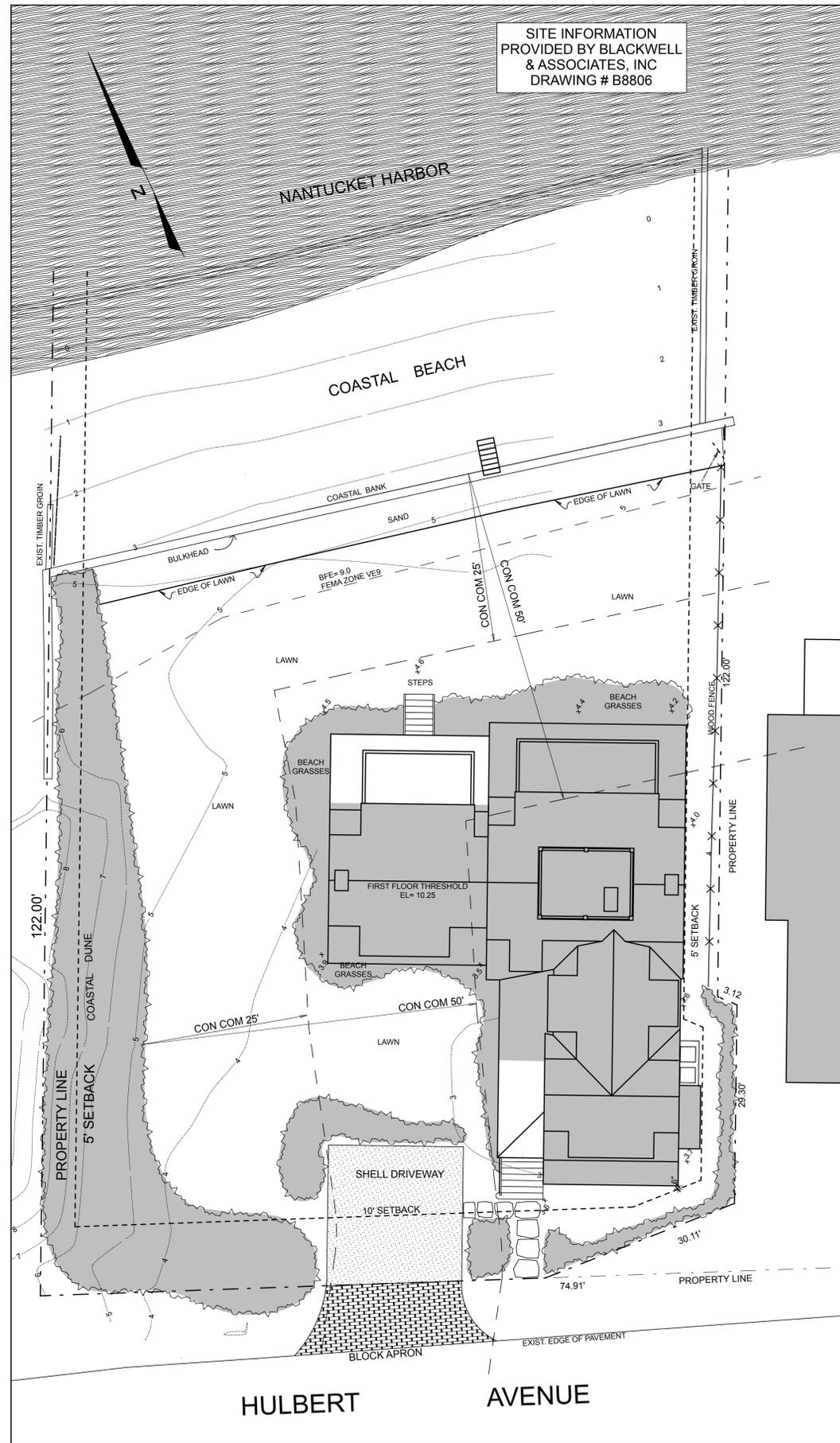
Motion  
Roll-call Vote

12. Nan. Westmoor Farm, LLC 09-1688 8 Old Westmoor Farm Move off/demo gazebo

Voting Pohl, Coombs, McLaughlin, Camp, Oliver  
Alternates Welch, Dutra  
Recused None  
Documentation Architectural elevation plans, site plan, photos, and historic documentation.  
Representing Michael Luft-Weissberg, Workshop APD  
Public None  
Concerns (time)

See concerns for Item 10.  
**Motion to Approve the move-off/demolition. (Oliver)**  
Carried 3-2//McLaughlin, Oliver, and Pohl-aye; Coombs & Camp-nay Certificate # HDC2020-09-1688

Motion  
Roll-call Vote



Site Plan- Proposed

SCALE: 1" = 10'

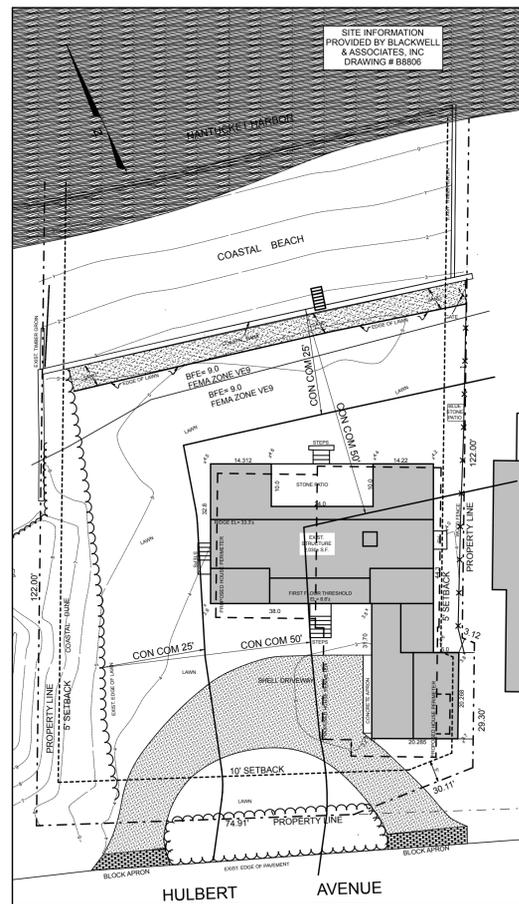
ZONING: R-1  
 45 HULBERT AVE  
 MAP/PARCEL: MAP 29 PARCEL 16

**ZONING INFO**  
 MINIMUM LOT SIZE: 5000 S.F.  
 MINIMUM FRONTAGE: 50 FT.  
 FRONT YARD SETBACK: 10 FT  
 REAR & SIDE SETBACK: 5 FT  
 ALLOWABLE G.C.R. : 30%  
 PROPOSED G.C. - 2305 SF

EXISTING  
 12,280+/- SF  
 SEE PLAN  
 SEE PLAN  
 SEE PLAN  
 16.5 % +/-

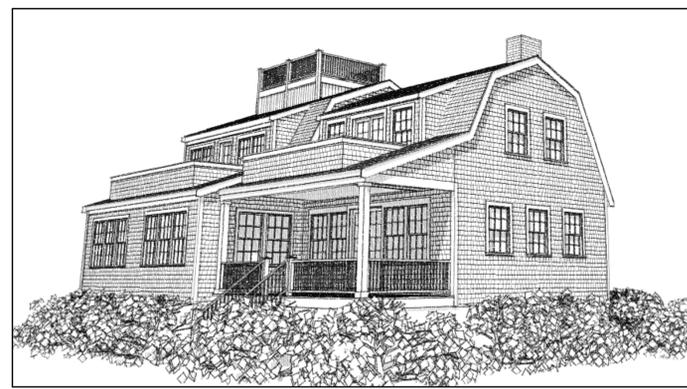
FIRST FLOOR SF- 2284 SF  
 SECOND FLOOR SF- 1772 SF  
 THIRD FLOOR SF- 140 SF  
 TOTAL SF- 4196 SF

FIRST FLOOR PORCHES- 321 SF  
 SECOND FLOOR DECKS- 300 SF  
 ROOF WALK- 140 SF



Existing Site Plan

SCALE: 1" = 20'



Northwest Perspective

# Wallace Residence

## 45 Hulbert Ave Nantucket, Massachusetts



Locus



Southwest Perspective

**DRAWING INDEX**

ARCHITECTURAL	A0.0	COVER SHEET, SITE PLAN, LOCUS
	A1.0	GROUND LEVEL FLOOR PLAN
	A1.1	FIRST FLOOR PLAN
	A1.2	SECOND FLOOR PLAN
	A1.3	ROOF PLAN
	A2.1	ELEVATIONS
	A2.2	ELEVATIONS

**ISSUES/REVISION DATE**

HDC 1	8/24/20
Con Com	8/27/20
HDC 2	9/29/20

**Proposed  
 Wallace Residence**  
 45 Hulbert Ave  
 Nantucket, Massachusetts

Map & Parcel  
 29- 16

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**Thornewill Design LLC**  
 48 Dukes Road  
 Nantucket, Ma. 02554  
 Tele. 508 228 9161 Fax 508 228 3165

Project No: \_\_\_\_\_  
 Designed by: LT  
 Drawn by: PM  
 Checked by: LT

**Sheet No:**  
**A0.0**

Contents:  
 Cover- Main House

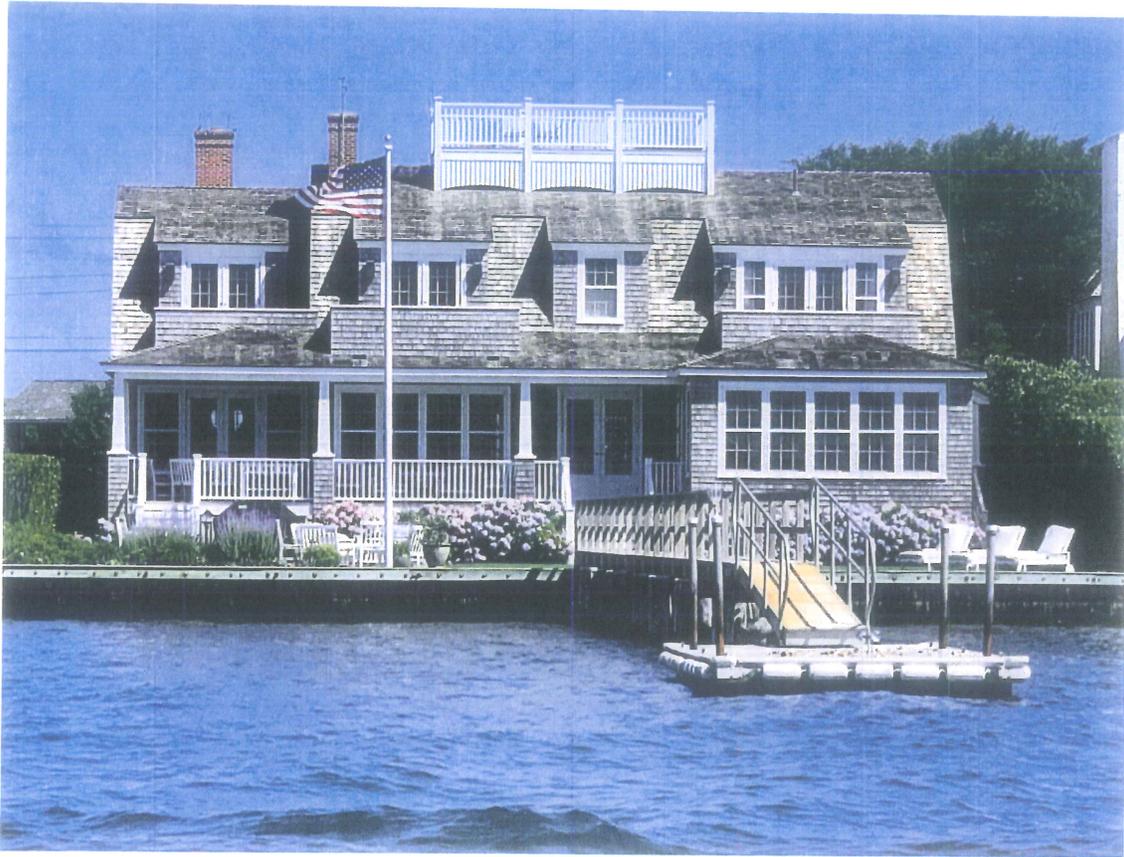












RECENT HDC APPROVED HOME, PRECEDENT FOR  
GAMBREL ROOF, GANGED WINDOWS & DOORS, UPPER  
DECKS WITH SHINGLED WALLS.

Easton street



EXISTING # 45

HENRY ST.  
PUBLIC ACCESS

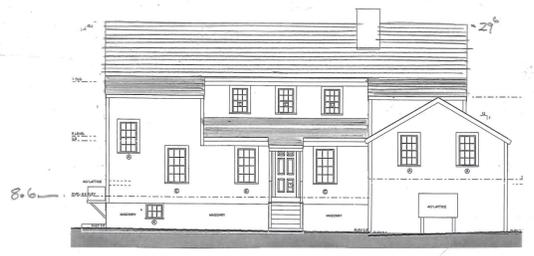


# BEACH CONTEXT STUDY



HENRY STREET

PROPOSED



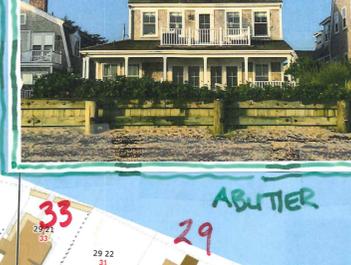
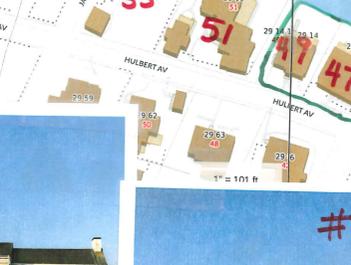
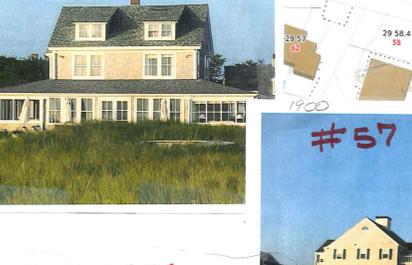
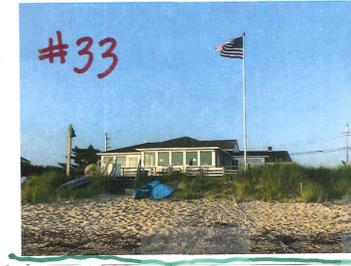
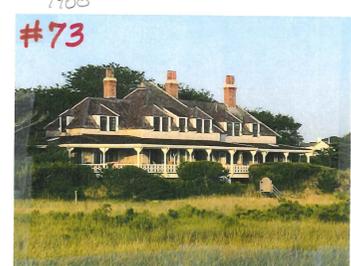
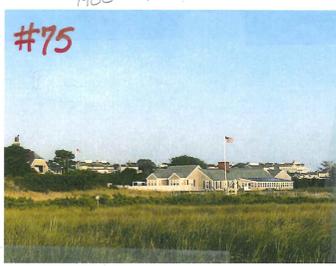
EXISTING # 45

# HULBERT AVENUE STREET SCAPE

NOTE:  
INFORMATION ESTABLISHED FROM  
BLDG DEPT RECORD DRAWINGS  
AND ASSUMED FLOOD PLUME  
ELEVATIONS 9 & 10.

# PHOTO BEACH SIDE REVIEW

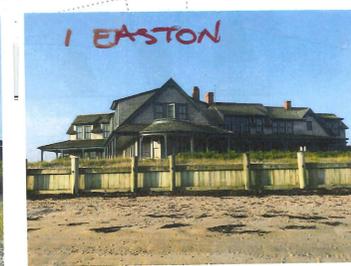
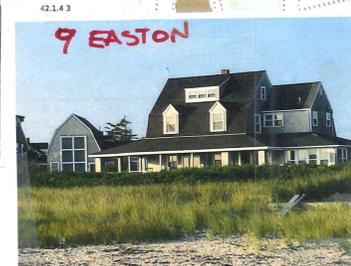
THIS SHOWS THE WIDE VARIETY OF ARCHITECTURAL STYLES ALONG THE SHORELINE.



SUBJECT #45 HOUSE & CONTEXT



ORIGINAL HOUSE 45 HULBERT BUILT IN 1900 - MOVED TO MILLARD ST. IN 1939



CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 230  
 Street & Number of Proposed Work: 45 W. Chester St.  
 Owner of record: Anne & William McGivrey  
 Mailing Address: 45 W. Chester St.  
NANTUCKET, MA 02554  
 Contact Phone #: 508-228-0689 E-mail: Structuresunltd@gmail.com

#### AGENT INFORMATION (if applicable)

Name: NANTUCKET Structures Unltd, Inc.  
 Mailing Address: 20 Gordon Ave  
NANTUCKET, MA 02554  
 Contact Phone #: 508-228-0689 E-mail: Structuresunltd@gmail.com

#### FOR OFFICE USE ONLY

Date application received: 8/14/2020 Fee Paid: \$ 50.00  
 Must be acted on by: 9/24/2020  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
- Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 10 Sq. Footage 1st floor: 705F Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 7 Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0  
 Height of ridge above final finish grade: North 11'6" South 11'6" East 11'6" West 11'6"

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
 Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
 Original Builder: \_\_\_\_\_ 3. West Elevation  
 4. North Elevation

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
 Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 9/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Red Cedar/Pine/Tongue

Fence: Height: \_\_\_\_\_  
 Type: \_\_\_\_\_  
 Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

#### Leaders (material and size):

Sidewall:  White cedar shingles Natural  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1"X5" Rake 1"X5" Soffit (Overhang) 1"X5" Corner boards 1"X6" Frieze 1"X5"

Window Casing 1"X4" Door Frame 1"X4" Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other Hopper Style/Pine  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front T&G-Preprimed Pine Rear \_\_\_\_\_ Side T&G-Preprimed Pine

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

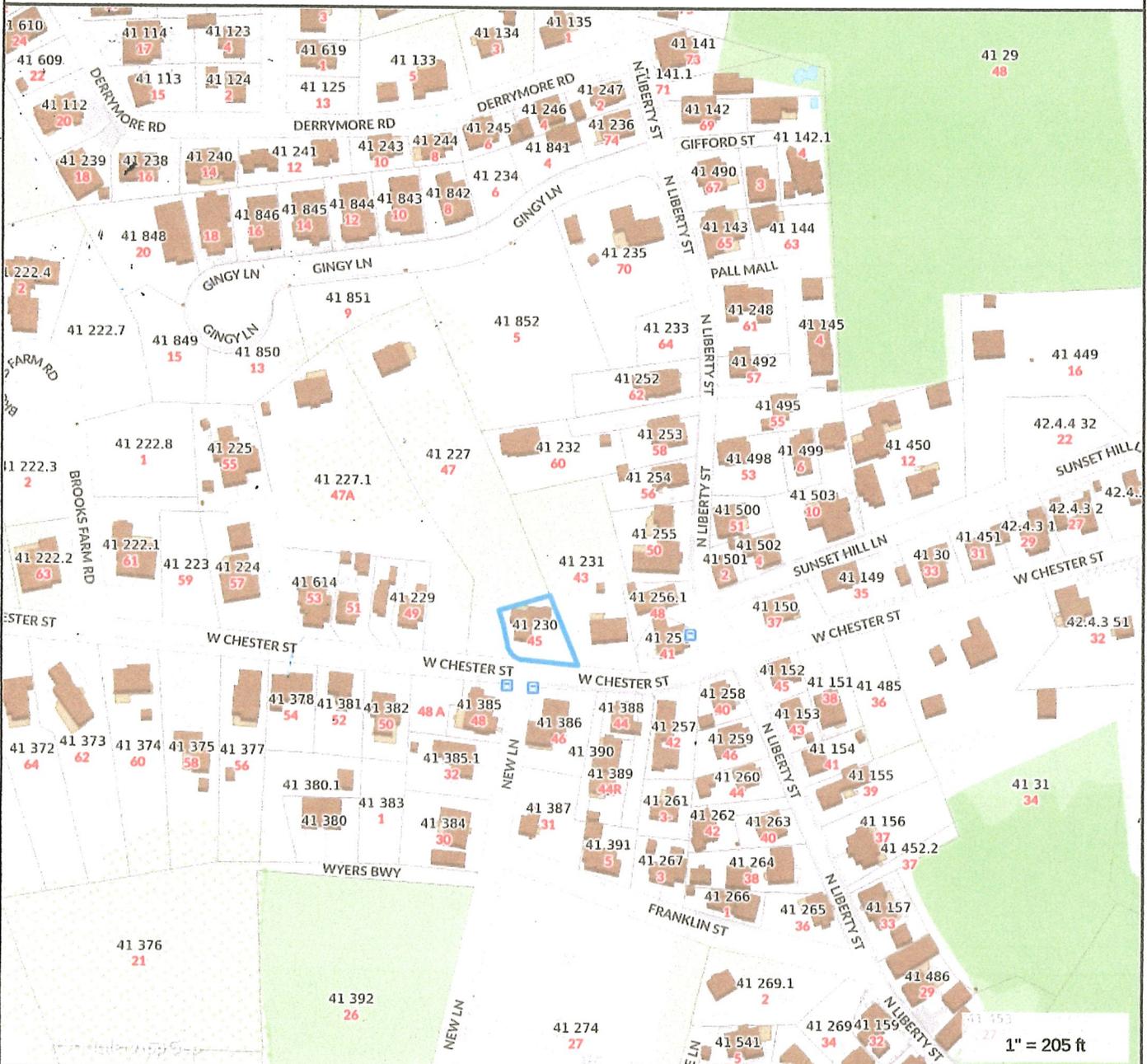
Sidewall To Weather Clapboard (if applicable) \_\_\_\_\_ Roof To Weather  
 Trim White Sash White Doors White  
 Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 7/31/20 Signature of owner of record Penelope Drabge, agent Signed under penalties of perjury

# 45 WEST CHESTER STREET - LOCUS MAP



**Property Information**

**Property ID** 41 230  
**Location** 45 W CHESTER ST  
**Owner** MCGIVNEY ANNE O & WILLIAM T



**MAP FOR REFERENCE ONLY**  
**NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018  
 Data updated 11/19/2018

13. Dex Dog, LLC 08-1440      6B Arrowhead Drive      Solar revisions      69/58.1      SunWind, LLC

Voting      Pohl, Coombs, Camp, Oliver, Welch  
 Alternates      None  
 Recused      None  
 Documentation      Architectural elevation plans, site plan, photos, and manufacturer spec sheet.  
 Representing      Timothy Holmes, SunWind, LLC  
 Public      None  
 Concerns (6:46)      **Flynn** – This came out of a failed inspection.  
                                  **Holmes** – Presented project; explained the shingles would be painted black.  
                                  **Welch** – Asked for a view.  
 Motion      **Motion to View. (Coombs)**  
 Roll-call Vote      Carried 5-0//Oliver, Camp, Welch, Coombs, and Pohl-aye      Certificate #

14. NIR 08-1485      29 Broad Street      Hardscape – walls&A/C screen      42.4.2/38      Linda Williams

Voting      Pohl, Coombs, Camp, Oliver, Welch  
 Alternates      None  
 Recused      None  
 Documentation      Landscape design plans, site plan, photos, historic documentation, and advisory comments.  
 Representing      Linda Williams  
                                  Mike Duffy, NIR.  
 Public      None  
 Concerns (6:54)      **Backus** – JC House, circa 1835. Read HSAB comments: mitigate A/C or move; significant structure/high-profile space; atrocious.  
                                  **Duffy** – Presented project.  
                                  **Williams** – Paid the as-built fee. A/C can't be dropped lower; explained why the idea of a fence was dropped.  
                                  **Coombs** – She has a problem with one of our oldest most significant buildings having this done to it and hearing “we can't change it.” Would like to see some approach that didn't look like the A/Ce is being covered. Wants to see several options.  
                                  **Oliver** – It does look better than what was there. Agrees with Ms. Coombs. The as-built stuff has to stop; people have to stop work and come back in. The A/C has to be screened in perpetuity.  
                                  **Welch** – Doesn't disagree with what's been said. At some point, we need to address rising as-built occurrences. The square compressor in the middle, unless there's an overwhelming issue, could be moved next to the other square unit with fences screening the group; the generator area could be screened with lower plants. He appreciates the effort to screen with plants but is concerned about throwing tall screening at this vs. having stepped planting and fencing, which will not hide the building or obstruct view from the sidewalk. Considering these are in retained areas, a fence on top of the retaining wall wouldn't have to be more than perhaps 3 feet tall.  
                                  **Camp** – Agrees with Mr. Welch. Suggested a blue spruce that takes up the corner and gives the building presence. Suggested fencing be reduced as much as possible by keeping the units together – 6-foot natural to weather would be best. With revisions, suggested a photoshop view of what the building would look like from Broad Street and Centre Street.  
                                  **Pohl** – Loves the idea of two-different heights – larger toward the back – of fence and vegetation.  
 Motion      **Motion to Hold for revisions. (Coombs)**  
 Roll-call Vote      Carried 5-0//Welch, Camp, Oliver, Coombs, and Pohl-aye      Certificate #

15. Anne McGivney 08-1498      45 West Chester Street      Shed      41/230      Structures Unlimited

Voting      Pohl, Coombs, Camp, Oliver, Welch  
 Alternates      None  
 Recused      None  
 Documentation      Architectural elevation plans, site plan, photos, and advisory comments.  
 Representing      Linda Williams, for Structures Unlimited  
 Public      None  
 Concerns (7:14)      **Backus** – Main dwelling is circa 1900; shed should be behind main dwelling. Read HSAB comments: relocate, reduce roof pitch; need better graphics; not on the street; prefer gable forward; move deeper into the yard to be more discrete.  
                                  **Williams** – Presented project; asked the commissioners to view this while the applicant makes revisions.  
                                  **Pohl** – It's drawn with the wrong roof pitch; application says 9/12 but drawn 12/12.  
                                  **Oliver** – Likes turning it gable forward. Can't be white.  
                                  **Coombs** – Not everyone can have a shed. Wants to see other proposals reducing the height and size of the shed.  
                                  **Camp** – Thinks gable forward is “noisier”; prefers the eave forward. Should be behind the hedge.  
                                  **Welch** – He would not want the gable forward unless it's on the far side of the privet with a small walk through to it. Suggested a lean-to shed placed instead against the front right wall of the structure, setback a few feet further from the street side.  
 Motion      **Motion to View and hold for revisions. (Camp)**  
 Roll-call Vote      Carried 5-0//Coombs, Welch, Oliver, Camp, and Pohl-aye      Certificate #

# Historic District Commission OLD BUSINESS CHECKLIST



## Planning and Land Use Services

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	<u>Sign in submission at Front Desk</u>
✓	<u>HDC case number:</u> (ex HDC2020-xx-xxxx), if applicable 05-0895 <span style="float: right; margin-right: 50px;">08-1498</span>
✓	<u>Copy of Minutes</u> (application item circled)
✓	<u>Reduced (8 ½ x 11) copy of application</u>
✓	<u>Locus Map:</u> 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
✓	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
✓	Four (4) Large sets of plans <u>at 3/16" or 1/4" scale</u> (circle all that apply) <ul style="list-style-type: none"> <li>a. Site Plan</li> <li>b. North Elevation</li> <li>c. South Elevation</li> <li>d. East Elevation</li> <li>e. West Elevation</li> <li>f. Window/Door Schedule</li> </ul>
✓	<u>One set reduced plans:</u> 8 ½ x 11
	<u>Electronic Submission:</u> Each of the foregoing documents (including this checklist) <b>MUST BE</b> scanned to a single PDF file and emailed to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .
✓	<u>Signed Affidavit:</u> see reverse side

Historic District Commission  
**OLD BUSINESS CHECKLIST**

\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.

**Affidavit Certifying Completeness of Old Business submission**

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for an Old Business submission have been met.

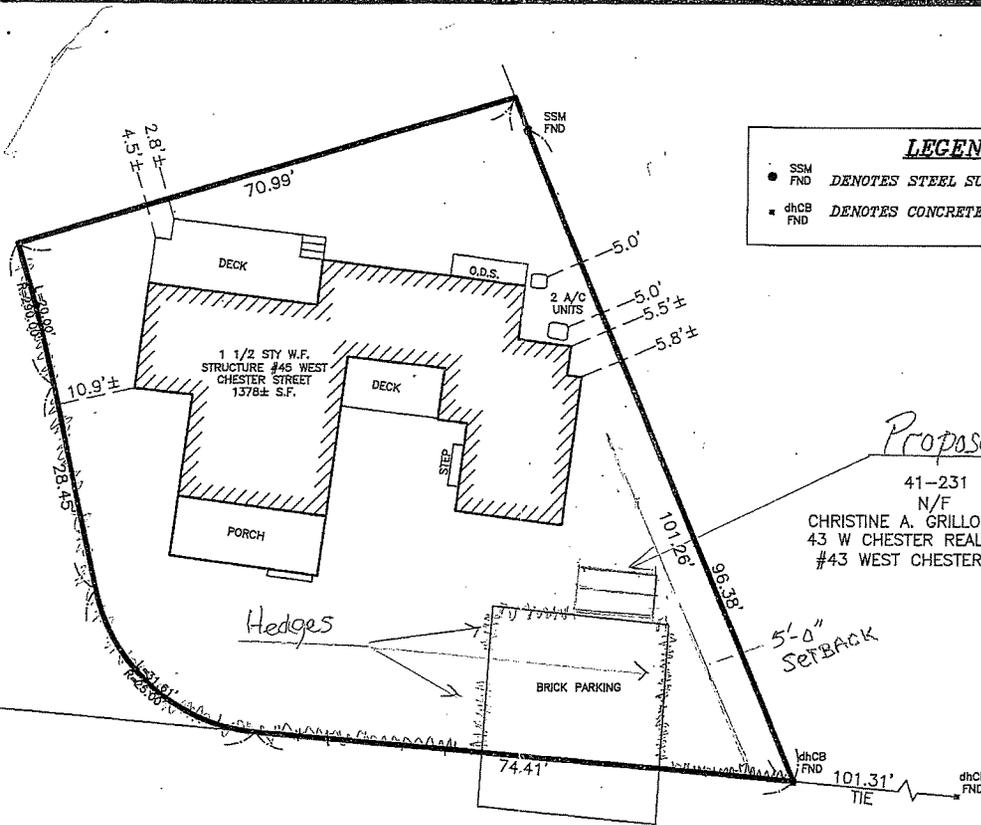
Signature: Nancy L. Sredzyl Date: 9/16/2020

CURRENT ZONING CLASSIFICATION:  
Residential (R-1)

MINIMUM LOT SIZE:	5000 S.F.	<u>Existing:</u>	6429 S.F.±
MINIMUM FRONTAGE:	50 FT.		SEE PLAN
FRONT YARD SETBACK:	10 FT.		SEE PLAN
REAR/SIDE SETBACK:	5 FT.		SEE PLAN
GROUND COVER % :	30 %		21±%

*WETLANDS*

41-227  
N/F  
CHRISTOPHER BEVIS TRUSTEE  
BEVIS-NISHIMURA LIVING TRUST  
#47 WEST CHESTER STREET



**LEGEND**

- SSM FND DENOTES STEEL SURVEY MARKER FOUND
- dhCB FND DENOTES CONCRETE BOUND WITH DRILL HOLE FOUND

41-231  
N/F  
CHRISTINE A. GRILLO TRUSTEE  
43 W CHESTER REALTY TRUST  
#43 WEST CHESTER STREET

**BUILDING LOCATION PLAN**  
OF LAND IN  
NANTUCKET, MASS.

SCALE: 1" = 20' DATE: FEBRUARY 16, 2016

Owner: **ANNE O. MCGIVNEY**  
**WILLIAM T. MCGIVNEY**

Deed Bk./Pg.: 1221/44 . Plan File: 15-D (LOT 1)

Deed Bk./Pg.: 1221/44 . Bk./Pg.: 24/60 (LOTS 1 & 1B)

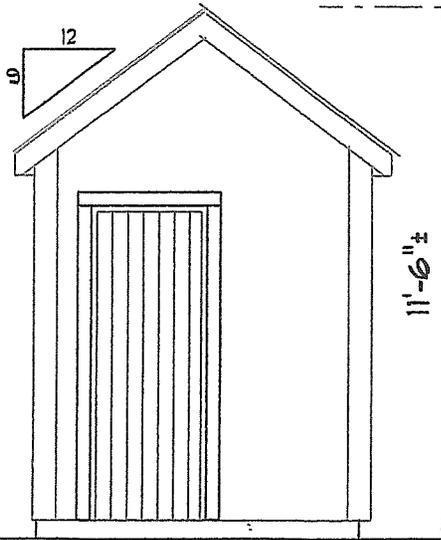
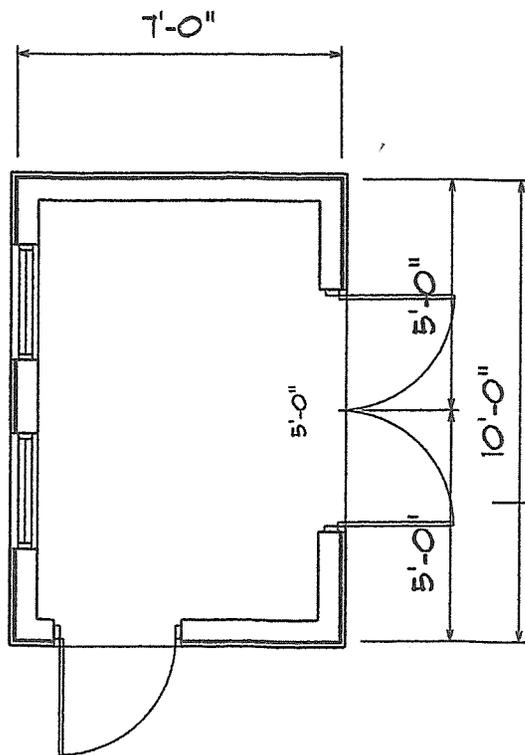
Locus: . . . 45, WEST CHESTER STREET . . .



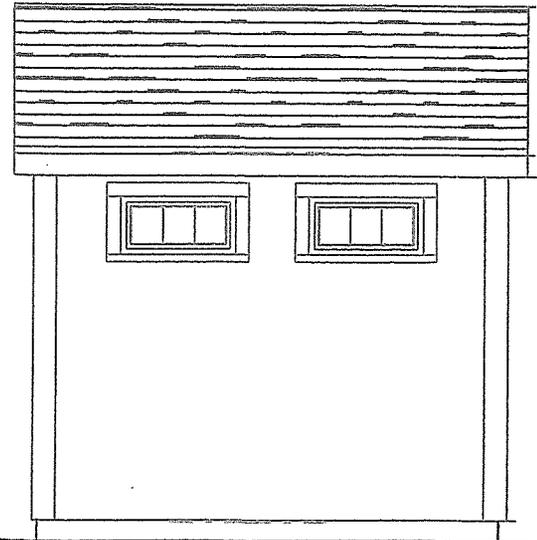
**BLACKWELL & ASSOCIATES, Inc.**  
Professional Land Surveyors  
20 TEASDALE CIRCLE  
NANTUCKET, MASS. 02554  
(508) 228-9026

THIS PLOT PLAN WAS PREPARED FOR THE TOWN OF NANTUCKET BUILDING DEPARTMENT ONLY AND SHOULD NOT BE CONSIDERED A PROPERTY LINE SURVEY. THIS PLAN SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES, FENCES, HEDGES OR ANY ANCILLARY STRUCTURES ON THE PREMISES. THE PROPERTY LINES SHOWN RELY ON CURRENT DEEDS AND PLANS OF RECORD. THIS PLOT PLAN IS NOT A CERTIFICATION AS TO TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR RECORDS.

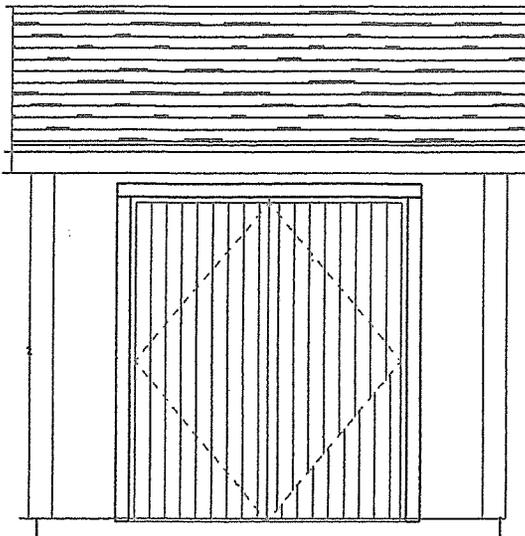
ASSESSOR MAP: . 41. . . , PARCEL: . 230. .



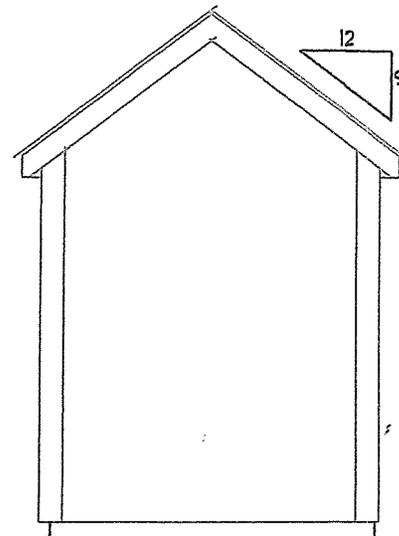
**WEST ELEVATION**



**NORTH ELEVATION**



**SOUTH ELEVATION**



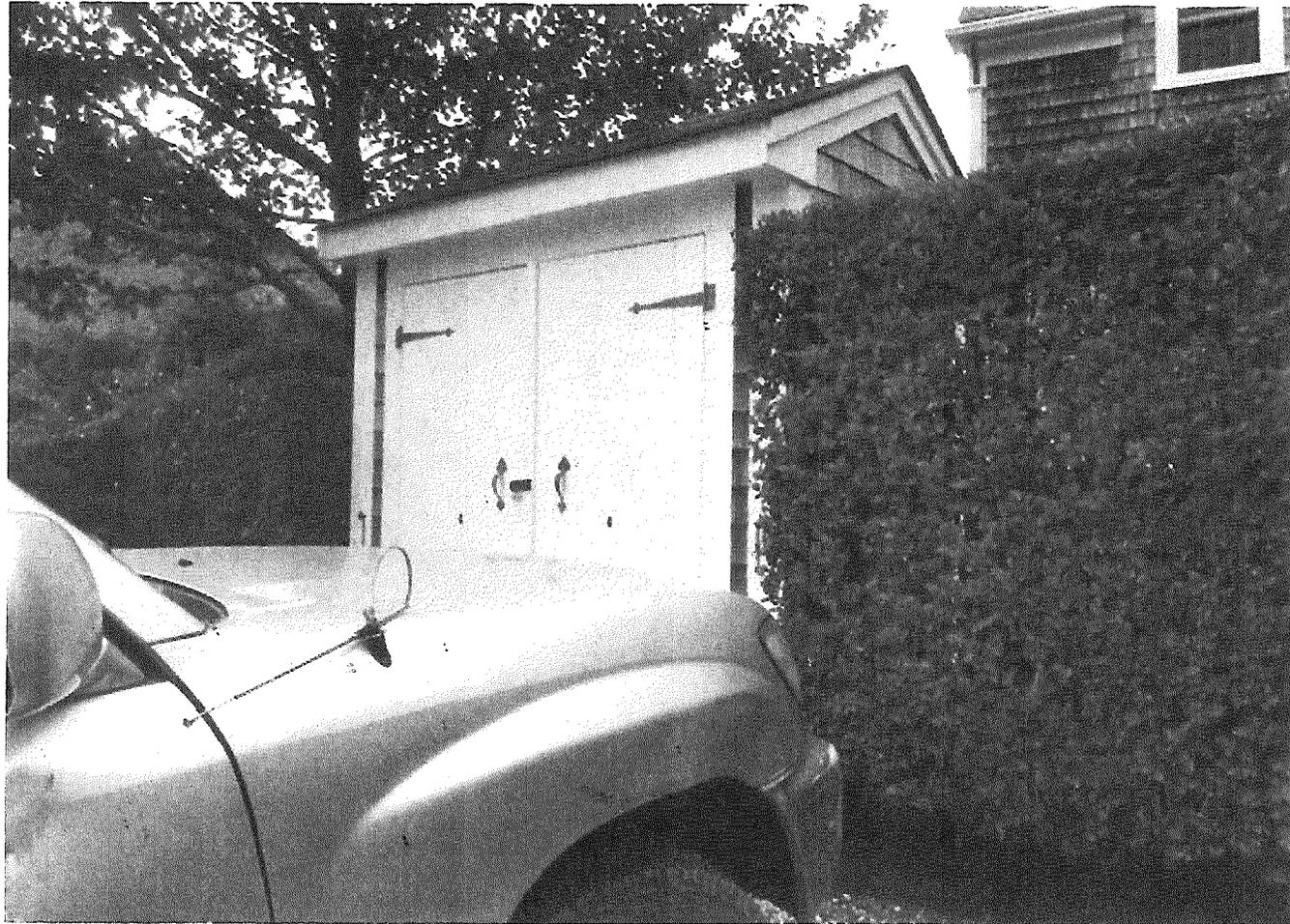
**EAST ELEVATION**

Scale 1/4" = 1'-0"

45 W. Chestee St.



These two pictures are of a shed we did located at 81 Orange Street. Shed is sited at head of parking area and faces York St. in the ROH, hedges screen all but face of shed. During peak seasons cars are parked in front of the shed screening it mostly from direct view. This is exactly what we are proposing for 45 W. Chester Street.





Parking area at 45 West Chester St, showing surrounding hedge, and area to the right at the head of the parking area where shed is proposed. If one looks at the site map, the property does not provide any other area for a shed, due to setback requirements, including wetland setbacks as the backyard is surrounded by wetlands (refer to Locus Map) this lot does not offer options.



Example of a similar shed, size – 7' x 9', this parallels the shed we're proposing at 45 W Chester St. in living color. It should be noted that the roof proposed for W. Chester St. is to be red cedar, adding a more weathered appearance as it ages.

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a  
**CERTIFICATE OF APPROPRIATENESS**  
for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.  
**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application.**  
Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 54 PARCEL N<sup>o</sup>: 26  
Street & Number of Proposed Work: 59B PAVIS RD.  
Owner of record: PAUL CAVALLANO  
Mailing Address: 21000 SEA WALK WAY COI  
NAUBU, MA. 02705  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: V&V OLIVER DESIGN INC  
Mailing Address: PO BOX 3057  
NANTUCKET, MA 02584  
Contact Phone #: (508) 225-4319 E-mail: adv@vovdesign.com

FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ 691.00  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

**DESCRIPTION OF WORK TO BE PERFORMED**  
See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 42'-0" Sq. Footage 1st floor: 2108 SF Decks/Patio: Size: DECKS  1st floor  2nd floor  
Width: 52'-0" Sq. footage 2nd floor: 1291 SF Size: 5x  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North 20' MAX South 20' MAX East 20' MAX West 20' MAX

**Additional Remarks**

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
Original Builder: \_\_\_\_\_ 3. West Elevation  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 8"-12"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 12 /12 Secondary Mass 12 /12 Dormer U /12 Other \_\_\_\_\_  
Roofing material:  Asphalt  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

**Leaders (material and size):**

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 8" Rake 1x8 Soffit (Overhang) 12"-8" Corner boards 1x6 Frieze \_\_\_\_\_  
Window Casing 1x6 Door Frame 1x6 Columns/Posts: Round \_\_\_\_\_ Square 8"

Windows:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front 4 UGHT Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways TBD Walkways TBD Walls N/A

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall NTW Clapboard (if applicable) \_\_\_\_\_ Roof BLACK (MOORE BLACK) (DIPINTERS)  
Trim WHITE Sash BLACK Doors BLACK  
Deck NTW Foundation GRAY Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 8/27/20 Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury \_\_\_\_\_



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554

508-325-8527

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

## OLD BUSINESS CHECKLIST

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

<input checked="" type="checkbox"/>	HDC case number: (ex HDC2020-xx-xxxx) if applicable	09-1432
<input checked="" type="checkbox"/>	Copy of Minutes (application item circled)	
<input checked="" type="checkbox"/>	Reduced (8 1/2 x 11) copy of application	
<input checked="" type="checkbox"/>	Locus Map: 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>	
<input checked="" type="checkbox"/>	Four (4) copies of additional information requested by Commission- if applicable (ex pictures, FEMA flood Certificate, etc)	
<input checked="" type="checkbox"/>	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule	
<input checked="" type="checkbox"/>	One set reduced plans: 8 1/2 x 11	
<input checked="" type="checkbox"/>	Electronic Submission: ALL documents MUST BE scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .	

\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.

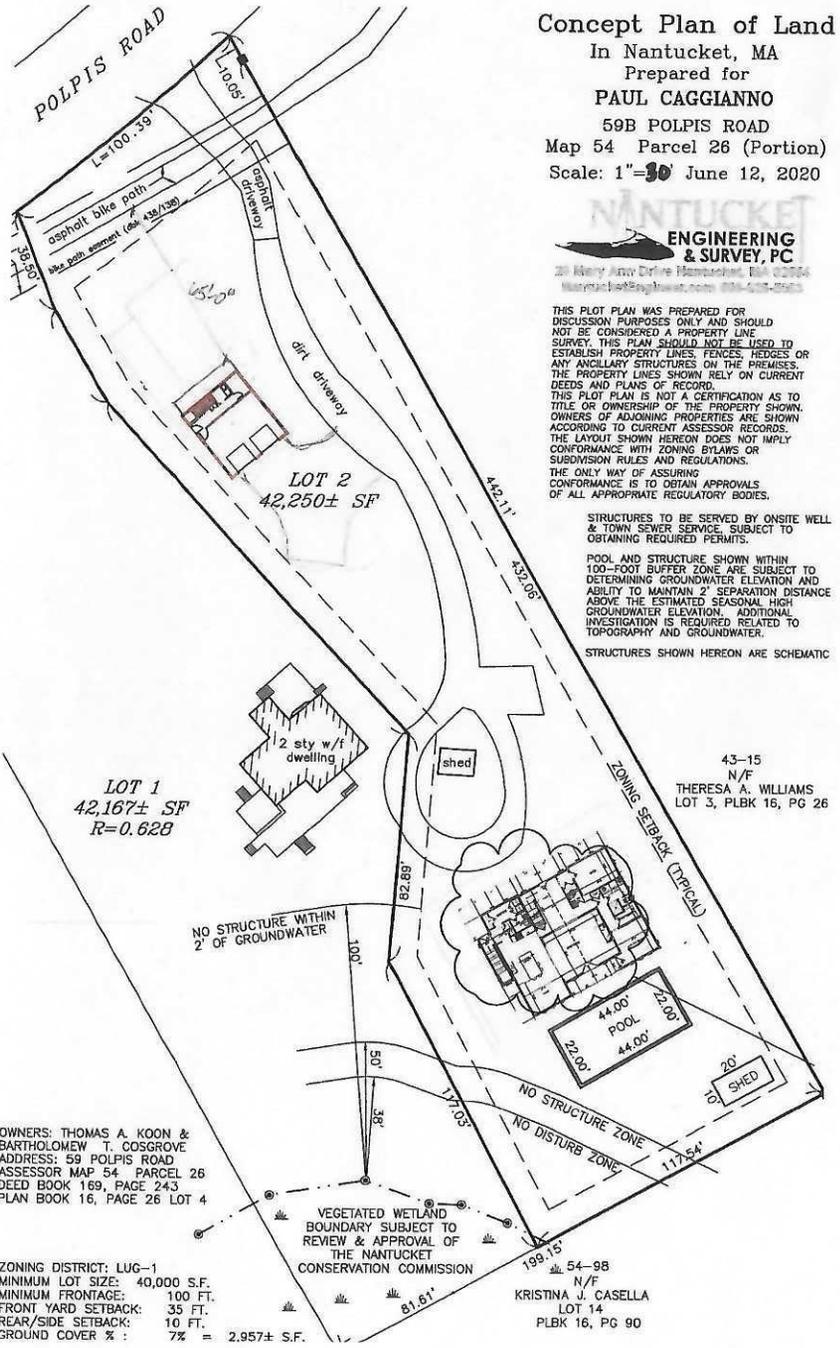
### **Affadavit Certifying Completeness of Application**

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: \_\_\_\_\_

Date: \_\_\_\_\_

9/29/20



MAP 54 PARCEL 26 (PORTION)



**phoenix**  
ARCHITECTS

PETER L. SANDORSE, AIA  
WAKEFIELD, MA  
781.246.0998

**NOTE:**  
ALL DIMENSIONS TO BE FIELD VERIFIED & CHECKED. CONTRACTOR TO REPORT CHANGES AND OMISSIONS TO ARCHITECT.

**CAGGIANO RESIDENCE**  
59B POLPIS RD  
NANTUCKET, MA

HDC RESUBMISSION  
FOR  
OLD BIZ MTG 10-05

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1/4"=1'-0"

8.26.20

1







**phoenix**  
ARCHITECTS

PETER L. SANDORSE, AIA  
WAKEFIELD, MA  
781.246.0986

**NOTE:**  
ALL DIMENSIONS TO BE FIELD  
VERIFIED & CHECKED.  
CONTRACTOR TO REPORT  
CHANGES AND OMISSIONS TO  
ARCHITECT.

# CAGGIANO RESIDENCE

59B POLPIS RD  
NANTUCKET, MA

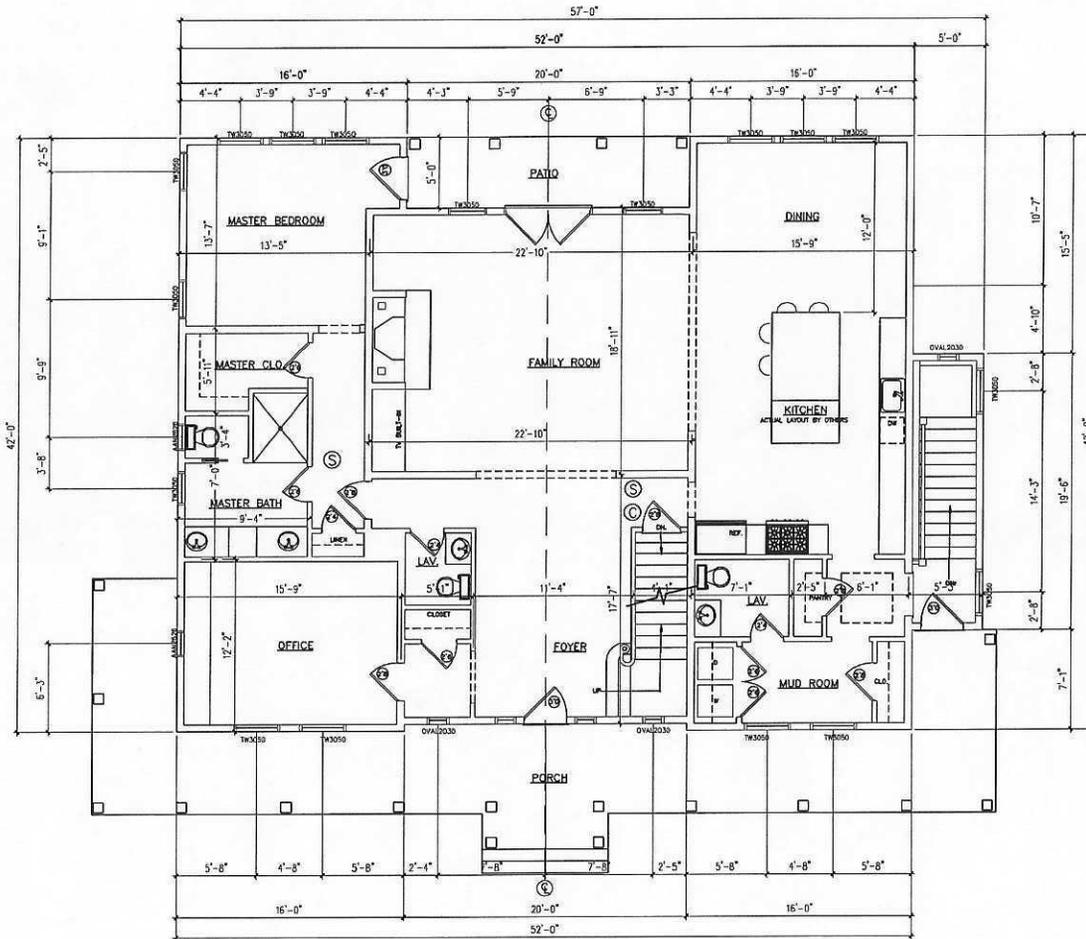
## PROPOSED FLOOR PLANS

No.	Description	Date
1		
2		
3		
4		

1/4"=1'-0"

9.25.20

2



FIRST FLOOR PLAN - 2,168 SF  
SCALE: 1/4" = 1'-0"



**phoenix**  
ARCHITECTS

PETER L. SANDORSE, AIA  
WAKEFIELD, MA  
781.246.0988

**NOTE:**  
ALL DIMENSIONS TO BE FIELD  
VERIFIED & CHECKED  
CONTRACTOR TO REPORT  
CHANGES AND OMISSIONS TO  
ARCHITECT.

**CAGGIANO  
RESIDENCE**  
59B POLPIS RD  
NANTUCKET, MA

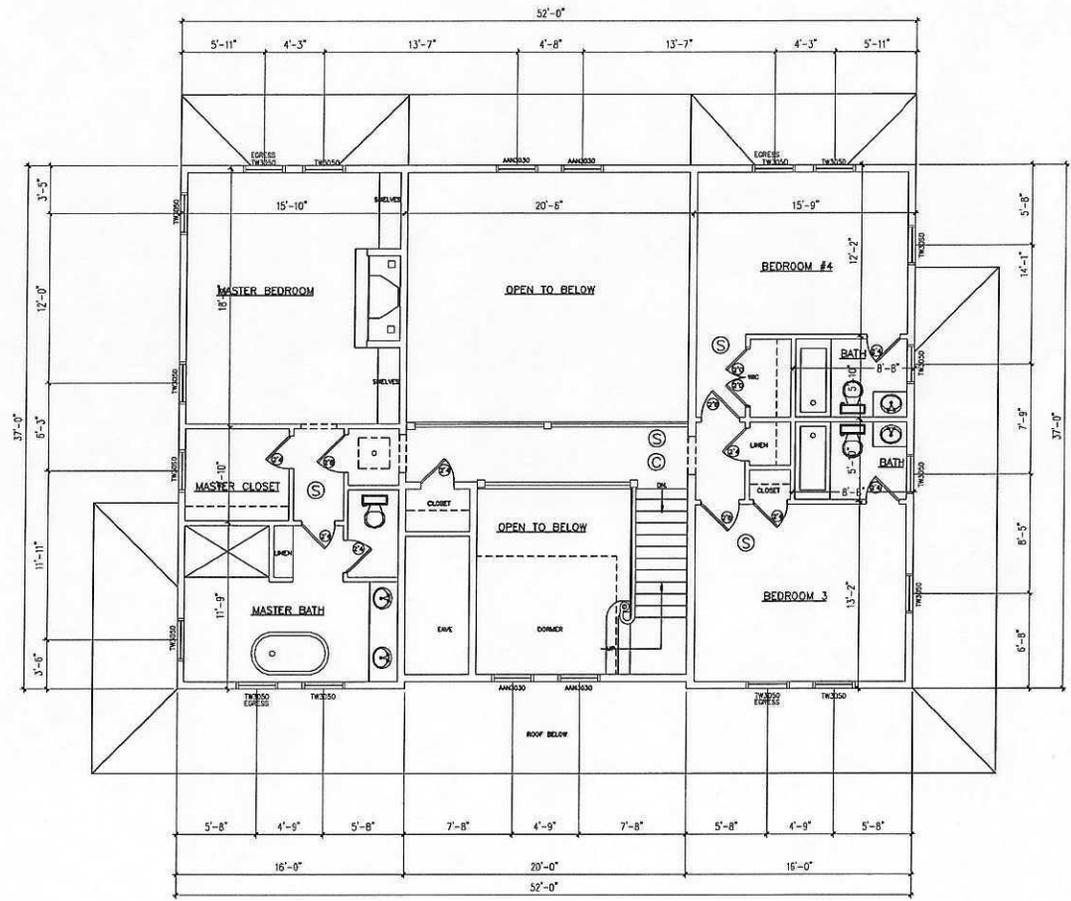
**PROPOSED  
FLOOR PLANS**

#		
1		
2		
3		
No.	Revision	Date

1/4" = 1'-0"

9.25.20

**3**



**SECOND FLOOR PLAN - 1,291SF**  
SCALE: 1/4" = 1'-0"

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N<sup>o</sup>: 75 PARCEL N<sup>o</sup>: 27  
 Street & Number of Proposed Work: 100 LOW BEACH RD  
 Owner of record: LIREG RAIFF  
 Mailing Address: 100 LOW BEACH RD  
NANTUCKET MA  
 Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: EMERIGOS  
 Mailing Address: 8 WILLIAMS LN  
NANTUCKET  
 Contact Phone #: 3254995 E-mail: \_\_\_\_\_

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
 Must be acted on by: \_\_\_\_\_  
 Extended to: \_\_\_\_\_  
 Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
 Chairman: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Member: \_\_\_\_\_  
 Notes - Comments - Restrictions - Conditions  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other: NEW POOL HOUSE  
 Size of Structure or Addition: Length: 45' Sq. Footage 1st floor: 1,083 Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
 Width: 30' Sq. footage 2nd floor: 876 Size: \_\_\_\_\_  1st floor  2nd floor  
 Sq. footage 3rd floor: \_\_\_\_\_  
 Difference between existing grade and proposed finish grade: North 6"± South 6"± East 6"± West 6"±  
 Height of ridge above final finish grade: North 23' South 23' East 23' West 23'

#### Additional Remarks

Historic Name: \_\_\_\_\_  
 Original Date: \_\_\_\_\_ (describe)  
 Original Builder: \_\_\_\_\_  
 Is there an HDC survey form for this building attached?  Yes  N/A

- REVISIONS\***
1. East Elevation
  2. South Elevation
  3. West Elevation
  4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

**Foundation:** Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
**Masonry Chimney:**  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
**Roof Pitch:** Main Mass 12 /12 Secondary Mass 4 /12 Dormer 4 /12 Other \_\_\_\_\_  
**Roofing material:**  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
**Skylights (flat only):** Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
 Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
**Gutters:**  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
**Leaders (material and size):** \_\_\_\_\_  
**Sidewall:**  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
**Trim:** A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
 B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
 C. Dimensions: Fascia 3 1/2" Rake 7 1/4" Soffit (Overhang) 12" Corner boards 4 1/2" Frieze 1"  
 Window Casing 3 1/2" Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
**Windows\*:**  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
**Doors\* (type and material):**  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
 Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_  
**Hardscape materials:** Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall NATURAL Clapboard (if applicable) \_\_\_\_\_ Roof NATURAL  
 Trim WHITE - TO MATCH EX. Sash WHITE - MATCH EX. Doors WHITE  
 Deck NATURAL Foundation NATURAL Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 09.08.20

Signature of owner of record \_\_\_\_\_

Signed under penalties of perjury



# Updated Meeting Posting MEETING POSTING

Original Posting Time: 2020 SEP 25 AM 10:05

Original Posting Number: T 2068

**\*\*added ePermitting numbers\*\***

TOWN OF NANTUCKET

Pursuant to MGL Chapter 30A, § 18-25

All meeting notices and agenda must be filed and time stamped with the Town Clerk's Office and posted at least 48 hours prior to the meeting (excluding Saturdays, Sundays and Holidays)

RECEIVED

2020 SEP 29 AM 10:17  
NANTUCKET TOWN CLERK  
Posting Number:T 2074

<b>Committee/Board/s</b>	Historic District Commission (HDC) – NEW BUSINESS
<b>Day, Date, and Time</b>	Tuesday September 29, 2020 <b>4:30pm</b>
<b>Location / Address</b>	<b>REMOTE PARTICIPATION VIA ZOOM AND YouTube</b> Pursuant to Governor Baker's March 12, 2020 Order Regarding Open Meeting Law (Attached)  Information on viewing the meeting can be found at: <a href="https://www.nantucket-ma.gov/138/Boards-Commissions-Committees">https://www.nantucket-ma.gov/138/Boards-Commissions-Committees</a>
<b>Please note:</b>	Ray Pohl, Chairman If there is no quorum of members present, or if meeting posting is not in compliance with the OML statute, no meeting may be held.

## HISTORIC DISTRICT COMMISSION

Signature of Chair/Authorized Person: Cathy Flynn, Land Use Specialist

To join the Historic District Commission meeting click on the Zoom Link below:

<https://zoom.us/j/95560053336?pwd=UzMxaWFON1MwVVBvNGdkV1IRHFMUT09>

Meeting ID: 955 6005 3336 Password: 078546

Phone dial in: 646 558 8656; Meeting ID: 95560053336; Password: 078546

To watch live feed, click here: <https://www.youtube.com/watch?v=vVst-gyYESU>

Commissioners: Ray Pohl (Chair), Diane Coombs (Vice Chair), John McLaughlin, Abby Camp, Val Oliver

Associate Commissioners: Stephen Welch, Jesse Dutra, Carrie Thornewill

Staff: Terry Norton, Cathy Flynn, Holly Backus and Kadeem McCarthy

Historic Structures Advisory Board (HSAB), Scosset Advisory Board (SAB), Madaket Advisory Board (MAB), Sign Advisory Council (SAC).

## AGENDA

Listed below are the topics the chair reasonably anticipates will be discussed at the meeting.

**Some applications on this agenda may not be heard at this meeting due to time constraints. Please check with the office on Wednesday after the Tuesday meeting for further information.**

### I. PUBLIC COMMENT

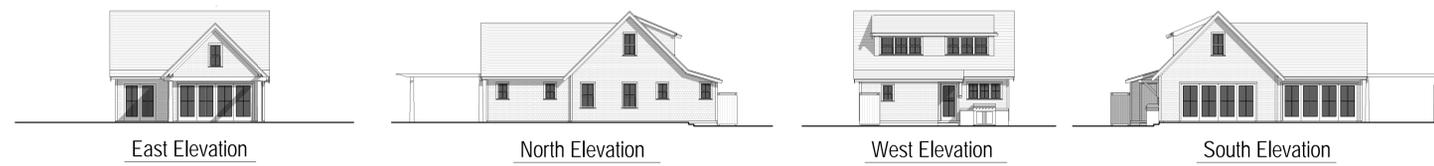
- *Commissioners: Pohl, Coombs, Camp, Welch; Alternates: None; Recused: None*

## VIII. NEW BUSINESS

	<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1.	S/P Norwell LLC 09-1776	3 Mariner Way	Fence	55.1.4/72.3	Mike Duffy
2.	Peter O'Brien 09-1843	36 Low Beach Road	Re-site structure	74/55	Emeritus
3.	Curren Huyser 09-1800	69 Surfside Road	Storage facility	67/230	Emeritus
4.	Greg Raiff 09-1845	100 Low Beach Road	Reno/rebuild DU + addition	75/27	Emeritus
5.	Greg Raiff 09-1857	100 Low Beach Road	New pool house	75/27	Emeritus
6.	Dallas Piolo 09-1793	15 Plainfield Road	Addition	49/168	Emeritus
7.	Barbara Martin 09-1797	2 Back Street	Renovation	55/359	Brook Meerbergen
8.	38 Prospect LLC 09-1777	38 Prospect Street	New dwelling	55.4.4/56	Brook Meerbergen
9.	38 Prospect LLC 09-1775	38 Prospect Street	New 2 <sup>nd</sup> dwelling	55.4.4/56	Brook Meerbergen
10.	Phillips Richard TR 09-1862	19 E Tristrams	Rev 0786; re-site structure	31/4.1	Botticelli & Pohl
11.	NHA Properties INC 09-1840	48 Okorway Ave	Move on from 19 Longwood	79/173	MCA+
12.	David Reilly 09-1811	13 Primrose Lane	Roof walk	40/65.3	Jeff Morash
13.	Linda Groves 09-1809	26 New Street	Addition	55/44	BPC
14.	Deb Hartman 09-1850	14 Lowell Place	Pool	41/164	Atlantic Landscaping
15.	Enoch Sower 09-1866	11 Comeau Lane	Rooftop solar panels	49.3.2/27.1	ACK Smart
16.	Benjamin Moore 09-1765	15 Folger Ave	Rooftop solar panels	80/154	ACK Smart
17.	Hydrangea Lane LLC 09-1798	11 Hydrangea Lot 9	Pool	73/93	Brook Meerbergen
18.	Hydrangea Lane LLC 09-1799	11 Hydrangea Lot 9	Cabana	73/93	Brook Meerbergen
19.	Geoff Smith 09-1803	98 Old South Road	Deck and window alteration	68/429	JB Studios
20.	Lemberg Son + Daughters 09-1768	1 White Whale Lane	Rev to COA 12-0299	66/18	LINK
21.	Tessa Cressman 09-1781	3 Wauwinet Road	Rev 72598; fenestration changes	20/11.1	Thornewill Design
22.	Cynthia McClintock 09-1801	32 Brewster Road	Move/demo building	54/84	Robert Newman
23.	Cynthia McClintock 09-1818	32 Brewster Road	New dwelling	54/84	Robert Newman
24.	Cynthia McClintock 09-1774	32 Brewster Road	New garage	54/84	Robert Newman
25.	Tom McCann 09-1836	78 Milk Street	Pool	56/6.2	Mark Lombardi
26.	Johnson 7 <sup>th</sup> Gen NT 09-1773	250 Madaket Road	New 2 <sup>nd</sup> dwelling	59.4/213	Brook Meerbergen
27.	Barbara Von Der Groeben 09-1825	132 Main Street	Rooftop solar panels	42.3.3/45	ACK Smart
28.	Sea Hero LLC 09-1758	7 Pilgrim Road	Rev 01-0445; exterior alterations	41/216	MCA+
29.	David Biddison 09-1784	22 Cannonbury Lane	New dwelling	74/15	Val Oliver
30.	33 Coffin Street LLC 09-1796	33 Coffin Street	Rev 05-1009; fenes + rail chnge	73.4.1/26.1	CWA
31.	Kris Megna 09-1831	28 South Shore Road	New dwelling (Lot 2A)	80/178	Val Oliver
32.	Herrick Alberry 09-1841	28 South Shore Road	New dwelling (Lot 2B)	80/178	Val Oliver
33.	Doug Carlson 09-1791	28 South Shore Road	New dwelling (Lot 1A)	80/178	Val Oliver
34.	Doug Carlson 09-1787	28 South Shore Road	New dwelling (Lot 1B)	80/178	Val Oliver
35.	Craig Beni 09-1838	5 Tom Nevers Road	Rev 08-1547 enlarge cabana	77/2.2	Shelter 7 LLC
36.	Todd Cooper 09-1819	5 Hollister Road	Rev 08-1494 chge pergola. Adj stairs	92.4/263	Shelter 7 LLC
37.	James Pallotta 09-1812	21 Eel Point Road	Paddle court	40/4	Botticelli + Pohl
38.	P. Zernik 09-1846	24 W Chester St	Rev 06-1234; fenes change	42.4.3/57	Emeritus
39.	Darren Black 09-1839	28 Eel Point Road	Rev 12-0389; ext alterations	40/44	Emeritus
40.	Jonathan Raith 09-1821	14 Easy Street	Rev 73100; fenes change	42.3.1/13	Emeritus
41.	Elizabeth Wetherell 09-1852	10 Hickory Meadow	Rev 1167; copper roof	41/904	Emeritus
42.	Peter O'Brien 09-1843	36 Low Beach Road	Rev 72855; relocate + omit pergola	74/55	Emeritus
43.	KTT Place LLC 09-1844	6 North Sias St	Addition + rotate on site	73.4.1/41	MCA+
44.	KTT Place LLC 09-1859	6 North Sias St	Shed	73.4.1/41	MCA+
45.	KTT Place LLC 09-1802	6 North Sias St	Pool	73.4.1/41	MCA+
46.	Peter Sendelbach 09-1805	21 Hummock Pond Road	New dwelling	56/11.2	Self
47.	450 Green Park LLC 09-1785	2 Stone Alley	Addition	42.3.1/102	LINK
48.	22 BLVD LLC 09-1757	22 Boulevarde	New dwelling	30/327	Normand Residential
49.	22 BLVD LLC 09-1780	22 Boulevarde	Entertainment building	30/327	Normand Residential
50.	EPR RGH LLC 09-1842	119 Eel Point Rd (Lot 34)	Move off/demo	33/17.2	Brook Meerbergen
51.	12 Sconset West LLC 09-1863	12 Hydrangea Lane	New dwelling	73/90	Brook Meerbergen
52.	12 Sconset West LLC 09-1822	12 Hydrangea Lane	New shed	73/90	Brook Meerbergen
53.	12 Sconset West LLC 09-1865	12 Hydrangea Lane	Hardscape	73/90	Brook Meerbergen
54.	12 Lincoln Ave NT 09-1848	12 Lincoln Ave	Rev 07-1374; hardscape revs	30/183	MCLD, LLC

# Raiff Pool House

100 Low Beach Road  
Nantucket, MA 02554



2033  
Raiff Pool House

100 Low Beach Road  
Nantucket, MA 02554



## Cover Sheet

## Site Information

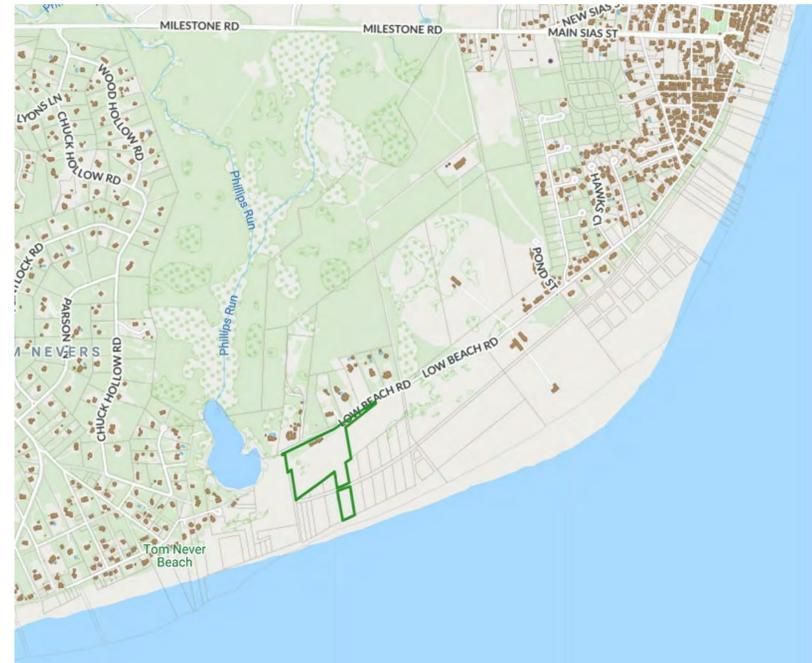
Map & Parcel:	75 / 27
Current Zoning:	LUG3
Minimum Frontage:	200 FT
Front Setback:	35 FT
Side/Rear Setback:	20 FT
Lot Size:	571,832 SF
Min. Lot Size:	120,000 SF
Allowable G.C.:	3% / 17,155 SF
Existing G.C.:	3,401 SF
Proposed G.C.:	978 SF
Total Proposed G.C.:	4,484 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

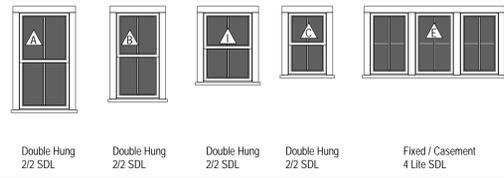
## SHEET INDEX

- G.1.0 Cover Sheet
- A.1.1 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

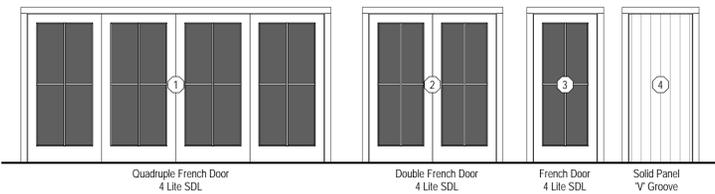
10.01.20



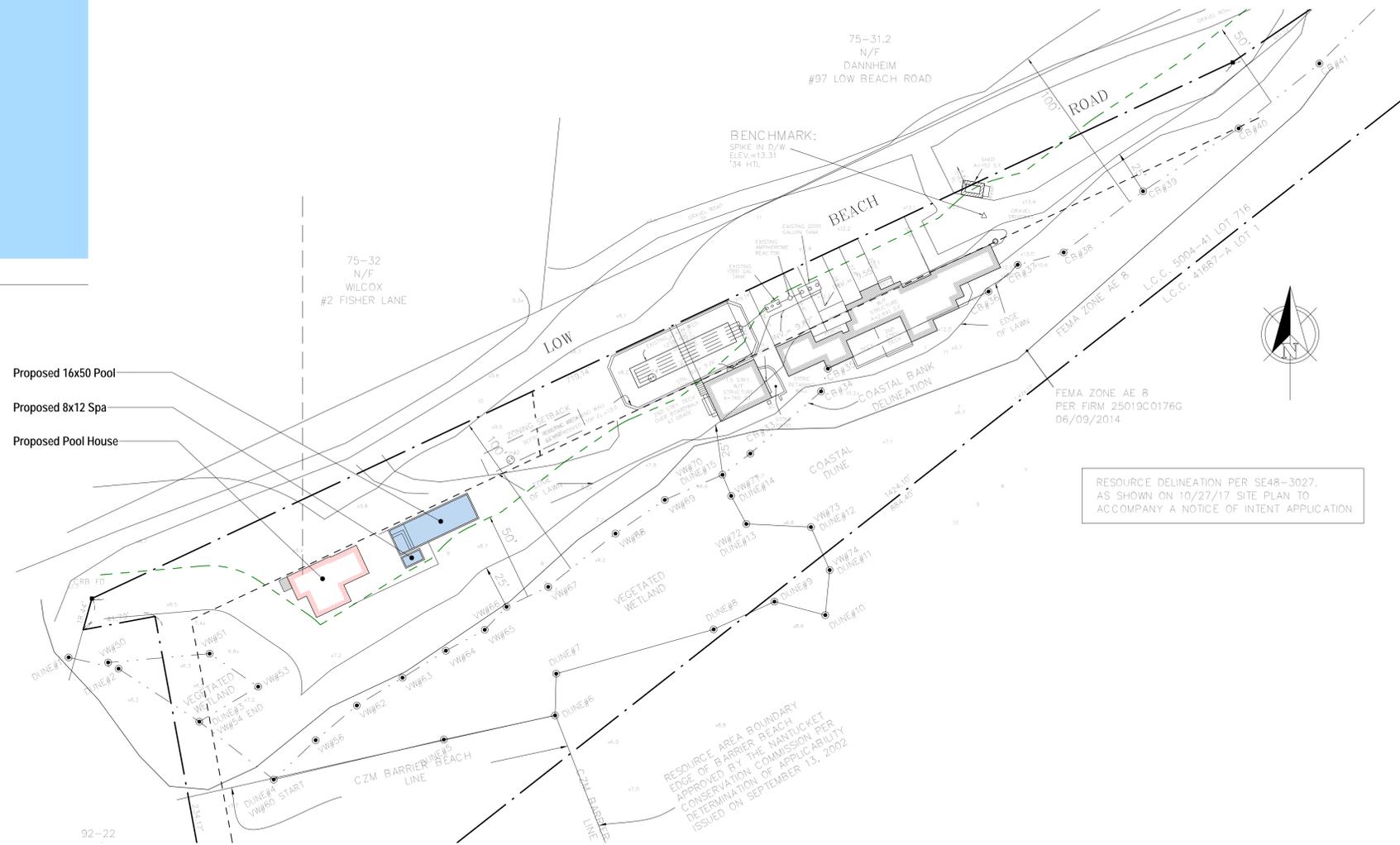
Locus Map  
Not to Scale



Window Legend  
1/4" = 1'-0"



Door Legend  
1/4" = 1'-0"



Site Plan  
1" = 40'-0"

HDC Submission

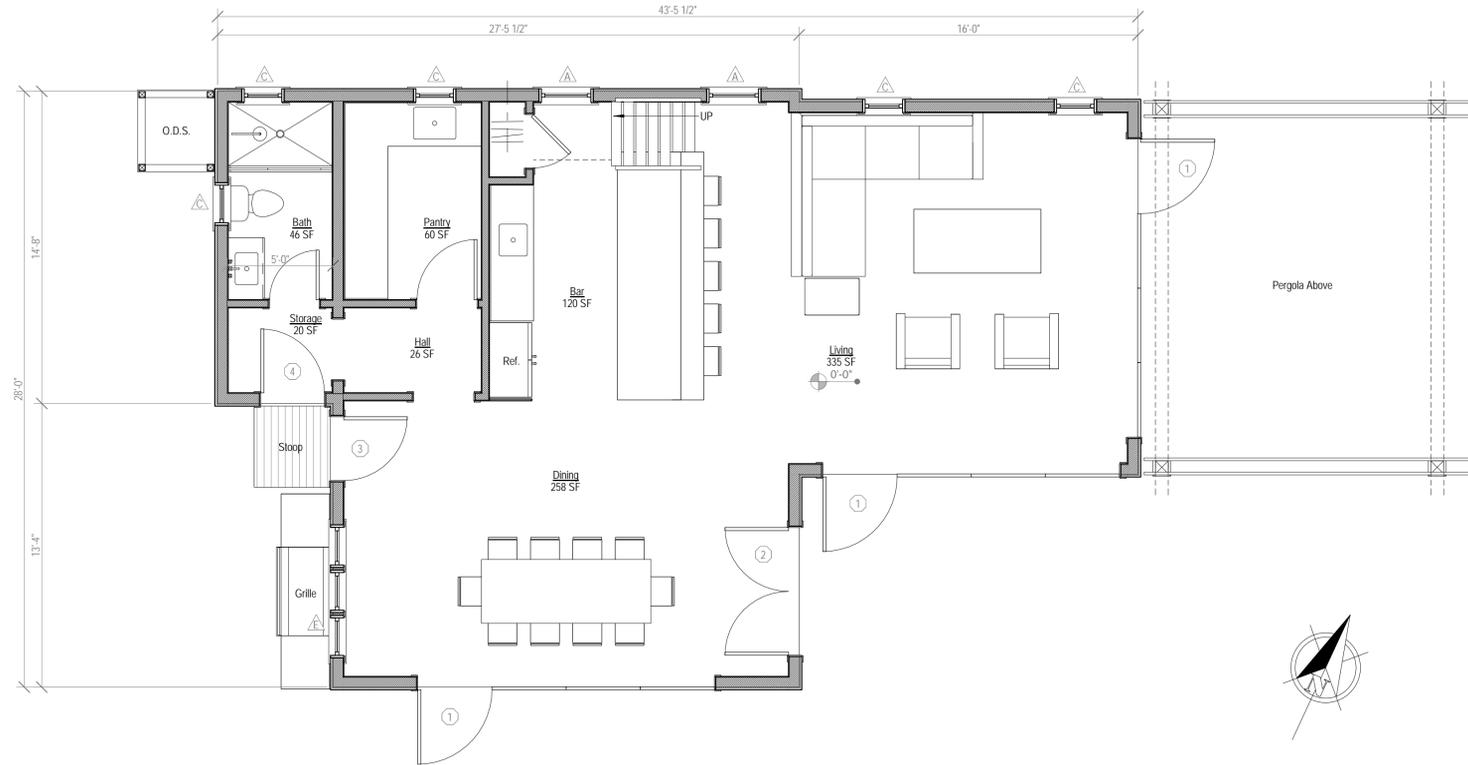
## Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.  
DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

**G.1.0**  
**2033**

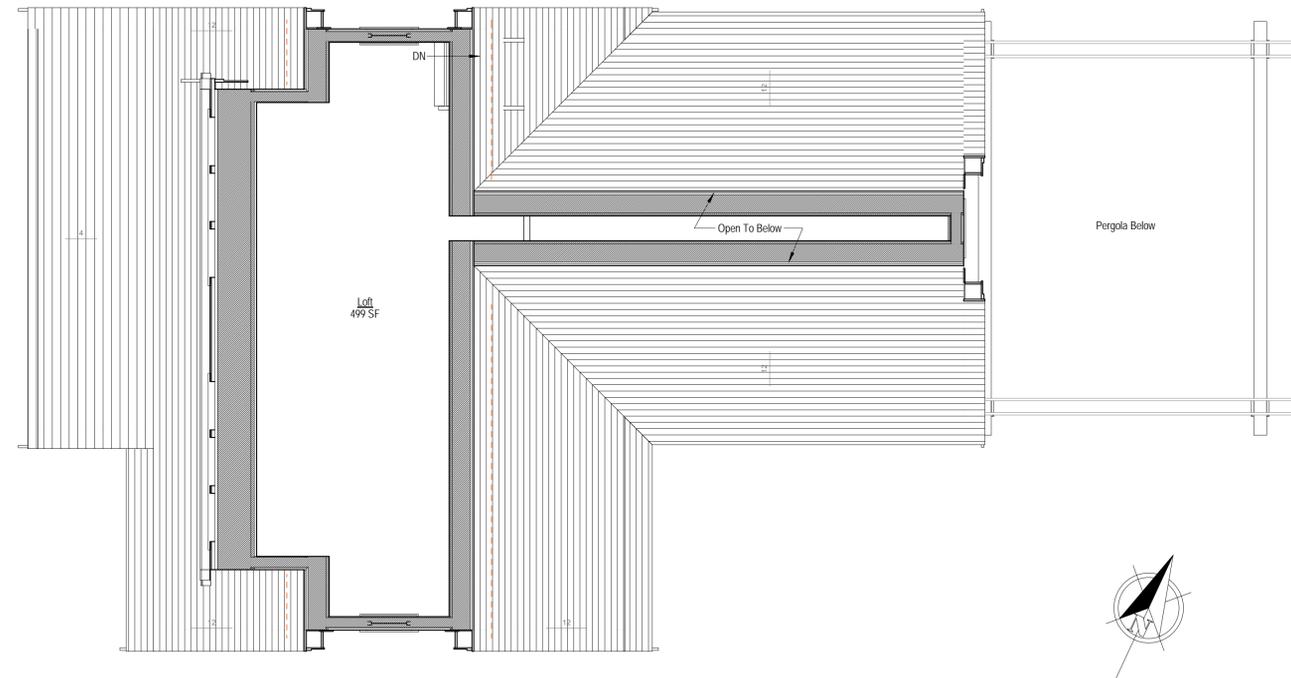
10.01.20

HDC Submission



First Floor - Proposed

1/4" = 1'-0"



Second Floor - Proposed

1/4" = 1'-0"

2033

Raiff Pool House

100 Low Beach Road  
Nantucket, MA 02554



Floor Plans

Site Information

Map & Parcel:	75 / 27
Current Zoning:	LUG3
Minimum Frontage:	200 FT
Front Setback:	35 FT
Side/Rear Setback:	20 FT
Lot Size:	571,832 SF
Min. Lot Size:	120,000 SF
Allowable G.C.:	3% / 17,155 SF
Existing G.C.:	3,401 SF
Proposed G.C.:	978 SF
Total Proposed G.C.:	4,484 SF

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SHEET INDEX

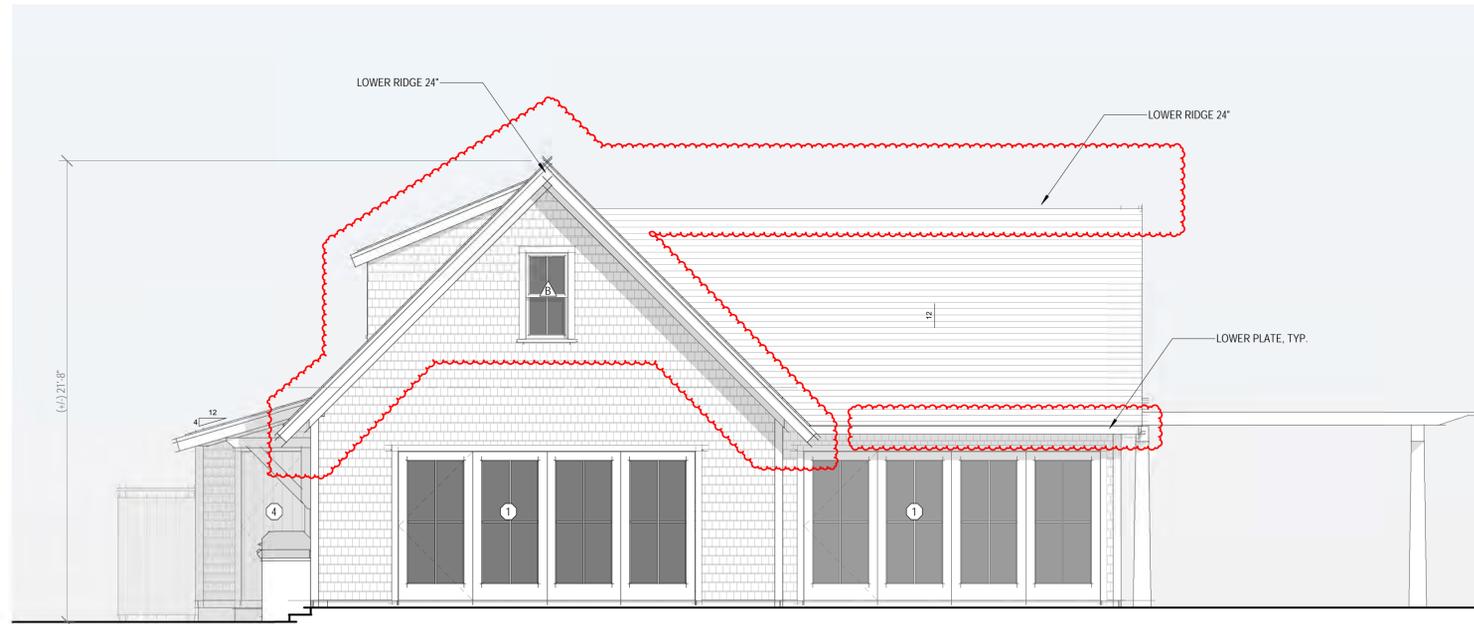
- G.1.0 Cover Sheet
- A.1.1 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

Revisions

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A.1.1  
2033

10.01.20



South Elevation - Proposed

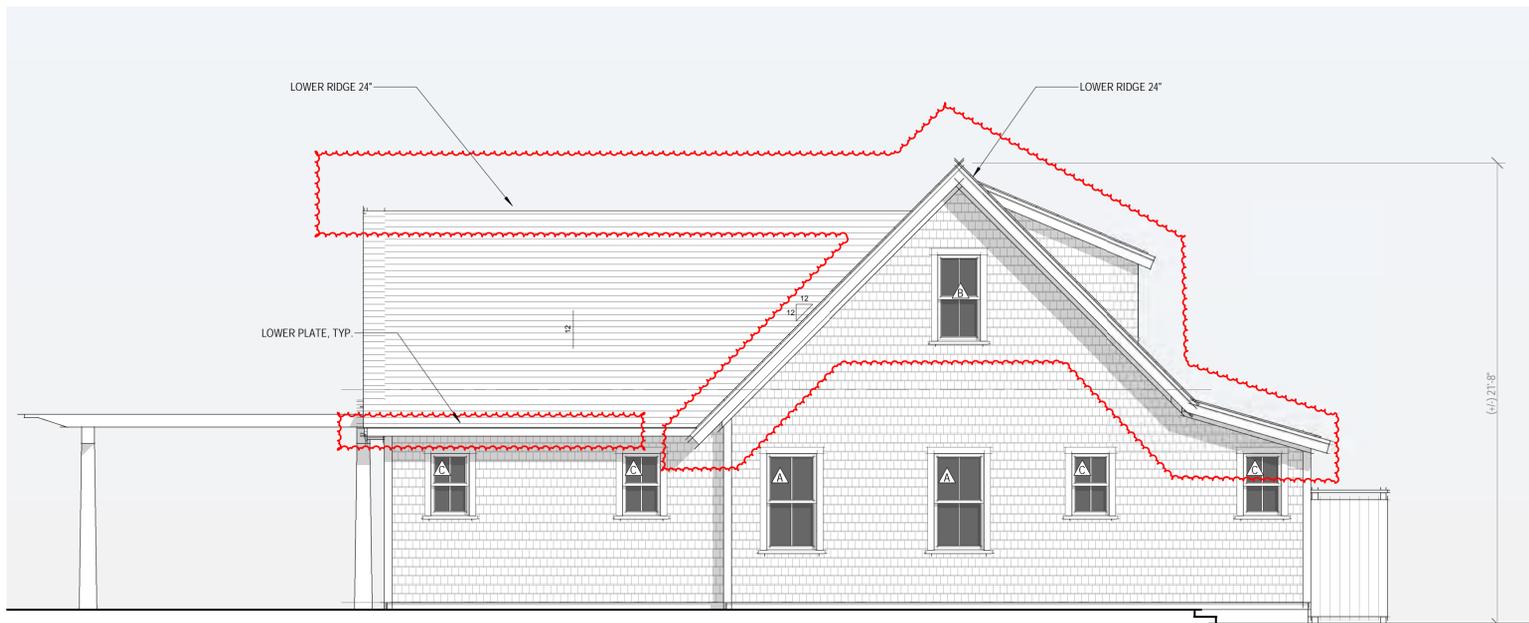
1/4" = 1'-0"



Previous Subm. South Elevation

1/8" = 1'-0"

HDC Submission



North Elevation - Proposed

1/4" = 1'-0"



Previous Subm. North Elevation

1/8" = 1'-0"

2033

Raiff Pool House

100 Low Beach Road  
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	75 / 27
Current Zoning:	LUG3
Minimum Frontage:	200 FT
Front Setback:	35 FT
Side/Rear Setback:	20 FT
Lot Size:	571,832 SF
Min. Lot Size:	120,000 SF
Allowable G.C.:	3% / 17,155 SF
Existing G.C.:	3,401 SF
Proposed G.C.:	978 SF
Total Proposed G.C.:	4,484 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

G.1.0	Cover Sheet
A.1.1	Floor Plans
A.2.1	Exterior Elevations
A.2.2	Exterior Elevations

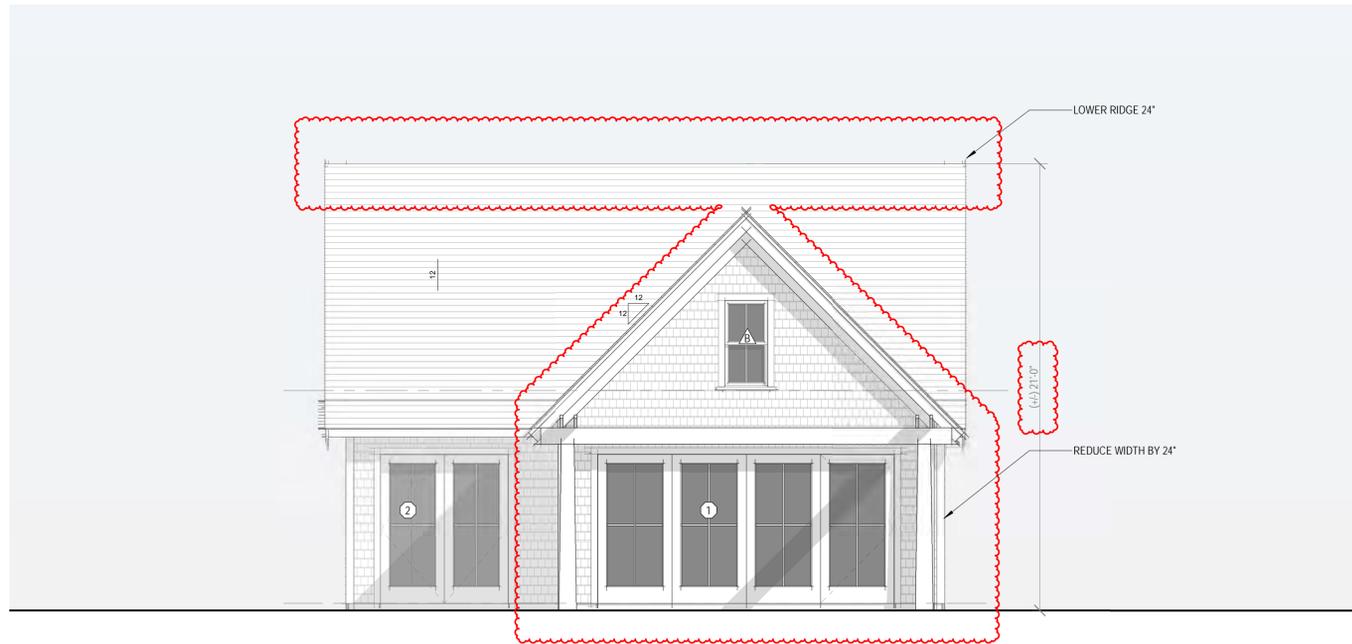
Revisions

Revision 1	Date 1
------------	--------

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD. DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

A.2.1  
2033

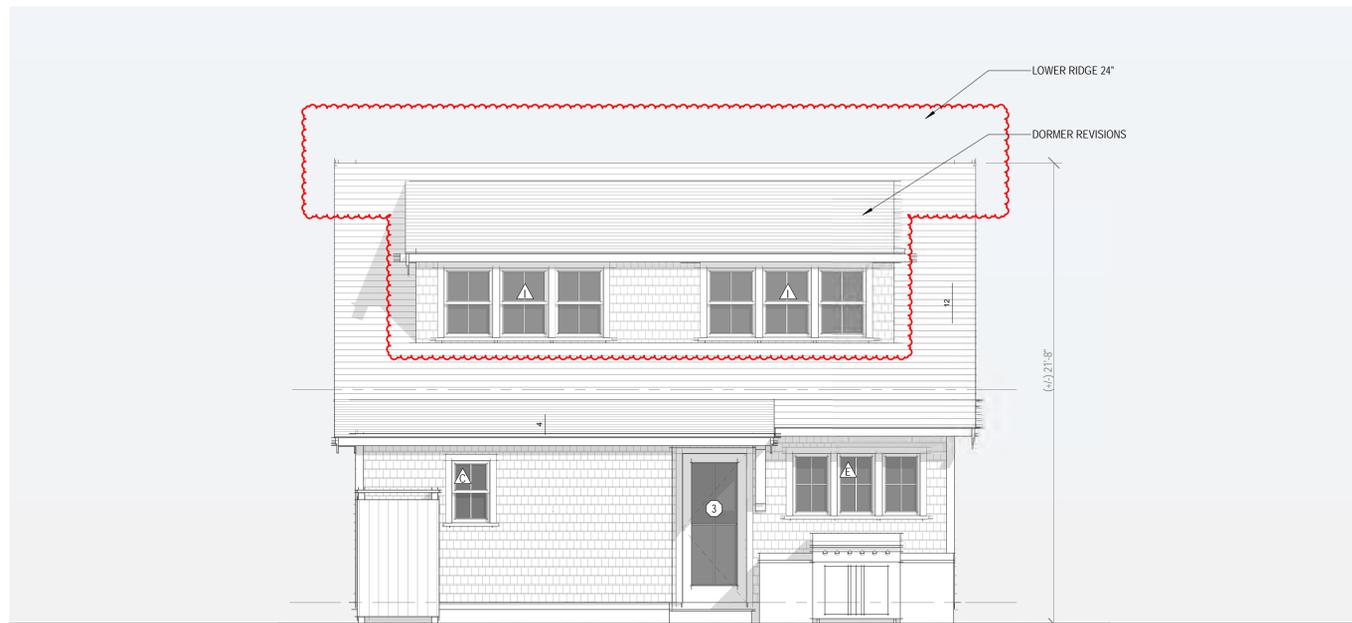
10.01.20



East Elevation - Proposed

1/4" = 1'-0"

HDC Submission



West Elevation - Proposed

1/4" = 1'-0"

2033

Raiff Pool House

100 Low Beach Road  
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	75 / 27
Current Zoning:	LUG3
Minimum Frontage:	200 FT
Front Setback:	35 FT
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SHEET INDEX

G.1.0	Cover Sheet
A.1.1	Floor Plans
A.2.1	Exterior Elevations
A.2.2	Exterior Elevations



Previous Subm. East Elevation

1/8" = 1'-0"



Previous Subm. West Elevation

1/8" = 1'-0"

Revisions

Revision 1	Date 1
------------	--------

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.  
DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

A.2.2  
2033

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

X	HDC case number: (ex HDC2020-xx-xxxx), if applicable <b>HDC2020-09-1857</b>
X	<u>Copy of Minutes</u> (application item circled)
X	<u>Reduced (8 1/2 x 11) copy of application</u>
X	<u>Locus Map</u> : 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) <ul style="list-style-type: none"> <li><b>a</b> Site Plan</li> <li><b>b</b> North Elevation</li> <li><b>c</b> South Elevation</li> <li><b>d</b> East Elevation</li> <li><b>e</b> West Elevation</li> <li><b>f</b> Window/Door Schedule</li> </ul>
X	<u>One set reduced plans</u> : 8 1/2 x 11
X	<u>Electronic Submission</u> : ALL documents MUST BE scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

**\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

### **Affidavit Certifying Completeness of Application**

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: Alex Bagmets Date: 10.01.20

HDC Meeting Date: Sept 29 , 2020.

**HDC 09-1857**

100 Low Beach Street

Emeritus Development

Map 75; Parcel 27

New Pool House

OLD

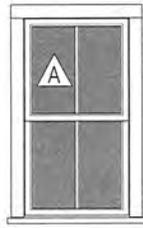
# *Raiff Pool House*

100 Low Beach Road  
Nantucket, MA 02554

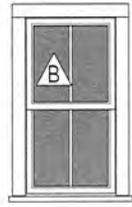


Locus Map

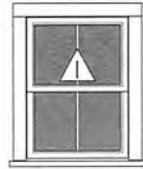
Not to Scale



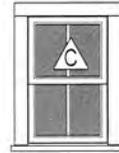
Double Hung  
2/2 SDL



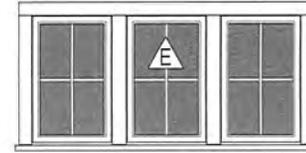
Double Hung  
2/2 SDL



Double Hung  
2/2 SDL



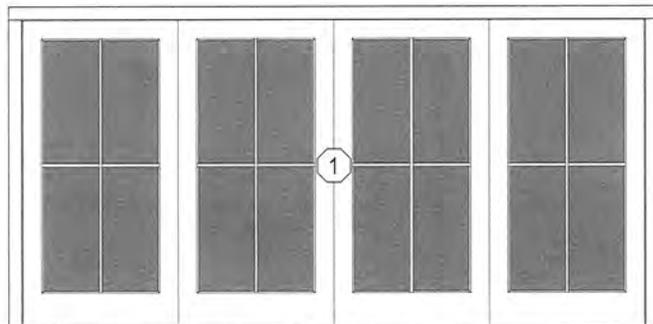
Double Hung  
2/2 SDL



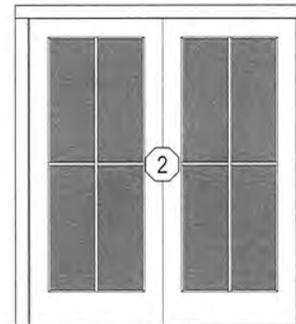
Fixed / Casement  
4 Lite SDL

## Window Legend

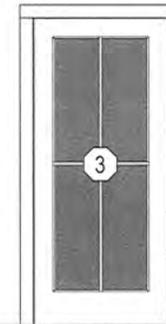
1/4" = 1'-0"



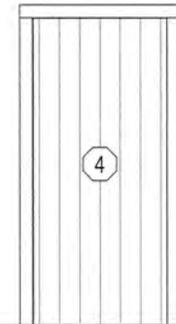
Quadruple French Door  
4 Lite SDL



Double French Door  
4 Lite SDL



French Door  
4 Lite SDL

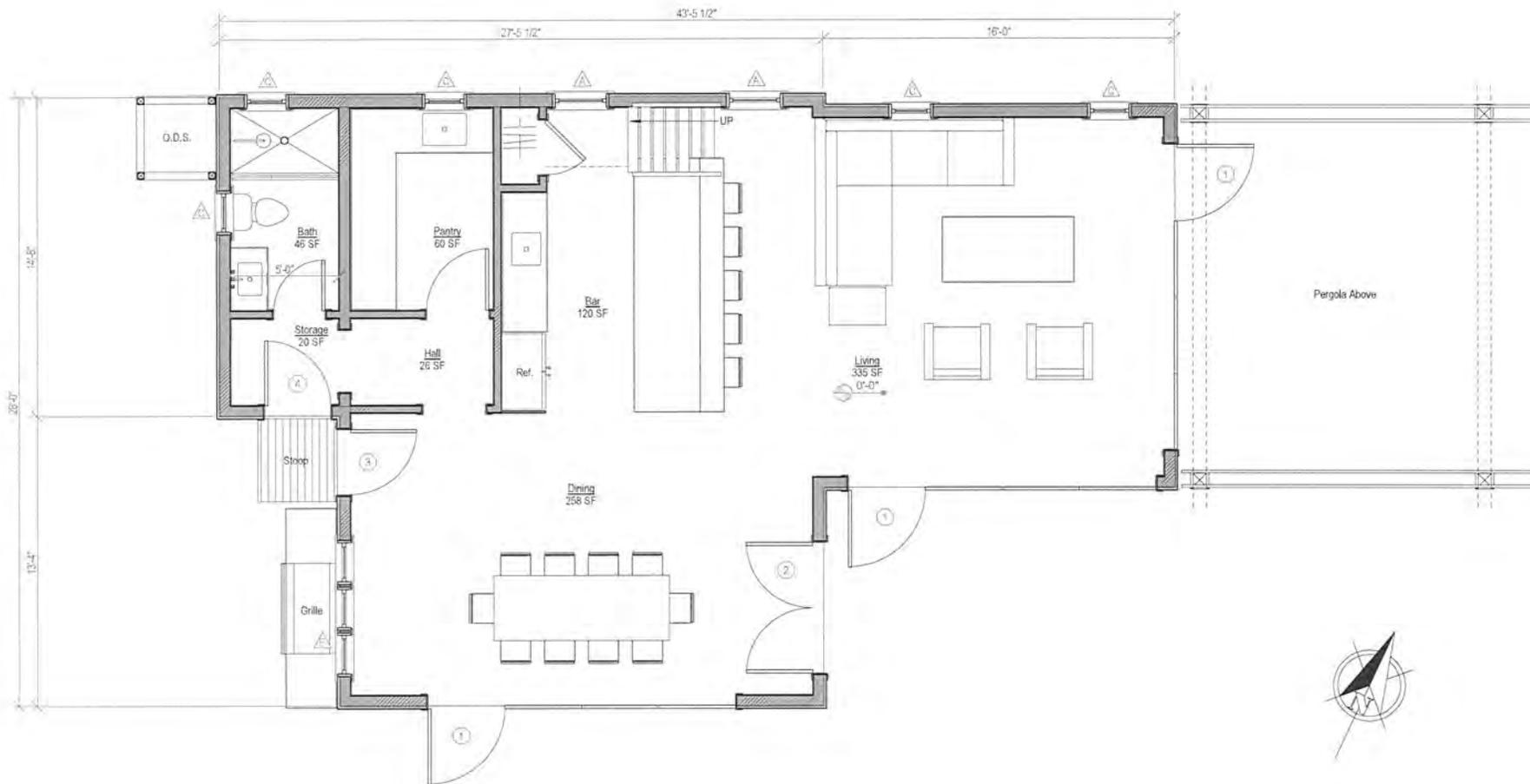


Solid Panel  
'V' Groove

## Door Legend

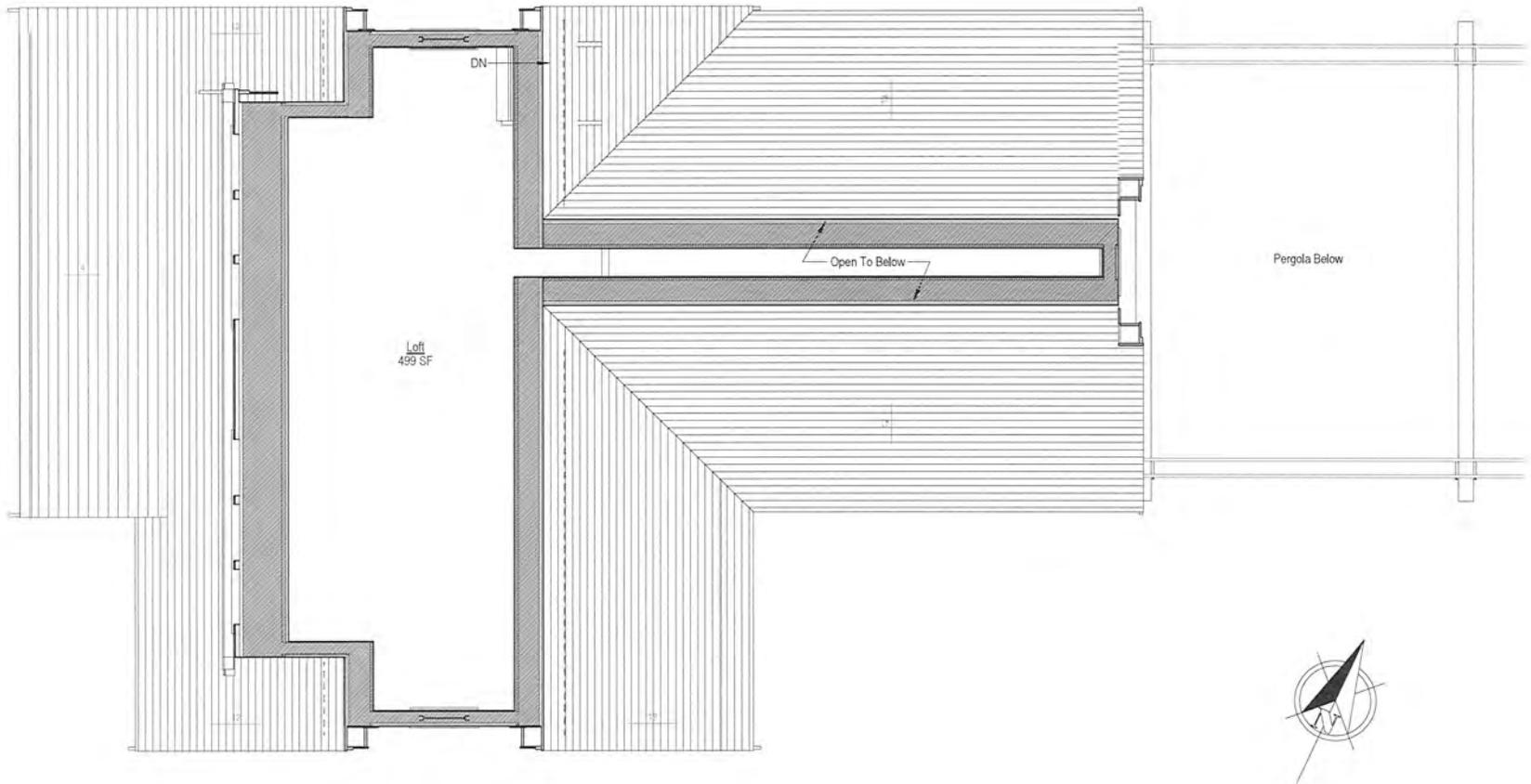
1/4" = 1'-0"





First Floor - Proposed

1/4" = 1'-0"



Second Floor - Proposed

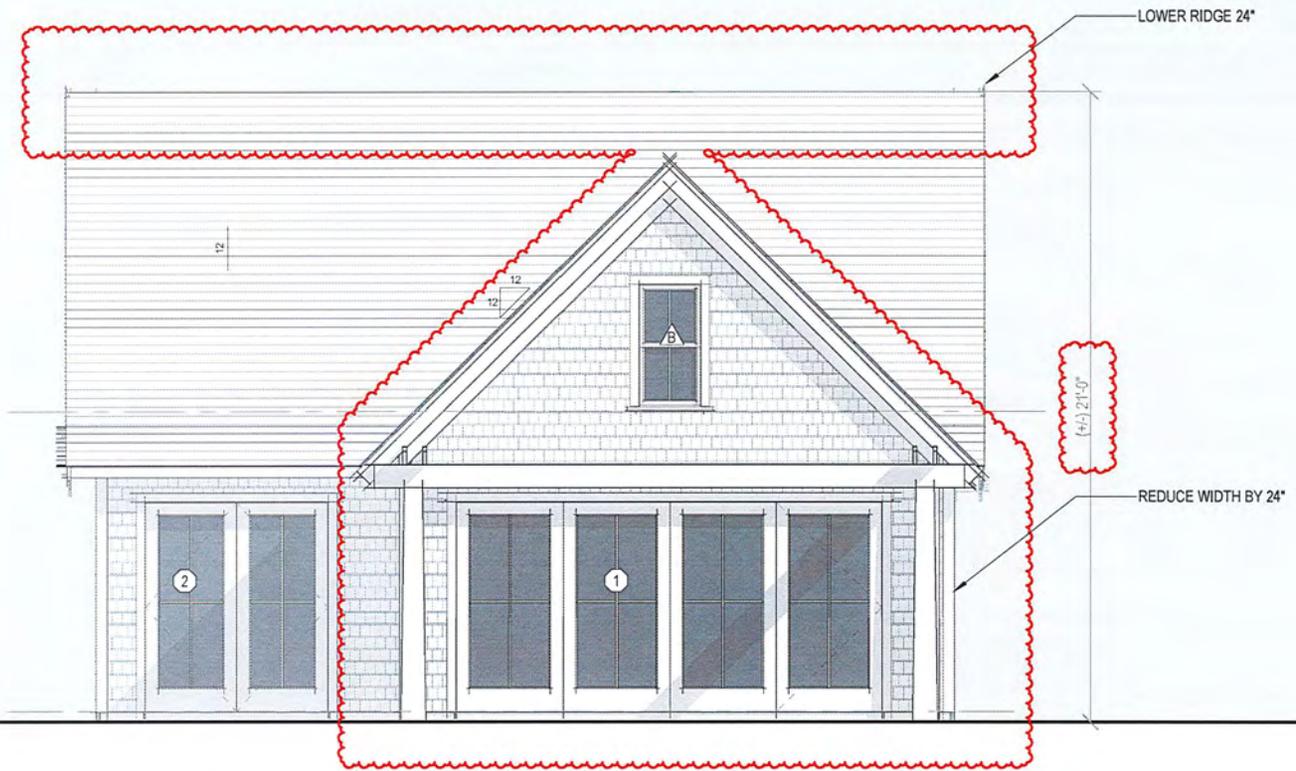
1/4" = 1'-0"



South Elevation - Proposed

1/4" = 1'-0"





East Elevation - Proposed

1/4" = 1'-0"



West Elevation - Proposed

1/4" = 1'-0"

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 42.3.1 PARCEL N°: 270-275  
Street & Number of Proposed Work: 55 Water St  
Owner of record: So. Water Associates Realty Trust  
Mailing Address: 180 Wells Ave Suite 100  
Newton, MA, 02459  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

FOR OFFICE USE ONLY	
Date application received: _____	Fee Paid: \$ _____
Must be acted on by: _____	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

**AGENT INFORMATION (if applicable)**

Name: Fugelius  
Mailing Address: 8 Williams Ln.  
Nantucket, MA, 02554  
Contact Phone #: 508 325 4995 E-mail: mart@fugelius-developments.com

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other: Alteration to Existing Two Story Structure - Existing Footings NO CHANG  
Size of Structure or Addition: Length: ±48.5' Sq. Footage 1st floor: ETC Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: ±16.5' Sq. Footage 2nd floor: 223 Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: 2,591

Difference between existing grade and proposed finish grade: North N/A South N/A East N/A West N/A  
Height of ridge above final finish grade: North ±35.5" South ±35.5" East ±35.5" West ±35.5"

**Additional Remarks**

**REVISIONS\***

1. East Elevation Addition Third Floor
2. South Elevation ---
3. West Elevation ---
4. North Elevation ---

Historic Name: \_\_\_\_\_  
Original Date: 1930  
Original Builder: \_\_\_\_\_

Is there an HDC survey form for this building attached?  Yes  N/A

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed 8"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) RED  Other \_\_\_\_\_  
Roof Pitch: Main Mass 8 /12 Secondary Mass 6 /12 Dormer \_\_\_\_\_ /12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) PAINTED MASBRAC

**Leaders (material and size):**

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other TO MATCH EXISTING

B. Treatment  Paint  Natural to weather  Other TO MATCH EXISTING

C. Dimensions: Fascia 6" Rake 6" Soffit (Overhang) 8" Corner boards 1 1/2" Frieze 4"

Window Casing 3 1/2" Door Frame 3 1/2" Columns/Posts: Round \_\_\_\_\_ Square 3 1/2"

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

**COLORS**

Sidewall NATURAL / MATCH EXISTING Clapboard (if applicable) N/A Roof RED CEDAR / NATURAL  
Trim QUAKER GRAY / MATCH EXISTING Sash QUAKER GRAY / MATCH EXISTING Doors COTTAGE RED / MATCH EXISTING  
Deck NATURAL Foundation NATURAL Fence \_\_\_\_\_ Shutters BLACK

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 02/05/20

Signature of owner of record \_\_\_\_\_

Special Agent \_\_\_\_\_

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

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	<u>Locus Map</u> : 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 1/2 x 11
	<u>Electronic Submission</u> : ALL documents <b>MUST BE</b> scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

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I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

HDC Meeting Date: September 29h, 2020.

5 South Water Street

Emeritus Development

Map 42.3.1; Parcel 270-275

Alterations & Addition

Old Business



# Updated Meeting Posting MEETING POSTING

Original Posting Time: 2020 SEP 25 AM 10:05

Original Posting Number: T 2068

**\*\*added ePermitting numbers\*\***

**TOWN OF NANTUCKET**

Pursuant to MGL Chapter 30A, § 18-25

All meeting notices and agenda must be filed and time stamped with the Town Clerk's Office and posted at least 48 hours prior to the meeting (excluding Saturdays, Sundays and Holidays)

**RECEIVED**

2020 SEP 29 AM 10:17  
NANTUCKET TOWN CLERK  
Posting Number:T 2074

<b>Committee/Board/s</b>	Historic District Commission (HDC) – NEW BUSINESS
<b>Day, Date, and Time</b>	Tuesday September 29, 2020 <b>4:30pm</b>
<b>Location / Address</b>	<b>REMOTE PARTICIPATION VIA ZOOM AND YouTube</b> Pursuant to Governor Baker's March 12, 2020 Order Regarding Open Meeting Law (Attached)  Information on viewing the meeting can be found at: <a href="https://www.nantucket-ma.gov/138/Boards-Commissions-Committees">https://www.nantucket-ma.gov/138/Boards-Commissions-Committees</a>
<b>Please note:</b>	Ray Pohl, Chairman If there is no quorum of members present, or if meeting posting is not in compliance with the OML statute, no meeting may be held.

## HISTORIC DISTRICT COMMISSION

**Signature of Chair/Authorized Person: Cathy Flynn, Land Use Specialist**

To join the Historic District Commission meeting click on the Zoom Link below:

<https://zoom.us/j/95560053336?pwd=UzMxaWF0N1MwVVByNGdkV1IIRHFMUT09>

**Meeting ID:** 955 6005 3336 **Password:** 078546

*Phone dial in: 646 558 8656; Meeting ID: 95560053336; Password: 078546*

To watch live feed, click here: <https://www.youtube.com/watch?v=yVst-gyYESU>

**Commissioners:** Ray Pohl (Chair), Diane Coombs (Vice Chair), John McLaughlin, Abby Camp, Val Oliver

**Associate Commissioners:** Stephen Welch, Jesse Dutra, Carrie Thornewill

**Staff:** Terry Norton, Cathy Flynn, Holly Backus and Kadeem McCarthy

Historic Structures Advisory Board (HSAB), Sconset Advisory Board (SAB), Madaket Advisory Board (MAB), Sign Advisory Council (SAC).

## AGENDA

*Listed below are the topics the chair reasonably anticipates will be discussed at the meeting.*

**Some applications on this agenda may not be heard at this meeting due to time constraints. Please check with the office on Wednesday after the Tuesday meeting for further information.**

### I. PUBLIC COMMENT

3.	Patrick Carney <b>09-1789</b>	5 Wingspread Lane	Pool	27/17.5	Waterscapes
	• Pool must not be visible at time of inspection and in perpetuity				
4.	Vandelay RT <b>09-1814</b>	84 Polpis Road	Pool	44/25.5	Val Oliver
	• Pool must not be visible at time of inspection and in perpetuity				
5.	Fred Knowles ETAL <b>09-1779</b>	16 Giny Lane	Pool and patio	41/846	Val Oliver
	• Pool must not be visible at time of inspection and in perpetuity				
6.	Maury Rugged LLC <b>09-1833</b>	18 Bayberry Lane	Pool	67/67	Val Oliver
	• Pool must not be visible at time of inspection and in perpetuity				
7.	Engle Kristen Trust <b>09-1868</b>	90 Pocomo Road	Rev 69612; pool smaller	15/43	David Bartsch
	• Pool must not be visible at time of inspection and in perpetuity				
8.	Julia Killian <b>09-1835</b>	10 Mayhew Lane	Rev 11-0154; exterior alterations	41/443	Shelter 7 LLC
	• A/C unit must be screened at time of inspection and in perpetuity				
9.	Russell Simpson <b>09-1794</b>	22 Bailey Road	Pool	55/504	BPC
	• Pool must not be visible at time of inspection and in perpetuity				
10.	Kiley Mann <b>09-1861</b>	14 Plum Street	Pool	80/325	Normand Residential
	• Pool must not be visible at time of inspection and in perpetuity				
11.	Lilymoor LLC <b>09-1806</b>	1 Maxey Pond Road	Pool	40/107	Jardins International
	• Pool must not be visible at time of inspection and in perpetuity				
12.	61 Shawkemo Rd NT <b>09-1770</b>	61 Shawkemo Road	Pool and patio	44/128	Atlantic Landscaping
	• Pool must not be visible at time of inspection and in perpetuity				
13.	Claudine Wispelway <b>09-1853</b>	25 Woodbine Street	Pool	80/275	Normand Residential
	• Pool must not be visible at time of inspection and in perpetuity				

#### V. SIGNS

	<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1.	Nantucket Basket Mus (OB) <b>09-1721</b>	49 Union Street	Move existing sign	55.1.9/31	Karen Butler

#### VI. NEW BUSINESS CARRIED OVER FROM 9/22/20

	<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1.	Vandelay Realty LLC <b>09-1669</b>	84 Polpis Road	Demo/move off	44/25.5	Val Oliver
2.	Vandelay Realty LLC <b>09-1661</b>	84 Polpis Road	New DU w/ attached garage	44/25.5	Val Oliver

#### VII. OLD BUSINESS CARRIED OVER FROM 9/24/20

	<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1.	Sea La Vie LLC <b>07-1408</b>	42 Dukes Road	Rev 67176; patio/pool	56/249	NAG
	• <i>Commissioners: Coombs (acting), Oliver, Welch; Alternates: None; Recused: None</i>				
2.	Ecklund/Furdak <b>08-1587</b>	26 W Chester Street	Hardscape	42.4.3/56	Ahern
	• <i>Commissioners: Pohl, Coombs, Camp, Welch; Alternates: None; Recused: None</i>				
3.	Michelle Black <b>05-0953</b>	28 Eel Point Road	Sports court	40/49	Ahern
	• <i>Commissioners: Pohl, Coombs, McLaughlin, Oliver, Welch; Alternates: None; Recused: None</i>				
4.	Cannonbury Holdings <b>08-1569</b>	4 Sleetwing Circle	New cabana	74/23	Workshop/APD
	• <i>Commissioners: Pohl, Coombs, McLaughlin, Camp, Dutra; Alternates: Welch; Recused: Oliver</i>				
5.	Cannonbury Holdings <b>08-1566</b>	4 Sleetwing Circle	Hardscape/pool	74/23	Workshop/APD
	• <i>Commissioners: Pohl, Coombs, McLaughlin, Camp, Dutra; Alternates: Welch; Recused: Oliver</i>				
6.	Anne McGivney <b>08-1498</b>	45 West Chester Street	Shed	41/230	Structures Unlimited
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
7.	Stephen Frohwein <b>07-1285</b>	32 N Liberty St	Addition	41/159	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
8.	Hummock Pond Holdings <b>07-1427</b>	287 Hummock Pond Rd	Move to 289 HPR + addtn	83/39	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
9.	John Hendricks <b>08-1549</b>	1 Jefferson Lane	Rev 73097; door change	55.4.1/74.1	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				

10.	South Water Assoc <b>02-0629</b>	5 South Water Street	2 <sup>nd</sup> /3 <sup>rd</sup> FL addition	42.3.1/270-275	Emeritus
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# Mixed Use Structure Alterations & Addition

5 South Water Street Nantucket, MA 02554

**1850**  
Mixed Use Structure  
Alterations & Addition  
5 South Water Street  
Nantucket, MA 02554



Cover Sheet

Site Information

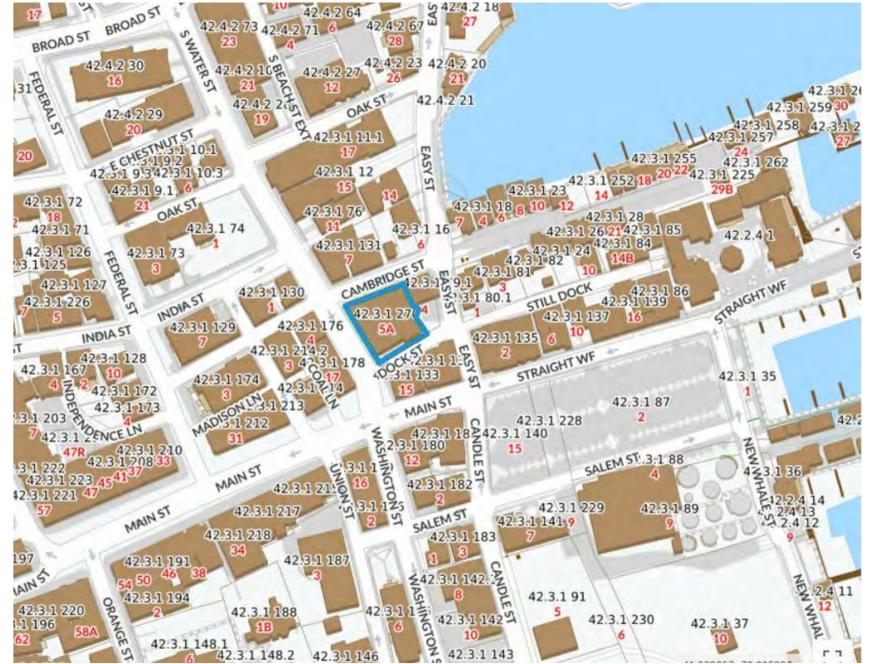
Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

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- A.1.1 First Floor Plan
- A.1.2 Second Floor Plan
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- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations
- A.2.3 Exterior Elevations
- A.2.4 Exterior Elevations

10.01.20



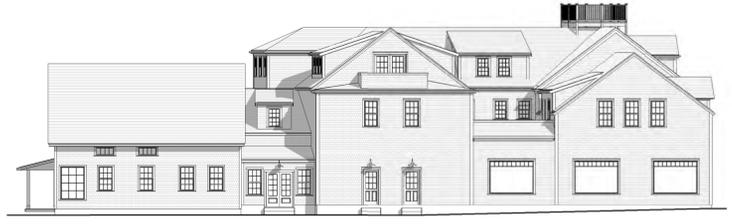
Locus Map



South Elevation



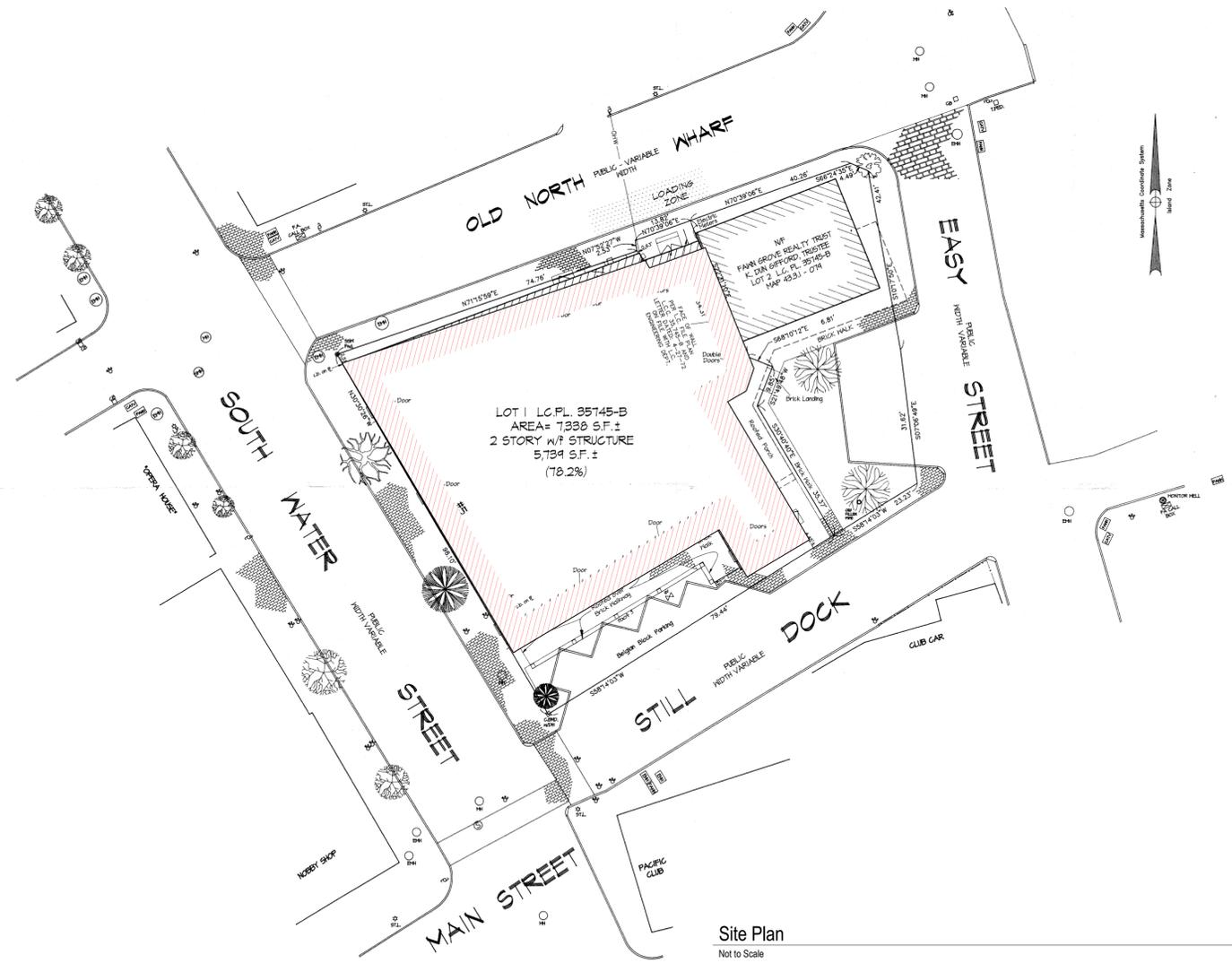
West Elevation



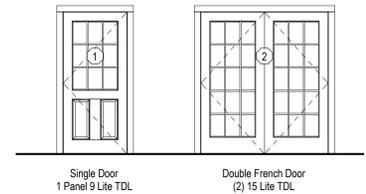
North Elevation



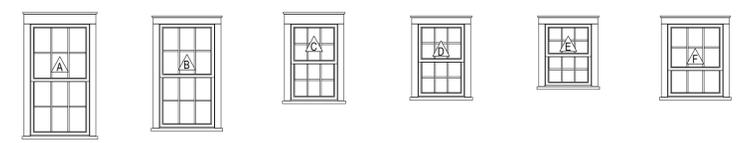
East Elevation



Site Plan  
Not to Scale



Door Legend  
1/4" = 1'-0"



Window Legend  
1/4" = 1'-0"

HDC Submission

Revisions

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**G.1.1**  
**1850**

10.01.20

HDC Submission



First Floor - Proposed  
1/4" = 1'-0"

1850

Mixed Use Structure  
Alterations & Addition  
5 South Water Street  
Nantucket, MA 02554



First Floor Plan

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

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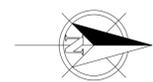
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A.1.1  
1850



10.01.20

HDC Submission



Second Floor - Proposed  
1/4" = 1'-0"

1850

Mixed Use Structure  
Alterations & Addition  
5 South Water Street  
Nantucket, MA 02554



Second Floor Plan

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

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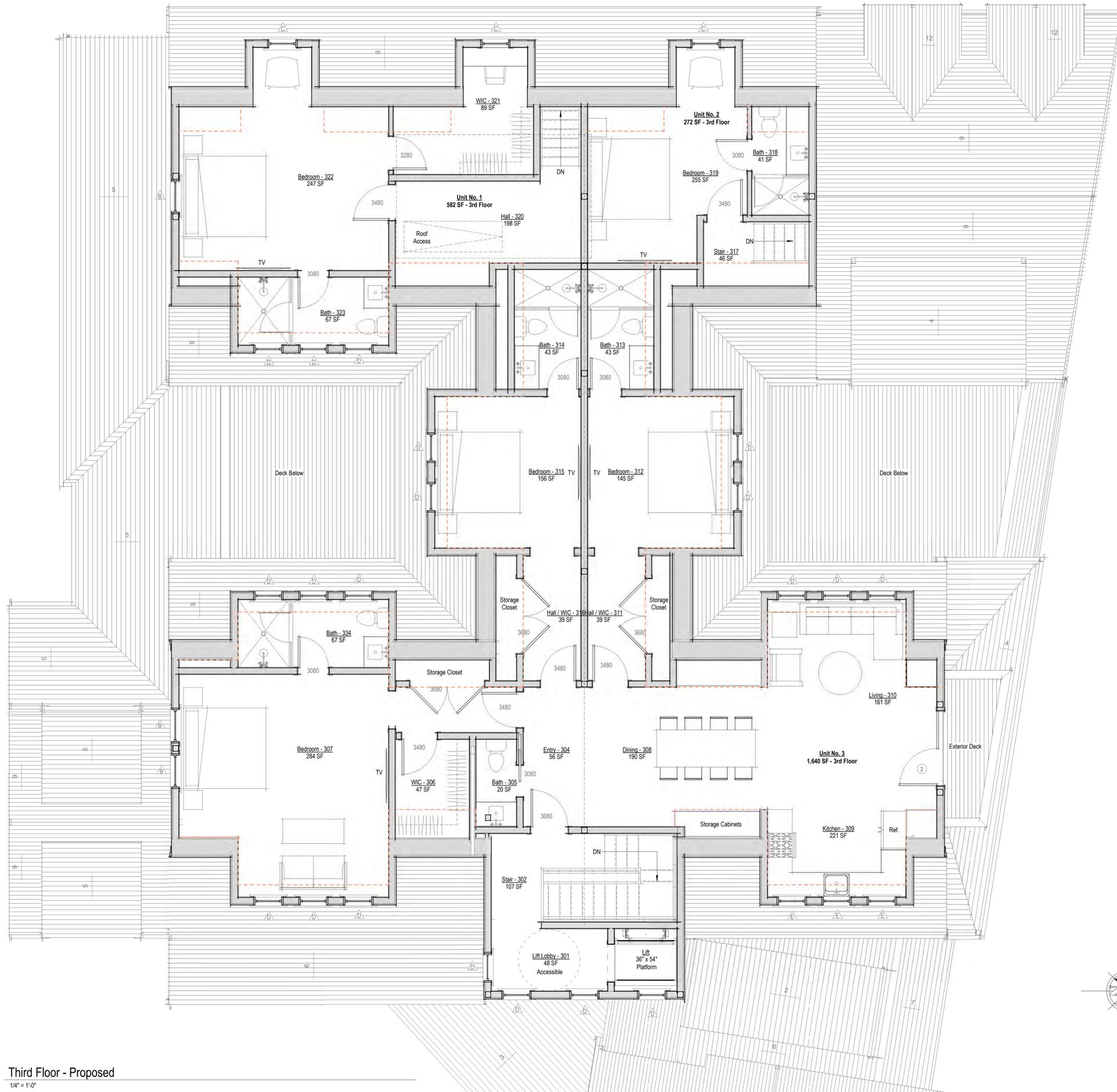
Revisions

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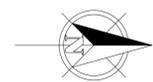
A.1.2  
1850

10.01.20

HDC Submission



Third Floor - Proposed  
1/4" = 1'-0"



# 1850

Mixed Use Structure  
Alterations & Addition  
5 South Water Street  
Nantucket, MA 02554



### Third Floor Plan

### Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

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# A.1.3

# 1850

10.01.20



West Elevation - Previously Submitted HDC  
1/8" = 1'-0"



West Elevation - Existing  
1/8" = 1'-0"



West Elevation - Proposed  
1/4" = 1'-0"

HDC Submission

**1850**  
Mixed Use Structure  
Alterations & Addition  
5 South Water Street  
Nantucket, MA 02554



**Exterior Elevations**

**Site Information**

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
Minimum Frontage:	35 FT
Front Setback:	None
Side/Rear Setback:	0 FT / 5 FT
Lot Size:	6,060 SF
Min. Lot Size:	5,000 SF
Allowable G.C.:	30% / 1,818 SF
Existing G.C.:	0 SF
Proposed G.C.:	1,802 SF
Total Proposed G.C.:	1,802 SF

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**A.2.1**  
**1850**

10.01.20

HDC Submission



North Elevation - Existing  
1/8" = 1'-0"



North Elevation - Previously Submitted HDC  
1/8" = 1'-0"



North Elevation - Proposed  
1/4" = 1'-0"

No Visible Changes This View

1850

Mixed Use Structure  
Alterations & Addition  
5 South Water Street  
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	42.3.1 / 270
Current Zoning:	CDT
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A.2.2  
1850

10.01.20



East Elevation - Previously Submitted HDC  
1/8" = 1'-0"



East Elevation - Existing  
1/8" = 1'-0"



East Elevation - Proposed  
1/4" = 1'-0"

HDC Submission

1850

Mixed Use Structure  
Alterations & Addition  
5 South Water Street  
Nantucket, MA 02554



Exterior Elevations

Site Information

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Current Zoning:	CDT
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**A.2.3**  
**1850**

10.01.20



South Elevation - Previously Submitted HDC

1/8" = 1'-0"



South Elevation - Existing

1/8" = 1'-0"

HDC Submission



South Elevation - Proposed

1/4" = 1'-0"

1850

Mixed Use Structure  
Alterations & Addition  
5 South Water Street  
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	42.3.1 / 270
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A.2.4  
1850







South Elevation



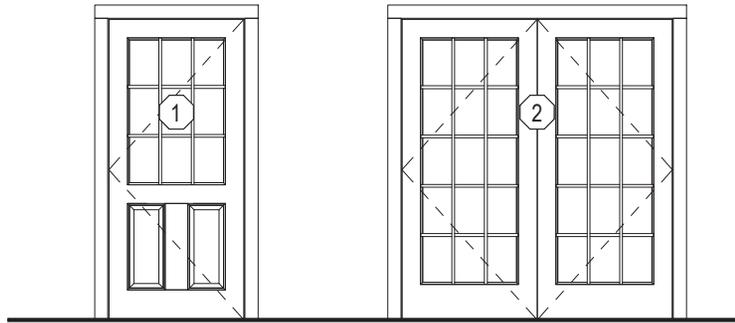
West Elevation



North Elevation



East Elevation

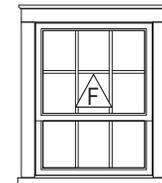
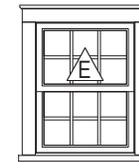
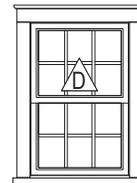
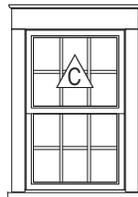
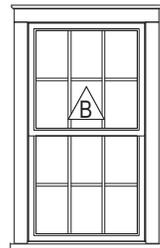
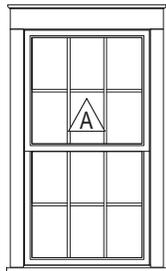


Single Door  
1 Panel 9 Lite TDL

Double French Door  
(2) 15 Lite TDL

## Door Legend

1/4" = 1'-0"

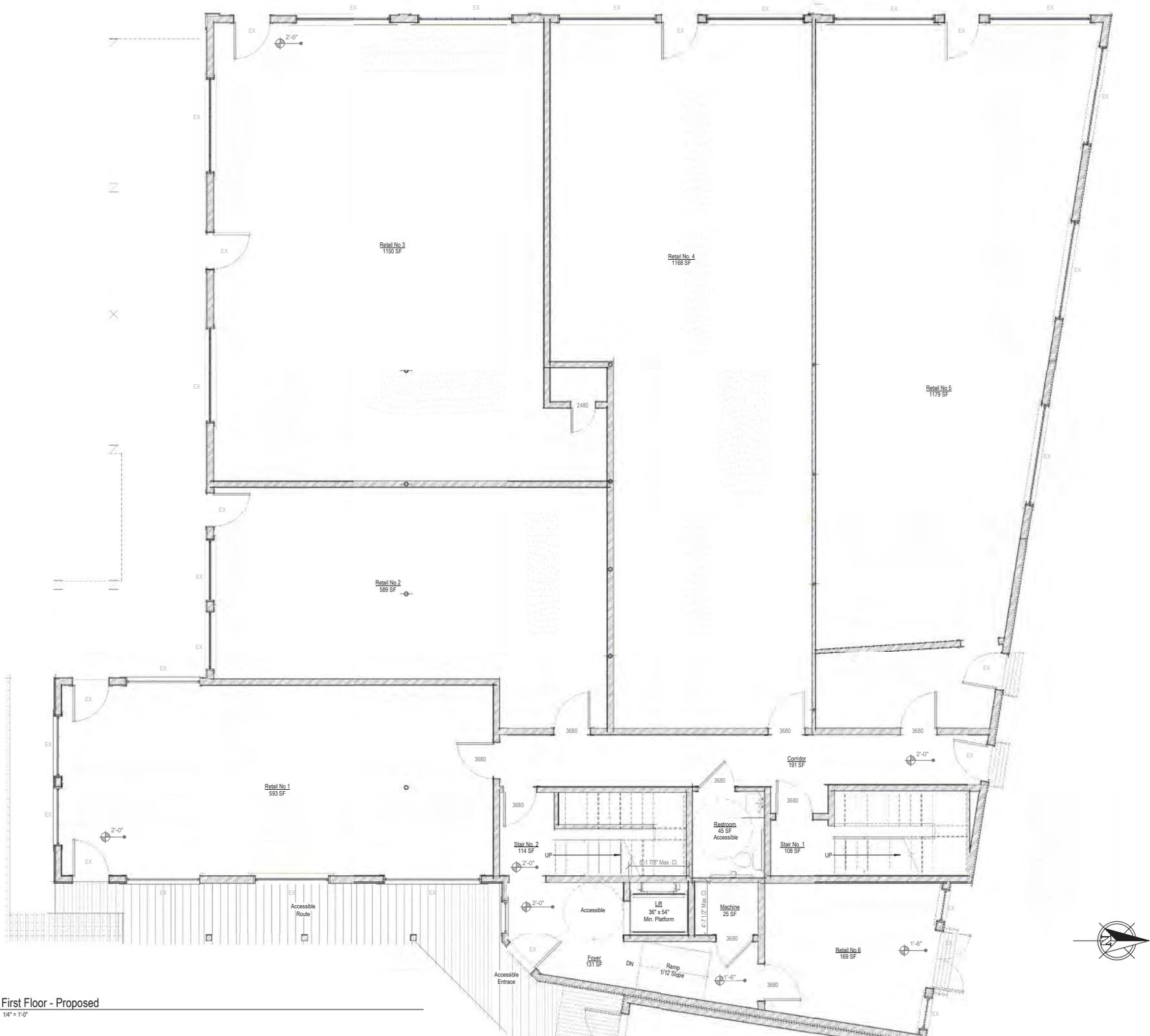


Double Hung  
6/6 TDL

Cottage  
6/3 TDL

## Window Legend

1/4" = 1'-0"



First Floor - Proposed

1/4" = 1'-0"



Second Floor - Proposed  
 1/4" = 1'-0"





West Elevation - Proposed  
 1/4" = 1'-0"



West Elevation - Previously Submitted HDC

1/8" = 1'-0"



West Elevation - Existing

1/8" = 1'-0"



No Visible Changes This View

North Elevation - Proposed

1/4" = 1'-0"



North Elevation - Previously Submitted HDC

1/8" = 1'-0"



North Elevation - Existing

1/8" = 1'-0"



East Elevation - Proposed

1/4" = 1'-0"



East Elevation - Previously Submitted HDC

1/8" = 1'-0"



East Elevation - Existing

1/8" = 1'-0"

.....



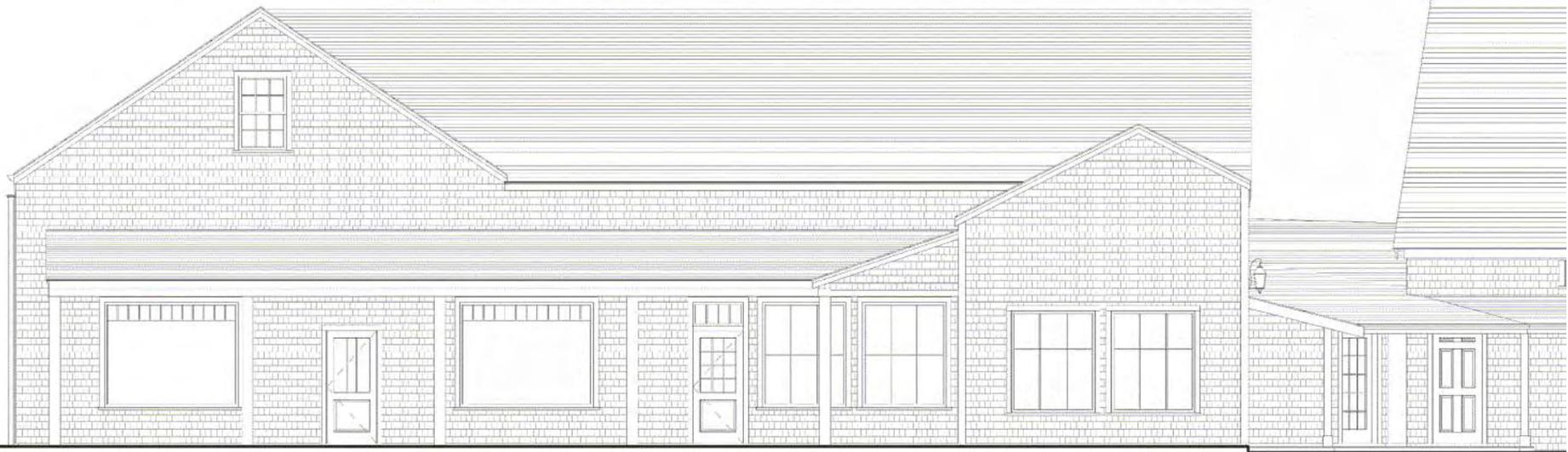
South Elevation - Proposed

1/4" = 1'-0"



South Elevation - Previously Submitted HDC

1/8" = 1'-0"



South Elevation - Existing

1/8" = 1'-0"

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

BFC - EDEN ROSE

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N<sup>o</sup>: 74 PARCEL N<sup>o</sup>. 29  
Street & Number of Proposed Work: 7 CANNONBURY LANE  
Owner of record: CANNONBURY LANE PARTNERS, LLC  
Mailing Address: 105 NEWBURY STREET  
BOSTON MA 02116  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: ANDREW KOTCHEN (WORKSHOP/APD)  
Mailing Address: PO BOX 521  
NANTUCKET, MA 02554  
Contact Phone #: 212-273-9712 E-mail: \_\_\_\_\_

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions  
\_\_\_\_\_  
\_\_\_\_\_

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed  
 Color Change  Fence  Gate  Landscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_  
 Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_

Size of Structure or Addition: Length: 52'-0" Sq. Footage 1st floor: 1380 Decks/Patio: Size: 11'-9" X 24'-0"  1st floor  2nd floor  
Width: 39'-6" Sq. footage 2nd floor: 900 Size: 8'-6" X 6'-6"  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North 0' South 0' East 0' West 0'  
Height of ridge above final finish grade: North 26'-7" South 26'-7" East 26'-7" West 26'-7"

#### Additional Remarks

Historic Name: \_\_\_\_\_ REVISIONS\* 1. East Elevation  
Original Date: \_\_\_\_\_ (describe) 2. South Elevation  
Original Builder: \_\_\_\_\_ 3. West Elevation  
Is there an HDC survey form for this building attached?  Yes  N/A 4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6"  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) WATER STRUCK  Other \_\_\_\_\_

Roof Pitch: Main Mass 12 /12 Secondary Mass 6 /12 Dormer 5 /12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer ANDERSON Rough Opening \_\_\_\_\_ Size 2' X 3' Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles NATURAL  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia 1 x 8 Rake 1 x 4 Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing 1X4 Door Frame 1X4 Columns/Posts: Round \_\_\_\_\_ Square 8 x 8

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer ANDERSEN

Doors\* (type and material):  TDL  SDL Front CUSTOM (PAINT) Rear FRENCH Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways BLUESTONE Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall NATURAL Clapboard (if applicable) \_\_\_\_\_ Roof NATURAL  
Trim WHITE Sash WHITE Doors FRONT - BLUE ; OTHERS - WHITE  
Deck 1X4 MAHOGANY Foundation PARGED Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 08/25/2020

Signature of owner of record \_\_\_\_\_

Signed under penalties of perjury

5. Cannonbury Ln Hold 08-1469	30 Cannonbury Lane	Pool/drivwy/patio	73/23	Ahern, LLC
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver			
Alternates	Welch, Dutra			
Recused	None			
Documentation	Landscape design plans, site plan, photos, and advisory comments			
Representing	Miroslava Ahern, Ahern Design, LLC			
Public	None			
Concerns (5:45)	<p><b>Ahern</b> – Presented project.</p> <p><b>Coombs</b> – Appreciates that privet isn’t being overused here.</p> <p><b>Oliver</b> – This is an example of how pictures of the existing would have helped. No concerns.</p> <p><b>Camp</b> – Every lot is going to be a house in front with pool in back; the houses should be staggered. She’s not opposed to this but wants to stay away from the “Levittown” approach.</p> <p><b>McLaughlin</b> – Duplication of structures and pools is inappropriate within an old historic district (OHD). No concerns about the pool.</p>			
Motion	<b>Motion to Approve with the pool not to be visible at time of inspection and thereafter. (Camp)</b>			
Roll-call Vote	Carried 5-0//Oliver, Coombs, McLaughlin, Camp, and Pohl-aye		Certificate #	<b>HDC2020-08-1469</b>

6. Cannonbury Ln Hold 1 08-1581	7 Cannonbury Lane	New dwelling	74/29	Workshop APD
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver			
Alternates	Welch, Dutra			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, and advisory comments			
Representing	Michael Luft-Weissberg, Workshop APD			
Public	None			
Concerns (5:54)	<p><b>Luft-Weissberg</b> – Presented project; module Eden Rose; white windows and trim with Cortland blue front door. Asserts the top of chimney is 29’7”; the roof is 26’6”.</p> <p><b>Backus</b> – Read SAB comments: main entry with sidelights too formal; 2<sup>nd</sup>-floor deck and doors on front inappropriate; where roof meets wall looks truncated.</p> <p><b>Camp</b> – Okay with the front door sidelights as long as the two bottom panels were wood. Agrees about the 2<sup>nd</sup>-floor deck and French door is out of place. This design is much more successful for this area. East elevation, the 2<sup>nd</sup>-floor French door should be a window. Chimneys should be corbelled in.</p> <p><b>Coombs</b> – This is an improvement. The front door is too formal with the sidelights and triple panels. East elevation, this is 29 feet tall; too many ganged windows – the four ganged should be reduced to 2 windows aligned with the windows above; the triple ganged windows are pinched in and should be reduced to 2 windows. She thought “Sconset was trying to cap heights at 25 feet.</p> <p><b>Oliver</b> – She likes this a lot; it’s more appropriate. Everyone should drive out there; there is a vast array of designs and sizes. Doesn’t believe Cannonbury will be a cluster of a few designs.</p> <p><b>McLaughlin</b> – West elevation deck, can’t tell how large it is (68” deep).</p> <p><b>Pohl</b> – From grade this is 26’7”. Agrees with SAB about the front door; the sidelights should have bottom panels; there is conflicting vocabulary with the cottage style door and sidelights. This design is more sensitive than the prior design.</p>			
Motion	<b>Motion to Hold for revisions. (Camp)</b>			
Roll-call Vote	Carried //Coombs, Oliver, McLaughlin, Camp, and Pohl-aye		Certificate #	

7. Cannonbury Ln Hold 1 08-1568	7 Cannonbury Lane	New garage	74/29	Workshop APD
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver			
Alternates	Welch, Dutra			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, and advisory comments			
Representing	Michael Luft-Weissberg, Workshop APD			
Public	None			
Concerns (6:08)	<p><b>Luft-Weissberg</b> – Presented project; there is a single model for the garage being offered; colors match the house.</p> <p><b>Oliver</b> – Pointed out that this is not ‘Sconset OHD; it’s out near the old Navy station.</p> <p><b>Coombs</b> – This is a nice simple garage.</p> <p><b>Camp</b> – Though this is outside the ‘Sconset OHD, she likes seeing that vernacular being carried out here.</p>			
Motion	<b>Motion to Approve as submitted. (Camp)</b>			
Roll-call Vote	Carried 5-0//Oliver, Coombs, McLaughlin, Camp, and Pohl-aye		Certificate #	<b>HDC2020-08-1568</b>

# BFC EDEN ROSE

# BFC

EDEN ROSE

7 CANNONBURY LANE  
NANTUCKET MA 02554

OWNER

CANNONBURY LANE PARTNERS, LLC  
105 Newbury Street  
Boston, MA 02116

ARCHITECT  
**WORKSHOP/APD**

WORKSHOP/APD ARCHITECTURE DPC  
39 W 38th Street, 7th Fl, New York, NY 10018  
T: (212) 273-9712 info@workshopapd.com

CONTRACTOR

BLUE FLAG CONSTRUCTION, LLC  
105 Newbury Street, 4th Fl  
Boston, MA 02116  
T: (508) 257-1325

STRUCTURAL ENGINEER

CRAFT - ENGINEERING STUDIO  
39 West 38th Street, 7th Fl  
New York, NY 10018  
T: (646) 912-9867

LANDSCAPE ARCHITECT

MIROSLAVA AHERN, LLC  
PO Box 2213  
Nantucket, MA 02584  
T: (508) 333-5138

SURVEYOR

BLACKWELL & ASSOCIATES, INC  
20 Teasdale Circle  
Nantucket, MA 02554  
T: (508) 228-9026

## HDC REVISION

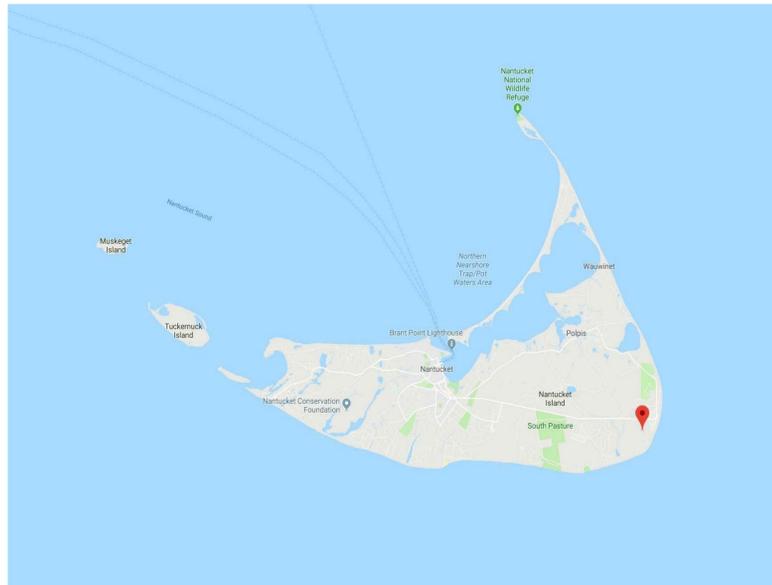
LOT 55

29 SEPTEMBER 2020

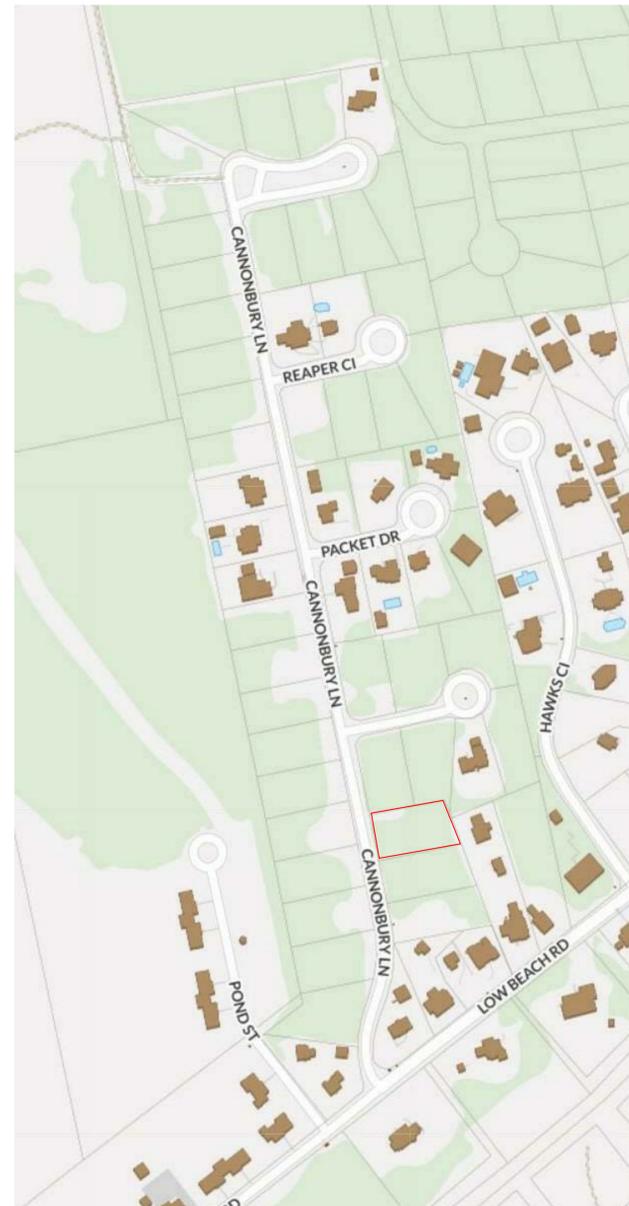
7 CANNONBURY LANE  
NANTUCKET MA 02554

PROJECT NO. - 318008

### LOCUS PLAN



### LOCUS PLAN



NOT TO SCALE

### LIST OF DRAWINGS

SHEET NUMBER	TITLE	08/25/2020 HDC SUBMISSION	09/29/2020 HDC REVISION
T-000	TITLE SHEET	•	•
G-102	GENERAL NOTES	•	•
L-100	PROPOSED SITE PLAN	•	•
A-120	FLOOR PLANS	•	•
A-121	FLOOR PLANS	•	•
A-220	ELEVATIONS	•	•

### ZONING INFORMATION

Map & Parcel	74/29
Current Zoning	SR-20
Minimum Frontage	75 FT.
Front Setback	30 FT.
Side/Rear Setback	10 FT.
Lot Size	20,436 SF
Min. Lot Size	20,000 SF
Allowable G.C.	12.5 %
Max G.C.	2,554.5 SF
Existing G.C.	--
Proposed G.C. Dwelling	1,380 SF
Proposed G.C. Garage	400 SF
Proposed G.C. Cabana	280 SF
Total G.C.	2,060 SF

### WINDOW, DOOR, AND TRIM COLOR

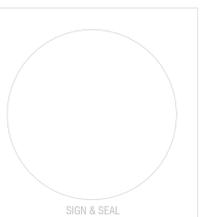
SASH : WHITE  
TRIM : WHITE

ALL DESIGNS & SPECS ARE SUBJECT TO  
VERIFICATION OF EXG. FIELD CONDITIONS

### REVISIONS

NO.	DATE	DESCRIPTION

### NOT FOR CONSTRUCTION



### ISSUES

NO.	DATE	DESCRIPTION
1	08/25/2020	HDC SUBMISSION

CONSTRUCTION DOCUMENTS  
DRAWN BY: IZM  
CHECKED BY: T.JZ/MLW  
DATE: 11/30/15  
SCALE:  
PROJ. NO. 318008

### TITLE SHEET

## T-000

## GENERAL NOTES:

- DRAWINGS ARE REPRESENTATIVE DOCUMENTS TO FACILITATE CONSTRUCTION. CONTRACTOR SHOULD FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. THE HEIGHTS OF GRADE INDICATED ON DRAWINGS ARE APPROXIMATE AND ARE PROVIDED FOR INFORMATION ONLY. NOTIFY DESIGNER OF ANY ALTERATIONS OR DISCREPANCIES IMMEDIATELY UPON DISCOVERY AND BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF DRAWINGS TO THE SUB-CONTRACTORS UNDER HIS JURISDICTION.
- THE CONTRACTOR IS TO COORDINATE THE WORK OF ALL SUB-CONTRACTORS, INCLUDING THE TIMING AND SCHEDULING OF THEIR WORK AND THE LAYOUT OF THEIR SYSTEMS. THE CONTRACTOR SHALL PROVIDE ALL SUB-CONTRACTORS WITH NECESSARY POWER AND ACCESS AND CONNECTIONS THROUGH FOUNDATION WALLS AS REQUIRED.
- WORKSHOP/APD IS CONTRACTED TO SERVE AS THE OWNERS REPRESENTATIVE DURING CONSTRUCTION. A REPRESENTATIVE OF WORKSHOP/APD SHALL MAKE PERIODIC SITE VISITS TO VERIFY CONSTRUCTION PROGRESS AND WILL REPORT FINDINGS TO THE OWNER AND CONTRACTOR IN THE FORM OF A WRITTEN REPORT. THE CONTRACTOR SHALL PROVIDE FREE ACCESS TO THE WORK TO THE OWNER, ARCHITECT, SUBCONTRACTOR, AND THEIR REPRESENTATIVES AT ALL TIMES.
- THE CONTRACTOR SHALL ACKNOWLEDGE THAT JOB SITES ARE DIFFICULT AND DANGEROUS PLACES TO WORK BY NATURE. AS SUCH, ALL NECESSARY PRECAUTIONS WILL BE TAKEN TO ENSURE THE SAFETY AND GENERAL WELL BEING OF HIS EMPLOYEES. CONTRACTOR SHALL PROVIDE GUARDS, RAILS, BARRICADES, FENCES, CATCH PLATFORMS, BRIDGING, DECKING, NIGHT LIGHTING, ETC. AS REQUIRED. THE USE OF ANY STEREOIS AND/OR RADIOS AND THE PRESENCE OF PETS OF ANY KIND ARE PROHIBITED ON THE JOB SITE.
- DRAWINGS SHALL NOT BE SCALED BY HAND. USE ONLY PRINTED DIMENSIONS TO IDENTIFY SIZE AND DIMENSION OF MATERIALS AS SHOWN. CONTACT THE DESIGNER TO VERIFY ANY DIMENSION THAT HAS BEEN OMITTED FROM THESE PLANS.
- CONTRACTOR TO PROVIDE ALL MATERIALS FOR A COMPLETE JOB AS INDICATED IN THE DRAWINGS BOTH GRAPHICALLY AND WRITTEN. IN CASE OF DISCREPANCIES, THE MORE STRINGENT AND/OR COSTLY EXAMPLE SHALL BE ASSUMED. CONSULT DESIGNER IF SUCH A SITUATION OCCURS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO WORKSHOP/DPC PRIOR TO PROCEEDING WITH WORK. FOR ALL MATERIALS THAT REQUIRE FABRICATION, WORKSHOP/DPC SHALL REVIEW AND RETURN SHOP DRAWINGS TO CONTRACTOR WITHIN A PERIOD OF TEN WORKING DAYS FROM THE DATE OF SUBMITTAL.
- CONTRACTOR SHALL FURNISH SAMPLES OF ALL MATERIALS, AND/OR FINISHES AS SPECIFIED FOR CONSTRUCTION AT THE REQUEST OF THE OWNER OR DESIGNER.
- ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS NOTED OTHERWISE OR AT THE SPECIFIC AUTHORIZATION OF THE OWNER.
- ALL WORK SHALL BE ERRECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE. THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE WORK OR MAKE PARTS FIT TOGETHER PROPERLY, WITHOUT COMPROMISING QUALITY OF WORK.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING AND PROTECTING ALL WORK FROM DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MIS-ALIGNMENT ACCORDING TO APPLICABLE BUILDING CODES AND STANDARDS OF GOOD PRACTICE.
- CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING SYSTEMS AT ALL TIMES FROM THE EFFECTS OF ADVERSE WEATHER (RAIN, SNOW, ETC.) AT NO ADDITIONAL COST TO THE OWNER.
- ALL WORK SHALL BE INSTALLED SO THAT REQUIRED PARTS ARE READILY ACCESSIBLE AND AVAILABLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR.
- CONTRACTOR SHALL MAINTAIN CLEAR AND UNOBSTRUCTED ACCESS FROM ALL FLOORS TO STAIRWELLS AND EXTERIOR EXITS AT ALL TIMES.
- CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
- CONTRACTOR SHALL PROVIDE PROTECTION OF ALL WINDOWS AND DOORS DURING CONSTRUCTION. MEANS OF PROTECTION SHALL NOT BE ATTACHED TO WINDOW AND DOOR FRAMES.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE REQUIRED TO COORDINATE WITH OTHER SUBCONTRACTORS AS NECESSARY, INCLUDING THOSE HIRED UNDER SEPARATE CONTRACT BY THE OWNER. EACH SUBCONTRACTOR SHOULD COMPLETE WORK ON AN EXPEDITED AND REASONABLE SCHEDULE. IN A MANNER THAT DOES NOT DELAY OTHER TRADES AND SUBCONTRACTORS FROM COMPLETION OF WORK.
- ALL NAILS AND FASTENERS IN AREAS PRONE TO MOISTURE SHALL BE "HOT DIPPED GALVANIZED" UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL KEEP SUFFICIENT WORKMAN ON THE JOB SITE AT ALL TIMES TO PERFORM WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTEREST OF THE OWNER.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTION SERVICES OF LOCAL AUTHORITIES OTHER THAN THE ACTUAL BUILDING PERMIT AND HISTORIC DISTRICT COMMISSION APPROVAL, WHICH SHALL BE SECURED BY THE OWNER OR DESIGNER PRIOR TO THE SCHEDULED START DATE. ALL INSPECTIONS, RECORDS AND CERTIFICATE OF OCCUPANCY SHALL BE GIVEN TO THE OWNER AT THE END OF THE JOB. THE JOB SHALL NOT BE CONSIDERED COMPLETE UNTIL THE CERTIFICATE OF OCCUPANCY IS ISSUED.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING, PLUMBING, ELECTRICAL, AND LIFE SAFETY CODES, EVEN WHEN NOT SPECIFIED IN THE DRAWING, NOTES, OR SPECIFICATIONS. IF ANY CODE IS IN CONFLICT WITH THESE, THE CONTRACTOR SHALL REPORT SUCH TO OWA FOR REVISIONS PRIOR TO BIDDING. IN THE EVENT OF CONFLICT BETWEEN APPLICABLE CODES OR REGULATIONS AND REFERENCE STANDARDS OF THESE PLANS AND SPECIFICATION, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES TO ENSURE SAFE DIGGING.
- A REGISTERED SURVEYOR SHALL BE REQUIRED TO SET ALL FOUNDATION CORNERS, ELEVATIONS AND DIMENSIONS ON SITE.
- USE OF THESE DRAWINGS MUST BE IN COMPLIANCE WITH ALL OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.

## FOUNDATION NOTES:

- FOUNDATION NOTES ARE APPLICABLE TO ALL CONDITIONS UNLESS OTHERWISE NOTED.
- ALL FOUNDATION WALLS SHALL BE 10" THICK CONCRETE, MINIMUM 3000PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
- FOUNDATION WALLS SHALL BE KEPT INTO FOOTINGS.
- FOOTINGS SHALL BE A MINIMUM OF 1'-0" X 2'-0" W/ WITH 3-#4 CONTINUOUS HORIZONTAL BARS. HORIZONTAL REINFORCING SHALL BE PLACED AT 3" ABOVE BOTTOM OF FOOTING.
- ALL FOOTINGS AND CONCRETE PIERS SHALL EXTEND 4'-0" BELOW GRADE MINIMUM.
- CONCRETE PIERS SHALL HAVE BELL CURE FOOTING. BASE OF BELL SHALL BE 2x TIMES WIDTH OF PIER; DEPTH OF BELL SHALL EQUAL WIDTH OF PIER. TAPER OF BELL SHALL BE 45 DEG. ANGLE MINIMUM.
- ALL PERIMETER FOUNDATION WALLS SHALL HAVE WATERPROOFING APPLIED TO THE EXTERIOR.
- FOUNDATION WALLS SHALL INCORPORATE 16" LONG - 1/2" DIAMETER ANCHOR BOLTS AT 32" O.C. MINIMUM, ON ALL PERIMETER WALLS. A MINIMUM OF WHO BO BOLTS SHALL BE USED AT EACH SILL PLATE. HOLD BOLTS 18" OF CORNERS MINIMUM. APPROVAL OF TOPSOIL REMOVAL SHALL BE IN THE FORM OF EXCHANGE ORDER.
- CONCRETE FLOOR SLABS SHALL BE 4" THICK MINIMUM AND BE REINFORCED WITH WELDED WIRE MESH OR FIBER MESH REINFORCING. REINFORCING SHALL BE PLACED AT THE CENTER OF THE SLAB. FLOOR SLABS SHALL BE POURED OVER 4" GRAVEL BASE AND 6 MIL. POLY-VAPOR BARRIER ON STRUCTURALLY COMPACTED OR UNDISTURBED SOIL.
- CONTRACTOR AND SUBCONTRACTORS SHALL USE CLEAN SAND, WELL GRADED AND FREE FROM ANY DELETERIOUS SUBSTANCES, AND CLEAN WATER, TAKEN FROM A SOURCE SUITABLE FOR DOMESTIC CONSUMPTION.
- FOR ALL BRICK OR STONE FINISHES THE CONTRACTOR SHALL SUBMIT A SAMPLE TO THE DESIGNER FOR APPROVAL PRIOR TO INSTALLATION.
- ANCHORS AND TIES SHALL BE CORROSION PROOF AND GALVANIZED AFTER FABRICATION.
- COLD WEATHER INSTALLATIONS FOR CONCRETE, WHEN AIR TEMPERATURE IS BELOW 40 DEGREES F, REQUIRE APPROVAL BY THE DESIGNER.
- MASONRY WORK SHALL BE PLUMB, TRUE AND SET TO COURSES LEVEL. BUILD IN ALL METAL TIES AND ANCHORS AS WORK PROGRESSES.
- CONCRETE MASONRY UNIT CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING STANDARDS: HOLLOW UNITS - ASTM C-90, SOLID UNITS - ASTM C-145, PORTLAND CEMENT - ASTM C-150, MASONRY CEMENT - ASTM C-91 (NON-STAINING CEMENT SHALL BE USED WHERE NON-STAINING MORTAR IS REQUIRED), HYDRATED LIME - ASTM C-207, 6. C.M.U., BOTH BOTTOM AND ENDS, SHALL BE SET IN A FULL BED OF MORTAR WITH JOINTS OF UNIFORM THICKNESS AND HEAD JOINTS IN ALTERNATE COURSES PLUMB OVER THE ONES BELOW.
- ALL JOINTS SHALL BE TOoled AS SOON AS POSSIBLE AFTER INITIAL SET. FLUSH JOINTS SHALL NOT BE PERMITTED.
- REFER TO DETAILS FOR FURTHER INFORMATION.

## PLUMBING/MECHANICAL NOTES:

- STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.
- ALL PLUMBING/MECHANICAL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, BE PERFORMED BY A LICENSED TRADESPERSON, AND BE COMPLETED IN ACCORDANCE WITH THE DIRECTION OF LOCAL BUILDING CODE OFFICIALS. SUBCONTRACTORS AND TRADESPERSONS ARE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS FOR THEIR TRADE, SCHEDULING AND COMPLETING REQUIRED INSPECTIONS AND OPERATING ON A REASONABLE AND EFFICIENT SCHEDULE THAT DOES NOT DELAY THE WORK OF OTHER TRADES.
- ALL MATERIALS SHALL BE SIZED IN ACCORDANCE WITH THE PROPOSED PLANS, ALLOWING FOR FUTURE EXPANSION IF INDICATED. ALL WORK SHALL BE INSTALLED SO THAT REQUIRED PARTS ARE READILY ACCESSIBLE AND AVAILABLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR.
- ALL PRODUCTS, MATERIALS AND FIXTURES SHALL BE INSTALLED IN A MANNER CONSISTENT WITH SOUND PRACTICE AND QUALITY WORKMANSHIP.
- PLUMBING WORK SHALL INCLUDE ALL LABOR AND MATERIALS FOR ALL PIPING, FIXTURES, HOT WATER HEATER, AND SEWER/SEPTIC CONNECTIONS. THIS INCLUDES CONNECTIONS FOR AN ICEMAKER IN THE REFRIGERATOR, THE DISHWASHER, AND WASHING MACHINE AS INDICATED ON PLANS. THE KITCHEN SINK WILL HAVE A GARBAGE DISPOSAL.
- HOT WATER HEATER SHALL BE PROPANE FIRED HOT WATER HEATER, POWER VENTED, 45 GALLON CAPACITY ("SUPER STORE" OR APPROVED EQUIVALENT).
- PLUMBER SHALL FURNISH AND INSTALL 500 GAL. UNDERGROUND PROPANE STORAGE TANK, AND ALL REQUIRED PIPING TO BOILER, CLOTHES DRYER AND KITCHEN RANGE.
- HEATING WORK SHALL INCLUDE ALL LABOR AND MATERIALS, ELECTRICAL/PLUMBING CONNECTIONS, AND INSTALLATION AS THEY OCCUR. DESCRIPTION OF SPECIFIC UNIT SHALL BE PART OF THE BID. STANDARD HEATING UNIT SHALL BE PROPANE FIRED RADIANT HOT WATER BASEBOARD SYSTEM WITH EFFICIENCY RATING OF 94 UNIT IS TO BE SIDEWALL VENTED. UNIT SIZE SHALL BE SIZED TO ACCOMMODATE THE ENTIRE HOUSE AT 70°F AT A 40°F EXTERIOR TEMPERATURE. HEATING SYSTEM SHALL BE CAPABLE OF OPERATING AT PEAK EFFECENCY AT A TEMPERATURE OF 72°F. HEATING SYSTEM SHALL BE DIVIDED INTO WHO ZONES. THERMOSTATS SHALL BE DIGITAL AND PROGRAMMABLE.
- VENT TO THE EXTERIOR ALL BATHROOMS WHICH DO NOT HAVE OPERABLE WINDOWS.

## FRAMING NOTES:

- ALL WOOD FRAMING MEMBERS SHALL BE STRUCTURAL GRADE #2 OR BETTER.
- ALL WOOD SHALL COMPLY WITH THE U.S. DEPARTMENT OF COMMERCE AMERICAN LUMBER STANDARDS SIMPLIFIED PRACTICE AND GRADING REQUIREMENTS OF A RECOGNIZED ASSOCIATION UNDER WHOSE LABEL THE LUMBER IS PRODUCED.
- WOOD SHALL BE FROM LIVE STOCK, THOROUGHLY SEASONED, WELL MANUFACTURED AND GENERALLY FREE FROM WARPAGE THAT CANNOT BE CORRECTED BY BRIDGING OR NAILING.
- MOISTURE CONTENT OF LUMBER SHALL NOT EXCEED 19% AT THE TIME OF CONSTRUCTION.
- ALL PLAN DIMENSIONS ARE TO OUTSIDE OF FRAMING MEMBERS AND CENTERLINE OF OPENINGS. VERIFY ALL ROUGH OPENINGS WITH WINDOW AND DOOR SCHEDULE.
- ALL EXTERIOR WALLS, AND INTERIOR PARTITION WALLS BEHIND TOILETS, SHALL BE 2X6" STUD CONSTRUCTION AT 16" O.C. TYPICAL. ALL OTHER INTERIOR PARTITION WALLS SHALL BE 2X4" STUD CONSTRUCTION AT 16" O.C. TYPICAL. WALLS SHALL HAVE SINGLE SHOE AND DOUBLE TOP PLATE.
- JOIST HANGARS SHALL BE USED AT ALL FLUSH-FRAMED FLOOR JOISTS. JOISTS OVERLAPPING AT A SUPPORTING BEAM, SHALL OVERLAP 3" MINIMUM.
- PROVIDE WOOD BLOCKING OR METAL BRIDGING AT 1/3RD POINTS ON ALL FLOOR JOISTS. BLOCKING SHOULD BE SPACED 4'-0" O.C. MINIMUM AND 8'-0" O.C. MAXIMUM.
- DOUBLE FLOOR JOISTS OR BLOCKING SHALL BE PROVIDED BELOW ALL INTERIOR PARTITION WALLS.
- SIZES OF WOOD MEMBERS ARE NOMINAL SIZES. ALL LUMBER SHALL BE SURFACED ON FOUR SIDES, UNLESS NOTED OTHERWISE.
- STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.
- INSTALL GIRDER MEMBERS WITH JOINTS OVER SUPPORTS, PROVIDE 1/2" AIRSPACE AT ENDS AND SIDES OF GIRDERS FRAMED INTO MASONRY OR CONCRETE. WOOD SHIMS UNDER THE ENDS OF GIRDERS SHALL NOT BE PERMITTED.
- MINIMUM BEARINGS OF JOISTS FRAMED INTO MASONRY SHALL BE 3". JOISTS EXTENDING OVER BEARING PARTITIONS OR BEAMS MAY BE BUTTED AND TIED TOGETHER, OR NAILED TOGETHER WITH A MINIMUM OVERLAP OF 4".
- EXTERIOR AND BEARING WALL CONSTRUCTION SHALL INCLUDE ADEQUATE RESISTANCE TO WRACKING BY THE USE OF CORNER BRACING OR ANCHORAGE OF STRUCTURAL SHEATHING TO PLATES.
- JAMB STUDS, EXTENDING IN ONE PIECE FROM HEADER TO SOLE PLATE, SHALL BE INSTALLED AT ALL WINDOW AND DOOR OPENINGS TO FORM RIGID ENCLOSURE.
- PLYWOOD SHALL COMPLY WITH ALL APPLICABLE STANDARDS OF THE APA (AMERICAN PLYWOOD ASSOCIATION)
- EXTERIOR TYPE HARDWOOD PLYWOOD, "TECHNICAL" OR "TYPE 1", MAY BE USED FOR ANY PART OF THE STRUCTURE.
- STRUCTURAL INTERIOR TYPE, "STRUC-INT.", PLYWOOD MAY BE USED FOR ALL INTERIOR WORK AND EXTERIOR WORK NOT DIRECTLY EXPOSED TO THE WEATHER.
- INTERIOR PLYWOOD, "INT" OR "TYPE 2" MAY BE USED FOR INTERIOR WORK, EXCEPT BATHROOM AND SHOWER ENCLOSURES.
- ROOF SHEATHING: 3/4" EXTERIOR GRADE T&G "TECHNICAL" PLYWOOD NAILED AT 10" O.C. WITH GALVANIZED 10D COMMON NAILS.
- FLOOR SHEATHING: 3/4" STRUCTURAL "STRUCT-INT" PLYWOOD NAILED AT 10" O.C. WITH 10D COMMON NAILS.
- EXTERIOR WALL SHEATHING: 1/2" EXTERIOR GRADE "TECHNICAL" PLYWOOD NAILED AT 6" O.C. WITH GALVANIZED 6D COMMON NAILS.
- ALL OTHER SHEATHING: 1/2" INTERIOR GRADE "INT" PLYWOOD NAILED AT 6" O.C. WITH 6D COMMON NAILS.
- FRAME ALL RAFTERS OPPOSITE EACH OTHER AT RIDGE WITH TIES OR RIDGE BOARD. THE DEPTH OF THE RIDGE BOARD SHALL BE NO LESS THAN THE CUT OF THE RAFTERS.

## EXTERIOR FINISH NOTES:

- BUILDING PAPER SHALL BE INSTALLED OVER ALL EXTERIOR SHEATHING TO RESIST MOISTURE AND WIND INFILTRATION. WALLS SHALL HAVE MINIMUM 15# FELT PAPER, ROOFS SHALL HAVE MINIMUM 30# ASPHALT IMPREGNATED FELT PAPER, WITH NOT LESS THAN 4" OVERLAP. FELT SHALL CONTINUE BEHIND ALL EXTERIOR TRIM, DOUBLE AND FOLDED INTO OPENINGS.
- PROMPTLY REMOVE ALL MANUFACTURERS' STICKERS FROM GLASS AFTER INSTALLATION.
- KEEP AREAS TO BE INSULATED CLEAN AND DRY. DO NOT INSTALL INSULATION WHERE IT MAY BE EXPOSED TO WATER. INSTALL AS PER MANUFACTURERS' INSTRUCTIONS AND WITH A MINIMUM OF 50 TRAFFIC SHALL BE PREVENTED OVER FINISHED SURFACES FOR THE PERIOD OF ONE WEEK.
- EXTERIOR STEPS SHALL BE EQUAL TO DECK CONSTRUCTION, TRIM AND FINISH. RISERS SHALL MATCH TRIM MATERIAL. NOSING SHALL PROJECT 3/4".
- ALL EXTERIOR STEPS SHALL LAND ON TO A 4" CONCRETE PAD SET ON A 4" GRAVEL BASE ON STRUCTURALLY COMPACTED SOIL. PAD SHALL BE 6" WIDER THAN STEPS AND PROJECT FROM LAST RISER 6" TOWARD DECK AND 18" AWAY FROM DECK.
- PORCH CEILINGS SHALL BE 1X8 CEDAR NATURAL TO WEATHER, SQUARE GROOVE.
- PORCH POSTS SHALL BE 4X4 STRUCT. CORE WRAPPED W/ 5 1/4" SQ. NATURAL CEDAR TRIM.
- SIDEWALL SHINGLES SHALL HAVE A MAXIMUM EXPOSURE OF 5", WITH DOUBLED SHINGLES AT ALL EAVES AND STARTER COURSE. BUTTS OF THE SHINGLES SHALL PROJECT 1 1/2" MINIMUM FROM THE EDGE OF THE ROOF EAVES TO ENSURE PROPER SPILLAGE.
- WINDOW CAPS OR TRIM AND ALL OTHER PROJECTIONS AT POINTS WHERE RAIN ACCUMULATES OR RUNS OFF SHALL BE PROVIDED WITH FLASHING. FLASHING FOR RED CEDAR SHINGLES SHALL BE COPPER. SUCH FLASHING SHALL EXTEND A MINIMUM OF 6" UP THE WALL UNDER THE SHEATHING PAPER AND NOT LESS THAN 6" HORIZONTALLY. FLASHING SHALL BE SUFFICIENT LENGTH TO COVER THE COURSE ABOVE WITHOUT BEING PROTECTED BY WALLS.
- A CONTINUOUS RIDGE VENT SHALL BE PROVIDED AT ALL ROOF RIDGES, WHERE REQUIRED. SOFFIT VENTING SHALL BE PROVIDED AS INDICATED ON DETAIL DRAWINGS.
- PROVIDE STEP FLASHING AT ALL CHIMNEY LOCATIONS.
- SIDEWALL SHALL HAVE RED CEDAR SHINGLES. GRADE 6 SHINGLES SHALL BEAR THE OFFICIAL GRADE MARKED LABEL OF THE CEDAR SHINGLE BUREAU.
- CEDAR SHINGLES AND/OR BOARD&BATTEN SHALL HAVE NATURAL FINISH.
- RIDGE VENTS SHALL BE "CORE VENT" OR EQUAL, EXTENDING ALONG ALL RIDGE LINES. TERMINATE RIDGE VENTS 1/2" FROM END OF RIDGE. COVERED W/SHINGLES.
- EXTERIOR TRIM SHALL BE SPECIFIED AS FOLLOWS:
  - WINDOW AND DOOR JAMBS: 1X6" RED CEDAR WINDOW AND DOOR HEADS: 5/4X4" RED CEDAR, EXTENDED 3/4" BEYOND JAMB CASING. HEADS TO HAVE CONTINUOUS COPPER DRIP CAP.
  - WINDOW SILLS: WHEN NOT WOOD BY MANUFACTURER SHALL BE PRIMED PINE 2X2 W/ 7D TOP BEVEL EXTENDED 3/4" BEYOND JAMB CASING. DOOR/SILLS: INSTALLED BY MANUFACTURER
  - CORNER BOARDS: 6" EA. WY. RED CEDAR (IF APPLICABLE)
  - RAKE BOARDS: 1X8 RED CEDAR
  - FASCIA BOARDS: 1X8 RED CEDAR
  - RAKE/FASCIA TRIM BOARDS: 1X8 RED CEDAR
  - FRIEZE BOARDS TO BE 1X6 BLOCKED OUT 1 1/2" TO ACCOMMODATE SOFFIT VENTING & TOP OF SHINGLES (IF APPLICABLE)
  - ALL TRIM TO BE PAINTED; SEE SCHEDULE
- DOOR AND WINDOW SASHES PAINTED, BLACK
- ALL EXTERIOR TRIM SHALL BE PLANED ON ALL FOUR SIDES AND HAVE SQUARED EDGES.
- WINDOW & DOOR MANUFACTURERS AND SIZES AND HARDWARE SHALL BE SPECIFIED IN DOOR AND WINDOW SCHEDULE.
- INSULATION SHALL BE SPECIFIED AS FOLLOWS:
  - EXTERIOR WALLS: 5" R-21 BATT INSULATION. INSTALL 4 MIL. POLY-VAPOR BARRIER AT INSIDE FACE OF ALL EXTERIOR WALLS.
  - ROOF: 9 1/4" R-38 BATT INSULATION. INSTALL 4 MIL. POLY-VAPOR BARRIER AT INSIDE FACE OF ALL EXTERIOR WALLS
  - INTERIOR WALLS AND CEILINGS: USG 3" TERMAFIBER SOUND ATTENUATION BLANKETS
  - FOUNDATION INSULATION: 4" RIGID INSULATION SECURED TO EXTERIOR FACE OF WALL
  - FIRST FLOOR INSULATION: 9 1/4" R-30 BATT INSULATION
- CAVITIES SHALL SUPPORT PROPER VENTING, INCLUDING THE INSTALLATION OF BAFFLES BETWEEN ALL RAFTERS. KEEP ALL VENTILATION SPACE UNOBSTRUCTED.
- EXTERIOR BRICK SHALL MEET STANDARDS OF THE BRICK INSTITUTE OF AMERICA (BIA) FOR EXTERIOR/SEVERE WEATHER USE.

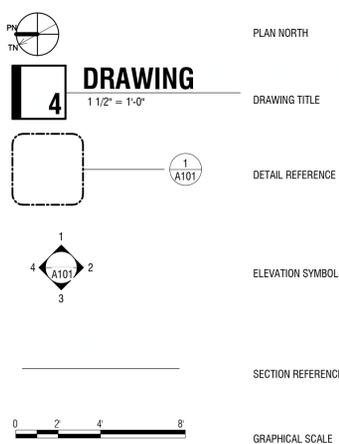
## GLAZING NOTES:

- IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE ALL GLAZING (WINDOW, DOOR, OR OTHERWISE) ADJACENT TO A WALKING SURFACE, STAIR, LANDING, TUB OR SHOWER SAFETY LAMINATED GLASS MEETING THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE, NANTUCKET, AND ANY OTHER APPLICABLE LOCAL OR NATIONAL CODE.
- PROVIDE SHOWER ENCLOSURES AS INDICATED ON THE PLANS. GLASS TO BE LOW IRON, CLEAR GLASS.

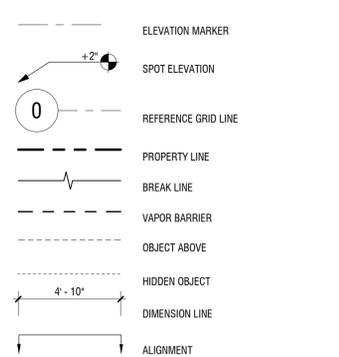
## ABBREVIATIONS

ABOVE FINISHED FLOOR	AFF	MATERIAL	MATL.
ACCESS PANEL	A.P.	MAXIMUM	MAX
ACOUSTICAL	ACOUS.	MECHANICAL	MECH.
ADJACENT	ADJ.	METAL	MTL.
AIR CONDITIONING	A/C	MINIMUM	MIN.
ALUMINUM	AL.	MISCELLANEOUS	MISC.
APPROXIMATE	APPROX.	MOLDING	MOLD.
ARCHITECTURAL	ARCH.	MOUNTED	MTD.
BLOCKING	BLKG	MULLION	MUL.
BY OTHER/OWNER	B.O.	NOMINAL	NOM.
CEILING	CLG.	NOT APPLICABLE	N.A.
CEILING HEIGHT	C.H.	NOT IN CONTRACT	N.I.C.
CENTER LINE	CL.	NUMBER	NO.
CERAMIC TILE	C.T.	ON CENTER	O.C.
COLUMN	COL.	OPENING	OPNG
CONCRETE	CONC.	OPPOSITE/OPPOSITE HAND	OPP./OPH
CONSTRUCTION	CONST.	PAINTED	PTD.
CONTINUOUS	CONT.	PARTITION	PARTN.
DETAIL	DTL.	PLASTER	PL
DIMENSION	DIM.	PLASTIC LAMINATE	P.LAM
DOOR	DR.	PLYWOOD	P.WYD., PLY.
DOUBLE	DBL.	QUANTITY	QTY.
DOWN	DN.	RECESSED	REC.
DRAINING	DWG.	REQUIRED	REQD
EACH	EA.	RETURN AIR	R.A.
ELECTRICAL/ELECTRICAL	ELEC.	REVISION/REVISION	REV.
ELEVATION	ELEV.	ROUGH OPENING	R.O.
EMERGENCY	EMER.	SCHEDULE	SCHED.
EQUAL	EQ.	SECTION	SECT.
EQUIPMENT	EQPT.	SHEET	SHT.
EXISTING	EXIST.	SIMILAR	SIM.
EXTERIOR	EXT.	SOLID CORE	SC
FINISH	FIN.	SQUARE FOOT	SQ.FT.
FINISH FLOOR	FIN. FL.	STAINLESS STEEL	S.STL.
FIREPROOF	FFP.	STANDARD	STD.
FLOOR CLOSING	F.C.	STEEL	S.TL.
FLOOR	FL.	STORAGE	STOR.
FLUORESCENT	FLUOR.	TELEPHONE	TEL.
FOUR/FEET	FT.	TO BE DETERMINED	T.B.D.
GLASS	GL.	TYPICAL	TYP.
GRILLE	GRLL.	UNLESS OTHERWISE NOTED	U.O.N.
GROUND FAULT INTER.	GFI.	VERIFY IN FIELD	V.I.F.
GYPSPUM WALLBOARD	GWB	VINYL COMPOSITION TILE	V/VCT
HANDRAIL	HNDRL.	WITH	W/
HARBORBOARD	HDBD.	WITHOUT	W/O
HARDWOOD	HWOD.	WOOD	WD.
HEATING, VENT. & A/C	HVAC		
HOLLOW CORE	HC		
HOLLOW METAL	H.M.		
HORIZONTAL	HORIZ.		
INCHES	IN.		
INSULATION	INSUL.		
JUNCTION BOX	J.B.		
LAMINATE	LAM.		
LOW VOLTAGE	L.V.		

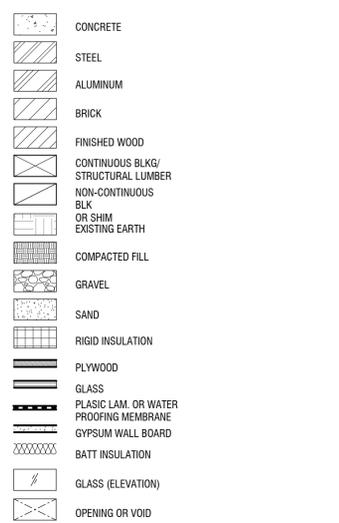
## REFERENCE SYMBOLS



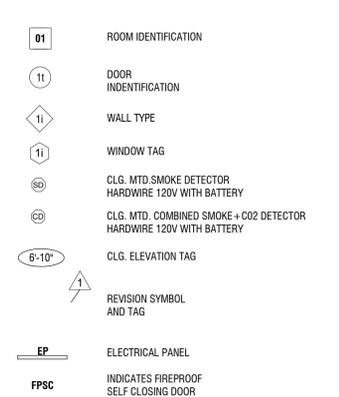
## DRAWING SYMBOLS



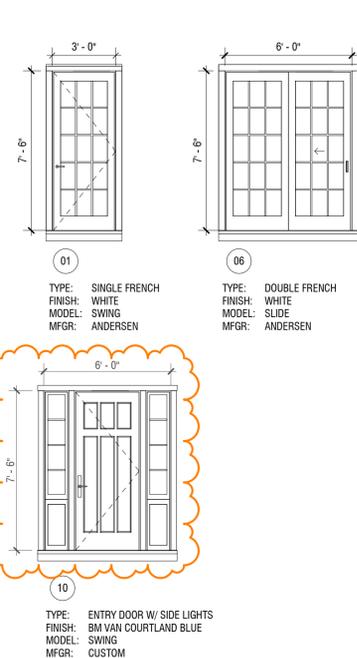
## MATERIAL SYMBOLS



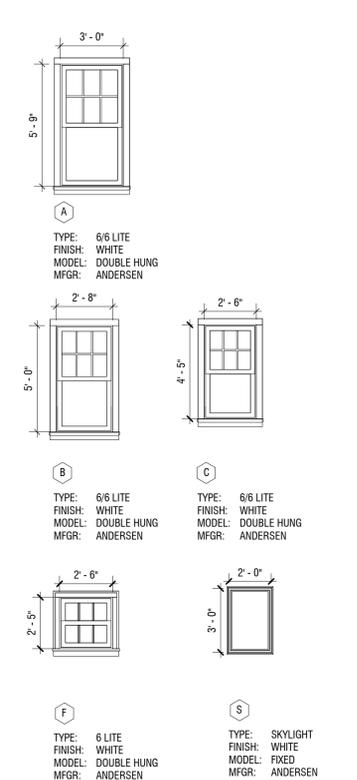
## IDENTIFICATION SYMBOLS



## DOOR SCHEDULE



## WINDOW SCHEDULE



# BFC

EDEN ROSE

7 CANNONBURY LANE  
NANTUCKET MA 02554

OWNER

CANNONBURY LANE PARTNERS, LLC  
105 Newbury Street  
Boston, MA 02116

ARCHITECT

WORKSHOP/APD

WORKSHOP/APD ARCHITECTURE DPC  
39 W 38th Street, 7th Fl, New York, NY 10018  
T: (212) 273-9712 info@workshopapp.com

CONTRACTOR

BLUE FLAG CONSTRUCTION, LLC  
105 Newbury Street, 4th Fl  
Boston, MA 02116  
T: (508) 257-1325

STRUCTURAL ENGINEER

CRAFT - ENGINEERING STUDIO  
39 West 38th Street, 7th Fl  
New York, NY 10018  
T: (646) 912-9867

LANDSCAPE ARCHITECT

MIROSLAVA AHERL, LLC  
PO Box 2213  
Nantucket, MA 02584  
T: (508) 333-5138

SURVEYOR

BLACKWELL & ASSOCIATES, INC  
20 Teesdale Circle  
Nantucket, MA 02554  
T: (508) 228-9026

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NOT FOR CONSTRUCTION



ISSUES

1 08/25/2020 HDC SUBMISSION  
2 09/29/2020 HDC SUBMISSION REVISION

DRAWING INFO

CONSTRUCTION DOCUMENTS  
DRAWN BY: Author  
CHECKED BY: Checker  
DATE: 06/29/13  
SCALE: 1/4" = 1'-0"  
PROJ. NO. 318008

GENERAL NOTES

# G-102

ALL DESIGNS & SPECS ARE SUBJECT TO  
VERIFICATION OF EXG. FIELD CONDITIONS

**REVISIONS**

NO.	DATE	DESCRIPTION

**NOT FOR CONSTRUCTION**



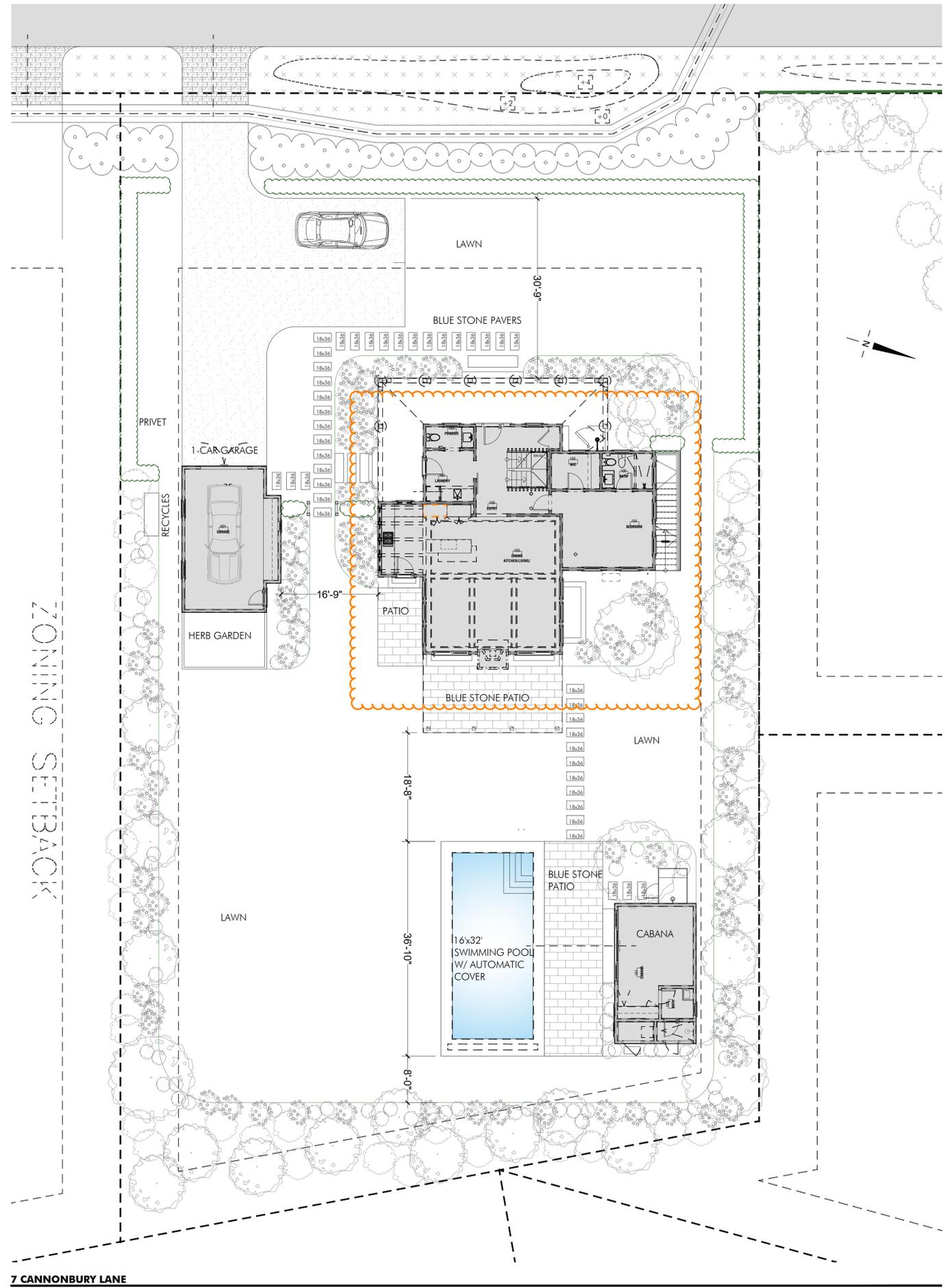
**ISSUES**

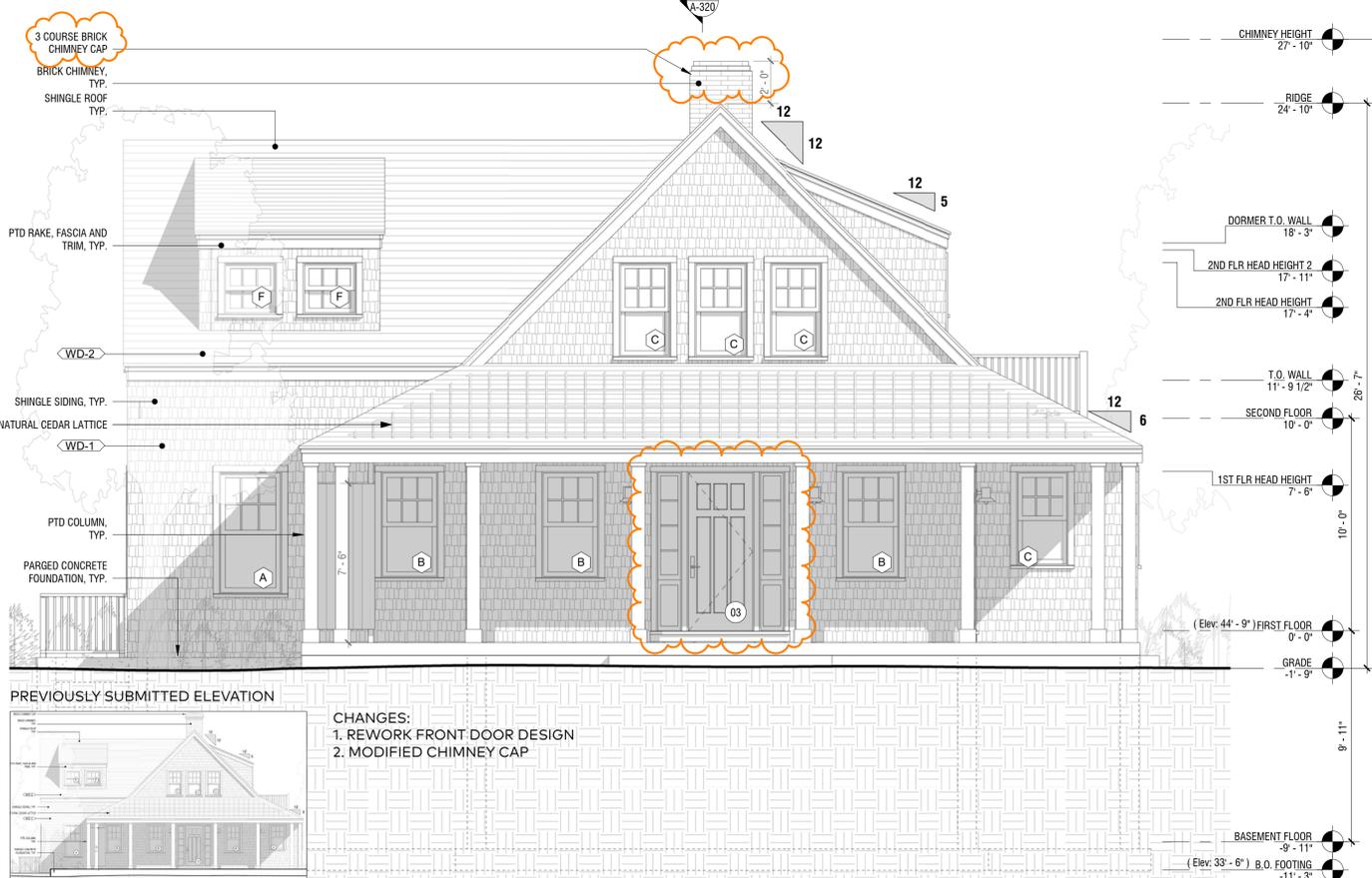
NO.	DATE	DESCRIPTION
1	08/25/2020	HDC SUBMISSION

**DRAWING INFO**

CONSTRUCTION DOCUMENTS	
DRAWN BY:	MIRKA
CHECKED BY:	MLW
DATE:	03/02/16
SCALE:	
PROJ. NO.	318008

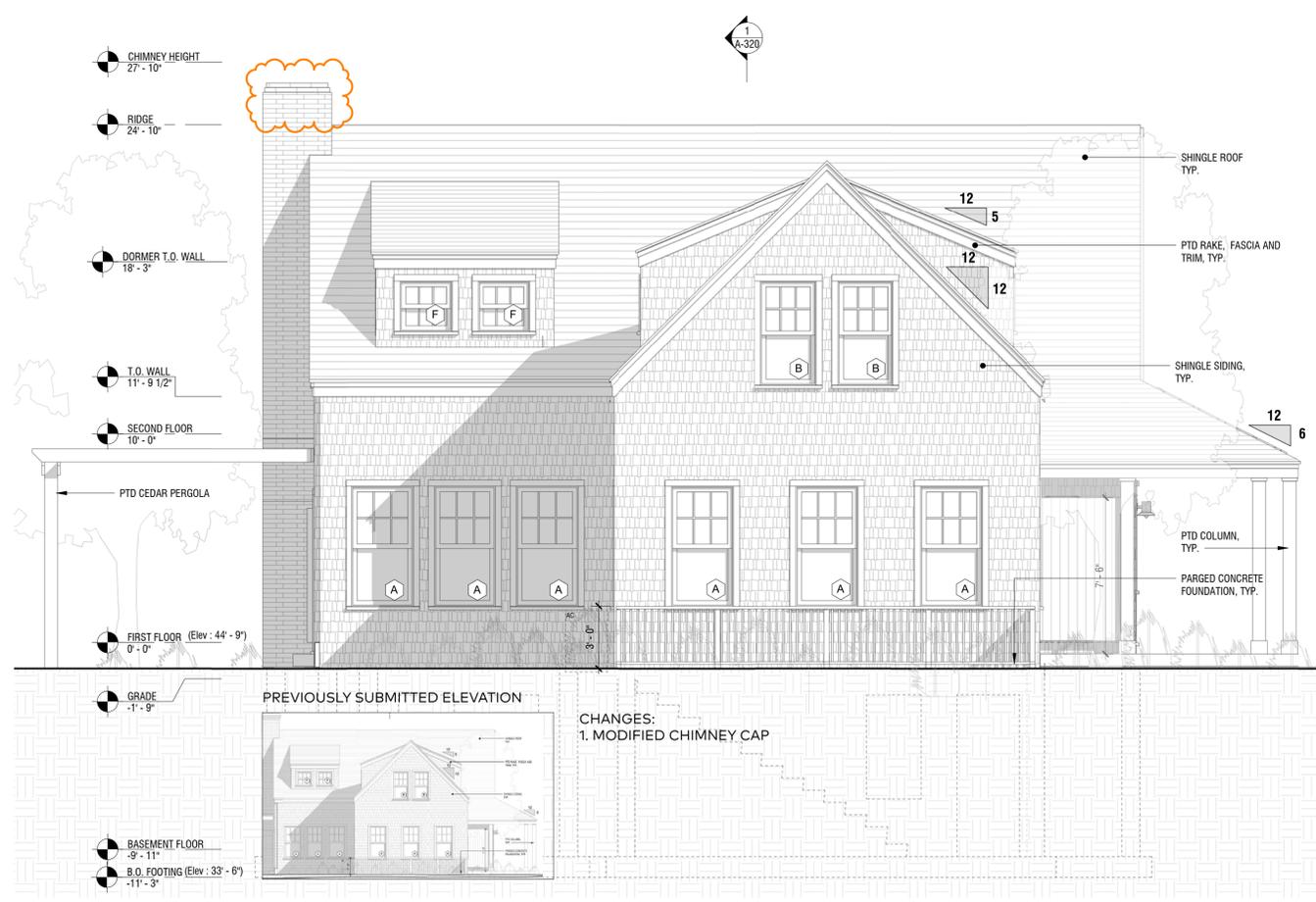
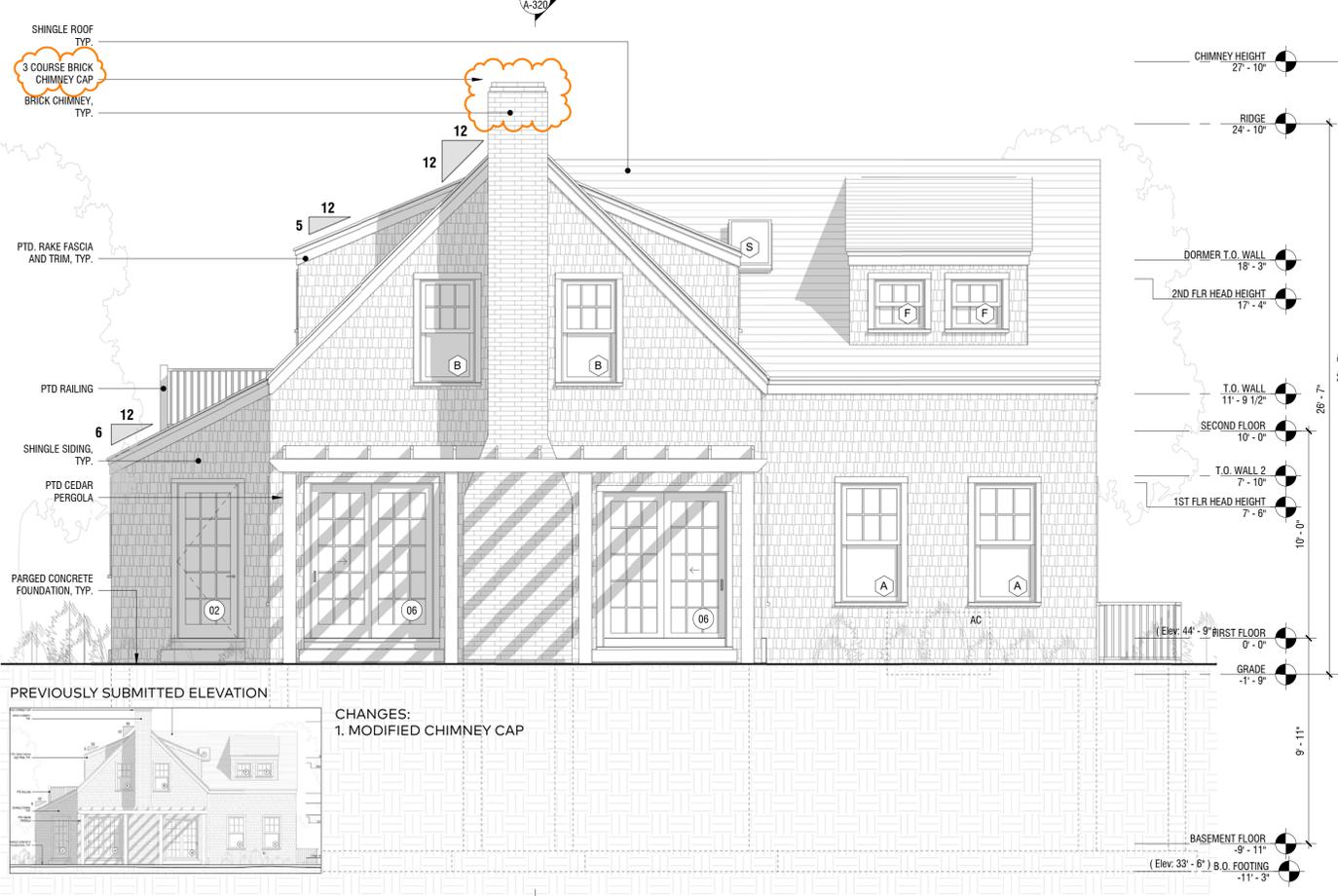
**PROPOSED SITE PLAN**





**1 FRONT ELEVATION - WEST**  
1/4" = 1'-0"

**2 SIDE A ELEVATION - SOUTH**  
1/4" = 1'-0"



**3 BACK ELEVATION - EAST**  
1/4" = 1'-0"

**4 SIDE B ELEVATION - NORTH**  
1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS	

NOT FOR CONSTRUCTION



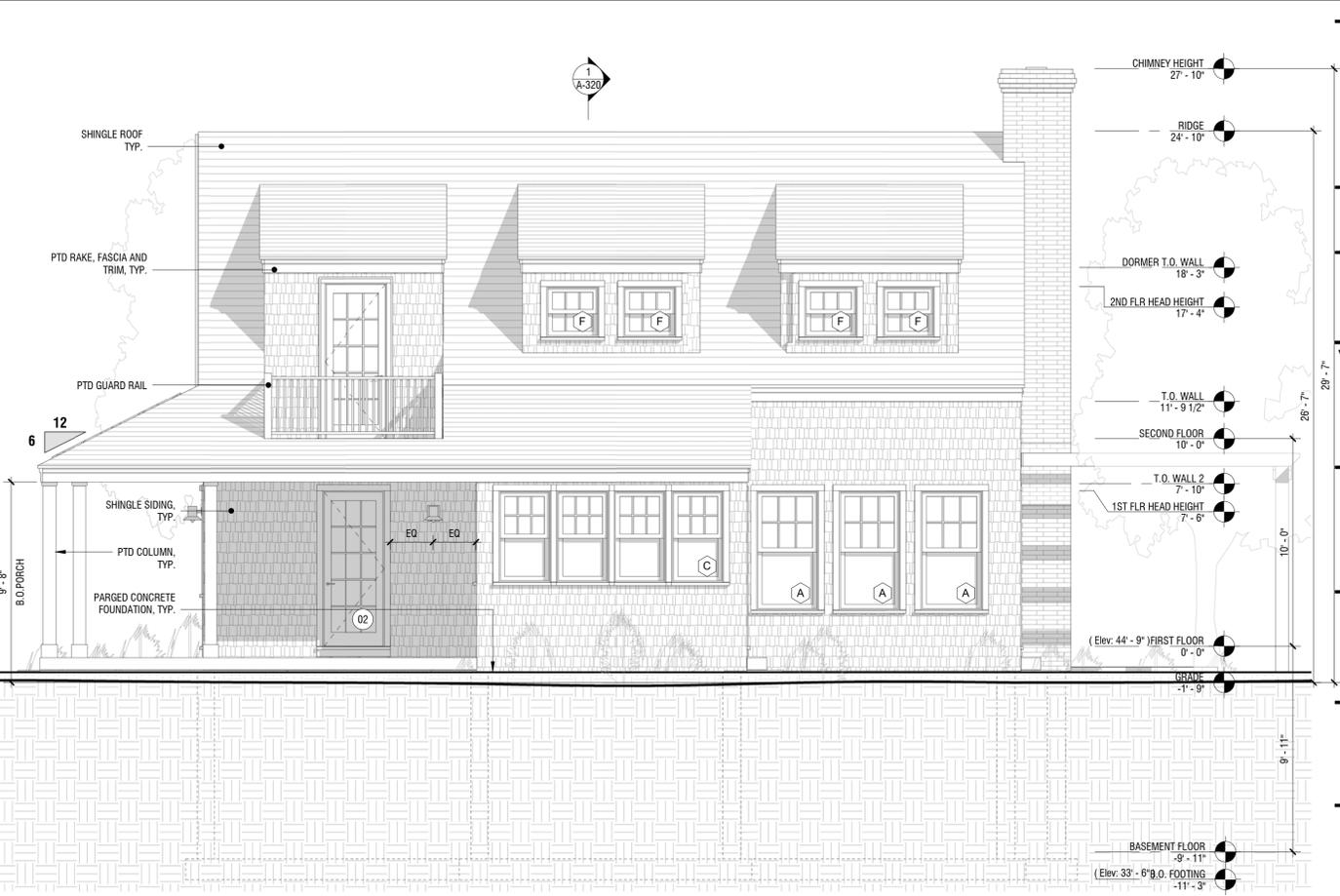
ISSUES	
1	08/25/2020 HDC SUBMISSION
2	09/29/2020 HDC SUBMISSION REVISION

DRAWING INFO	
CONSTRUCTION DOCUMENTS	MLW/MLW
DRAWN BY:	TJZ/MLW
CHECKED BY:	07/28/15
DATE:	1/4" = 1'-0"
SCALE:	318008
PROJ. NO.:	

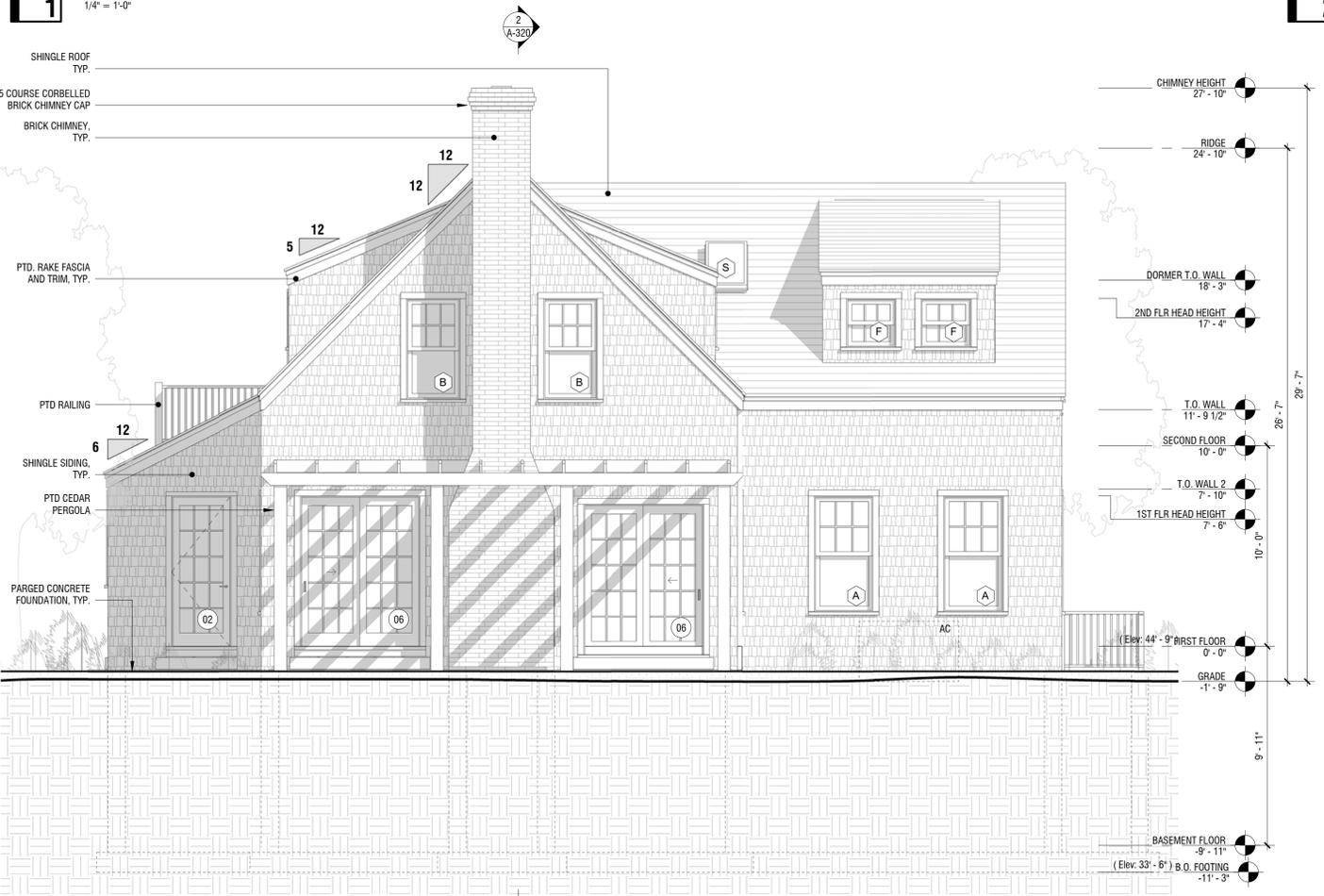
ELEVATIONS



**1 FRONT ELEVATION**  
1/4" = 1'-0"



**2 SIDE A ELEVATION**  
1/4" = 1'-0"



**3 BACK ELEVATION**  
1/4" = 1'-0"



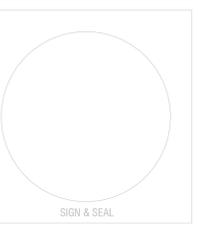
**4 SIDE B ELEVATION**  
1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO  
VERIFICATION OF EXG. FIELD CONDITIONS

**REVISIONS**

NO.	DESCRIPTION

**NOT FOR CONSTRUCTION**



**ISSUES**

NO.	DATE	DESCRIPTION
1	08/25/2020	HDC SUBMISSION

**DRAWING INFO**

CONSTRUCTION DOCUMENTS	
DRAWN BY:	MLW/MLW
CHECKED BY:	TJZ/MLW
DATE:	07/28/15
SCALE:	1/4" = 1'-0"
PROJ. NO.	318008

**ELEVATIONS**

ALL DESIGNS & SPECS ARE SUBJECT TO  
VERIFICATION OF EXG. FIELD CONDITIONS

### REVISIONS

NO.	DATE	DESCRIPTION

### NOT FOR CONSTRUCTION



### ISSUES

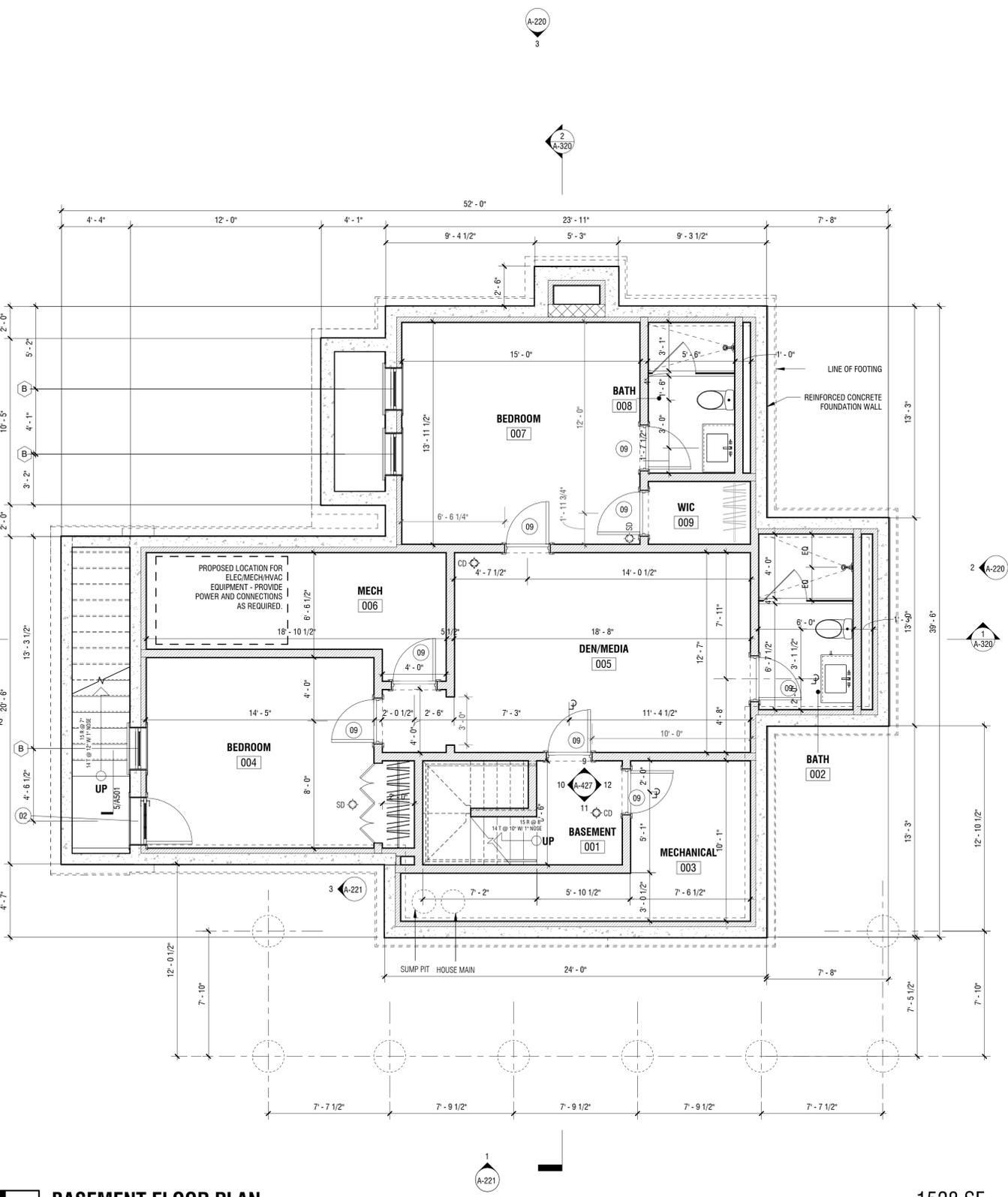
NO.	DATE	DESCRIPTION
2	09/29/2020	HDC SUBMISSION REVISION

### DRAWING INFO

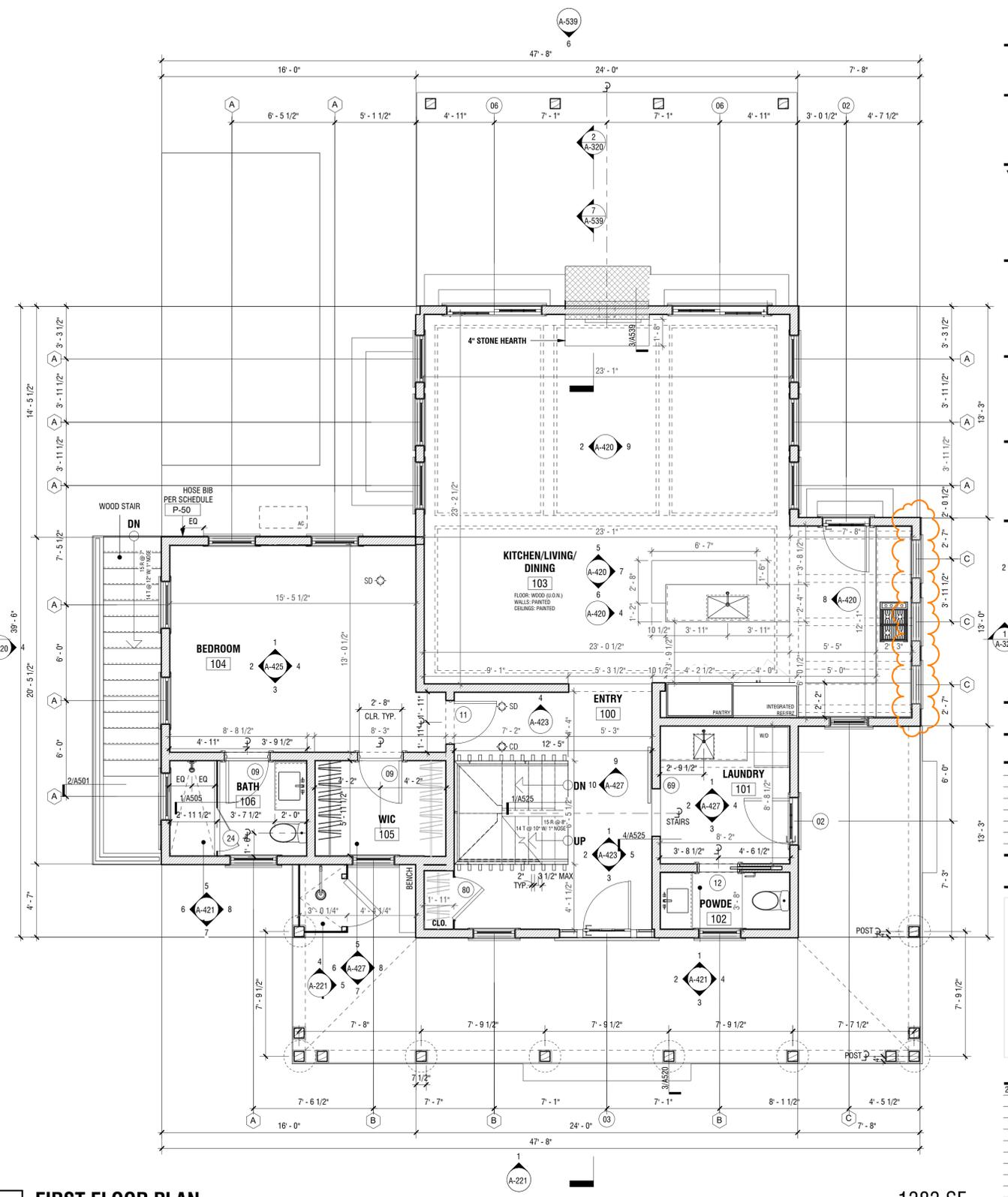
CONSTRUCTION DOCUMENTS	MLW/MLM
DRAWN BY:	TJZ/MLM
CHECKED BY:	01/02/17
DATE:	1/4" = 1'-0"
SCALE:	318008
PROJ. NO.:	

### FLOOR PLANS

# A-120



**1 BASEMENT FLOOR PLAN**  
1/4" = 1'-0" **1528 SF**



**2 FIRST FLOOR PLAN**  
1/4" = 1'-0" **1383 SF**



Old Biz

15. Jim Caulfield 08-1455 8 Sheep Pond Road Shed 63/3 M. Cutone Architecture  
 Voting Pohl, Coombs, Camp, Oliver, Welch  
 Alternates None  
 Recused None  
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.  
 Representing Mark Cutone, Mark Cutone Architecture  
 Public None  
 Concerns (7:14) No concerns.  
 Motion **Motion to Approve as submitted. (Welch)**  
 Roll-call Vote Carried unanimously//Oliver, Coombs, Camp, Welch, and Pohl-aye Certificate # **HDC2020-08-1455**
16. Steven L Cohen Trust 08-1521 55 Sankaty Road Pool 49/69 Atlantic Landscaping  
 Voting Pohl, Coombs, Oliver, Welch  
 Alternates (Camp stepped off for a break)  
 Recused None  
 Documentation Landscaping design plans, site plan, photos, and advisory comments.  
 Representing Lindsay Congleton, Atlantic Landscaping Inc.  
 Public None  
 Concerns (7:14) **Backus** – Read SAB comments: no concerns due to lack of visibility.  
**Congleton** – Presented project and described existing hedging, which screens the pool.  
**Oliver** – If SAB has no concerns, neither does she.  
**Coombs** – Agrees. This pool is 15X30; this is as big as the room she’s in.  
**Welch** – Looking on google, this setting is inappropriate for a pool of this side.  
 Motion **Motion to Approve with the pool to be screened at time of inspection and thereafter. (Oliver)**  
 Roll-call Vote Carried 4-0//Coombs, Welch, Oliver, and Pohl-aye Certificate # **HDC2020-08-1521**
17. Mary O’Connell 08-1508 8 Center Street (Sias) Rev. 12-0352: relocate A/C cond 73.1.3/76 Concept Design  
 Voting Pohl, Coombs, Oliver, Welch  
 Alternates (Camp still out.)  
 Recused None  
 Documentation Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.  
 Representing T.J. Watterson, Concept Design  
 Public None  
 Concerns (7:20) **Watterson** – Presented project; to be enclosed in natural-to-weather, cedar lattice.  
**Backus** – Circa 1790. Read SAB comments: A/C might be noisy and visible to visitors in the square; previous location preferred; want to know about screening.  
**Coombs** – Lattice screening has worked well on Shell Street; thinks this will work.  
**Welch** – Given the location, he’d like a detailed drawing in the file showing the lattice enclosure from inside the fence; some of these units need a ground clearance of 10 to 12 inches.  
**Oliver** – She wants to view this.  
 Motion **Motion to View and hold for additional information on the lattice. (Coombs)**  
 Roll-call Vote Carried 4-0//Welch, Oliver, Coombs, and Pohl-aye Certificate #
18. James Crowley 08-1532 8 Wall Street Drvway/walkway crushed shell 82/79 Paulo Vicente  
 Voting Pohl, Coombs, Oliver, Welch  
 Alternates (Camp still stepped out)  
 Recused None  
 Documentation Landscaping design plans, site plan, and photos.  
 Representing Paulo Vicente, Vincente burin Architecture, LLC.  
 Public None  
 Concerns (7:28) **Pohl** – This was going on consent until a neighbor voiced concern; she never expressed the concerns.  
**McCarthy** – This has to go to the Planning Board for the double curb cut.  
**Vincente** – There is no curbing; the drawing is deceptive. Went to the Planning Board, the two curb cuts are grandfathered.  
**Backus** – They don’t need an apron on the dirt road.  
**Welch** – There are other properties on this road with two curb cuts. Asked the drawings be modified to eliminate what appears to be banding. The “stockade” fence should be labeled “existing split rail.”  
**Oliver** – Curbing on a dirt road is very heavy.  
 Motion **Motion to Approve through staff with drawings corrected to show the stockade fence labeled existing split rail and the banding representing curbing removed. (Welch)**  
 Roll-call Vote Carried 4-0//Coombs, Oliver, Welch, and Pohl-aye Certificate # **HDC2020-08-1532**

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N°: 731.13 PARCEL N°: 76  
Street & Number of Proposed Work: 8 Lentz St Sias  
Owner of record: Mary O'Connell  
Mailing Address: 8 Lentz St Sias  
Siasconset, MA 02654  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

**AGENT INFORMATION (if applicable)**

Name: Conant Design Works LLC  
Mailing Address: 23 1/2 Vesper Lane 33 Vesper Ln  
Nantucket MA 02559  
Contact Phone #: 508-271-9209 E-mail: watshvuc@aol.com  
CD8-825-5333

FOR OFFICE USE ONLY	
Date application received: <u>8/10/2020</u>	Fee Paid: \$ <u>50</u>
Must be acted on by: <u>9/26/2020, 11/24/20</u>	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

**DESCRIPTION OF WORK TO BE PERFORMED**

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
  - Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. HDC 2019-12-03
  - Pool (Zoning District \_\_\_\_\_)  Roof  Other \_\_\_\_\_
- Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: \_\_\_\_\_ Sq. Footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A

**REVISIONS\***

1. East Elevation
- (describe) 2. South Elevation Relocate A/C Condenser
3. West Elevation
4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 12 Secondary Mass 12 Dormer 12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

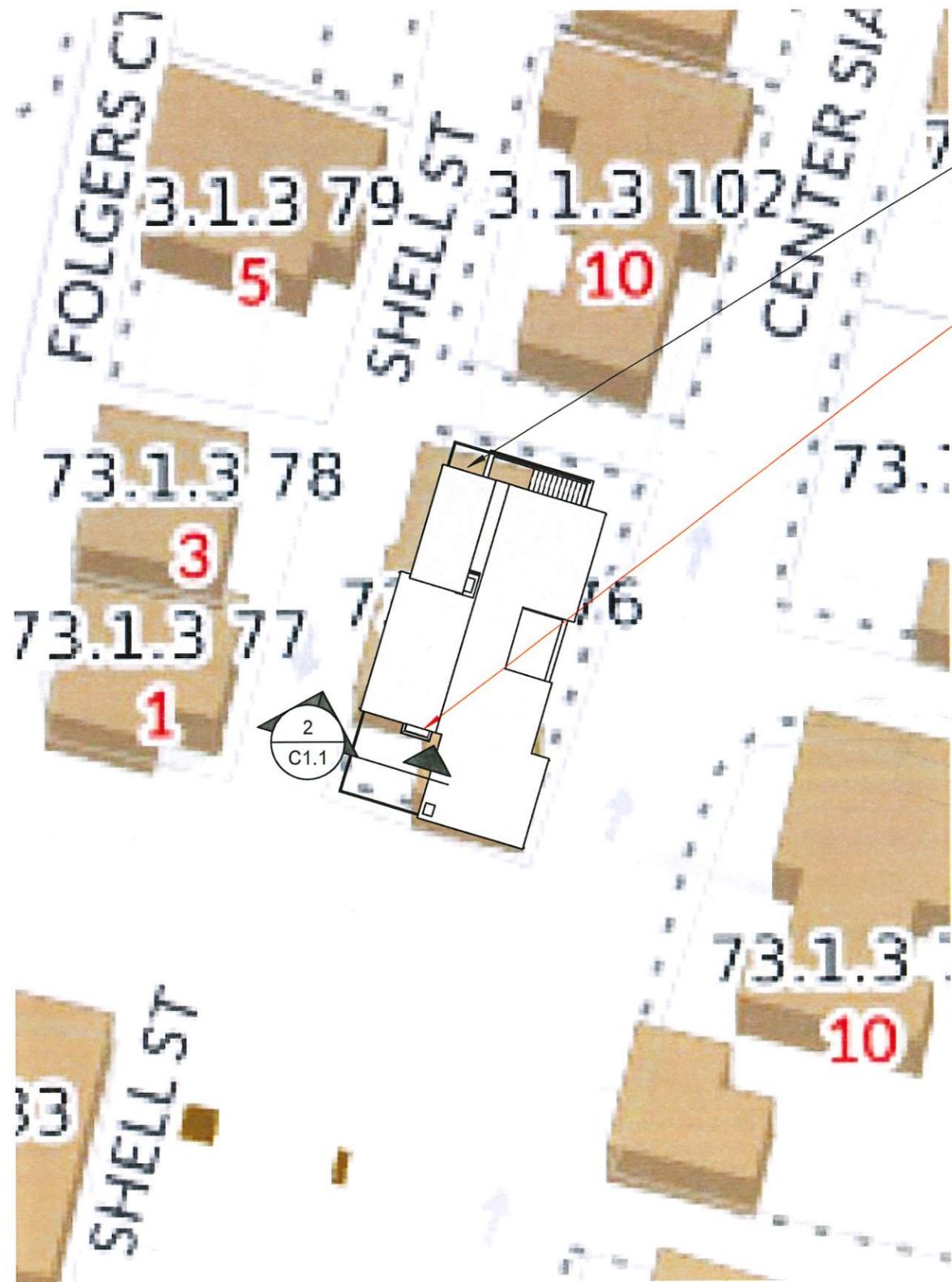
**COLORS**

Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

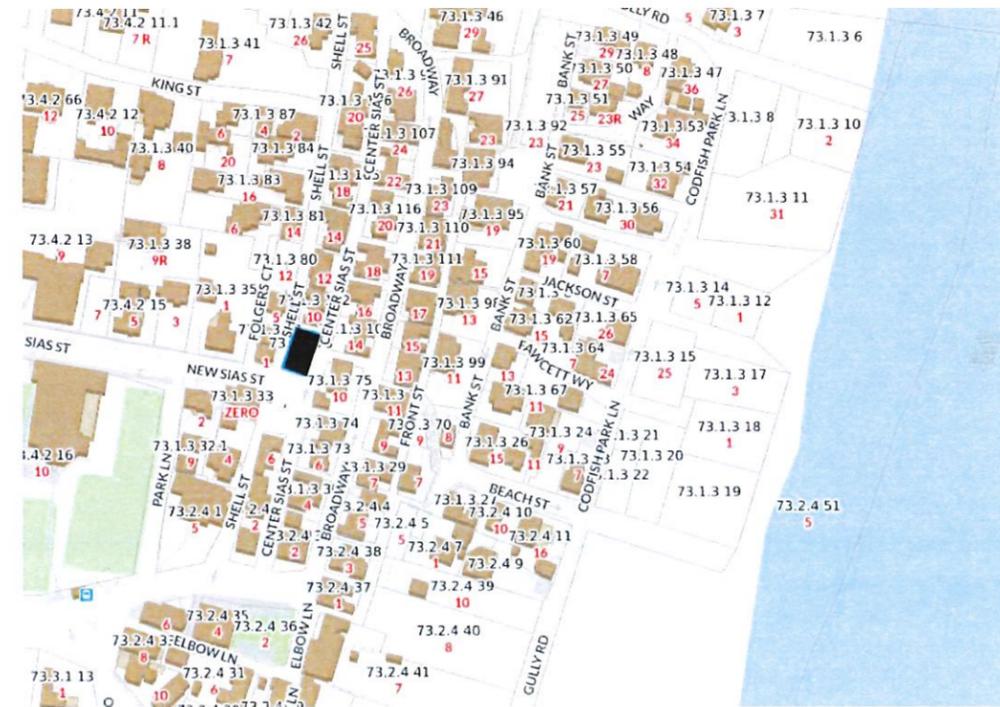
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date \_\_\_\_\_ Signature of owner of record \_\_\_\_\_ Signed under penalties of perjury



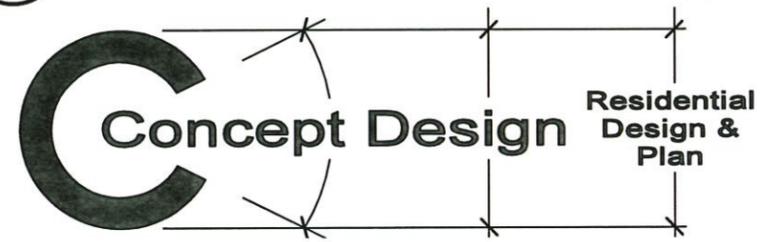
Previous Approved AC Location

New A/C Condenser Location

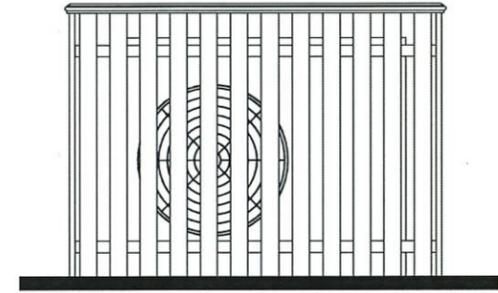


**1 Site Plan**  
1" = 20'-0"

**2 Fence Detail**  
1/2" = 1'-0"



Oconnell Residence  
8 Center Street Sias  
Nantucket, MA 02554



Map & Parcel	73.1.13 -76	Min. Lot Size	5,000 SF
Current Zoning	SOH	Allowable G.C.	x%, or xxxx SF
Minimum Frontage	50 FT	Lot Size	1,555 SF
Front Setback	0 FT	Existing G.C.	xxxx SF
Side/Rear Setback	5 FT	Proposed G.C.	xxxx SF
		Total Proposed G.C.	xxxx SF

**C1.1**  
#1907

508.221.3009  
33 1/2 Vesper Lane  
Nantucket, MA 02554



EAST



SOUTH



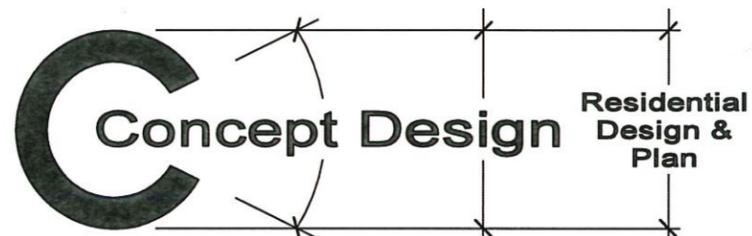
WEST

New A/C Condenser Location



NORTH

508.221.3009  
33 1/2 Vesper Lane  
Nantucket, MA 02554



Oconnell Residence  
8 Center Street Sias  
Nantucket, MA 02554

Map & Parcel	73.1.13 -76	Min. Lot Size	5,000 SF
Current Zoning	SOH	Allowable G.C.	x%, or xxxx SF
Minimum Frontage	50 FT	Lot Size	1,555 SF
Front Setback	0 FT	Existing G.C.	xxxx SF
Side/Rear Setback	5 FT	Proposed G.C.	xxxx SF
		Total Proposed G.C.	xxxx SF

C1.2  
#1907

10. Linda Flanagan **08-1460** 19 Longwood Drive Pool 71/41 M. Cutone Architecture  
 Voting Pohl, Coombs, Camp, Oliver, Welch  
 Alternates None  
 Recused None  
 Documentation Landscaping design plans, site plan, and photos.  
 Representing Mark Cutone, Mark Cutone Architecture  
 Public None  
 Concerns (6:59) **Cutone** – Presented project; autocover.  
**Welch** – Unlike a recent application, the wooded nature of this lot makes all the difference.  
 No concerns.  
 Motion **Motion to Approve as submitted. (Oliver)**  
 Roll-call Vote Carried unanimously//Welch, Coombs, Camp, Oliver, and Pohl-aye Certificate # **HDC2020-08-1460**

11. Jim Caulfield **08-1454** 8 Sheep Pond Road Main house addition 63/3 M. Cutone Architecture  
 Voting Pohl, Coombs, Camp, Oliver, Welch  
 Alternates None  
 Recused None  
 Documentation Architectural elevation plans, site plan, and photos.  
 Representing Mark Cutone, Mark Cutone Architecture  
 Public None  
 Concerns (7:01) **Cutone** – Presented project.  
**Welch** – This is an improvement.  
 No concerns.  
 Motion **Motion to Approve as submitted. (Camp)**  
 Roll-call Vote Carried unanimously//Welch, Coombs, Oliver, Camp, and Pohl-aye Certificate # **HDC2020-08-1454**

12. Jim Caulfield **08-1457** 8 Sheep Pond Road Second dwelling addition 63/3 M. Cutone Architecture  
 Voting Pohl, Coombs, Camp, Oliver, Welch  
 Alternates None  
 Recused None  
 Documentation Architectural elevation plans, site plan, and photos.  
 Representing Mark Cutone, Mark Cutone Architecture  
 Public None  
 Concerns (7:05) **Cutone** – Presented project, circa mid-1970s.  
 No concerns.  
 Motion **Motion to Approve as submitted. (Oliver)**  
 Roll-call Vote Carried unanimously//Welch, Camp, Coombs, Oliver, and Pohl-aye Certificate # **HDC2020-08-1457**

13. Jim Caulfield **08-1453** 8 Sheep Pond Road Cabana addition 63/3 M. Cutone Architecture  
 Voting Pohl, Coombs, Camp, Oliver, Welch  
 Alternates None  
 Recused None  
 Documentation Architectural elevation plans, site plan, and photos.  
 Representing Mark Cutone, Mark Cutone Architecture  
 Public None  
 Concerns (7:08) **Cutone** – Presented project.  
 No concerns.  
 Motion **Motion to Approve as submitted. (Oliver)**  
 Roll-call Vote Carried unanimously//Camp, Coombs, Welch, Oliver, and Pohl-aye Certificate # **HDC2020-08-1453**

14. Jim Caulfield **08-1452** 8 Sheep Pond Road Pool 63/3 M. Cutone Architecture  
 Voting Pohl, Coombs, Camp, Oliver, Welch  
 Alternates None  
 Recused None  
 Documentation Landscaping design plans, site plan, and photos.  
 Representing Mark Cutone, Mark Cutone Architecture  
 Public None  
 Concerns (7:09) **Cutone** – Presented project, autocover. There is some vegetation, but it will have to be enhanced by indigenous plants.  
**Welch** – Additional vegetation is appropriate; it should be close to the pool and be indigenous in an indigenous layout. We need a landscape plan for the screening. He would like to hold this pending a landscape screening plan.  
**Oliver** – We never ask about lighting; out there at night, asked if that is a concern.  
**Pohl** – According to Town Counsel, lighting is not within our purview unless it's for a commercial building; there is a Town bylaw for dark skies.  
 Motion **Motion to Hold for a landscape screening plan. (Welch)**  
 Roll-call Vote Carried unanimously//Oliver, Coombs, Camp, Welch, and Pohl-aye Certificate #

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: G3 PARCEL N°: 3

Street & Number of Proposed Work: 3 SHEEP POND RD

Owner of record: JINA JESSICA CAULFIELD

Mailing Address: 23 BUSH ISLAND ROAD

DARWIN, CT. 06820

Contact Phone #: SEE BELOW E-mail: SEE BELOW

#### AGENT INFORMATION (if applicable)

Name: MARKU CUTONE ARCHITECTURE +

Mailing Address: 2 BROAD ST

NANTUCKET MA 02554

Contact Phone #: 508 228 2113 E-mail: mikayla@markcutone.com

#### FOR OFFICE USE ONLY

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_

Must be acted on by: \_\_\_\_\_

Extended to: \_\_\_\_\_

Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_

Chairman: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Member: \_\_\_\_\_

Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed

Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_

Pool (Zoning District L242)  Roof  Other 18' x 36'

Size of Structure or Addition: Length: \_\_\_\_\_ Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: SEE PLAN  1st floor  2nd floor

Width: \_\_\_\_\_ Sq. footage 2nd floor: \_\_\_\_\_ Size: SEE PLAN  1st floor  2nd floor

Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

Height of ridge above final finish grade: North — South — East — West —

#### Additional Remarks

Historic Name: \_\_\_\_\_

Original Date: \_\_\_\_\_

Original Builder: \_\_\_\_\_

Is there an HDC survey form for this building attached?  Yes  N/A

#### REVISIONS\*

1. East Elevation

2. South Elevation

3. West Elevation

4. North Elevation

\*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers

Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_

Roof Pitch: Main Mass 12/12 Secondary Mass \_\_\_\_\_/12 Dormer \_\_\_\_\_/12 Other \_\_\_\_\_

Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_

Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles NATURAL  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side

Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_

B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_

Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_

True Divided Lights(muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_

Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways PATINA BLUE TONE Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required.

#### COLORS

Sidewall NATURAL Clapboard (if applicable) — Roof NATURAL

Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_

Deck NATURAL Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date E. D. 20 Signature of owner of record [Signature] Signed under penalties of perjury

# 8 SHEEP POND ROAD



LOCUS PLAN: NTS



AERIAL VIEW: NTS

**DRAWING LIST:**

- C1.1 COVER SHEET
- L1.1 POOL

PLANT LEGEND	
	EXISTING SCRUB OAK
	CJ - CRYPTOMERIA JAPONICA - JAPANESE CEDAR -MINIMUM 5 GALLON POT MIN. 6' TALL
	JV - JUNIPERUS VIRGINIANA - EASTERN RED CEDAR -MINIMUM 5 GALLON POT MIN. 4' TALL
	VD - VIBURNUM DENTATUM - VIBURNUM -MINIMUM 3 GALLON POTS 66"o.c. MIN. 3' TALL
	IG - ILEX GLABRA - INKBERRY -MINIMUM 3 GALLON POTS 36"o.c. MIN. 3' TALL
	PA - PENNISETUM ALOPECUROIDES - FOUNTAIN GRASS -MINIMUM 3 GALLON POT 48"o.c.



2 BROAD STREET  
NANTUCKET, MA 02554  
508.228.2728  
MARKCUTONE.COM

POOL

8 SHEEP POND  
8 SHEEP POND ROAD  
NANTUCKET, MA 02554  
MAP: 63 PARCEL: 3

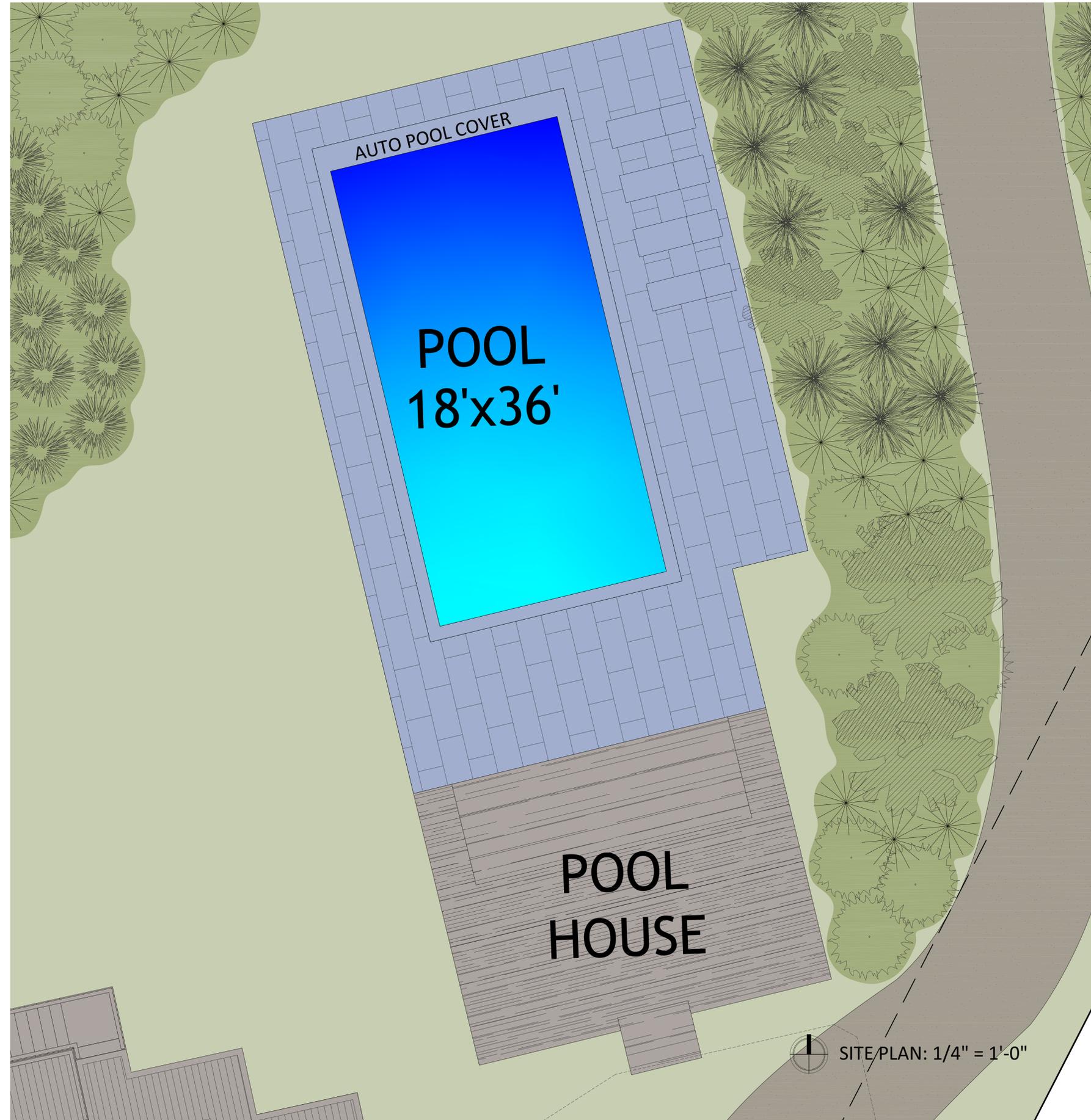
COVER SHEET

C1.1

17 SEPTEMBER 2020



BLUE STONE - LOCATED AROUND POOL AREA



2 BROAD STREET  
NANTUCKET, MA 02554  
508.228.2728  
MARKCUTONE.COM

POOL

8 SHEEP POND  
8 SHEEP POND ROAD  
NANTUCKET, MA 02554  
MAP: 63 PARCEL: 3

POOL

L1.1

17 SEPTEMBER 2020

# Historic District Commission

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	<u>Sign in submission at Front Desk</u> → DROP BOX DUE TO COVID PROTOCOL
N/A	<u>HDC case number:</u> (ex HDC2020-xx-xxxx), if applicable 05-0895
✓	<u>Copy of Minutes</u> (application item circled)
✓	<u>Reduced (8 1/2 x 11) copy of application</u>
✓	<u>Locus Map:</u> 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
N/A	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
✓	Four (4) Large sets of plans <u>at 3/16" or 1/4" scale</u> (circle all that apply) <ul style="list-style-type: none"> <li>a. Site Plan</li> <li>b. North Elevation</li> <li>c. South Elevation</li> <li>d. East Elevation</li> <li>e. West Elevation</li> <li>f. Window/Door Schedule</li> </ul>
✓	<u>One set reduced plans:</u> 8 1/2 x 11
✓	<u>Electronic Submission:</u> Each of the foregoing documents (including this checklist) <b>MUST BE</b> scanned to a single PDF file and emailed to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .
✓	<u>Signed Affidavit:</u> see reverse side

Historic District Commission  
**OLD BUSINESS CHECKLIST**

\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.

**Affidavit Certifying Completeness of Old Business submission**

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for an Old Business submission have been met.

Signature:  Date: 9/10/2020

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

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Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

X	<u>HDC case number:</u> (ex HDC2020-xx-xxxx), if applicable HDC2020-01-0548
X	<u>Copy of Minutes</u> (application item circled)
X	<u>Reduced (8 1/2 x 11) copy of application</u>
X	<u>Locus Map:</u> 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) Ⓐ Site Plan Ⓑ North Elevation Ⓒ South Elevation Ⓓ East Elevation Ⓔ West Elevation Ⓕ Window/Door Schedule
X	<u>One set reduced plans:</u> 8 1/2 x 11
X	<u>Electronic Submission:</u> ALL documents <b>MUST BE</b> scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.

#### Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: Alex Bagmets

Date: 10.01.20

HDC Meeting Date: Sept 24 , 2020.

**HDC 01-0548**

10 Beach Street

Emeritus Development

Map 73.2.4; Parcel 10

Partial Demo

OLD



# Updated Meeting Posting MEETING POSTING

Original Posting Time: 2020 SEP 22 AM 10:26  
Original Posting Number: T 2056

**RECEIVED**  
2020 SEP 23 AM 10:06  
NANTUCKET TOWN CLERK  
Posting Number: T 2062

## TOWN OF NANTUCKET

Pursuant to MGL Chapter 30A, § 18-25

All meeting **notices and agenda** must be filed and time stamped with the Town Clerk's Office and posted at least 48 hours prior to the meeting (excluding Saturdays, Sundays and Holidays)

<b>Committee/Board/s</b>	Historic District Commission (HDC) – OLD BUSINESS
<b>Day, Date, and Time</b>	Thursday, September 24, 2020; <b>1:00PM</b>
<b>Location / Address</b>	<p><b>REMOTE PARTICIPATION VIA ZOOM AND YouTube</b> Pursuant to Governor Baker's March 12, 2020 Order Regarding Open Meeting Law (Attached)</p> <p>Information on viewing the meeting can be found at:</p> <p><a href="https://www.nantucket-ma.gov/138/Boards-Commissions-Committees">https://www.nantucket-ma.gov/138/Boards-Commissions-Committees</a></p>

<b>Please note:</b>	<p>Ray Pohl, Chairman</p> <p>If there is no quorum of members present, or if meeting posting is not in compliance with the OML statute, no meeting may be held.</p>
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## HISTORIC DISTRICT COMMISSION

**Signature of Chair/Authorized Person: Cathy Flynn, Land Use Specialist**

To join the Historic District Commission meeting click on the Zoom Link below:  
<https://zoom.us/j/95560053336?pwd=UzMxaWFON1MwVVByNGdkV1IIRHFMUT09>

**Meeting ID: 955 6005 3336 Password: 078546**  
Phone dial in: 646 558 8656; Meeting ID: 95560053336; Password: 078546

To watch live feed, click here: <https://www.youtube.com/watch?v=RdglMDcaDIU>

**Commissioners:** Ray Pohl (Chair), Diane Coombs (Vice-Chair), John McLaughlin, Abby Camp, Val Oliver  
**Associate Commissioners:** Stephen Welch, Jesse Dutra  
**Staff:** Terry Norton, Cathy Flynn, Holly Backus and Kadeem McCarthy

Historic Structures Advisory Board (HSAB), Seonset Advisory Board (SAB), Madaket Advisory Board (MAB), Sign Advisory Council (SAC).

## AGENDA

*Listed below are the topics the chair reasonably anticipates will be discussed at the meeting.*

**Some applications on this agenda may not be heard at this meeting due to time constraints. Please check with the office on Wednesday after the Tuesday meeting for further information.**

### I. PUBLIC COMMENT

**II. NEW BUSINESS CARRIED OVER FROM 9/22/20**

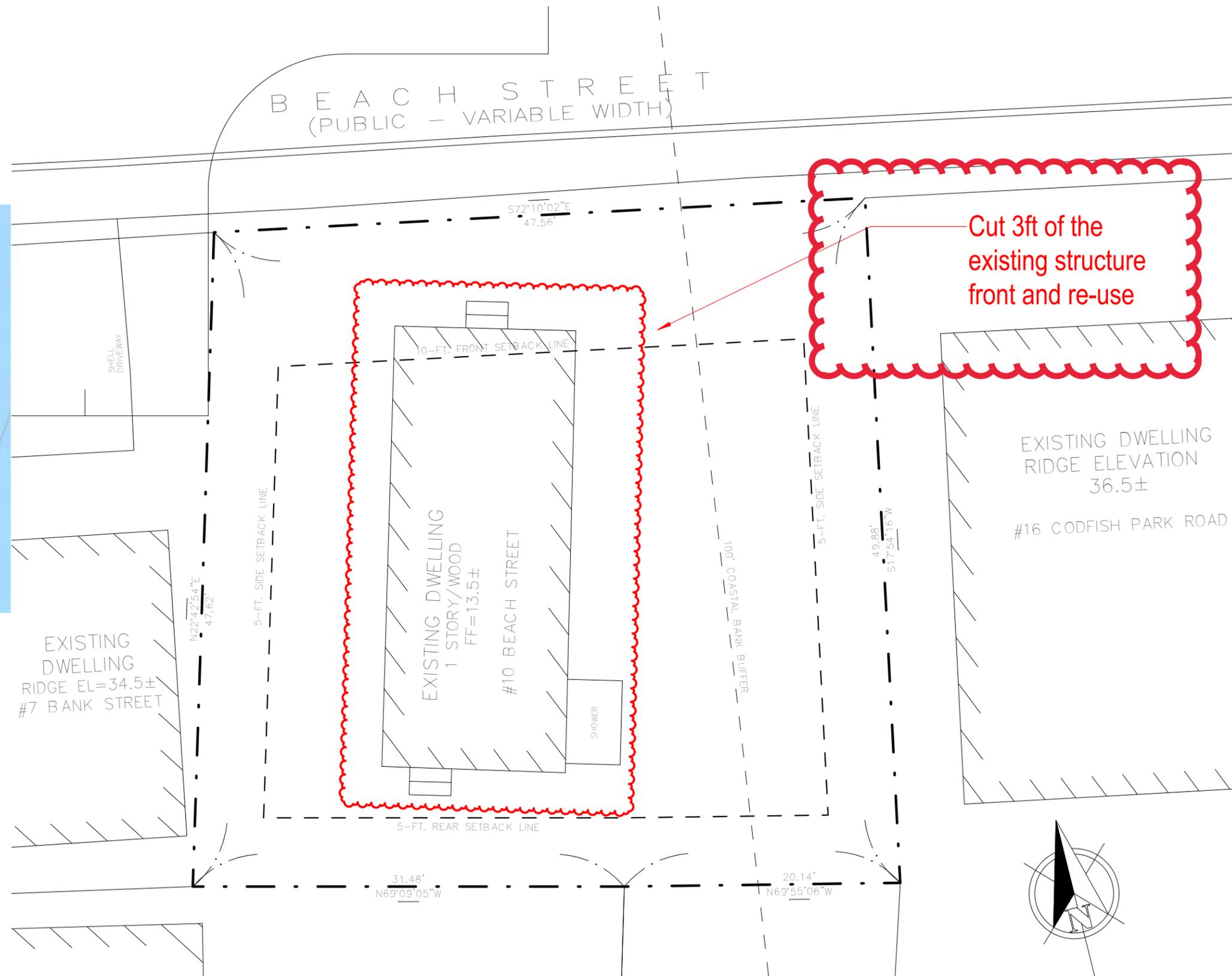
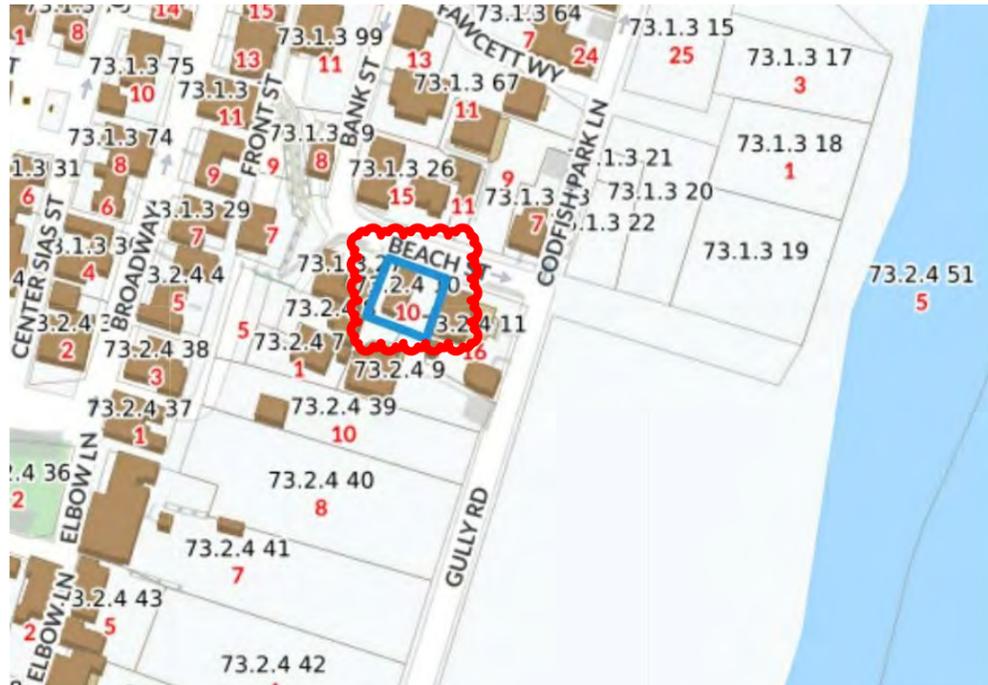
	<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1.	Vandelay Realty LLC 09-1669	84 Polpis Road	Demo/move off	44/25.5	Val Oliver
2.	Vandelay Realty LLC 09-1661	84 Polpis Road	New DU w/ attached garage	44/25.5	Val Oliver

**III. OLD BUSINESS**

	<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1.	Mary O'Connell 08-1508	8 Center Street Sias	Rev 12-0352; relocate A/C	73.1.3/76	Concept Design
	• <i>Commissioners: Pohl, Coombs, Oliver, Welch; Alternates: Camp; Recused: None</i>				
2.	Chris O'Connell 08-1556	10 Sheep Commons	Pool and retaining wall	54/274	Atlantic Landscaping
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
3.	James Conlon 09-1701 (NB)	24 Woodbine	New dwelling	80/96	Emeritus
4.	James Conlon 09-1699 (NB)	24 Woodbine	Shed	80/96	Emeritus
5.	James Conlon 08-1511	24 Woodbine	New dwelling	80/96	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
6.	James Conlon 08-1507	24 Woodbine	New garage	80/96	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
7.	Sheila Wilner 01-0547	10 Beach Street	New dwelling	73.2.4/10	Emeritus
	• <i>Commissioners: Pohl, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
8.	Sheila Wilner 01-0548	10 Beach Street	Demo dwelling	73.2.4/10	Emeritus
	• <i>Commissioners: Pohl, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
9.	Nicole Whidden 08-1473	11 Davis Lane	Cabana	82/75	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
10.	Nicole Whidden 08-1472	11 Davis Lane	Pool/spa	82/75	Ahern
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
11.	Ecklund/Furdak 08-1587	26 W Chester Street	Hardscape	42.4.3/56	Ahern
	• <i>Commissioners: Pohl, Coombs, Camp, Welch; Alternates: None; Recused: None</i>				
12.	Michelle Black 05-0953	28 Eel Point Road	Sports court	40/49	Ahern
	• <i>Commissioners: Pohl, Coombs, McLaughlin, Oliver, Welch; Alternates: None; Recused: None</i>				
13.	Cannonbury Holdings 08-1569	4 Sleetwing Circle	New cabana	74/23	Workshop/APD
	• <i>Commissioners: Pohl, Coombs, McLaughlin, Camp, Dutra; Alternates: Welch; Recused: Oliver</i>				
14.	Cannonbury Holdings 08-1566	4 Sleetwing Circle	Hardscape/pool	74/23	Workshop/APD
	• <i>Commissioners: Pohl, Coombs, McLaughlin, Camp, Dutra; Alternates: Welch; Recused: Oliver</i>				
15.	Anne McGivney 08-1498	45 West Chester Street	Shed	41/230	Structures Unlimited
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
16.	Stephen Frohwein 07-1285	32 N Liberty St	Addition	41/159	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
17.	Hummock Pond Holdings 07-1427	287 Hummock Pond Rd	Move to 289 HPR + addtn	83/39	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				

# Wilner Residence

10 Beach St  
Nantucket, MA 02554



Locus

Not to Scale

## Site Plan Move Off

1/8" = 1'-0"

G.01

*Wilner Residence*  
10 Beach St  
Nantucket, MA 02554

### Zoning Information

Map & Parcel: 73.2.4 / 10  
Current Zoning: SR-1  
Minimum Frontage: 50'  
Front Setback: 5'  
Side/Rear Setback: 5'

### Move-Off/ Demo HDC Application

10.01.20



8 Williams Lane Nantucket, MA  
02554  
P. 508.325.4995  
F. 508.325.6980  
www.emeritusdevelopment.com



NORTH



EAST



SOUTH



NORTH-EAST STREET VIEW



NORTH-WEST STREET VIEW

12" = 1'-0"

**Zoning Information**

Map & Parcel: 73.2.4 / 10  
Current Zoning: SR-1  
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Front Setback: 5'  
Side/Rear Setback: 5'

**Move-Off/ Demo HDC Application**

10.01.20



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Original Posting Number: T 2056

RECEIVED

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**Committee/Board/s** | Historic District Commission (HDC) – OLD BUSINESS

**Day, Date, and Time** | Thursday, September 24, 2020; **1:00PM**

**Location / Address** | **REMOTE PARTICIPATION VIA ZOOM AND YouTube**  
Pursuant to Governor Baker's March 12, 2020 Order Regarding Open Meeting Law (Attached)

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**Signature of Chair/Authorized Person: Cathy Flynn, Land Use Specialist**

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4.	James Conlon 09-1699 (NB)	24 Woodbine	Shed	80/96	Emeritus
5.	James Conlon 08-1511	24 Woodbine	New dwelling	80/96	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
6.	James Conlon 08-1507	24 Woodbine	New garage	80/96	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
7.	Sheila Wilner 01-0547	10 Beach Street	New dwelling	73.2.4/10	Emeritus
	• <i>Commissioners: Pohl, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
8.	Sheila Wilner 01-0548	10 Beach Street	Demo dwelling	73.2.4/10	Emeritus
	• <i>Commissioners: Pohl, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
9.	Nicole Whidden 08-1473	11 Davis Lane	Cabana	82/75	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
10.	Nicole Whidden 08-1472	11 Davis Lane	Pool/spa	82/75	Ahern
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
11.	Ecklund/Furdak 08-1587	26 W Chester Street	Hardscape	42.4.3/56	Ahern
	• <i>Commissioners: Pohl, Coombs, Camp, Welch; Alternates: None; Recused: None</i>				
12.	Michelle Black 05-0953	28 Eel Point Road	Sports court	40/49	Ahern
	• <i>Commissioners: Pohl, Coombs, McLaughlin, Oliver, Welch; Alternates: None; Recused: None</i>				
13.	Cannonbury Holdings 08-1569	4 Sleetwing Circle	New cabana	74/23	Workshop/APD
	• <i>Commissioners: Pohl, Coombs, McLaughlin, Camp, Dutra; Alternates: Welch; Recused: Oliver</i>				
14.	Cannonbury Holdings 08-1566	4 Sleetwing Circle	Hardscape/pool	74/23	Workshop/APD
	• <i>Commissioners: Pohl, Coombs, McLaughlin, Camp, Dutra; Alternates: Welch; Recused: Oliver</i>				
15.	Anne McGivney 08-1498	45 West Chester Street	Shed	41/230	Structures Unlimited
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
16.	Stephen Frohwein 07-1285	32 N Liberty St	Addition	41/159	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
17.	Hummock Pond Holdings 07-1427	287 Hummock Pond Rd	Move to 289 HPR + addtn	83/39	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				

# OLD BUSINESS CHECKLIST



## Planning and Land Use Services

### Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554  
508-325-7587

This checklist **MUST** be submitted with your application.

\*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

X	HDC case number: (ex HDC2020-xx-xxxx), if applicable HDC2020-01-0547
X	Copy of Minutes (application item circled)
X	Reduced (8 1/2 x 11) copy of application
X	Locus Map: 4 copies: <a href="https://www.nantucket-ma.gov/151/GIS-Maps">https://www.nantucket-ma.gov/151/GIS-Maps</a>
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) a) Site Plan b) North Elevation c) South Elevation d) East Elevation e) West Elevation f) Window/Door Schedule
X	One set reduced plans: 8 1/2 x 11
X	Electronic Submission: ALL documents MUST BE scanned to <a href="mailto:hdcsubmissions@nantucket-ma.gov">hdcsubmissions@nantucket-ma.gov</a> .

\*\* PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.

### Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: Alex Bagmets Date: 10.01.20

HDC Meeting Date: Sept 24 , 2020.

**HDC 01-0547**

10 Beach Street

Emeritus Development

Map 73.2.4; Parcel 10

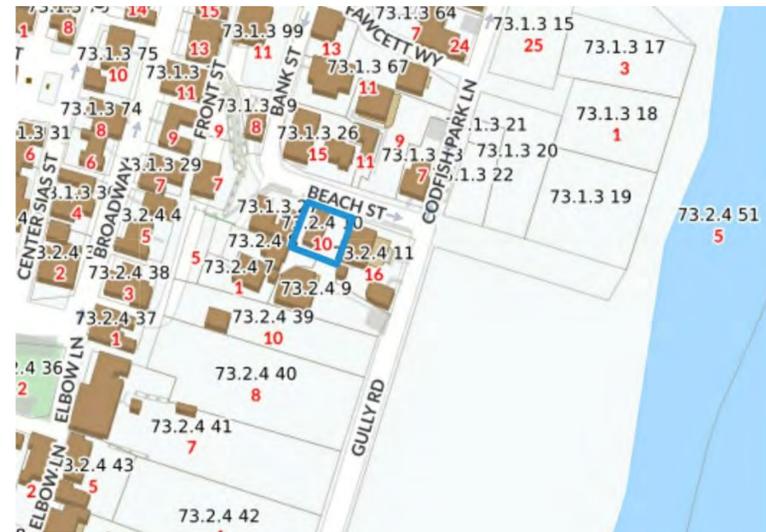
New Dwelling

OLD

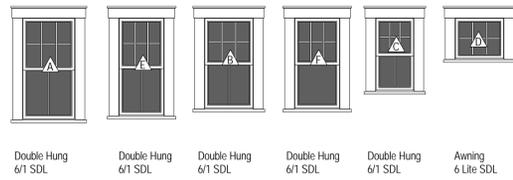
10.01.20

# Wilner Residence

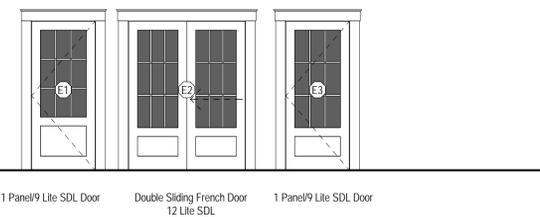
10 Beach St  
Nantucket, MA 02554



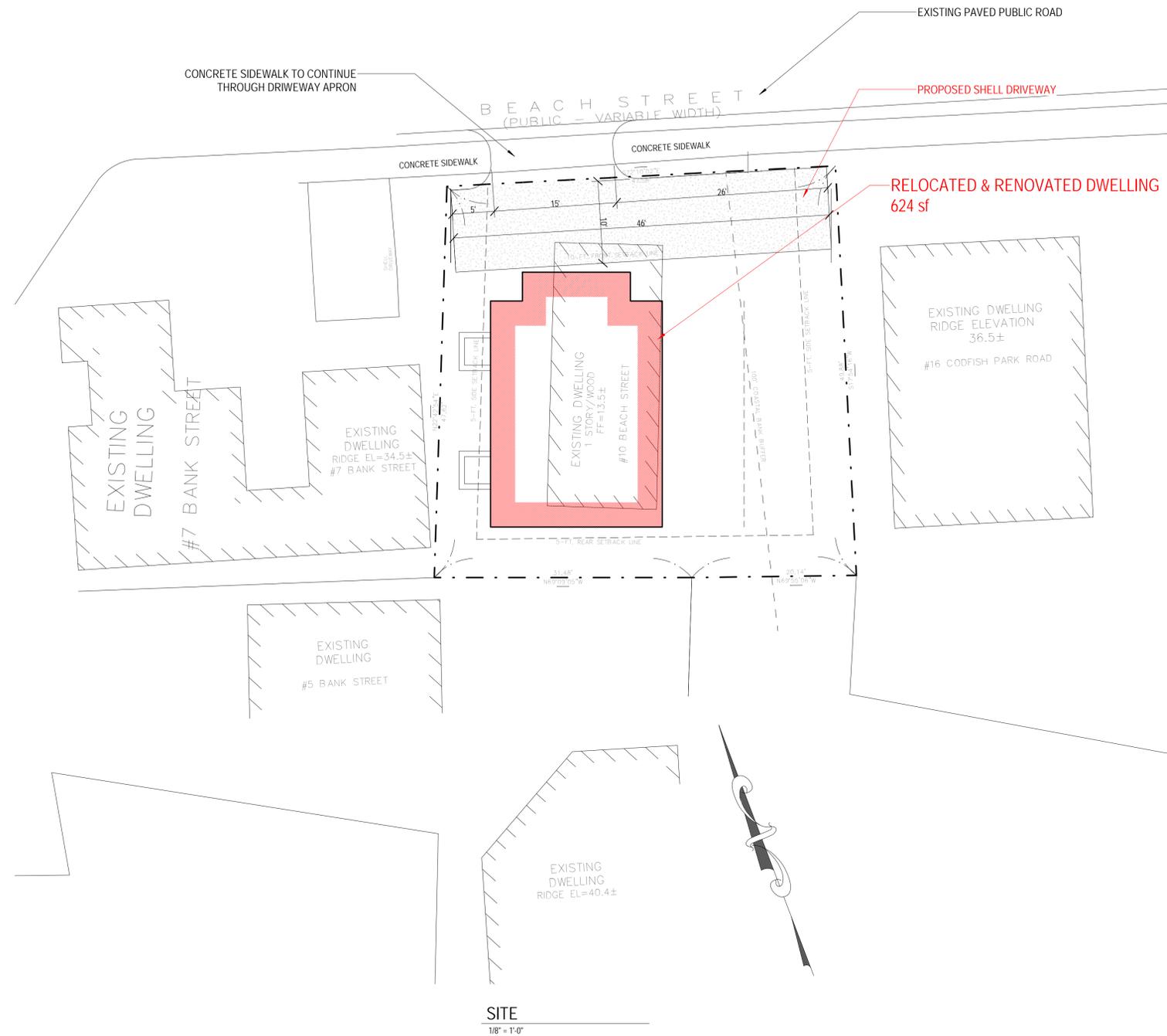
LOCUS MAP  
Not to Scale



Window Legend  
1/4" = 1'-0"



Door Legend  
1/4" = 1'-0"



# 1912

Wilner Residence

10 Beach St  
Nantucket, MA 02554



## COVER SHEET

### Site Information

Map & Parcel:	73.2.4 / 10
Current Zoning:	SOH
Minimum Frontage:	50'
Front Setback:	0'
Side/Rear Setback:	5'
Lot Size:	2,419 sf
Min. Lot Size:	5,000 sf
Allowable G.C.:	50% or 1,209 sf
Existing G.C.:	427 sf
Proposed G.C.:	624 sf
Total Proposed G.C.:	624 sf

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

## Revisions

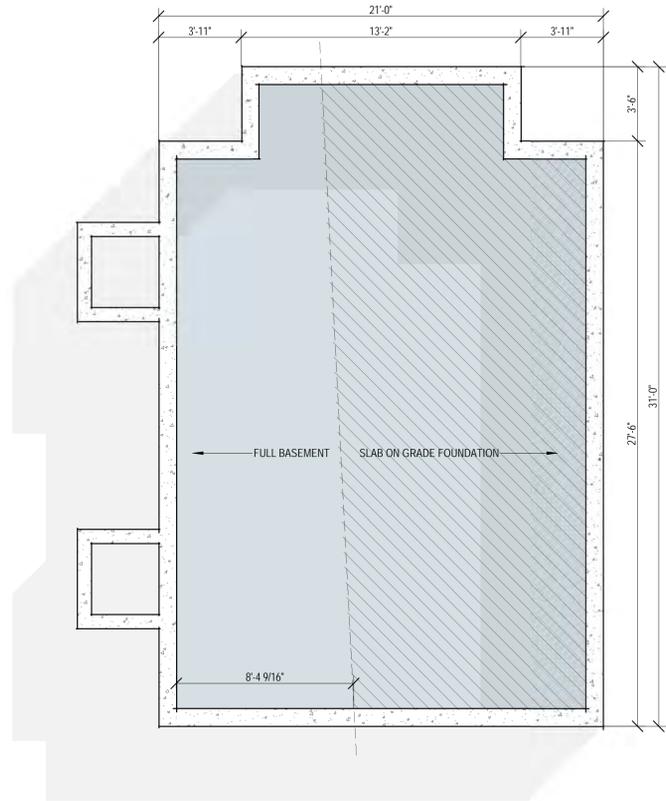
THESE DRAWINGS AND REVISIONS ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LLC. NO PART OF THESE DRAWINGS OR REVISIONS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT WRITTEN PERMISSION FROM EMERITUS DEVELOPMENT LLC. THESE DRAWINGS HAVE BEEN WORKED UP AND PREPARED IN ACCORDANCE WITH THE PERMIT TO EXERCISE CONTRACT RIGHTS. ALL RIGHTS RESERVED. (2019)

# G.101 1912

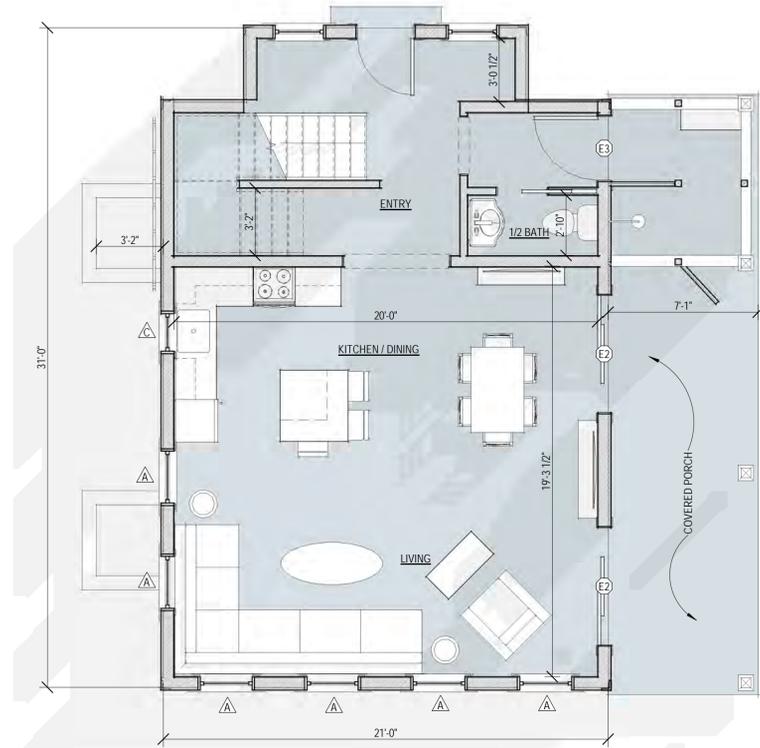
HDC SUBMISSION

10.01.20

HDC SUBMISSION



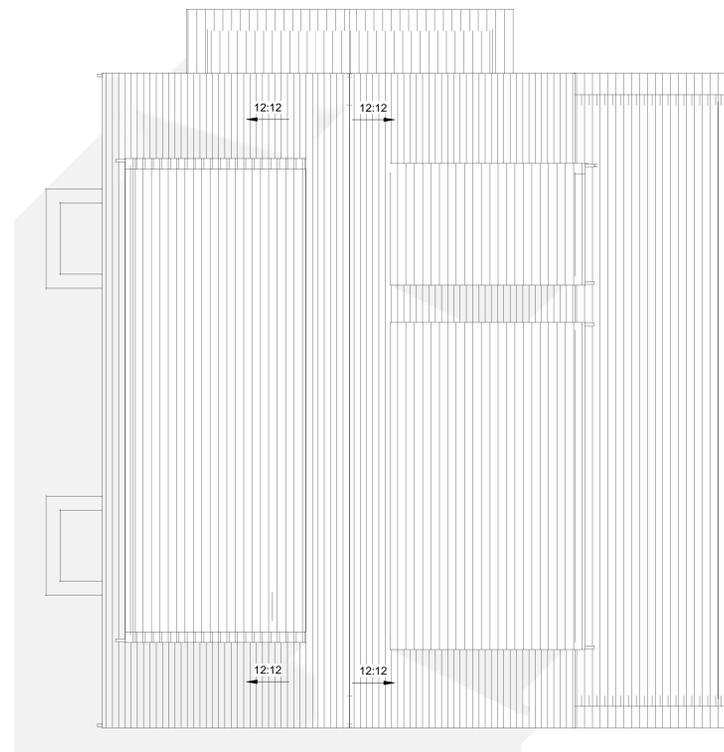
1 Basement Plan  
1/4" = 1'-0"



2 First Floor Plan  
1/4" = 1'-0"



3 Second Floor  
1/4" = 1'-0"



4 Roof Plan  
1/4" = 1'-0"

# 1912

Wilner Residence

10 Beach St  
Nantucket, MA 02554



## FLOOR PLANS & ROOF PLAN

### Site Information

Map & Parcel:	73.2.4 / 10
Current Zoning:	SOH
Minimum Frontage:	50'
Front Setback:	0'
Side/Rear Setback:	5'
Lot Size:	2,419 sf
Min. Lot Size:	5,000 sf
Allowable G.C.:	50% or 1,209 sf
Existing G.C.:	423 sf
Proposed G.C.:	624 sf
Total Proposed G.C.:	624 sf

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

### Revisions

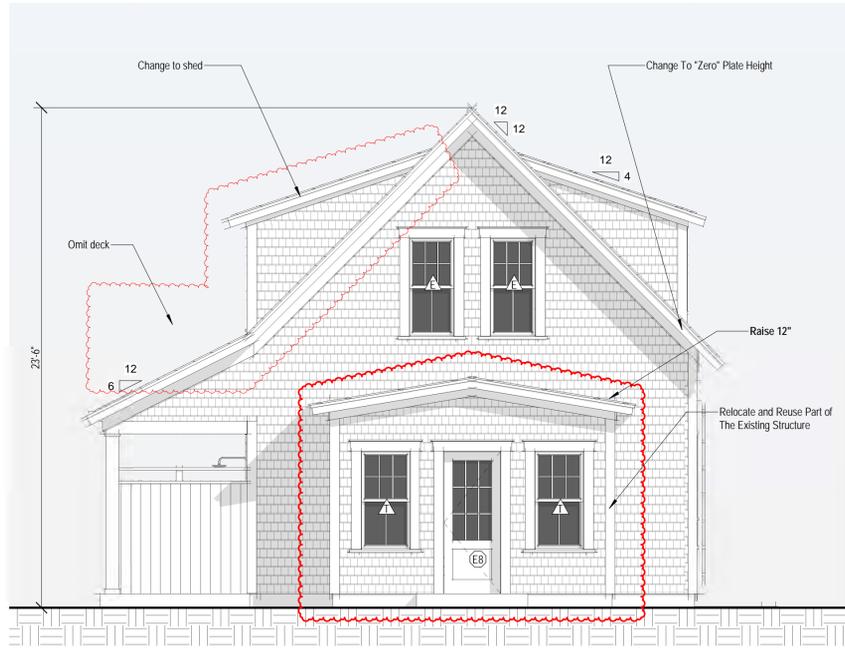
THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT AND SHALL REMAIN THE PROPERTY OF EMERITUS DEVELOPMENT OR ANY PARTY WITHOUT WRITTEN PERMISSION FROM EMERITUS DEVELOPMENT. THESE DRAWINGS HAVE BEEN WIDENED DOWN AND PARTS HAVE BEEN REMOVED TO BE USED FOR PERMIT. FURTHER CONTRACT REVISIONS SHALL BE FORWARDED UPON REQUEST.

# A.101

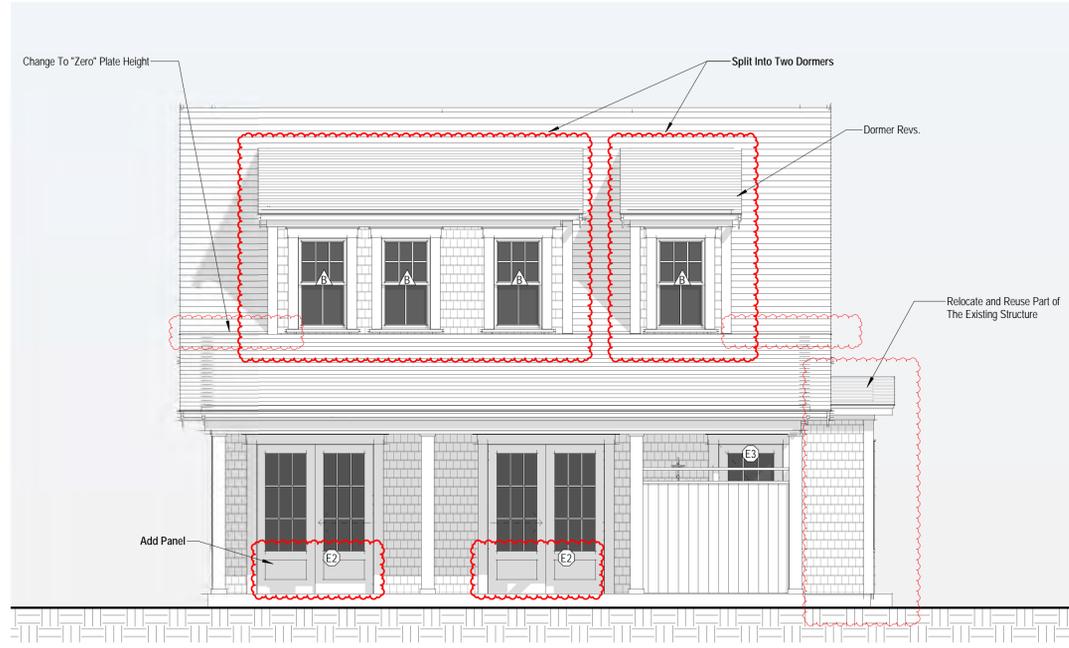
# 1912

10.01.20

HDC SUBMISSION



1 North Elevation  
1/4" = 1'-0"



2 East Elevation  
1/4" = 1'-0"



Previously Proposed North Elevation  
1/8" = 1'-0"



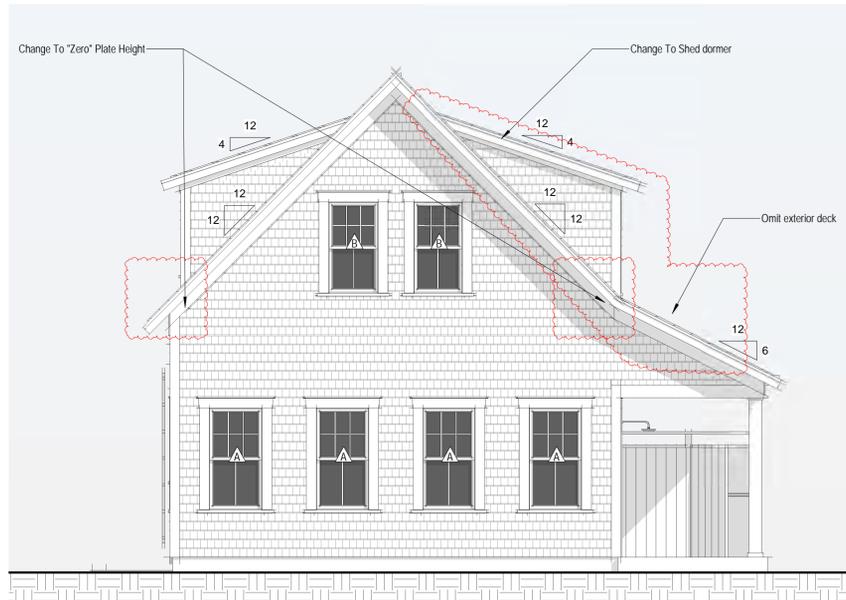
Previously Proposed East Elevation  
1/8" = 1'-0"



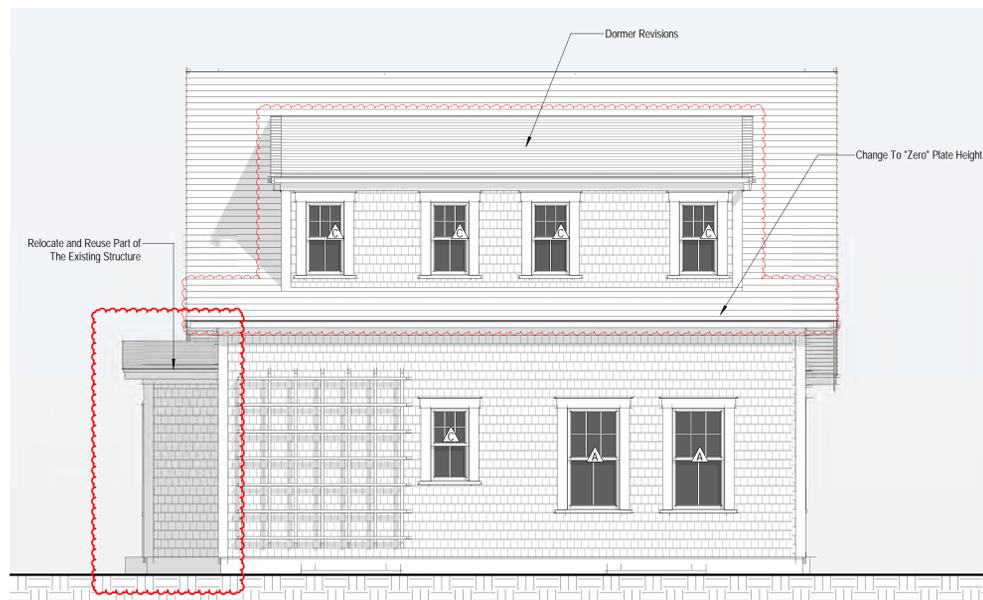
Previously Proposed South Elevation  
1/8" = 1'-0"



Previously Proposed West Elevation  
1/8" = 1'-0"



3 South Elevation  
1/4" = 1'-0"



4 West Elevation  
1/4" = 1'-0"

1912  
Wilner Residence

10 Beach St  
Nantucket, MA 02554



EXTERIOR ELEVATIONS

Site Information

Map & Parcel:	73.2.4 / 10
Current Zoning:	SOH
Minimum Frontage:	50'
Front Setback:	0'
Side/Rear Setback:	5'
Lot Size:	2,419 sf
Min. Lot Size:	5,000 sf
Allowable G.C.:	50% or 1,209 sf
Existing G.C.:	423 sf
Proposed G.C.:	624 sf
Total Proposed G.C.:	624 sf

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

Revisions	
Revision 1	Date 1

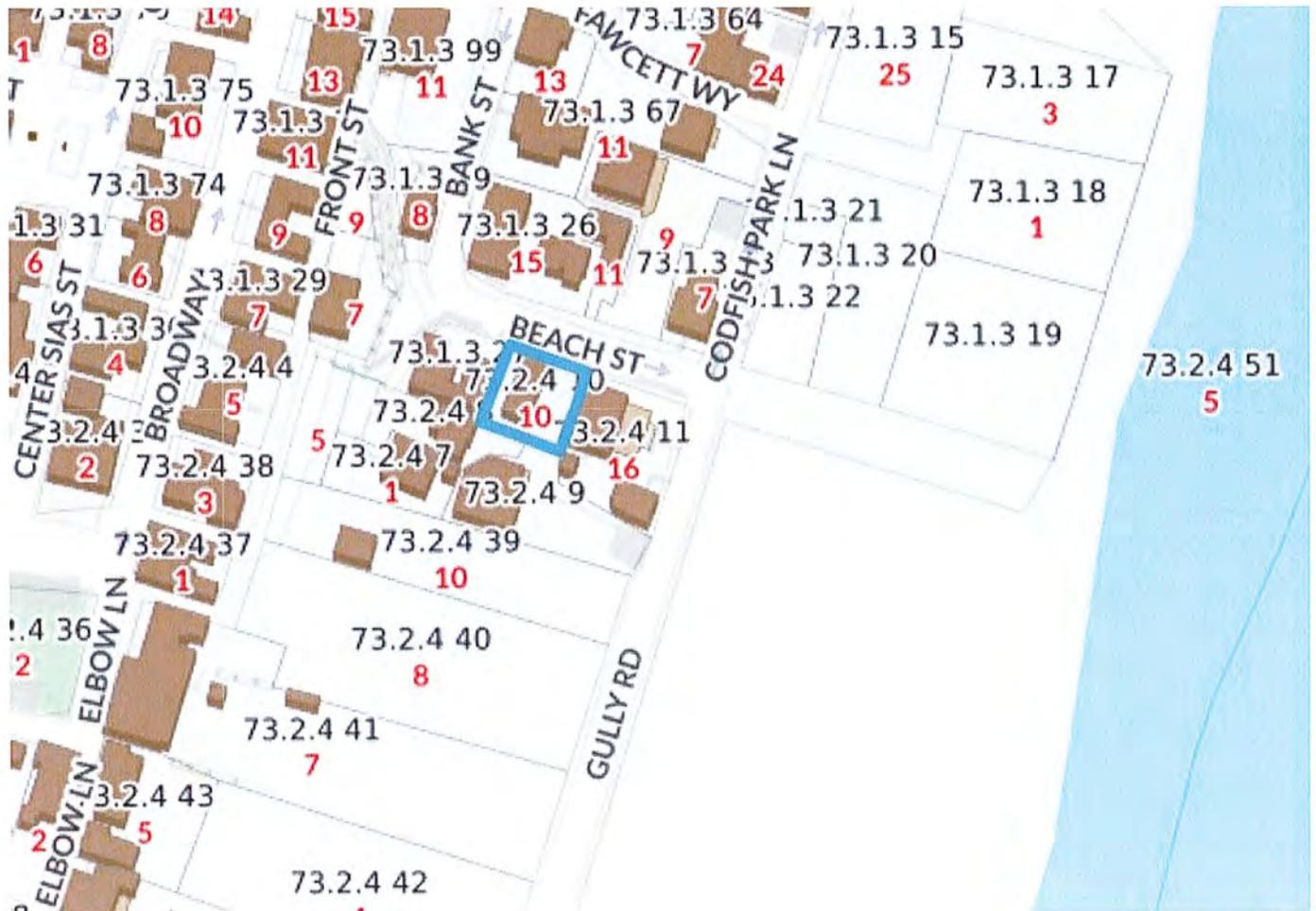
THESE DRAWINGS ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT AND SHALL REMAIN THE PROPERTY OF EMERITUS DEVELOPMENT UNLESS OTHERWISE SPECIFIED IN WRITING. THESE DRAWINGS HAVE BEEN WORKED UP BY THE ARCHITECT AND SHALL BE FORWARDED TO THE PERMITTING AGENCY FOR REVIEW AND APPROVAL.

A.201  
1912

# Wilner Residence

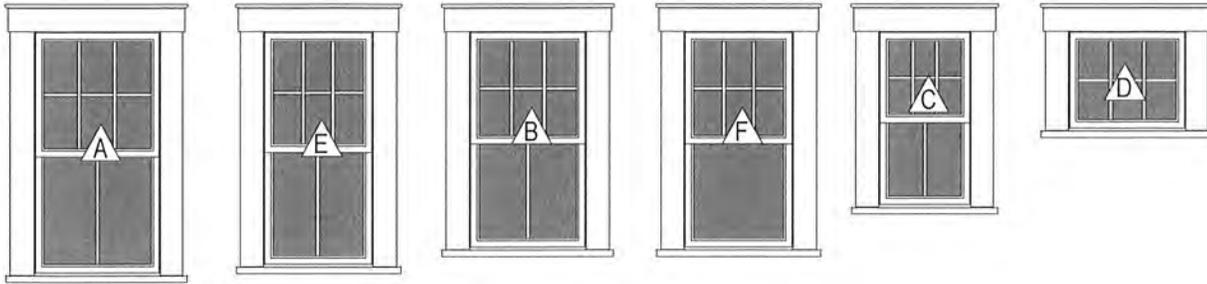
10 Beach St

Nantucket, MA 02554



LOCUS MAP

Not to Scale

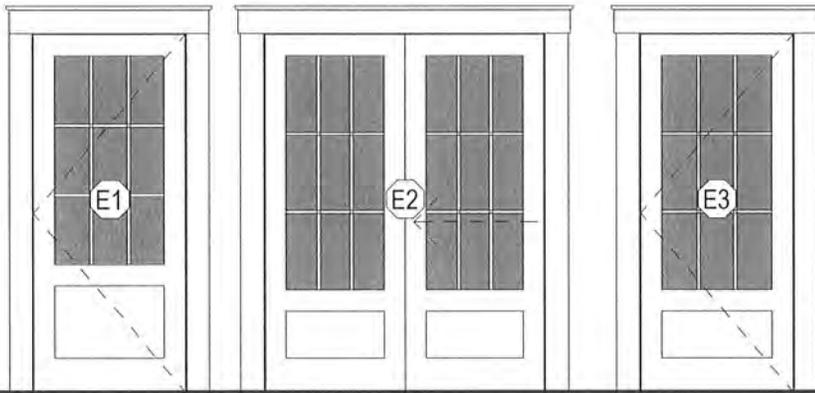


Double Hung  
6/1 SDL

Awning  
6 Lite SDL

## Window Legend

1/4" = 1'-0"



1 Panel/9 Lite SDL Door

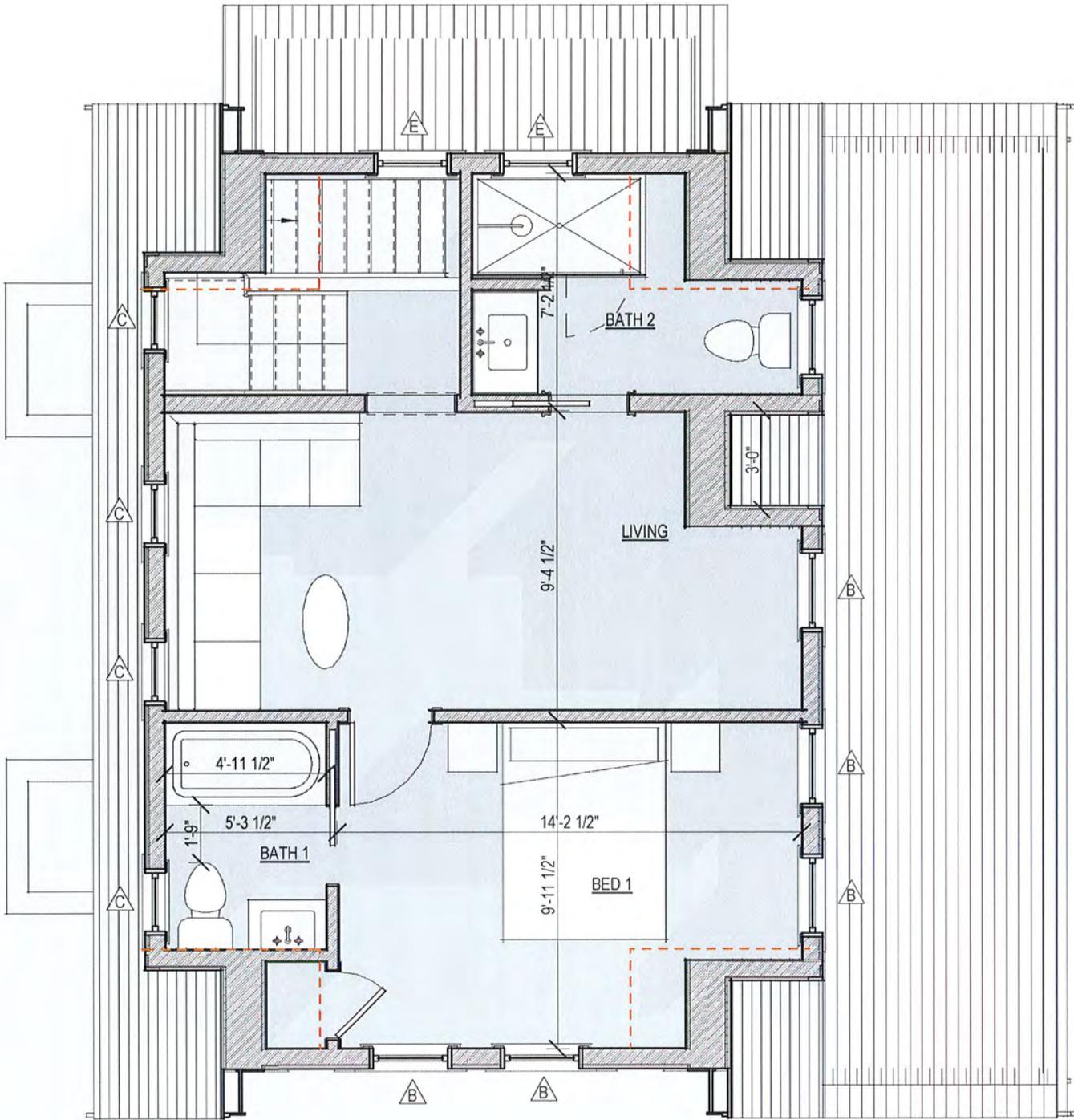
Double Sliding French Door  
12 Lite SDL

1 Panel/9 Lite SDL Door

## Door Legend

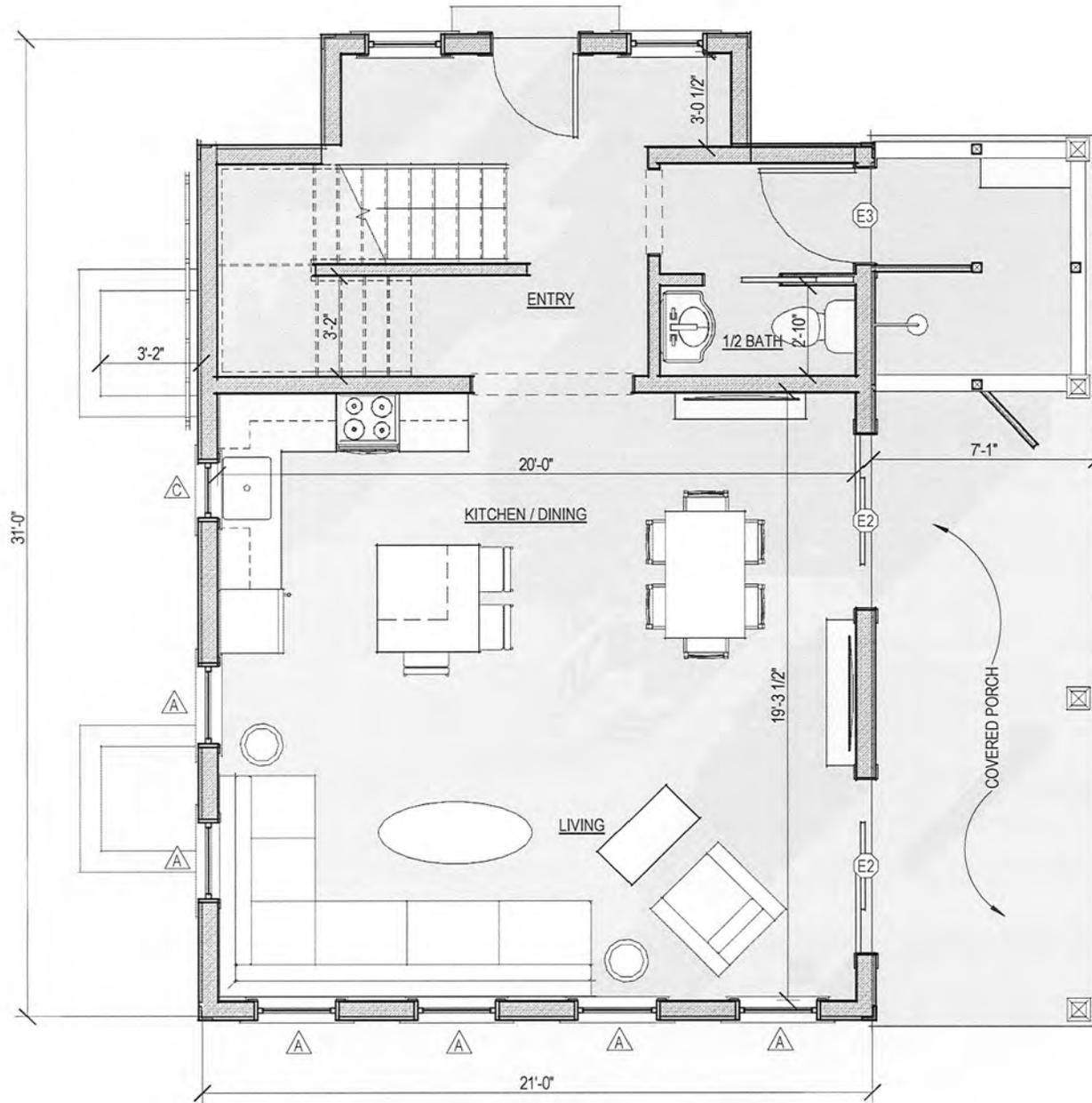
1/4" = 1'-0"



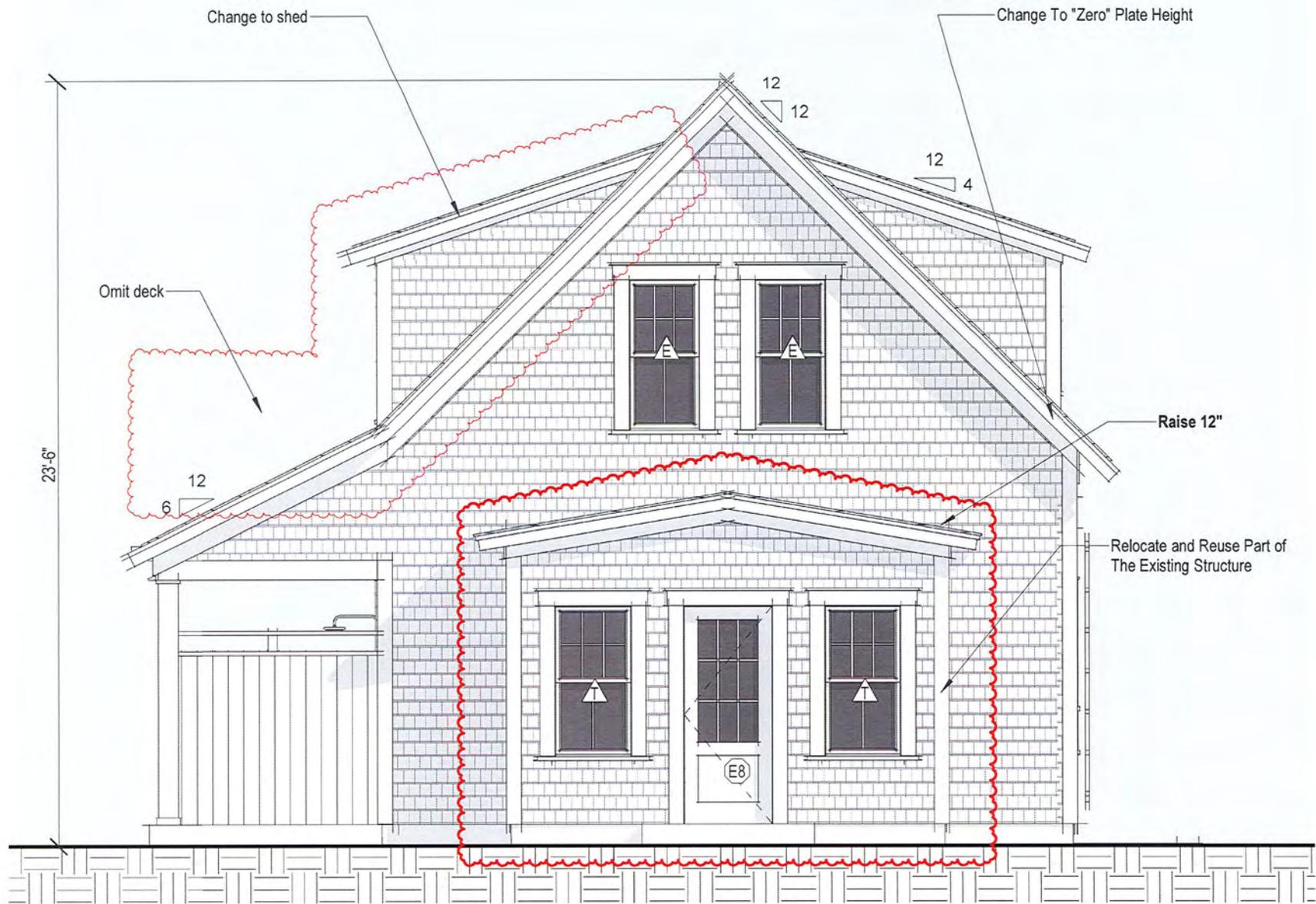


# 3 Second Floor

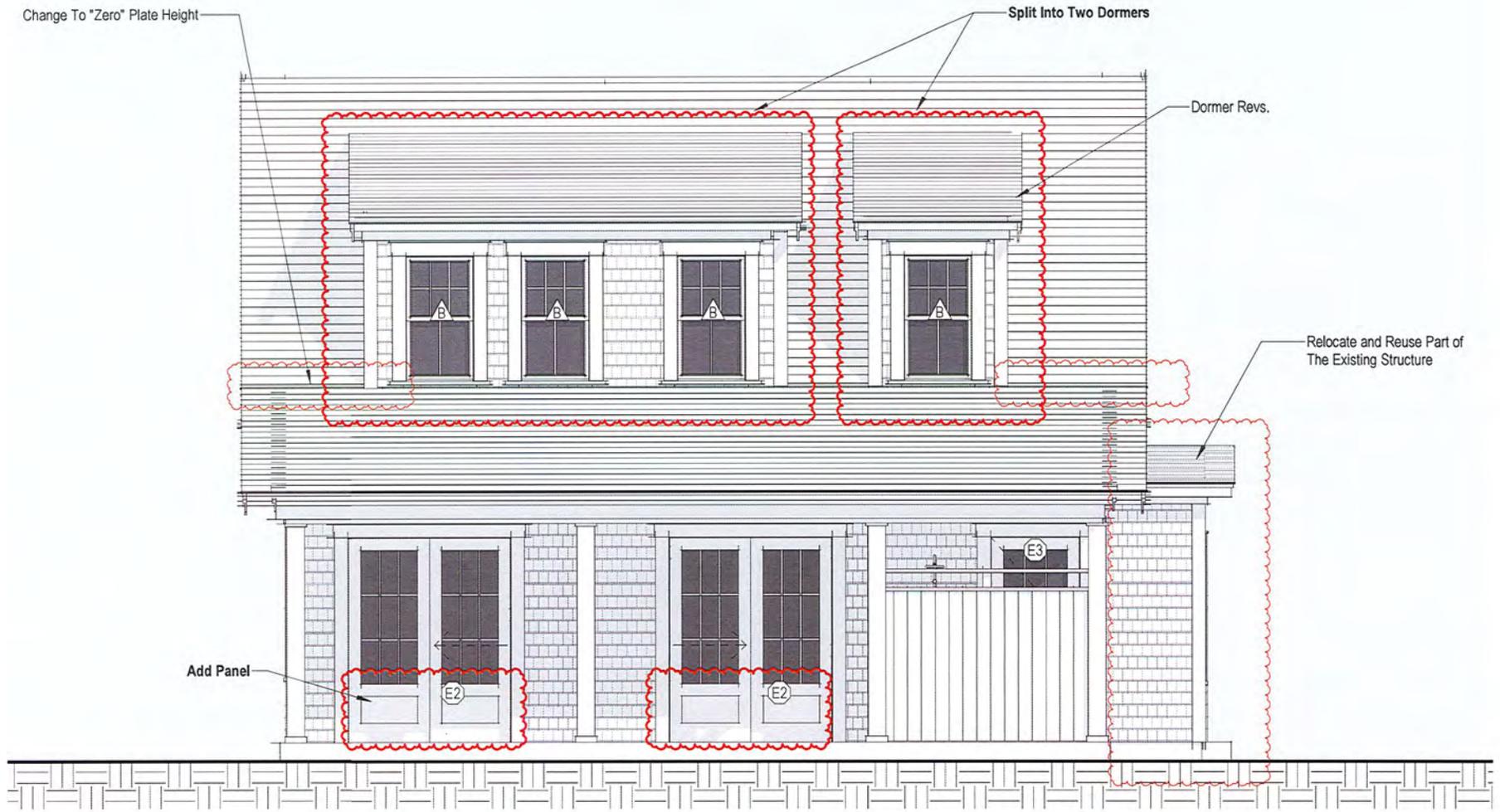
1/4" = 1'-0"



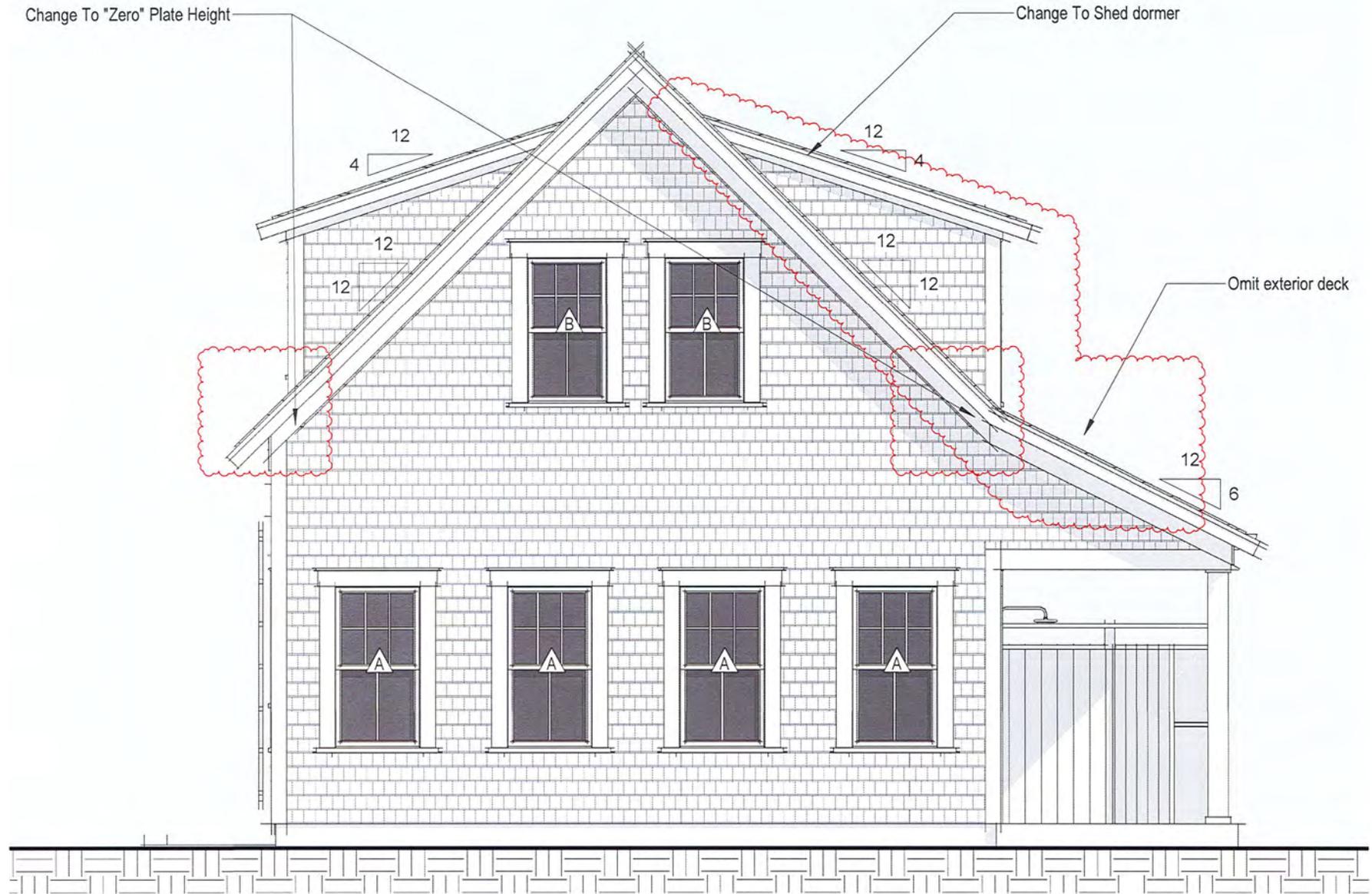
**2** First Floor Plan  
 1/4" = 1'-0"



**1** North Elevation  
 1/4" = 1'-0"

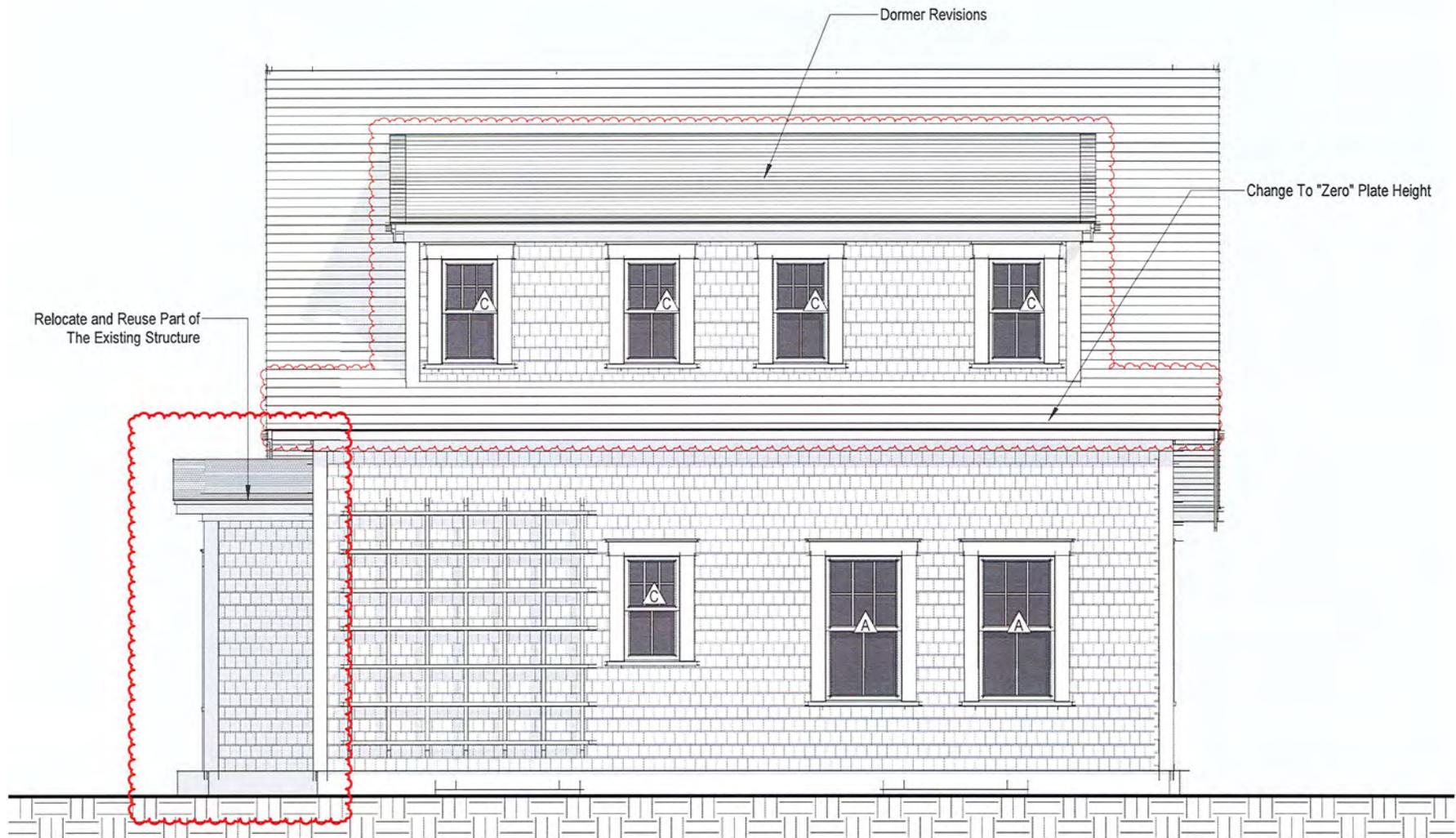


**2** East Elevation  
 1/4" = 1'-0"



# 3 South Elevation

1/4" = 1'-0"



**4** West Elevation  
1/4" = 1'-0"

~ Old Biz ~

Proposed HDC Minutes for September 17, 2020

6.	3 Kings Way, LLC 09-1660	17 Lincoln Avenue	Move bldg. + alterations	30/118	Botticelli & Pohl
Voting	Coombs (acting chair), McLaughlin, Camp, Oliver, Welch				
Alternates	None				
Recused	Pohl				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Lisa Botticelli, Botticelli & Pohl				
Public	None				
Concerns (1:28)	<p><b>Botticelli</b> – Presented alterations; this is remaining in its current location; grade is being raised 2 feet to match the elevation at 19 Lincoln Avenue and the road.</p> <p><b>Welch</b> – He has no concerns with raising to protect it.</p> <p><b>Camp</b> – Okay with the grade change.</p> <p><b>McLaughlin</b> – No comments.</p> <p><b>Oliver</b> – Asked if raising the grade will require retainage (no).</p> <p><b>Coombs</b> – 11 Lincoln Avenue has the same issue with water.</p>				
Motion	<b>Motion to Approve. (Camp)</b>				
Roll-call Vote	Carried // McLaughlin, Camp, Oliver, Welch, and Coombs-aye			Certificate #	<b>HDC2020-09-1660</b>
7.	3 Kings Way, LLC 09-1640	17 Lincoln Avenue	Pool w/ auto cover	30/118	Botticelli & Pohl
Voting	Coombs, McLaughlin, Camp, Oliver				
Alternates	Welch				
Recused	Pohl				
Documentation	Landscape design plans, site plan, photos, and advisory comments.				
Representing	Lisa Botticelli, Botticelli & Pohl				
Public	None				
Concerns (1:37)	<p><b>Botticelli</b> – Presented project; pool is 20X50.</p> <p><b>Flynn</b> – Ms. Backus comments: R-1 zoning. Read HSAB comments: okay due to lack for visibility.</p> <p><b>Camp</b> – She's not in favor of a pool here; she considers this area as a historic district and pools are inappropriate.</p> <p><b>Oliver</b> – No concerns; it's screened by a structure.</p> <p><b>McLaughlin</b> – He supports this.</p> <p><b>Welch</b> – He doesn't love it and a little big; however, it's behind the garage and screened by privet; any visibility would be oblique.</p> <p><b>Coombs</b> – She'd prefer the pool be reduced to 20X40 as stated in the application.</p>				
Motion	<b>Motion to Approve as 20X40 per the application and with the pool not to be visible at time of inspection and thereafter. (Oliver)</b>				
Roll-call Vote	Carried 4-1//Welch, McLaughlin, Oliver, and Coombs-aye; Camp-nay			Certificate #	<b>HDC2020-09-1640</b>
8.	ARI Real Estate, LLC 09-1685	10 Delaney Road Lot C	New dwelling	41/120	John Lampe
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver				
Alternates	Welch				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos and advisory comments.				
Representing	John Lampe				
Public	None				
Concerns (1:44)	<p><b>Lampe</b> – Presented project; site plan and photos were provided after the initial submission; front faces Reliance Way.</p> <p><b>Oliver</b> – This is confusing because we don't have sufficient information; the site plan wasn't included in the original packet. Looking at a locus map, the western lot is a wide and open lot; she questions the visibility from Derrymore. Asked if the Pewterwood color for roof shingles is an approved color. Agrees with Ms. Camp; it would help to better understand where it is and what's around it.</p> <p><b>Coombs</b> – This goes from setback line to setback line. She'd like a plan, in a legible size, that shows the surrounding houses. Too much house for this property. Windows should be 6-over-6 windows to fit style better. There's paving, shed, pool, patio and house all on a small lot.</p> <p><b>Welch</b> – We need to verify the approval of the roof color.</p> <p><b>Flynn</b> – Ms. Backus said lots of fenestration on west and side. Read HSAB comments.</p> <p><b>McLaughlin</b> – Asked if the Rose of Sharon hedge is existing or proposed (proposed).</p> <p><b>Camp</b> – She has problems with how it's situated on the lot; a mature Leland Cyprus will take up five feet. Okay with the architecture.</p> <p><b>Pohl</b> – (video interrupted 2: 07 to 2:11 for "Detective Emilie" video; no comments or motion.)</p>				
Motion					
Roll-call Vote	Carried // <u>Hold for revisions</u>			Certificate #	<b>HDC2020-09-</b>



Property Information

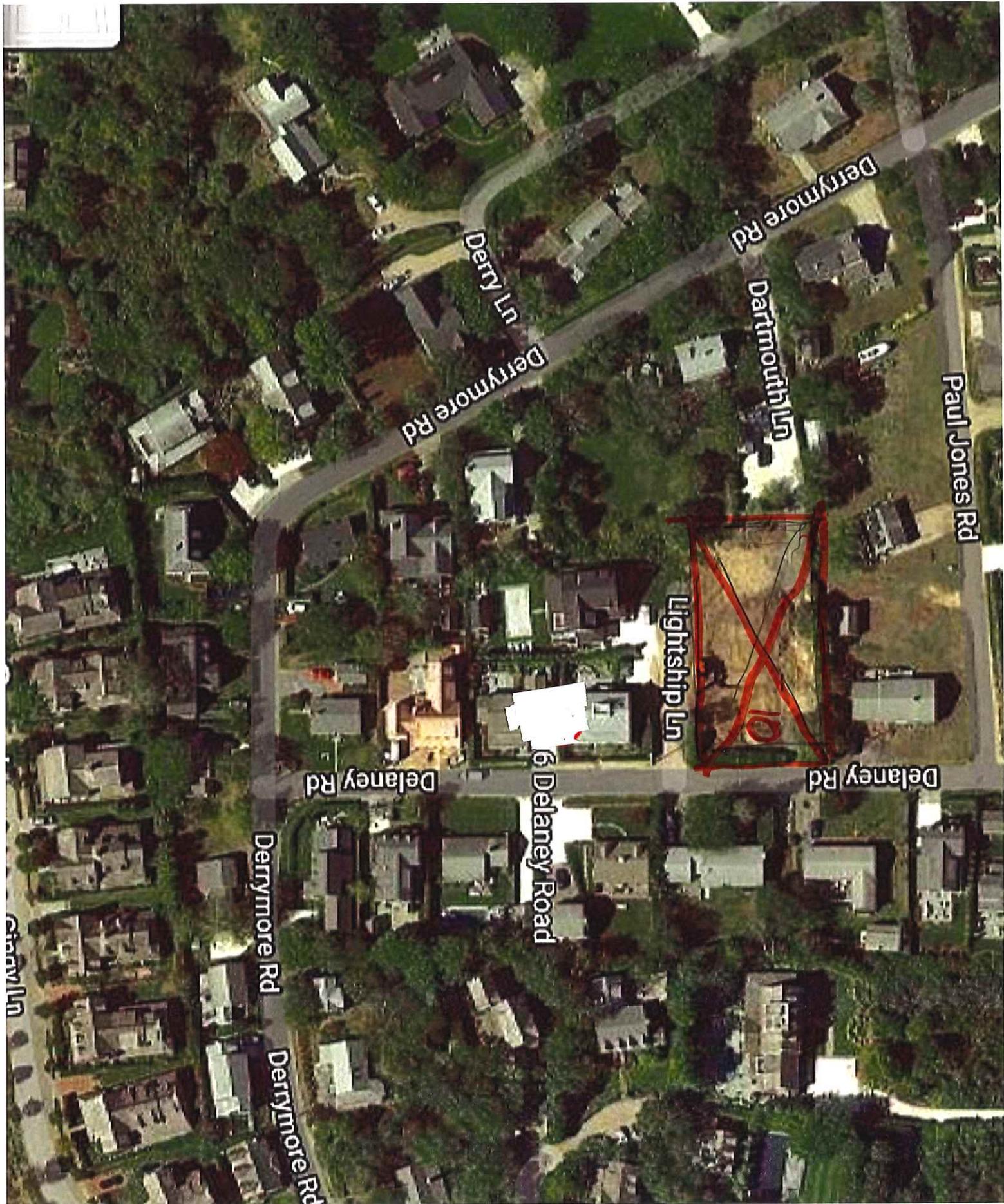
Property ID 41 120  
 Location 10 DELANEY RD  
 Owner IRA SERVICES TRUST COMPANY



MAP FOR REFERENCE ONLY  
 NOT A LEGAL DOCUMENT

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Parcels updated December, 2014  
 Properties updated 11/22/2017



Paul Jones Rd

Derrymore Rd

Dartmouth Ln

Derry Ln

Derrymore Rd

Lightship Ln

Delaney Rd

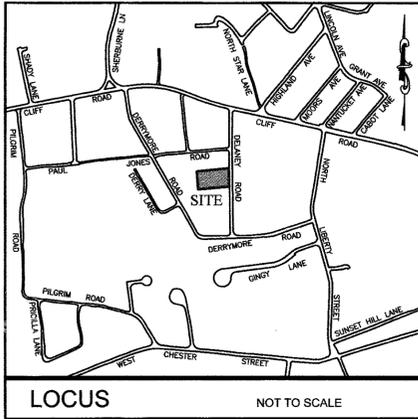
Delaney Rd

6 Delaney Road

Derrymore Rd

Derrymore Rd

Cherry Ln



**LEGEND**

- CONCRETE BOUND TO BE SET
- CONCRETE BOUND (FOUND)
- x- FENCE

**CURRENT OWNER & APPLICANT**

ARI REAL ESTATE, LLC.  
17 SMITHS POINT ROAD  
MANCHESTER, MA 01944

**TITLE REFERENCE:**  
L.C. CERT. #27259

**PLAN REFERENCES:**  
L.C. PLAN #13199-M (LOT 28)  
L.C. PLAN #13199-25 (PARCELS B & C)

**SITE LOCATION:**  
10 DELANEY ROAD  
NANTUCKET, MA

**ASSESSORS REFERENCE:**  
MAP 41, PARCEL 120

ZONING REQUIREMENTS				
ZONING DISTRICT: RESIDENTIAL 1 (R-1)				
	REQUIRED	PROVIDED		
		LOT 1	LOT 2	LOT 3
LOT AREA	5,000 S.F.	7,249 S.F.	7,251 S.F.	7,270 S.F.
LOT FRONTAGE	50 FT.	63.21 FT.	63.20 FT.	62.09 FT.
FRONT YARD SETBACK	10 FT.	36.94 FT.	-	-
REAR YARD SETBACK	5 FT.	7.86 FT.	-	-
SIDE YARD SETBACK	5 FT.	6.96 FT.	-	-
MAX. GROUND COVER RATIO	30 %	21.9 %	-	-
REGULARITY FACTOR "R"	≥0.55	0.91	0.91	0.91

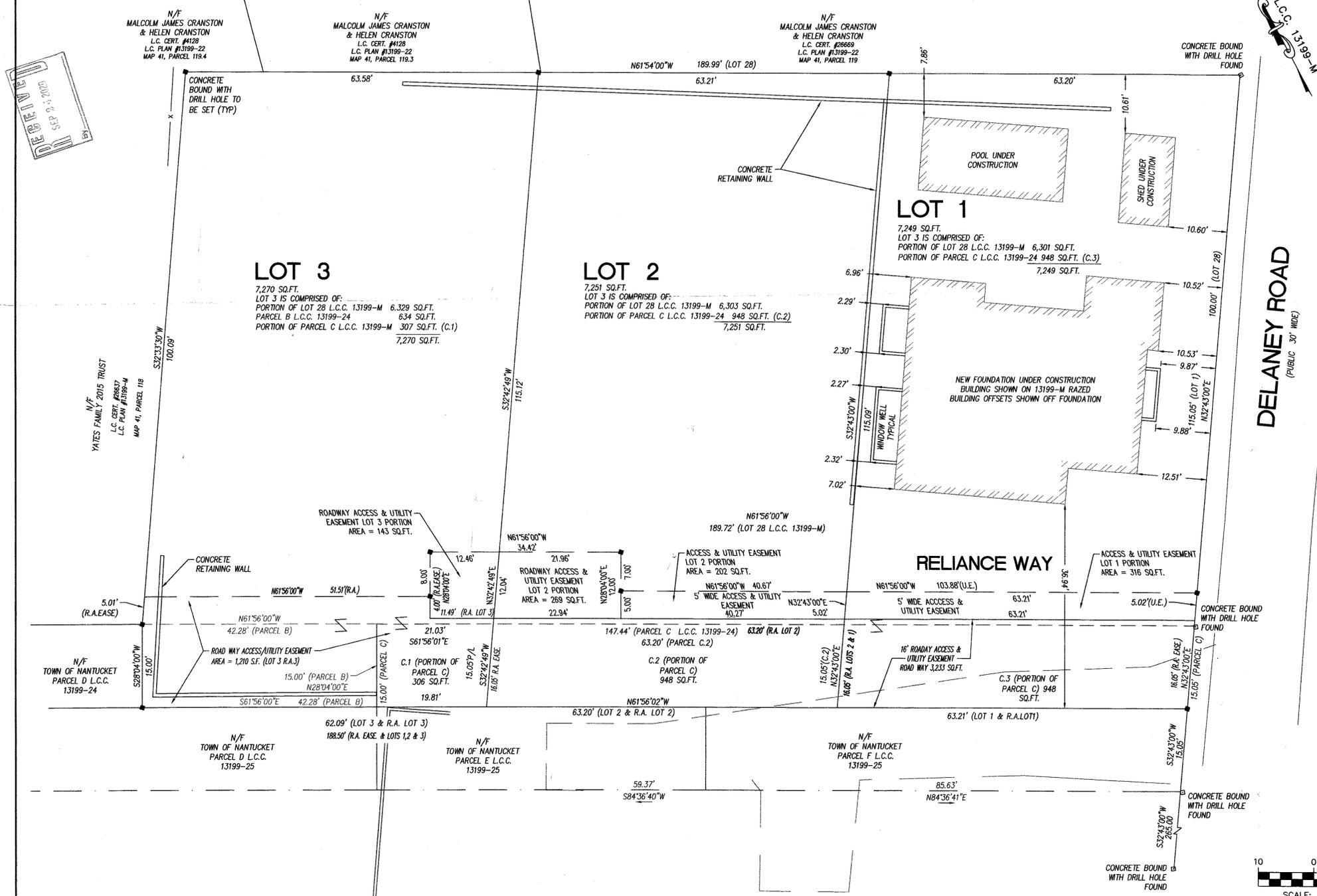
REGULARITY FACTOR CALCULATIONS INCLUDE ENTIRE AREA AND PERIMETER.

OVERLAY DISTRICT APPLICABILITY	
TOWN	YES
TOWN SEWER	YES

- NOTES:**
- THIS PLAN REPRESENTS A SUBDIVISION OF MAP 41, PARCEL 120 AS SHOWN ON THE OFFICIAL TAX MAPS OF THE TOWN OF NANTUCKET.
  - THIS PLAN REPRESENTS A SUBDIVISION OF LOT 28 ON LAND COURT PLAN 13199-M AND PARCELS B AND C SHOWN ON PLAN NO. 13199-25.
  - THE SITE IS NOT LOCATED WITHIN ANY SPECIAL FLOOD HAZARD AREAS AS SHOWN ON THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NUMBER 250230 0086 G (EFFECTIVE DATE JUNE 9, 2014).
  - THIS PLAN AND THE ACCOMPANYING CERTIFICATIONS DO NOT CONSTITUTE A CERTIFICATION OF TITLE TO THE PROPERTY DISPLAYED HEREON. THE OWNER OF LOCUS AND ADJUTING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

J. MARCKLINGER & ASSOCIATES, INC.  
PROFESSIONAL LAND SURVEYORS  
P.O. BOX 896  
NANTUCKET, MA 02554  
(310) 945-7054

**SITE DESIGN ENGINEERING, LLC.**  
11 CUSHMAN STREET  
MIDDLEBORO, MA 02346  
T: 508-967-0673 F: 508-967-0674  
WWW.SDE-LDEC.COM



I CERTIFY THAT AS OF THE DATE OF THIS SURVEY, THE MONUMENTS CONTROLLING PRIOR PLANS ARE IN THE GROUND AS SHOWN AND DESCRIBED HEREON. I FURTHER CERTIFY THAT ANY ADDITIONAL MONUMENTS SHOWN HEREON HAVE BEEN SET IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2006 AS OF THE DATE OF THIS SURVEY.

I FURTHER CERTIFY THAT THIS PLAN WAS DRAWN FROM AN ACTUAL SURVEY MADE ON THE GROUND IN ACCORDANCE WITH THE LAND COURT INSTRUCTIONS OF 2006 ON OR BETWEEN 9/22/16 AND 12/6/19.

*Joseph Marcklinger* 1/29/20  
PROFESSIONAL LAND SURVEYOR DATE

"I HEREBY CERTIFY THAT THE NOTICE OF APPROVAL OF THIS PLAN BY THE NANTUCKET PLANNING BOARD WAS RECEIVED AND RECORDED NOVEMBER 6, 2018. AT THIS OFFICE, AND NO APPEAL WAS RECEIVED DURING THE TWENTY (20) DAYS NEXT AFTER SUCH RECEIPT OF RECORDING OF SAID NOTICE."  
**APPEAL DISMISSED APRIL 25, 2019**

*Laura L. Raimo* 2/10/2020  
ASST. TOWN CLERK, NANTUCKET, MA DATE

NANTUCKET PLANNING BOARD  
APPROVAL UNDER THE SUBDIVISION CONTROL LAW REQUIRED

APPROVED (DATE): SEPTEMBER 10, 2018

ENDORSED (DATE): 12-09-2019

P.B. FILE NUMBER: 8254

*John Negus*  
*Nathaniel*  
*Frank McChase*

NO.	DATE	DESCRIPTION	APPROVED
2.	1/29/20	REVISED PER FIRE DEPARTMENT COMMENTS	DCM
1.	11/25/19	REVISED PER PEER REVIEW COMMENTS	DCM

DATE: JULY 16, 2018

DRAWN BY: AME/SKD CHECK BY: DCM/JEM

PROJECT NO. 16111

ISSUED FOR: APPROVAL



**DEFINITIVE SUBDIVISION PLAN**  
**RELiance WAY SUBDIVISION**

10 DELANEY ROAD  
ASSESSOR'S MAP 41, PARCELS 120  
NANTUCKET, MASSACHUSETTS

PREPARED FOR ARI REAL ESTATE, LLC.

DRAWING TITLE:

LOTING PLAN

SCALE: 1"=10'

SHEET NO.

2 of 4



**SITE DESIGN  
ENGINEERING, LLC.**  
110 WASHINGTON STREET  
NANTUCKET, MA 02554  
T: 508-987-8877 F: 508-987-8874  
WWW.SDE-LLC.COM

NO.	DATE	DESCRIPTION	APPROVED

DATE: FEBRUARY 22, 2018	PLAN REVISIONS
DRAWN BY: DESIGNER	CHECKED BY: DOMAEX
PROJECT NO: 18111	SCALE FOR: REVIEW

ASSESSORS MAP 41, PARCEL 120  
10 DELANEY ROAD  
NANTUCKET, MA  
PREPARED FOR IO DELANEY, LLC.

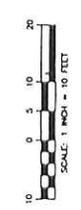
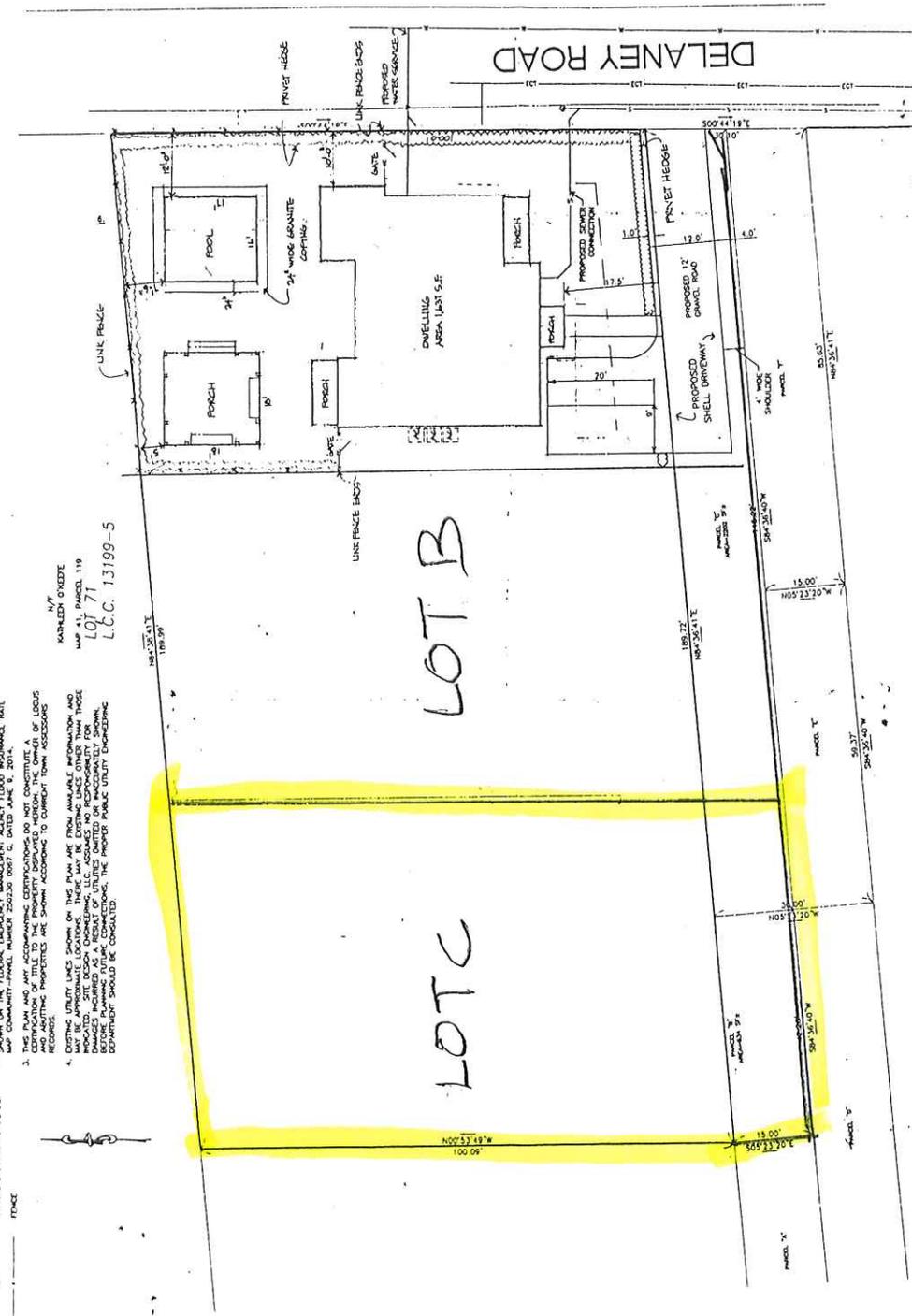
DRAWING TITLE  
SCALE 1" = 10'  
SHEET NO  
**1 OF 1**

ACKAME SURVEY, LLC.  
NANTUCKET, MA 02554  
(508) 331-8887

- GENERAL NOTES:**
- EXISTING CONDITIONS INFORMATION WAS COMPILED FROM A/C ON THE GROUND SURVEY INFORMATION BY ACKAME SURVEY, LLC AND SUPPLEMENTED WITH RECORD PLAN INFORMATION.
  - THE SITE IS NOT LOCATED WITHIN ANY KNOWN 100 YEAR FLOOD INLAND ZONES AS SHOWN ON THE FLOOD, EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP.
  - THIS PLAN HAS ANY NECESSARY CORRECTIONS OR NOTATIONS TO THE CITY CERTIFICATION OF TITLE TO THE PROPERTY FORWARDED HEREON. THE OWNER OF RECORD RECORDING PROPERTIES ARE SHOWN ACCORDING TO CURRENT TOWN RECORDS.
  - EXISTING UTILITY LINES SHOWN ON THIS PLAN ARE FROM AVAILABLE INFORMATION AND MAY BE APPROXIMATE LOCATIONS. THERE MAY BE EXISTING LINES OTHER THAN THOSE DAMAGED INCURRED AS A RESULT OF UTILITIES DAMAGED OR INACCELERATELY SHOWN. THE OWNER SHOULD BE CONTACTED TO VERIFY THE PROPER PUBLIC UTILITY ENGINEERING DOCUMENTS SHOULD BE CONSULTED.

- LEGEND:**
- SURVEY MARKER
  - CONCRETE FOUND (FOUND)
  - CONCRETE FOUND TO BE SET
  - FENCE

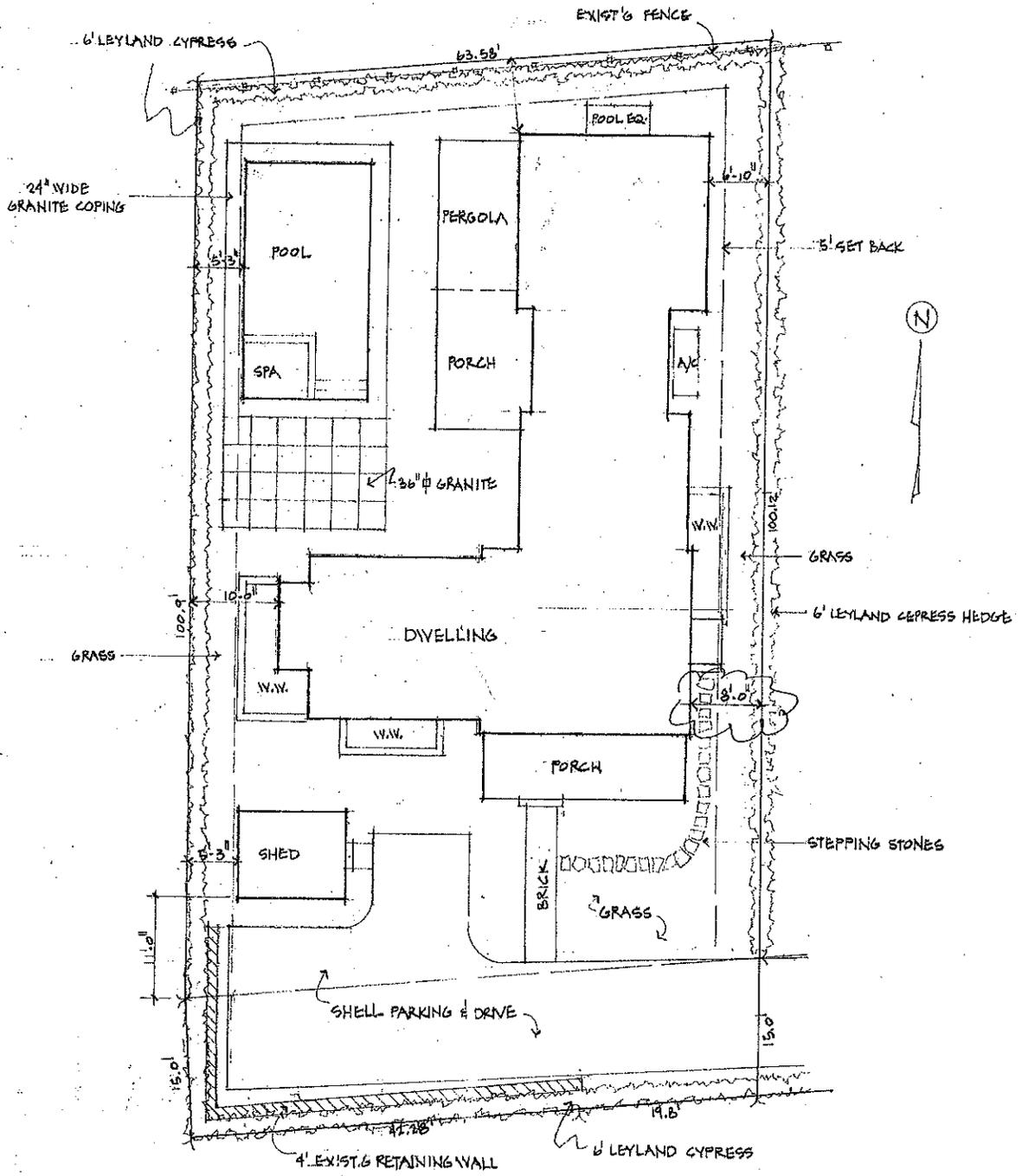
N/T  
MARTIN O'NEILL  
MAP 41, PARCEL 119  
**LOT 71**  
L.C.C. 13199-5



OVERLAY DISTRICT APPLICABILITY  
TOWN

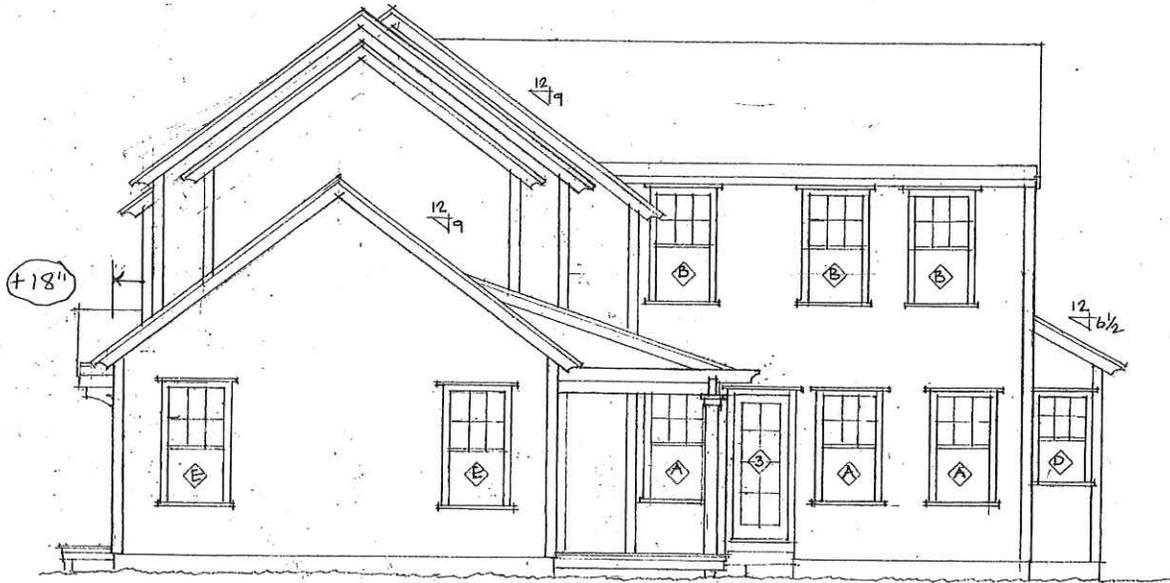
**ZONING REQUIREMENTS**

ZONING DISTRICT	RESIDENTIAL 1 (R-1)
LOT AREA	3,000 S.F.
LOT DEPTH	30 FT.
LOT FRONTAGE ON DUAL-DECK	10 FT.
FRONT YARD SETBACK	5 FT.
REAR YARD SETBACK	5 FT.
SEMI-DETACHED GARAGE	5 FT.
REGULATORY FACTOR 'N'	0.02



SITE PLAN  
 LOT C RELIANCE WAY

SCALE 1/8" = 1'-0"

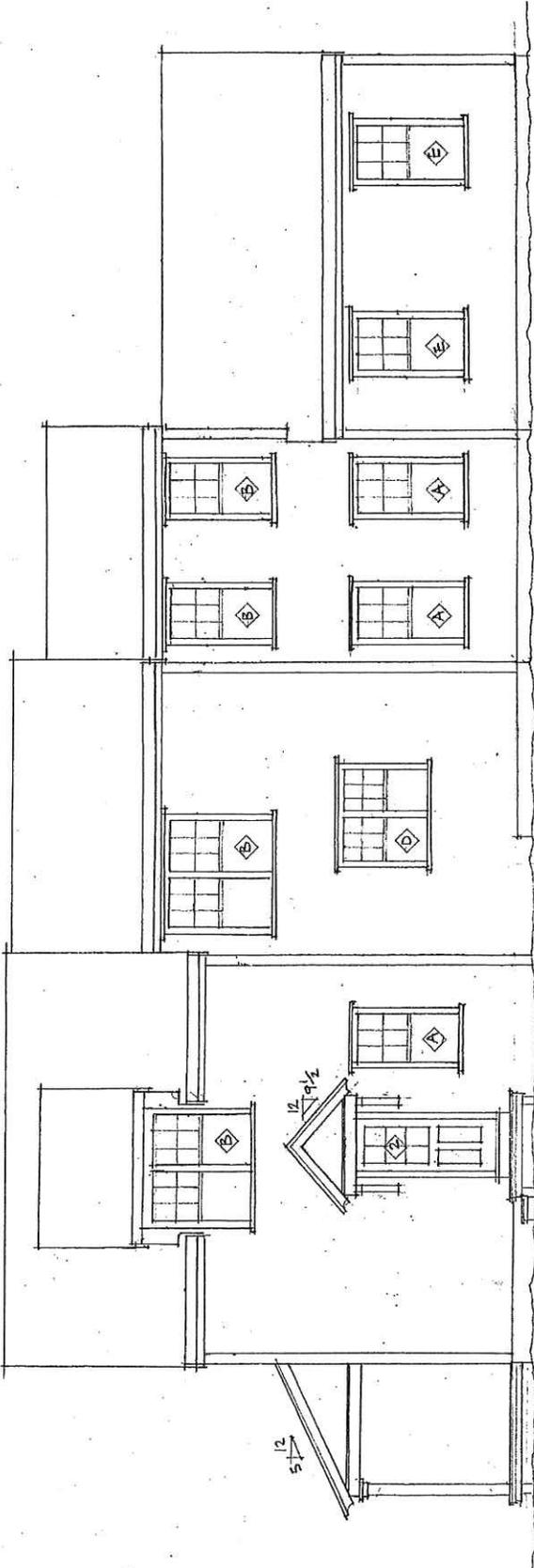


NORTH ELEVATION

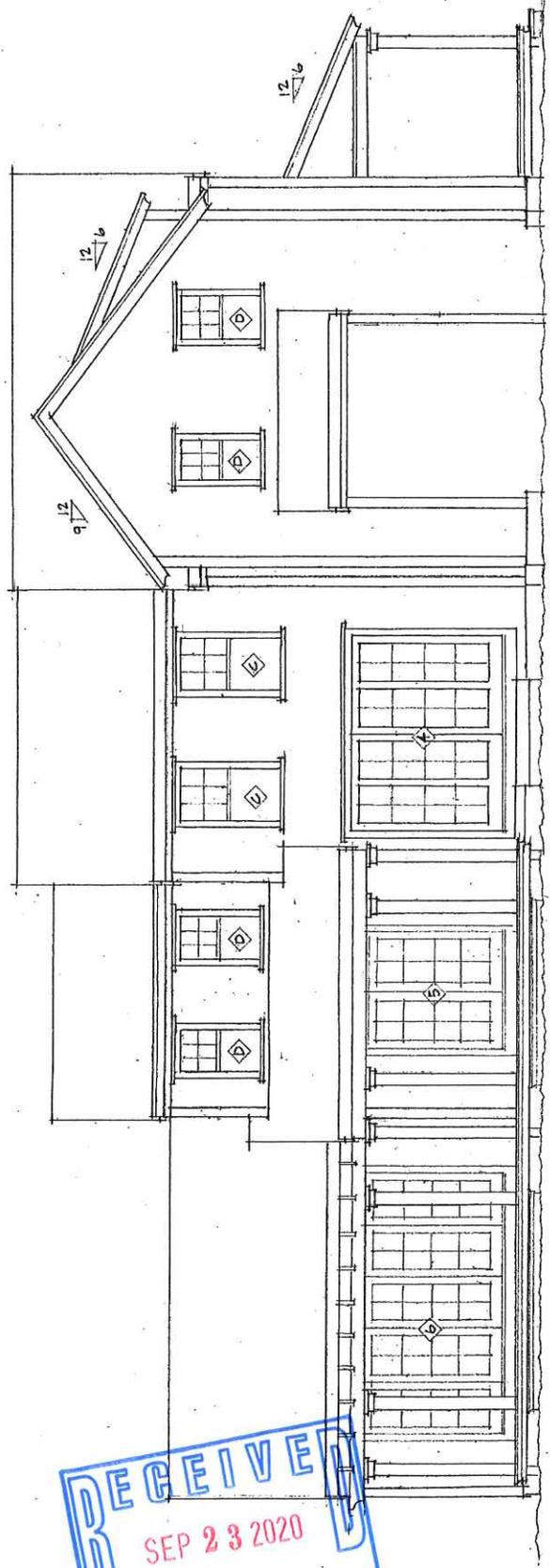
RECEIVED  
 SEP 23 2020  
 By



SOUTH ELEVATION

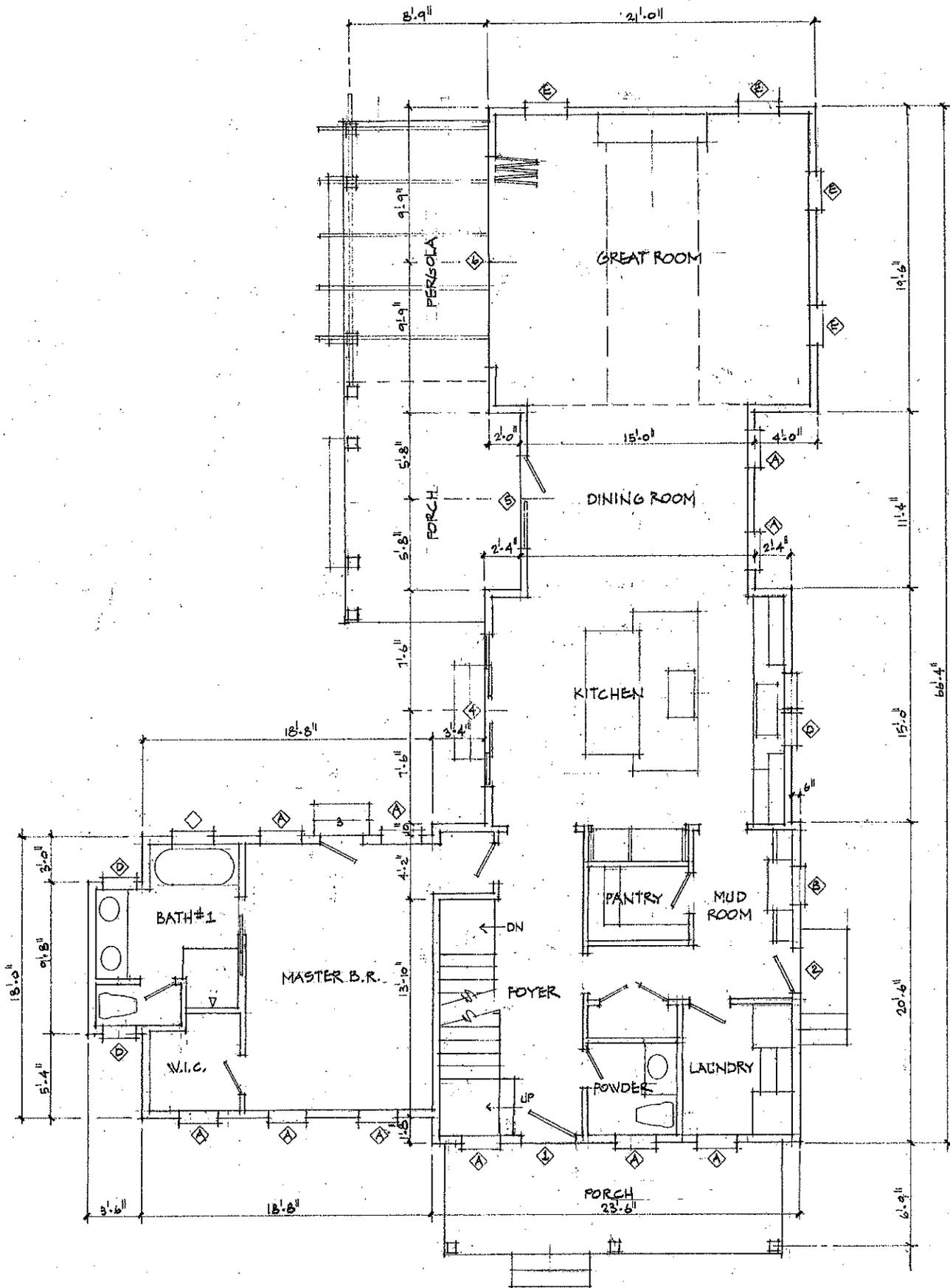


EAST ELEVATION



WEST ELEVATION

RECEIVED  
SEP 23 2020  
By \_\_\_\_\_



FIRST FLOOR PLAN



# WINDOW & DOOR SCHEDULE

◇ A	VDH 2452	30 $\frac{1}{4}$ " x 65"	◇ 1	3 <sup>6</sup> x 6 <sup>1.9</sup> "	3 <sup>1.9</sup> " x 6 <sup>1.11</sup> "
◇ B	24410	30 $\frac{1}{4}$ " x 61"	◇ 2	FWH 29611	2 <sup>1.9</sup> " x 6 <sup>1.11</sup> "
◇ C	26410	32 $\frac{1}{4}$ " x 61"	◇ 3	NANO	13 <sup>1.4</sup> " x 7 <sup>1.2</sup> / <sub>2</sub> "
◇ D	20310	26 $\frac{1}{4}$ " x 49"	◇ 4	FWH 60611	6 <sup>1.0</sup> " x 6 <sup>1.11</sup> "
◇ E	2652	32 $\frac{1}{4}$ " x 65"	◇ 5	FWG 10080.4	9 <sup>1.9</sup> / <sub>4</sub> " x 8 <sup>1.0</sup> "
◇ G	VDH 2646	32 $\frac{1}{4}$ " x 57"	◇ 6	2 <sup>8</sup> x 6 <sup>1.9</sup> "	2 <sup>1.11</sup> " x 6 <sup>1.11</sup> "

Lot C Reliance Way

Shutter color

Fine Paints of Europe

North Sea Blue



# CLASSIC EUROPEAN ENAMEL COLORS

The 32 colors shown here in "Brilliant" finish, along with more than 10,000 colors on the fan decks, are available in all of our coatings in a full range of glosses. Please note slight color variation may occur between color chips and actual paint.



Matte



Satin



Brilliant

## Finishes

These samples illustrate relative gloss for Matte, Satin and Brilliant.

White  
0001

Spinnaker White  
7032

White Café  
2048

Royal White  
2064

Grey Mist  
7038

Wooden Shoes  
2029

Antique Lace  
2072

Saffron  
2012

Winter Sky  
7034

Blue Horizon  
4022

Vreeland Mint  
3048

Van Gogh Yellow  
2070

Silverblade  
7048

North Sea Blue  
7025

Moorland Green  
3058

Fieldstone  
6043

Storm Cloud  
7058

Zuider Zee Blue  
4049

Bottle Green  
3022

Brown Café  
6038

Tulip Red  
1001

Summer Sky  
4026

Dutch Door Green  
3015

Gingerbread  
6028

Rembrandt Red  
1002

Delft Blue  
4003

Coach Green  
3088

Dutch Chocolate  
6012

Wine Red  
1088

Navy Blue  
1798

Black  
0029

Espresso  
6084