

1. Viewpack

Documents:

[7 CANNONBURY LANE - NEW DWELLING - OB SUB FOR 10-05-20.PDF](#)
[30 CANNONBURY - NEW DWELLING - OB REV 10-05-20.PDF](#)
[8 CENTER STREET- FOR OB 10-05-20.PDF](#)

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

BFC - EDEN ROSE

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 74 PARCEL N^o: 29
Street & Number of Proposed Work: 7 CANNONBURY LANE
Owner of record: CANNONBURY LANE PARTNERS, LLC
Mailing Address: 105 NEWBURY STREET
BOSTON MA 02116
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: ANDREW KOTCHEN (WORKSHOP/APD)
Mailing Address: PO BOX 521
NANTUCKET, MA 02554
Contact Phone #: 212-273-9712 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 52'-0" Sq. Footage 1st floor: 1380 Decks/Patio: Size: 11'-9" X 24'-0" 1st floor 2nd floor
Width: 39'-6" Sq. footage 2nd floor: 900 Size: 8'-6" X 6'-6" 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 0' South 0' East 0' West 0'
Height of ridge above final finish grade: North 26'-7" South 26'-7" East 26'-7" West 26'-7"

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6" Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) WATER STRUCK Other _____

Roof Pitch: Main Mass 12 /12 Secondary Mass 6 /12 Dormer 5 /12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer ANDERSON Rough Opening _____ Size 2' X 3' Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles NATURAL Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1 X 8 Rake 1 X 4 Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing 1X4 Door Frame 1X4 Columns/Posts: Round _____ Square 8 X 8

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer ANDERSEN

Doors* (type and material): TDL SDL Front CUSTOM (PAINT) Rear FRENCH Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways BLUESTONE Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof NATURAL
Trim WHITE Sash WHITE Doors FRONT - BLUE ; OTHERS - WHITE
Deck 1X4 MAHOGANY Foundation PARGED Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 08/25/2020

Signature of owner of record _____

Signed under penalties of perjury

5. Cannonbury Ln Hold 08-1469	30 Cannonbury Lane	Pool/drivwy/patio	73/23	Ahern, LLC
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver			
Alternates	Welch, Dutra			
Recused	None			
Documentation	Landscape design plans, site plan, photos, and advisory comments			
Representing	Miroslava Ahern, Ahern Design, LLC			
Public	None			
Concerns (5:45)	<p>Ahern – Presented project.</p> <p>Coombs – Appreciates that privet isn’t being overused here.</p> <p>Oliver – This is an example of how pictures of the existing would have helped. No concerns.</p> <p>Camp – Every lot is going to be a house in front with pool in back; the houses should be staggered. She’s not opposed to this but wants to stay away from the “Levittown” approach.</p> <p>McLaughlin – Duplication of structures and pools is inappropriate within an old historic district (OHD). No concerns about the pool.</p>			
Motion	Motion to Approve with the pool not to be visible at time of inspection and thereafter. (Camp)			
Roll-call Vote	Carried 5-0//Oliver, Coombs, McLaughlin, Camp, and Pohl-aye		Certificate #	HDC2020-08-1469

6. Cannonbury Ln Hold 1 08-1581	7 Cannonbury Lane	New dwelling	74/29	Workshop APD
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver			
Alternates	Welch, Dutra			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, and advisory comments			
Representing	Michael Luft-Weissberg, Workshop APD			
Public	None			
Concerns (5:54)	<p>Luft-Weissberg – Presented project; module Eden Rose; white windows and trim with Cortland blue front door. Asserts the top of chimney is 29’7”; the roof is 26’6”.</p> <p>Backus – Read SAB comments: main entry with sidelights too formal; 2nd-floor deck and doors on front inappropriate; where roof meets wall looks truncated.</p> <p>Camp – Okay with the front door sidelights as long as the two bottom panels were wood. Agrees about the 2nd-floor deck and French door is out of place. This design is much more successful for this area. East elevation, the 2nd-floor French door should be a window. Chimneys should be corbelled in.</p> <p>Coombs – This is an improvement. The front door is too formal with the sidelights and triple panels. East elevation, this is 29 feet tall; too many ganged windows – the four ganged should be reduced to 2 windows aligned with the windows above; the triple ganged windows are pinched in and should be reduced to 2 windows. She thought “Sconset was trying to cap heights at 25 feet.</p> <p>Oliver – She likes this a lot; it’s more appropriate. Everyone should drive out there; there is a vast array of designs and sizes. Doesn’t believe Cannonbury will be a cluster of a few designs.</p> <p>McLaughlin – West elevation deck, can’t tell how large it is (68” deep).</p> <p>Pohl – From grade this is 26’7”. Agrees with SAB about the front door; the sidelights should have bottom panels; there is conflicting vocabulary with the cottage style door and sidelights. This design is more sensitive than the prior design.</p>			
Motion	Motion to Hold for revisions. (Camp)			
Roll-call Vote	Carried //Coombs, Oliver, McLaughlin, Camp, and Pohl-aye		Certificate #	

7. Cannonbury Ln Hold 1 08-1568	7 Cannonbury Lane	New garage	74/29	Workshop APD
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver			
Alternates	Welch, Dutra			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, and advisory comments			
Representing	Michael Luft-Weissberg, Workshop APD			
Public	None			
Concerns (6:08)	<p>Luft-Weissberg – Presented project; there is a single model for the garage being offered; colors match the house.</p> <p>Oliver – Pointed out that this is not ‘Sconset OHD; it’s out near the old Navy station.</p> <p>Coombs – This is a nice simple garage.</p> <p>Camp – Though this is outside the ‘Sconset OHD, she likes seeing that vernacular being carried out here.</p>			
Motion	Motion to Approve as submitted. (Camp)			
Roll-call Vote	Carried 5-0//Oliver, Coombs, McLaughlin, Camp, and Pohl-aye		Certificate #	HDC2020-08-1568

BFC EDEN ROSE

BFC

EDEN ROSE

7 CANNONBURY LANE
NANTUCKET MA 02554

OWNER

CANNONBURY LANE PARTNERS, LLC
105 Newbury Street
Boston, MA 02116

ARCHITECT
WORKSHOP/APD

WORKSHOP/APD ARCHITECTURE DPC
39 W 38th Street, 7th Fl, New York, NY 10018
T: (212) 273-9712 info@workshopapd.com

CONTRACTOR

BLUE FLAG CONSTRUCTION, LLC
105 Newbury Street, 4th Fl
Boston, MA 02116
T: (508) 257-1325

STRUCTURAL ENGINEER

CRAFT - ENGINEERING STUDIO
39 West 38th Street, 7th Fl
New York, NY 10018
T: (646) 912-9867

LANDSCAPE ARCHITECT

MIROSLAVA AHERN, LLC
PO Box 2213
Nantucket, MA 02584
T: (508) 333-5138

SURVEYOR

BLACKWELL & ASSOCIATES, INC
20 Teasdale Circle
Nantucket, MA 02554
T: (508) 228-9026

HDC REVISION

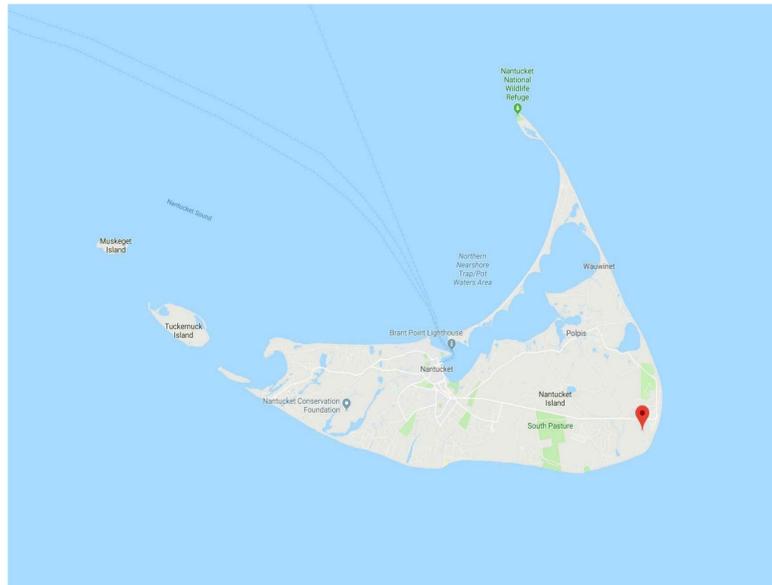
LOT 55

29 SEPTEMBER 2020

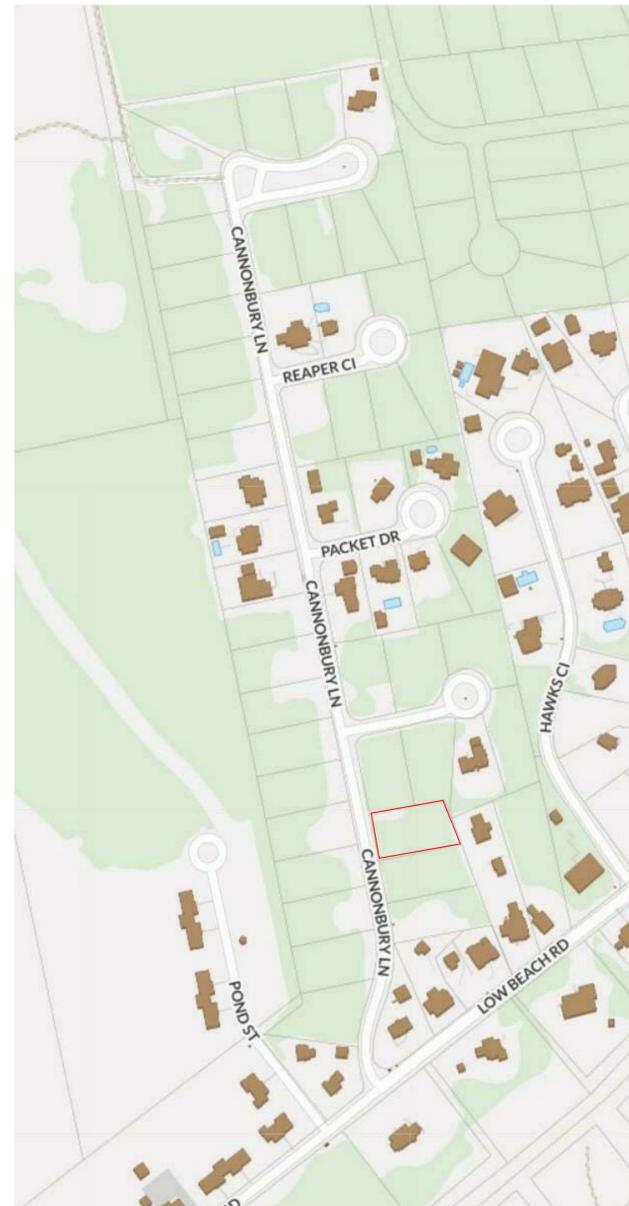
7 CANNONBURY LANE
NANTUCKET MA 02554

PROJECT NO. - 318008

LOCUS PLAN



LOCUS PLAN



NOT TO SCALE

LIST OF DRAWINGS

SHEET NUMBER	TITLE	08/25/2020 HDC SUBMISSION	09/29/2020 HDC REVISION
T-000	TITLE SHEET	•	•
G-102	GENERAL NOTES	•	•
L-100	PROPOSED SITE PLAN	•	•
A-120	FLOOR PLANS	•	•
A-121	FLOOR PLANS	•	•
A-220	ELEVATIONS	•	•

ZONING INFORMATION

Map & Parcel	74/29
Current Zoning	SR-20
Minimum Frontage	75 FT.
Front Setback	30 FT.
Side/Rear Setback	10 FT.
Lot Size	20,436 SF
Min. Lot Size	20,000 SF
Allowable G.C.	12.5 %
Max G.C.	2,554.5 SF
Existing G.C.	--
Proposed G.C. Dwelling	1,380 SF
Proposed G.C. Garage	400 SF
Proposed G.C. Cabana	280 SF
Total G.C.	2,060 SF

WINDOW, DOOR, AND TRIM COLOR

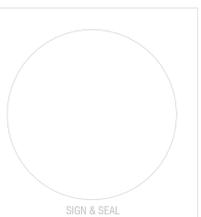
SASH : WHITE
TRIM : WHITE

ALL DESIGNS & SPECS ARE SUBJECT TO
VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION



ISSUES

NO.	DATE	DESCRIPTION
1	08/25/2020	HDC SUBMISSION

CONSTRUCTION DOCUMENTS
DRAWN BY: IZM
CHECKED BY: T.JZ/MLW
DATE: 11/30/15
SCALE:
PROJ. NO. 318008

TITLE SHEET

T-000

GENERAL NOTES:

- DRAWINGS ARE REPRESENTATIVE DOCUMENTS TO FACILITATE CONSTRUCTION. CONTRACTOR SHOULD FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. THE HEIGHTS OF GRADE INDICATED ON DRAWINGS ARE APPROXIMATE AND ARE PROVIDED FOR INFORMATION ONLY. NOTIFY DESIGNER OF ANY ALTERATIONS OR DISCREPANCIES IMMEDIATELY UPON DISCOVERY AND BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF DRAWINGS TO THE SUB-CONTRACTORS UNDER HIS JURISDICTION.
- THE CONTRACTOR IS TO COORDINATE THE WORK OF ALL SUB-CONTRACTORS, INCLUDING THE TIMING AND SCHEDULING OF THEIR WORK AND THE LAYOUT OF THEIR SYSTEMS. THE CONTRACTOR SHALL PROVIDE ALL SUB-CONTRACTORS WITH NECESSARY POWER AND ACCESS AND CONNECTIONS THROUGH FOUNDATION WALLS AS REQUIRED.
- WORKSHOP/APD IS CONTRACTED TO SERVE AS THE OWNERS REPRESENTATIVE DURING CONSTRUCTION. A REPRESENTATIVE OF WORKSHOP/APD SHALL MAKE PERIODIC SITE VISITS TO VERIFY CONSTRUCTION PROGRESS AND WILL REPORT FINDINGS TO THE OWNER AND CONTRACTOR IN THE FORM OF A WRITTEN REPORT. THE CONTRACTOR SHALL PROVIDE FREE ACCESS TO THE WORK TO THE OWNER, ARCHITECT, SUBCONTRACTOR, AND THEIR REPRESENTATIVES AT ALL TIMES.
- THE CONTRACTOR SHALL ACKNOWLEDGE THAT JOB SITES ARE DIFFICULT AND DANGEROUS PLACES TO WORK BY NATURE. AS SUCH, ALL NECESSARY PRECAUTIONS WILL BE TAKEN TO ENSURE THE SAFETY AND GENERAL WELL BEING OF HIS EMPLOYEES. CONTRACTOR SHALL PROVIDE GUARDS, RAILS, BARRICADES, FENCES, CATCH PLATFORMS, BRIDGING, DECKING, NIGHT LIGHTING, ETC. AS REQUIRED. THE USE OF ANY STEREOS AND/OR RADIOS AND THE PRESENCE OF PETS OF ANY KIND ARE PROHIBITED ON THE JOB SITE.
- DRAWINGS SHALL NOT BE SCALED BY HAND. USE ONLY PRINTED DIMENSIONS TO IDENTIFY SIZE AND DIMENSION OF MATERIALS AS SHOWN. CONTACT THE DESIGNER TO VERIFY ANY DIMENSION THAT HAS BEEN OMITTED FROM THESE PLANS.
- CONTRACTOR TO PROVIDE ALL MATERIALS FOR A COMPLETE JOB AS INDICATED IN THE DRAWINGS BOTH GRAPHICALLY AND WRITTEN. IN CASE OF DISCREPANCIES, THE MORE STRINGENT AND/OR COSTLY EXAMPLE SHALL BE ASSUMED. CONSULT DESIGNER IF SUCH A SITUATION OCCURS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO WORKSHOP/APD PRIOR TO PROCEEDING WITH WORK. FOR ALL MATERIALS THAT REQUIRE FABRICATION, WORKSHOP/APD SHALL REVIEW AND RETURN SHOP DRAWINGS TO CONTRACTOR WITHIN A PERIOD OF TEN WORKING DAYS FROM THE DATE OF SUBMITTAL.
- CONTRACTOR SHALL FURNISH SAMPLES OF ALL MATERIALS, AND/OR FINISHES AS SPECIFIED FOR CONSTRUCTION AT THE REQUEST OF THE OWNER OR DESIGNER.
- ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS NOTED OTHERWISE OR AT THE SPECIFIC AUTHORIZATION OF THE OWNER.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE. THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE WORK OR MAKE PARTS FIT TOGETHER PROPERLY, WITHOUT COMPROMISING QUALITY OF WORK.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING AND PROTECTING ALL WORK FROM DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MIS-ALIGNMENT ACCORDING TO APPLICABLE BUILDING CODES AND STANDARDS OF GOOD PRACTICE.
- CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING SYSTEMS AT ALL TIMES FROM THE EFFECTS OF ADVERSE WEATHER (RAIN, SNOW, ETC.) AT NO ADDITIONAL COST TO THE OWNER.
- ALL WORK SHALL BE INSTALLED SO THAT REQUIRED PARTS ARE READILY ACCESSIBLE AND AVAILABLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR.
- CONTRACTOR SHALL MAINTAIN CLEAR AND UNOBSTRUCTED ACCESS FROM ALL FLOORS TO STAIRWELLS AND EXTERIOR EXITS AT ALL TIMES.
- CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
- CONTRACTOR SHALL PROVIDE PROTECTION OF ALL WINDOWS AND DOORS DURING CONSTRUCTION. MEANS OF PROTECTION SHALL NOT BE ATTACHED TO WINDOW AND DOOR FRAMES.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE REQUIRED TO COORDINATE WITH OTHER SUBCONTRACTORS AS NECESSARY, INCLUDING THOSE HIRED UNDER SEPARATE CONTRACT BY THE OWNER. EACH SUBCONTRACTOR SHOULD COMPLETE WORK ON AN EXPEDITED AND REASONABLE SCHEDULE. IN A MANNER THAT DOES NOT DELAY OTHER TRADES AND SUBCONTRACTORS FROM COMPLETION OF WORK.
- ALL NAILS AND FASTENERS IN AREAS PRONE TO MOISTURE SHALL BE "HOT DIPPED GALVANIZED" UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL KEEP SUFFICIENT WORKMAN ON THE JOB SITE AT ALL TIMES TO PERFORM WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTEREST OF THE OWNER.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTION SERVICES OF LOCAL AUTHORITIES OTHER THAN THE ACTUAL BUILDING PERMIT AND HISTORIC DISTRICT COMMISSION APPROVAL, WHICH SHALL BE SECURED BY THE OWNER OR DESIGNER PRIOR TO THE SCHEDULED START DATE. ALL INSPECTIONS, RECORDS AND CERTIFICATE OF OCCUPANCY SHALL BE GIVEN TO THE OWNER AT THE END OF THE JOB. THE JOB SHALL NOT BE CONSIDERED COMPLETE UNTIL THE CERTIFICATE OF OCCUPANCY IS ISSUED.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING, PLUMBING, ELECTRICAL, AND LIFE SAFETY CODES, EVEN WHEN NOT SPECIFIED IN THE DRAWING, NOTES, OR SPECIFICATIONS. IF ANY CODE IS IN CONFLICT WITH THESE, THE CONTRACTOR SHALL REPORT SUCH TO OWA FOR REVISIONS PRIOR TO BIDDING. IN THE EVENT OF CONFLICT BETWEEN APPLICABLE CODES OR REGULATIONS AND REFERENCE STANDARDS OF THESE PLANS AND SPECIFICATION, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES TO ENSURE SAFE DIGGING.
- A REGISTERED SURVEYOR SHALL BE REQUIRED TO SET ALL FOUNDATION CORNERS, ELEVATIONS AND DIMENSIONS ON SITE.
- USE OF THESE DRAWINGS MUST BE IN COMPLIANCE WITH ALL OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.

FOUNDATION NOTES:

- FOUNDATION NOTES ARE APPLICABLE TO ALL CONDITIONS UNLESS OTHERWISE NOTED.
- ALL FOUNDATION WALLS SHALL BE 10" THICK CONCRETE, MINIMUM 3000PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
- FOUNDATION WALLS SHALL BE KEPT INTO FOOTINGS.
- FOOTINGS SHALL BE A MINIMUM OF 1'-0" X 2'-0" W/ WITH 3-#4 CONTINUOUS HORIZONTAL BARS. HORIZONTAL REINFORCING SHALL BE PLACED AT 3" ABOVE BOTTOM OF FOOTING.
- ALL FOOTINGS AND CONCRETE PIERS SHALL EXTEND 4'-0" BELOW GRADE MINIMUM.
- CONCRETE PIERS SHALL HAVE BELL CURE FOOTING. BASE OF BELL SHALL BE 2x TIMES WIDTH OF PIER; DEPTH OF BELL SHALL EQUAL WIDTH OF PIER. TAPER OF BELL SHALL BE 45 DEG. ANGLE MINIMUM.
- ALL PERIMETER FOUNDATION WALLS SHALL HAVE WATERPROOFING APPLIED TO THE EXTERIOR.
- FOUNDATION WALLS SHALL INCORPORATE 16" LONG - 1/2" DIAMETER ANCHOR BOLTS AT 32" O.C. MINIMUM, ON ALL PERIMETER WALLS. A MINIMUM OF WHOBO BOLTS SHALL BE USED AT EACH SILL PLATE. HOLD BOLTS 18" OF CORNERS MINIMUM. APPROVAL OF TOPSOIL REMOVAL SHALL BE IN THE FORM OF EXCHANGE ORDER.
- CONCRETE FLOOR SLABS SHALL BE 4" THICK MINIMUM AND BE REINFORCED WITH WELDED WIRE MESH OR FIBER MESH REINFORCING. REINFORCING SHALL BE PLACED AT THE CENTER OF THE SLAB. FLOOR SLABS SHALL BE POURED OVER 4" GRAVEL BASE AND 6 MIL. POLY-VAPOR BARRIER ON STRUCTURALLY COMPACTED OR UNDISTURBED SOIL.
- CONTRACTOR AND SUBCONTRACTORS SHALL USE CLEAN SAND, WELL GRADED AND FREE FROM ANY DELETERIOUS SUBSTANCES, AND CLEAN WATER, TAKEN FROM A SOURCE SUITABLE FOR DOMESTIC CONSUMPTION.
- FOR ALL BRICK OR STONE FINISHES THE CONTRACTOR SHALL SUBMIT A SAMPLE TO THE DESIGNER FOR APPROVAL PRIOR TO INSTALLATION.
- ANCHORS AND TIES SHALL BE CORROSION PROOF AND GALVANIZED AFTER FABRICATION.
- COLD WEATHER INSTALLATIONS FOR CONCRETE, WHEN AIR TEMPERATURE IS BELOW 40 DEGREES F, REQUIRE APPROVAL BY THE DESIGNER.
- MASONRY WORK SHALL BE PLUMB, TRUE TO LINE, WITH COURSES LEVEL. BUILD IN ALL METAL TIES AND ANCHORS AS WORK PROGRESSES.
- CONCRETE MASONRY UNIT CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING STANDARDS: HOLLOW UNITS - ASTM C-90, SOLID UNITS - ASTM C-145, PORTLAND CEMENT - ASTM C-150, MASONRY CEMENT - ASTM C-91 (NON-STAINING CEMENT SHALL BE USED WHERE NON-STAINING MORTAR IS REQUIRED), HYDRATED LIME - ASTM C-207, 6. C.M.U., BOTH BOTTOM AND ENDS, SHALL BE SET IN A FULL BED OF MORTAR WITH JOINTS OF UNIFORM THICKNESS AND HEAD JOINTS IN ALTERNATE COURSES PLUMB OVER THE ONES BELOW.
- ALL JOINTS SHALL BE TOoled AS SOON AS POSSIBLE AFTER INITIAL SET. FLUSH JOINTS SHALL NOT BE PERMITTED.
- REFER TO DETAILS FOR FURTHER INFORMATION.

PLUMBING/MECHANICAL NOTES:

- STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.
- ALL PLUMBING/MECHANICAL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, BE PERFORMED BY A LICENSED TRADESPERSON, AND BE COMPLETED IN ACCORDANCE WITH THE DIRECTION OF LOCAL BUILDING CODE OFFICIALS. SUBCONTRACTORS AND TRADESPERSONS ARE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS FOR THEIR TRADE, SCHEDULING AND COMPLETING REQUIRED INSPECTIONS AND OPERATING ON A REASONABLE AND EFFICIENT SCHEDULE THAT DOES NOT DELAY THE WORK OF OTHER TRADES.
- ALL MATERIALS SHALL BE SIZED IN ACCORDANCE WITH THE PROPOSED PLANS, ALLOWING FOR FUTURE EXPANSION IF INDICATED. ALL WORK SHALL BE INSTALLED SO THAT REQUIRED PARTS ARE READILY ACCESSIBLE AND AVAILABLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR.
- ALL PRODUCTS, MATERIALS AND FIXTURES SHALL BE INSTALLED IN A MANNER CONSISTENT WITH SOUND PRACTICE AND QUALITY WORKMANSHIP.
- PLUMBING WORK SHALL INCLUDE ALL LABOR AND MATERIALS FOR ALL PIPING, FIXTURES, HOT WATER HEATER, AND SEWER/SEPTIC CONNECTIONS. THIS INCLUDES CONNECTIONS FOR AN ICEMAKER IN THE REFRIGERATOR, THE DISHWASHER, AND WASHING MACHINE AS INDICATED ON PLANS. THE KITCHEN SINK WILL HAVE A GARBAGE DISPOSAL.
- HOT WATER HEATER SHALL BE PROPANE FIRED HOT WATER HEATER, POWER VENTED, 45 GALLON CAPACITY ("SUPER STORE" OR APPROVED EQUIVALENT).
- PLUMBER SHALL FURNISH AND INSTALL 500 GAL. UNDERGROUND PROPANE STORAGE TANK, AND ALL REQUIRED PIPING TO BOILER, CLOTHES DRYER AND KITCHEN RANGE.
- HEATING WORK SHALL INCLUDE ALL LABOR AND MATERIALS, ELECTRICAL/PLUMBING CONNECTIONS, AND INSTALLATION AS THEY OCCUR. DESCRIPTION OF SPECIFIC UNIT SHALL BE PART OF THE BID. STANDARD HEATING UNIT SHALL BE PROPANE FIRED RADIANT HOT WATER BASEBOARD SYSTEM WITH EFFICIENCY RATING OF 94 UNIT IS TO BE SIDEWALL VENTED. UNIT SIZE SHALL BE SIZED TO ACCOMMODATE THE ENTIRE HOUSE AT 70°F AT A 40°F EXTERIOR TEMPERATURE. HEATING SYSTEM SHALL BE CAPABLE OF OPERATING AT PEAK EFFICIENCY AT A TEMPERATURE OF 72°F. HEATING SYSTEM SHALL BE DIVIDED INTO WHO ZONES. THERMOSTATS SHALL BE DIGITAL AND PROGRAMMABLE.
- VENT TO THE EXTERIOR ALL BATHROOMS WHICH DO NOT HAVE OPERABLE WINDOWS.

FRAMING NOTES:

- ALL WOOD FRAMING MEMBERS SHALL BE STRUCTURAL GRADE #2 OR BETTER.
- ALL WOOD SHALL COMPLY WITH THE U.S. DEPARTMENT OF COMMERCE AMERICAN LUMBER STANDARDS SIMPLIFIED PRACTICE AND GRADING REQUIREMENTS OF A RECOGNIZED ASSOCIATION UNDER WHOSE LABEL THE LUMBER IS PRODUCED.
- WOOD SHALL BE FROM LIVE STOCK, THOROUGHLY SEASONED, WELL MANUFACTURED AND GENERALLY FREE FROM WARPAGE THAT CANNOT BE CORRECTED BY BRIDGING OR NAILING.
- MOISTURE CONTENT OF LUMBER SHALL NOT EXCEED 19% AT THE TIME OF CONSTRUCTION.
- ALL PLAN DIMENSIONS ARE TO OUTSIDE OF FRAMING MEMBERS AND CENTERLINE OF OPENINGS. VERIFY ALL ROUGH OPENINGS WITH WINDOW AND DOOR SCHEDULE.
- ALL EXTERIOR WALLS, AND INTERIOR PARTITION WALLS BEHIND TOILETS, SHALL BE 2X6" STUD CONSTRUCTION AT 16" O.C. TYPICAL. ALL OTHER INTERIOR PARTITION WALLS SHALL BE 2X4" STUD CONSTRUCTION AT 16" O.C. TYPICAL. WALLS SHALL HAVE SINGLE SHOE AND DOUBLE TOP PLATE.
- JOIST HANGARS SHALL BE USED AT ALL FLUSH-FRAMED FLOOR JOISTS. JOISTS OVERLAPPING AT A SUPPORTING BEAM, SHALL OVERLAP 3" MINIMUM.
- PROVIDE WOOD BLOCKING OR METAL BRIDGING AT 1/3RD POINTS ON ALL FLOOR JOISTS. BLOCKING SHOULD BE SPACED 4'-0" O.C. MINIMUM AND 8'-0" O.C. MAXIMUM.
- DOUBLE FLOOR JOISTS OR BLOCKING SHALL BE PROVIDED BELOW ALL INTERIOR PARTITION WALLS.
- SIZES OF WOOD MEMBERS ARE NOMINAL SIZES. ALL LUMBER SHALL BE SURFACED ON FOUR SIDES, UNLESS NOTED OTHERWISE.
- STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.
- INSTALL GIRDER MEMBERS WITH JOINTS OVER SUPPORTS, PROVIDE 1/2" AIRSPACE AT ENDS AND SIDES OF GIRDERS FRAMED INTO MASONRY OR CONCRETE. WOOD SHIMS UNDER THE ENDS OF GIRDERS SHALL NOT BE PERMITTED.
- MINIMUM BEARINGS OF JOISTS FRAMED INTO MASONRY SHALL BE 3". JOISTS EXTENDING OVER BEARING PARTITIONS OR BEAMS MAY BE BUTTED AND TIED TOGETHER, OR NAILED TOGETHER WITH A MINIMUM OVERLAP OF 4".
- EXTERIOR AND BEARING WALL CONSTRUCTION SHALL INCLUDE ADEQUATE RESISTANCE TO WRACKING BY THE USE OF CORNER BRACING OR ANCHORAGE OF STRUCTURAL SHEATHING TO PLATES.
- JAMB STUDS, EXTENDING IN ONE PIECE FROM HEADER TO SOLE PLATE, SHALL BE INSTALLED AT ALL WINDOW AND DOOR OPENINGS TO FORM RIGID ENCLOSURE.
- PLYWOOD SHALL COMPLY WITH ALL APPLICABLE STANDARDS OF THE APA (AMERICAN PLYWOOD ASSOCIATION)
- EXTERIOR TYPE HARDWOOD PLYWOOD, "TECHNICAL" OR "TYPE 1", MAY BE USED FOR ANY PART OF THE STRUCTURE.
- STRUCTURAL INTERIOR TYPE, "STRUC-INT.", PLYWOOD MAY BE USED FOR ALL INTERIOR WORK AND EXTERIOR WORK NOT DIRECTLY EXPOSED TO THE WEATHER.
- INTERIOR PLYWOOD, "INT" OR "TYPE 2" MAY BE USED FOR INTERIOR WORK, EXCEPT BATHROOM AND SHOWER ENCLOSURES.
- ROOF SHEATHING: 3/4" EXTERIOR GRADE T&G "TECHNICAL" PLYWOOD NAILED AT 10" O.C. WITH GALVANIZED 10D COMMON NAILS.
- FLOOR SHEATHING: 3/4" STRUCTURAL "STRUCT-INT" PLYWOOD NAILED AT 10" O.C. WITH 10D COMMON NAILS.
- EXTERIOR WALL SHEATHING: 1/2" EXTERIOR GRADE "TECHNICAL" PLYWOOD NAILED AT 6" O.C. WITH GALVANIZED 6D COMMON NAILS.
- ALL OTHER SHEATHING: 1/2" INTERIOR GRADE "INT" PLYWOOD NAILED AT 6" O.C. WITH 6D COMMON NAILS.
- FRAME ALL RAFTERS OPPOSITE EACH OTHER AT RIDGE WITH TIES OR RIDGE BOARD. THE DEPTH OF THE RIDGE BOARD SHALL BE NO LESS THAN THE CUT OF THE RAFTERS.

EXTERIOR FINISH NOTES:

- BUILDING PAPER SHALL BE INSTALLED OVER ALL EXTERIOR SHEATHING TO RESIST MOISTURE AND WIND INFILTRATION. WALLS SHALL HAVE MINIMUM 15# FELT PAPER, ROOFS SHALL HAVE MINIMUM 30# ASPHALT IMPREGNATED FELT PAPER, WITH NOT LESS THAN 4" OVERLAP. FELT SHALL CONTINUE BEHIND ALL EXTERIOR TRIM, DOUBLE AND FOLDED INTO OPENINGS.
- PROMPTLY REMOVE ALL MANUFACTURERS' STICKERS FROM GLASS AFTER INSTALLATION.
- KEEP AREAS TO BE INSULATED CLEAN AND DRY. DO NOT INSTALL INSULATION WHERE IT MAY BE EXPOSED TO WATER. INSTALL AS PER MANUFACTURERS' DIRECTIONS AND WITH A MINIMUM OF 50 TRAFFIC SHALL BE PREVENTED OVER FINISHED SURFACES FOR THE PERIOD OF ONE WEEK.
- EXTERIOR STEPS SHALL BE EQUAL TO DECK CONSTRUCTION, TRIM AND FINISH. RISERS SHALL MATCH TRIM MATERIAL. NOSING SHALL PROJECT 3/4".
- ALL EXTERIOR STEPS SHALL LAND ON TO A 4" CONCRETE PAD SET ON A 4" GRAVEL BASE ON STRUCTURALLY COMPACTED SOIL. PAD SHALL BE 6" WIDER THAN STEPS AND PROJECT FROM LAST RISER 6" TOWARD DECK AND 18" AWAY FROM DECK.
- PORCH CEILINGS SHALL BE 1X8 CEDAR NATURAL TO WEATHER, SQUARE GROOVE.
- PORCH POSTS SHALL BE 4X4 STRUCT. CORE WRAPPED W/ 5 1/4" SQ. NATURAL CEDAR TRIM.
- SIDEWALL SHINGLES SHALL HAVE A MAXIMUM EXPOSURE OF 5", WITH DOUBLED SHINGLES AT ALL EAVES AND STARTER COURSE. BUTTS OF THE SHINGLES SHALL PROJECT 1 1/2" MINIMUM FROM THE EDGE OF THE ROOF EAVES TO ENSURE PROPER SPILLAGE.
- WINDOW CAPS OR TRIM AND ALL OTHER PROJECTIONS AT POINTS WHERE RAIN ACCUMULATES OR RUNS OFF SHALL BE PROVIDED WITH FLASHING. FLASHING FOR RED CEDAR SHINGLES SHALL BE COPPER. SUCH FLASHING SHALL EXTEND A MINIMUM OF 6" UP THE WALL UNDER THE SHEATHING PAPER AND NOT LESS THAN 6" HORIZONTALLY. FLASHING SHALL BE SUFFICIENT LENGTH TO COVER THE COURSE ABOVE WITHOUT BEING PROTECTED BY WALLS.
- A CONTINUOUS RIDGE VENT SHALL BE PROVIDED AT ALL ROOF RIDGES, WHERE REQUIRED. SOFFIT VENTING SHALL BE PROVIDED AS INDICATED ON DETAIL DRAWINGS.
- PROVIDE STEP FLASHING AT ALL CHIMNEY LOCATIONS.
- SIDEWALL SHALL HAVE RED CEDAR SHINGLES. GRADE 8 SHINGLES SHALL BEAR THE OFFICIAL GRADE MARKED LABEL OF THE CEDAR SHINGLE BUREAU.
- CEDAR SHINGLES AND/OR BOARD&BATTEN SHALL HAVE NATURAL FINISH.
- RIDGE VENTS SHALL BE "CORE VENT" OR EQUAL, EXTENDING ALONG ALL RIDGE LINES. TERMINATE RIDGE VENTS 12" FROM END OF RIDGE. COVERED W/SHINGLES.
- EXTERIOR TRIM SHALL BE SPECIFIED AS FOLLOWS:
 - WINDOW AND DOOR JAMBS: 1X6" RED CEDAR WINDOW AND DOOR HEADS: 5/4X4" RED CEDAR, EXTENDED 3/4" BEYOND JAMB CASING. HEADS TO HAVE CONTINUOUS COPPER DRIP CAP.
 - WINDOW SILLS: WHEN NOT WOOD BY MANUFACTURER SHALL BE PRIMED PINE 2X2 W/ 7D TOP BEVEL EXTENDED 3/4" BEYOND JAMB CASING. DOOR/SILLS: INSTALLED BY MANUFACTURER
 - CORNER BOARDS: 6" EA. WY. RED CEDAR (IF APPLICABLE)
 - RAKE BOARDS: 1X8 RED CEDAR
 - FASCIA BOARDS: 1X8 RED CEDAR
 - RAKE/FASCIA TRIM BOARDS: 1X8 RED CEDAR
 - FRIEZE BOARDS TO BE 1X6 BLOCKED OUT 1 1/2" TO ACCOMMODATE SOFFIT VENTING & TOP OF SHINGLES (IF APPLICABLE)
 - ALL TRIM TO BE PAINTED; SEE SCHEDULE
- DOOR AND WINDOW SASHES PAINTED, BLACK
- ALL EXTERIOR TRIM SHALL BE PLANED ON ALL FOUR SIDES AND HAVE SQUARED EDGES.
- WINDOW & DOOR MANUFACTURERS AND SIZES AND HARDWARE SHALL BE SPECIFIED IN DOOR AND WINDOW SCHEDULE.
- INSULATION SHALL BE SPECIFIED AS FOLLOWS:
 - EXTERIOR WALLS: 5" R-21 BATT INSULATION. INSTALL 4 MIL. POLY-VAPOR BARRIER AT INSIDE FACE OF ALL EXTERIOR WALLS.
 - ROOF: 9 1/4" R-38 BATT INSULATION. INSTALL 4 MIL. POLY-VAPOR BARRIER AT INSIDE FACE OF ALL EXTERIOR WALLS
 - INTERIOR WALLS AND CEILINGS: USG 3" TERMAFIBER SOUND ATTENUATION BLANKETS
 - FOUNDATION INSULATION: 4" RIGID INSULATION SECURED TO EXTERIOR FACE OF WALL
 - FIRST FLOOR INSULATION: 9 1/4" R-30 BATT INSULATION
- CAVITIES SHALL SUPPORT PROPER VENTING, INCLUDING THE INSTALLATION OF BAFFLES BETWEEN ALL RAFTERS. KEEP ALL VENTILATION SPACE UNOBSTRUCTED.
- EXTERIOR BRICK SHALL MEET STANDARDS OF THE BRICK INSTITUTE OF AMERICA (BIA) FOR EXTERIOR/SEVERE WEATHER USE.

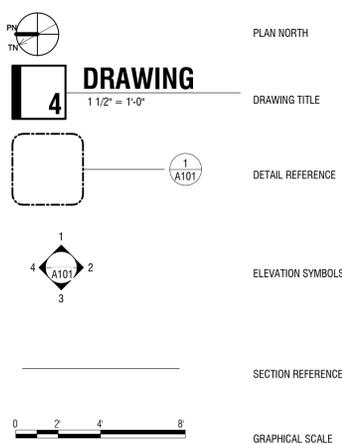
GLAZING NOTES:

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ALL GLAZING (WINDOW, DOOR, OR OTHERWISE) ADJACENT TO A WALKING SURFACE, STAIR, LANDING, TUB OR SHOWER SAFETY LAMINATED GLASS MEETING THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE, NANTUCKET, AND ANY OTHER APPLICABLE LOCAL OR NATIONAL CODE.
- PROVIDE SHOWER ENCLOSURES AS INDICATED ON THE PLANS. GLASS TO BE LOW IRON, CLEAR GLASS.

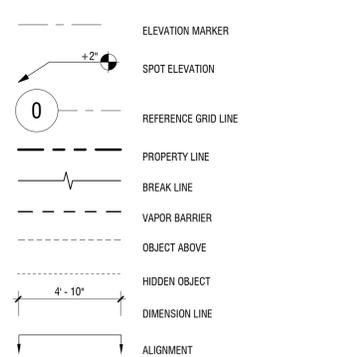
ABBREVIATIONS

ABOVE FINISHED FLOOR	AFF	MATERIAL	MATL.
ACCESS PANEL	A.P.	MAXIMUM	MAX
ACOUSTICAL	ACOUS.	MECHANICAL	MECH.
ADJACENT	ADJ.	METAL	MTL.
AIR CONDITIONING	A/C	MINIMUM	MIN.
ALUMINUM	AL.	MISCELLANEOUS	MISC.
APPROXIMATE	APPROX.	MOLDING	MOLD.
ARCHITECTURAL	ARCH.	MOUNTED	MTD.
BLOCKING	BLKG	MULLION	MUL.
BY OTHER/OWNER	B.O.	NOMINAL	NOM.
CEILING	CLG.	NOT APPLICABLE	N.A.
CEILING HEIGHT	C.H.	NOT IN CONTRACT	N.I.C.
CENTER LINE	CL.	NUMBER	NO.
CERAMIC TILE	C.T.	ON CENTER	O.C.
COLUMN	COL.	OPENING	OPNG
CONCRETE	CONC.	OPPOSITE/OPPOSITE HAND	OPP./OPH
CONSTRUCTION	CONST.	PAINTED	PTD.
CONTINUOUS	CONT.	PARTITION	PARTN.
DETAIL	DTL.	PLASTER	PL
DIMENSION	DIM.	PLASTIC LAMINATE	P.LAM
DOOR	DR.	PLYWOOD	P.WYD., PLY.
DOUBLE	DBL.	QUANTITY	QTY.
DOWN	DN.	RECESSED	REC.
DRAINING	DWG.	REQUIRED	REQD
EACH	EA.	RETURN AIR	R.A.
ELECTRICAL/ELECTRICAL	ELEC.	REVISION/REVISION	REV.
ELEVATION	ELEV.	ROUGH OPENING	R.O.
EMERGENCY	EMER.	SCHEDULE	SCHED.
EQUAL	EQ.	SECTION	SECT.
EQUIPMENT	EQPT.	SHEET	SHT.
EXISTING	EXIST.	SIMILAR	SIM.
EXTERIOR	EXT.	SOLID CORE	SC
FINISH	FIN.	SQUARE FOOT	SQ.FT.
FINISH FLOOR	FIN. FL.	STAINLESS STEEL	S.STL.
FIREPROOF	FFP.	STANDARD	STD.
FLOOR CLOSING	F.C.	STEEL	S.TL.
FLOOR	FL.	STORAGE	STOR.
FLUORESCENT	FLUOR.	TELEPHONE	TEL.
FOUR/FEET	FT.	TO BE DETERMINED	T.B.D.
GLASS	GL.	TYPICAL	TYP.
GRILLE	GRLL.	UNLESS OTHERWISE NOTED	U.O.N.
GROUND FAULT INTER.	GFI.	VERIFY IN FIELD	V.I.F.
GYPSPUM WALLBOARD	GWB	VINYL COMPOSITION TILE	V/VCT
HANDRAIL	HNDRL.	WITH	W/
HARBORBOARD	HDBD.	WITHOUT	W/O
HARDWOOD	HWOD.	WOOD	WD.
HEATING, VENT. & A/C	HVAC		
HOLLOW CORE	HC		
HOLLOW METAL	H.M.		
HORIZONTAL	HORIZ.		
INCHES	IN.		
INSULATION	INSUL.		
JUNCTION BOX	J.B.		
LAMINATE	LAM.		
LOW VOLTAGE	L.V.		

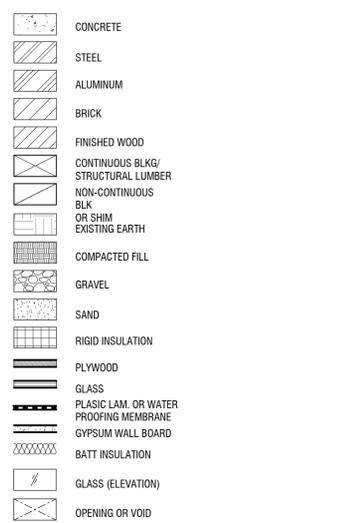
REFERENCE SYMBOLS



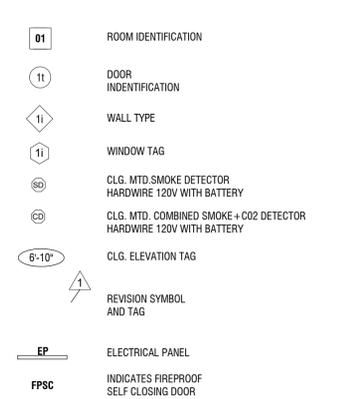
DRAWING SYMBOLS



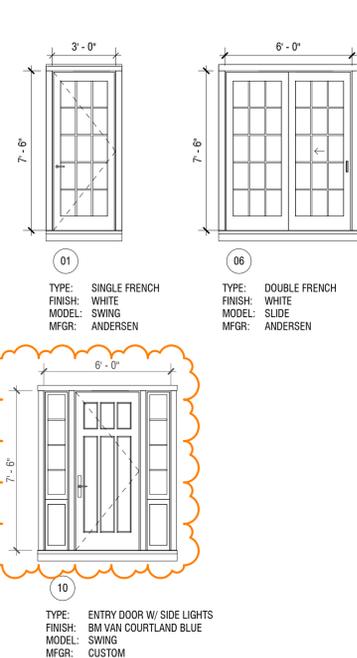
MATERIAL SYMBOLS



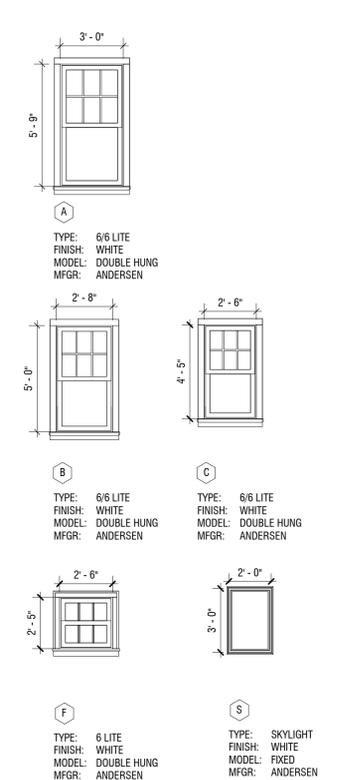
IDENTIFICATION SYMBOLS



DOOR SCHEDULE



WINDOW SCHEDULE



BFC

EDEN ROSE

7 CANNONBURY LANE
NANTUCKET MA 02554

OWNER

CANNONBURY LANE PARTNERS, LLC
105 Newbury Street
Boston, MA 02116

ARCHITECT

WORKSHOP/APD

WORKSHOP/APD ARCHITECTURE DPC
39 W 38th Street, 7th Fl, New York, NY 10018
T: (212) 273-9712 info@workshopapp.com

CONTRACTOR

BLUE FLAG CONSTRUCTION, LLC
105 Newbury Street, 4th Fl
Boston, MA 02116
T: (508) 257-1325

STRUCTURAL ENGINEER

CRAFT - ENGINEERING STUDIO
39 West 38th Street, 7th Fl
New York, NY 10018
T: (646) 912-9867

LANDSCAPE ARCHITECT

MIROSLAVA AHERL, LLC
PO Box 2213
Nantucket, MA 02584
T: (508) 333-5138

SURVEYOR

BLACKWELL & ASSOCIATES, INC
20 Teesdale Circle
Nantucket, MA 02554
T: (508) 228-9026

ALL DESIGNS & SPECS ARE SUBJECT TO
VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NOT FOR CONSTRUCTION



ISSUES

1 08/25/2020 HDC SUBMISSION
2 09/29/2020 HDC SUBMISSION REVISION

DRAWING INFO

CONSTRUCTION DOCUMENTS
DRAWN BY: Author
CHECKED BY: Checker
DATE: 06/29/13
SCALE: 1/4" = 1'-0"
PROJ. NO. 318008

GENERAL NOTES

G-102

ALL DESIGNS & SPECS ARE SUBJECT TO
VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DESCRIPTION

NOT FOR CONSTRUCTION



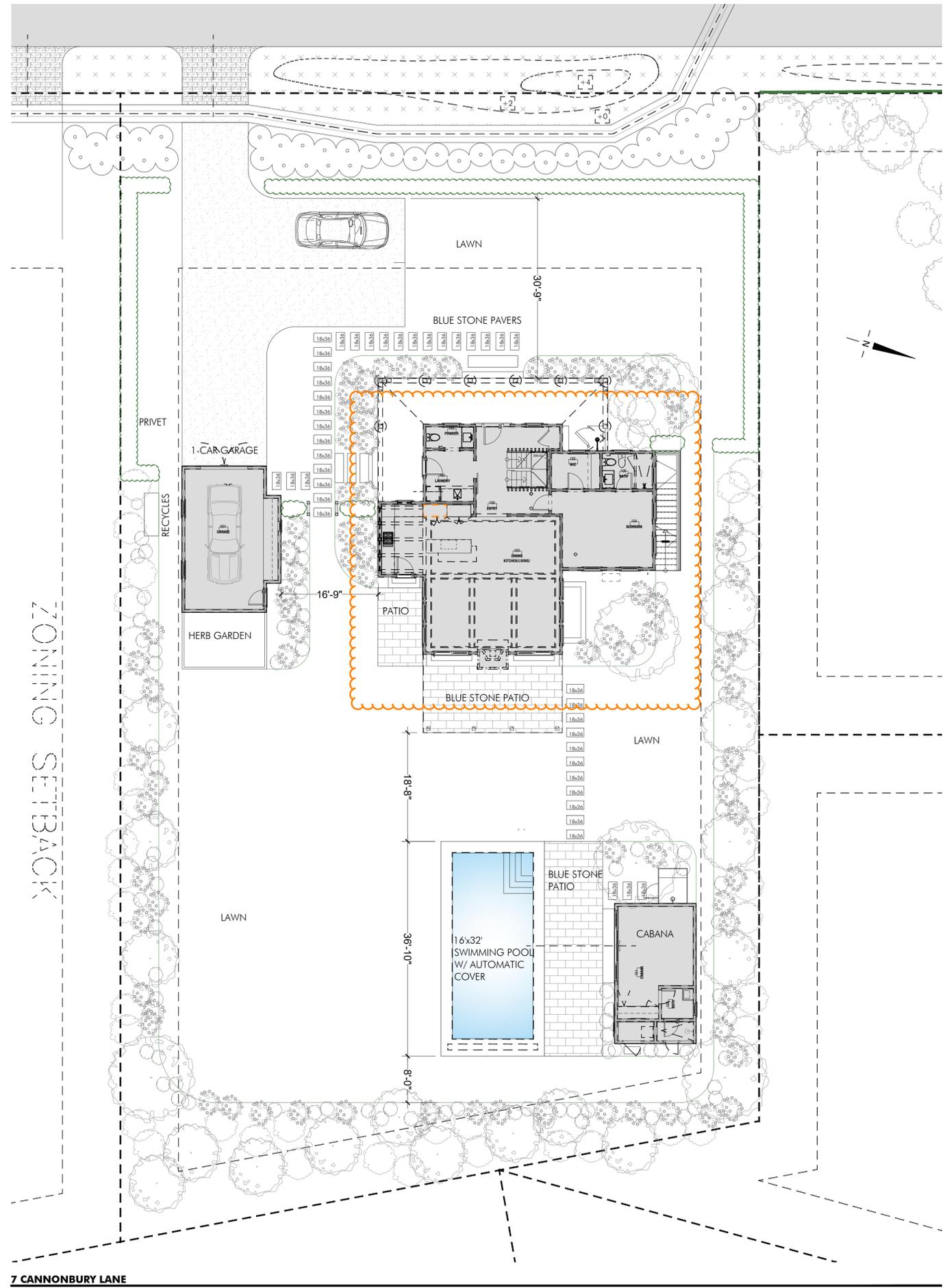
ISSUES

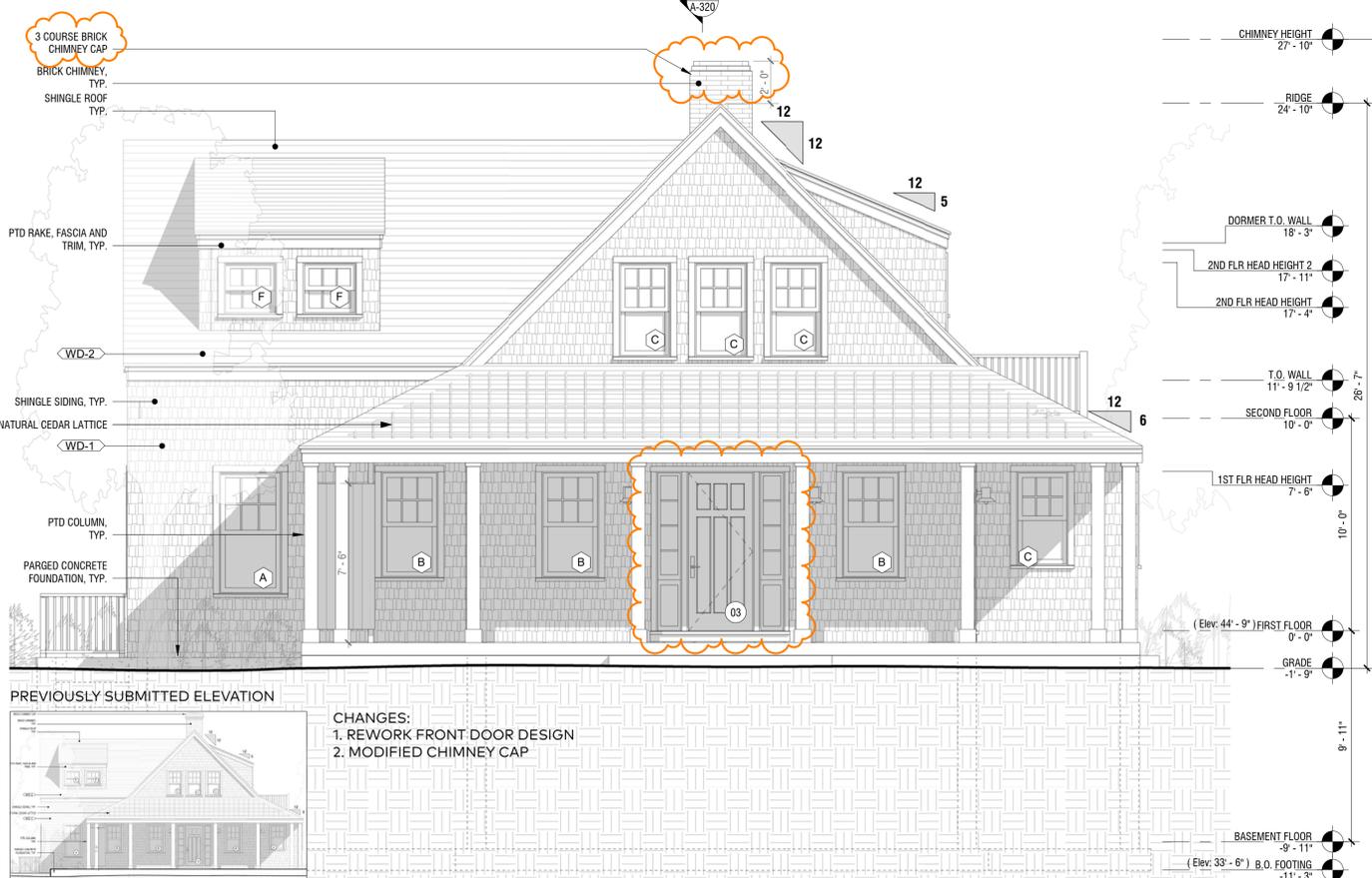
NO.	DATE	DESCRIPTION
1	08/25/2020	HDC SUBMISSION

DRAWING INFO

CONSTRUCTION DOCUMENTS	
DRAWN BY:	MIRKA
CHECKED BY:	MLW
DATE:	03/02/16
SCALE:	
PROJ. NO.	318008

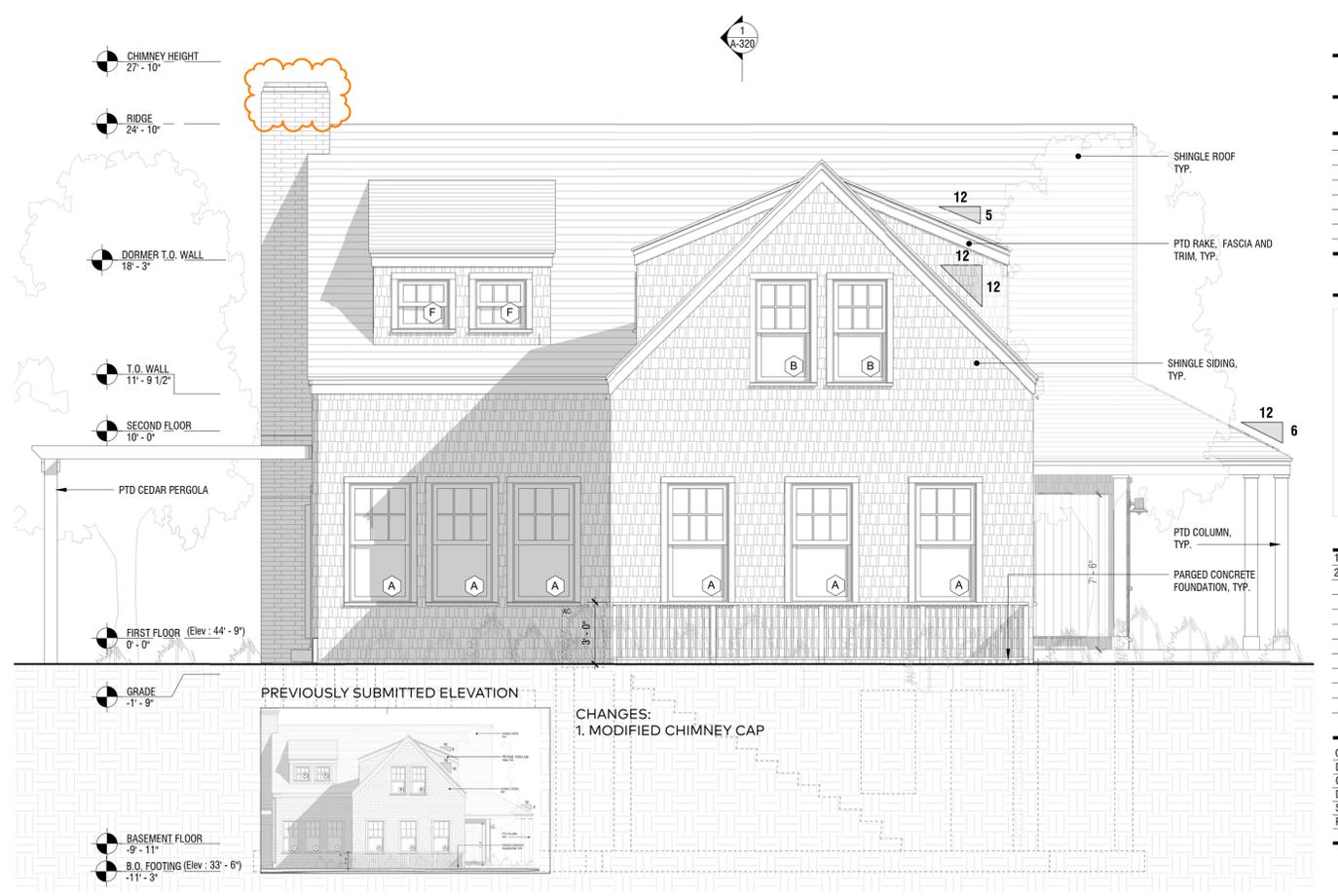
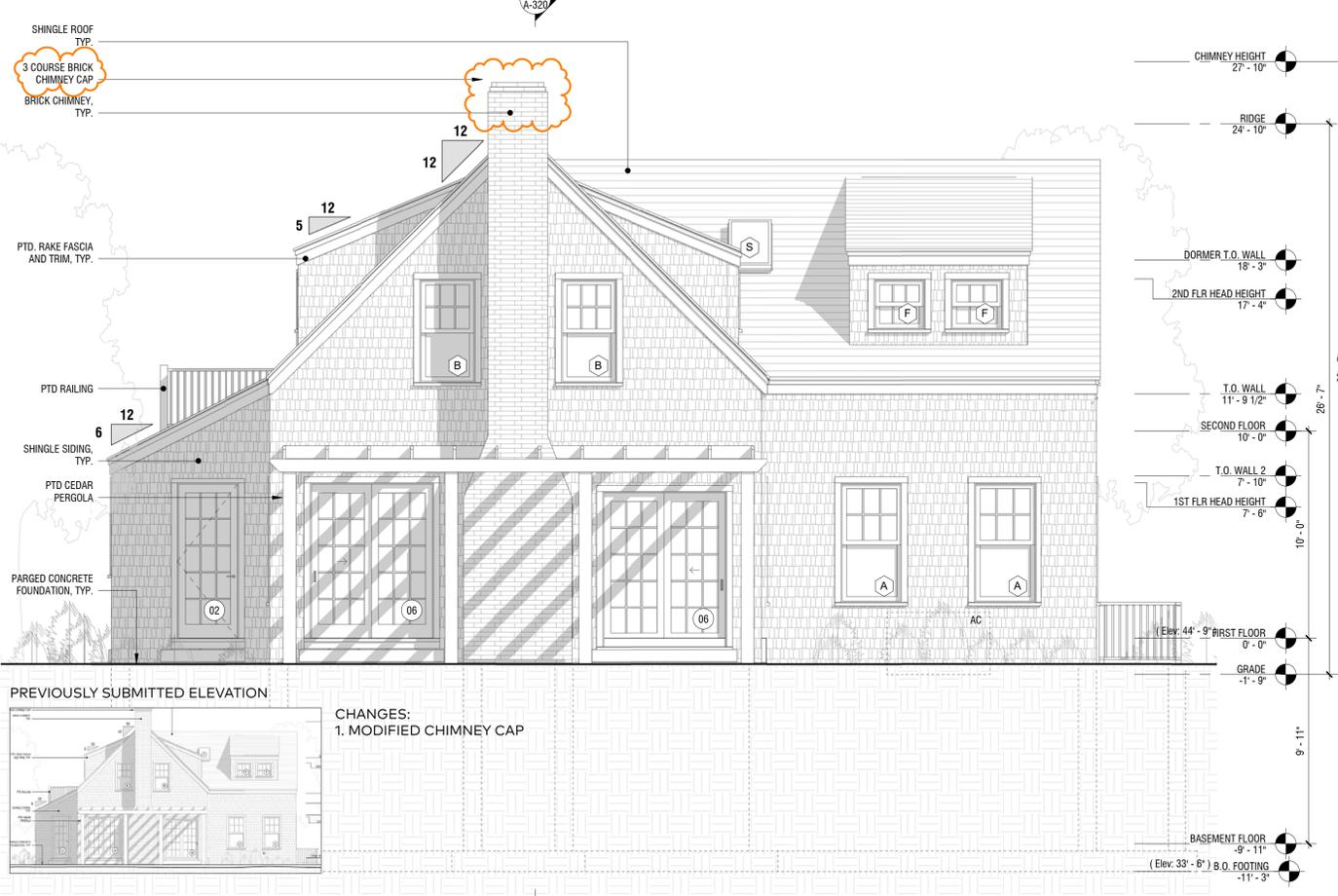
PROPOSED SITE PLAN





1 FRONT ELEVATION - WEST
1/4" = 1'-0"

2 SIDE A ELEVATION - SOUTH
1/4" = 1'-0"



3 BACK ELEVATION - EAST
1/4" = 1'-0"

4 SIDE B ELEVATION - NORTH
1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION



ISSUES

1	08/25/2020	HDC SUBMISSION
2	09/23/2020	HDC SUBMISSION REVISION

DRAWING INFO

CONSTRUCTION DOCUMENTS	MLW/MLW
DRAWN BY:	TJZ/MLW
CHECKED BY:	07/28/15
DATE:	1/4" = 1'-0"
SCALE:	318008
PROJ. NO.:	

ELEVATIONS



1 FRONT ELEVATION
1/4" = 1'-0"



2 SIDE A ELEVATION
1/4" = 1'-0"



3 BACK ELEVATION
1/4" = 1'-0"



4 SIDE B ELEVATION
1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DESCRIPTION

NOT FOR CONSTRUCTION



ISSUES

DATE	DESCRIPTION
08/25/2020	HDC SUBMISSION

DRAWING INFO

CONSTRUCTION DOCUMENTS
DRAWN BY: MLW/MLW
CHECKED BY: TJJ/MLW
DATE: 07/28/15
SCALE: 1/4" = 1'-0"
PROJ. NO.: 318008

ELEVATIONS

ALL DESIGNS & SPECS ARE SUBJECT TO
VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION

NOT FOR CONSTRUCTION



ISSUES

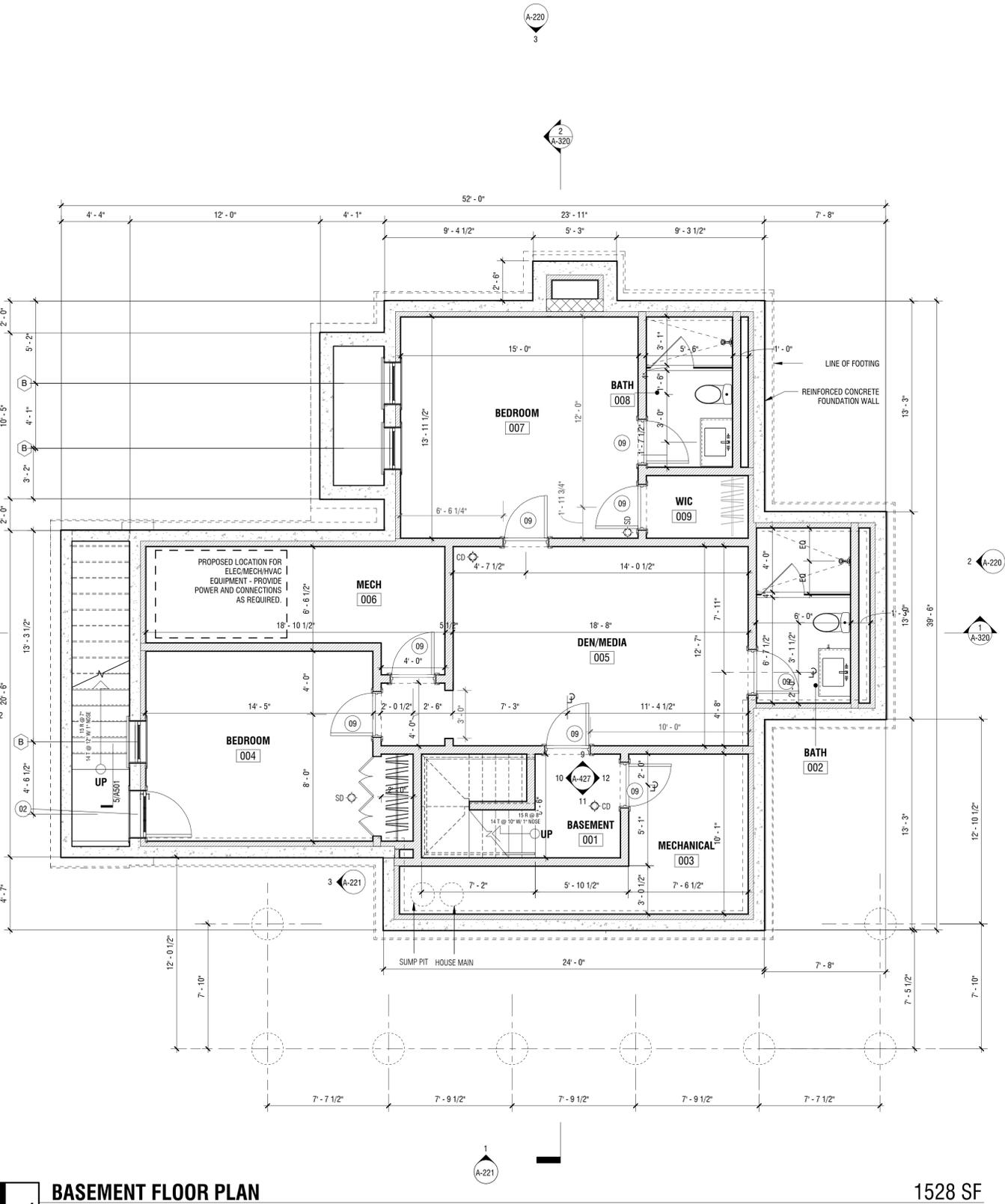
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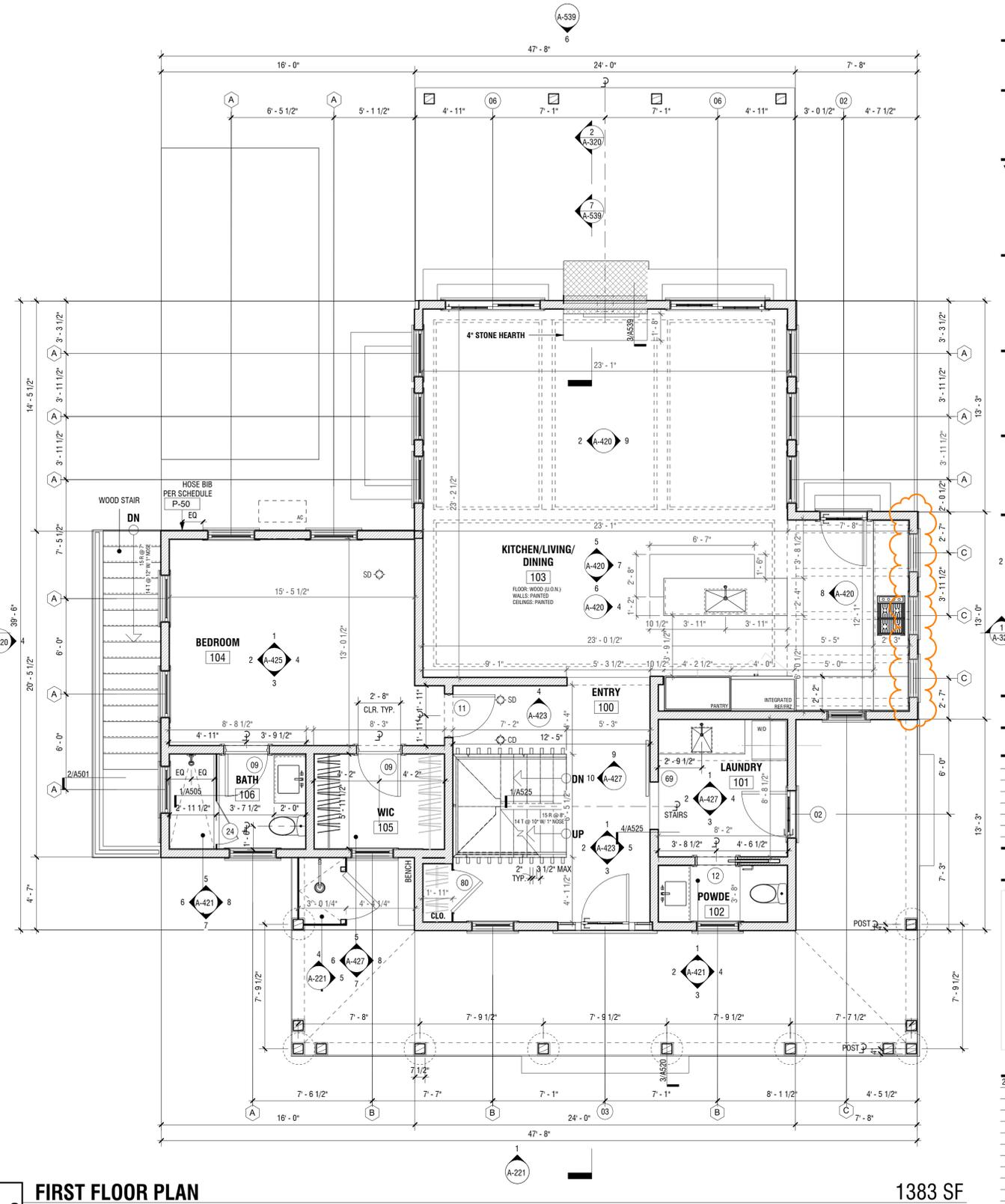
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DRAWN BY:	MLW/MLM
CHECKED BY:	TJZ/MLM
DATE:	01/02/17
SCALE:	1/4" = 1'-0"
PROJ. NO.	318008

FLOOR PLANS

A-120



1 BASEMENT FLOOR PLAN
1/4" = 1'-0" 1528 SF



2 FIRST FLOOR PLAN
1/4" = 1'-0" 1383 SF

ALL DESIGNS & SPECS ARE SUBJECT TO
VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DESCRIPTION

NOT FOR CONSTRUCTION



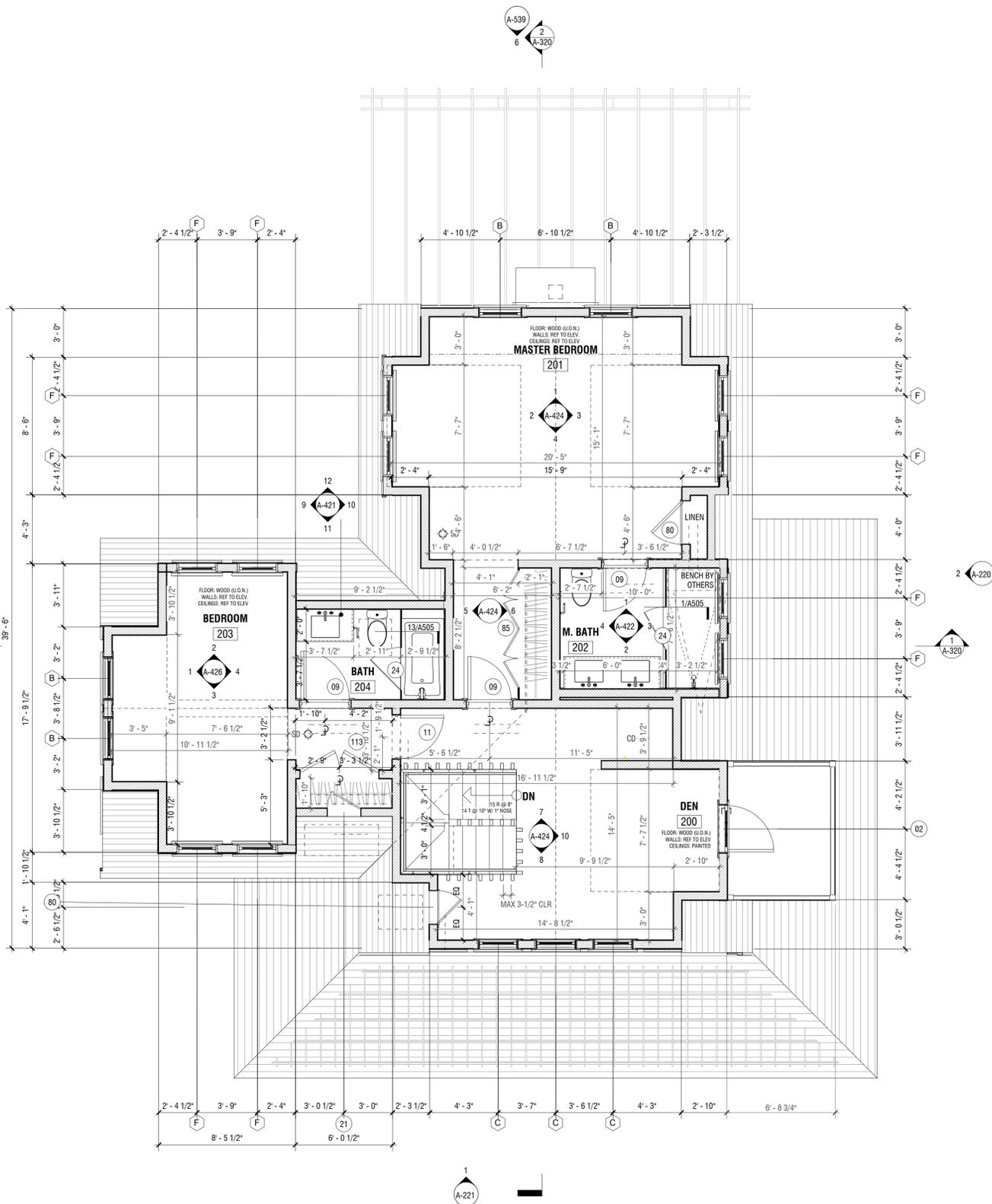
ISSUES

DRAWING INFO

CONSTRUCTION DOCUMENTS
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 CHECKED BY: T.JZ/MLW
 DATE: 09/26/16
 SCALE: 1/4" = 1'-0"
 PROJ. NO. 318008

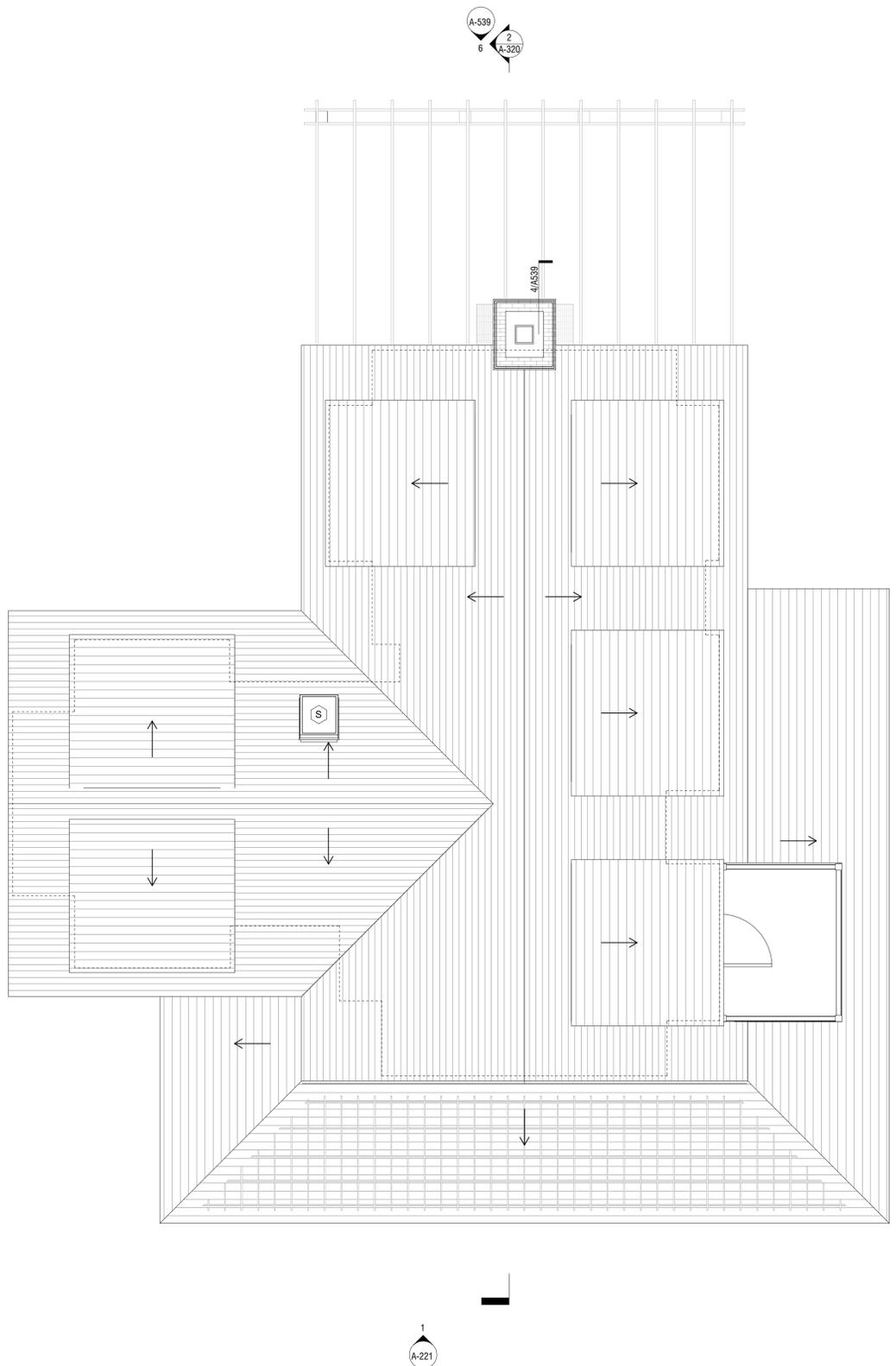
FLOOR PLANS

A-121



1 SECOND FLOOR PLAN
1/4" = 1'-0"

1089 SF



2 ROOF PLAN
1/4" = 1'-0"

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

BFC - Bayberry
30 Cannonburry

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 73 PARCEL N°: 23
Street & Number of Proposed Work: 30 CANNONBURY LANE
Owner of record: CANNONBURY HOLDINGS 1, LLC
Mailing Address: 105 NEWBURY STREET
BOSTON MA 02116
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: ANDREW KOTCHEN (WORKSHOP/APD)
Mailing Address: PO BOX 521
NANTUCKET, MA 02554
Contact Phone #: 212-273-9712 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Landscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 68'-10" Sq. Footage 1st floor: 2,208 Decks/Patio: Size: 19' X 9'-6" 1st floor 2nd floor
Width: 41'-11" Sq. Footage 2nd floor: 1,301 Size: 19' X 4' 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 0' South 0' East 0' West 0'
Height of ridge above final finish grade: North 30' South 30' East 30' West 30'

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6" Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 10 /12 Secondary Mass 4 /12 Dormer _____ /12 Other 5/12

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer N/A Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles NATURAL Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1 x 8 Rake 1 x 4 Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing 1X4 Door Frame 1X4 Columns/Posts: Round _____ Square 8 x 8

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer MARVIN

Doors* (type and material): TDL SDL Front CUSTOM (PAINT) Rear FRENCH Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways BLUESTONE Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) NATURAL Roof NATURAL
Trim QUAKER GREY Sash WHITE Doors WHITE
Deck MAHOGANY Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 08/25/2020 Signature of owner of record _____ Signed under penalties of perjury

2.	2 Old Westmoor Farm LLC 08-1562	2 Old Westmoor Farm Road	New garage with studio	41/820.1	Workshop APD
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver				
Alternates	Welch, Dutra				
Recused	None				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Michael Luft-Weissberg, Workshop APD				
Public	None				
Concerns (5:08)	<p>Luft-Weissberg – Resubmission of an expired approval. Oliver – This is perfectly acceptable and appropriate to the house. Coombs – East elevation, drop the right-hand addition roof a foot so it looks less imposing for a garage. Camp – Agrees with Ms. Coombs. The west elevation doesn't look as vertical as the east. McLaughlin – South elevation, another window would fill the large wall space. Pohl – East elevation looks vertical because it is so narrow.</p>				
Motion	Motion to Approve through staff with a center window added to the south elevation and the side addition roof dropped 6 inches. (Coombs)				
Roll-call Vote	Carried 5-0//Oliver, Camp, McLaughlin, Coombs, and Pohl-aye			Certificate #	HDC2020-08-1562
3.	2 Old Westmoor Farm LLC 08-1571	2 Old Westmoor Farm Road	New cabana	41/820.1	Workshop APD
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver				
Alternates	Welch, Dutra				
Recused	None				
Documentation	Architectural elevation plans, site plan, and photos.				
Representing	Michael Luft-Weissberg, Workshop APD				
Public	None				
Concerns (5:15)	<p>Luft-Weissberg – Presented project. Oliver – Except for the horizontal siding, it's fine. Camp – No concerns; it's not visible. Coombs – The enclosed portion could be shingled to match the house. McLaughlin – Believes hiding pools is an unnecessary expense and questions hiding them; they are what they are. Pohl – This will be natural to weather and he believes will be invisible from the road.</p>				
Motion	Motion to Approve as submitted. (Coombs)				
Roll-call Vote	Carried 5-0//Oliver, McLaughlin, Camp, Coombs, and Pohl-aye			Certificate #	HDC2020-08-1571

4.	Cannonbury Ln Hold 08-1575	30 Cannonbury Lane	New dwelling	73/23	Workshop APD
Voting	Pohl, Coombs, McLaughlin, Camp, Oliver				
Alternates	Welch, Dutra				
Recused	None				
Documentation	Architectural elevation plans, site plan, photos, correspondence, and advisory comments				
Representing	Michael Luft-Weissberg, Workshop APD				
Public	None				
Concerns (5:22)	<p>Backus – Read correspondence from SAB members expressing concern about the overall project and suburbanization of outskirts of Sconset. Read SAB Comments. Luft-Weissberg – Presented project; model Bayberry; the development has 5 model homes, each with a name; natural to weather siding, door & windows white, Quaker grey trim. Camp – In general, she is concerned that the area is naturalistic dune and here is a farmhouse; she would prefer more cottage styles. Agrees this is a suburban treatment. The 2nd-floor over the front porch feels cut off. Coombs – Asked how many houses will be on Cannonbury Land (30). With five models, this will end up looking like a 40B project; that is unacceptable along Low Beach Road. West elevation, the way the chimney is corbelled is not typical to Nantucket and is inappropriate; the sliders are drawn as single pane (those are screen panels); there are different pane patterns. Asked to hold this for a better image. Oliver – With the exception of a few changes, this is okay. They aren't the only ones building houses in Cannonbury; there will be a mix of styles. Front elevation is missing a little roof that connects the 1-story gable. Concerned about clapboard on the middle section. McLaughlin – West elevation, wants to know what's behind the screen panels; tops of the screens shouldn't be rounded. Pohl – The chimney could come down about two feet and still meet code. Scanned images of the plans are very hard to read; should coordinate with staff about getting the actual computer images for screen-sharing at the meetings. Doesn't like clapboard on the center. Like SAB, the 4-panel door should be a 6-panel. Can't picture white door and sash set into grey trim; would prefer all grey.</p>				
Motion	Motion to Hold for revisions. (Coombs)				
Roll-call Vote	Carried 5-0//McLaughlin, Camp, Oliver, Coombs, and Pohl-aye			Certificate #	

BFC

BAYBERRY - LOT 30

HDC REVISION
28 September 2020

30 Cannonbury Lane
Nantucket, MA 02564
PROJECT NO. - 318008

BFC

BAYBERRY

30 Cannonbury Ln
Nantucket, MA 02564

OWNER

CANNONBURY LANE PARTNERS, LLC
105 Newbury Street
Boston, MA 02116

ARCHITECT

WORKSHOP/APD

WORKSHOP/APD ARCHITECTURE DPC
39 West 38th Street, 7th Fl, New York, NY 10018
T: (212) 273-9712 info@workshopapd.com

STRUCTURAL ENGINEER

CRAFT - ENGINEERING STUDIO
39 West 38th Street, 7th Fl
New York, NY 10018
T: (646) 912-9867

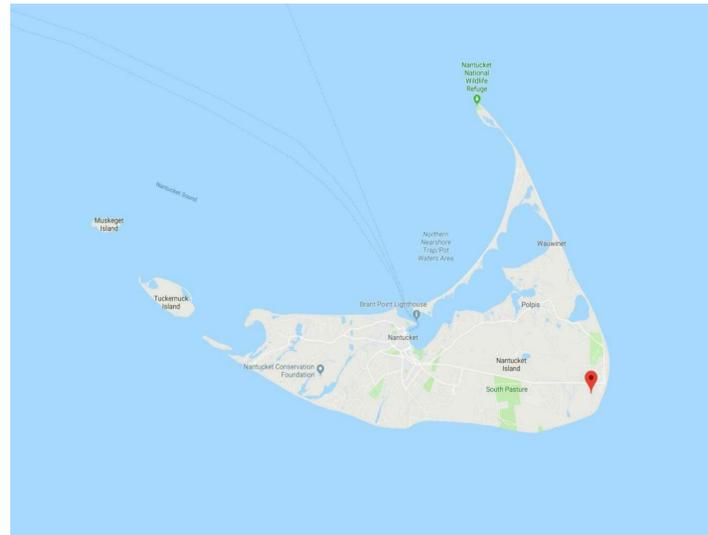
SURVEYOR

GREEN SEAL ENVIRONMENTAL, INC
114 State Road, Building B
Sagamore Beach, MA 02562
T: (508) 888-6034

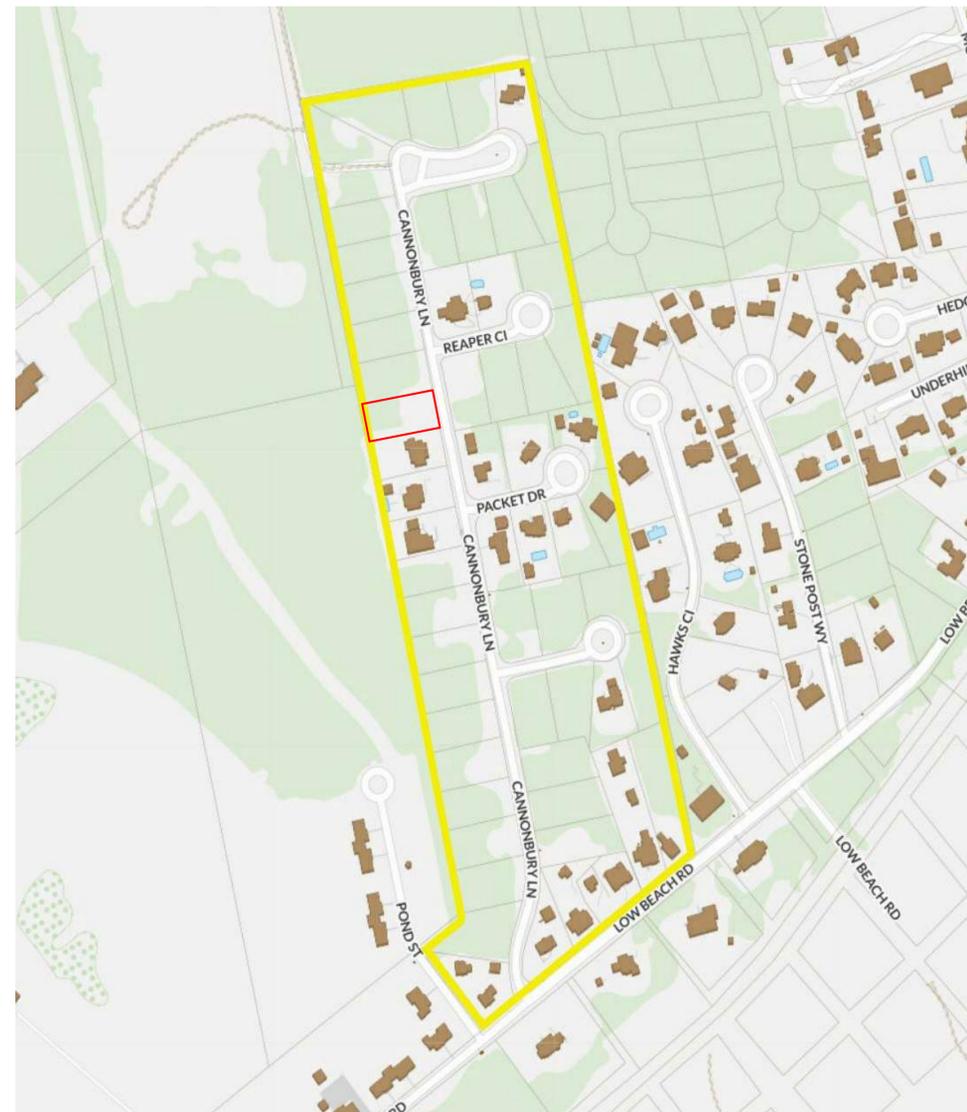
CONTRACTOR

GREY LADY CONSTRUCTION, LLC
105 Newbury Street, 4th Fl
Boston, MA 02116
T: (608) 257-1325

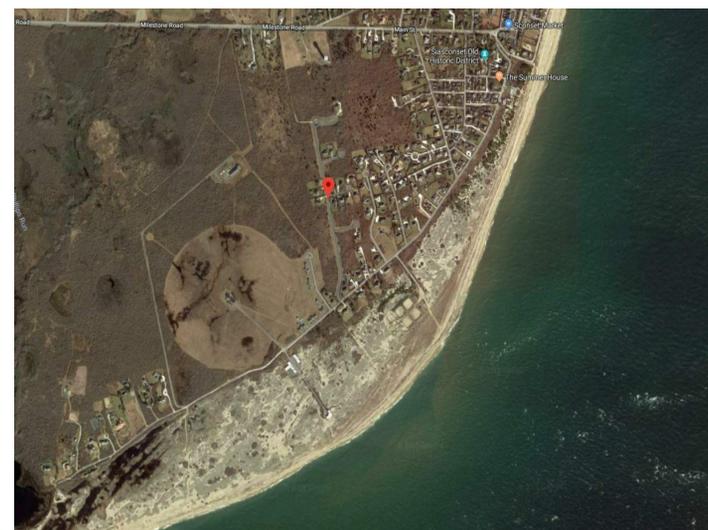
LOCUS PLAN



LOCUS PLAN



NOT TO SCALE



LIST OF DRAWINGS

SHEET LIST - LOT 30			
SHEET NUMBER	TITLE	ISSUE TYPE	
T-000	TITLE SHEET	HDC	•
G-100	GENERAL NOTES	HDC	•
L-100	SITE/LOT PLAN	HDC	•
A-100	BASEMENT PLAN	HDC	•
A-101	FIRST FLOOR PLAN	HDC	•
A-102	SECOND FLOOR PLAN	HDC	•
A-103	ROOF PLAN	HDC	•
A-200	ELEVATIONS	HDC	•
A-201	ELEVATIONS	HDC	•
A-202	ELEVATIONS	HDC	•

PERSPECTIVE



ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

NOT FOR CONSTRUCTION



ISSUES

NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

DRAWING INFO

CONSTRUCTION DOCUMENTS
DRAWN BY: MLW/IZM/JSJ
CHECKED BY: TJZ
DATE: AUGUST 30, 2017
SCALE: AS NOTED
PROJ. NO. BFC - 318008

TITLE SHEET

T-000

HDC APPROVED COLORS

SASH : WHITE
TRIM : QUAKER GREY
FRONT DOOR : NEWPORT BLUE

ZONING INFORMATION

Map & Parcel	73/23
Current Zoning	SR-20
Minimum Frontage	75 FT.
Front Setback	30 FT.
Side/Rear Setback	10 FT.
Lot Size	20,000 SF
Min. Lot Size	20,000 SF
Allowable G.C.	12.5 %
Max G.C.	2,500 SF
Proposed G.C. Dwelling	2,208 SF
Total G.C.	2,208 SF

GENERAL NOTES:

- DRAWINGS ARE REPRESENTATIVE DOCUMENTS TO FACILITATE CONSTRUCTION. CONTRACTOR SHOULD FIELD VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO CONSTRUCTION. THE HEIGHTS OF GRADE INDICATED ON DRAWINGS ARE APPROXIMATE AND ARE PROVIDED FOR INFORMATION ONLY. NOTIFY DESIGNER OF ANY ALTERATIONS OR DISCREPANCIES IMMEDIATELY UPON DISCOVERY AND BEFORE PROCEEDING WITH WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTION OF DRAWINGS TO THE SUB-CONTRACTORS UNDER HIS JURISDICTION.
- THE CONTRACTOR IS TO COORDINATE THE WORK OF ALL SUB-CONTRACTORS, INCLUDING THE TIMING AND SCHEDULING OF THEIR WORK AND THE LAYOUT OF THEIR SYSTEMS. THE CONTRACTOR SHALL PROVIDE ALL SUB-CONTRACTORS WITH NECESSARY POWER AND ACCESS AND CONNECTIONS THROUGH FOUNDATION WALLS AS REQUIRED.
- WORKSHOP/APD IS CONTRACTED TO SERVE AS THE OWNERS REPRESENTATIVE DURING CONSTRUCTION. A REPRESENTATIVE OF WORKSHOP/APD SHALL MAKE PERIODIC SITE VISITS TO VERIFY CONSTRUCTION PROGRESS AND WILL REPORT FINDINGS TO THE OWNER AND CONTRACTOR IN THE FORM OF A WRITTEN REPORT. THE CONTRACTOR SHALL PROVIDE FREE ACCESS TO THE WORK TO THE OWNER, ARCHITECT, SUBCONTRACTOR, AND THEIR REPRESENTATIVES AT ALL TIMES.
- THE CONTRACTOR SHALL ACKNOWLEDGE THAT JOB SITES ARE DIFFICULT AND DANGEROUS PLACES TO WORK BY NATURE. AS SUCH, ALL NECESSARY PRECAUTIONS WILL BE TAKEN TO ENSURE THE SAFETY AND GENERAL WELL BEING OF HIS EMPLOYEES. CONTRACTOR SHALL PROVIDE GUARDS, RAILS, BARRICADES, FENCES, CATCH PLATFORMS, BRIDGING, DECKING, NIGHT LIGHTING, ETC. AS REQUIRED. THE USE OF ANY STEERERS AND/OR RADIOS AND THE PRESENCE OF PETS OF ANY KIND ARE PROHIBITED ON THE JOB SITE.
- DRAWINGS SHALL NOT BE SCALED BY HAND. USE ONLY PRINTED DIMENSIONS TO IDENTIFY SIZE AND DIMENSION OF MATERIALS AS SHOWN. CONTACT THE DESIGNER TO VERIFY ANY DIMENSION THAT HAS BEEN OMITTED FROM THESE PLANS.
- CONTRACTOR TO PROVIDE ALL MATERIALS FOR A COMPLETE JOB AS INDICATED IN THE DRAWINGS BOTH GRAPHICALLY AND WRITTEN. IN CASE OF DISCREPANCIES, THE MORE STRINGENT AND/OR COSTLY EXAMPLE SHALL BE ASSUMED. CONSULT DESIGNER IF SUCH A SITUATION OCCURS.
- SHOP DRAWINGS FOR CONSTRUCTION TO WORKSHOP/APD. PRIOR TO PROCEEDING WITH WORK, FOR ALL MATERIALS THAT REQUIRE FABRICATION, WORKSHOP/APD SHALL REVIEW AND RETURN SHOP DRAWINGS TO CONTRACTOR WITHIN A PERIOD OF TEN WORKING DAYS FROM THE DATE OF SUBMITTAL.
- CONTRACTOR SHALL FURNISH SAMPLES OF ALL MATERIALS, AND/OR FINISHES AS REQUIRED FOR CONSTRUCTION TO THE OWNER OR DESIGNER.
- ALL MATERIALS SHALL BE NEW, UNUSED, AND OF THE HIGHEST QUALITY IN EVERY RESPECT UNLESS NOTED OTHERWISE OR AT THE SPECIFIC AUTHORIZATION OF THE OWNER.
- ALL WORK SHALL BE ERRECTED AND INSTALLED PLUMB, LEVEL, SQUARE AND TRUE. THE CONTRACTOR SHALL PERFORM ALL CUTTING AND PATCHING REQUIRED TO COMPLETE WORK OR MAKE PARTS FIT TOGETHER PROPERLY, WITHOUT COMPROMISING QUALITY OF WORK.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING AND PROTECTING ALL WORK FROM DAMAGE, BREAKAGE, COLLAPSE, DISTORTIONS AND MIS-ALIGNMENT ACCORDING TO APPLICABLE BUILDING CODES AND STANDARDS OF GOOD PRACTICE.
- CONTRACTOR SHALL MAINTAIN AND PROTECT ALL EXISTING SYSTEMS AT ALL TIMES FROM THE EFFECTS OF ADVERSE WEATHER (RAIN, SNOW, COLD, ETC.) AT NO ADDITIONAL COST TO THE OWNER.
- ALL WORK SHALL BE INSTALLED SO THAT REQUIRED PARTS ARE READILY ACCESSIBLE AND AVAILABLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR.
- CONTRACTOR SHALL MAINTAIN CLEAR AND UNOBSTRUCTED ACCESS FROM ALL FLOORS TO STAIRWELLS AND EXTERIOR EXITS AT ALL TIMES.
- CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR PROTECTING ALL DANGEROUS AREAS FROM ENTRY BY UNAUTHORIZED PARTIES.
- CONTRACTOR SHALL PROVIDE PROTECTION OF ALL WINDOWS AND DOORS DURING CONSTRUCTION. MEANS OF PROTECTION SHALL NOT BE ATTACHED TOWARD AND DOOR FRAMES.
- THE CONTRACTOR AND EACH SUBCONTRACTOR SHALL BE REQUIRED TO COORDINATE WITH OTHER SUBCONTRACTORS AS NECESSARY, INCLUDING THOSE HIRED UNDER SEPARATE CONTRACT BY THE OWNER. EACH SUBCONTRACTOR SHOULD COMPLETE WORK ON AN EXPEDITED AND REASONABLE SCHEDULE, IN A MANNER THAT DOES NOT DELAY OTHER TRADES AND SUBCONTRACTORS FROM COMPLETION OF WORK.
- ALL NAILS AND FASTENERS IN AREAS PRONE TO MOISTURE SHALL BE "HOT DIPPED GALVANIZED" UNLESS NOTED OTHERWISE.
- THE CONTRACTOR SHALL KEEP SUFFICIENT WORKMAN ON THE JOB SITE AT ALL TIMES TO PERFORM WORK IN THE MOST EXPEDITIOUS MANNER CONSISTENT WITH GOOD WORKMANSHIP, SOUND BUSINESS PRACTICE AND IN THE BEST INTEREST OF THE OWNER.
- THE CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS AND INSPECTION SERVICES OF LOCAL AUTHORITIES OTHER THAN THE ACTUAL BUILDING PERMIT AND HISTORIC DISTRICT COMMISSION APPROVAL, WHICH SHALL BE SECURED BY THE OWNER OR DESIGNER PRIOR TO THE SCHEDULED START DATE. ALL INSPECTIONS, RECORDS AND CERTIFICATE OF OCCUPANCY SHALL BE GIVEN TO THE OWNER AT THE END OF THE JOB. THE JOB SHALL NOT BE CONSIDERED COMPLETE UNTIL THE CERTIFICATE OF OCCUPANCY IS ISSUED.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE NATIONAL, STATE AND LOCAL BUILDING, PLUMBING, ELECTRICAL, AND LIFE SAFETY CODES, EVEN WHEN NOT SPECIFIED IN THE DRAWING, NOTES, OR SPECIFICATIONS. IF ANY CODE IS IN CONFLICT WITH THESE, THE CONTRACTOR SHALL REPORT SUCH TO OWA FOR REVISIONS PRIOR TO BIDDING. IN THE EVENT OF CONFLICT BETWEEN APPLICABLE CODES OR REGULATIONS AND REFERENCE STANDARDS OF THESE PLANS AND SPECIFICATION, THE MORE STRINGENT PROVISIONS SHALL GOVERN.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING UTILITY COMPANIES TO ENSURE SAFE DIGGING.
- A REGISTERED SURVEYOR SHALL BE REQUIRED TO SET ALL FOUNDATION CORNERS, ELEVATIONS AND DIMENSIONS ON SITE.
- USE OF THESE DRAWINGS MUST BE IN COMPLIANCE WITH ALL OCCUPATIONAL SAFETY & HEALTH ADMINISTRATION (OSHA) REQUIREMENTS.

FOUNDATION NOTES:

- FOUNDATION NOTES ARE APPLICABLE TO ALL CONDITIONS UNLESS OTHERWISE NOTED.
- ALL FOUNDATION WALLS SHALL BE 10" THICK CONCRETE, MINIMUM 3000PSI AT 28 DAYS, UNLESS OTHERWISE NOTED.
- FOUNDATION WALLS SHALL BE KEPT FLO TO FOOTINGS.
- FOOTINGS SHALL BE A MINIMUM OF 1'-0" X 2'-0" W/ WITH 3-#4 CONTINUOUS HORIZONTAL BARS. HORIZONTAL REINFORCING SHALL BE PLACED AT 3" ABOVE BOTTOM OF FOOTING.
- ALL FOOTINGS AND CONCRETE PIERS SHALL EXTEND 4'-0" BELOW GRADE MINIMUM.
- CONCRETE SHALL HAVE BELL CAST FOOTING. BASE OF BELL SHALL BE 3 TIMES WIDTH OF PIER; DEPTH OF BELL SHALL EQUAL WIDTH OF PIER. TAPER OF BELL SHALL BE 45 DEG. ANGLE MINIMUM.
- ALL PERIMETER FOUNDATION WALLS SHALL HAVE WATERPROOFING APPLIED TO THE EXTERIOR.
- FOUNDATION WALLS SHALL INCORPORATE 16" LONG - 1/2" DIAMETER ANCHOR BOLTS AT 32" O.C. MINIMUM, ON ALL PERIMETER WALLS. A MINIMUM OF WHO BO BOLTS SHALL BE USED AT EACH SILL PLATE. HOLD BOLTS 18" OFF CORNERS MINIMUM. APPROVAL OF TOPSOIL REMOVAL SHALL BE IN THE FORM OF A CHANGE ORDER.
- CONCRETE FLOOR SLABS SHALL BE 4" THICK MINIMUM AND BE REINFORCED WITH WELDED WIRE MESH OR FIBER MESH REINFORCING. REINFORCING SHALL BE PLACED AT THE CENTER OF THE SLAB. FLOOR SLABS SHALL BE POURED OVER 4" GRAVEL BASE AND 6 MIL. POLY-VAPOR BARRIER ON STRUCTURALLY COMPACTED OR UNDISTURBED SOIL.
- CONTRACTOR AND SUBCONTRACTORS SHALL USE CLEAN SAND, WELL GRADED AND FREE FROM ANY DELETERIOUS SUBSTANCES, AND CLEAN WATER, TAKEN FROM A SOURCE SUITABLE FOR DOMESTIC CONSUMPTION.
- FOR ALL BRICK OR STONE FINISHES THE CONTRACTOR SHALL SUBMIT A SAMPLE TO THE DESIGNER FOR APPROVAL. PRIOR TO INSTALLATION.
- ANCHORS AND TIES SHALL BE CORROSION PROOF AND GALVANIZED AFTER FABRICATION.
- COLD WEATHER INSTALLATIONS FOR CONCRETE, WHEN AIR TEMPERATURE IS BELOW 40 DEGREES F, REQUIRE APPROVAL BY THE DESIGNER.
- MASONRY WORK SHALL BE PLUMB, TRUE TO LINE, WITH COURSES LEVEL. BUILD IN ALL METAL TIES AND ANCHORS AS WORK PROGRESSES.
- CONCRETE MASONRY UNIT CONSTRUCTION SHALL COMPLY WITH THE FOLLOWING STANDARDS: HOLLOW UNITS - ASTM C-90, SOLID UNITS - ASTM C-145, PORTLAND CEMENT - ASTM C-150, MASONRY CEMENT - ASTM C-91 (NON-STAINING CEMENT SHALL BE USED FOR NON-STAINING MORTAR IS REQUIRED), HYDRATED LIME - ASTM C-207, 6. C.M.U., BOTH BOTTOM AND ENDS, SHALL BE SET IN A FULL BED OF MORTAR WITH JOINTS OF UNIFORM THICKNESS AND HEAD JOINTS IN ALTERNATE COURSES PLUMB OVER THE ONES BELOW.
- ALL JOINTS SHALL BE TOoled AS SOON AS POSSIBLE AFTER INITIAL SET. FLUSH JOINTS SHALL NOT BE PERMITTED.
- REFER TO DETAILS FOR FURTHER INFORMATION.

PLUMBING/MECHANICAL NOTES:

- STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.
- ALL PLUMBING/MECHANICAL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, BE PERFORMED BY A LICENSED TRADESPERSON, AND BE COMPLETED IN ACCORDANCE WITH THE DIRECTION OF LOCAL BUILDING CODE OFFICIALS. SUBCONTRACTORS AND TRADESPERSONS ARE RESPONSIBLE FOR OBTAINING REQUIRED PERMITS FOR THEIR TRADE, SCHEDULING AND COMPLETING REQUIRED INSPECTIONS AND OPERATING ON A REASONABLE AND EFFICIENT SCHEDULE THAT DOES NOT DELAY THE WORK OR OTHER TRADES.
- ALL MATERIALS SHALL BE SIZED IN ACCORDANCE WITH THE PROPOSED PLANS, ALLOWING FOR FUTURE EXPANSION IF INDICATED. ALL WORK SHALL BE INSTALLED SO THAT REQUIRED PARTS ARE READILY ACCESSIBLE AND AVAILABLE FOR INSPECTION, OPERATION, MAINTENANCE AND REPAIR.
- ALL PRODUCTS, MATERIALS AND FIXTURES SHALL BE INSTALLED IN A MANNER CONSISTENT WITH SOUND PRACTICE AND QUALITY WORKMANSHIP.
- PLUMBING WORK SHALL INCLUDE ALL LABOR AND MATERIALS FOR ALL PIPING, FIXTURES, HOT WATER HEATER, AND SEWER/SEPTIC CONNECTIONS. THIS INCLUDES CONNECTIONS FOR AN ICEMAKER IN THE REFRIGERATOR, THE DISHWASHER, AND WASHING MACHINE AS INDICATED ON PLANS. THE KITCHEN SINK WILL HAVE A GARBAGE DISPOSAL.
- HOT WATER HEATER SHALL BE PROPANE FIRED HOT WATER HEATER, POWER VENTED, 45 GALLON CAPACITY (SUPER STORE) OR APPROVED EQUIVALENT).
- PLUMBER SHALL FURNISH AND INSTALL 500 GAL. UNDERGROUND PROPANE STORAGE TANK, AND ALL REQUIRED PIPING TO BOILER, CLOTHES DRYER AND KITCHEN RANGE.
- HEATING WORK SHALL INCLUDE ALL LABOR AND MATERIALS, ELECTRICAL/PLUMBING CONNECTIONS, AND INSTALLATION AS THEY OCCUR. DESCRIPTION OF SPECIFIC UNIT SHALL BE PART OF THE BID. STANDARD HEATING UNIT SHALL BE PROPANE FIRED RADIANT HOT WATER BASEBOARD SYSTEM WITH EFFICIENCY RATINGS OF 94 UNIT IS TO BE SIDEWALL VENTED. UNIT SIZE SHALL BE SIZED TO ACCOMMODATE THE ENTIRE HOUSE AT 70°F AT A 10°F EXTENDED TEMPERATURE. HEATING SYSTEM SHALL BE CAPABLE OF OPERATING AT PEAK EFFECENCY AT A TEMPERATURE OF 72°F. HEATING SYSTEM SHALL BE DIVIDED INTO WHO ZONES. THERMOSTATS SHALL BE DIGITAL AND PROGRAMMABLE.
- VENT TO THE EXTERIOR ALL BATHROOMS WHICH DO NOT HAVE OPERABLE WINDOWS.

FRAMING NOTES:

- ALL WOOD FRAMING MEMBERS SHALL BE STRUCTURAL GRADE #2 OR BETTER.
- ALL WOOD SHALL COMPLY WITH THE U.S. DEPARTMENT OF COMMERCE AMERICAN LUMBER STANDARDS SIMPLIFIED PRACTICE AND GRADING REQUIREMENTS OF A RECOGNIZED ASSOCIATION UNDER WHOSE RULES THE LUMBER IS PRODUCED.
- WOOD SHALL BE FROM LIVE STOCK, THOROUGHLY SEASONED, WELL MANUFACTURED AND GENERALLY FREE FROM WARPAGE THAT CANNOT BE CORRECTED BY BRIDGING OR NAILING.
- MOISTURE CONTENT OF LUMBER SHALL NOT EXCEED 19 % AT THE TIME OF CONSTRUCTION.
- ALL PLAN DIMENSIONS ARE TO OUTSIDE OF FRAMING MEMBERS AND CENTERLINE OF OPENINGS. EXCEPT ALL ROUGH OPENINGS WITH WINDOW AND DOOR SCHEDULE.
- ALL EXTERIOR WALLS, AND INTERIOR PARTITION WALLS BEHIND TOILETS, SHALL BE 2X8" STUD CONSTRUCTION AT 16" O.C. TYPICAL. ALL OTHER INTERIOR PARTITION WALLS SHALL BE 2X4" STUD CONSTRUCTION AT 16" O.C. TYPICAL. WALLS SHALL HAVE SINGLE SHOE AND DOUBLE TOP PLATE.
- JOIST HANGARS SHALL BE USED AT ALL FLUSH-FRAMED FLOOR JOISTS. JOISTS OVERLAPPING AT A SUPPORTING BEAM, SHALL OVERLAP 3" MINIMUM.
- PROVIDE WOOD BLOCKING OR METAL BRIDGING AT 1/3RD POINTS ON ALL FLOOR JOISTS. BLOCKING SHOULD BE SPACED 4'-0" O.C. MINIMUM AND 8'-0" O.C. MAXIMUM.
- DOUBLE FLOOR JOISTS OR BLOCKING SHALL BE PROVIDED BELOW ALL INTERIOR PARTITION WALLS.
- SIZES OF WOOD MEMBERS ARE NOMINAL SIZES. ALL LUMBER SHALL BE SURFACED ON FOUR SIDES, UNLESS NOTED OTHERWISE.
- STRUCTURAL MEMBERS SHALL NOT BE IMPAIRED OR UNDERMINED BY IMPROPER CUTTING OR DRILLING.
- INSTALL GIRDER MEMBERS WITH JOINTS OVER SUPPORTS, PROVIDE 1/2" AIRSPACE AT ENDS AND SIDES OF GIRDERS FRAMED INTO MASONRY OR CONCRETE. WOOD SHIMS UNDER THE ENDS OF GIRDERS SHALL NOT BE PERMITTED.
- MINIMUM BEARINGS OF JOISTS FRAMED INTO MASONRY SHALL BE 3".
- JOISTS EXTENDING OVER BEARING PARTITIONS OR BEAMS MAY BE BUTTED AND TIED TOGETHER, OR NAILED TOGETHER WITH A MINIMUM OVERLAP OF 4".
- EXTERIOR AND BEARING WALL CONSTRUCTION SHALL INCLUDE ADEQUATE RESISTANCE TO WRAPPING BY THE USE OF CORNER BRACING OR ANCHORAGE OF STRUCTURAL SHEATHING TO PLATES.
- JAMB STUDS, EXTENDING IN ONE PIECE FROM HEADER TO SOLE PLATE, SHALL BE INSTALLED AT ALL WINDOW AND DOOR OPENINGS TO FORM RIGID ENCLOSURE.
- PLYWOOD SHALL COMPLY WITH ALL APPLICABLE STANDARDS OF THE APA (AMERICAN PLYWOOD ASSOCIATION)
- EXTERIOR TYPE HARDWOOD PLYWOOD, "TECHNICAL" OR "TYPE 1", MAY BE USED FOR ANY PART OF THE STRUCTURE.
- STRUCTURAL INTERIOR TYPE, "STRUC-INT.", PLYWOOD MAY BE USED FOR ALL INTERIOR WORK AND EXTERIOR WORK NOT DIRECTLY EXPOSED TO THE WEATHER.
- INTERIOR PLYWOOD, "INT" OR "TYPE 2" MAY BE USED FOR INTERIOR WORK, EXCEPT BATHROOM AND SHOWER ENCLOSURES.
- ROOF SHEATHING: 3/4" EXTERIOR GRADE T&G "TECHNICAL" PLYWOOD NAILED AT 10" O.C. WITH GALVANIZED 10D COMMON NAILS.
- FLOOR SHEATHING: 3/4" STRUCTURAL "STRUCT-INT" PLYWOOD NAILED AT 10" O.C. WITH 10D COMMON NAILS.
- FLOOR SHEATHING: 1/2" EXTERIOR GRADE "TECHNICAL" PLYWOOD NAILED AT 6" O.C. WITH GALVANIZED 6D COMMON NAILS.
- ALL OTHER SHEATHING: 1/2" INTERIOR GRADE "INT" PLYWOOD NAILED AT 6" O.C. WITH 6D COMMON NAILS.
- FRAME ALL RAFTERS OPPOSITE EACH OTHER AT RIDGE WITH TIES OR RIDGE BOARD. THE DEPTH OF THE RIDGE BOARD SHALL BE NO LESS THAN THE CUT OF THE RAFTERS.

EXTERIOR FINISH NOTES:

- BUILDING PAPER SHALL BE INSTALLED OVER ALL EXTERIOR SHEATHING TO RESIST MOISTURE AND WIND INFILTRATION. WALLS SHALL HAVE MINIMUM 15 #FELT PAPER, ROOFS SHALL HAVE MINIMUM 30# ASPHALT IMPREGNATED FELT PAPER, WITH NOT LESS THAN 4" OVERLAP. FELT SHALL CONTINUE BEHIND ALL EXTERIOR TRIM, DOUBLE AND FOLDED INTO OPENINGS.
- PROMPTLY REMOVE ALL MANUFACTURERS' STICKERS FROM GLASS AFTER INSTALLATION.
- KEEP AREAS TO BE INSULATED CLEAN AND DRY. DO NOT INSTALL INSULATION WHERE IT MAY BE EXPOSED TO WATER. INSTALL AS PER MANUFACTURERS' DIRECTIONS AND ALL BUILDING CODE REQUIREMENTS. PROVIDE INSECT SCREEN OR BARRIER AT ALL VENT OPENINGS.
- EXTERIOR FOUNDATION TO BE PARGE.
- DECKS SHALL USE 1" X 4" MAHOGANY, CONFIRM, LAID FLAT WITH 1/4" REGULAR SPACING. ALL FLOORING AND DECKING SHALL BE TREATED % BOILED LINSEED OIL 50% OF WORKMAN AND WITH A MIXTURE OF 50% TRAFFIC SHALL BE PREVENTED OVER FINISHED SURFACES FOR THE PERIOD OF ONE WEEK.
- EXTERIOR STEPS SHALL BE EQUAL TO DECK CONSTRUCTION, TRIM AND FINISH. RISERS SHALL MATCH TRIM MATERIAL. NOSING SHALL PROJECT 3/4".
- ALL EXTERIOR STEPS SHALL LAND ON TO A 4" CONCRETE PAD SET ON A 4" GRAVEL BASE ON STRUCTURALLY COMPACTED SOIL. PAD SHALL BE 6" WIDER THAN STEPS AND PROJECT FROM LAST RISER 6" TOWARD DECK AND 18" AWAY FROM DECK.
- PORCH CEILINGS SHALL BE 1X8 CEDAR NATURAL TO WEATHER, SQUARE GROVE.
- PORCH POSTS SHALL BE 4X4 STRUCT. CORE WRAPPED W/ 5 1/4" SQ. NATURAL OR UNDISTURBED SOIL.
- SIDEWALL SHINGLES SHALL HAVE A MAXIMUM EXPOSURE OF 5". WITH DOUBLED SHINGLES AT ALL EAVES AND STARTER COURSE. BUTTS OF THE SHINGLES SHALL PROJECT 1 1/2" MINIMUM FROM THE EDGE OF THE ROOF EAVES TO ENSURE PROPER SPILLAGE.
- WINDOW CAPS OR TRIM AND ALL OTHER PROJECTIONS AT POINTS WHERE RAIN ACCUMULATES OR RUNS OFF SHALL BE PROVIDED WITH FLASHING FLASHING FOR RED CEDAR SHINGLES SHALL BE COPPER. SUCH FLASHING SHALL EXTEND A MINIMUM OF 6" UP THE WALL UNDER THE SHEATHING PAPER AND NOT LESS THAN 6" HORIZONTALLY. FLASHING SHALL BE SUFFICIENT LENGTH TO COVER THE COURSE ABOVE WITHOUT BEING COVERED BY WALLS.
- A CONTINUOUS RIDGE VENT SHALL BE PROVIDED AT ALL ROOF RIDGES, WHERE REQUIRED. SOFFIT VENTING SHALL BE PROVIDED AS INDICATED ON DETAIL DRAWINGS.
- PROVIDE STEP FLASHING AT ALL CHIMNEY LOCATIONS.
- WINDOW SILLS: WHEN NOT WOOD BY MANUFACTURER SHALL BE PRIMED PINE 2X2 W/ 70 TOP BEVEL EXTENDED 3/4" BEYOND JAMB CASING. DOORSILLS: INSTALLED BY MANUFACTURER
- CORNER BOARDS: 6" EA. WY. RED CEDAR (IF APPLICABLE)
- RAKE BOARDS: 1X8 RED CEDAR
- FASCIA BOARDS: 1X8 RED CEDAR
- RAKE/FASCIA TRIM BOARDS: 1X3 RED CEDAR
- FRIEZE BOARDS TO BE 1X6 BLOCKED OUT 1 1/2" TO ACCOMMODATE SOFFIT VENTING & TOP OF SHINGLES (IF APPLICABLE)
- ALL TRIM TO BE PAINTED; SEE SCHEDULE
- DOOR AND WINDOW SASHES PAINTED: BLACK
- ALL EXTERIOR TRIM SHALL BE PLANED ON ALL FOUR SIDES AND HAVE SQUARED EDGES.
- WINDOW & DOOR MANUFACTURERS AND SIZES AND HARDWARE SHALL BE SPECIFIED IN DOOR AND WINDOW SCHEDULE.
- INSULATION SHALL BE SPECIFIED AS FOLLOWS:
 - EXTERIOR WALLS: 5" R-21 BATT INSULATION, INSTALL 4 MIL. POLY-VAPOR BARRIER AT INSIDE FACE OF ALL EXTERIOR WALLS.
 - ROOF: 9 1/4" R-38 BATT INSULATION, INSTALL 4 MIL. POLY-VAPOR BARRIER AT INSIDE FACE OF ALL EXTERIOR WALLS
 - INTERIOR WALLS AND CEILINGS: USG 3" TERMAFIBER SOUND ATTENUATION BLANKETS
 - FOUNDATION INSULATION: 4" RIGID INSULATION SECURED TO EXTERIOR FACE OF WALL
 - FIRST FLOOR INSULATION: 9 1/4" R-30 BATT INSULATION
- CAVITIES SHALL SUPPORT PROPER VENTING, INCLUDING THE INSTALLATION OF BAFFLES BETWEEN ALL RAFTERS. KEEP ALL VENTILATION SPACE UNOBSTRUCTED.
- EXTERIOR BRICK SHALL MEET STANDARDS OF THE BRICK INSTITUTE OF AMERICA (BIA) FOR EXTERIOR/SEVERE WEATHER USE.

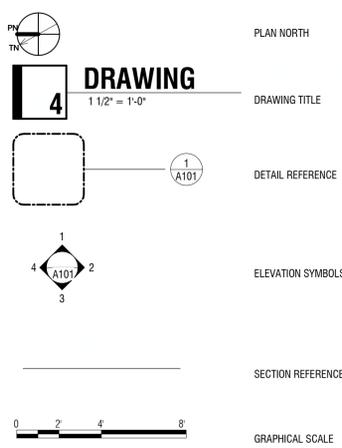
GLAZING NOTES:

- IT IS THE CONTRACTORS RESPONSIBILITY TO MAKE ALL GLAZING (WINDOW, DOOR, OR OTHERWISE) ADJACENT TO A WALKING SURFACE, STAIR, LANDING, TUB OR SHOWER SAFETY LAMINATED GLASS MEETING THE REQUIREMENTS OF THE MASSACHUSETTS STATE BUILDING CODE, NANTUCKET, AND ANY OTHER APPLICABLE LOCAL OR NATIONAL CODE.
- PROVIDE SHOWER ENCLOSURES AS INDICATED ON THE PLANS. GLASS TO BE LOW IRON, CLEAR GLASS.

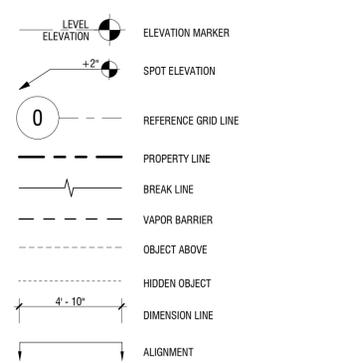
ABBREVIATIONS

ABOVE FINISHED FLOOR ACCESS PANEL	AFF	MATERIAL	MATL.
A.P.	MAX.	MAXIMUM	MAX.
ACOUST.	MECH.	MECHANICAL	MECH.
ADJACENT	ADJ.	METAL	MTL.
AIR CONDITIONING	A/C	MINIMUM	MIN.
ALUMINUM	AL.	MISCELLANEOUS	MISC.
APPROXIMATE	APPROX.	MOLDING	MOLD.
ARCHITECTURAL	ARCH.	MOUNTED	MTD.
BLOCKING	BLKG	MULLION	MULL.
BY OTHER/OWNER	B.O.	NOMINAL	NOM.
CEILING	CLG.	NOT APPLICABLE	N.A.
CENTRAL HEIGHT	C.H.	NOT IN CONTRACT	N.I.C.
CENTER LINE	CL.	NUMBER	NO.
CERAMIC TILE	C.T.	ON CENTER	O.C.
COLUMN	COL.	OPENING	OPNG
CONCRETE	CONC.	OPPOSITE/OPPOSITE HAND	OPP./OPH
CONSTRUCTION	CONST.	PAINTED	PTD.
CONTINUOUS	CONT.	PARTITION	PARTN.
DETAIL	DTL.	PLASTER	PL.
DIMENSION	DIM.	PLASTIC LAMINATE	P.LAM
DOOR	DR.	PLYWOOD	P.LYWD.
DOUBLE	DBL.	QUANTITY	QTY.
DOWN	DN.	RECESSED	REC.
DRAINING	DWG.	REQUIRED	REQD.
EACH	EA.	RETURN AIR	R.A.
ELECTRIC/ELECTRICAL	ELEC.	REVISION/REVISION	REV.
ELEVATION	ELEV.	ROUGH OPENING	ROU.
EMERGENCY	EMER.	SCHEDULE	SCHED.
EQUAL	EQ.	SECTION	SECT.
EQUIPMENT	EQPT.	SHEET	SHT.
EXISTING	EXIST.	SIMILAR	SM.
EXTERIOR	EXT.	SOLID CORE	SC.
FINISH	FIN.	SQUARE FOOT	SQ.FT.
FINISH FLOOR	FIN. FL.	STAINLESS STEEL	S.S.TL.
FIREPROOF	FRPF.	STANDARD	STD.
FLOOR	FL.	SELF-CLOSING	S.C.
FLUORESCENT	FLUOR.	STORAGE	STOR.
FOOR/FEET	FT.	TELEPHONE	TEL.
GLASS	GL.	TO BE DETERMINED	T.B.D.
GRILLE	GRIL.	TYPICAL	TYP.
GROUND FAULT INTER.	GFI.	UNLESS OTHERWISE NOTED	U.O.N.
GYPNUM WALLBOARD	GWB	VERIFY IN FIELD	V.I.F.
HANDRAIL	HNDRL.	VINYL COMPOSITION TILE	V.T/CT
HARDBOARD	HDBD.	WITH	W/
HARDWOOD	HWWD.	WITHOUT	W/O
HEATING, VENT. & A/C	HVAC	WOOD	WD.
HOLLOW CORE	HC		
HOLLOW METAL	H.M.		
HORIZONTAL	HORIZ.		
INCHES	IN.		
INSULATION	INSUL.		
JUNCTION BOX	J.B.		
LAMINATE	LAM.		
LOW VOLTAGE	L.V.		

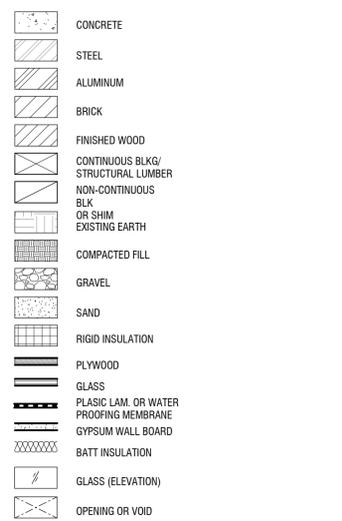
REFERENCE SYMBOLS



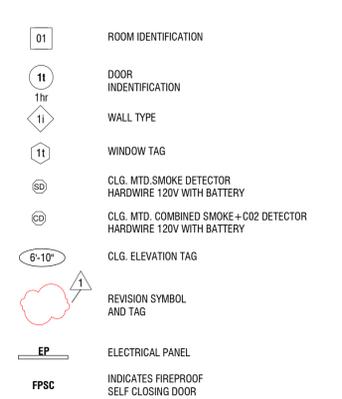
DRAWING SYMBOLS



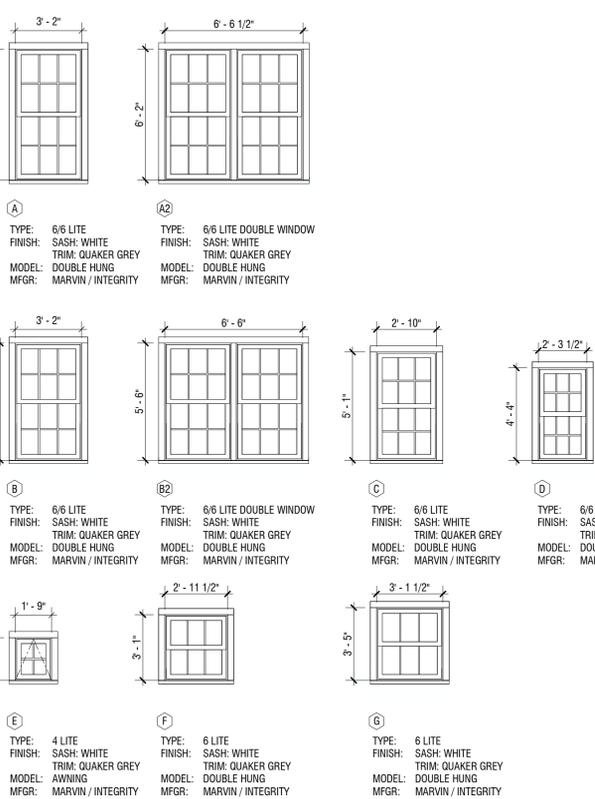
MATERIAL SYMBOLS



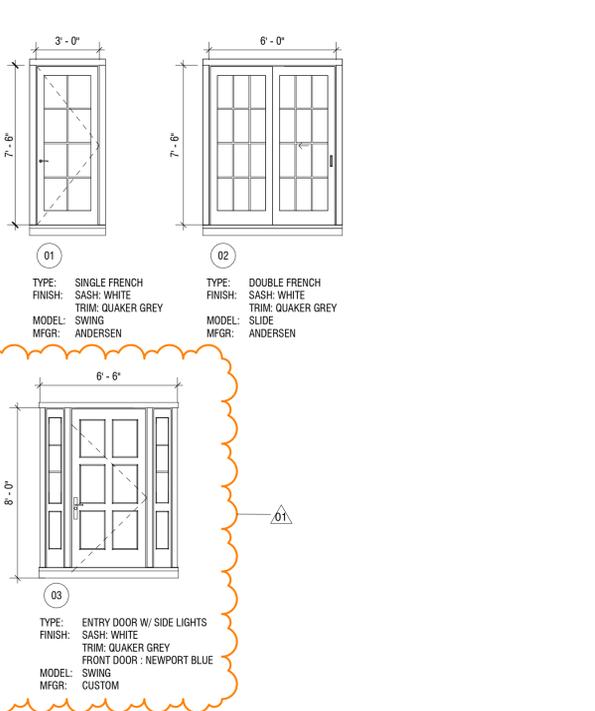
IDENTIFICATION SYMBOLS



WINDOW TYPES



DOOR TYPES



BFC

BAYBERRY

30 Cannonybury Ln
Nantucket, MA 02564

OWNER

CANNONBURY LANE PARTNERS, LLC
105 Newbury Street
Boston, MA 02116

ARCHITECT

WORKSHOP/APD ARCHITECTURE DPC
39 West 38th Street, 7th Fl. New York, NY 10018
T: (212) 273-9712 info@workshopapp.com

STRUCTURAL ENGINEER

CRAFT - ENGINEERING STUDIO
39 West 38th Street, 7th Fl
New York, NY 10018
T: (646) 912-9867

SURVEYOR

BLACKWELL & ASSOCIATES, INC
20 Treadwell Circle
Nantucket, MA 02554
T: (508) 228-9026

CONTRACTOR

BLUE FLAG CONSTRUCTION, LLC
105 Newbury Street, 4th Floor
Boston, MA 02116
T: (508) 257-1325

LANDSCAPE ARCHITECT

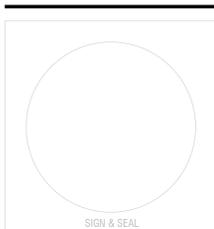
MIROSLAVA AHERN LLC
PO Box 2213
Nantucket, MA 02554
T: (508) 333-5138

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

DATE	DESCRIPTION
01 09/28/2020	HDC REVISION

FOR CONSTRUCTION



ISSUES

DATE	DESCRIPTION
01 08/24/2020	HDC SUBMISSION

DRAWING INFO

CONSTRUCTION DOCUMENTS
DRAWN BY: MLW/IZM/JSL
CHECKED BY: T.J.Z
DATE: AUGUST 30, 2017
SCALE: AS NOTED
PROJ. NO. BFC - 318008

GENERAL NOTES

G-100

ALL DESIGNS & SPECS ARE SUBJECT TO
VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

FOR CONSTRUCTION



ISSUES

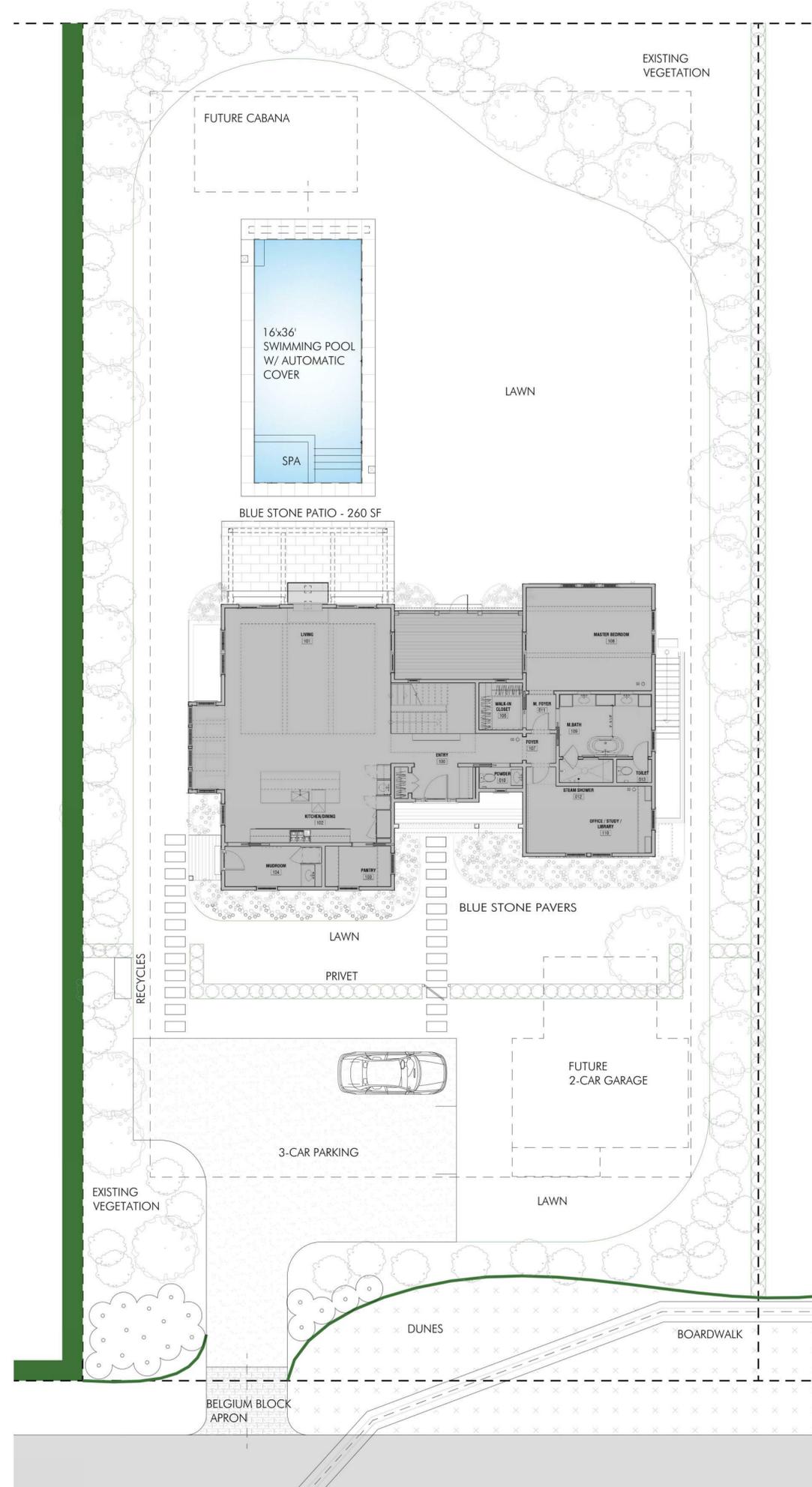
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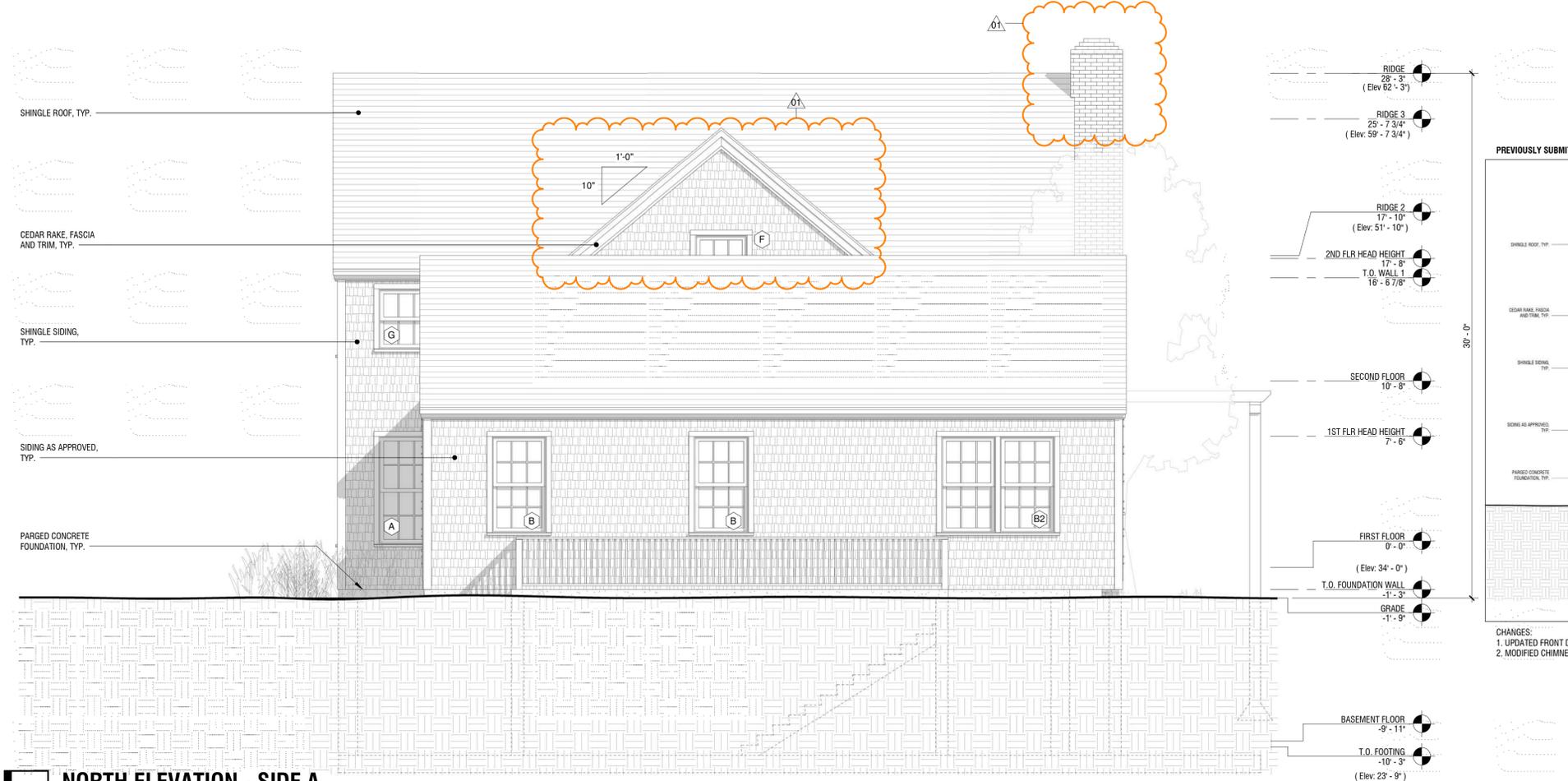
SITE/LOT PLAN

L-100





1 EAST ELEVATION - FRONT
1/4" = 1'-0"



2 NORTH ELEVATION - SIDE A
1/4" = 1'-0"



CHANGES:
1. UPDATED FRONT DOOR STYLE
2. MODIFIED CHIMNEY CAP



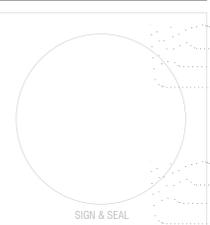
CHANGES:
1. UPDATED FRONT DOOR STYLE
2. MODIFIED CHIMNEY CAP

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

FOR CONSTRUCTION



ISSUES

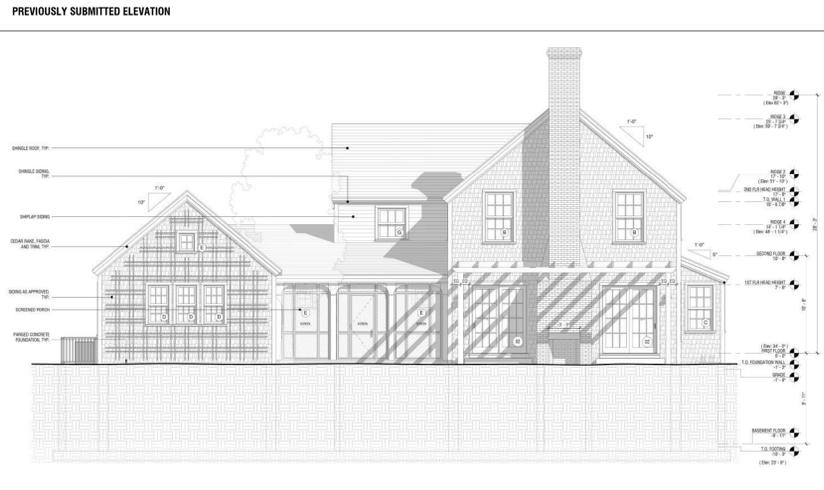
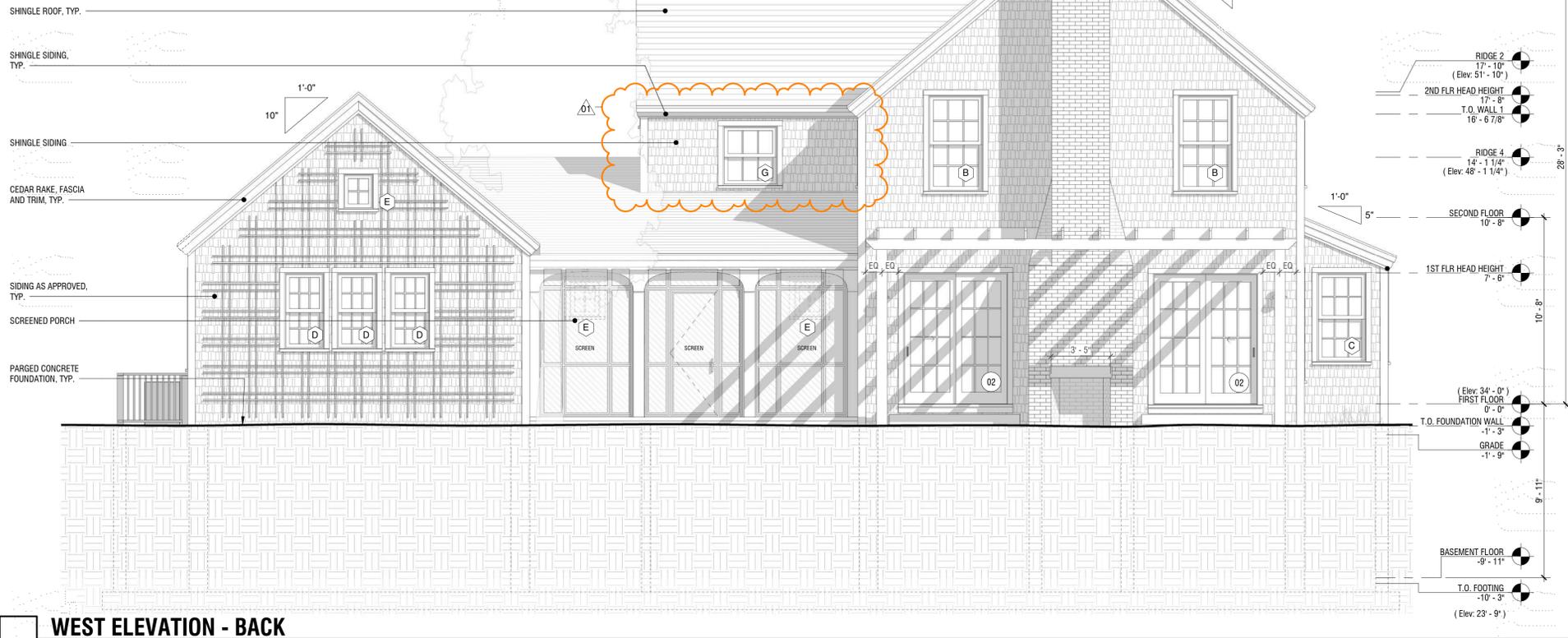
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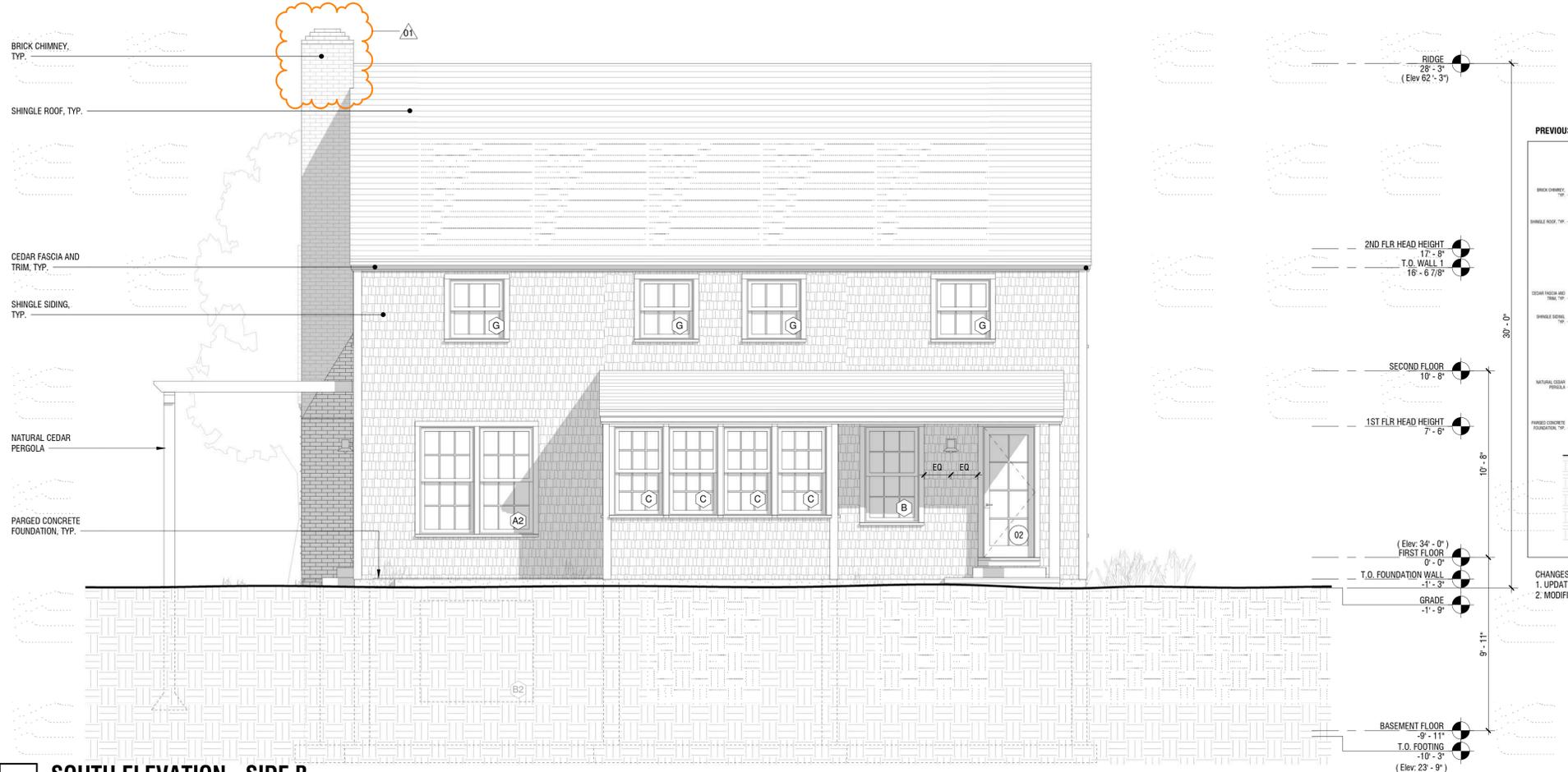
ELEVATIONS

A-200



CHANGES:
1. UPDATED FRONT DOOR STYLE
2. MODIFIED CHIMNEY CAP

1 WEST ELEVATION - BACK
1/4" = 1'-0"



CHANGES:
1. UPDATED FRONT DOOR STYLE
2. MODIFIED CHIMNEY CAP

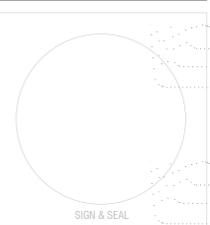
2 SOUTH ELEVATION - SIDE B
1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

FOR CONSTRUCTION



ISSUES

NO.	DATE	DESCRIPTION
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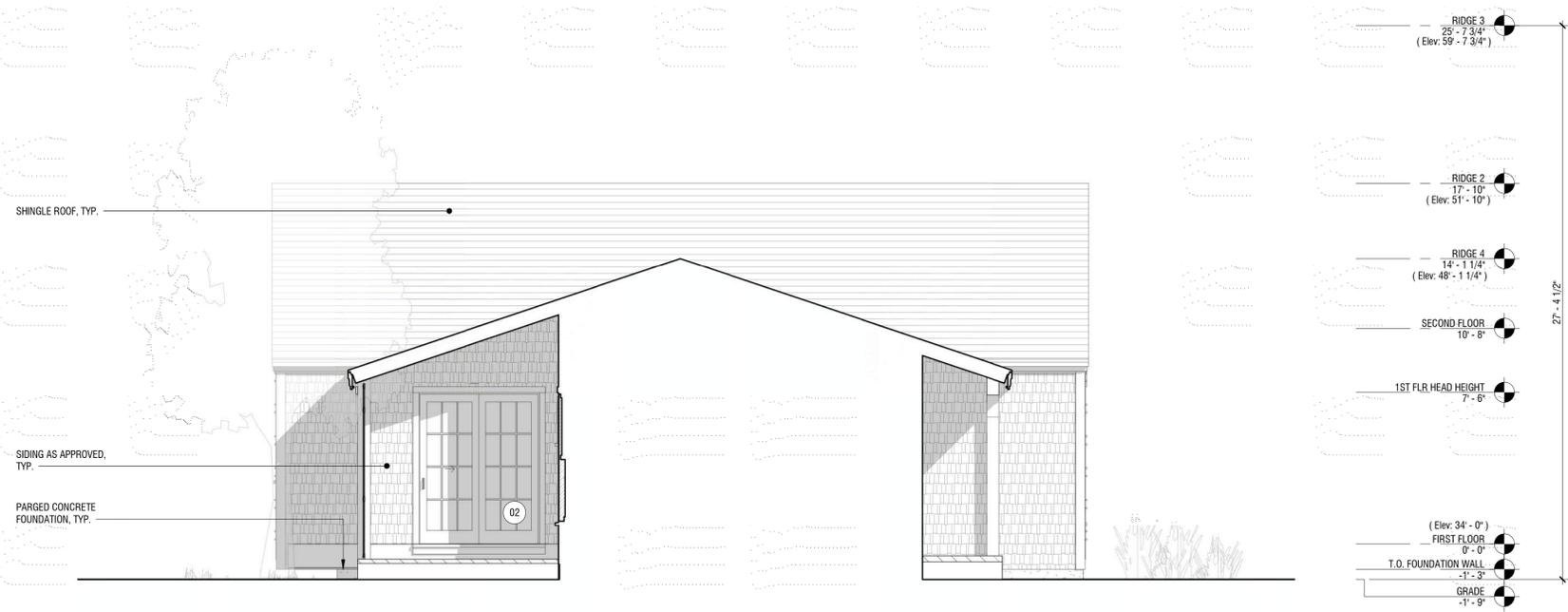
ELEVATIONS

A-201



1 NORTH ELEVATION - SIDE A (PARTIAL)

1/4" = 1'-0"



2 SOUTH ELEVATION - SIDE B (PARTIAL)

1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

FOR CONSTRUCTION



ISSUES

NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

DRAWING INFO

CONSTRUCTION DOCUMENTS
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 CHECKED BY: TJZ
 DATE: AUGUST 30, 2017
 SCALE: AS NOTED
 PROJ. NO. BFC - 318008

ELEVATIONS

A-202

ALL DESIGNS & SPECS ARE SUBJECT TO
VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

FOR CONSTRUCTION



ISSUES

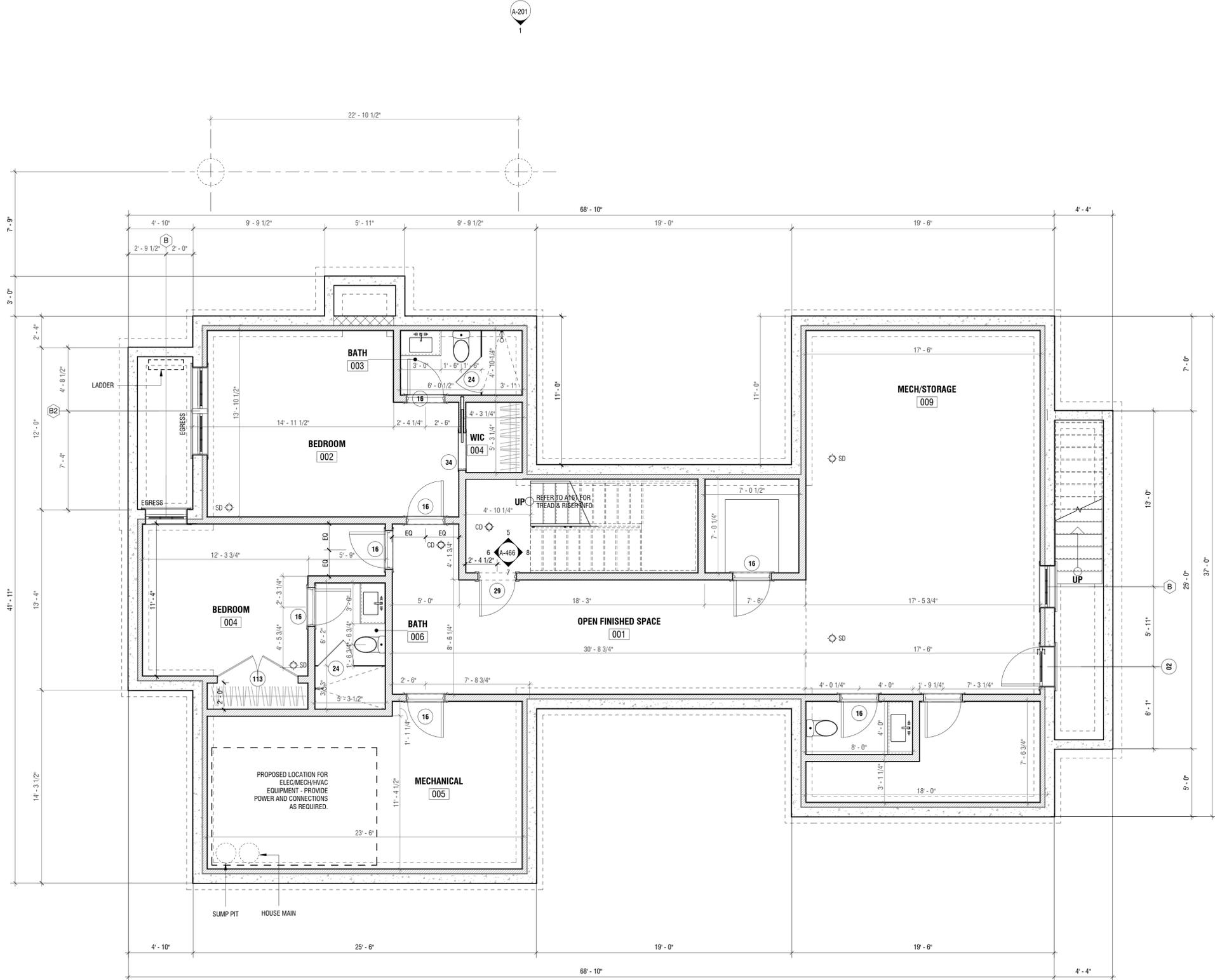
NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

DRAWING INFO

CONSTRUCTION DOCUMENTS
 DRAWN BY: MLW/IZM/USL
 CHECKED BY: TJZ
 DATE: AUGUST 30, 2017
 SCALE: AS NOTED
 PROJ. NO. BFC - 318008

BASEMENT PLAN

A-100



BASEMENT FLOOR PLAN

1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO
VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

FOR CONSTRUCTION



ISSUES

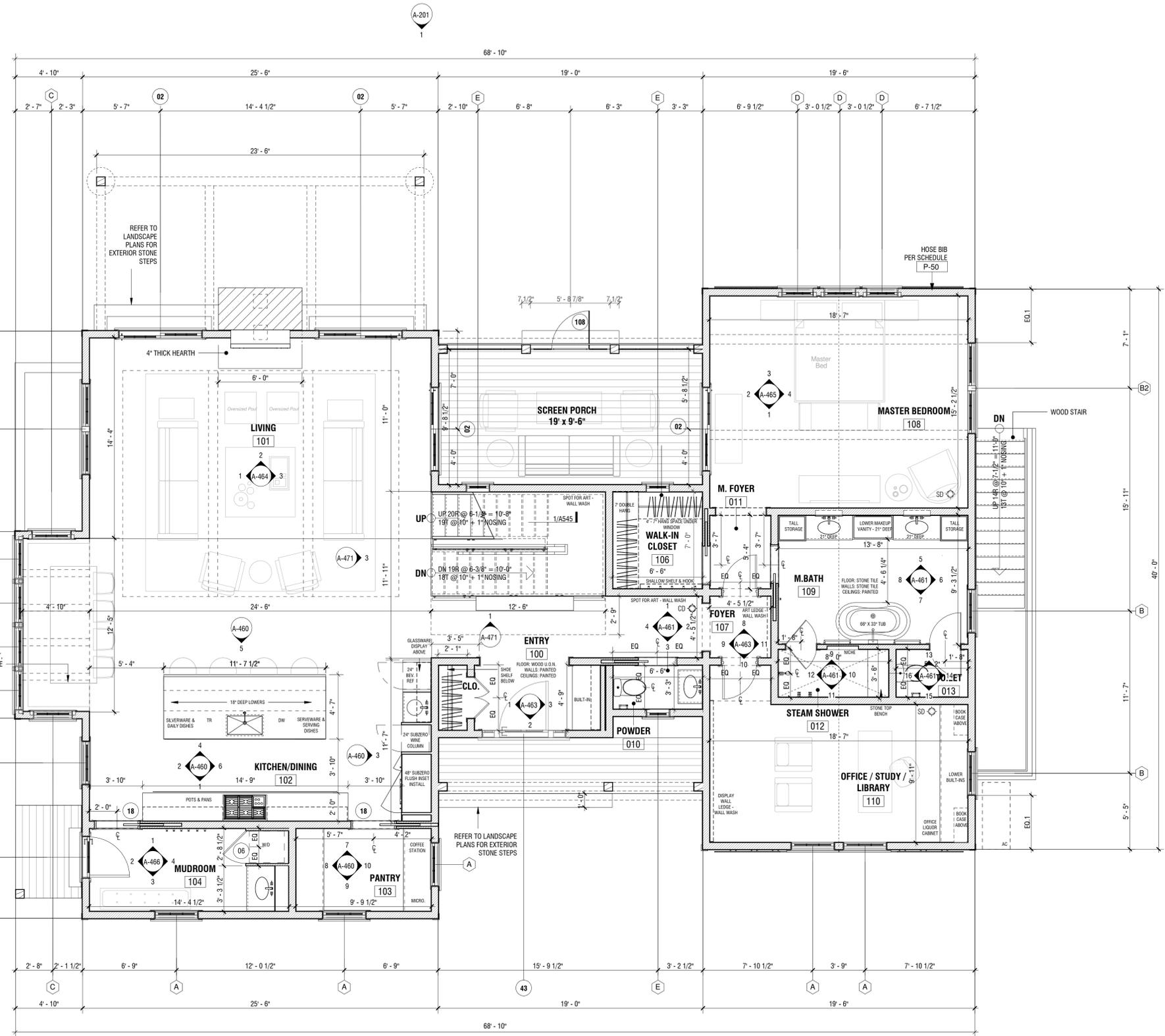
NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

DRAWING INFO

CONSTRUCTION DOCUMENTS
 DRAWN BY: MLW/IZM/JSJ
 CHECKED BY: TJJ
 DATE: AUGUST 30, 2017
 SCALE: AS NOTED
 PROJ. NO. BFC - 318008

FIRST FLOOR PLAN

A-101



FIRST FLOOR PLAN
 1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO
VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

FOR CONSTRUCTION



ISSUES

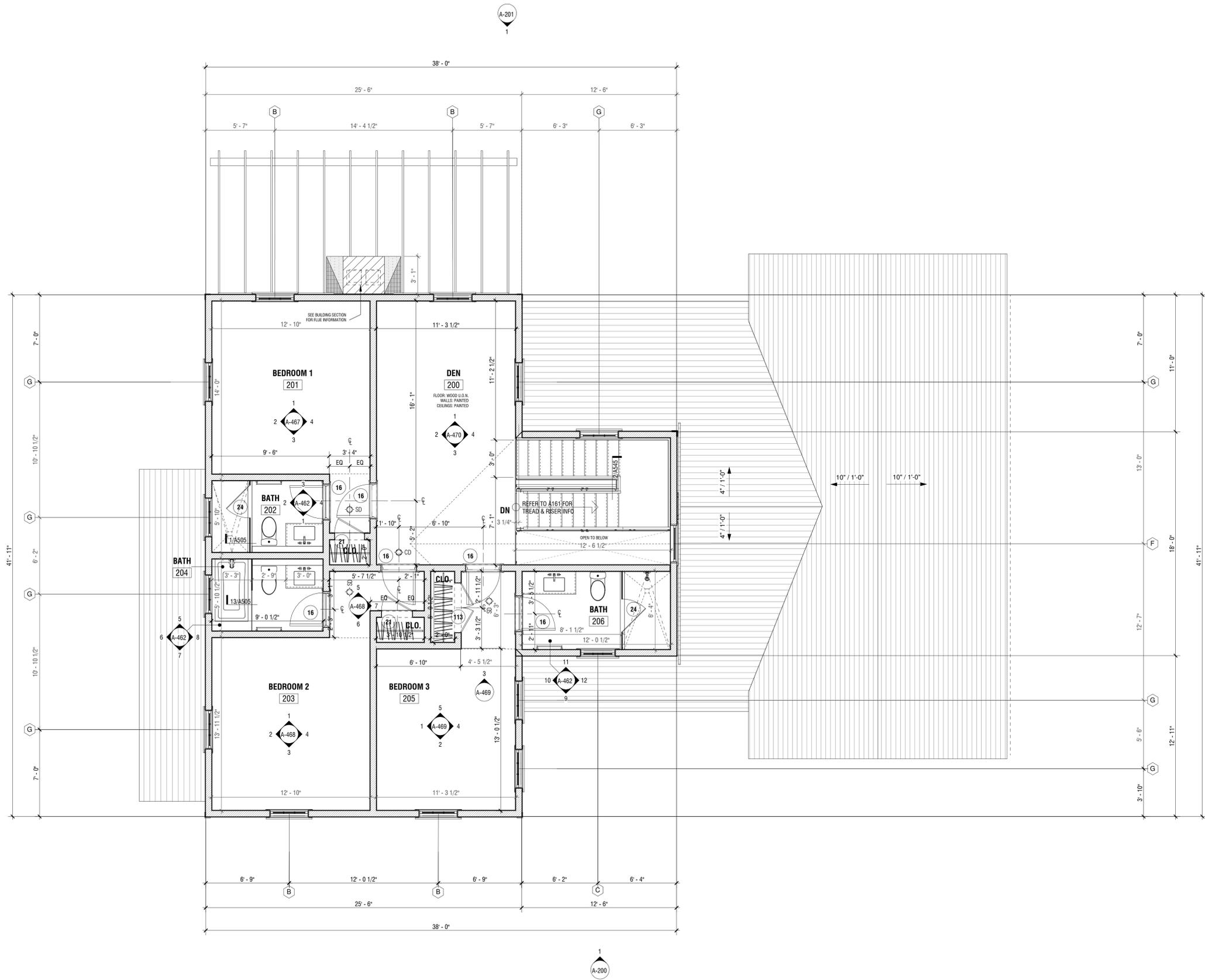
NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

DRAWING INFO

CONSTRUCTION DOCUMENTS
DRAWN BY: MLW/IZM/JSL
CHECKED BY: TJJ
DATE: AUGUST 30, 2017
SCALE: AS NOTED
PROJ. NO. BFC - 318008

SECOND FLOOR PLAN

A-102



1 SECOND FLOOR PLAN
1/4" = 1'-0"

ALL DESIGNS & SPECS ARE SUBJECT TO
VERIFICATION OF EXG. FIELD CONDITIONS

REVISIONS

NO.	DATE	DESCRIPTION
01	09/28/2020	HDC REVISION

FOR CONSTRUCTION



ISSUES

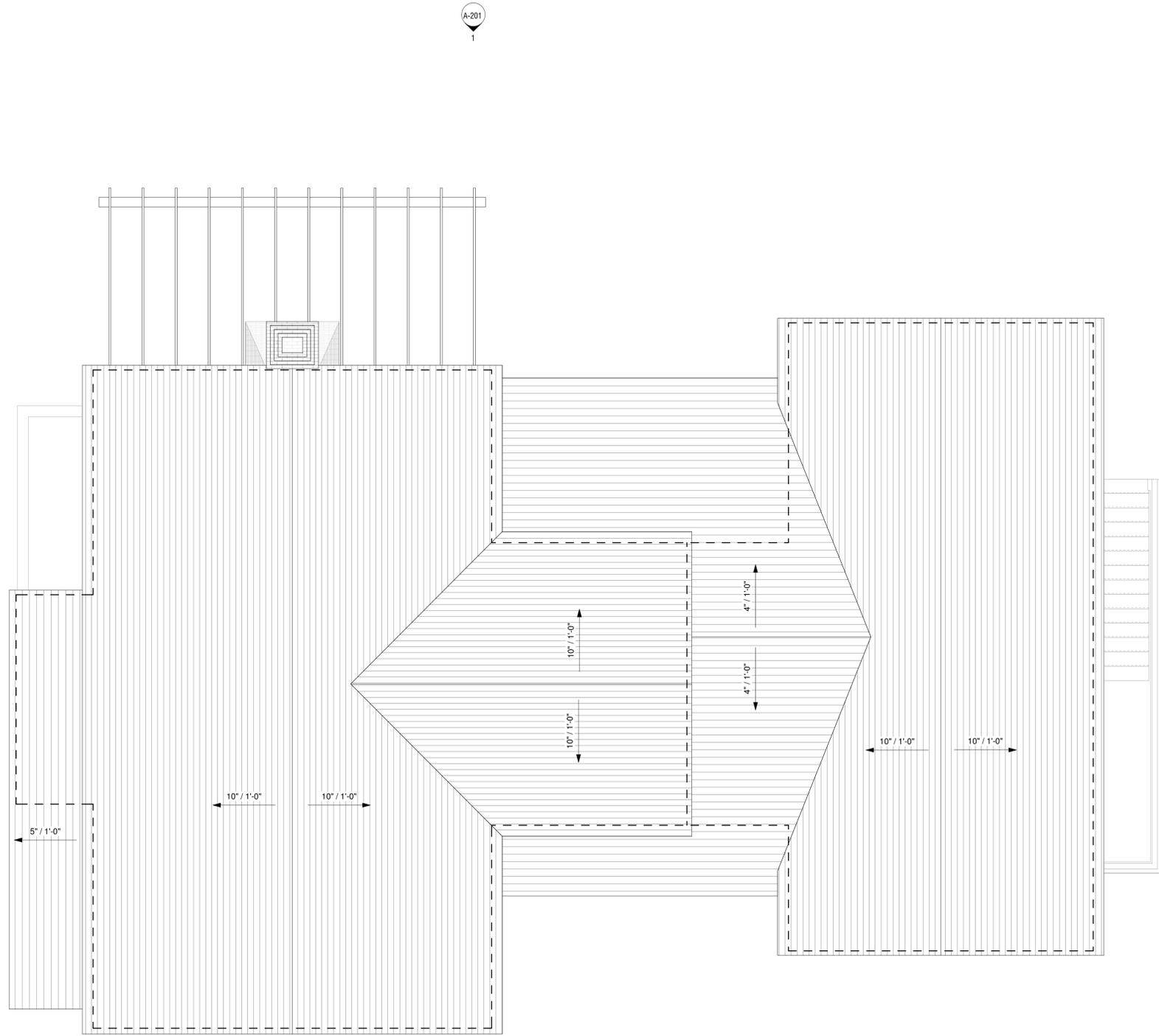
NO.	DATE	DESCRIPTION
01	08/24/2020	HDC SUBMISSION

DRAWING INFO

CONSTRUCTION DOCUMENTS
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 CHECKED BY: T.JZ
 DATE: AUGUST 30, 2017
 SCALE: AS NOTED
 PROJ. NO. BFC - 318008

ROOF PLAN

A-103



A-201
1

A-201 2

A-200 2

A-200
1

CANNONBURY LANE

CANNONBURY LANE
NANTUCKET, MA 02564



NANTUCKET, MA



CANNONBURY LANE



PROJECT SITE





VIEW 1 - ENTRANCE GATE FROM LOW BEACH ROAD





VIEW 2 - NORTHEND OF CANNONBURY LOOKING SOUTH



Old Biz

15. Jim Caulfield 08-1455 8 Sheep Pond Road Shed 63/3 M. Cutone Architecture
 Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.
 Representing Mark Cutone, Mark Cutone Architecture
 Public None
 Concerns (7:14) No concerns.
 Motion **Motion to Approve as submitted. (Welch)**
 Roll-call Vote Carried unanimously//Oliver, Coombs, Camp, Welch, and Pohl-aye Certificate # **HDC2020-08-1455**
16. Steven L Cohen Trust 08-1521 55 Sankaty Road Pool 49/69 Atlantic Landscaping
 Voting Pohl, Coombs, Oliver, Welch
 Alternates (Camp stepped off for a break)
 Recused None
 Documentation Landscaping design plans, site plan, photos, and advisory comments.
 Representing Lindsay Congleton, Atlantic Landscaping Inc.
 Public None
 Concerns (7:14) **Backus** – Read SAB comments: no concerns due to lack of visibility.
Congleton – Presented project and described existing hedging, which screens the pool.
Oliver – If SAB has no concerns, neither does she.
Coombs – Agrees. This pool is 15X30; this is as big as the room she’s in.
Welch – Looking on google, this setting is inappropriate for a pool of this side.
 Motion **Motion to Approve with the pool to be screened at time of inspection and thereafter. (Oliver)**
 Roll-call Vote Carried 4-0//Coombs, Welch, Oliver, and Pohl-aye Certificate # **HDC2020-08-1521**
17. Mary O’Connell 08-1508 8 Center Street (Sias) Rev. 12-0352: relocate A/C cond 73.1.3/76 Concept Design
 Voting Pohl, Coombs, Oliver, Welch
 Alternates (Camp still out.)
 Recused None
 Documentation Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.
 Representing T.J. Watterson, Concept Design
 Public None
 Concerns (7:20) **Watterson** – Presented project; to be enclosed in natural-to-weather, cedar lattice.
Backus – Circa 1790. Read SAB comments: A/C might be noisy and visible to visitors in the square; previous location preferred; want to know about screening.
Coombs – Lattice screening has worked well on Shell Street; thinks this will work.
Welch – Given the location, he’d like a detailed drawing in the file showing the lattice enclosure from inside the fence; some of these units need a ground clearance of 10 to 12 inches.
Oliver – She wants to view this.
 Motion **Motion to View and hold for additional information on the lattice. (Coombs)**
 Roll-call Vote Carried 4-0//Welch, Oliver, Coombs, and Pohl-aye Certificate #
18. James Crowley 08-1532 8 Wall Street Drvway/walkway crushed shell 82/79 Paulo Vicente
 Voting Pohl, Coombs, Oliver, Welch
 Alternates (Camp still stepped out)
 Recused None
 Documentation Landscaping design plans, site plan, and photos.
 Representing Paulo Vicente, Vincente burin Architecture, LLC.
 Public None
 Concerns (7:28) **Pohl** – This was going on consent until a neighbor voiced concern; she never expressed the concerns.
McCarthy – This has to go to the Planning Board for the double curb cut.
Vincente – There is no curbing; the drawing is deceptive. Went to the Planning Board, the two curb cuts are grandfathered.
Backus – They don’t need an apron on the dirt road.
Welch – There are other properties on this road with two curb cuts. Asked the drawings be modified to eliminate what appears to be banding. The “stockade” fence should be labeled “existing split rail.”
Oliver – Curbing on a dirt road is very heavy.
 Motion **Motion to Approve through staff with drawings corrected to show the stockade fence labeled existing split rail and the banding representing curbing removed. (Welch)**
 Roll-call Vote Carried 4-0//Coombs, Oliver, Welch, and Pohl-aye Certificate # **HDC2020-08-1532**

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 731.13 PARCEL N°: 76
Street & Number of Proposed Work: 8 Lentox St Sias
Owner of record: Mary O'Connell
Mailing Address: 8 Lentox St Sias
Siasconset, MA 02654
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Conroy Design with Heating
Mailing Address: 23 1/2 Vesper Lane 33 Vesper Ln
Nantucket MA 02559
Contact Phone #: 508-271-3009 E-mail: watshvuc@aol.com
CD8-825-5333

FOR OFFICE USE ONLY	
Date application received: <u>8/10/2020</u>	Fee Paid: \$ <u>50</u>
Must be acted on by: <u>9/26/2020, 11/24/20</u>	
Extended to: _____	
Approved: _____	Disapproved: _____
Chairman: _____	
Member: _____	
Member: _____	
Member: _____	
Member: _____	
Notes - Comments - Restrictions - Conditions	

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 - Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. HDC 2019-12-03
 - Pool (Zoning District _____) Roof Other _____
- Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

REVISIONS*

1. East Elevation
- (describe) 2. South Elevation Relocate A/C Condenser
3. West Elevation
4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 1/12 Secondary Mass 1/12 Dormer 1/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

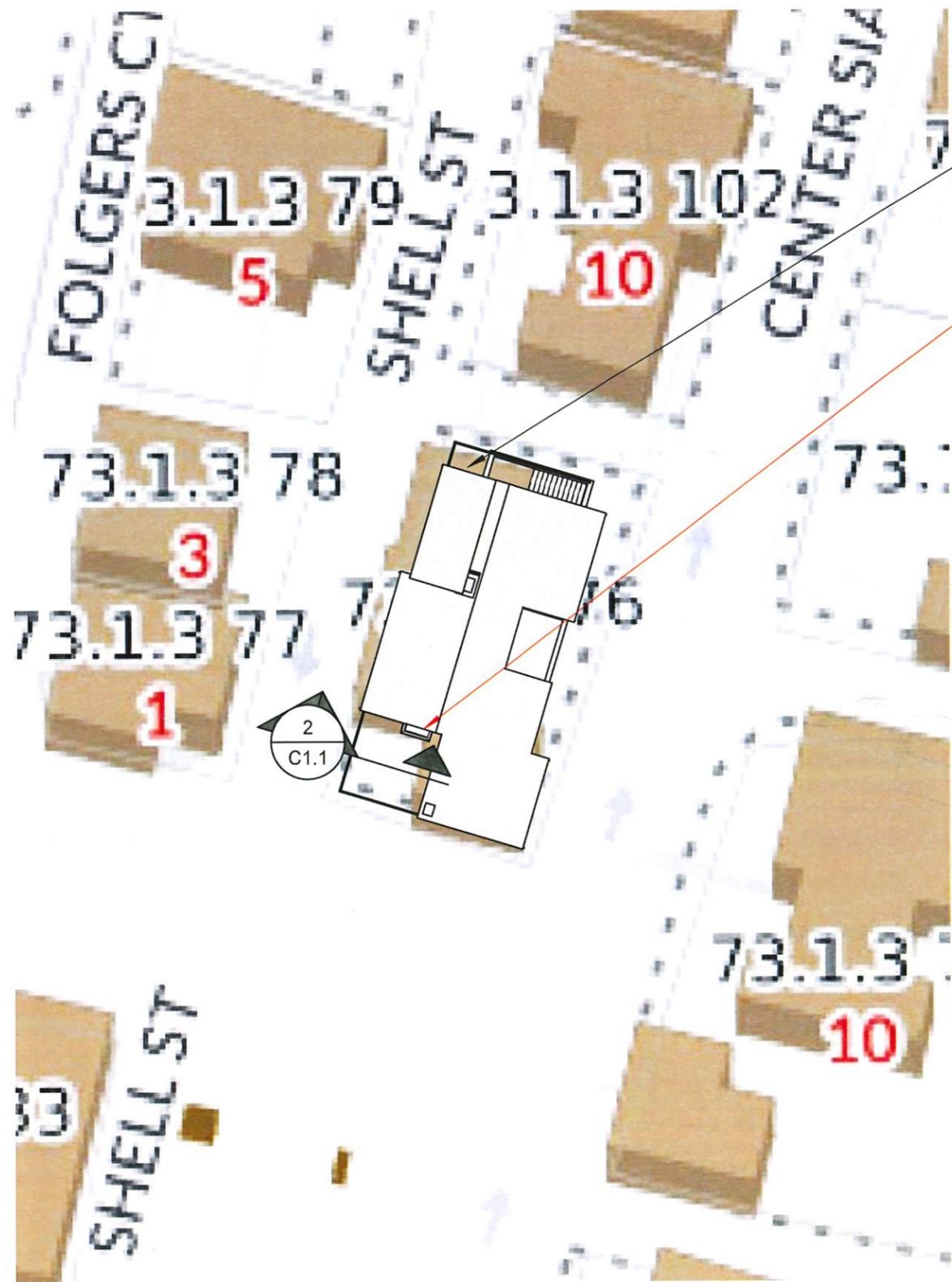
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

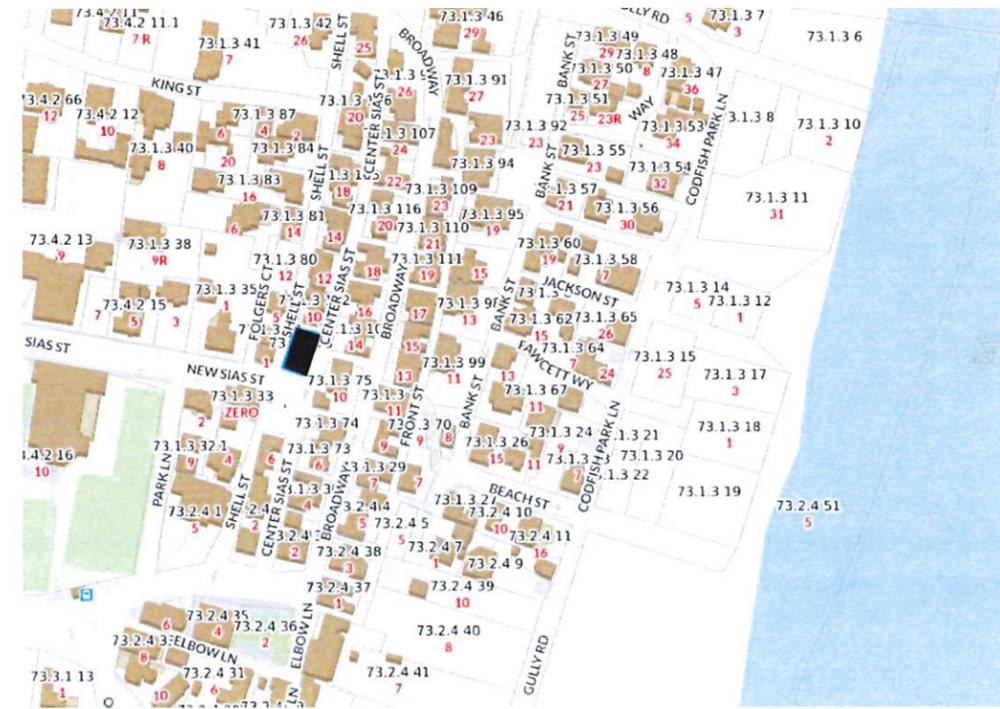
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date _____ Signature of owner of record _____ Signed under penalties of perjury



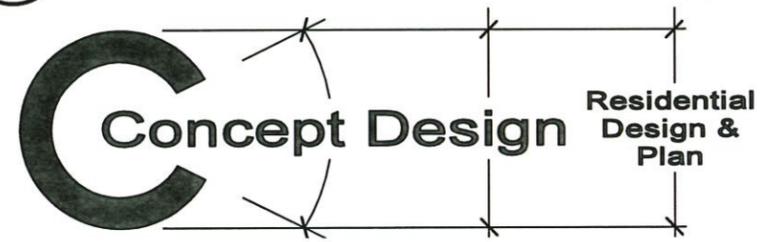
Previous Approved AC Location

New A/C Condenser Location

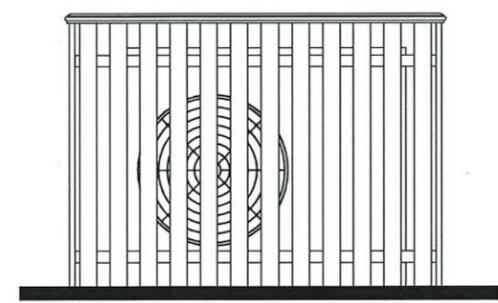


1 Site Plan
1" = 20'-0"

2 Fence Detail
1/2" = 1'-0"



Oconnell Residence
8 Center Street Sias
Nantucket, MA 02554



Map & Parcel	73.1.13 -76	Min. Lot Size	5,000 SF
Current Zoning	SOH	Allowable G.C.	x%, or xxxx SF
Minimum Frontage	50 FT	Lot Size	1,555 SF
Front Setback	0 FT	Existing G.C.	xxxx SF
Side/Rear Setback	5 FT	Proposed G.C.	xxxx SF
		Total Proposed G.C.	xxxx SF

508.221.3009
33 1/2 Vesper Lane
Nantucket, MA 02554

C1.1
#1907



EAST



SOUTH



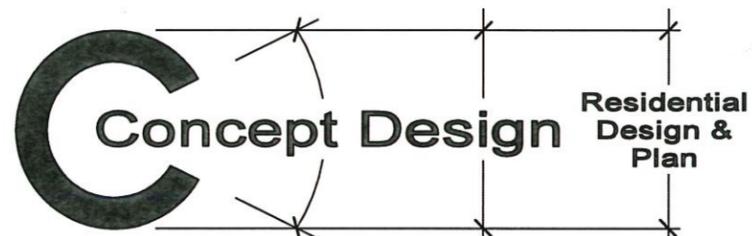
WEST

New A/C Condenser Location



NORTH

508.221.3009
33 1/2 Vesper Lane
Nantucket, MA 02554



Oconnell Residence
8 Center Street Sias
Nantucket, MA 02554

Map & Parcel
Current Zoning
Minimum Frontage
Front Setback
Side/Rear Setback

73.1.13 -76
SOH
50 FT
0 FT
5 FT

Min. Lot Size
Allowable G.C.
Lot Size
Existing G.C.
Proposed G.C.
Total Proposed G.C.

5,000 SF
x%, or xxxx SF
1,555 SF
xxxx SF
xxxx SF
xxxx SF

C1.2
#1907