

1. No Meeting Agenda

There is no agenda available for this meeting. Please view the minutes.

1.1. Old Business Carried Over From 10/08/2020

Documents:

[28 EEL POINT RD - SPORTS COURT - OB SUB FOR 10-20-2020.PDF](#)
[31 SHELL ST - HARDSCAPE - OB SUB FOR 10-20-20.PDF](#)
[32 N LIBERTY ST - ADDITION - OB SUB FOR 10 20 20.PDF](#)
[32 N LIBERTY ST UPDATED ABUTTERS LIST REQ BY BOARD AT 9-29-20
OB MTG.PDF](#)
[38 PROSPECT - 2ND DWELLING - OB SUB FOR 10-05-20.PDF](#)
[45 HULBERT - BEACH SIDE REVIEW - OB SUB FOR 10 20 20.PDF](#)
[45 HULBERT - NEW DWELLING REVISIONS - OB SUB FOR 10 20 20.PDF](#)
[45 W CHESTER - SHED - OB SUB FOR 10-20-2020.PDF](#)
[59B POLPIS RD - NEW DWELLING - OB SUB FOR 10-20-20.PDF](#)
[100 LOW BEACH RD - NEW POOL HOUSE - OB SUB 10 20 2020.PDF](#)
[10 BEACH STREET - DEMO - OB SUB FOR 10-20-20.PDF](#)
[10 BEACH STREET - NEW DWELLING - OB SUB FOR 10-20-20.PDF](#)
[11 DAVIS LANE - CABANA - OB SUB FOR 10-20-2020.PDF](#)
[11 DAVIS LANE - POOL SPA - OB SUB FOR 10-20-2020.PDF](#)

Proposed HDC Minutes for September 29, 2020

2. Ecklund/Furdak 08-1587 26 West Chester Street Hardscape: spa/water feature 42.4.3/56 Ahern

Voting Pohl, Coombs, Camp, Welch
 Alternates None
 Recused None
 Documentation Landscape design plans, site plan, photos, and advisory comments.
 Representing Miroslava Ahern, Ahern Design, LLC
 Public None
 Concerns (5:03) **Ahern** – Reviewed changes made per previous concerns.
Backus – Read HSAB comments: equipment shouldn't be visible from pond; too rectangular with hard edges; view needs to be softer and natural.
Camp – Agrees with HSAB; looking back from Lily Pond, the approach should be much softer to blend in with the natural vegetation around the pond; this looks very formal and hard. You can look into this yard from the Land Bank walking path to the left; that has to be addressed. She feels any water feature will be exposed and doesn't think she can support it. This needs a view from the Lily Pond and look back.
Welch – Appreciates the changes. The edges on the granite rises will be visible and should be "antique edge." Based upon natural screening, doesn't think the water feature will be visible. Asked for posts showing the height where the privacy screen will be created and enhanced.
Coombs – Agrees with Ms. Camp. The band of vegetation closest to the existing lawn south edge should be allowed to grow naturally and not be confined by edging. Clethera (Sweet Shrub) is a good plant and grows loosely. Would like to see what the water feature looks like.
Pohl – In terms of formality, that has to do with the plan with what appears to be hard lines. The planting bed screening the water feature should be free flowing and not squared off.
 Motion **Motion to View with posts indicating the screen and water feature. (Camp)**
 Roll-call Vote Carried 4-0//Coombs, Welch, Camp, and Pohl-aye Certificate #

3. Michelle Black 05-0953 28 Eel Point Road Sports court 40/49 Ahern

Voting Pohl, Coombs, McLaughlin, Oliver, Welch
 Alternates None
 Recused None
 Documentation Landscape design plans, site plan, and photo.
 Representing Miroslava Ahern, Ahern Design, LLC
 Public None
 Concerns (5:25) **Ahern** – Reviewed changes made per previous concerns; it will be in the location of the existing driveway.
Welch – Appreciates the level of information provided. Concerned about the grade change because it extends around in front of the house and making more of a hill and not honoring the existing topography.
Oliver – With regard to the photo from the road, asked where the sport court will go because it looks like there is a huge "mountain" in the way. She would prefer the court be kept at grade with screening in front; would prefer stairs up to the house over additional grade changes.
McLaughlin – No comments at this time. Asked for the length of the house.
Coombs – Would prefer the elevation to remain the same; the house is on the highest spot and dropping the grade will make it look higher.
Pohl – Would prefer introducing a slight amount of hill between the house and sport court so it doesn't look concave or scoured.
 Motion **Motion to Hold for revisions. (Coombs)**
 Roll-call Vote Carried 5-0//Welch, Oliver, McLaughlin, Coombs, and Pohl-aye Certificate #

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 40 PARCEL N°: 44
Street & Number of Proposed Work: 28 EEL POINT RD
Owner of record: MICHAEL BLACK
Mailing Address: 28 EEL POINT RD
NANTUCKET, MA
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: AHERN LLC
Mailing Address: 60 WINDY WAY
NANTUCKET, MA
Contact Phone #: 508-333-5338 E-mail: DESIGN@AHERNLLC.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 - Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 - Pool (Zoning District _____) Roof Other MULTI GAME SPORTS COURT (GREEN)
- Size of Structure or Addition: Length: 28' Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: 50' Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: 8'
Type: WIRE MESH
Length: 148 LF

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls PT TIMBER

* Note: Complete door and window schedules are required. PIERS IN GRADE: COBBLE STONE SPORTS COURT: GREEN

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 05-07-20 Signature of owner of record _____ Signed under penalties of perjury _____

CERTIFICATE NO: _____

DATE ISSUED: _____

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CERTIFICATE OF APPROPRIATENESS

for structural work.

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PROPERTY DESCRIPTION

MAP NO: 73.1.3 PARCEL NO: 5.3
 Street & Number of Proposed Work: 31 Shell St Siasconset
 Owner of record: Alix Keating
 Mailing Address: 31 Shell St Siasconset
Nantucket MA 02584
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Kate Morrish
 Mailing Address: PO Box 477
Nantucket MA 02584
 Contact Phone #: 98-3253112 E-mail: Kate@nanucket.com
homebuilders.com

FOR OFFICE USE ONLY

Date application received: 8/25/2020 Fee Paid: \$ 300
 Must be acted on by: 10/10/2020
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other General Landscaping Plan
 Type of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____
 Reference between existing grade and proposed finish grade: North N/A South N/A East N/A West N/A
 Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: Wick Cottage #1
 Original Date: _____
 Original Builder: _____
 Where an HDC survey form for this building attached? Yes N/A

REVISIONS*

1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation 2 A/C UNITS

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass 12 Secondary Mass 12 Dormer 12 Other _____
 Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
 Fencing: Fence: Height: _____
 Type: _____
 Length: _____
 Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Gutters: Wood Aluminum Copper Leaders (material) _____
 Soffits (material and size): _____
 Siding: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
 Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
 Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
 Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
 Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
 Landscape materials: Driveways Belgian Block Walkways Bluestone + GRANITE STEPS

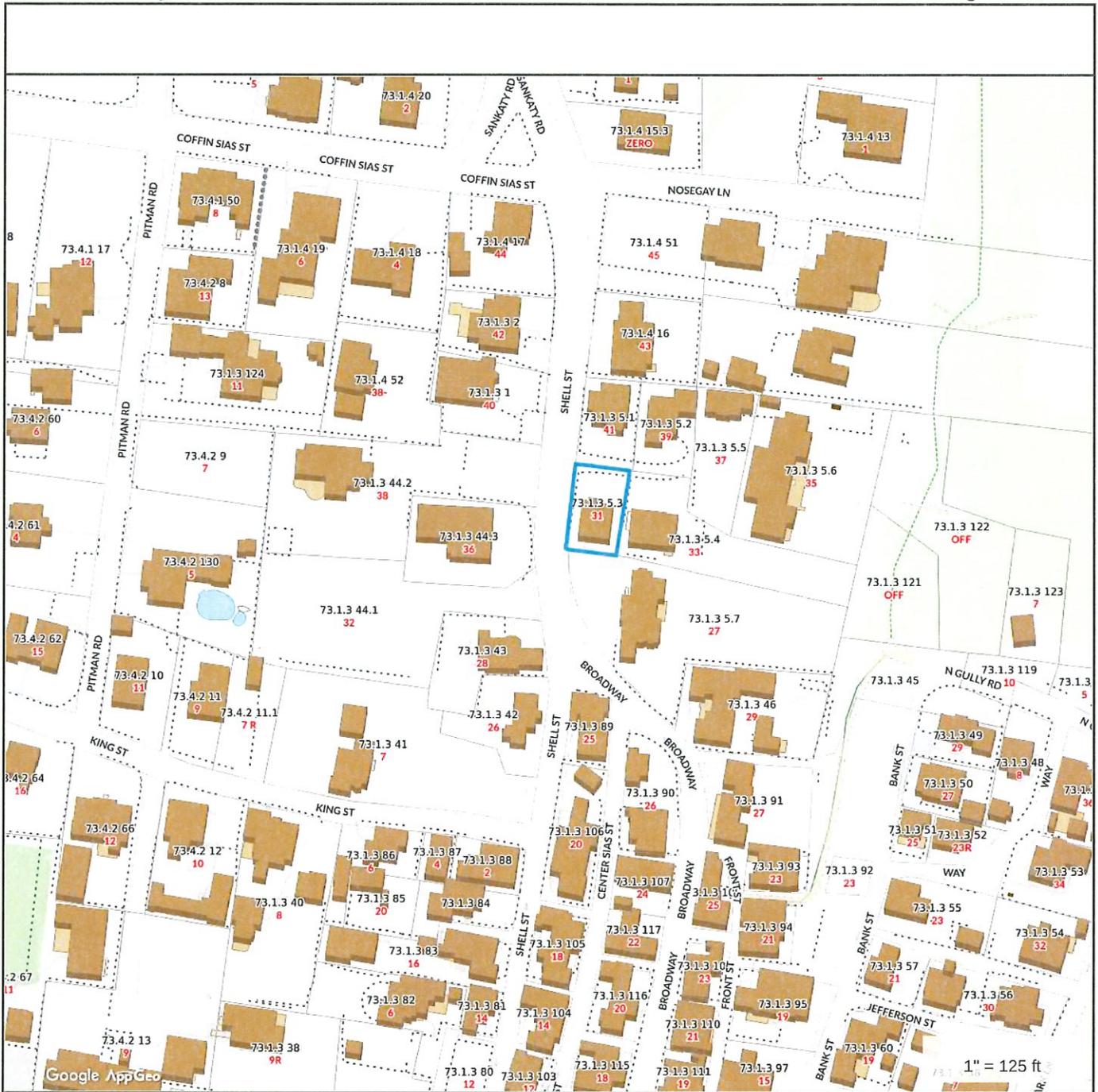
Note: Complete door and window schedules are required.

COLORS

Siding _____ Clapboard (if applicable) _____ Roof _____
 Trim _____ Sash _____ Doors _____
 Deck _____ Foundation _____ Fence WHITE Shutters _____
 Attach manufacturer's color samples if color is not from HDC approval list. + DOORS

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of

10. NT Development 08-1517	7 Hydrangea Lane	New dwelling	73/95	Val Oliver
Voting	Pohl, Coombs, Welch			
Alternates	None			
Recused	Oliver			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Val Oliver, V. Oliver Design			
Public	None			
Concerns (8:02)	<p>Oliver – Reviewed changes made per previous concerns; white trim and white sash matches the neighborhood.</p> <p>Welch – He liked the shutters on the front; made it more appropriate with the large dormer. Appreciates the changes. White everywhere is too much for this structure; the shutters and trim should be a different color. Appreciates the change to the south elevation dormer and ganged windows and same on the north. He would prefer light grey over white.</p> <p>Coombs – The changes are an improvement. Also likes the shutters. Dark green shutters and doors with white trim would be nice.</p> <p>Pohl – He too supports having shutters. Again, black shutters with white is very Main Street.</p>			
Motion	Motion to Approve through staff with the front elevation to have the farmers porch and shutters with dark green sash, shutters, and door and light grey trim. (Welch)			
Roll-call Vote	Carried 4-0//Oliver, Coombs, Welch, and Pohl-aye		Certificate #	HDC2020-08-1517
11. Mary O'Connell 08-1508	8 Center Street Sias	Rev. 12-0352: relocate A/C	73.1.3/76	Concept Design
Voting	Pohl, Coombs, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	None			
Representing	None			
Public	None			
Concerns (8:12)	Not opened at this time.			
Motion	Motion to Hold for representation. (Welch)			
Roll-call Vote	Carried 4-0//Coombs, Oliver, Welch, and Pohl-aye		Certificate #	
12. Alix Keeting 08-1592	31 Shell Street	Steps, arbor, driveway/apron	73.1.3/5.3	Kent Murphy
Voting	Pohl, Coombs, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Landscape design plans, site plan, photos, and advisory comments.			
Representing	Kent Murphy			
Public	None			
Concerns (8:12)	<p>Murphy – Held for a view and more photos; explained placement of the hedge; reviewed the changes made.</p> <p>Backus – Did not go back to SAB. Mr. Pohl previously said it should be less formal and that cobble was more rural</p> <p>Oliver – She viewed this; the biggest concern was the parking and apron was going to be Belgium block; parking in that area usually has a shell parking area with Belgium block apron.</p> <p>Welch – We need a complete application; there should be a copy of the minutes and a copy of the proposed. With respect to the hedge, the privet as installed at 27 Shell Street is not typical in that area. It's odd to have a 5-foot strip of shell behind a full-sized apron; the applicant should ask the Planning Board for a 5-foot apron of cobble and the rest shell.</p> <p>Coombs – Shell would be good.</p> <p>Discussion about the driveway apron material and parking area material: cobble apron and shell parking.</p>			
Motion	Motion to Hold for revision and complete application. (Welch)			
Roll-call Vote	Carried 4-0//Oliver, Coombs, Welch, and Pohl-aye		Certificate #	



Property Information

Property ID	73.1.3 5.3
Location	31 SHELL ST
Owner	AMK LLC

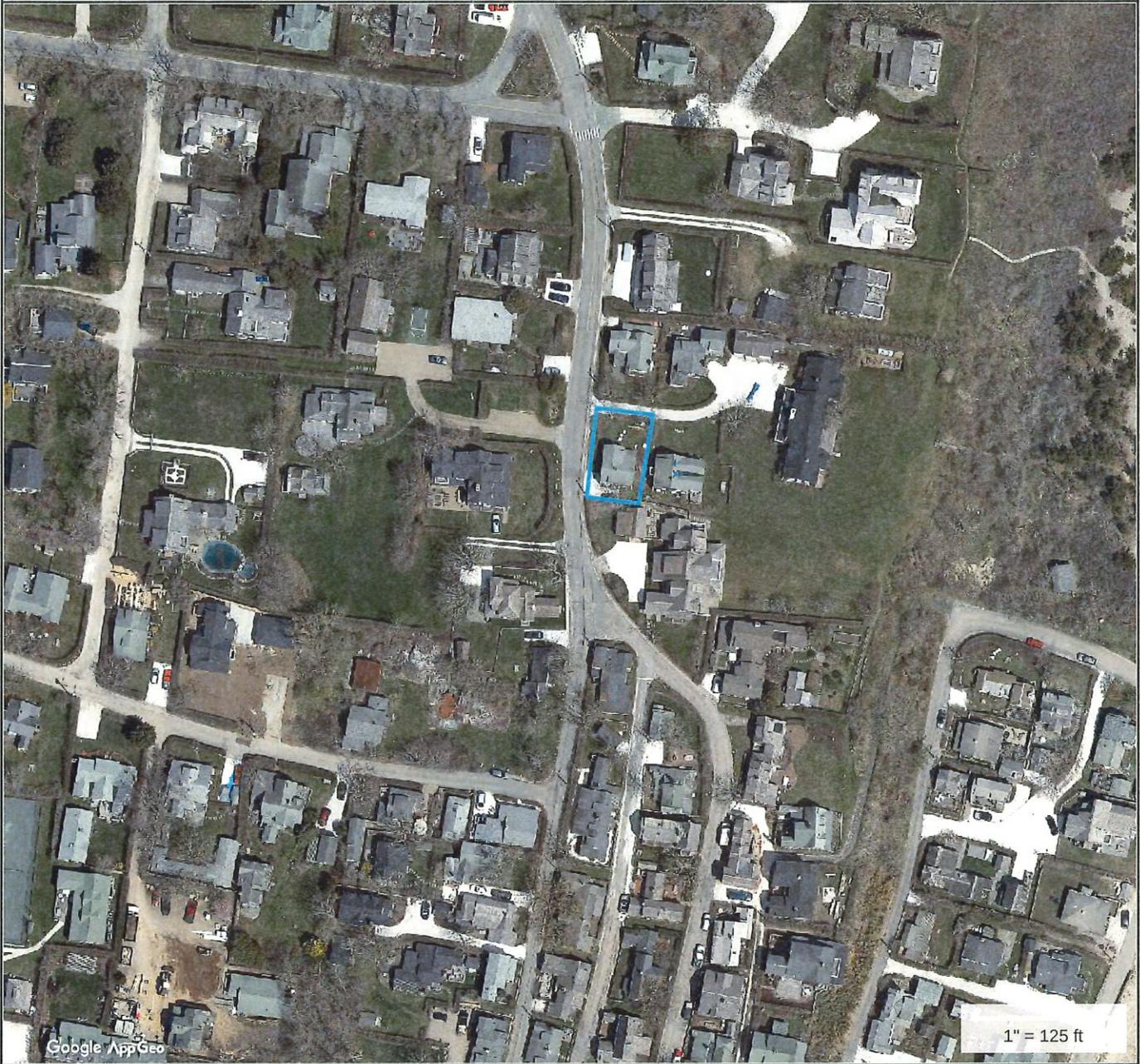


**MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT**

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
Data updated 11/19/2018

1" = 125 ft



Property Information

Property ID 73.1.3 5.3
Location 31 SHELL ST
Owner AMK LLC



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Geometry updated 11/13/2018
Data updated 11/19/2018

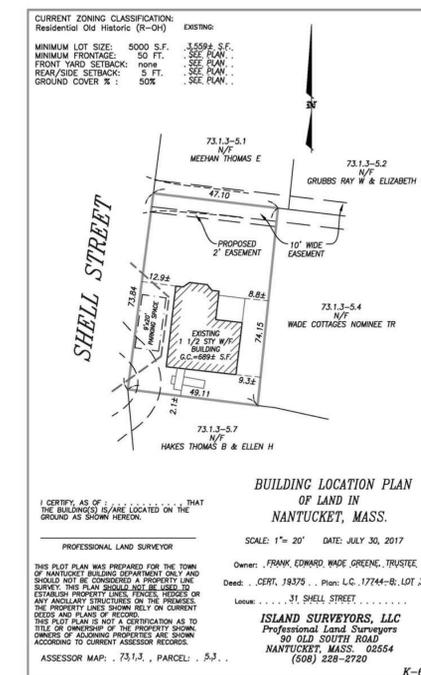
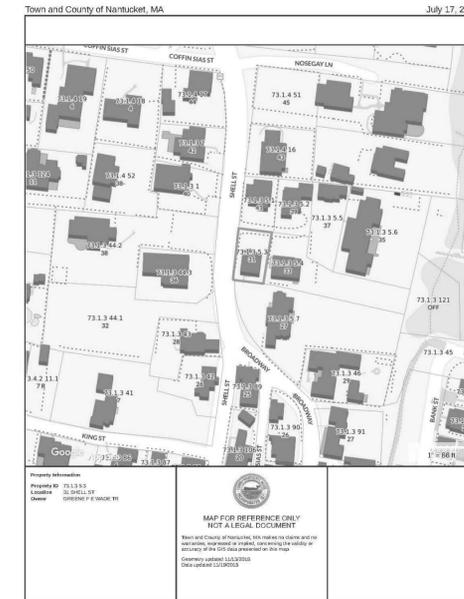
Keating Residence 31 Shell Street Proposed Landscape

Map 73.1.3 Parcel 5.3



www.Nantuckethomebuilders.com

Nantucket Design
Residential Design/Build
PO Box 477 Nantucket Ma
508-228-9730
div. KentMurphy Builders Inc.

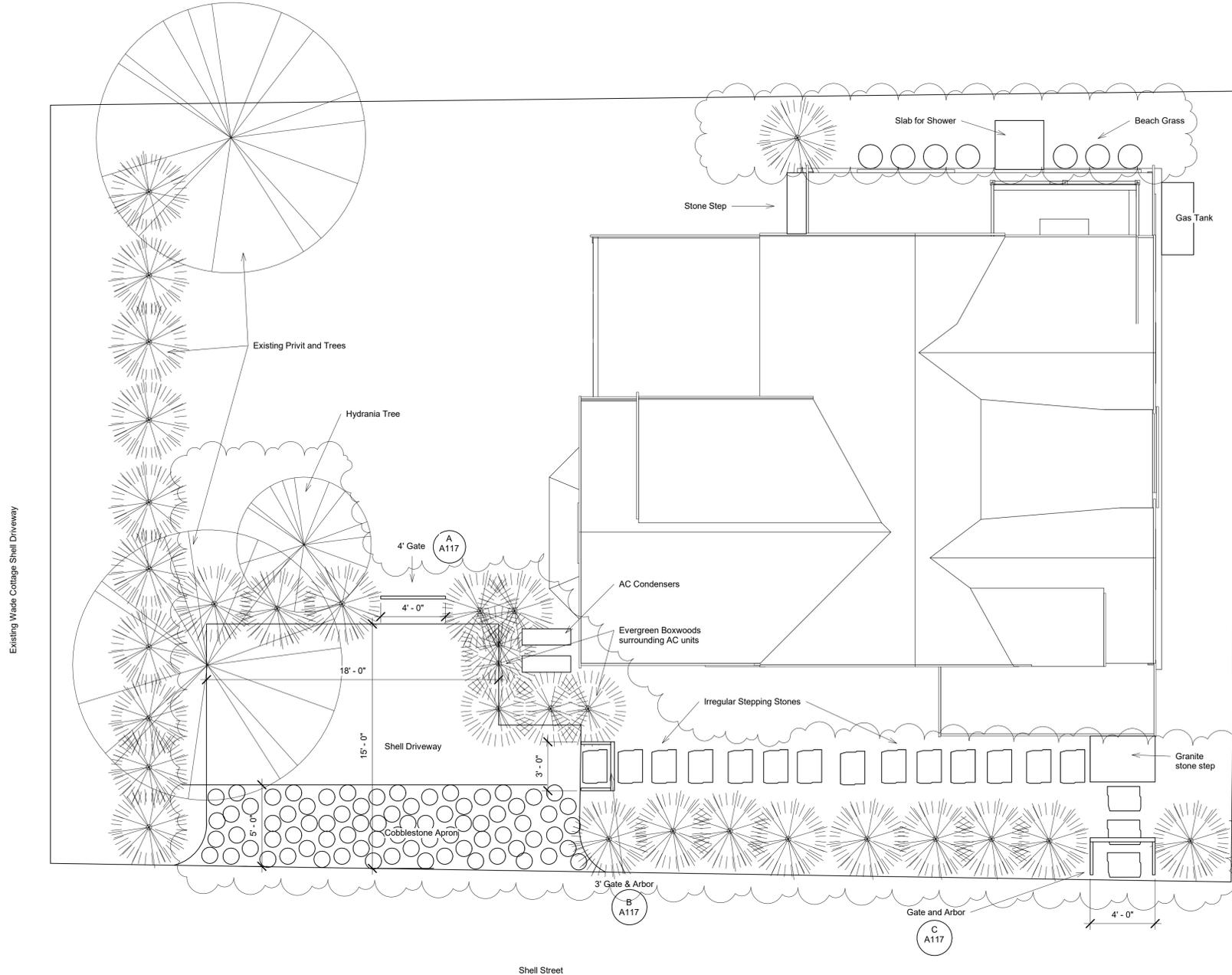


**Keating
Additions
Proposed Landscape**

Project number 2019 122
Date 10-1-2020
Drawn by KM
Checked by KM

C1

Scale 1/4" = 1'-0"



1 Proposed Landscape REVISED
1/4" = 1'-0"







WADE
COTTAGES





OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 1/2 x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 1/2 x 11
	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: Anton Dimov Date: _____

2. Thompson 07-1292	73 Baxter Road	Garage	49/27	Emeritus
Voting	Coombs (acting chair), Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, and photos.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (5:16)	<p>MacEachern – Reviewed changes made per previous concerns.</p> <p>Oliver – The huge rake overhangs tying into the front didn't drop the height; it's not tall but from the west looks disproportionate; suggested a saltbox or broke back on the ocean side.</p> <p>Camp – We saved the garage but now we can't get it right; the addition seems like a different building. The heavy gable coming forward on the site is a concern.</p> <p>Welch – To him this works well and is a marked improvement over what had been proposed and the demolition of the existing garage; it could be a little shorter but is still approvable.</p> <p>Coombs – West elevation, the drawing is off-putting; would also like about 1 foot taken out of the height of the addition. However, for her it is also approvable.</p>			
Motion	Motion to Approve through staff with ridge height reduced 1 foot. (Welch)			
Roll-call Vote	Carried 3-0//Oliver, Welch, and Coombs-aye; Camp abstain	Certificate #	HDC2020-07-1292	
3. Bartlett Farm House, LLC 06-1110	24 Bartlett Farm Road	Pool	65/86	Emeritus
Voting	Pohl, Coombs, Camp			
Alternates	None			
Recused	None			
Documentation	Landscape design plans, site plan, and photos.			
Representing	Matt MacEachern, Emeritus Development Julie Jordin, Garden Design Company			
Public	None			
Concerns (5:28)	<p>MacEachern – Submitted a landscape plan per previous concerns.</p> <p>Jordin – Reviewed changes to the landscape plan. New England fieldstone can be round but lay flat without being skinny flat; she can use two sizes of stone. There is no fencing.</p> <p>Camp – New England field stone in that farm area is too flat; should be more like an old-fashioned stone wall. Doesn't want to see a sharp edge on the granite curbing; the edges should be softened around the driveway.</p> <p>Coombs – Asked if the pool has an autocover because no fencing is shown. Some of auto-covers are very bright; it should blend into the area. The cedars should not be planted in a row.</p> <p>Pohl – He's fine with the comments made.</p>			
Motion	Motion to Approve through staff with the cover to be natural; stone to be a mix; use old curb around the driveway; and stagger pines and cedars. (Camp)			
Roll-call Vote	Carried 3-0//Coombs, Camp, and Pohl-aye	Certificate #	HDC2020-06-1	
4. Stephen Frohwein 07-1285	32 North Liberty Street	Addition	41/159	Emeritus
Voting	Pohl, Coombs, Camp, Oliver, Welch			
Alternates	None			
Recused	None			
Documentation	Architectural elevation plans, site plan, photos, historic documentation, and advisory comments.			
Representing	Matt MacEachern, Emeritus Development			
Public	None			
Concerns (5:40)	<p>MacEachern – Reviewed changes made per previous concerns; gambrel allowed us to keep roof lower than existing.</p> <p>Backus – From her perspective, this is great for an addition to a traditional 3 bay. Read HSAB comments on revised plans: gambrel dormers scale off and too tall; height needs to come down; the look of the gambrel is odd; step down no gambrel; a good example of gambrel addition is on Hussey Street; simple gable; side dormer is overwhelming.</p> <p>Coombs – Likes seeing all four elevations at once. Wants the addition roof height dropped and pull the shed dormers off the ridge. West elevation, separate the 1st-floor windows to fill the wall. Thinks this addition, when finished with a few revisions, will be worthwhile to look at. Only one elevation will be visible at any location.</p> <p>Oliver – Appreciates moving the addition to the rear. Agrees with Ms. Coombs; the ridge height dropped would make it subservient. Suggested two single-window dormers will calm it down.</p> <p>Welch – Agrees with much that's been said; lower the ridge and pull the dormers off the roof. The addition is approvable with some modifications. East elevation, the bay window is a key element as the structure currently exists; it reads as a story to the structure; he won't support this unless the bay window remains.</p> <p>Camp – She's on the fence about the east elevation bay window. Agrees about the ganged windows on the north and south and bringing the ridge height down. The bay helps obscure the view of the addition.</p> <p>Pohl – West elevation, this is not how dormers on a gambrel are done; the bottom of the gambrel has to either come up or the dormers dropped to be an extension.</p>			
Motion	Motion to Hold for revisions. (Coombs)			
Roll-call Vote	Carried //Camp, Oliver, Welch, Coombs, and Pohl-aye	Certificate #		

CERTIFICATE NO: _____

DATE ISSUED: _____

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CERTIFICATE OF APPROPRIATENESS

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PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 159
 Street & Number of Proposed Work: 32 N Liberty St
 Owner of record: Stephen Frohwein
 Mailing Address: 32 N Liberty Street
Nantucket, MA 02554
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Emeritus
 Mailing Address: 8 Williams Ln
Nantucket, MA 02554
 Contact Phone #: 325-4995 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 22 ft Sq. Footage 1st floor: 550 Decks/Patio: Size: +/- 20sf 1st floor 2nd floor
 Width: 26 ft Sq. footage 2nd floor: 550 Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North +/- 6" South +/- 6" East +/- 6" West +/- 6"
 Height of ridge above final finish grade: North +/- 20' 10" South +/- 20' 10" East +/- 20' 10" West +/- 20' 10"

Additional Remarks

Historic Name: n/a
 Original Date: 1840
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

REVISIONS*

1. East Elevation New addition, add pent roof
2. South Elevation New addition
3. West Elevation New addition, add pent roof, new ODS
4. North Elevation Fenestration changes, add pent roof and ODS

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed +/- 8" Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) red brick Other _____

Roof Pitch: Main Mass 12/12 Secondary Mass 12/12 Dormer 4/12 Other pent roof 3/12

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer n/a Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x8 Rake 1x8 Soffit (Overhang) n/a Corner boards 5/4x6 Frieze 1x4

Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type n/a Material _____

Hardscape materials: Driveways n/a Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall natural Clapboard (if applicable) n/a Roof asphalt black
 Trim white Sash white Doors front existing, patio white
 Deck natural Foundation natural Fence n/a Shutters black-exis

* Attach manufacturer's color samples if color is not from HDC approval list.

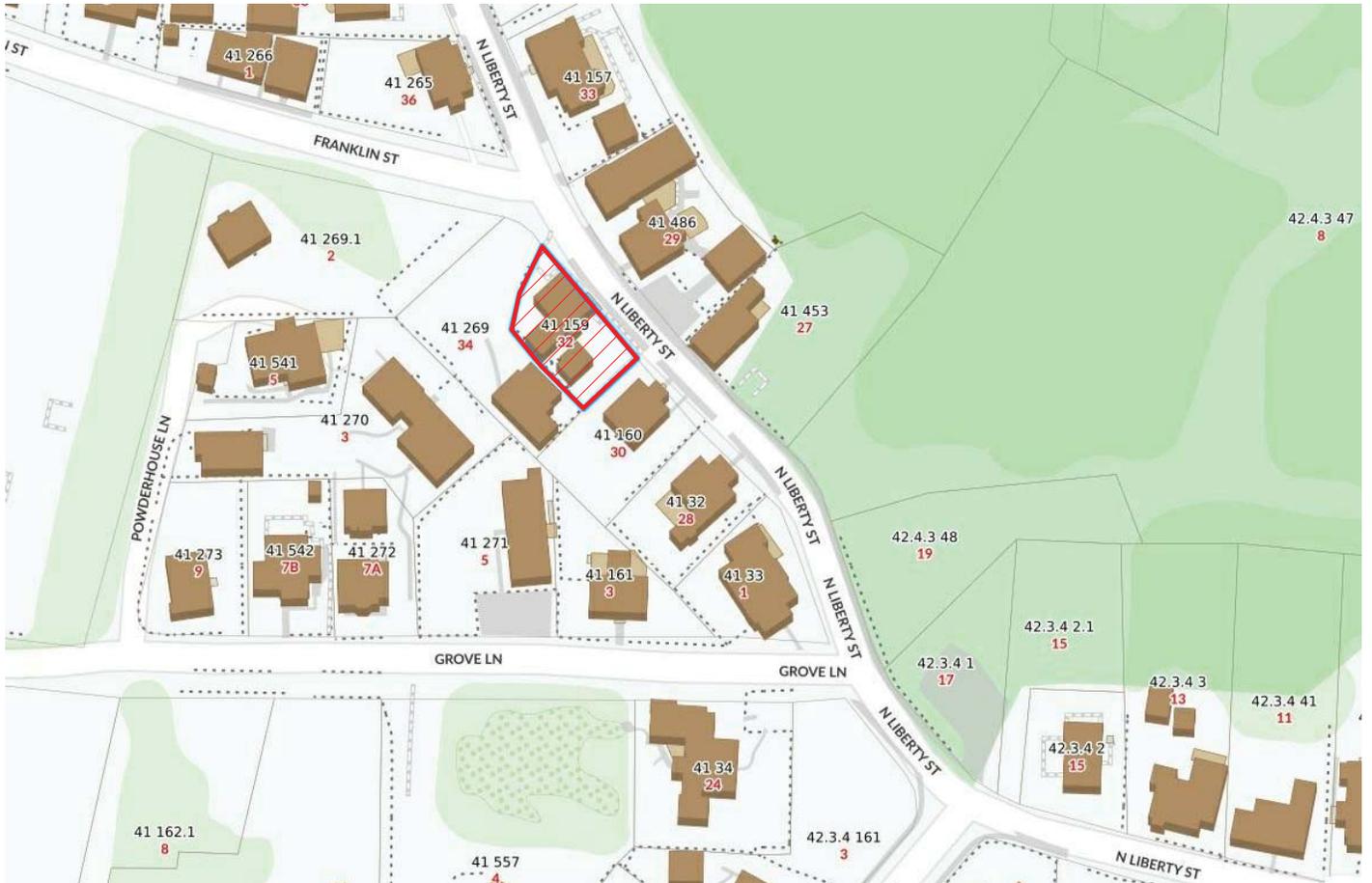
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 6.29.20 Signature of owner of record _____ Signed under penalties of perjury

Main House

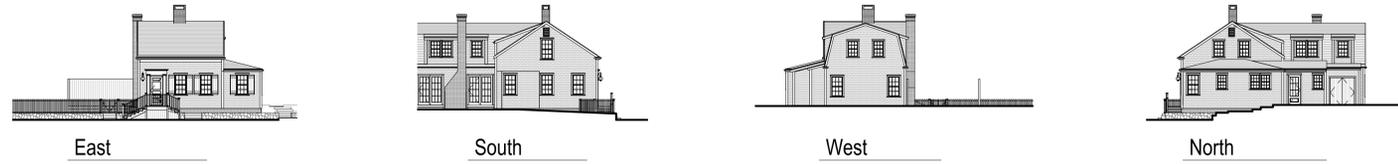
32 N. Liberty
Nantucket, MA 02554

09.17.20



Main House

32 N. Liberty
Nantucket, MA 02554



1943
Main House
32 N. Liberty
Nantucket, MA 02554



Cover Sheet

Site Information

Map & Parcel:	41 / 159
Current Zoning:	R1
Minimum Frontage:	50 ft
Front Setback:	10 ft
Side/Rear Setback:	5 ft
Lot Size:	4,297 sq. ft.
Min. Lot Size:	5,000 sq. ft.
Allowable G.C.:	30%
Existing G.C.:	+/- 1,064 sq. ft.
Proposed G.C.:	555 sq. ft.
Total Proposed G.C.:	1,278 sq. ft.

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

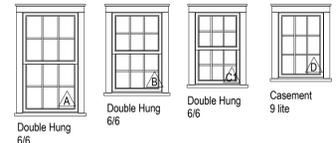
- G.1.1 Cover Sheet
- A.1.1 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

09.17.20



1 Locus Map

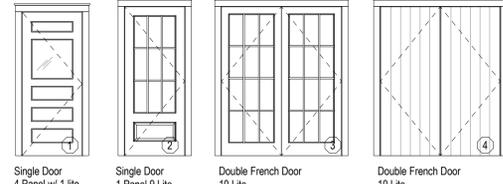
12" = 1'-0"



2 Window Legend

1/4" = 1'-0"

WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	DP RATING
A	5	2'-9 3/4"	4'-9 1/2"	≥ 30
B	8	2'-6 3/4"	3'-10"	≥ 30
C1	4	2'-3 3/4"	3'-5 1/2"	≥ 30

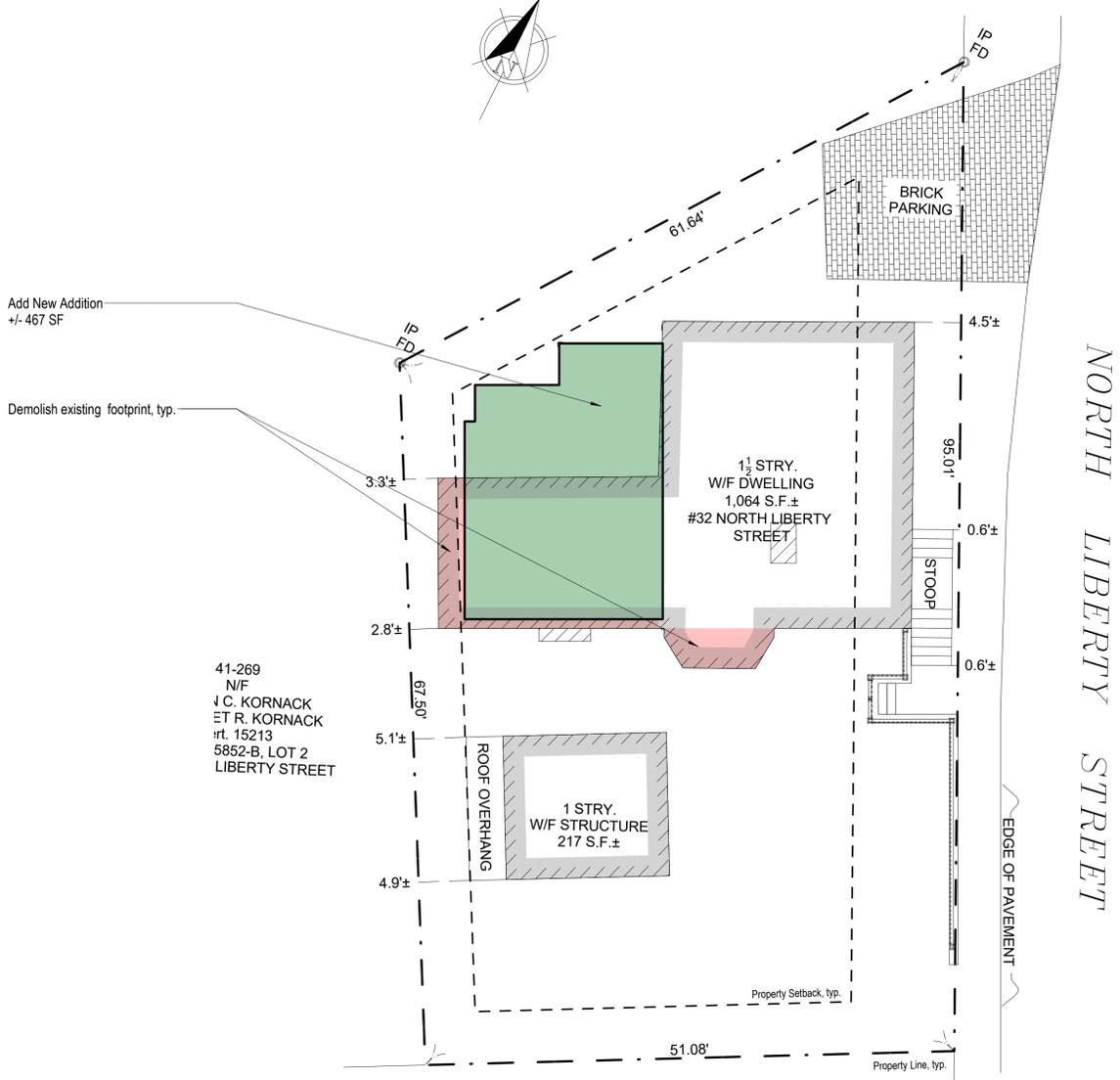


3 Door Legend

1/4" = 1'-0"

DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	DP RATING
2	1	2'-10"	7'-0"	≥ 30
3	2	5'-8"	7'-0"	≥ 30
4	1	5'-8"	7'-0"	≥ 30

- WINDOW & DOOR NOTES**
- Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
 - Windows w/ DP Rating of 30 or Greater Required
 - Contractor To Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
 - Refer To Plan For Tempered Glass Locations, Contractor To Verify Tempered Windows Are Provided Where Required
 - Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
 - General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
 - General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
 - Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
 - Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
 - The Unit Measurements Given in this Document Are For A Guide Only
 - Due To Slight Discrepancies & Changes in Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



4 Site Plan

1/8" = 1'-0"

HDC Submission ONLY

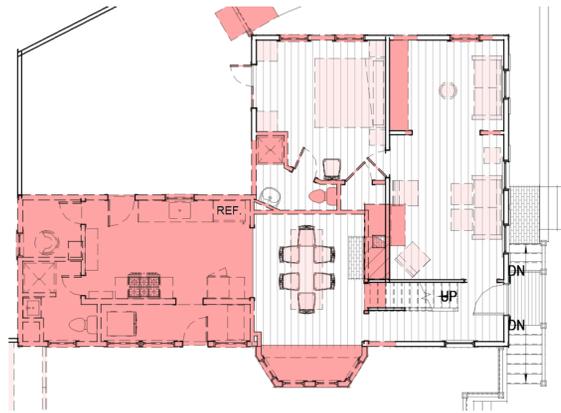
Revisions

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DRAWINGS THAT ARE NOT CLEARLY LABELED "FOR CONSTRUCTION" SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING, WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

G.1.1
1943

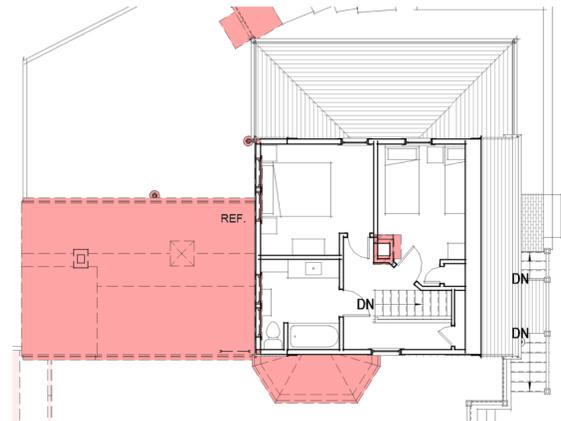
09.17.20

HDC Submission ONLY



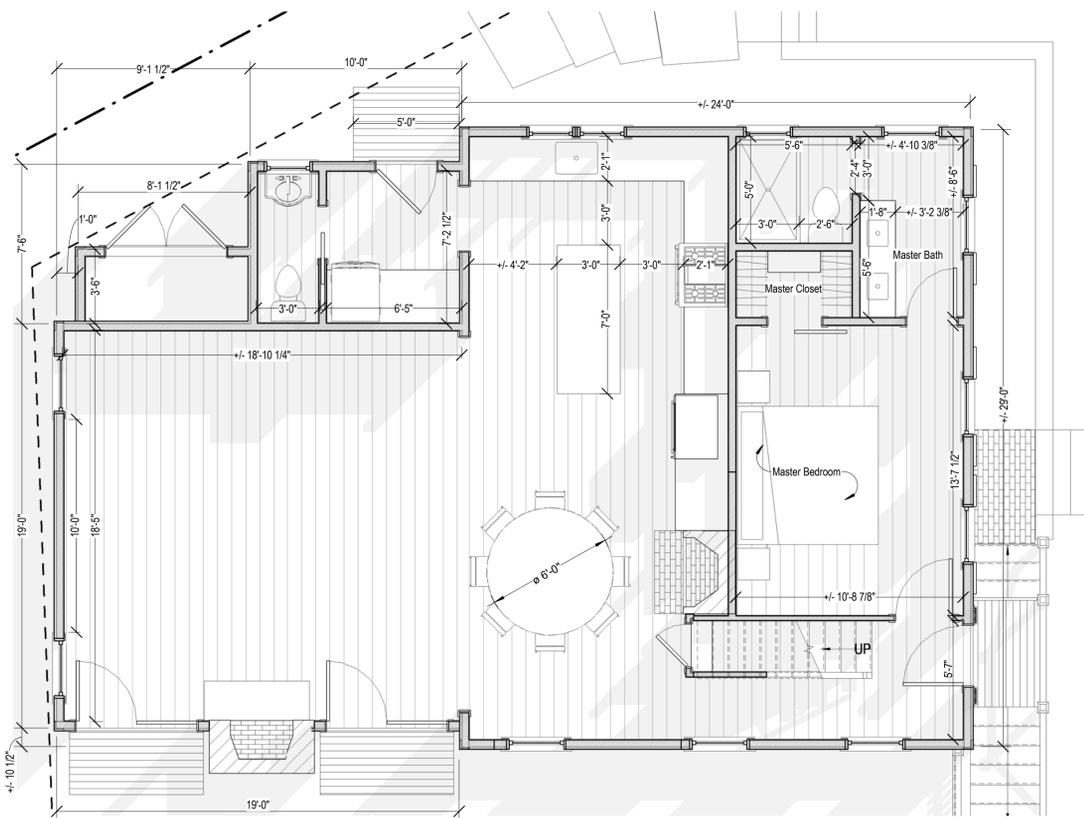
First Floor - Demo Plan

1/8" = 1'-0"



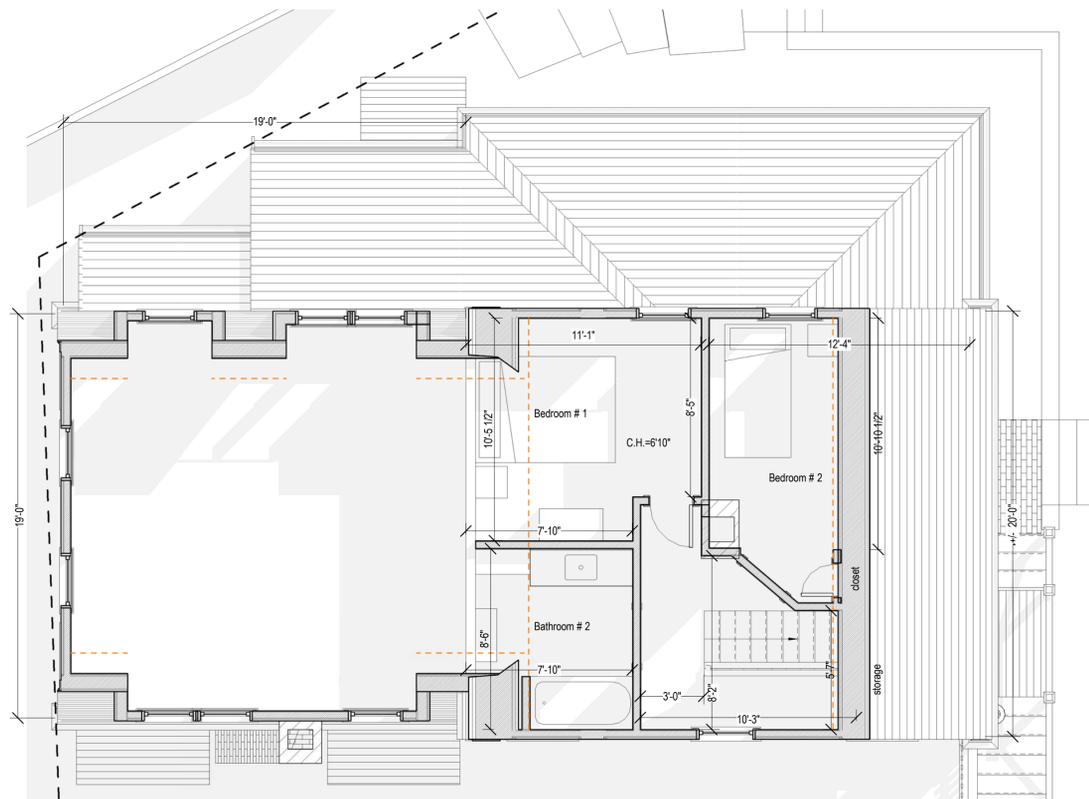
Second Floor - Demo Plan

1/8" = 1'-0"



1 First Floor - Proposed

1/4" = 1'-0"



2 Second Floor - Proposed

1/4" = 1'-0"

1943

Main House

32 N. Liberty
Nantucket, MA 02554



Floor Plans

Site Information

Map & Parcel:	41 / 159
Current Zoning:	R1
Minimum Frontage:	50 ft
Front Setback:	10 ft
Side/Rear Setback:	5 ft
Lot Size:	4,297 sq. ft.
Min. Lot Size:	5,000 sq. ft.
Allowable G.C.:	30%
Existing G.C.:	+/- 1,064 sq. ft.
Proposed G.C.:	555 sq. ft.
Total Proposed G.C.:	1,278 sq. ft.

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SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

Revisions

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A.1.1

1943

09.17.20

HDC Submission ONLY



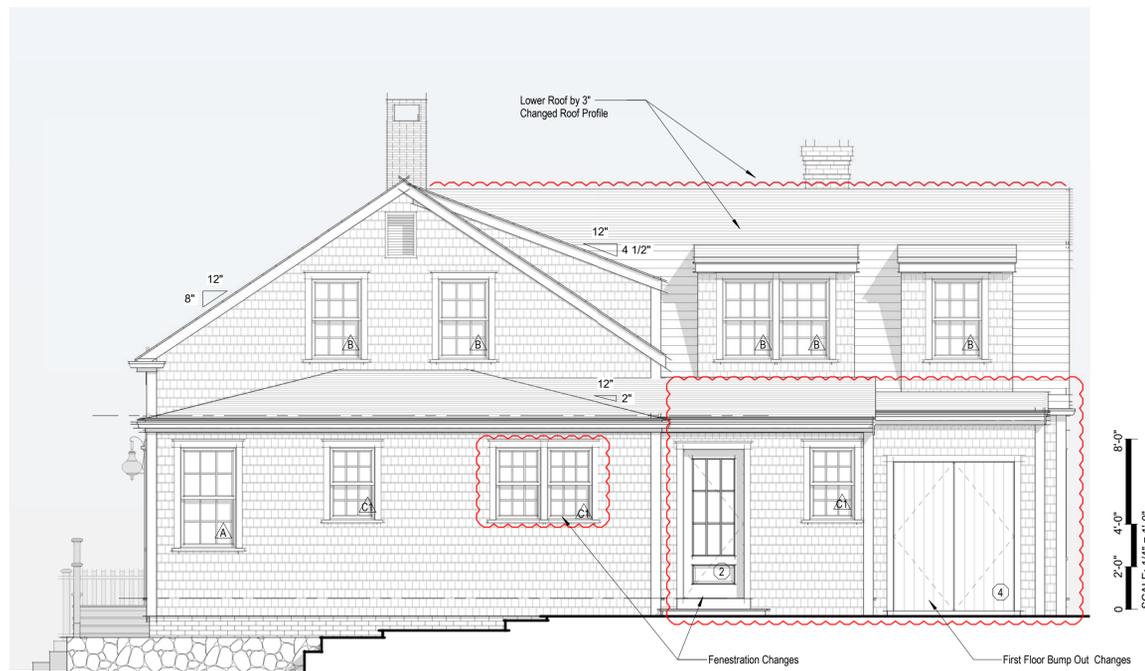
1 East Elevation / No Changes
1/4" = 1'-0"



Previously Proposed East Elevation
1/8" = 1'-0"



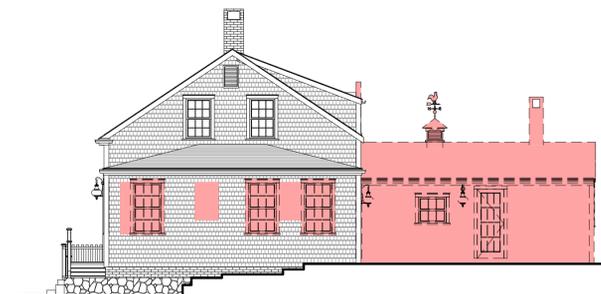
East Elevation - Existing & Demo
1/8" = 1'-0"



2 North Elevation
1/4" = 1'-0"



Previously Proposed North Elevation
1/8" = 1'-0"



North Elevation - Existing & Demo
1/8" = 1'-0"

1943

Main House

32 N. Liberty
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	41 / 159
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Revisions

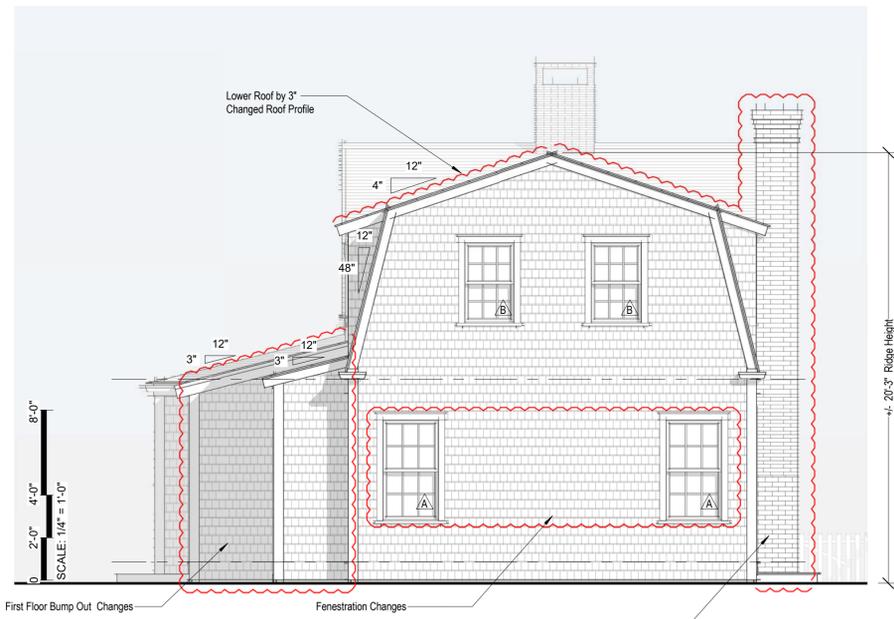
THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.

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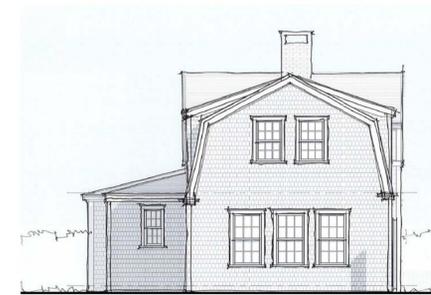
A.2.1
1943

09.17.20

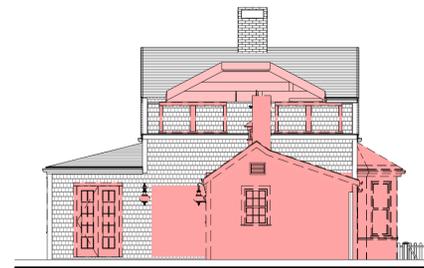
HDC Submission ONLY



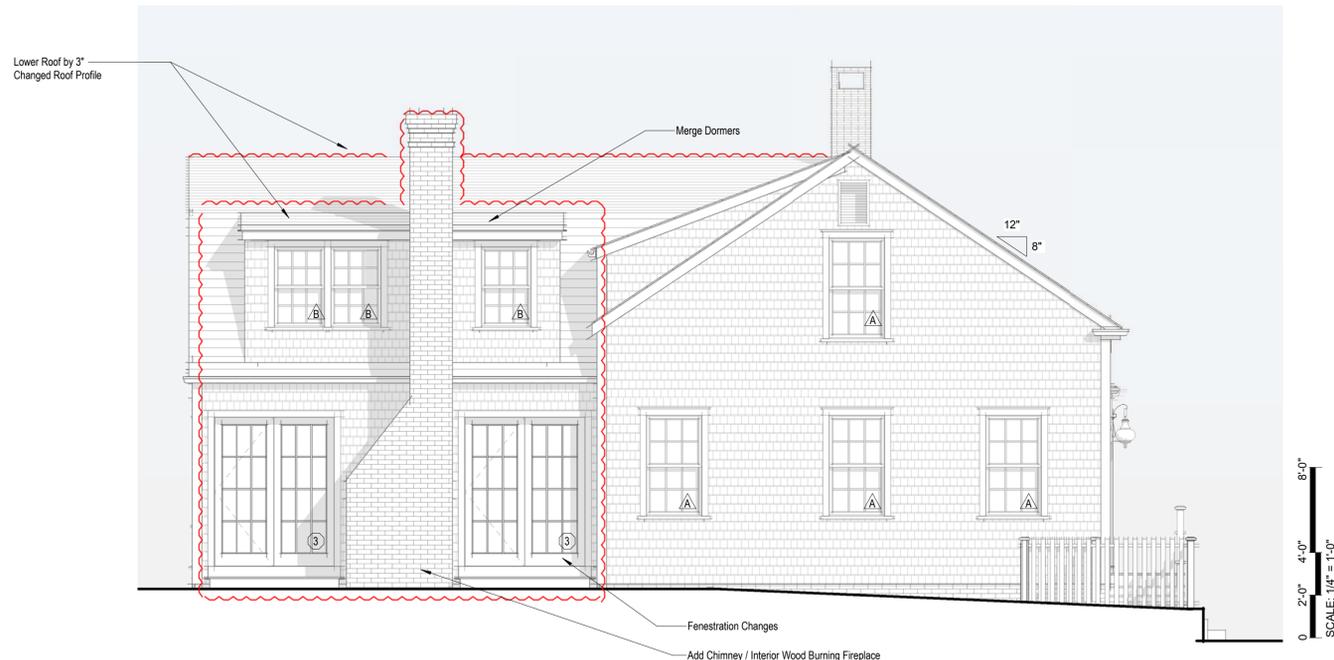
1 West Elevation
1/4" = 1'-0"



Previously Proposed West Elevation
1/8" = 1'-0"



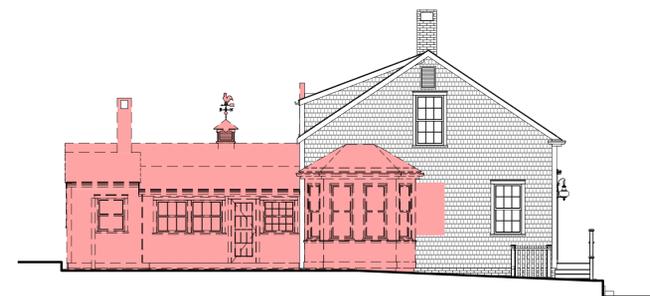
West Elevation - Existing & Demo
1/8" = 1'-0"



2 South Elevation
1/4" = 1'-0"



Previously Proposed South Elevation
1/8" = 1'-0"



South Elevation - Existing & Demo
1/8" = 1'-0"

1943

Main House

32 N. Liberty
Nantucket, MA 02554



Exterior Elevations

Site Information

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SHEET INDEX

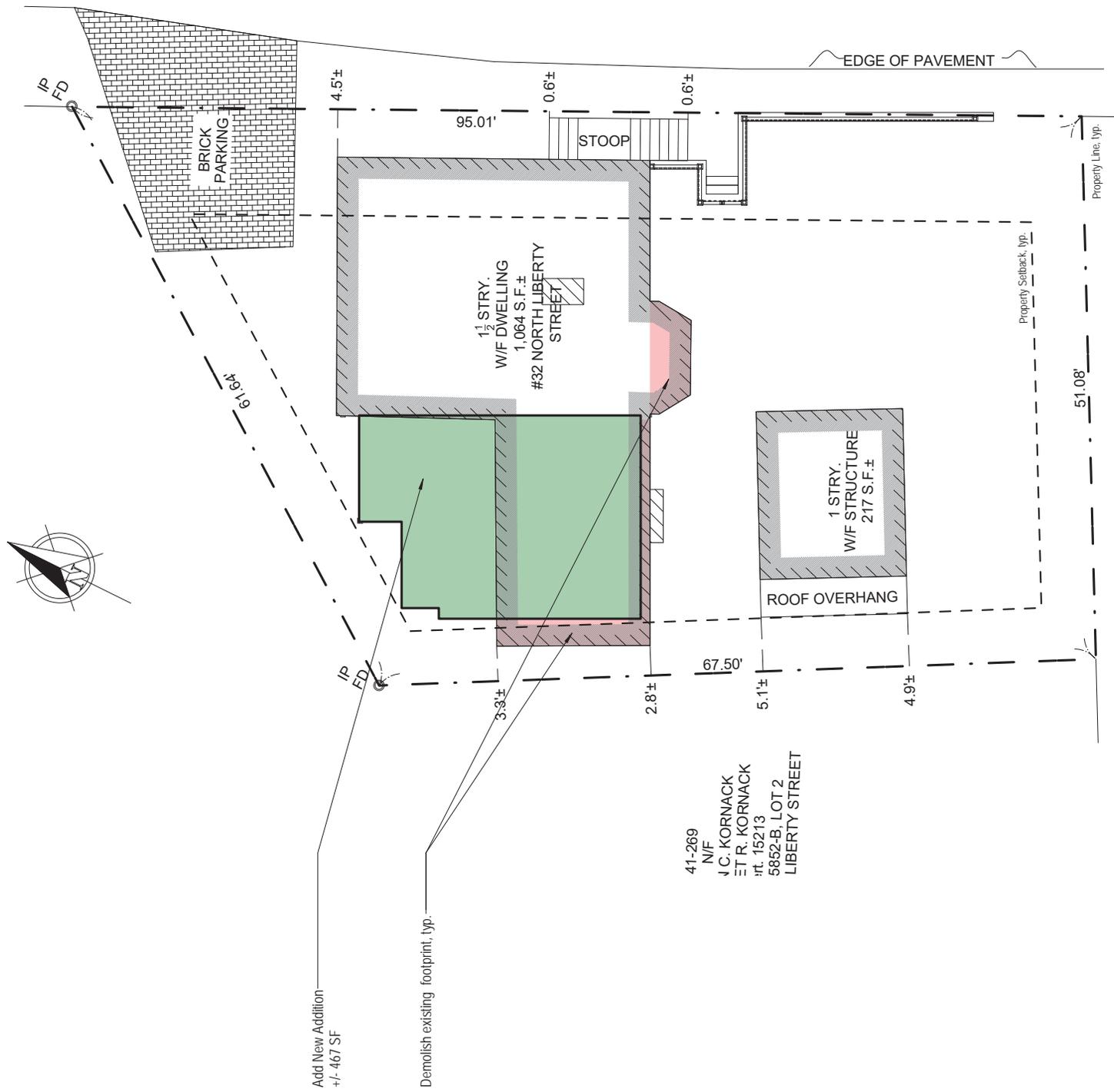
- G.1.1 Cover Sheet
- A.1.1 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

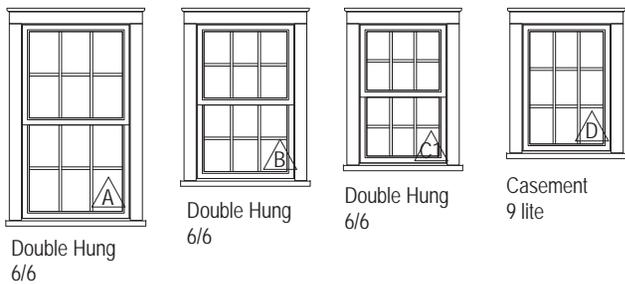
Revisions

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A.2.2
1943

NORTH LIBERTY STREET

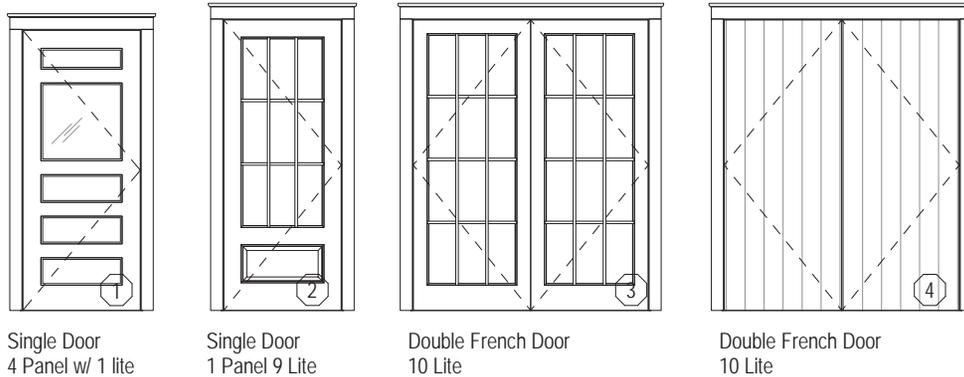




2 Window Legend

1/4" = 1'-0"

WINDOW SCHEDULE				
WINDOW	QUANTITY	UNIT WIDTH	UNIT HEIGHT	DP RATING
A	5	2'-9 3/4"	4'-9 1/2"	≥ 30
B	8	2'-6 3/4"	3'-10"	≥ 30
C1	4	2'-3 3/4"	3'-5 1/2"	≥ 30



3 Door Legend

1/4" = 1'-0"

EXTERIOR DOOR SCHEDULE				
DOOR	QUANTITY	UNIT WIDTH	UNIT HEIGHT	DP RATING
2	1	2'-10"	7'-0"	≥ 30
3	2	5'-8"	7'-0"	≥ 30
4	1	5'-8"	7'-0"	≥ 30

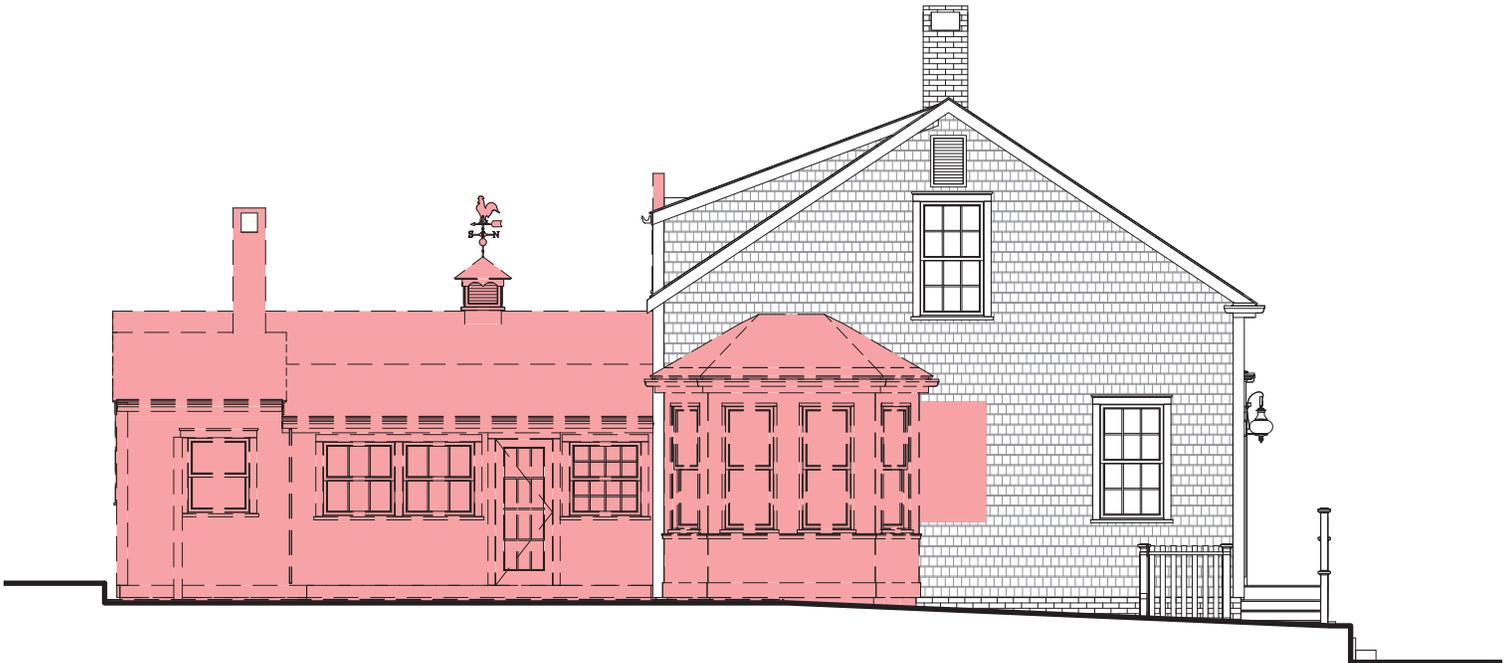
WINDOW & DOOR NOTES

1. Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
2. Windows w/ DP Rating of 30 or Greater Required
3. Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
4. Refer To Plan For Tempered Glass Locations; Contrator To Verify Tempered Windows Are Provided Where Required
5. Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
6. General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
7. General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
8. Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
9. Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
10. The Unit Measurements Given In this Document Are For A Guide Only
11. Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



Previously Proposed South Elevation

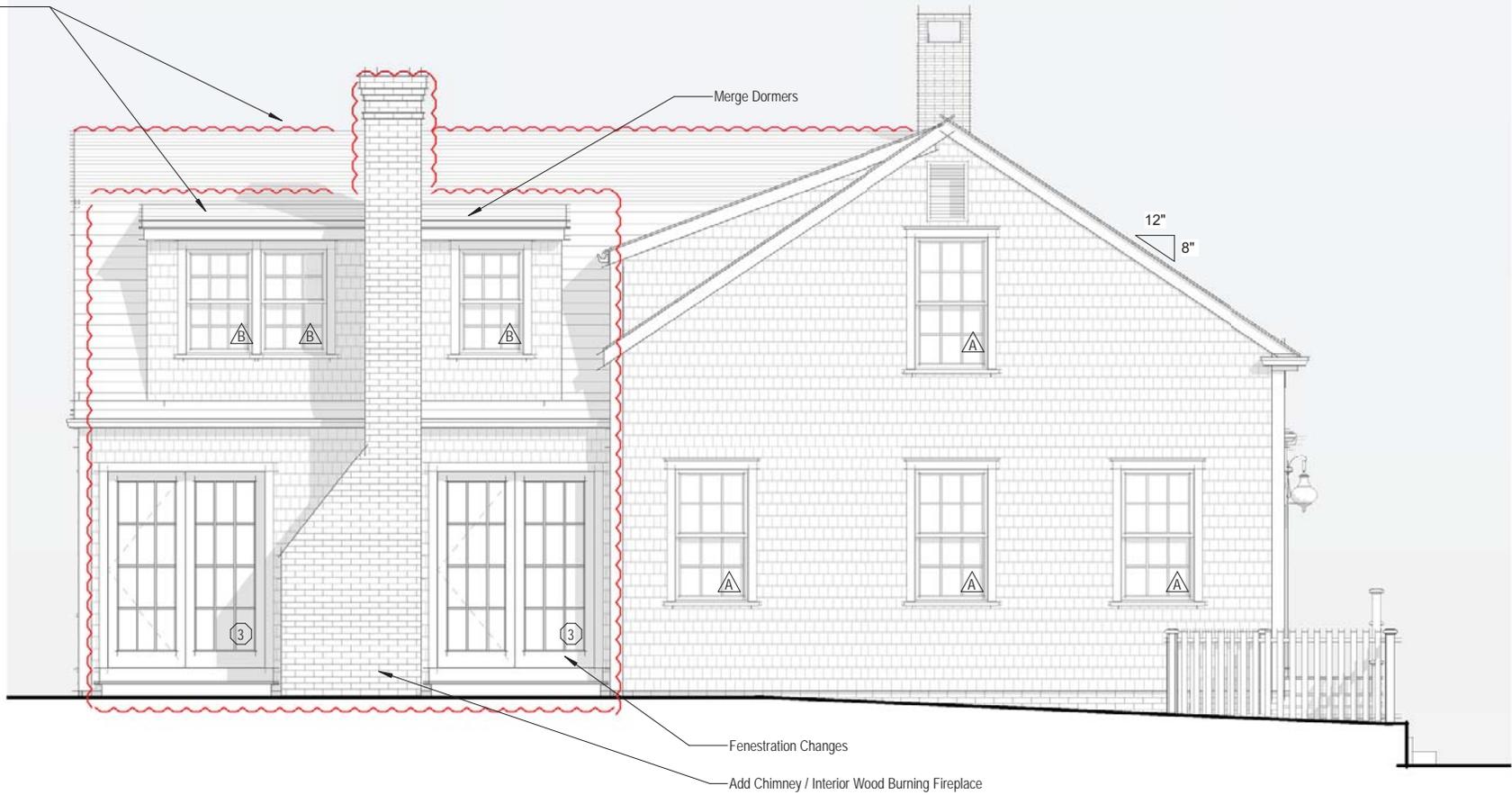
1/8" = 1'-0"



South Elevation - Existing & Demo

1/8" = 1'-0"

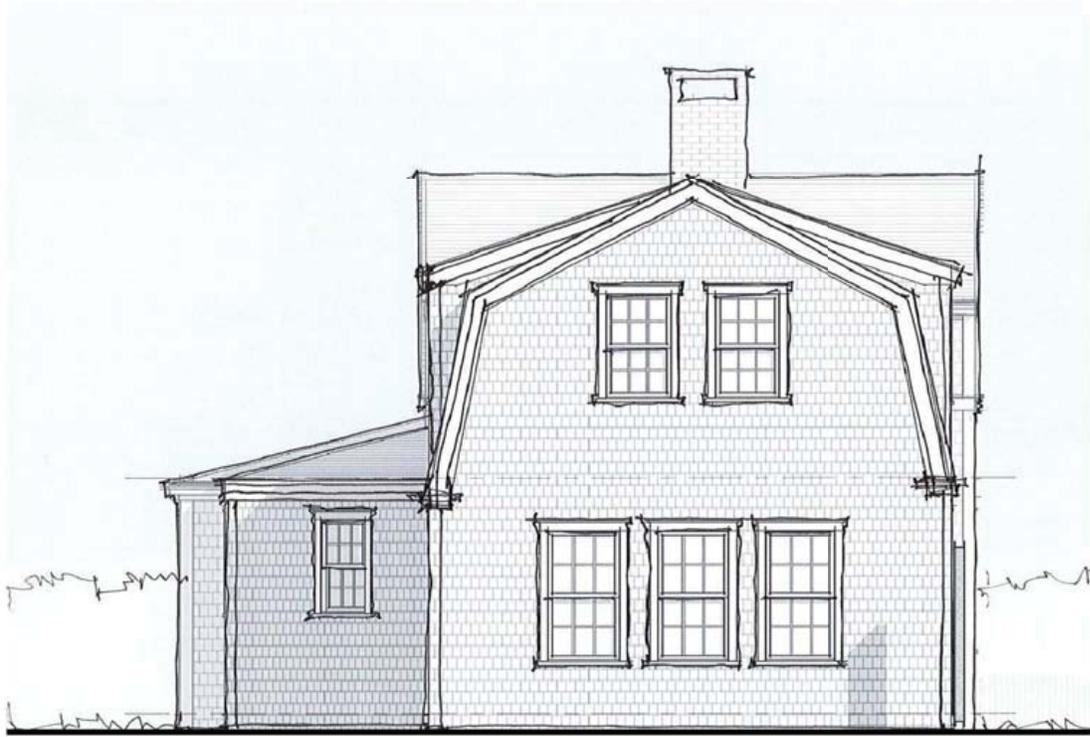
Lower Roof by 3"
Changed Roof Profile



2 South Elevation

1/4" = 1'-0"

Fenestration Changes
Add Chimney / Interior Wood Burning Fireplace



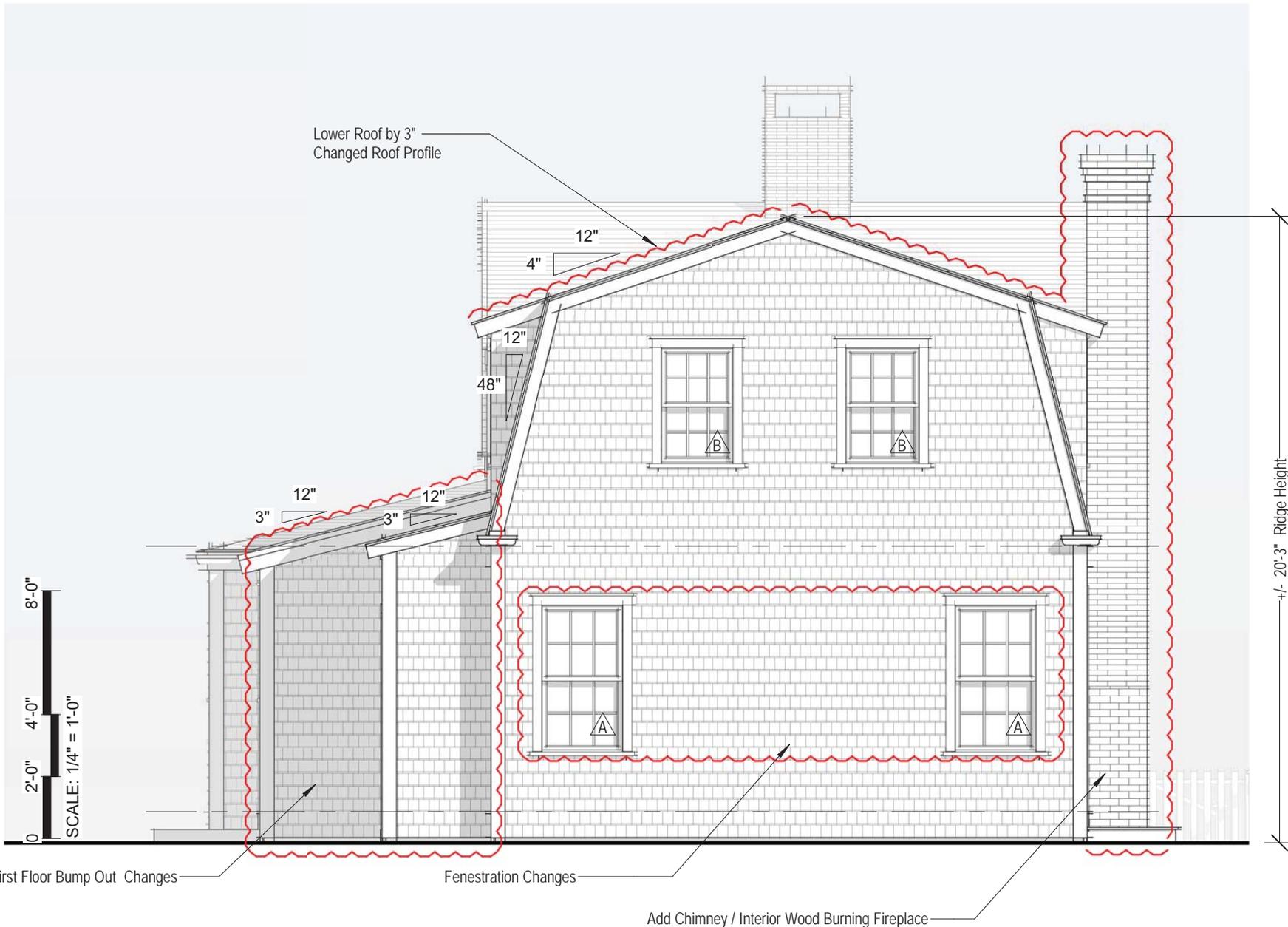
Previously Proposed West Elevation

1/8" = 1'-0"



West Elevation - Existing & Demo

1/8" = 1'-0"



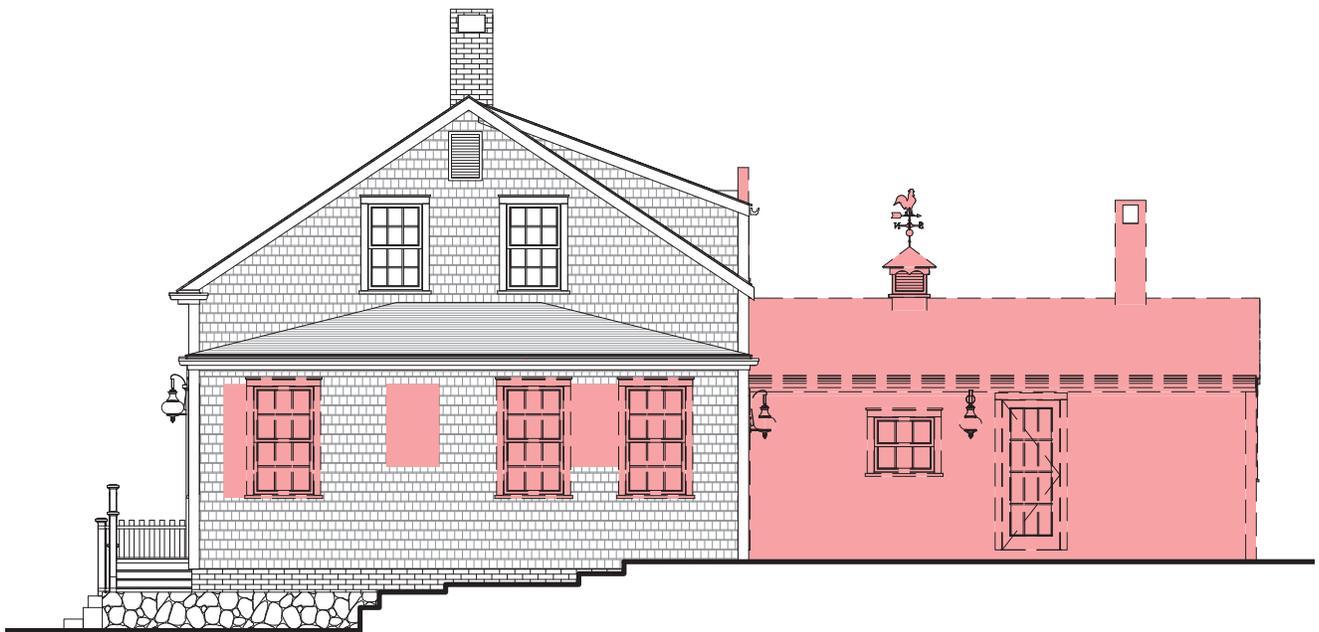
1 West Elevation

1/4" = 1'-0"



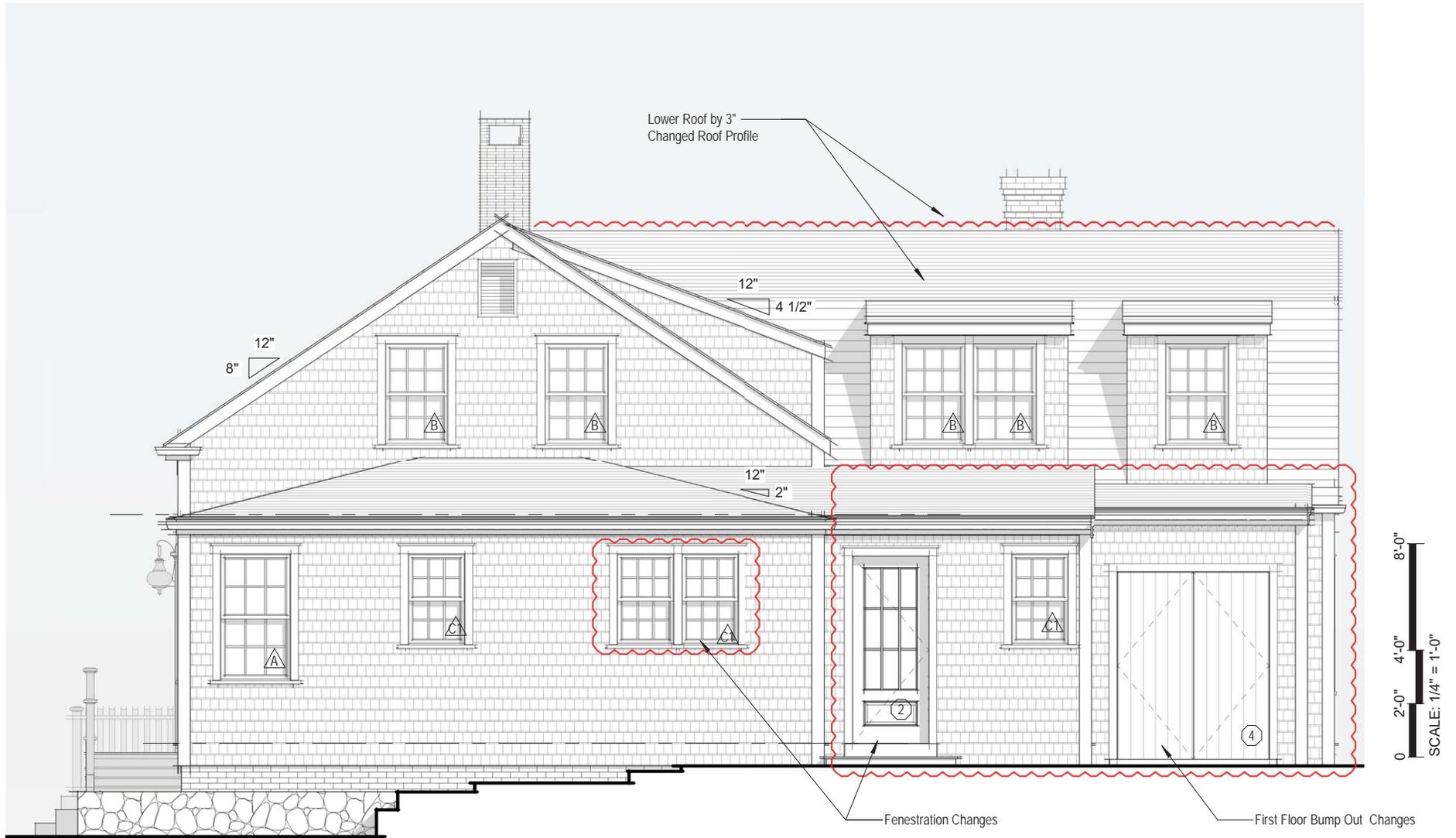
Previously Proposed North Elevation

1/8" = 1'-0"



North Elevation - Existing & Demo

1/8" = 1'-0"



2 North Elevation
1/4" = 1'-0"



Previously Proposed East Elevation

1/8" = 1'-0"



East Elevation - Existing & Demo

1/8" = 1'-0"



1 East Elevation / No Changes
1/4" = 1'-0"



HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road

Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Fax: 508.228.7298

NOTICE OF HDC APPLICATION

ABUTTERS AND INTERESTED PARTIES

Please be informed that the Nantucket Historic District Commission will be considering the following proposal:

Address of Proposed Work: 32 N. Liberty Street

Tax Map Number: 41 Parcel Number: 159

Owner of Record: FROHWEIN STEPHEN C

Description of Proposal: New Addition to Existing Dwelling
+/- 467 SF - Ground Cover

Anticipated HDC Submission Date: 10.01.20

You have been identified either as an abutter or interested party to the above property and are being notified in accordance with the Town Bylaw. Please note that the above submission date is an estimate only; the actual meeting date will be determined once the HDC staff has established that a complete application has been submitted. Please contact the HDC office to verify the date. Please note that notification is only required at the time of initial submission of an application, not for each time an application goes before the Commission. Abutters are responsible for monitoring the status of applications.

If you wish to comment on the above proposal, you are encouraged to submit your comments in writing to the HDC office. If you wish to testify at a Commission meeting please be aware that your testimony may be limited by the Commission in accordance with Commission policies, which are included on the back of this form. Due to the large sizes of most applications, the HDC office may not be able to send faxed copies of the plans. Off-island abutters wishing more detailed information may enlist an on-island representative to view the plans in the HDC office.

If you have any questions, please contact the HDC office at 508.325.7587.

TOWN OF NANTUCKET
HISTORIC DISTRICT COMMISSION

LIST OF PARTIES IN INTEREST IN THE MATTER OF THE PETITION OF:

PROPERTY OWNER..... Stephen Frohwein
MAILING ADDRESS..... 2053 Edinburgh Terrace, Atlanta, GA 30307
PROPERTY LOCATION..... 32 N. Liberty
ASSESSORS MAP/PARCEL..... 41/159
SUBMITTED BY:..... Emeritus

SEE ATTACHED PAGES

I certify that the foregoing is a list of persons who are owners of land directly adjacent to the subject property or directly opposite the subject property on any public or private street or way, all as they appear on the most recent applicable tax list.

09-30-2020

DATE

Digitally signed by Rob Ranney
DN: cn=Rob Ranney, o=Town of Nantucket,
ou=Assessor's Office,
email=rranney@nantucket-ma.gov, c=US
Date: 2020.09.30 08:54:16 -04'00'

ASSESSOR'S OFFICE
TOWN OF NANTUCKET

7020 1290 0001 7942 9368

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Lunenburg, MA 01462

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\$	
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00



Postage \$0.55
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HOYT TRUST
39 KILBURN STREET
LUNENBURG, MA 01462

7020 1290 0001 7942 9375

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Dover, MA 02030

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00



Postage \$0.55
KORNACK FULTON C & MARGARET
10 RIVERVIEW TERRACE
DOVER, MA 02030

7020 1290 0001 7942 9382

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

Nantucket, MA 02554

OFFICIAL USE

Certified Mail Fee	\$3.55
\$	
Extra Services & Fees (check box, add fee as appropriate)	\$0.00
<input type="checkbox"/> Return Receipt (hardcopy)	\$0.00
<input type="checkbox"/> Return Receipt (electronic)	\$0.00
<input type="checkbox"/> Certified Mail Restricted Delivery	\$0.00
<input type="checkbox"/> Adult Signature Required	\$0.00
<input type="checkbox"/> Adult Signature Restricted Delivery	\$0.00



Postage \$0.55
KASCHULUK JEFFREY TR
NANTICUT REALTY TRUST
PO BOX 241
NANTUCKET, MA 02554

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 55.4.4 PARCEL N^o: 56 (PORTION)
Street & Number of Proposed Work: 38 PROSPECT ST (LOT 29)
Owner of record: 38 PROSPECT LLC
Mailing Address: 197 8th ST; APT 524
CHARLESTOWN, MA 02129
Contact Phone #: 781.424.8396 E-mail: _____

AGENT INFORMATION (if applicable)

Name: BROOK MEERBERGEN
Mailing Address: PO BOX 673
02554
Contact Phone #: 81388 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____

Must be acted on by: _____

Extended to: _____

Approved: _____ Disapproved: _____

Chairman: _____

Member: _____

Member: _____

Member: _____

Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling
- Addition
- Garage
- Driveway/Apron
- Commercial
- Historical Renovation
- Deck/Patio
- Steps
- Shed
- Color Change
- Fence
- Gate
- Hardscaping
- Move Building
- Demolition
- Revisions to previous Cert. No. _____
- Pool (Zoning District _____)
- Roof
- Other _____

Size of Structure or Addition: Length: 28'-0" Sq. Footage 1st floor: 504 Decks/Patio: Size: _____ 1st floor 2nd floor
1008 * .20 => \$201.60 Width: 18'-0" Sq. footage 2nd floor: 504 Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North LEVEL LOT @ THE 55'5" TOPOLINE South _____ East _____ West _____
Height of ridge above final finish grade: North 22'-2" South _____ East _____ West _____

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
(describe) 2. South Elevation
Original Date: _____

Original Date:

(describe)

3. West Elevation

Original Builder:

4. North Elevation

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 6" Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 9 /12 Secondary Mass _____ /12 Dormer 9 /12 Other 4/12 PENT ROOF (REAR)

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) FIBERGLASS GUTTER CD 6.75

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1x10 Rake 1x8 Soffit (Overhang) 10" Corner boards 5/4x8 Frieze 1x6
Window Casing 5/4x4 Door Frame 5/4x4 Columns /Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer ANDERSEN

Doors* (type and material): TDL SDL Front 6LT/PANEL Rear 3LT/2 PANEL Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways WHITE SHELL Walkways BLUESTONE STEPS Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NTW Clapboard (if applicable) _____ Roof NTW
Trim WHITE Sash WHITE Doors WHITE
Deck MAHOG NTW Foundation GREY Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

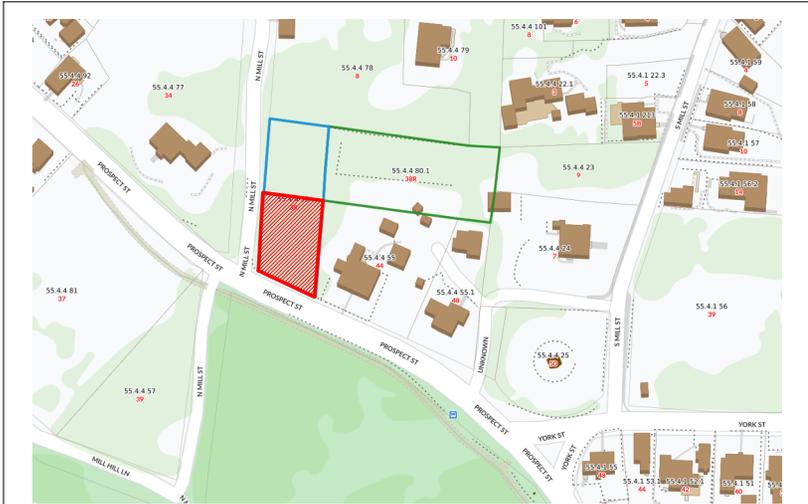
Date 09.02.2020

Signature of owner of record [Signature]

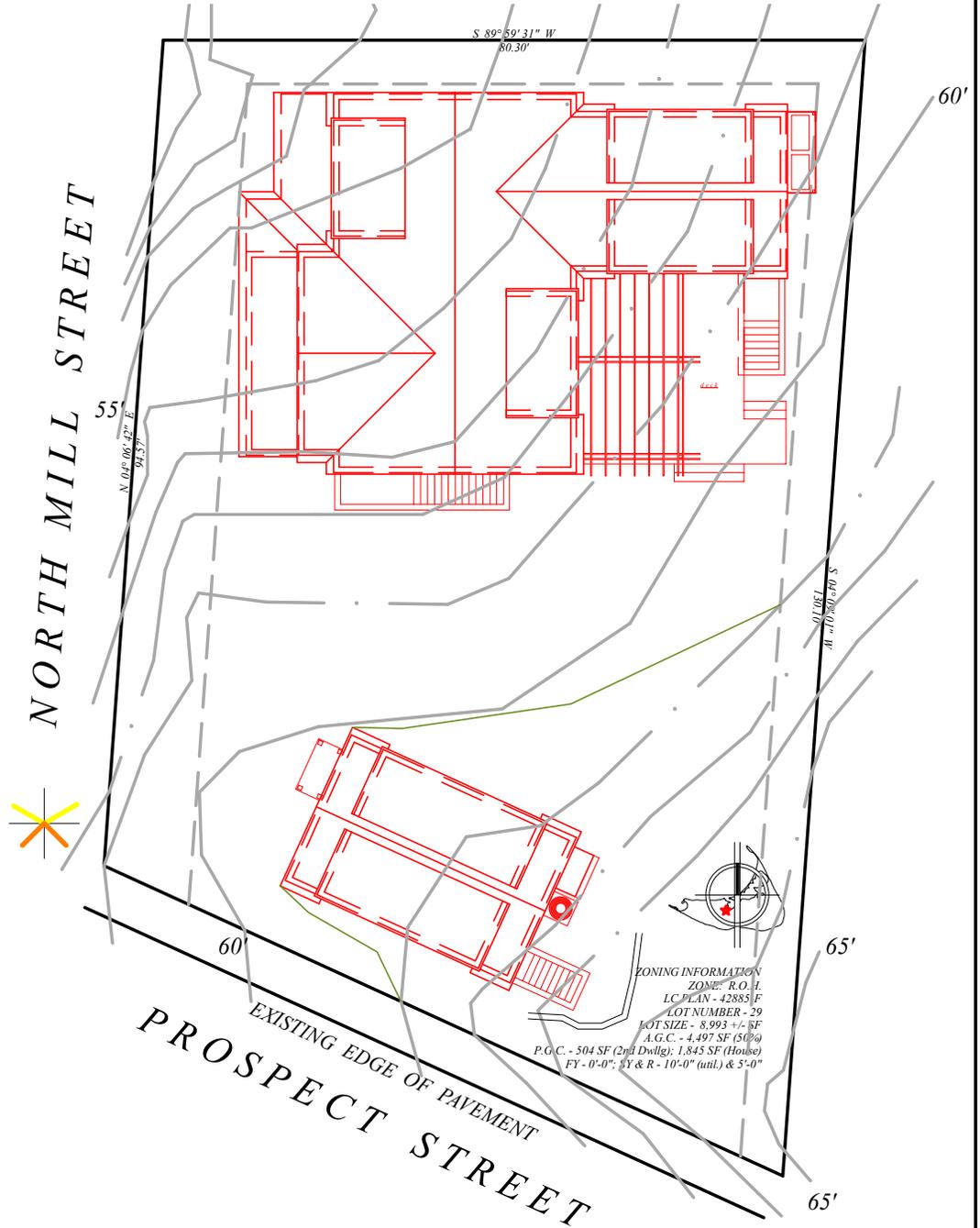
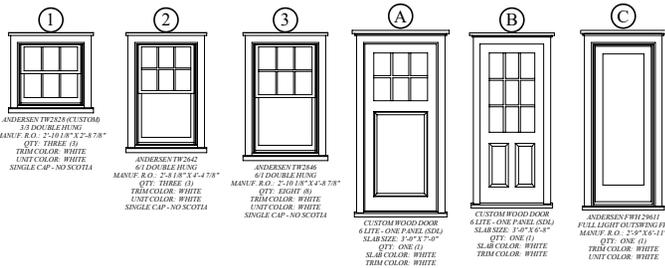
Signed under penalties of perjury

38 PROSPECT LLC
 NEW SECOND DWELLING
 38 PROSPECT STREET (PORTION)
 SCALE: 1" = 20'-0"

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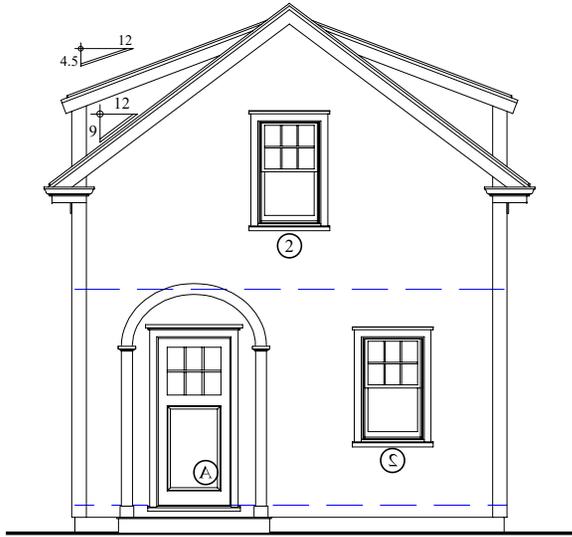
LOCUS MAP - NOT TO SCALE
 38 PROSPECT LLC - MAP 55.4.4; PCL 56 (PORTION)



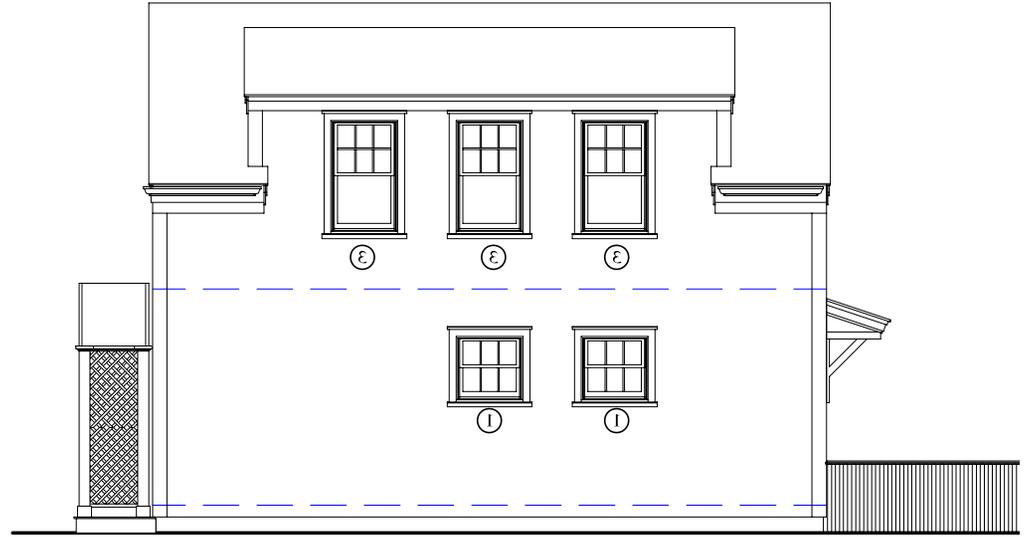
MEERBERGEN DESIGNS
 PO BOX 673
 NANTUCKET, MA 02554
 508.228.1388

38 PROSPECT LLC
 NEW SECOND DWELLING
 38 PROSPECT STREET (PORTION)
 SCALE: 1/8" = 1'-0"

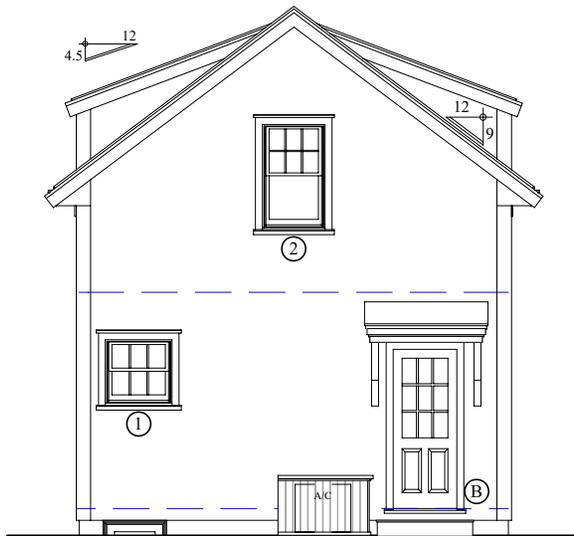
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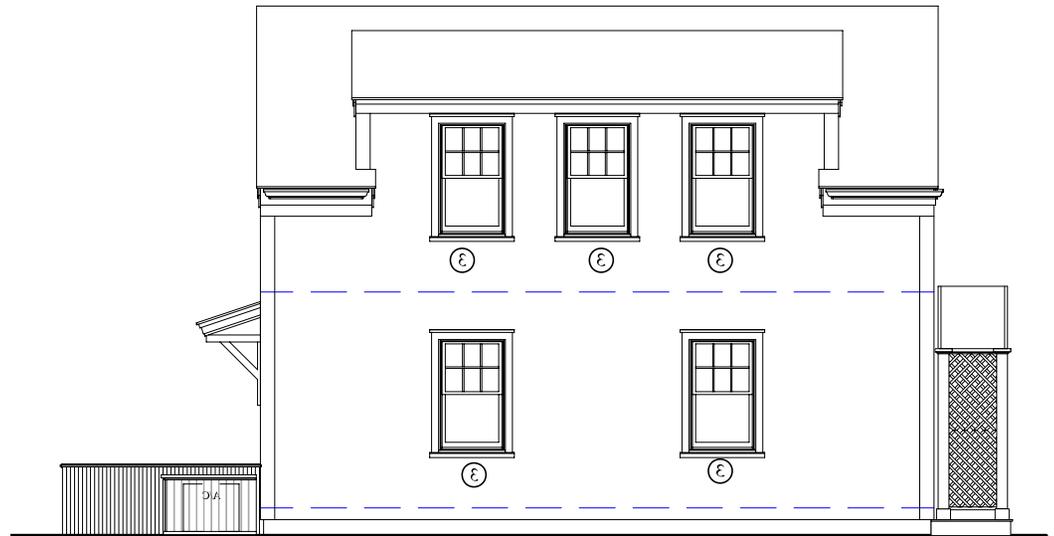
WEST ELEVATION
 FACING NORTH MILL STREET



SOUTH ELEVATION
 FACING PROSPECT STREET



EAST ELEVATION
 FACING FRAKER PROPERTY

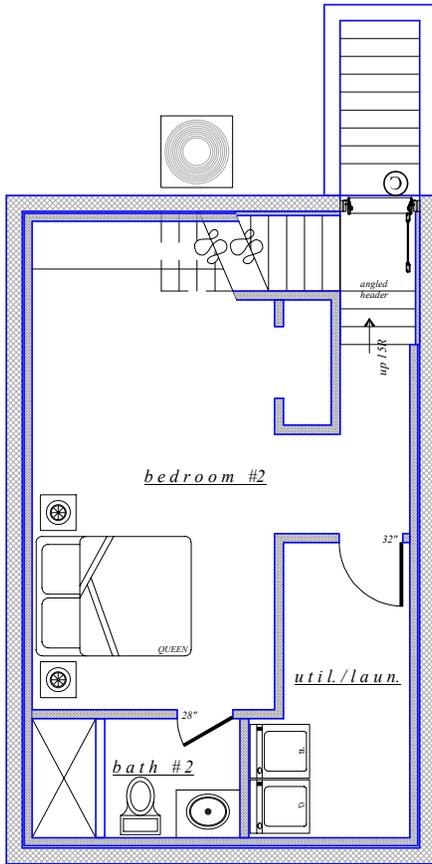


NORTH ELEVATION
 FACING HOUSE

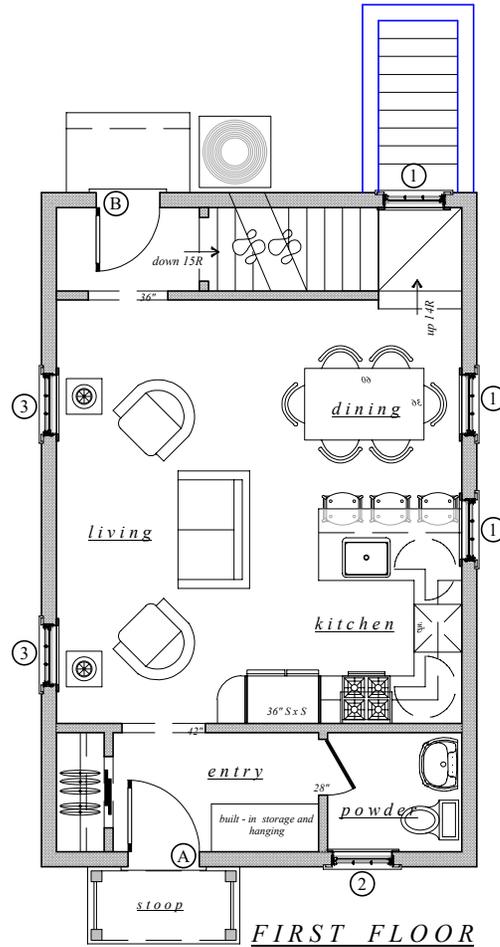
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 508.228.1388

38 PROSPECT LLC
 NEW SECOND DWELLING
 38 PROSPECT STREET (PORTION)
 SCALE: 1/8" = 1'-0"

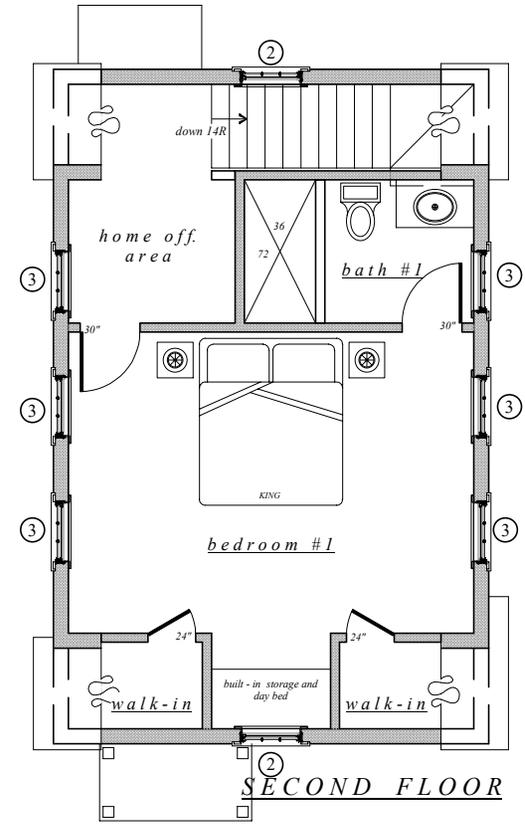
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BASEMENT PLAN



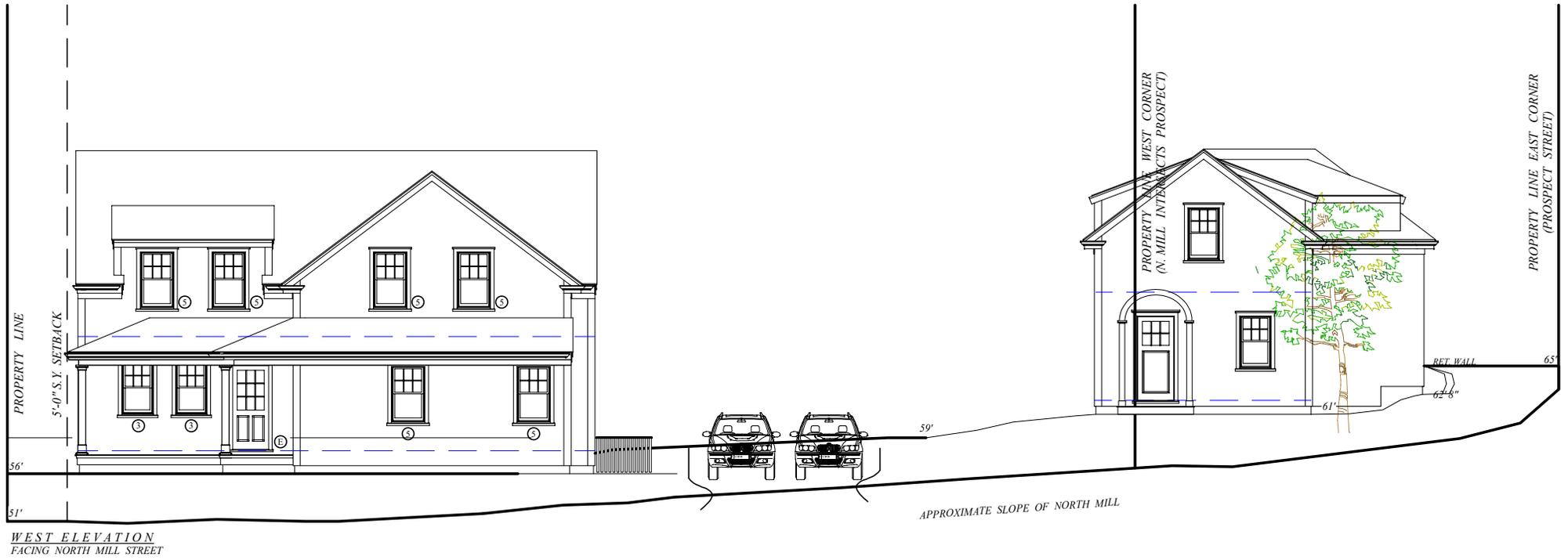
FIRST FLOOR



SECOND FLOOR

LOT SLOPE PERSPECTIVE
38 PROSPECT LLC
38 PROSPECT STREET (PORTION)
SCALE: NO SCALE

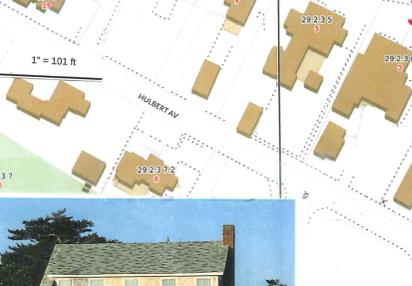
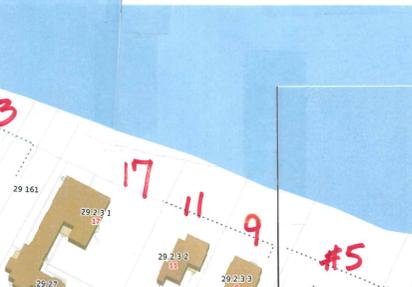
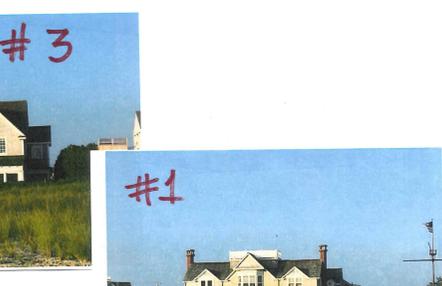
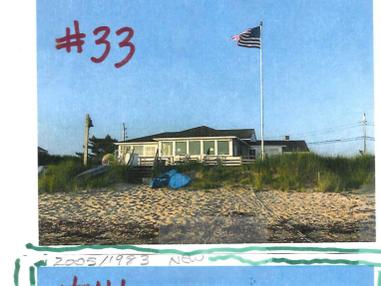
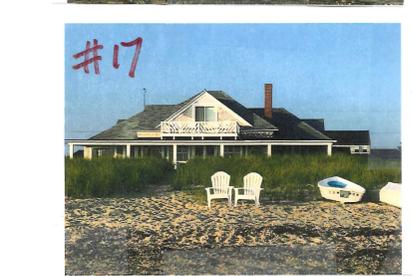
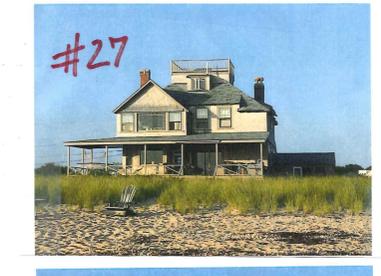
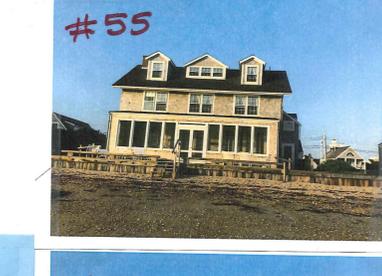
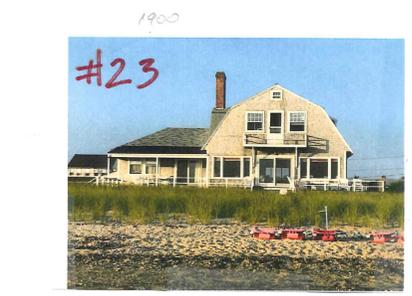
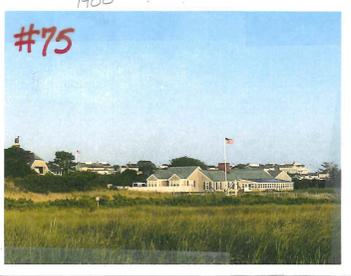
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508.228.1388

PHOTO BEACH SIDE REVIEW

THIS SHOWS THE WIDE VARIETY OF ARCHITECTURAL STYLES ALONG THE SHORELINE.



ORIGINAL HOUSE 45 HULBERT BUILT IN 1900 - MOVED TO MILLARD ST. IN 1939



9. A.C. Wetherill Trust 09-1655 45 Hulbert Avenue New dwelling

Voting Pohl, Coombs, McLaughlin, Camp, Oliver
Alternates Welch, Dutra
Recused None
Documentation Architectural elevation plans, site plan, photos, and advisory comments.
Representing Luke Thornewill, Thornewill Design
Linda Williams
Sarah Alger, Sarah F. Alger P.C.

Public
Concerns (8:26)

None
Thornewill – Presented project; Conservation Commission wants the indoor:outdoor ratio to remain the same as the existing.
Backus – Read HSAB comments: fine with gambrel; look at other gambrel examples; make dormers smaller; lack of hierarchy; roofwalk looks lopsided; long ridge on water side; need central front door; focus should be on front door. She recommends having an outline of the existing with a floor plan to understand the changes.
Camp – Agrees about seeing how this fits on the old footprint. North elevation, if the porch went all the way across, it would unify that elevation. West elevation, there are two planes going back and no hierarchy. Not sure about the roofwalk.
Oliver – Agrees the larger mass from the south could be wider; that would make the left wing more additive. Likes the gambrel style.
Coombs – The 6-over-1 windows don't go with the 1940s feel Mr. Thornewill is going for. East and west elevations look like they belong. South elevation is just a big rectangle. The front facade is not interesting. Houses along Hulbert fronted on the water with Hulbert Avenue as the rear. This should have at least 2 chimneys.
McLaughlin – No comments at this time.
Pohl – South elevation doesn't have enough difference between the main mass and the left mass; should drop the secondary ridge 2 feet; all the windows are too small; too much horizontal boarding; bring shingles down farther.

Motion
Roll-call Vote

Motion to Hold for revisions. (Oliver)
Carried 5-0//Coombs, McLaughlin, Camp, Oliver, and Pohl-aye Certificate #

10. Nan. Westmoor Farm, LLC 09-1691 8 Old Westmoor Farm Move off/demo red barn

41/822 Workshop APD

REVISIONS

Voting Pohl, Coombs, McLaughlin, Camp, Oliver
Alternates Welch, Dutra
Recused None
Documentation Architectural elevation plans, site plan, photos, and historic documentation.
Representing Michael Luft-Weissberg, Workshop APD
Public None
Concerns (8:46)

Luft-Weissberg – Presented overall project; the Red Barn is circa 1991 and Green Barn circa 1997; we have takers for the buildings.
Oliver – Hopes these get reused; feels sinful to demolish.
Camp – This is a wonderful building.
McLaughlin – Doesn't like to see new stuff being demolished.
Coombs – She'd be sorry to see them demolished.
Pohl – We are charged with saving historic buildings and these are not; doesn't think they could be moved.
Motion to Approve the move-off/demolition. (Oliver)
Carried 3-2//McLaughlin, Oliver, and Pohl-aye; Coombs & Camp-nay Certificate #

Motion
Roll-call Vote

Carried 3-2//McLaughlin, Oliver, and Pohl-aye; Coombs & Camp-nay Certificate # 41/822

HDC2020-09-1691
Workshop APD

11. Nan. Westmoor Farm, LLC 09-1690 8 Old Westmoor Farm Move off/demo green barn

Voting Pohl, Coombs, McLaughlin, Camp, Oliver
Alternates Welch, Dutra
Recused None
Documentation Architectural elevation plans, site plan, photos, and historic documentation.
Representing Michael Luft-Weissberg, Workshop APD
Public None
Concerns (time)

See concerns for Item 10.
Motion to Approve the move-off/demolition. (Oliver)
Carried 3-2//McLaughlin, Oliver, and Pohl-aye; Coombs & Camp-nay Certificate #

41/822

HDC2020-09-1690
Workshop APD

12. Nan. Westmoor Farm, LLC 09-1688 8 Old Westmoor Farm Move off/demo gazebo

Voting Pohl, Coombs, McLaughlin, Camp, Oliver
Alternates Welch, Dutra
Recused None
Documentation Architectural elevation plans, site plan, photos, and historic documentation.
Representing Michael Luft-Weissberg, Workshop APD
Public None
Concerns (time)

See concerns for Item 10.
Motion to Approve the move-off/demolition. (Oliver)
Carried 3-2//McLaughlin, Oliver, and Pohl-aye; Coombs & Camp-nay Certificate #

41/822

HDC2020-09-1688

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 29 PARCEL N^o: 16
 Street & Number of Proposed Work: 45 Fulbert Ave
 Owner of record: ActWetherill trust
 Mailing Address: 45 Fulbert Ave
Nantucket Ma
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Thornhill Design LLC
 Mailing Address: 48 Dukes Road
Nantucket, Ma
 Contact Phone #: _____ E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____
 Size of Structure or Addition: Length: 70 Sq. Footage 1st floor: 2305 Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 52 Sq. Footage 2nd floor: 1772 Size: _____ 1st floor 2nd floor
 Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0
 Height of ridge above final finish grade: North 30'-3" & 29" South 28'-3" & 29" East 28'-3" & 30'-3" West 29' & 28'-3"

Additional Remarks

REVISIONS*

Historic Name: _____
 Original Date: _____ (describe)
 Original Builder: _____

Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 3" Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____
 Roof Pitch: Main Mass 24/12 Secondary Mass 24/12 Dormer 5/12 Other 5/12 GAMBREL TOP CHORD

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Red Cedar

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): 4x4 WOOD

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake 1x8 & 3 Soffit (Overhang) 8" Corner boards 1x6 Frieze _____

Window Casing 1x5 Door Frame 1x5 Columns/Posts: Round _____ Square 8"

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer MARVIN

Doors* (type and material): TDL SDL Front 6 panel Rear 15 Light Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways shell Walkways Bluestone Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall Nat Clapboard (if applicable) _____ Roof Nat
 Trim White Sash White Doors White
 Deck _____ Foundation Nat Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Signature of owner of record Luke Thornhill for Dave Wetherill Tr. Signed under penalties of perjury



North Elevation

SCALE: 1/4" = 1'-0"

REVISION NOTES:

1. WEST GAMBREL SHIFTED SOUTH SO SEPARATION AT ROOF PLANE
2. MASTER BED DORMER REDUCED IN SIZE
3. CHIMNEY'S ADDED
4. ALL WINDOWS BIGGER
5. ALL WINDOWS 6/6



East Elevation

SCALE: 1/4" = 1'-0"



North Elevation- Last HDC

SCALE: 3/32" = 1'-0"

GENERAL NOTES:

- EXT. WALLS- WHITE CEDAR SHINGLES
- EXT. TRIM- 5/4" x 6" CORNER BDS- PNT WHITE
- 10" RAKE W/ 3.5" SHADOW BD.
- 8" FASCIA
- WINDOWS- WHITE
- DR & WINDOW TRIM- 5/4" x 5" - PNT WHITE
- ROOF- RED CEDAR
- POSTS- 8 x 8- PNT WHITE
- DECK- 1 x 4 MAHOGANY- NATURAL
- FRONT DOOR- WD- PTD
- ROOF WALK SKIRT- NATURAL CEDAR
- SKIRT @ BASE OF BLDG- NATURAL CEDAR- 1 x 8's w/ 1"
- SPACING -CONCEALS CONCRETE FOUNDATION
- HANDRAILS - PNT WHITE, 1" SQ. BALUSTERS, 4" POSTS
- AC UNITS CONCEALED W/ 1 x 6 CEDAR



East Elevation- Last HDC

SCALE: 3/32" = 1'-0"

ISSUES/REVISION DATE
HDC 1 8/24/20
Con Com 8/27/20
HDC 2 9/29/20

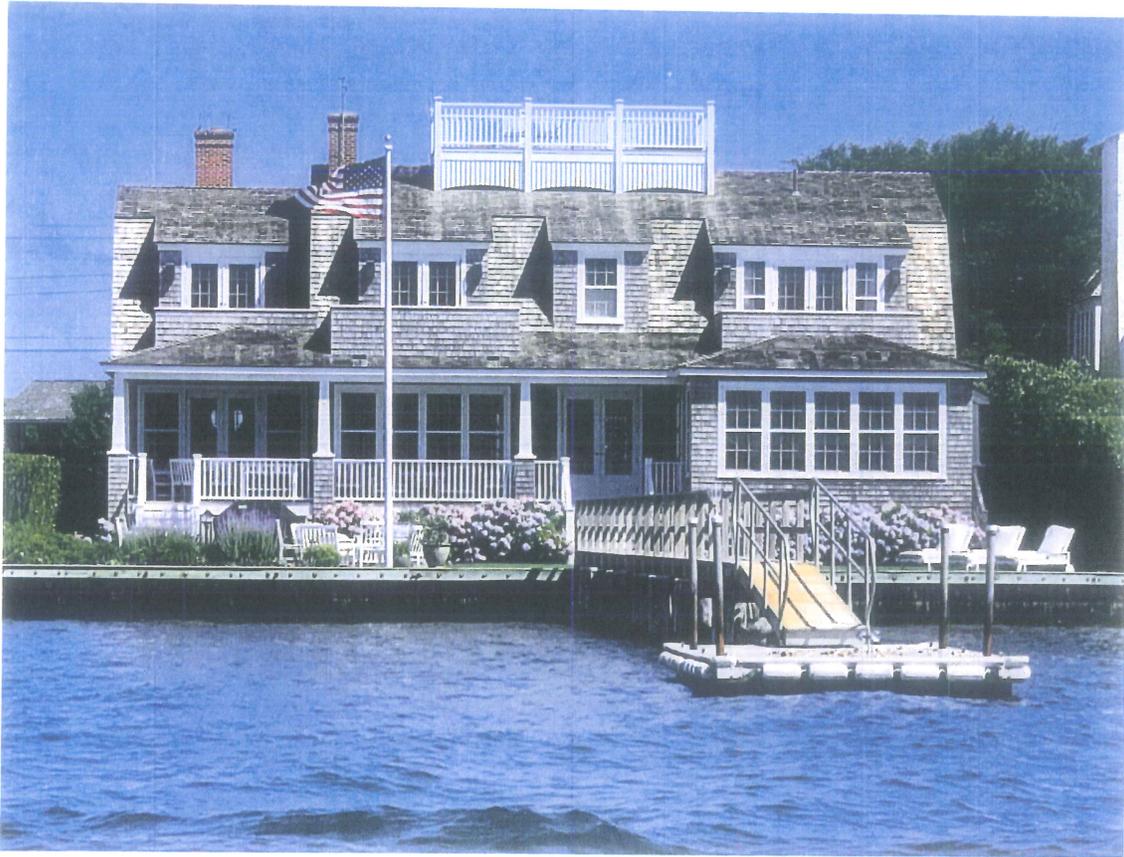
Proposed
 Wallace Residence
 45 Hulbert Ave
 Nantucket, Massachusetts
 Map & Parcel
 29- 16

USE OF DRAWING
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 project and site. The contents of this drawing
 or reproduction without the expressed written
 permission of the Designer. This drawing is to
 be returned to the Designer upon request.
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Thornewill Design LLC
 48 Duker Road
 Nantucket, Ma. 02554
 Tele. 508 228 9161 Fax 508 228 3165

Project No: LT
 Designed by: PM
 Drawn by: PM
 Checked by: LT

Sheet No:
 A2.2
 Contents:
 Elevations



RECENT HDC APPROVED HOME, PRECEDENT FOR
GAMBREL ROOF, GANGED WINDOWS & DOORS, UPPER
DECKS WITH SHINGLED WALLS.

Easton street



EXISTING # 45

HENRY ST.
PUBLIC ACCESS

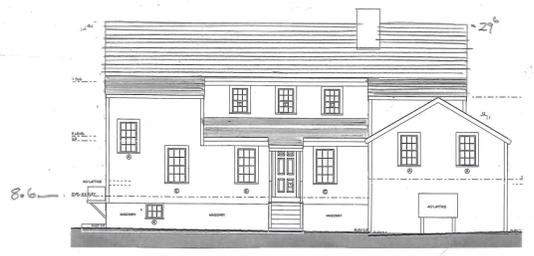


BEACH CONTEXT STUDY



HENRY STREET

PROPOSED



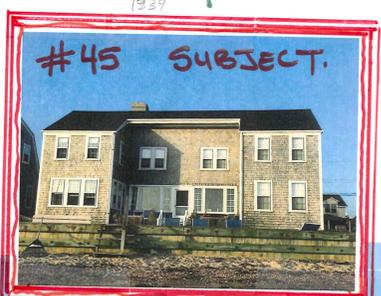
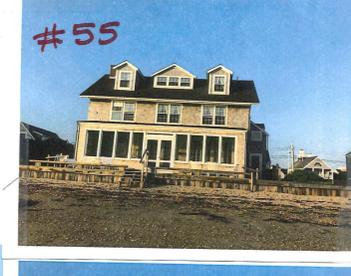
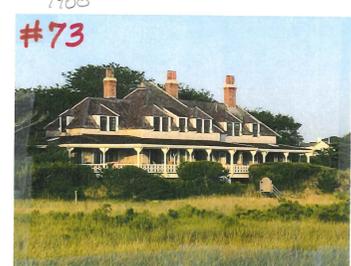
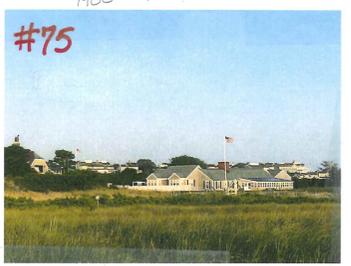
EXISTING # 45

HULBERT AVENUE STREET SCAPE

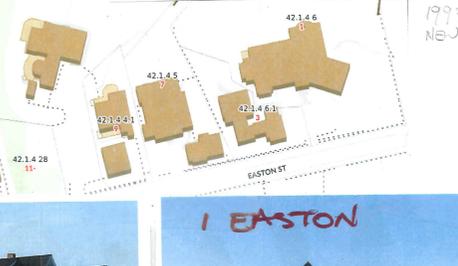
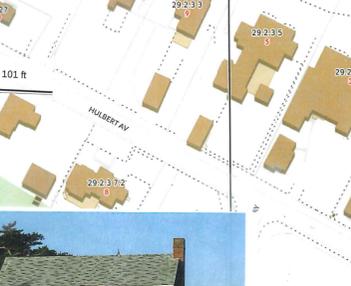
NOTE:
INFORMATION ESTABLISHED FROM
BLDG DEPT RECORD DRAWINGS
AND ASSUMED FLOOD PLUME
ELEVATIONS 9 & 10.

PHOTO BEACH SIDE REVIEW

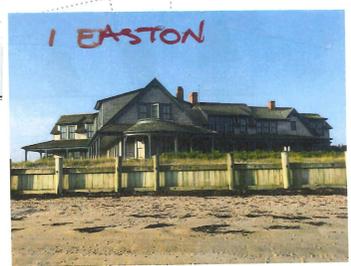
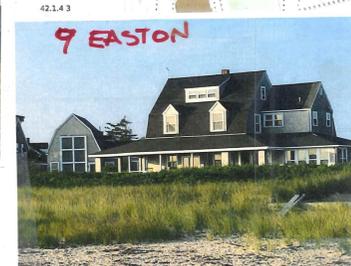
THIS SHOWS THE WIDE VARIETY OF ARCHITECTURAL STYLES ALONG THE SHORELINE.



SUBJECT #45 HOUSE & CONTEXT



ORIGINAL HOUSE 45 HULBERT BUILT IN 1900 - MOVED TO MILLARD ST. IN 1939



CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

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PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 230
 Street & Number of Proposed Work: 45 W. Chester St.
 Owner of record: Anne & William McGivrey
 Mailing Address: 45 W. Chester St.
NANTUCKET, MA 02554
 Contact Phone #: 508-228-0689 E-mail: Structurescunltd@gmail.com

AGENT INFORMATION (if applicable)

Name: NANTUCKET Structures UNLTD, Inc.
 Mailing Address: 20 Gordon Ave
NANTUCKET, MA 02554
 Contact Phone #: 508-228-0689 E-mail: Structurescunltd@gmail.com

FOR OFFICE USE ONLY

Date application received: 8/14/2020 Fee Paid: \$ 50.00
 Must be acted on by: 9/24/2020
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 10 Sq. Footage 1st floor: 705F Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 7 Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North 0 South 0 East 0 West 0
 Height of ridge above final finish grade: North 11'6" South 11'6" East 11'6" West 11'6"

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
 Original Date: _____ (describe) 2. South Elevation
 Original Builder: _____ 3. West Elevation
 Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
 Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass 9/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Red Cedar/Pine/Tongue

Fence: Height: _____
 Type: _____
 Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles Natural Clapboard (exposure: _____ inches) Front Side
 Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 1" X 5" Rake 1" X 5" Soffit (Overhang) 1" X 5" Corner boards 1" X 6" Frieze 1" X 5"

Window Casing 1" X 4" Door Frame 1" X 4" Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other Hopper Style/Pine
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front T&G-Preprimed Pine Rear _____ Side T&G-Preprimed Pine

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

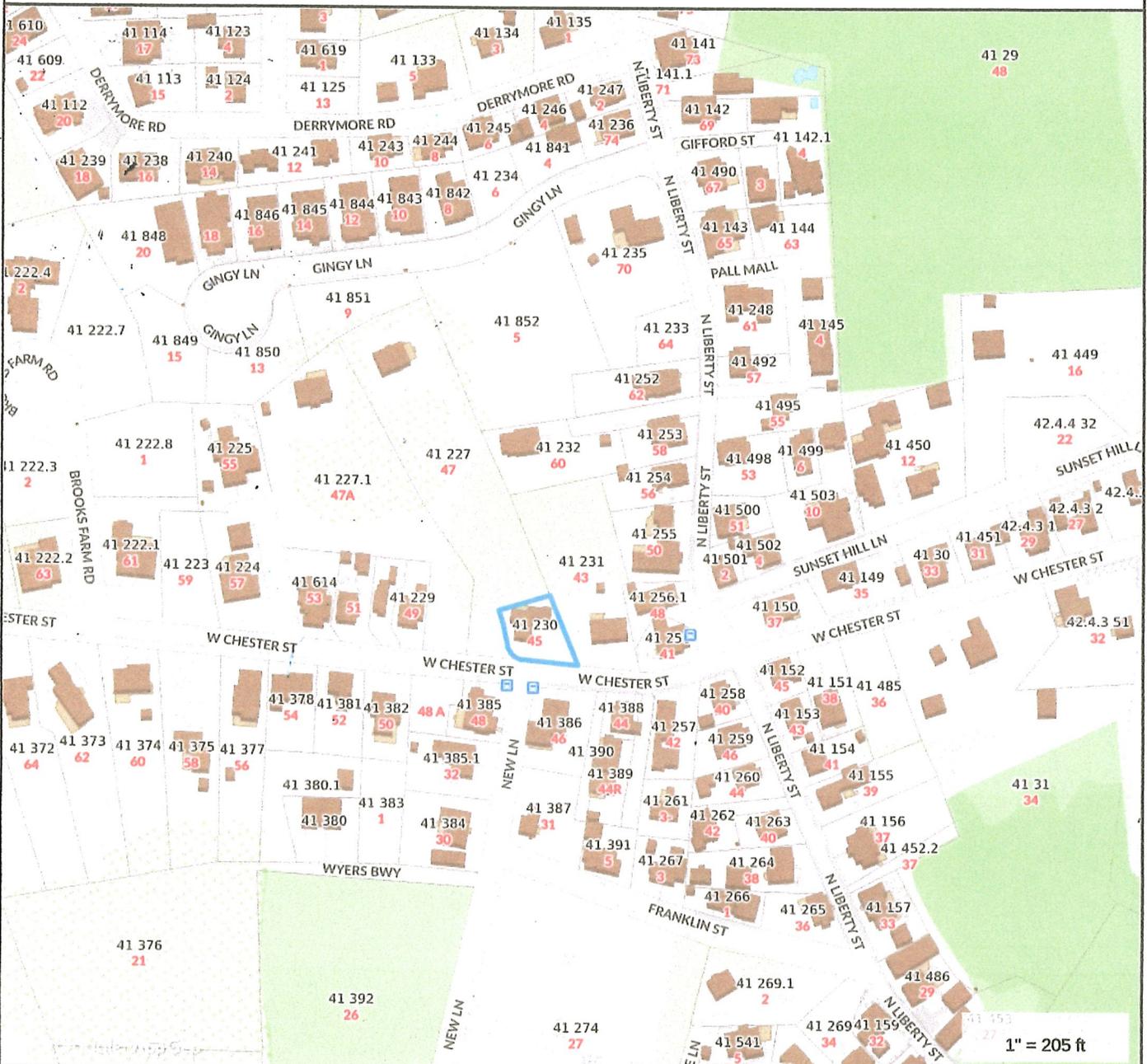
Sidewall to weather Clapboard (if applicable) _____ Roof to weather
 Trim white Sash white Doors white
 Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 7/31/20 Signature of owner of record Penelope Drabgel, agent Signed under penalties of perjury

45 WEST CHESTER STREET - LOCUS MAP



Property Information

Property ID 41 230
Location 45 W CHESTER ST
Owner MCGIVNEY ANNE O & WILLIAM T



MAP FOR REFERENCE ONLY
NOT A LEGAL DOCUMENT

Town and County of Nantucket, MA makes no claims and no warranties, expressed or implied, concerning the validity or accuracy of the GIS data presented on this map.

Geometry updated 11/13/2018
 Data updated 11/19/2018

13. Dex Dog, LLC 08-1440 6B Arrowhead Drive Solar revisions 69/58.1 SunWind, LLC

Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and manufacturer spec sheet.
 Representing Timothy Holmes, SunWind, LLC
 Public None
 Concerns (6:46) **Flynn** – This came out of a failed inspection.
 Holmes – Presented project; explained the shingles would be painted black.
 Welch – Asked for a view.
 Motion **Motion to View. (Coombs)**
 Roll-call Vote Carried 5-0//Oliver, Camp, Welch, Coombs, and Pohl-aye Certificate #

14. NIR 08-1485 29 Broad Street Hardscape – walls&A/C screen 42.4.2/38 Linda Williams

Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Landscape design plans, site plan, photos, historic documentation, and advisory comments.
 Representing Linda Williams
 Mike Duffy, NIR.
 Public None
 Concerns (6:54) **Backus** – JC House, circa 1835. Read HSAB comments: mitigate A/C or move; significant structure/high-profile space; atrocious.
 Duffy – Presented project.
 Williams – Paid the as-built fee. A/C can't be dropped lower; explained why the idea of a fence was dropped.
 Coombs – She has a problem with one of our oldest most significant buildings having this done to it and hearing “we can't change it.” Would like to see some approach that didn't look like the A/Ce is being covered. Wants to see several options.
 Oliver – It does look better than what was there. Agrees with Ms. Coombs. The as-built stuff has to stop; people have to stop work and come back in. The A/C has to be screened in perpetuity.
 Welch – Doesn't disagree with what's been said. At some point, we need to address rising as-built occurrences. The square compressor in the middle, unless there's an overwhelming issue, could be moved next to the other square unit with fences screening the group; the generator area could be screened with lower plants. He appreciates the effort to screen with plants but is concerned about throwing tall screening at this vs. having stepped planting and fencing, which will not hide the building or obstruct view from the sidewalk. Considering these are in retained areas, a fence on top of the retaining wall wouldn't have to be more than perhaps 3 feet tall.
 Camp – Agrees with Mr. Welch. Suggested a blue spruce that takes up the corner and gives the building presence. Suggested fencing be reduced as much as possible by keeping the units together – 6-foot natural to weather would be best. With revisions, suggested a photoshop view of what the building would look like from Broad Street and Centre Street.
 Pohl – Loves the idea of two-different heights – larger toward the back – of fence and vegetation.
 Motion **Motion to Hold for revisions. (Coombs)**
 Roll-call Vote Carried 5-0//Welch, Camp, Oliver, Coombs, and Pohl-aye Certificate #

15. Anne McGivney 08-1498 45 West Chester Street Shed 41/230 Structures Unlimited

Voting Pohl, Coombs, Camp, Oliver, Welch
 Alternates None
 Recused None
 Documentation Architectural elevation plans, site plan, photos, and advisory comments.
 Representing Linda Williams, for Structures Unlimited
 Public None
 Concerns (7:14) **Backus** – Main dwelling is circa 1900; shed should be behind main dwelling. Read HSAB comments: relocate, reduce roof pitch; need better graphics; not on the street; prefer gable forward; move deeper into the yard to be more discrete.
 Williams – Presented project; asked the commissioners to view this while the applicant makes revisions.
 Pohl – It's drawn with the wrong roof pitch; application says 9/12 but drawn 12/12.
 Oliver – Likes turning it gable forward. Can't be white.
 Coombs – Not everyone can have a shed. Wants to see other proposals reducing the height and size of the shed.
 Camp – Thinks gable forward is “noisier”; prefers the eave forward. Should be behind the hedge.
 Welch – He would not want the gable forward unless it's on the far side of the privet with a small walk through to it. Suggested a lean-to shed placed instead against the front right wall of the structure, setback a few feet further from the street side.
 Motion **Motion to View and hold for revisions. (Camp)**
 Roll-call Vote Carried 5-0//Coombs, Welch, Oliver, Camp, and Pohl-aye Certificate #

Historic District Commission OLD BUSINESS CHECKLIST



Planning and Land Use Services

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	<u>Sign in submission at Front Desk</u>
✓	<u>HDC case number:</u> (ex HDC2020-xx-xxxx), if applicable 05-0895 08-1498
✓	<u>Copy of Minutes</u> (application item circled)
✓	<u>Reduced (8 ½ x 11) copy of application</u>
✓	<u>Locus Map:</u> 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
✓	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
✓	Four (4) Large sets of plans <u>at 3/16" or 1/4" scale</u> (circle all that apply) <ul style="list-style-type: none"> a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
✓	<u>One set reduced plans:</u> 8 ½ x 11
	<u>Electronic Submission:</u> Each of the foregoing documents (including this checklist) MUST BE scanned to a single PDF file and emailed to hdcsubmissions@nantucket-ma.gov .
✓	<u>Signed Affidavit:</u> see reverse side

Historic District Commission
OLD BUSINESS CHECKLIST

** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.

Affidavit Certifying Completeness of Old Business submission

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for an Old Business submission have been met.

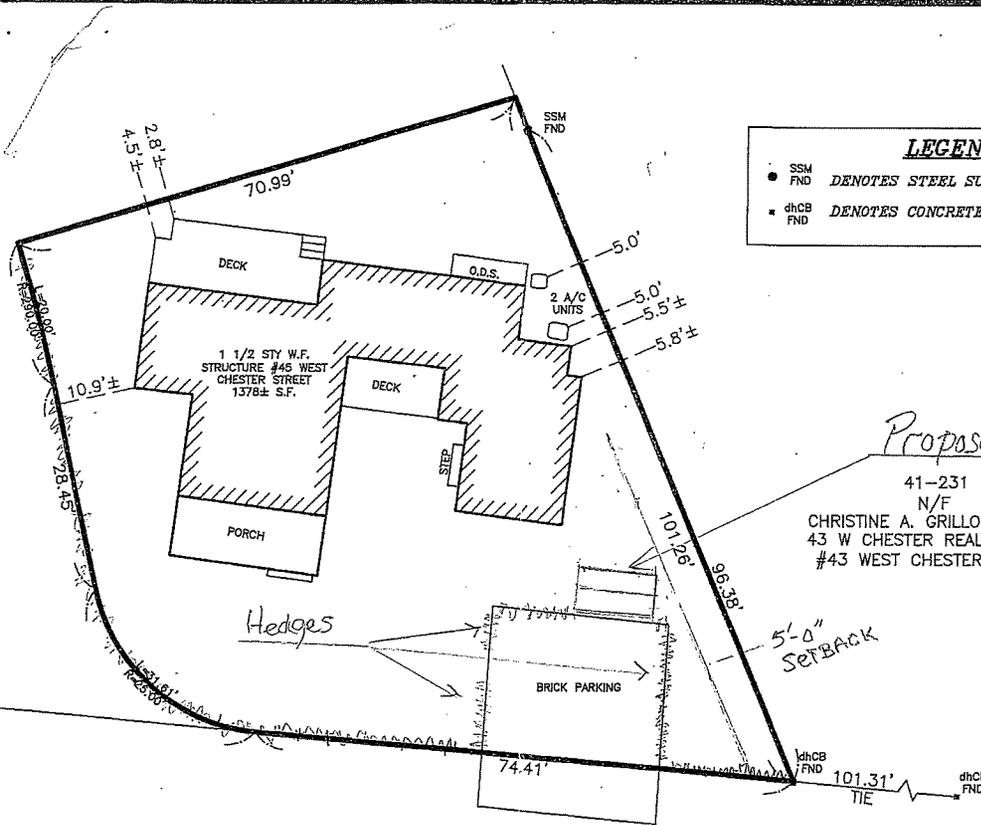
Signature: Nancy L. Sredzyl Date: 9/16/2020

CURRENT ZONING CLASSIFICATION:
Residential (R-1)

MINIMUM LOT SIZE:	5000 S.F.	<u>Existing:</u>	6429 S.F.±
MINIMUM FRONTAGE:	50 FT.		SEE PLAN
FRONT YARD SETBACK:	10 FT.		SEE PLAN
REAR/SIDE SETBACK:	5 FT.		SEE PLAN
GROUND COVER % :	30 %		21±%

WETLANDS

41-227
N/F
CHRISTOPHER BEVIS TRUSTEE
BEVIS-NISHIMURA LIVING TRUST
#47 WEST CHESTER STREET



LEGEND

- SSM FND DENOTES STEEL SURVEY MARKER FOUND
- dhCB FND DENOTES CONCRETE BOUND WITH DRILL HOLE FOUND

Proposed Shed Site

41-231
N/F
CHRISTINE A. GRILLO TRUSTEE
43 W CHESTER REALTY TRUST
#43 WEST CHESTER STREET

**BUILDING LOCATION PLAN
OF LAND IN
NANTUCKET, MASS.**

SCALE: 1" = 20' DATE: FEBRUARY 16, 2016

Owner: **ANNE O. MCGIVNEY**
WILLIAM T. MCGIVNEY

Deed Bk./Pg.: 1221/44 . Plan File: 15-D (LOT 1)
24/60
Deed Bk./Pg.: 1221/44 . Bk./Pg.: (LOTS 1 & 1B)

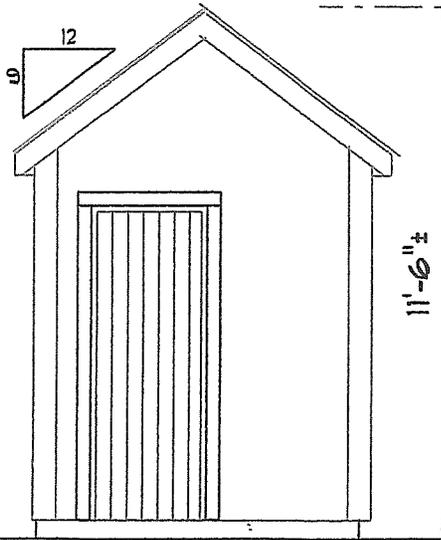
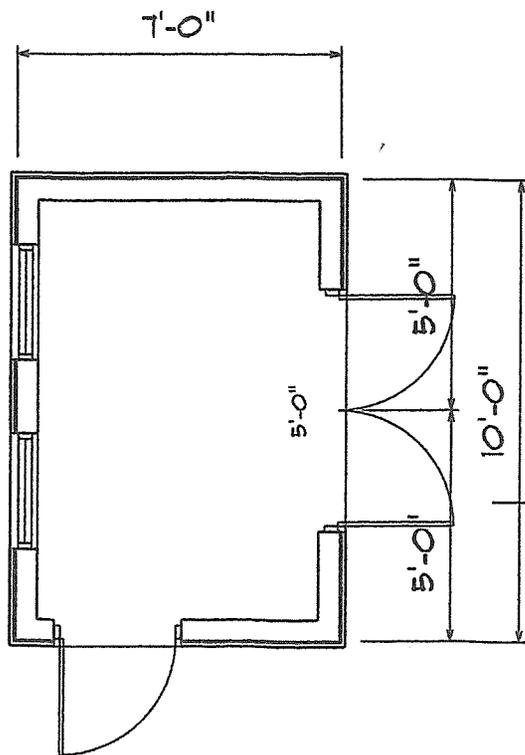
Locus: . . . 45, WEST CHESTER STREET . . .

BLACKWELL & ASSOCIATES, Inc.
Professional Land Surveyors
20 TEASDALE CIRCLE
NANTUCKET, MASS. 02554
(508) 228-9026

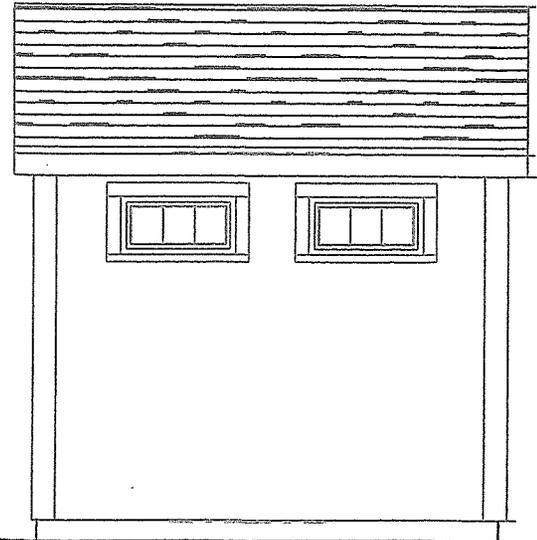


THIS PLOT PLAN WAS PREPARED FOR THE TOWN OF NANTUCKET BUILDING DEPARTMENT ONLY AND SHOULD NOT BE CONSIDERED A PROPERTY LINE SURVEY. THIS PLAN SHOULD NOT BE USED TO ESTABLISH PROPERTY LINES, FENCES, HEDGES OR ANY ANCILLARY STRUCTURES ON THE PREMISES. THE PROPERTY LINES SHOWN RELY ON CURRENT DEEDS AND PLANS OF RECORD. THIS PLOT PLAN IS NOT A CERTIFICATION AS TO TITLE OR OWNERSHIP OF THE PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE SHOWN ACCORDING TO CURRENT ASSESSOR RECORDS.

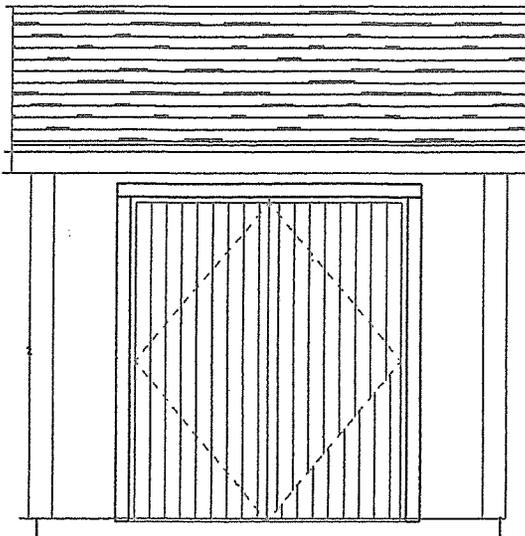
ASSESSOR MAP: . 41 . . . , PARCEL: . 230 .



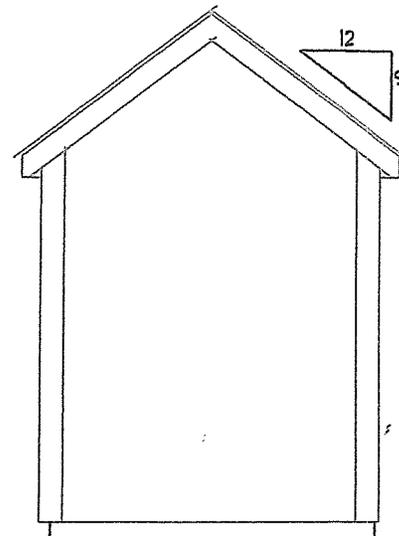
WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION



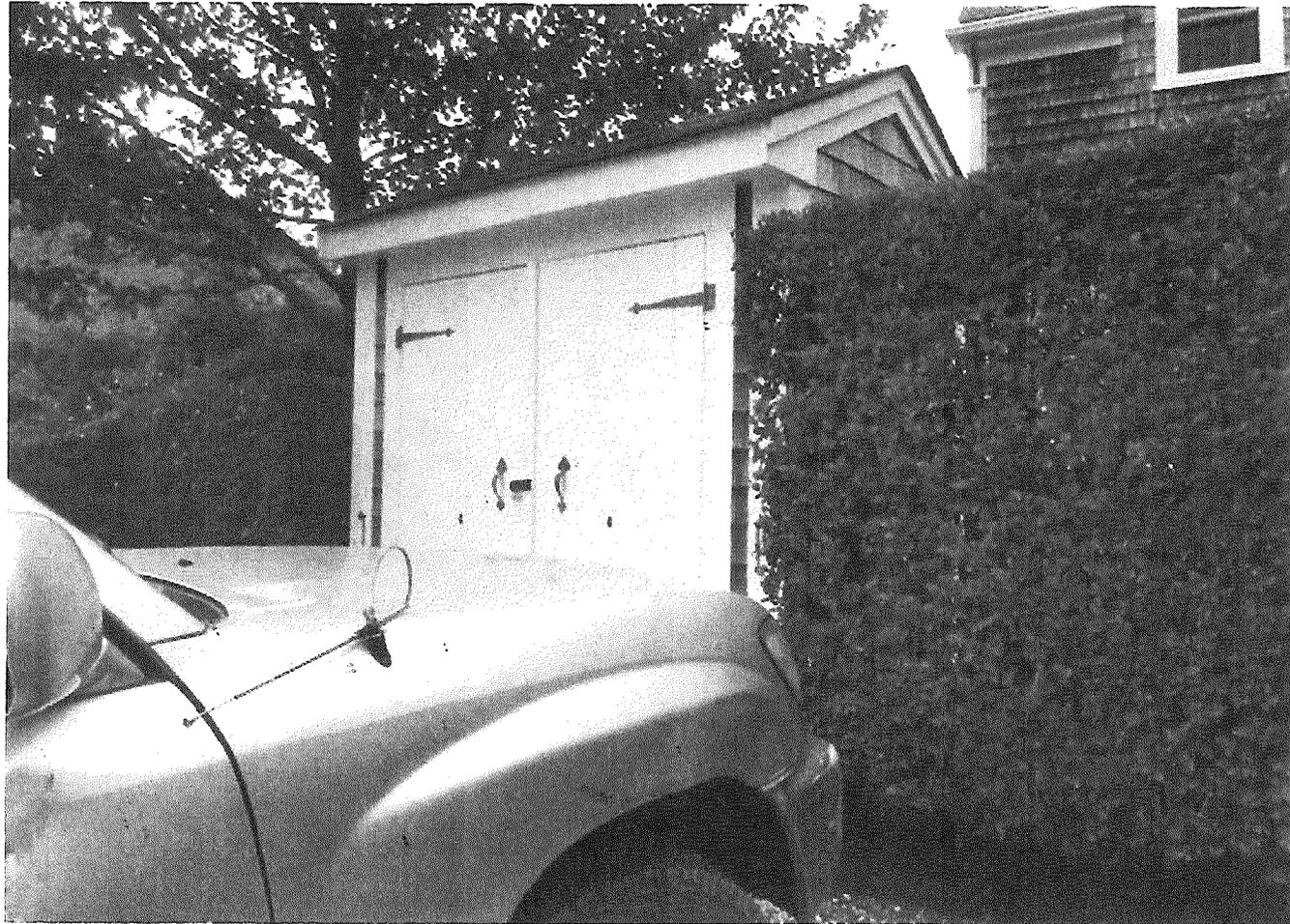
EAST ELEVATION

Scale 1/4" = 1'-0"

45 W. Chestee St.



These two pictures are of a shed we did located at 81 Orange Street. Shed is sited at head of parking area and faces York St. in the ROH, hedges screen all but face of shed. During peak seasons cars are parked in front of the shed screening it mostly from direct view. This is exactly what we are proposing for 45 W. Chester Street.





Parking area at 45 West Chester St, showing surrounding hedge, and area to the right at the head of the parking area where shed is proposed. If one looks at the site map, the property does not provide any other area for a shed, due to setback requirements, including wetland setbacks as the backyard is surrounded by wetlands (refer to Locus Map) this lot does not offer options.



Example of a similar shed, size – 7' x 9', this parallels the shed we're proposing at 45 W Chester St. in living color. It should be noted that the roof proposed for W. Chester St. is to be red cedar, adding a more weathered appearance as it ages.



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554

508-325-8527

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

OLD BUSINESS CHECKLIST

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

<input checked="" type="checkbox"/>	HDC case number: (ex HDC2020-xx-xxxx) if applicable	09-1432
<input checked="" type="checkbox"/>	Copy of Minutes (application item circled)	
<input checked="" type="checkbox"/>	Reduced (8 ½ x 11) copy of application	
<input checked="" type="checkbox"/>	Locus Map: 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps	
<input checked="" type="checkbox"/>	Four (4) copies of additional information requested by Commission- if applicable (ex pictures, FEMA flood Certificate, etc)	
<input checked="" type="checkbox"/>	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule	
<input checked="" type="checkbox"/>	One set reduced plans: 8 ½ x 11	
<input checked="" type="checkbox"/>	Electronic Submission: ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .	

** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.

Affadavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: _____

Date: _____

9/29/20

CERTIFICATE NO: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a
CERTIFICATE OF APPROPRIATENESS
for structural work.

DATE ISSUED: _____

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.
NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, Building with Nantucket in Mind, prior to submittal of application.
Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 54 PARCEL N^o: 26
Street & Number of Proposed Work: 59B PAVAS RD.
Owner of record: PAUL CAVALLANO
Mailing Address: 21000 SEA WALK WAY COI
NAUBU, MA. 02705
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: V&V OLIVER DESIGN INC
Mailing Address: PO BOX 3057
NANTUCKET, MA 02584
Contact Phone #: (508) 225-4319 E-mail: adv@vovdesign.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ 691.00
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED
See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: 42'-0" Sq. Footage 1st floor: 2108 SF Decks/Patio: Size: DECKS 1st floor 2nd floor
Width: 52'-0" Sq. footage 2nd floor: 1291 SF Size: 5x 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North 20' MAX South 20' MAX East 20' MAX West 20' MAX

Additional Remarks

Historic Name: _____ REVISIONS* 1. East Elevation
Original Date: _____ (describe) 2. South Elevation
Original Builder: _____ 3. West Elevation
Is there an HDC survey form for this building attached? Yes N/A 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8"-12" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 12 /12 Secondary Mass 12 /12 Dormer U /12 Other _____
Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.)

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size):

Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia 8" Rake 1x6 Soffit (Overhang) 12"-8" Corner boards 1x6 Frieze _____
Window Casing 1x6 Door Frame 1x6 Columns/Posts: Round _____ Square 8"

Windows: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front 4 UGHT Rear _____ Side _____
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways TBD Walkways TBD Walls N/A

* Note: Complete door and window schedules are required.

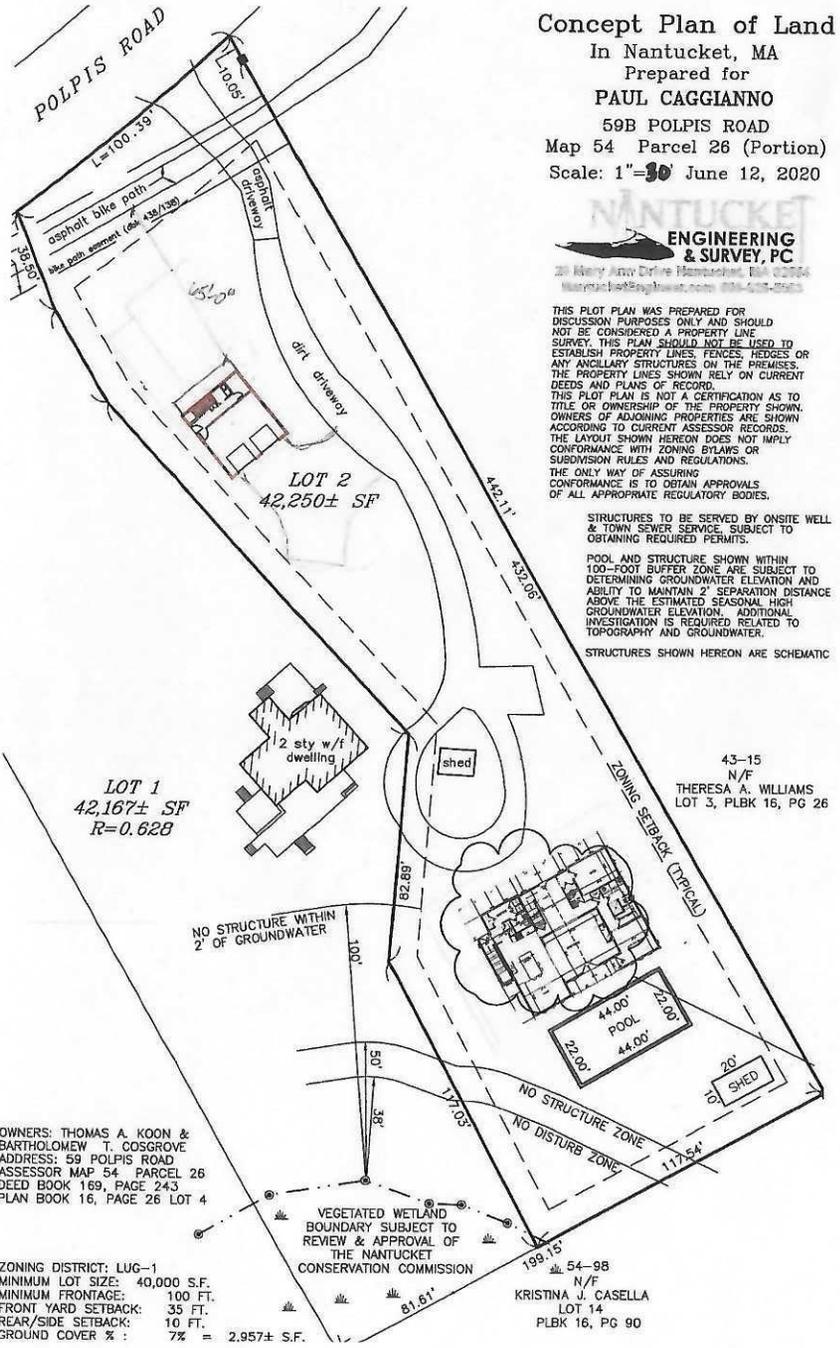
COLORS

Sidewall NTW Clapboard (if applicable) _____ Roof BLACK (MOORE BLACK) (DIPINTERS)
Trim WHITE Sash BLACK Doors BLACK
Deck NTW Foundation GRAY Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 8/27/20 Signature of owner of record _____ Signed under penalties of perjury _____



MAP 54 PARCEL 26 (PORTION)



phoenix
ARCHITECTS

PETER L. SANDORSE, AIA
WAKEFIELD, MA
781.246.0998

NOTE:
ALL DIMENSIONS TO BE FIELD
VERIFIED & CHECKED.
CONTRACTOR TO REPORT
CHANGES AND OMISSIONS TO
ARCHITECT.

**CAGGIANO
RESIDENCE**
59B POLPIS RD
NANTUCKET, MA

HDC RESUBMISSION
FOR
OLD BIZ MTG 10-05

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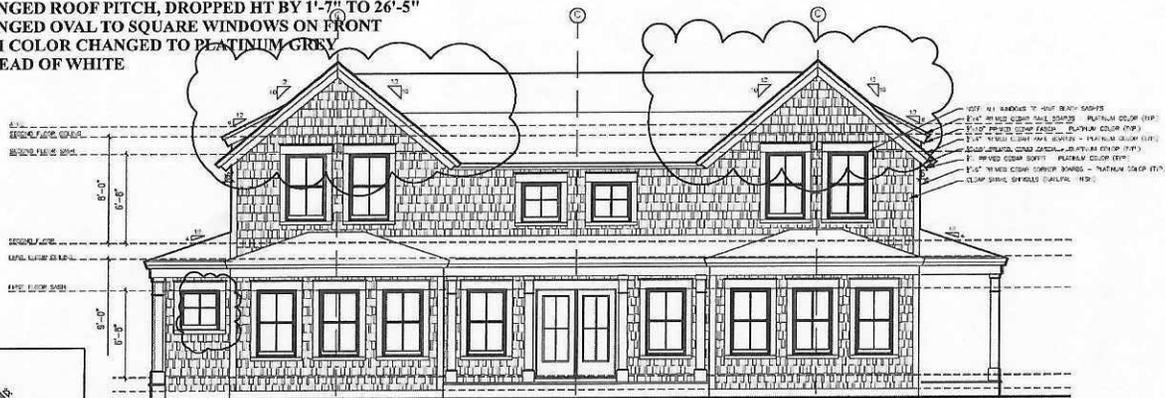
1/4"=1'-0"

8.26.20

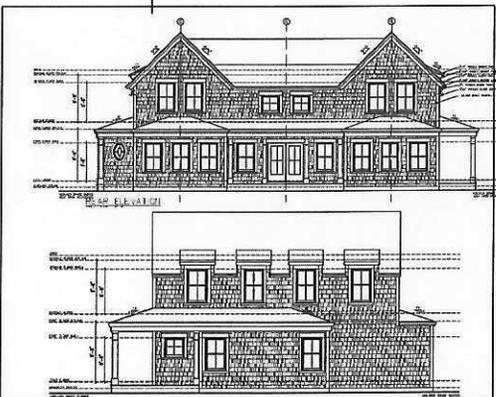
1

REVISIONS-

1. CHANGED ROOF PITCH, DROPPED HT BY 1'-7" TO 26'-5"
2. CHANGED OVAL TO SQUARE WINDOWS ON FRONT
3. TRIM COLOR CHANGED TO PLATINUM GREY INSTEAD OF WHITE

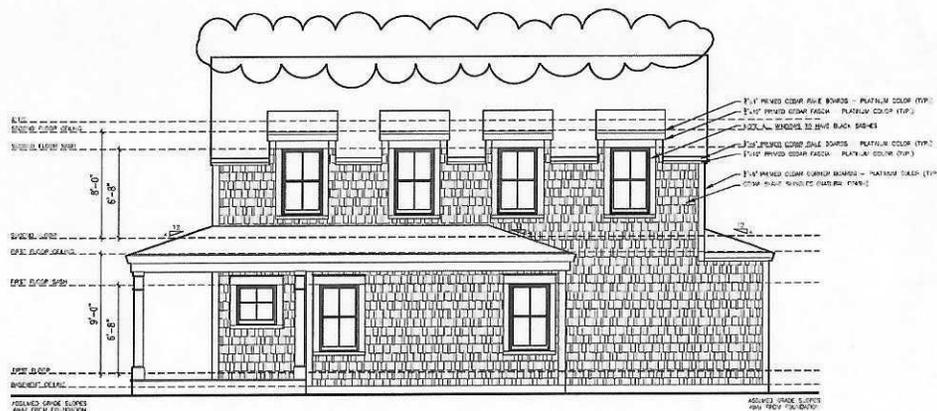


SOUTH (REAR ELEVATION)



RIGHT ELEVATION

PREVIOUS SUBMISSION



RIGHT ELEVATION

WEST ELEVATION



PETER L. SANDORSE, AIA
WAKEFIELD, MA
781.246.0988

NOTE:
ALL DIMENSIONS TO BE FIELD
VERIFIED & CHECKED.
CONTRACTOR TO REPORT
CHANGES AND OMISSIONS TO
ARCHITECT.

**CAGGIANO
RESIDENCE**
59B POLPIS RD
NANTUCKET, MA

**PROPOSED
FLOOR PLANS**

No.	Description	Date
1		
2		
3		
4		
5		

1/4"=1'-0"
9.25.20

5



phoenix
ARCHITECTS

PETER L. SANDORSE, AIA
WAKEFIELD, MA
781.246.0986

NOTE:
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VERIFIED & CHECKED.
CONTRACTOR TO REPORT
CHANGES AND OMISSIONS TO
ARCHITECT.

CAGGIANO RESIDENCE

59B POLPIS RD
NANTUCKET, MA

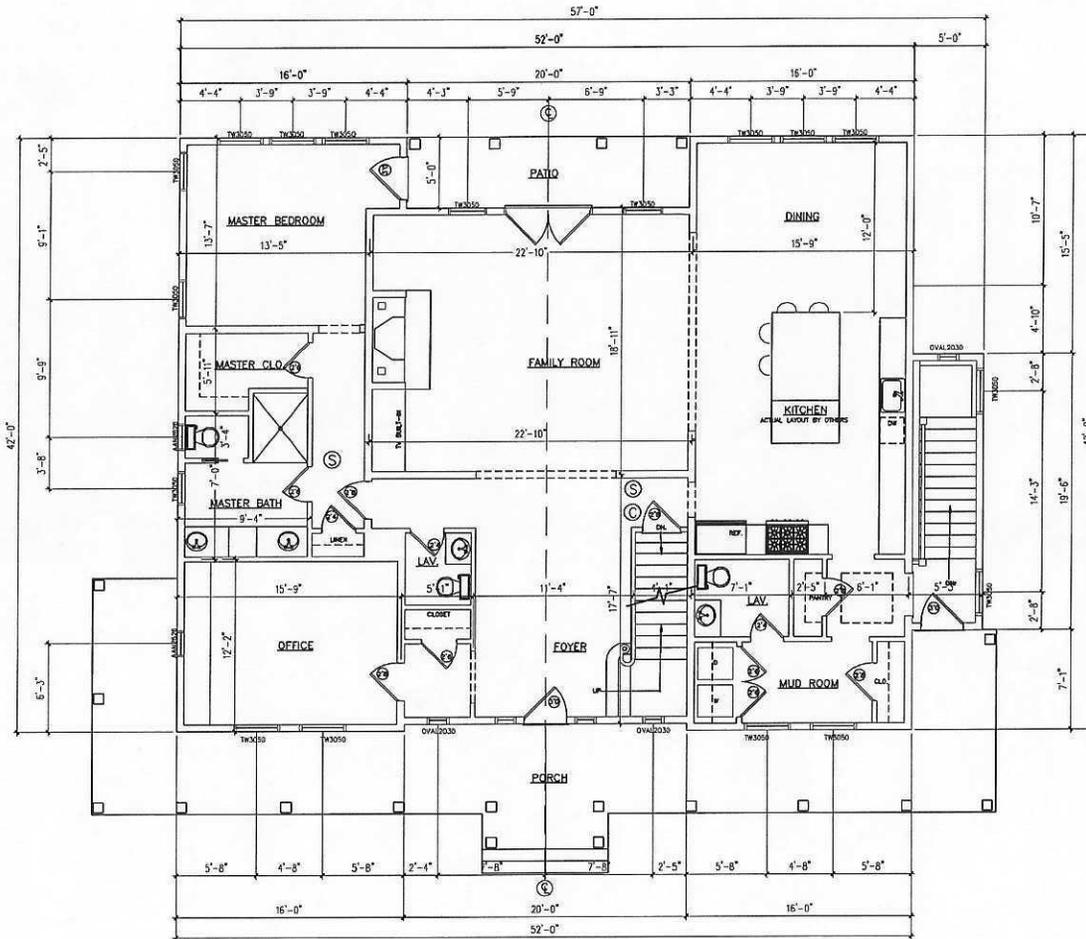
PROPOSED FLOOR PLANS

No.	Description	Date
1		
2		
3		
4		

1/4"=1'-0"

9.25.20

2



FIRST FLOOR PLAN - 2,168 SF
SCALE: 1/4" = 1'-0"



phoenix
ARCHITECTS

PETER L. SANDORSE, AIA
WAKEFIELD, MA
781.246.0988

NOTE:
ALL DIMENSIONS TO BE FIELD
VERIFIED & CHECKED
CONTRACTOR TO REPORT
CHANGES AND OMISSIONS TO
ARCHITECT.

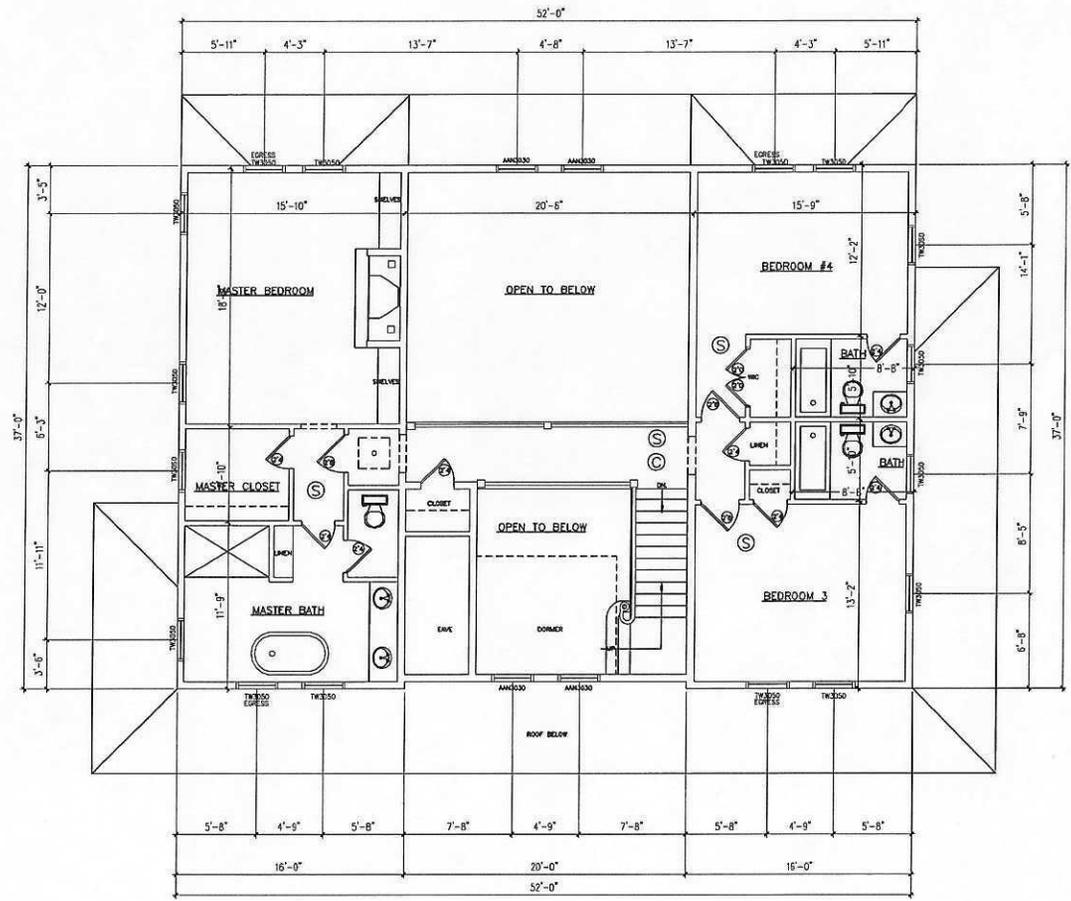
**CAGGIANO
RESIDENCE**
59B POLPIS RD
NANTUCKET, MA

**PROPOSED
FLOOR PLANS**

1		
2		
3		
4		
No.	Revision	Date

1/4" = 1'-0"
9.25.20

3



SECOND FLOOR PLAN - 1,291SF
SCALE: 1/4" = 1'-0"

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

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PROPERTY DESCRIPTION

TAX MAP N°: 75 PARCEL N°: 27
 Street & Number of Proposed Work: 100 LOW BEACH RD
 Owner of record: LIREG RAIFF
 Mailing Address: 100 LOW BEACH RD
NANTUCKET MA
 Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EMERIGOS
 Mailing Address: 8 WILLIAMS LN
NANTUCKET
 Contact Phone #: 3254995 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
 Must be acted on by: _____
 Extended to: _____
 Approved: _____ Disapproved: _____
 Chairman: _____
 Member: _____
 Member: _____
 Member: _____
 Member: _____
 Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other: NEW POOL HOUSE
 Size of Structure or Addition: Length: 45' Sq. Footage 1st floor: 1,083 Decks/Patio: Size: _____ 1st floor 2nd floor
 Width: 30' Sq. footage 2nd floor: 876 Size: _____ 1st floor 2nd floor
 Sq. footage 3rd floor: _____
 Difference between existing grade and proposed finish grade: North 6"± South 6"± East 6"± West 6"±
 Height of ridge above final finish grade: North 23' South 23' East 23' West 23'

Additional Remarks

Historic Name: _____
 Original Date: _____ (describe)
 Original Builder: _____
 Is there an HDC survey form for this building attached? Yes N/A

REVISIONS*

1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed 8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 12 /12 Secondary Mass 4 /12 Dormer 4 /12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
 Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
 B. Treatment Paint Natural to weather Other _____
 C. Dimensions: Fascia 3 1/2 Rake 7 1/4" Soffit (Overhang) 12" Corner boards 4 1/2" Frieze 1"
 Window Casing 3 1/2 Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
 Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) _____ Roof NATURAL
 Trim WHITE - TO MATCH EX. Sash WHITE - MATCH EX. Doors WHITE
 Deck NATURAL Foundation NATURAL Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 09.08.20

Signature of owner of record _____

Signed under penalties of perjury



Updated Meeting Posting MEETING POSTING

Original Posting Time: 2020 SEP 25 AM 10:05

Original Posting Number: T 2068

****added ePermitting numbers****

TOWN OF NANTUCKET

Pursuant to MGL Chapter 30A, § 18-25

All meeting notices and agenda must be filed and time stamped with the Town Clerk's Office and posted at least 48 hours prior to the meeting (excluding Saturdays, Sundays and Holidays)

RECEIVED

2020 SEP 29 AM 10:17
NANTUCKET TOWN CLERK
Posting Number:T 2074

Committee/Board/s	Historic District Commission (HDC) – NEW BUSINESS
Day, Date, and Time	Tuesday September 29, 2020 4:30pm
Location / Address	REMOTE PARTICIPATION VIA ZOOM AND YouTube Pursuant to Governor Baker's March 12, 2020 Order Regarding Open Meeting Law (Attached) Information on viewing the meeting can be found at: https://www.nantucket-ma.gov/138/Boards-Commissions-Committees
Please note:	Ray Pohl, Chairman If there is no quorum of members present, or if meeting posting is not in compliance with the OML statute, no meeting may be held.

HISTORIC DISTRICT COMMISSION

Signature of Chair/Authorized Person: Cathy Flynn, Land Use Specialist

To join the Historic District Commission meeting click on the Zoom Link below:

<https://zoom.us/j/95560053336?pwd=UzMxaWFON1MwVVBvNGdkV1IRHFMUT09>

Meeting ID: 955 6005 3336 Password: 078546

Phone dial in: 646 558 8656; Meeting ID: 95560053336; Password: 078546

To watch live feed, click here: <https://www.youtube.com/watch?v=vVst-gyYESU>

Commissioners: Ray Pohl (Chair), Diane Coombs (Vice Chair), John McLaughlin, Abby Camp, Val Oliver

Associate Commissioners: Stephen Welch, Jesse Dutra, Carrie Thornewill

Staff: Terry Norton, Cathy Flynn, Holly Backus and Kadeem McCarthy

Historic Structures Advisory Board (HSAB), Scosset Advisory Board (SAB), Madaket Advisory Board (MAB), Sign Advisory Council (SAC).

AGENDA

Listed below are the topics the chair reasonably anticipates will be discussed at the meeting.

Some applications on this agenda may not be heard at this meeting due to time constraints. Please check with the office on Wednesday after the Tuesday meeting for further information.

I. PUBLIC COMMENT

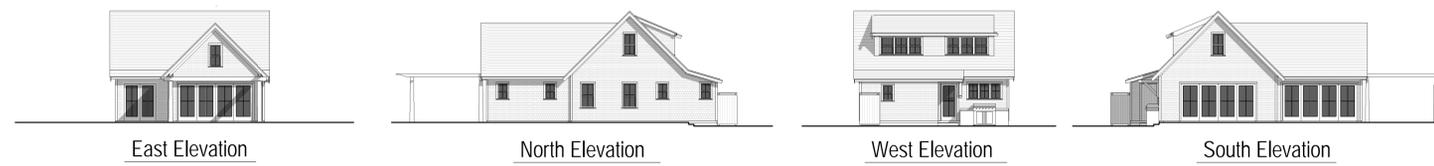
- *Commissioners: Pohl, Coombs, Camp, Welch; Alternates: None; Recused: None*

VIII. NEW BUSINESS

	<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1.	S/P Norwell LLC 09-1776	3 Mariner Way	Fence	55.1.4/72.3	Mike Duffy
2.	Peter O'Brien 09-1843	36 Low Beach Road	Re-site structure	74/55	Emeritus
3.	Curren Huyser 09-1800	69 Surfside Road	Storage facility	67/230	Emeritus
4.	Greg Raiff 09-1845	100 Low Beach Road	Reno/rebuild DU + addition	75/27	Emeritus
5.	Greg Raiff 09-1857	100 Low Beach Road	New pool house	75/27	Emeritus
6.	Dallas Piolo 09-1793	15 Plainfield Road	Addition	49/168	Emeritus
7.	Barbara Martin 09-1797	2 Back Street	Renovation	55/359	Brook Meerbergen
8.	38 Prospect LLC 09-1777	38 Prospect Street	New dwelling	55.4.4/56	Brook Meerbergen
9.	38 Prospect LLC 09-1775	38 Prospect Street	New 2 nd dwelling	55.4.4/56	Brook Meerbergen
10.	Phillips Richard TR 09-1862	19 E Tristrams	Rev 0786; re-site structure	31/4.1	Botticelli & Pohl
11.	NHA Properties INC 09-1840	48 Okorway Ave	Move on from 19 Longwood	79/173	MCA+
12.	David Reilly 09-1811	13 Primrose Lane	Roof walk	40/65.3	Jeff Morash
13.	Linda Groves 09-1809	26 New Street	Addition	55/44	BPC
14.	Deb Hartman 09-1850	14 Lowell Place	Pool	41/164	Atlantic Landscaping
15.	Enoch Sower 09-1866	11 Comeau Lane	Rooftop solar panels	49.3.2/27.1	ACK Smart
16.	Benjamin Moore 09-1765	15 Folger Ave	Rooftop solar panels	80/154	ACK Smart
17.	Hydrangea Lane LLC 09-1798	11 Hydrangea Lot 9	Pool	73/93	Brook Meerbergen
18.	Hydrangea Lane LLC 09-1799	11 Hydrangea Lot 9	Cabana	73/93	Brook Meerbergen
19.	Geoff Smith 09-1803	98 Old South Road	Deck and window alteration	68/429	JB Studios
20.	Lemberg Son + Daughters 09-1768	1 White Whale Lane	Rev to COA 12-0299	66/18	LINK
21.	Tessa Cressman 09-1781	3 Wauwinet Road	Rev 72598; fenestration changes	20/11.1	Thornewill Design
22.	Cynthia McClintock 09-1801	32 Brewster Road	Move/demo building	54/84	Robert Newman
23.	Cynthia McClintock 09-1818	32 Brewster Road	New dwelling	54/84	Robert Newman
24.	Cynthia McClintock 09-1774	32 Brewster Road	New garage	54/84	Robert Newman
25.	Tom McCann 09-1836	78 Milk Street	Pool	56/6.2	Mark Lombardi
26.	Johnson 7 th Gen NT 09-1773	250 Madaket Road	New 2 nd dwelling	59.4/213	Brook Meerbergen
27.	Barbara Von Der Groeben 09-1825	132 Main Street	Rooftop solar panels	42.3.3/45	ACK Smart
28.	Sea Hero LLC 09-1758	7 Pilgrim Road	Rev 01-0445; exterior alterations	41/216	MCA+
29.	David Biddison 09-1784	22 Cannonbury Lane	New dwelling	74/15	Val Oliver
30.	33 Coffin Street LLC 09-1796	33 Coffin Street	Rev 05-1009; fenes + rail chnge	73.4.1/26.1	CWA
31.	Kris Megna 09-1831	28 South Shore Road	New dwelling (Lot 2A)	80/178	Val Oliver
32.	Herrick Alberry 09-1841	28 South Shore Road	New dwelling (Lot 2B)	80/178	Val Oliver
33.	Doug Carlson 09-1791	28 South Shore Road	New dwelling (Lot 1A)	80/178	Val Oliver
34.	Doug Carlson 09-1787	28 South Shore Road	New dwelling (Lot 1B)	80/178	Val Oliver
35.	Craig Beni 09-1838	5 Tom Nevers Road	Rev 08-1547 enlarge cabana	77/2.2	Shelter 7 LLC
36.	Todd Cooper 09-1819	5 Hollister Road	Rev 08-1494 chge pergola. Adj stairs	92.4/263	Shelter 7 LLC
37.	James Pallotta 09-1812	21 Eel Point Road	Paddle court	40/4	Botticelli + Pohl
38.	P. Zernik 09-1846	24 W Chester St	Rev 06-1234; fenes change	42.4.3/57	Emeritus
39.	Darren Black 09-1839	28 Eel Point Road	Rev 12-0389; ext alterations	40/44	Emeritus
40.	Jonathan Raith 09-1821	14 Easy Street	Rev 73100; fenes change	42.3.1/13	Emeritus
41.	Elizabeth Wetherell 09-1852	10 Hickory Meadow	Rev 1167; copper roof	41/904	Emeritus
42.	Peter O'Brien 09-1843	36 Low Beach Road	Rev 72855; relocate + omit pergola	74/55	Emeritus
43.	KTT Place LLC 09-1844	6 North Sias St	Addition + rotate on site	73.4.1/41	MCA+
44.	KTT Place LLC 09-1859	6 North Sias St	Shed	73.4.1/41	MCA+
45.	KTT Place LLC 09-1802	6 North Sias St	Pool	73.4.1/41	MCA+
46.	Peter Sendelbach 09-1805	21 Hummock Pond Road	New dwelling	56/11.2	Self
47.	450 Green Park LLC 09-1785	2 Stone Alley	Addition	42.3.1/102	LINK
48.	22 BLVD LLC 09-1757	22 Boulevarde	New dwelling	30/327	Normand Residential
49.	22 BLVD LLC 09-1780	22 Boulevarde	Entertainment building	30/327	Normand Residential
50.	EPR RGH LLC 09-1842	119 Eel Point Rd (Lot 34)	Move off/demo	33/17.2	Brook Meerbergen
51.	12 Sconset West LLC 09-1863	12 Hydrangea Lane	New dwelling	73/90	Brook Meerbergen
52.	12 Sconset West LLC 09-1822	12 Hydrangea Lane	New shed	73/90	Brook Meerbergen
53.	12 Sconset West LLC 09-1865	12 Hydrangea Lane	Hardscape	73/90	Brook Meerbergen
54.	12 Lincoln Ave NT 09-1848	12 Lincoln Ave	Rev 07-1374; hardscape revs	30/183	MCLD, LLC

Raiff Pool House

100 Low Beach Road
Nantucket, MA 02554



2033
Raiff Pool House

100 Low Beach Road
Nantucket, MA 02554



Cover Sheet

Site Information

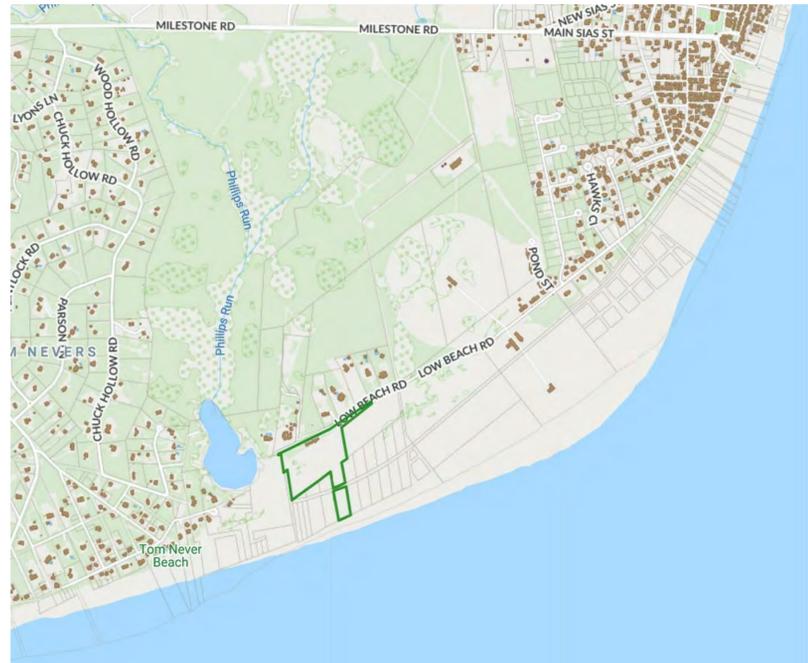
Map & Parcel:	75 / 27
Current Zoning:	LUG3
Minimum Frontage:	200 FT
Front Setback:	35 FT
Side/Rear Setback:	20 FT
Lot Size:	571,832 SF
Min. Lot Size:	120,000 SF
Allowable G.C.:	3% / 17,155 SF
Existing G.C.:	3,401 SF
Proposed G.C.:	978 SF
Total Proposed G.C.:	4,484 SF

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

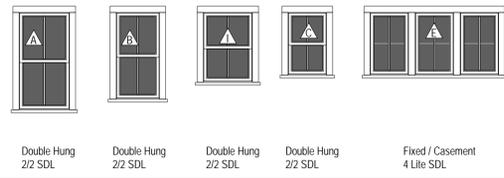
SHEET INDEX

- G.1.0 Cover Sheet
- A.1.1 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

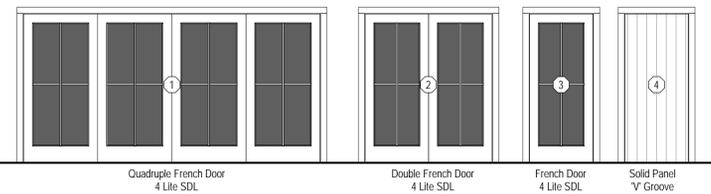
10.01.20



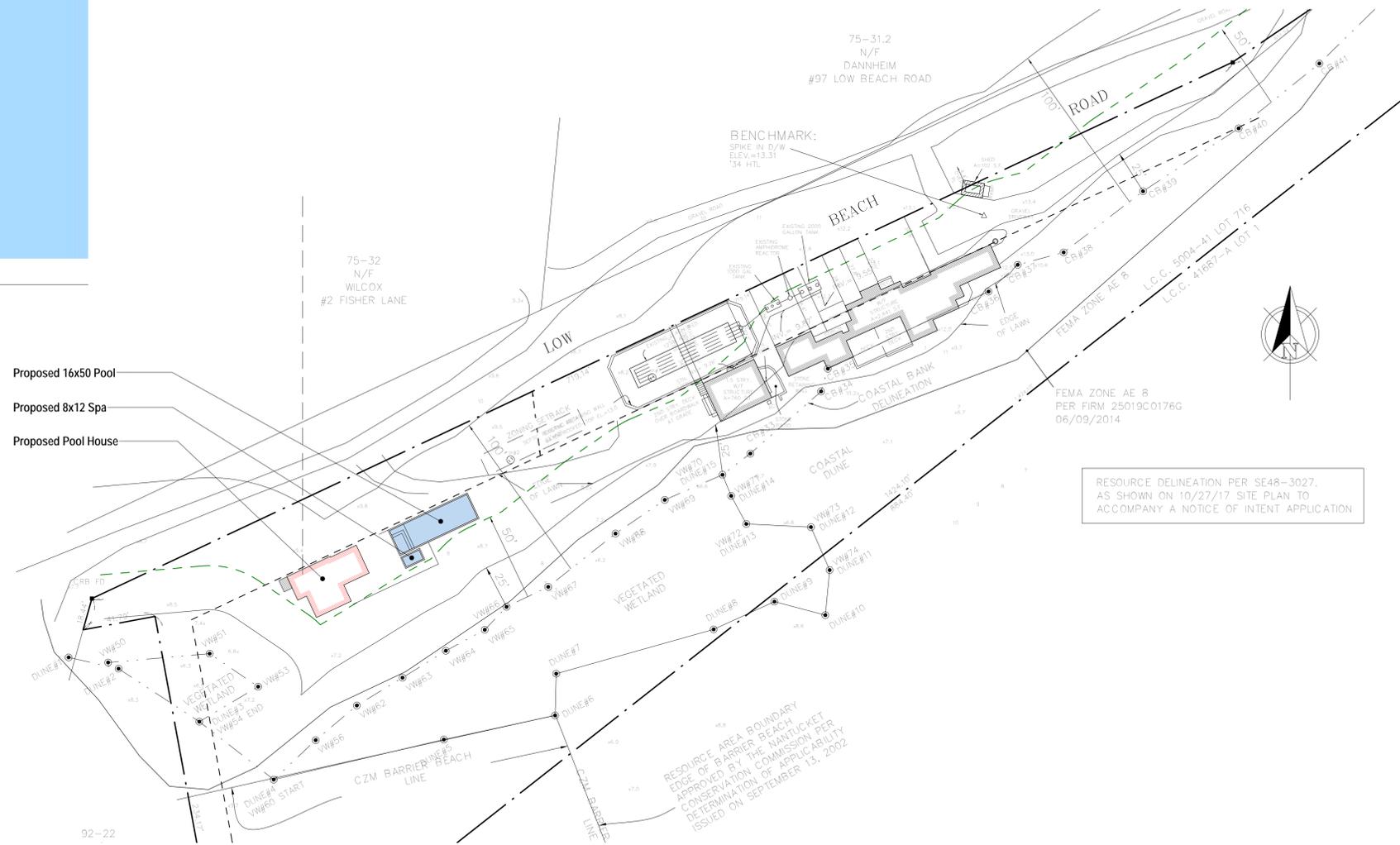
Locus Map
Not to Scale



Window Legend
1/4" = 1'-0"



Door Legend
1/4" = 1'-0"



Site Plan
1" = 40'-0"

HDC Submission

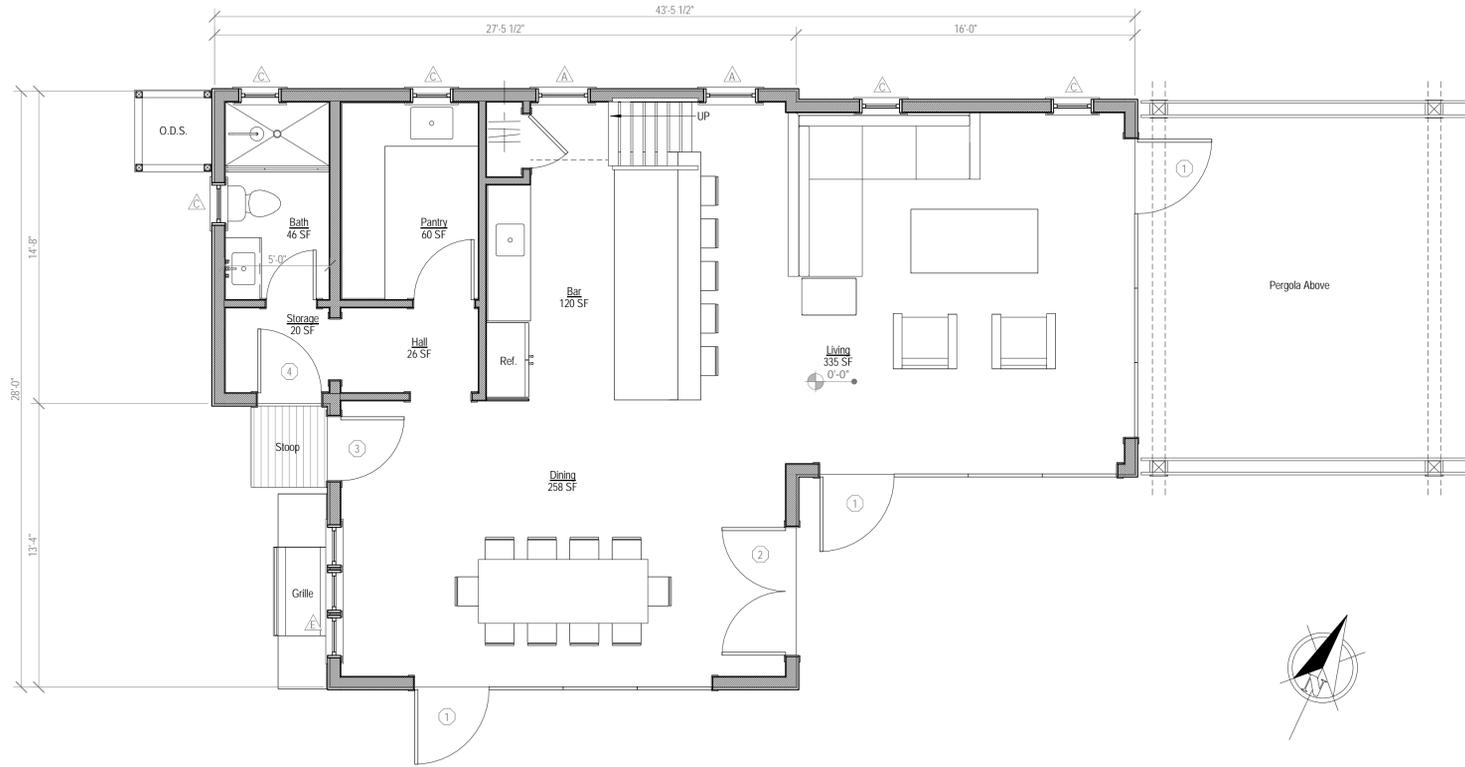
Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.
DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

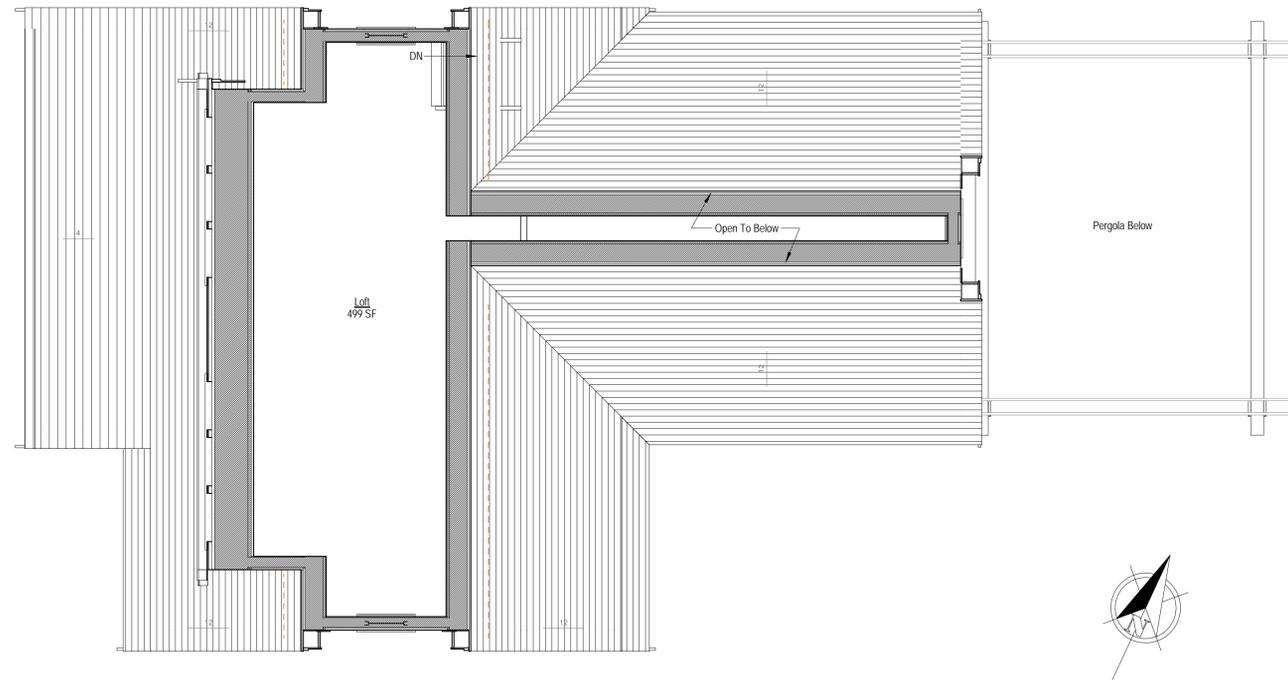
G.1.0
2033

10.01.20

HDC Submission



First Floor - Proposed
1/4" = 1'-0"



Second Floor - Proposed
1/4" = 1'-0"

2033

Raiff Pool House

100 Low Beach Road
Nantucket, MA 02554



Floor Plans

Site Information

Map & Parcel:	75 / 27
Current Zoning:	LUG3
Minimum Frontage:	200 FT
Front Setback:	35 FT
Side/Rear Setback:	20 FT
Lot Size:	571,832 SF
Min. Lot Size:	120,000 SF
Allowable G.C.:	3% / 17,155 SF
Existing G.C.:	3,401 SF
Proposed G.C.:	978 SF
Total Proposed G.C.:	4,484 SF

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SHEET INDEX

- G.1.0 Cover Sheet
- A.1.1 Floor Plans
- A.2.1 Exterior Elevations
- A.2.2 Exterior Elevations

Revisions

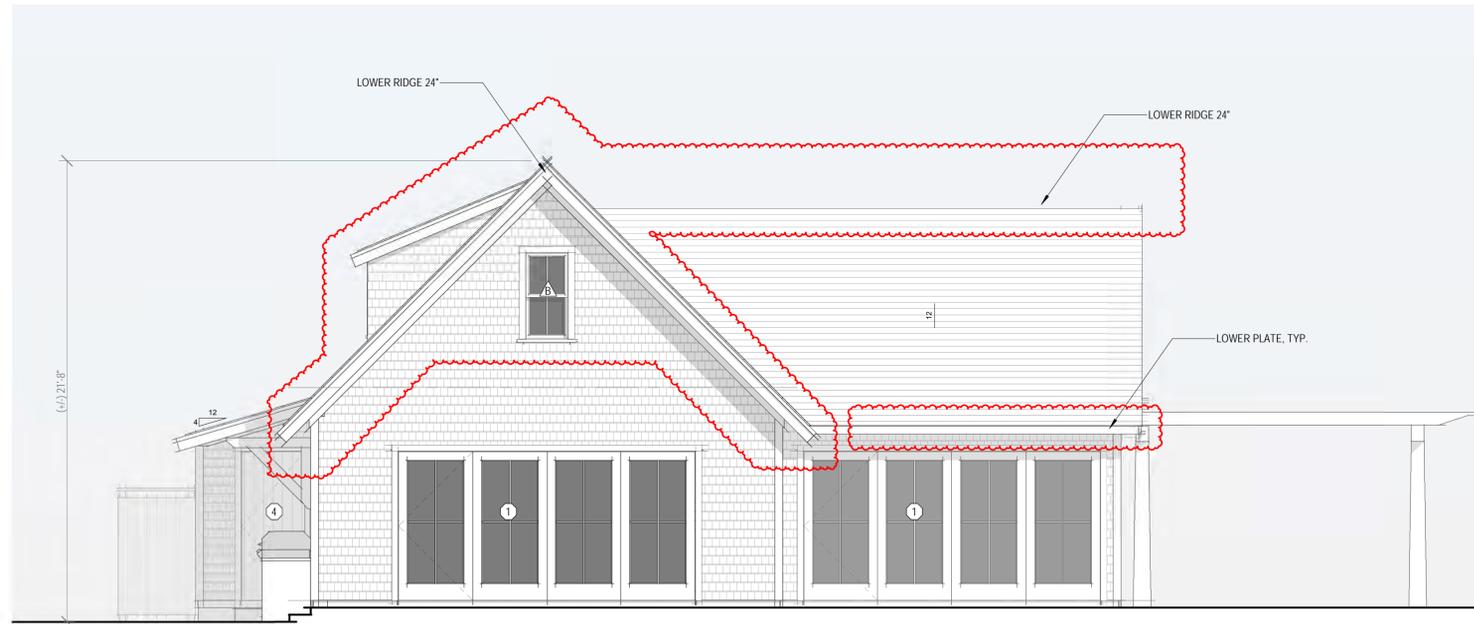
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A.1.1

2033

10.01.20



South Elevation - Proposed

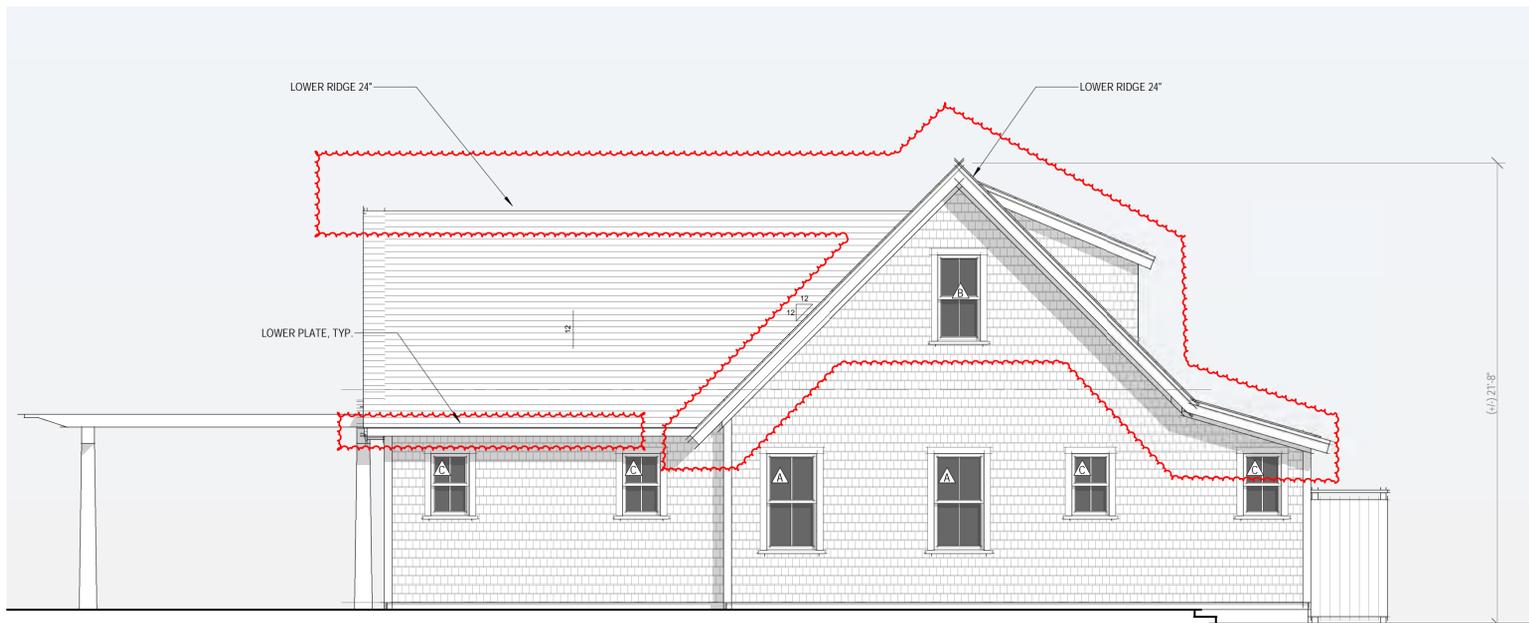
1/4" = 1'-0"



Previous Subm. South Elevation

1/8" = 1'-0"

HDC Submission



North Elevation - Proposed

1/4" = 1'-0"



Previous Subm. North Elevation

1/8" = 1'-0"

2033

Raiff Pool House

100 Low Beach Road
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	75 / 27
Current Zoning:	LUG3
Minimum Frontage:	200 FT
Front Setback:	35 FT
Side/Rear Setback:	20 FT
Lot Size:	571,832 SF
Min. Lot Size:	120,000 SF
Allowable G.C.:	3% / 17,155 SF
Existing G.C.:	3,401 SF
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SHEET INDEX

G.1.0	Cover Sheet
A.1.1	Floor Plans
A.2.1	Exterior Elevations
A.2.2	Exterior Elevations

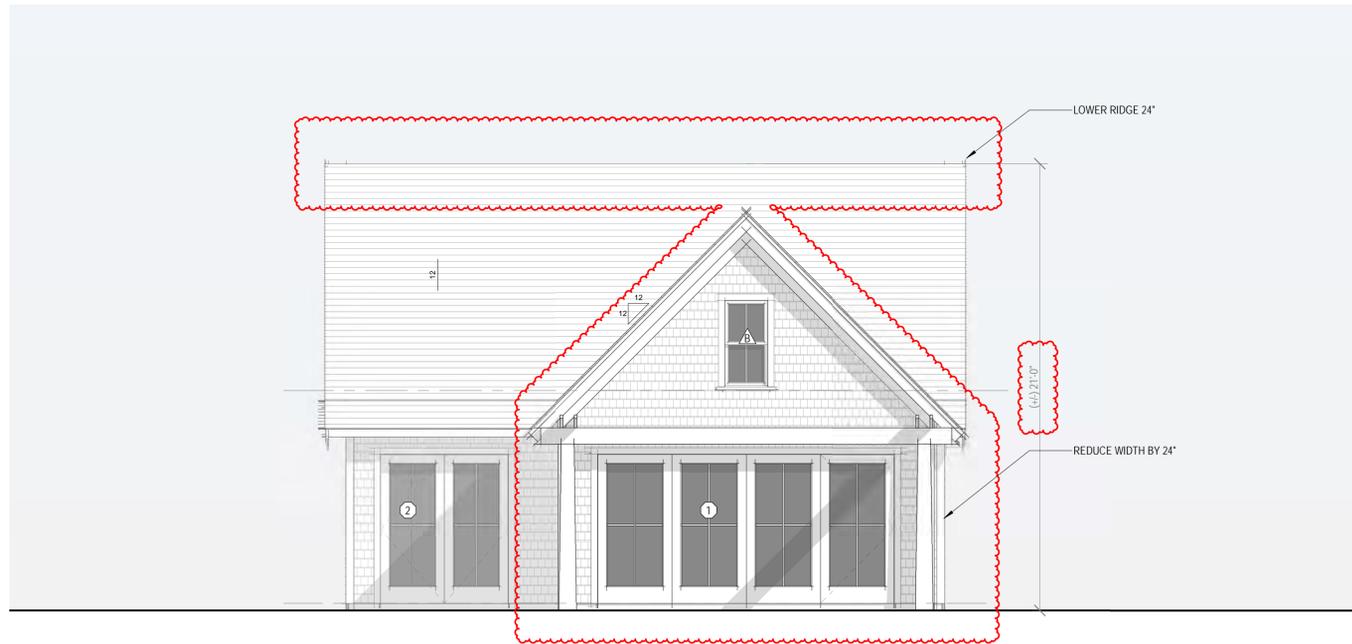
Revisions

Revision 1	Date 1
------------	--------

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A.2.1
2033

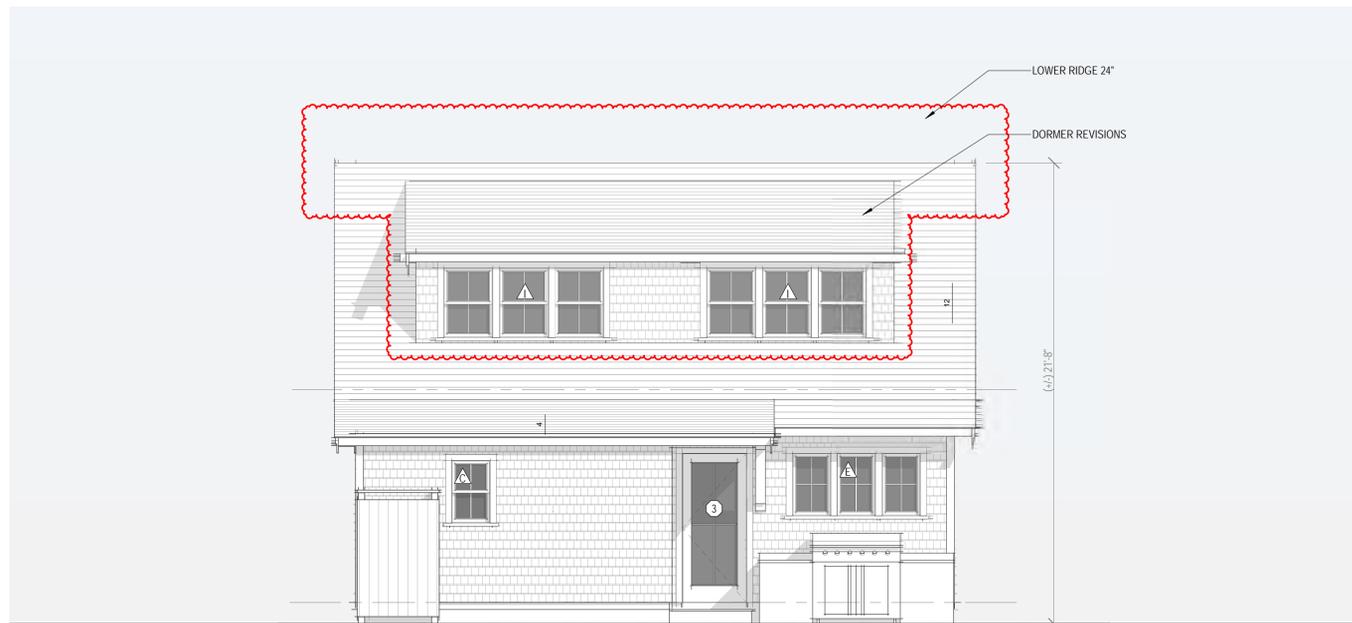
10.01.20



East Elevation - Proposed

1/4" = 1'-0"

HDC Submission



West Elevation - Proposed

1/4" = 1'-0"

2033

Raiff Pool House

100 Low Beach Road
Nantucket, MA 02554



Exterior Elevations

Site Information

Map & Parcel:	75 / 27
Current Zoning:	LUG3
Minimum Frontage:	200 FT
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SHEET INDEX

G.1.0	Cover Sheet
A.1.1	Floor Plans
A.2.1	Exterior Elevations
A.2.2	Exterior Elevations



Previous Subm. East Elevation

1/8" = 1'-0"



Previous Subm. West Elevation

1/8" = 1'-0"

Revisions

Revision 1	Date 1
------------	--------

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A.2.2
2033

OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

X	HDC case number: (ex HDC2020-xx-xxxx), if applicable HDC2020-09-1857
X	<u>Copy of Minutes</u> (application item circled)
X	<u>Reduced (8 1/2 x 11) copy of application</u>
X	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) <ul style="list-style-type: none"> a Site Plan b North Elevation c South Elevation d East Elevation e West Elevation f Window/Door Schedule
X	<u>One set reduced plans</u> : 8 1/2 x 11
X	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: Alex Bagmets Date: 10.01.20

HDC Meeting Date: Sept 29 , 2020.

HDC 09-1857

100 Low Beach Street

Emeritus Development

Map 75; Parcel 27

New Pool House

OLD

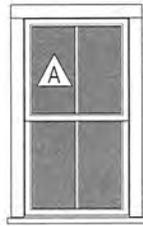
Raiff Pool House

100 Low Beach Road
Nantucket, MA 02554

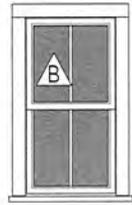


Locus Map

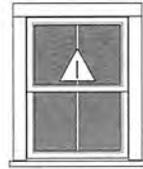
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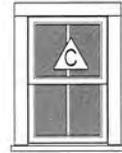
Double Hung
2/2 SDL



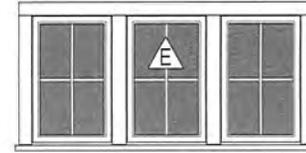
Double Hung
2/2 SDL



Double Hung
2/2 SDL



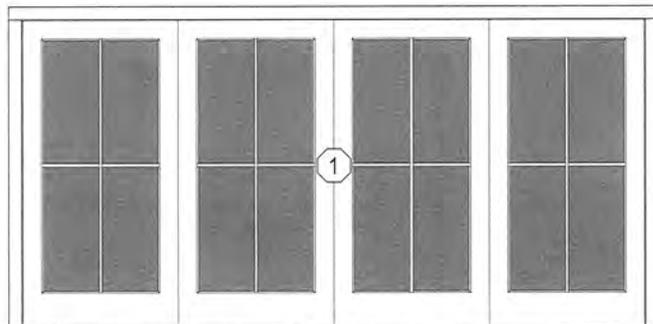
Double Hung
2/2 SDL



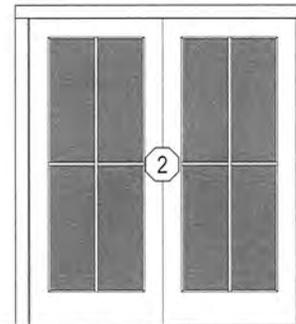
Fixed / Casement
4 Lite SDL

Window Legend

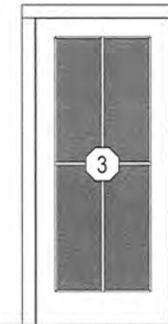
1/4" = 1'-0"



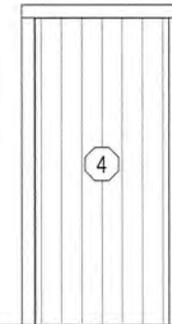
Quadruple French Door
4 Lite SDL



Double French Door
4 Lite SDL



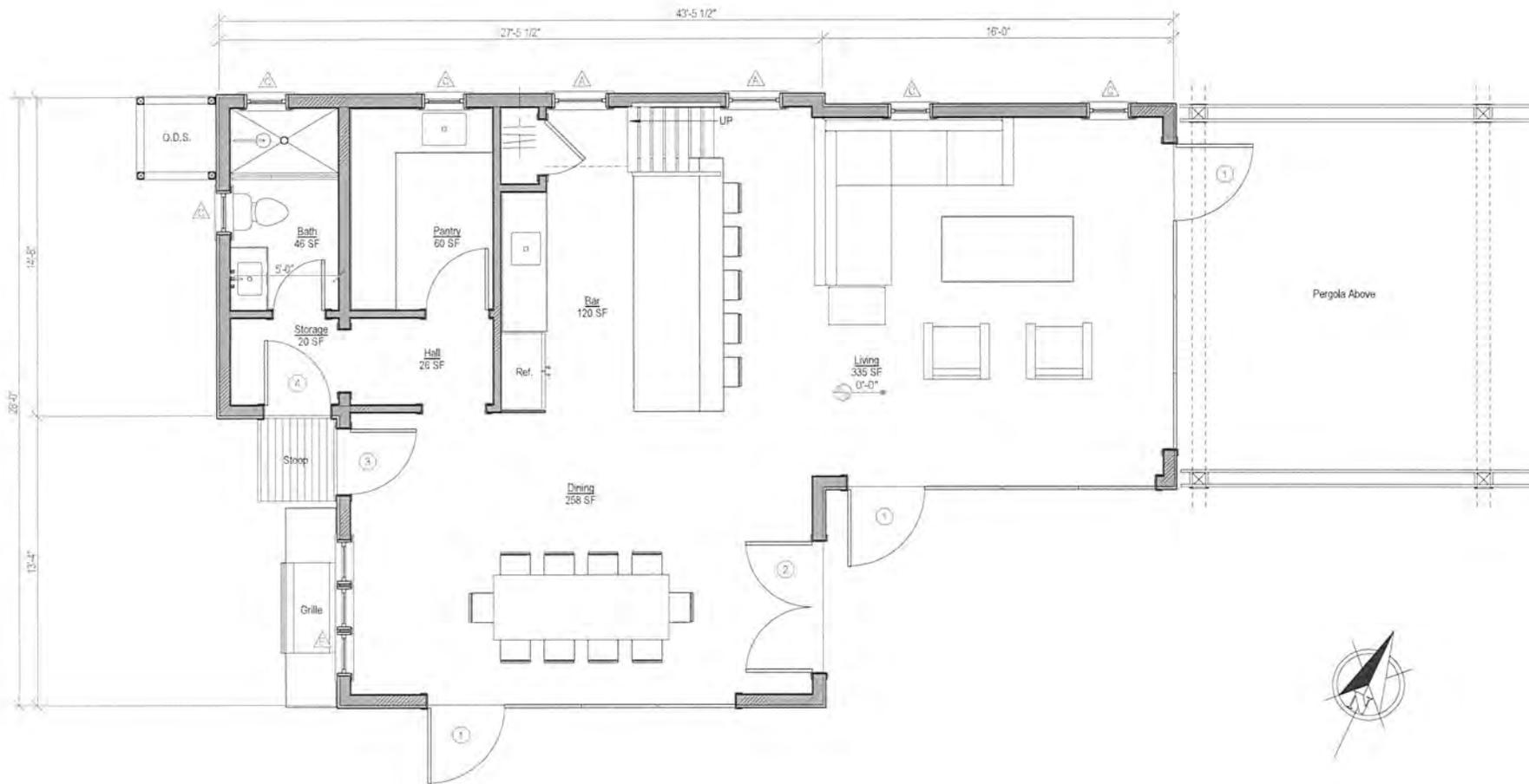
French Door
4 Lite SDL



Solid Panel
'V' Groove

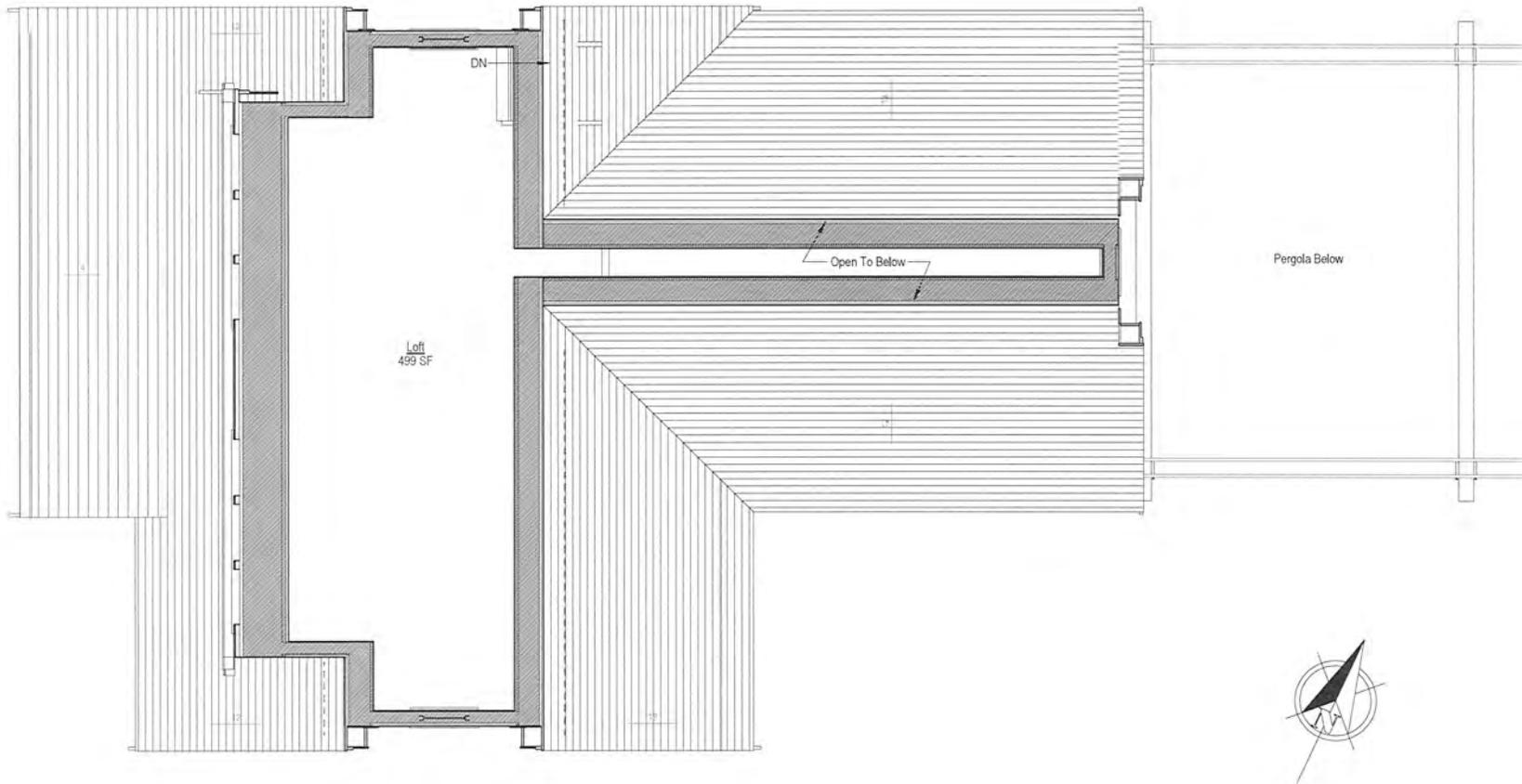
Door Legend

1/4" = 1'-0"



First Floor - Proposed

1/4" = 1'-0"



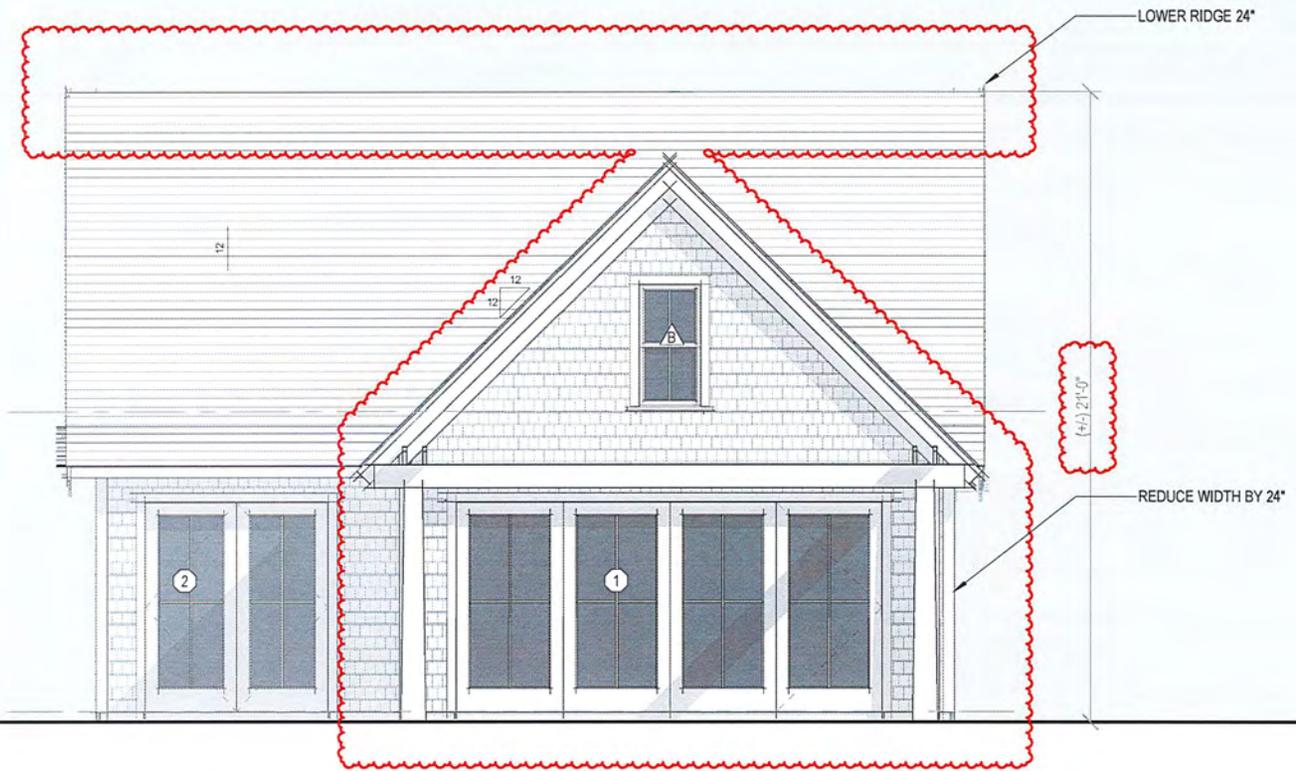
Second Floor - Proposed

1/4" = 1'-0"



South Elevation - Proposed

1/4" = 1'-0"



East Elevation - Proposed

1/4" = 1'-0"



West Elevation - Proposed

1/4" = 1'-0"

OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

X	<u>HDC case number:</u> (ex HDC2020-xx-xxxx), if applicable HDC2020-01-0548
X	<u>Copy of Minutes</u> (application item circled)
X	<u>Reduced (8 1/2 x 11) copy of application</u>
X	<u>Locus Map:</u> 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
X	Four (4) Large (24"x36") sets of plans (circle all that apply) (a) Site Plan (b) North Elevation (c) South Elevation (d) East Elevation (e) West Elevation (f) Window/Door Schedule
X	<u>One set reduced plans:</u> 8 1/2 x 11
X	<u>Electronic Submission:</u> ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: Alex Bagmets Date: 10.01.20

HDC Meeting Date: Sept 24 , 2020.

HDC 01-0548

10 Beach Street

Emeritus Development

Map 73.2.4; Parcel 10

Partial Demo

OLD



Updated Meeting Posting MEETING POSTING

Original Posting Time: 2020 SEP 22 AM 10:26
Original Posting Number: T 2056

RECEIVED

2020 SEP 23 AM 10:06
NANTUCKET TOWN CLERK
Posting Number: T 2062

TOWN OF NANTUCKET

Pursuant to MGL Chapter 30A, § 18-25

All meeting **notices and agenda** must be filed and time stamped with the Town Clerk's Office and posted at least 48 hours prior to the meeting (excluding Saturdays, Sundays and Holidays)

Committee/Board/s | Historic District Commission (HDC) – OLD BUSINESS

Day, Date, and Time | Thursday, September 24, 2020; **1:00PM**

Location / Address | **REMOTE PARTICIPATION VIA ZOOM AND YouTube**
Pursuant to Governor Baker's March 12, 2020 Order Regarding Open Meeting Law (Attached)

Information on viewing the meeting can be found at:
<https://www.nantucket-ma.gov/138/Boards-Commissions-Committees>

Please note: | Ray Pohl, Chairman
If there is no quorum of members present, or if meeting posting is not in compliance with the OML statute, no meeting may be held.

HISTORIC DISTRICT COMMISSION

Signature of Chair/Authorized Person: Cathy Flynn, Land Use Specialist

To join the Historic District Commission meeting click on the Zoom Link below:
<https://zoom.us/j/95560053336?pwd=UzMxaWFON1MwVVByNGdkV1IIRHFMUT09>

Meeting ID: 955 6005 3336 **Password:** 078546
Phone dial in: 646 558 8656; Meeting ID: 95560053336; Password: 078546

To watch live feed, click here: <https://www.youtube.com/watch?v=RdglMDcaDIU>

Commissioners: Ray Pohl (Chair), Diane Coombs (Vice-Chair), John McLaughlin, Abby Camp, Val Oliver
Associate Commissioners: Stephen Welch, Jesse Dutra
Staff: Terry Norton, Cathy Flynn, Holly Backus and Kadeem McCarthy

Historic Structures Advisory Board (HSAB), Seonset Advisory Board (SAB), Madaket Advisory Board (MAB), Sign Advisory Council (SAC).

AGENDA

Listed below are the topics the chair reasonably anticipates will be discussed at the meeting.

Some applications on this agenda may not be heard at this meeting due to time constraints. Please check with the office on Wednesday after the Tuesday meeting for further information.

I. PUBLIC COMMENT

II. NEW BUSINESS CARRIED OVER FROM 9/22/20

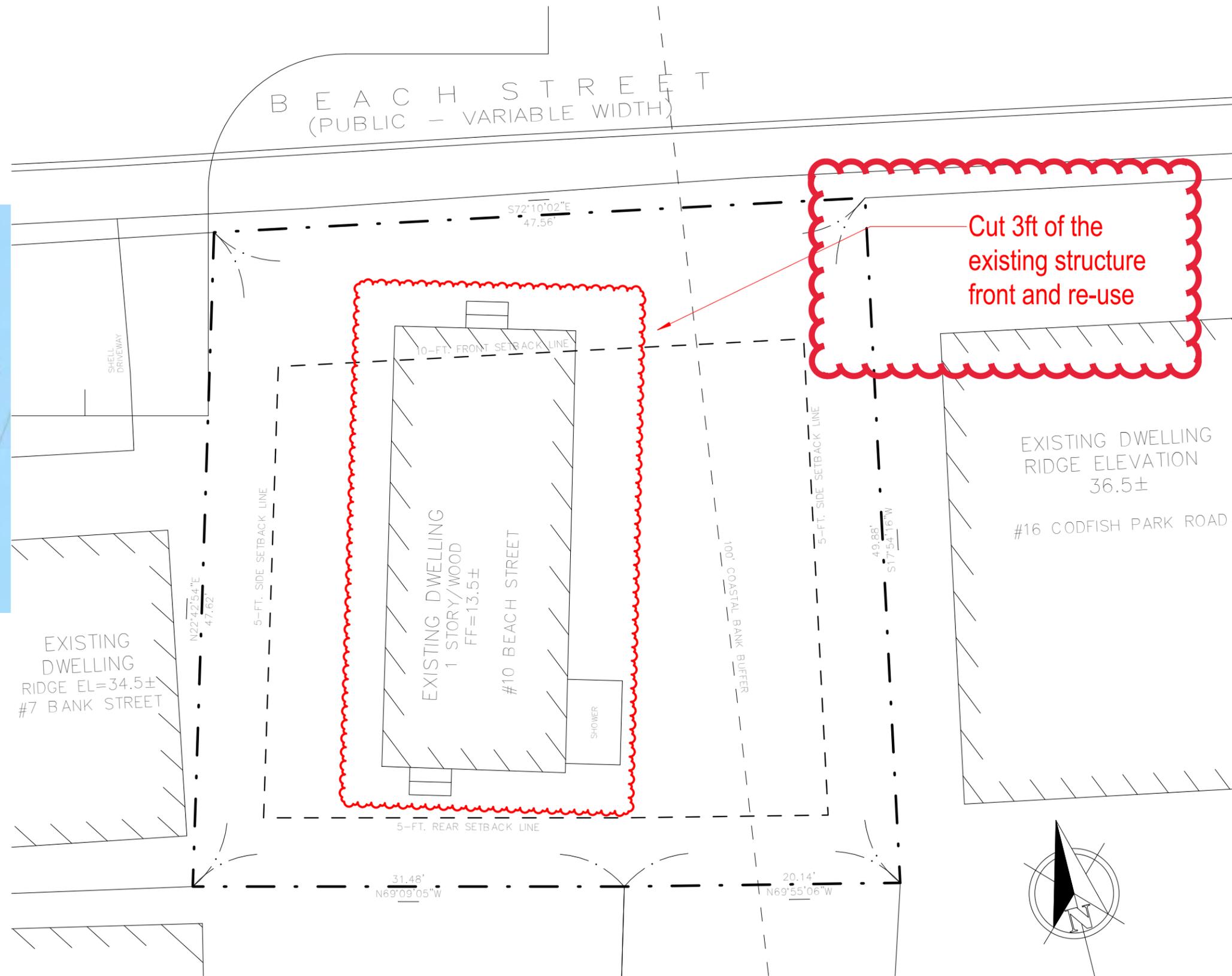
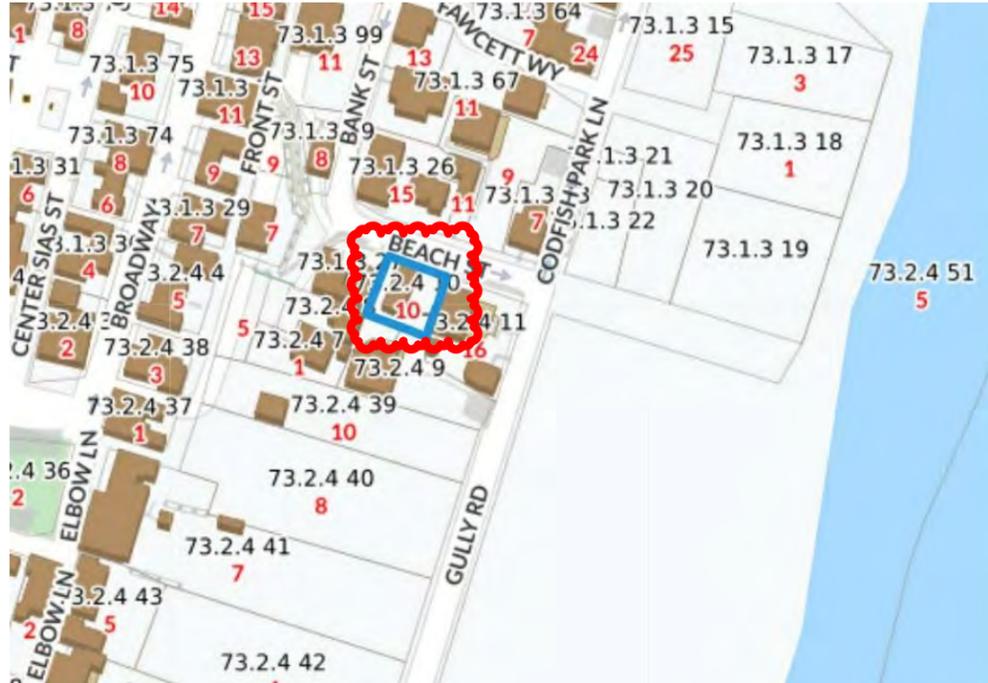
	<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1.	Vandelay Realty LLC 09-1669	84 Polpis Road	Demo/move off	44/25.5	Val Oliver
2.	Vandelay Realty LLC 09-1661	84 Polpis Road	New DU w/ attached garage	44/25.5	Val Oliver

III. OLD BUSINESS

	<u>Property owner name</u>	<u>Street Address</u>	<u>Scope of work</u>	<u>Map/Parcel</u>	<u>Agent</u>
1.	Mary O'Connell 08-1508	8 Center Street Sias	Rev 12-0352; relocate A/C	73.1.3/76	Concept Design
	• <i>Commissioners: Pohl, Coombs, Oliver, Welch; Alternates: Camp; Recused: None</i>				
2.	Chris O'Connell 08-1556	10 Sheep Commons	Pool and retaining wall	54/274	Atlantic Landscaping
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
3.	James Conlon 09-1701 (NB)	24 Woodbine	New dwelling	80/96	Emeritus
4.	James Conlon 09-1699 (NB)	24 Woodbine	Shed	80/96	Emeritus
5.	James Conlon 08-1511	24 Woodbine	New dwelling	80/96	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
6.	James Conlon 08-1507	24 Woodbine	New garage	80/96	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
7.	Sheila Wilner 01-0547	10 Beach Street	New dwelling	73.2.4/10	Emeritus
	• <i>Commissioners: Pohl, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
8.	Sheila Wilner 01-0548	10 Beach Street	Demo dwelling	73.2.4/10	Emeritus
	• <i>Commissioners: Pohl, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
9.	Nicole Whidden 08-1473	11 Davis Lane	Cabana	82/75	Emeritus
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
10.	Nicole Whidden 08-1472	11 Davis Lane	Pool/spa	82/75	Ahern
	• <i>Commissioners: Pohl, Coombs, Camp, Oliver, Welch; Alternates: None; Recused: None</i>				
11.	Ecklund/Furdak 08-1587	26 W Chester Street	Hardscape	42.4.3/56	Ahern
	• <i>Commissioners: Pohl, Coombs, Camp, Welch; Alternates: None; Recused: None</i>				
12.	Michelle Black 05-0953	28 Eel Point Road	Sports court	40/49	Ahern
	• <i>Commissioners: Pohl, Coombs, McLaughlin, Oliver, Welch; Alternates: None; Recused: None</i>				
13.	Cannonbury Holdings 08-1569	4 Sleetwing Circle	New cabana	74/23	Workshop/APD
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15.	Anne McGivney 08-1498	45 West Chester Street	Shed	41/230	Structures Unlimited
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16.	Stephen Frohwein 07-1285	32 N Liberty St	Addition	41/159	Emeritus
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Wilner Residence

10 Beach St
Nantucket, MA 02554



Locus

Not to Scale

Site Plan Move Off

1/8" = 1'-0"

G.01

Wilner Residence
10 Beach St
Nantucket, MA 02554

Zoning Information

Map & Parcel: 73.2.4 / 10
Current Zoning: SR-1
Minimum Frontage: 50'
Front Setback: 5'
Side/Rear Setback: 5'

Move-Off/ Demo HDC Application

10.01.20



8 Williams Lane Nantucket, MA
02554
P. 508.325.4995
F. 508.325.6980
www.emeritusdevelopment.com



NORTH



EAST



SOUTH



NORTH-EAST STREET VIEW



NORTH-WEST STREET VIEW

12" = 1'-0"

Zoning Information

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Move-Off/ Demo HDC Application

10.01.20



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Committee/Board/s	Historic District Commission (HDC) – OLD BUSINESS
Day, Date, and Time	Thursday, September 24, 2020; 1:00PM
Location / Address	REMOTE PARTICIPATION VIA ZOOM AND YouTube Pursuant to Governor Baker's March 12, 2020 Order Regarding Open Meeting Law (Attached) Information on viewing the meeting can be found at: https://www.nantucket-ma.gov/138/Boards-Commissions-Committees

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Signature of Chair/Authorized Person: Cathy Flynn, Land Use Specialist

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Meeting ID: 955 6005 3336 **Password:** 078546
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Historic Structures Advisory Board (HSAB), Seonset Advisory Board (SAB), Madaket Advisory Board (MAB), Sign Advisory Council (SAC).

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OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

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X	Reduced (8 1/2 x 11) copy of application
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X	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
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Signature: Alex Bagmets Date: 10.01.20

HDC Meeting Date: Sept 24 , 2020.

HDC 01-0547

10 Beach Street

Emeritus Development

Map 73.2.4; Parcel 10

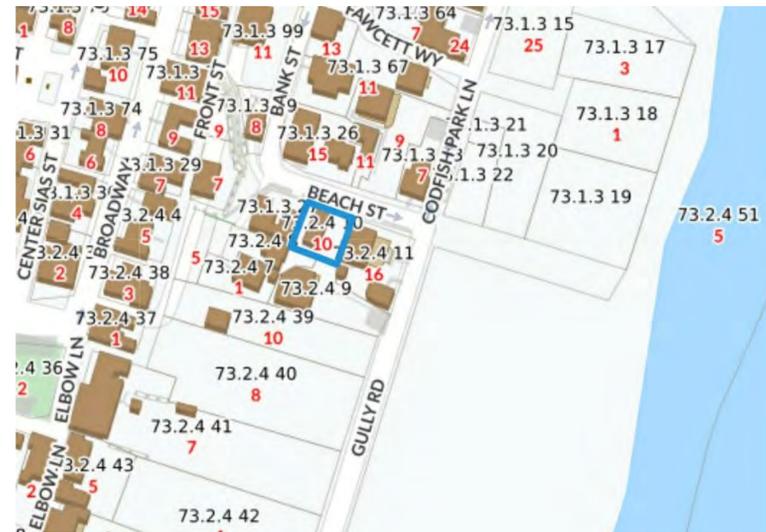
New Dwelling

OLD

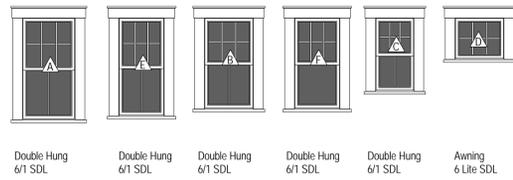
10.01.20

Wilner Residence

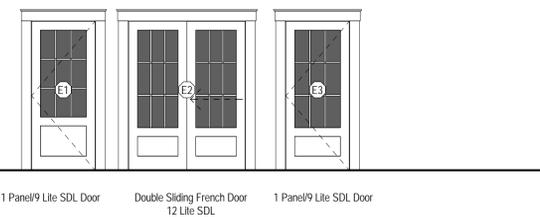
10 Beach St
Nantucket, MA 02554



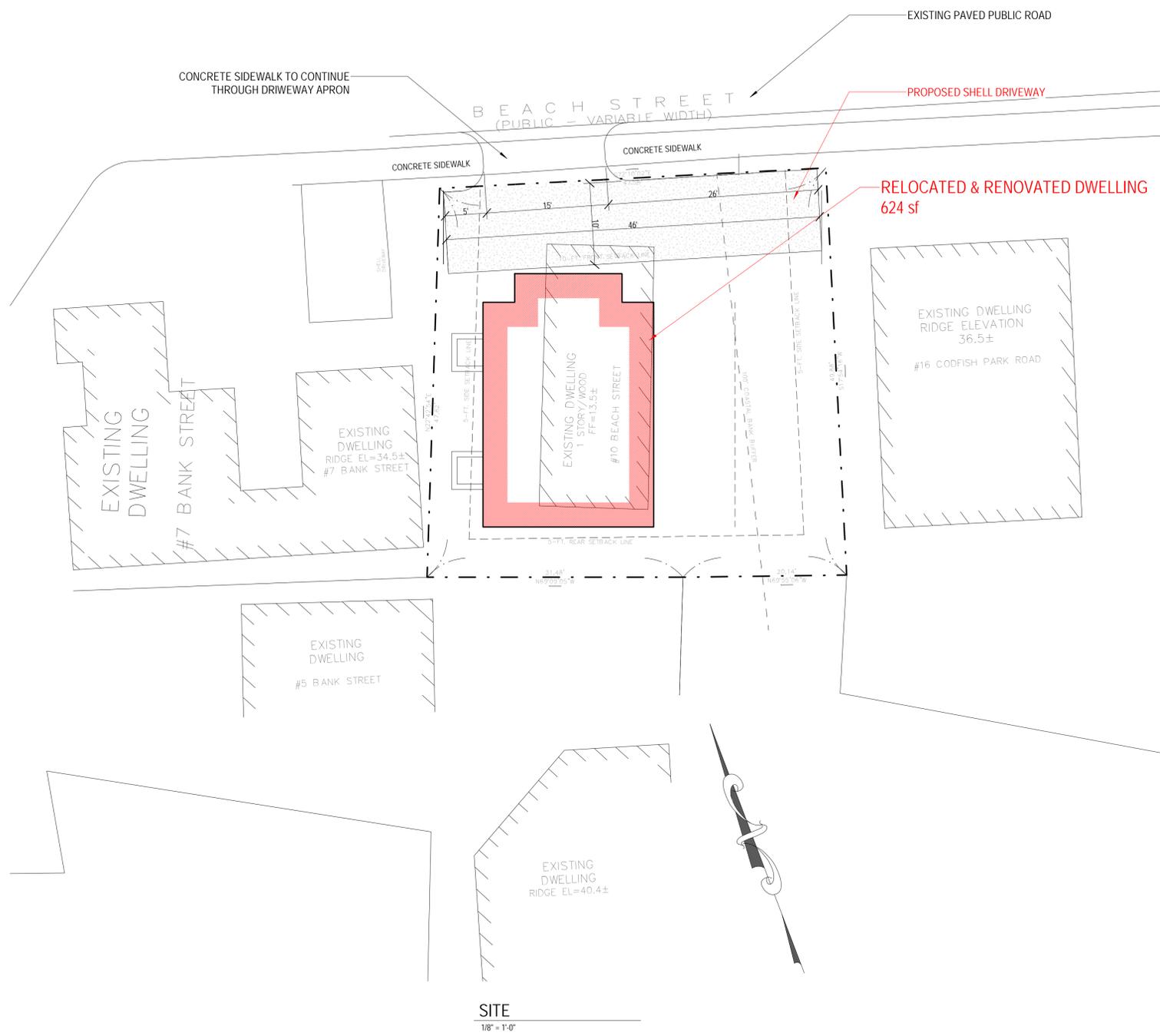
LOCUS MAP
Not to Scale



Window Legend
1/4" = 1'-0"



Door Legend
1/4" = 1'-0"



SITE
1/8" = 1'-0"

1912 Wilner Residence

10 Beach St
Nantucket, MA 02554



COVER SHEET

Site Information

Map & Parcel:	73.2.4 / 10
Current Zoning:	SOH
Minimum Frontage:	50'
Front Setback:	0'
Side/Rear Setback:	5'
Lot Size:	2,419 sf
Min. Lot Size:	5,000 sf
Allowable G.C.:	50% or 1,209 sf
Existing G.C.:	427 sf
Proposed G.C.:	624 sf
Total Proposed G.C.:	624 sf

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

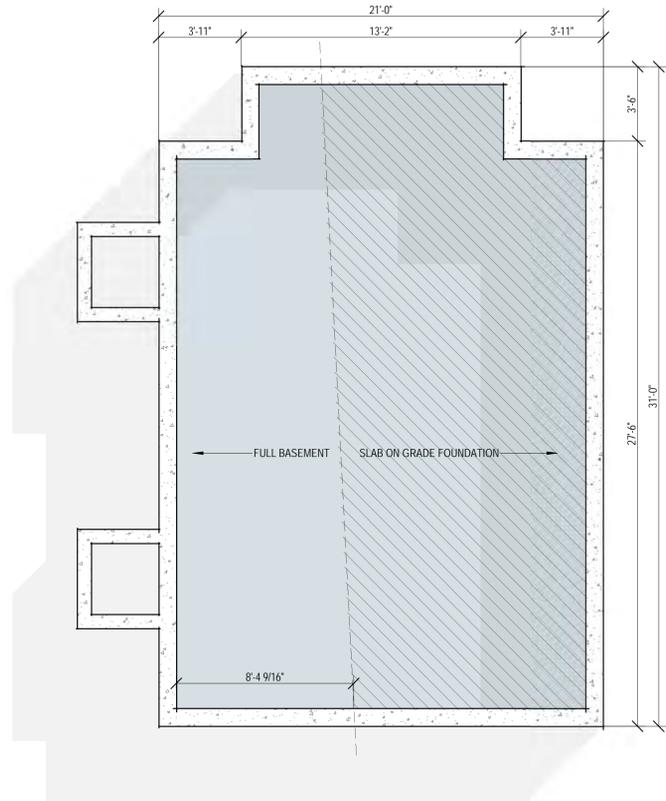
Revisions

G.101
1912

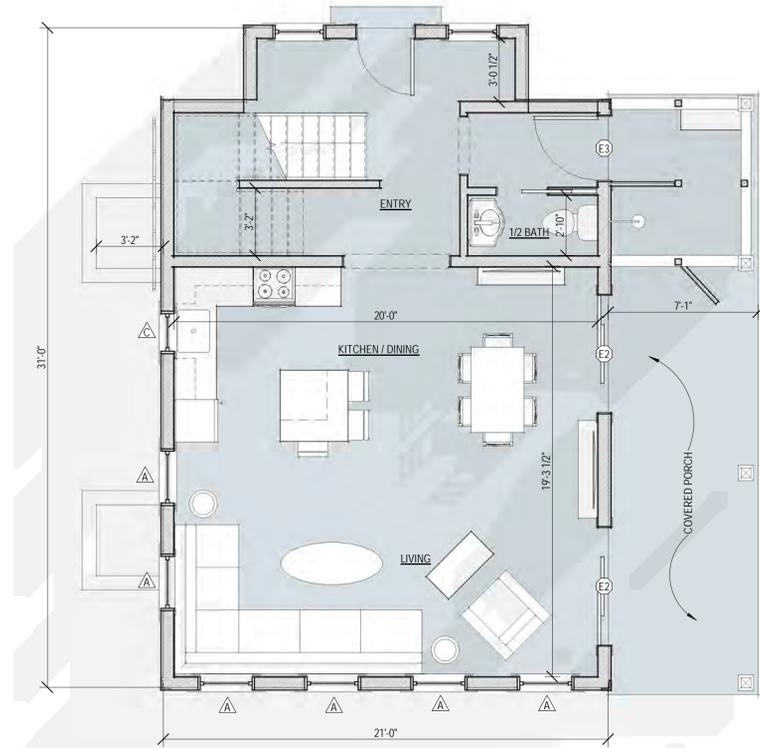
HDC SUBMISSION

10.01.20

HDC SUBMISSION



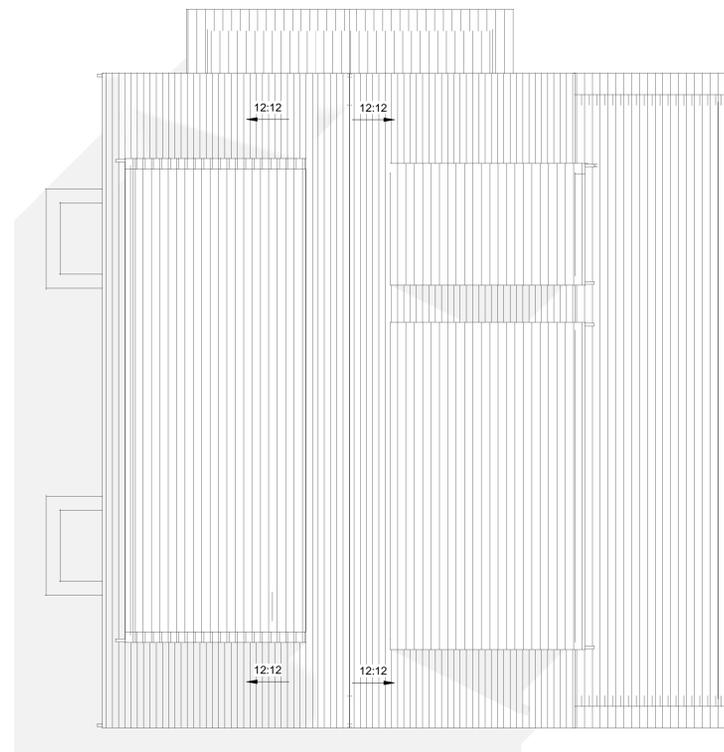
1 Basement Plan
1/4" = 1'-0"



2 First Floor Plan
1/4" = 1'-0"



3 Second Floor
1/4" = 1'-0"



4 Roof Plan
1/4" = 1'-0"

1912

Wilner Residence

10 Beach St
Nantucket, MA 02554



FLOOR PLANS & ROOF PLAN

Site Information

Map & Parcel:	73.2.4 / 10
Current Zoning:	SOH
Minimum Frontage:	50'
Front Setback:	0'
Side/Rear Setback:	5'
Lot Size:	2,419 sf
Min. Lot Size:	5,000 sf
Allowable G.C.:	50% or 1,209 sf
Existing G.C.:	423 sf
Proposed G.C.:	624 sf
Total Proposed G.C.:	624 sf

Information for this site plan was taken from the Nantucket G.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

Revisions

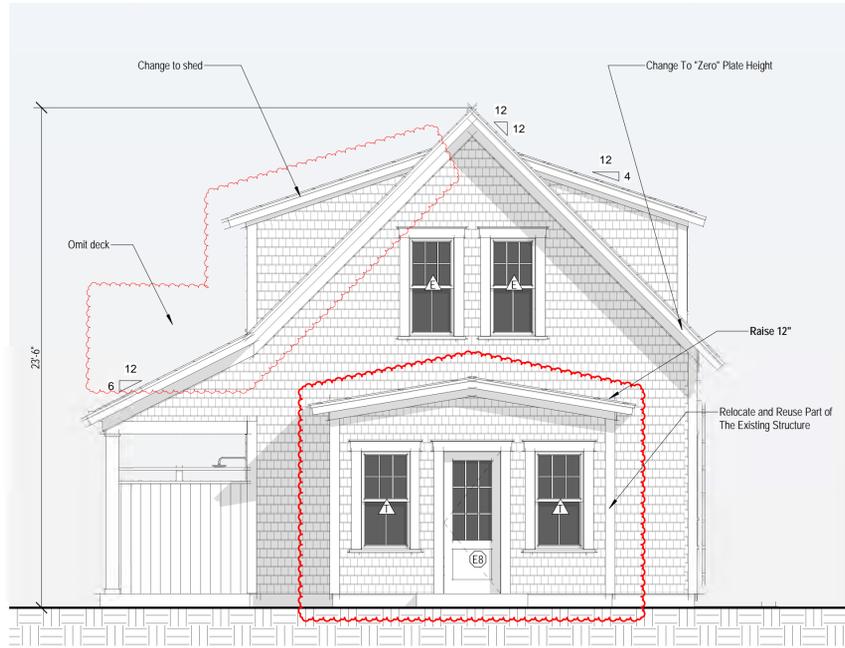
THESE DRAWINGS AND SPECIFICATIONS ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT AND SHALL REMAIN THE PROPERTY OF EMERITUS DEVELOPMENT OR ANY PARTY WITHOUT WRITTEN PERMISSION FROM EMERITUS DEVELOPMENT. THESE DRAWINGS HAVE BEEN WORKED UP AND PREPARED IN ACCORDANCE WITH THE PERMIT TO CONSTRUCT CONTRACT AND ALL APPLICABLE REGULATORY AGENCIES.

A.101

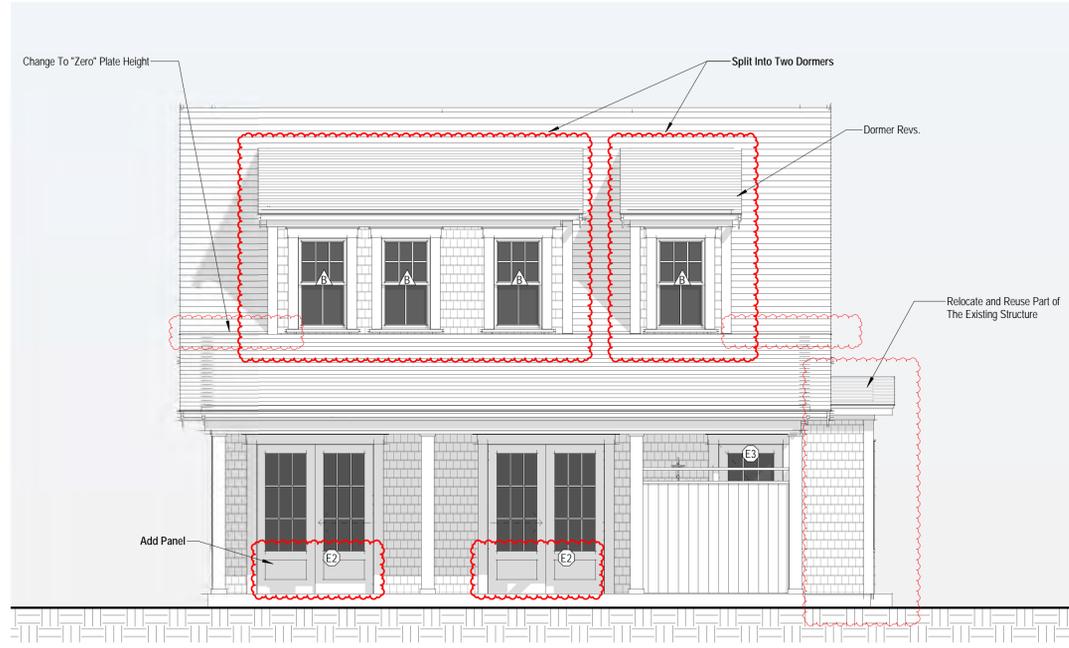
1912

10.01.20

HDC SUBMISSION



1 North Elevation
1/4" = 1'-0"



2 East Elevation
1/4" = 1'-0"



Previously Proposed North Elevation
1/8" = 1'-0"



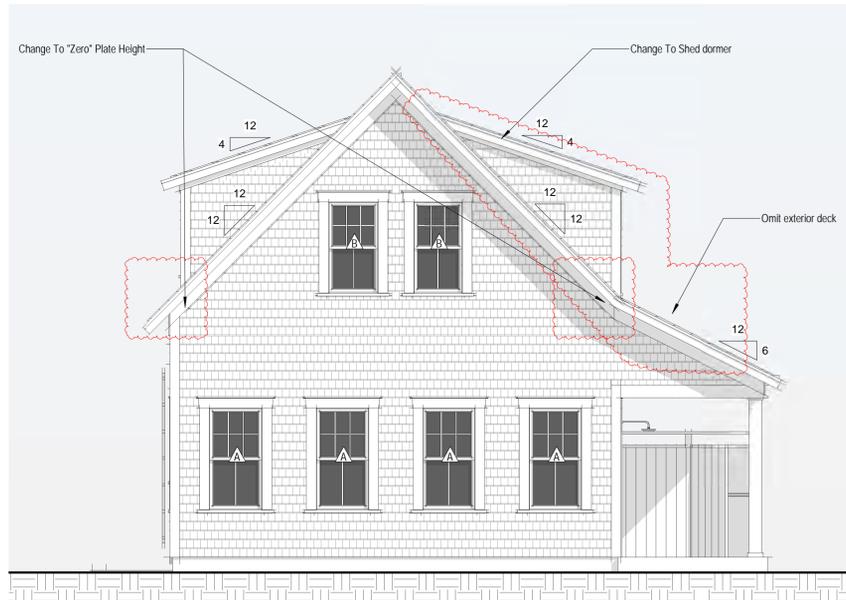
Previously Proposed East Elevation
1/8" = 1'-0"



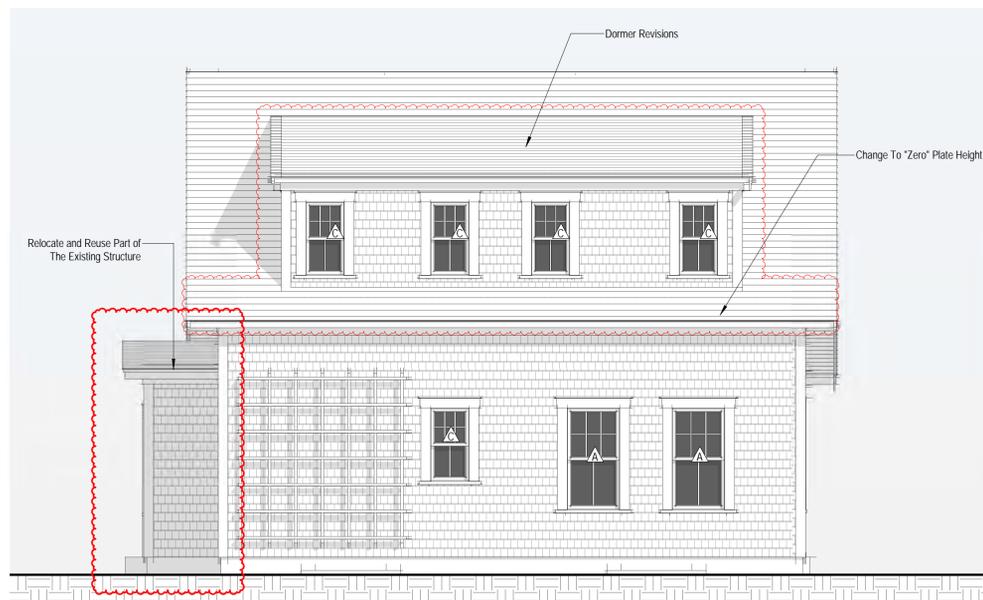
Previously Proposed South Elevation
1/8" = 1'-0"



Previously Proposed West Elevation
1/8" = 1'-0"



3 South Elevation
1/4" = 1'-0"



4 West Elevation
1/4" = 1'-0"

1912
Wilner Residence

10 Beach St
Nantucket, MA 02554



EXTERIOR ELEVATIONS

Site Information

Map & Parcel:	73.2.4 / 10
Current Zoning:	SOH
Minimum Frontage:	50'
Front Setback:	0'
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Min. Lot Size:	5,000 sf
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Revisions	
Revision 1	Date 1

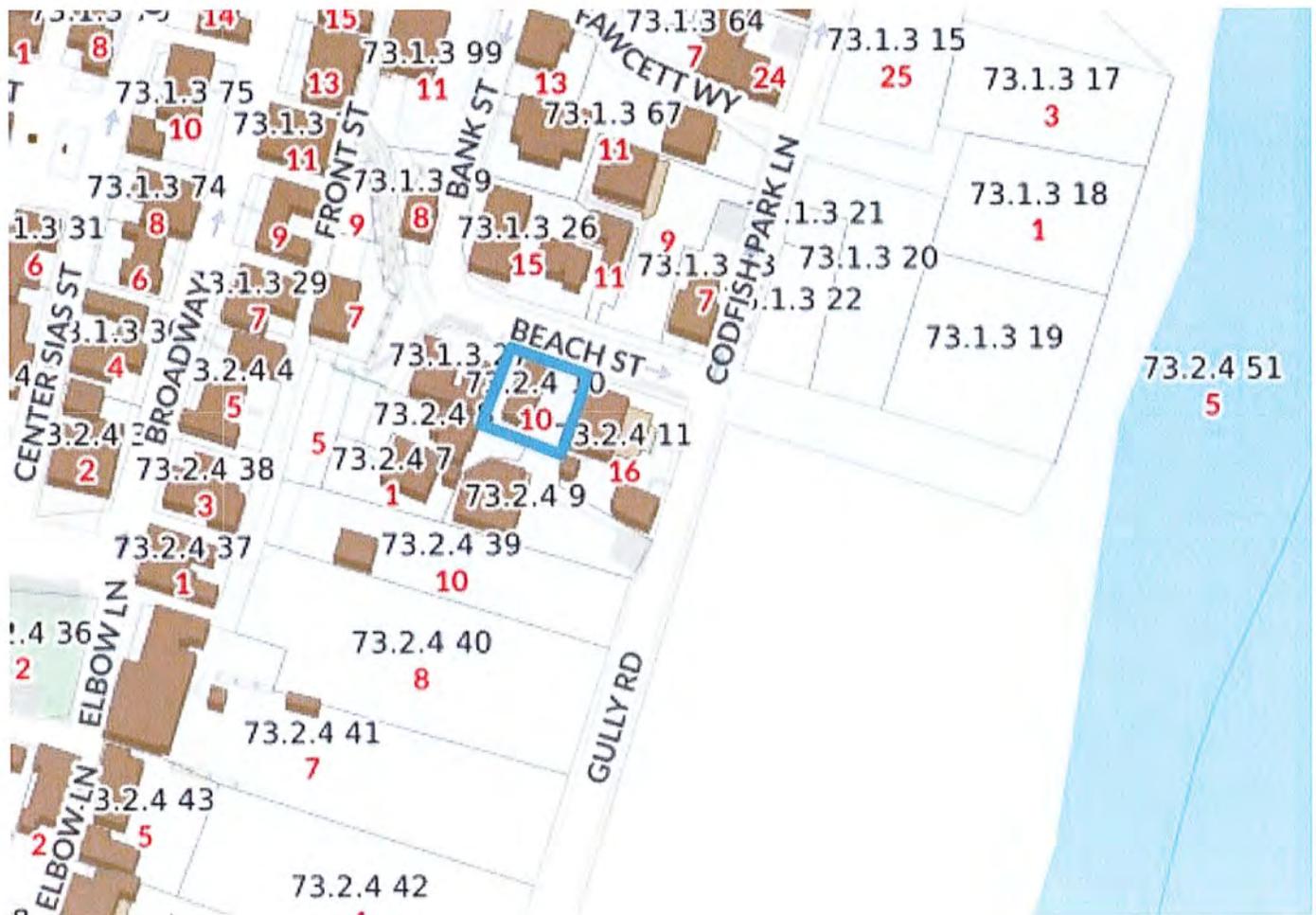
THESE DRAWINGS ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT AND SHALL REMAIN THE PROPERTY OF EMERITUS DEVELOPMENT UNLESS OTHERWISE SPECIFIED IN WRITING. THESE DRAWINGS HAVE BEEN WORKED UP BY THE ARCHITECT IN ACCORDANCE WITH THE PERMITS AND CONTRACT DOCUMENTS. ALL RIGHTS RESERVED.

A.201
1912

Wilner Residence

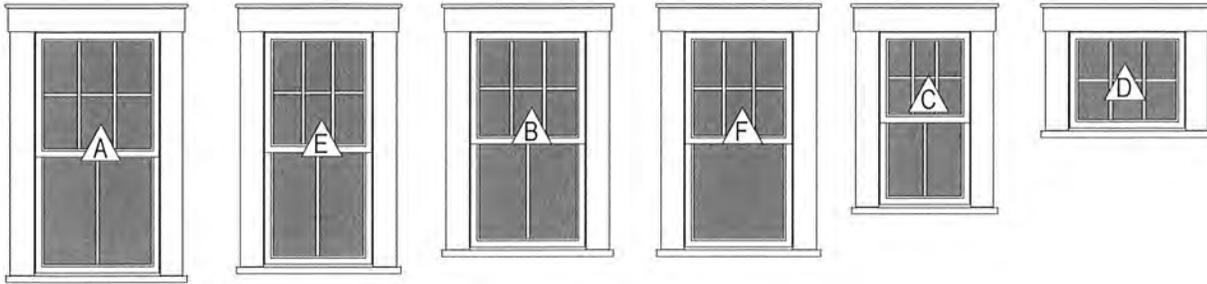
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LOCUS MAP

Not to Scale

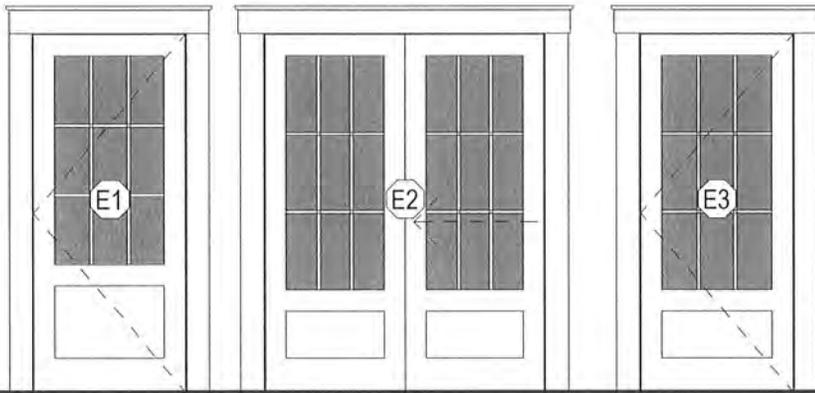


Double Hung
6/1 SDL

Awning
6 Lite SDL

Window Legend

1/4" = 1'-0"



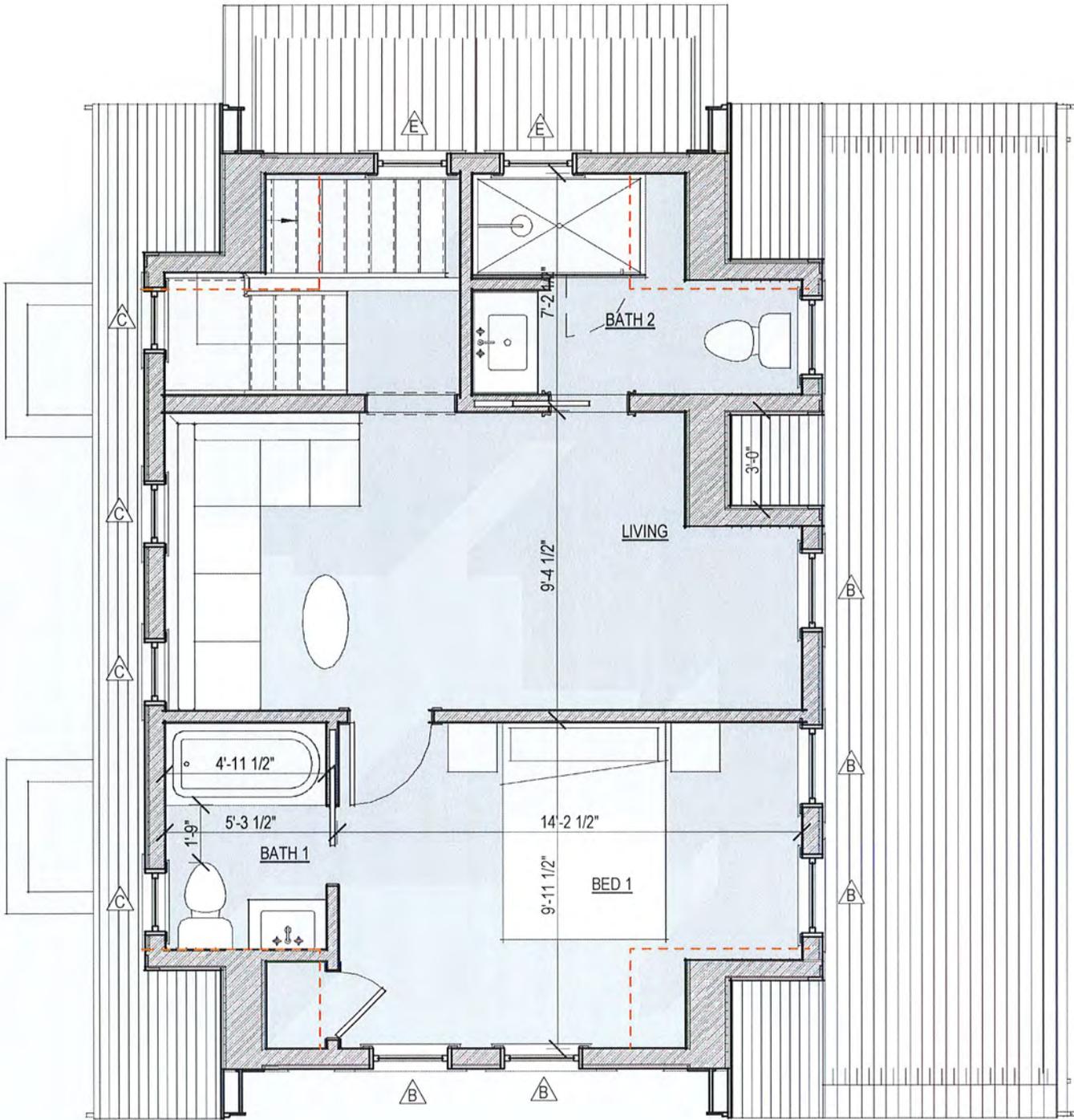
1 Panel/9 Lite SDL Door

Double Sliding French Door
12 Lite SDL

1 Panel/9 Lite SDL Door

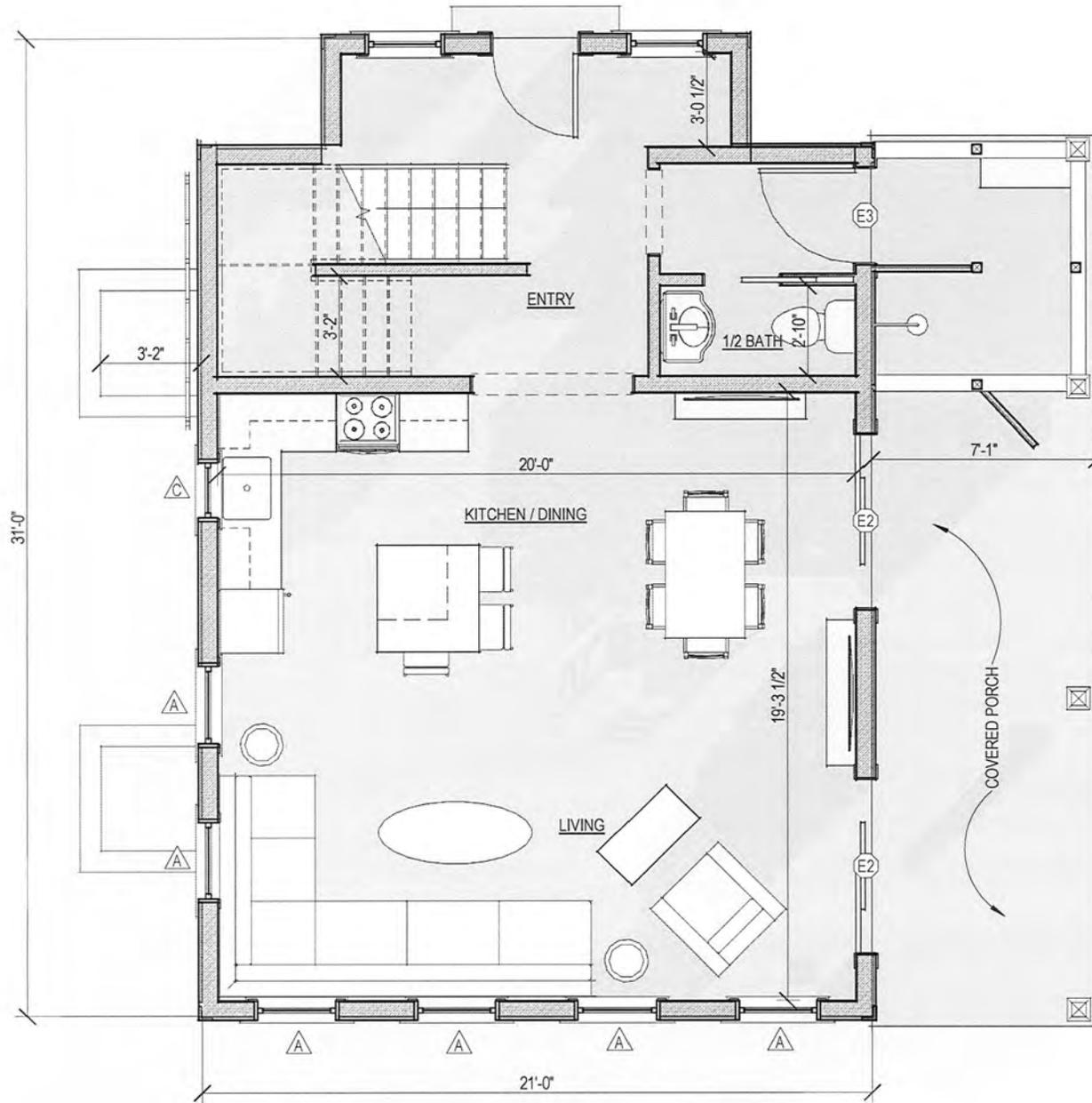
Door Legend

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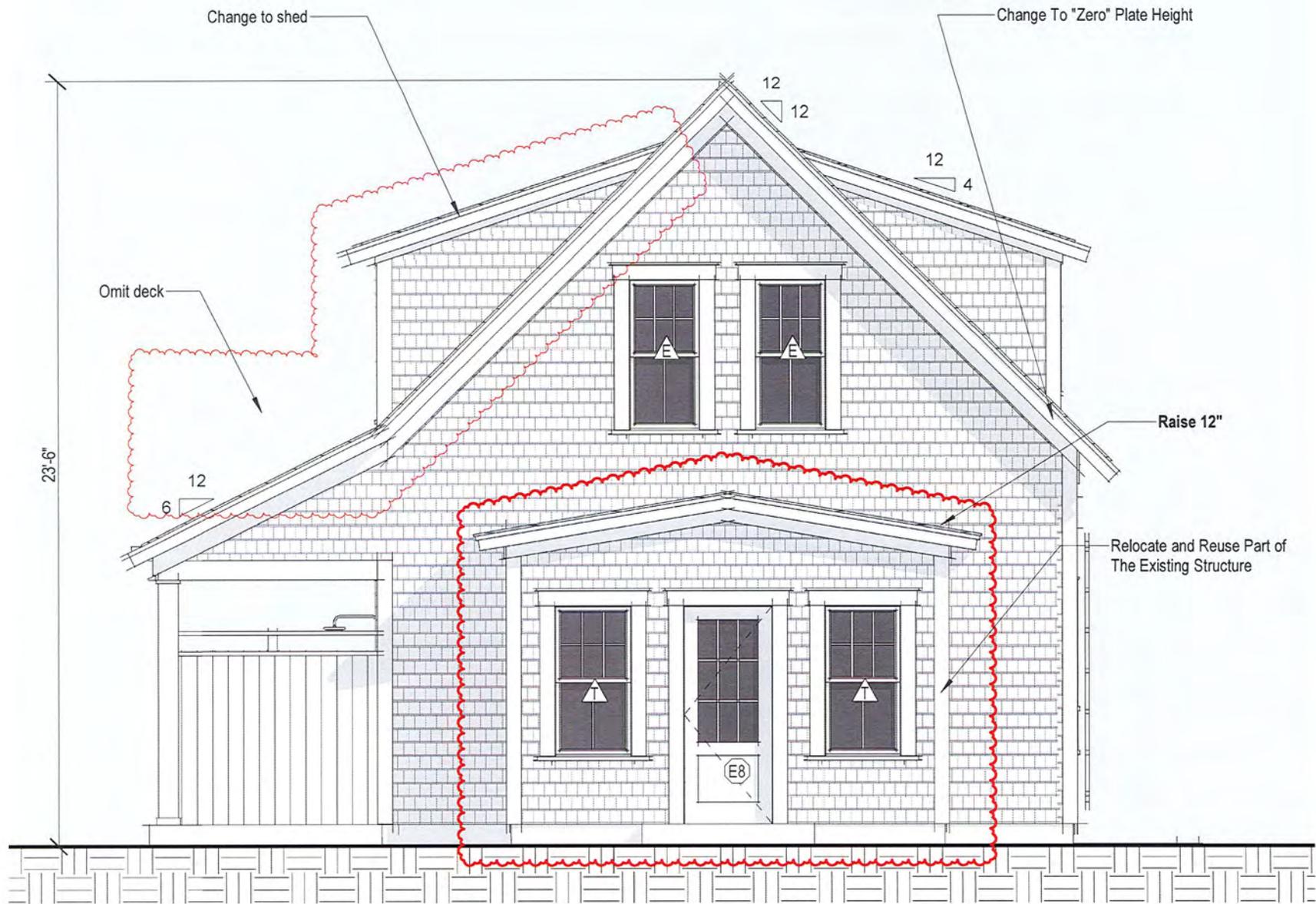


3 Second Floor

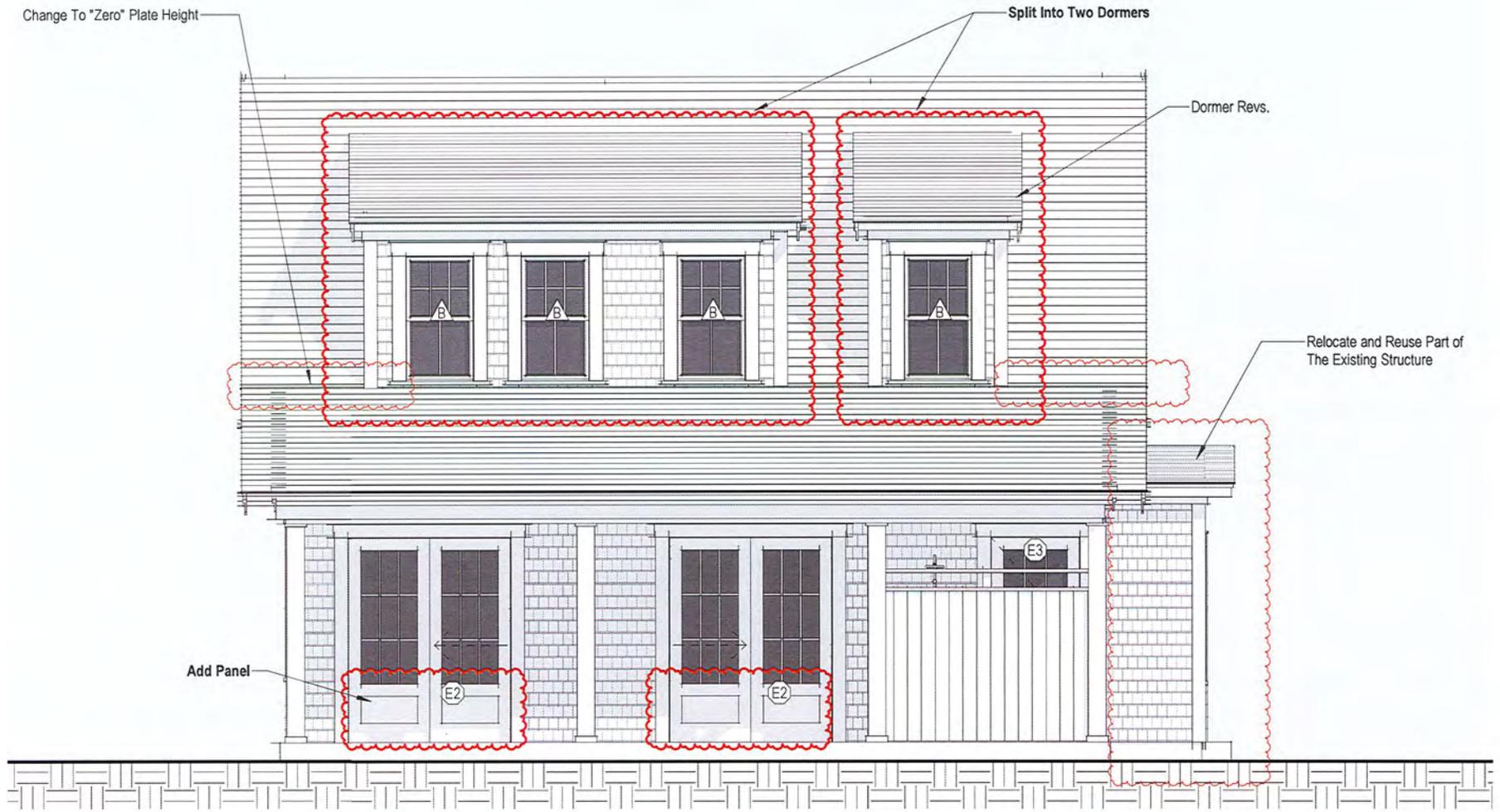
1/4" = 1'-0"



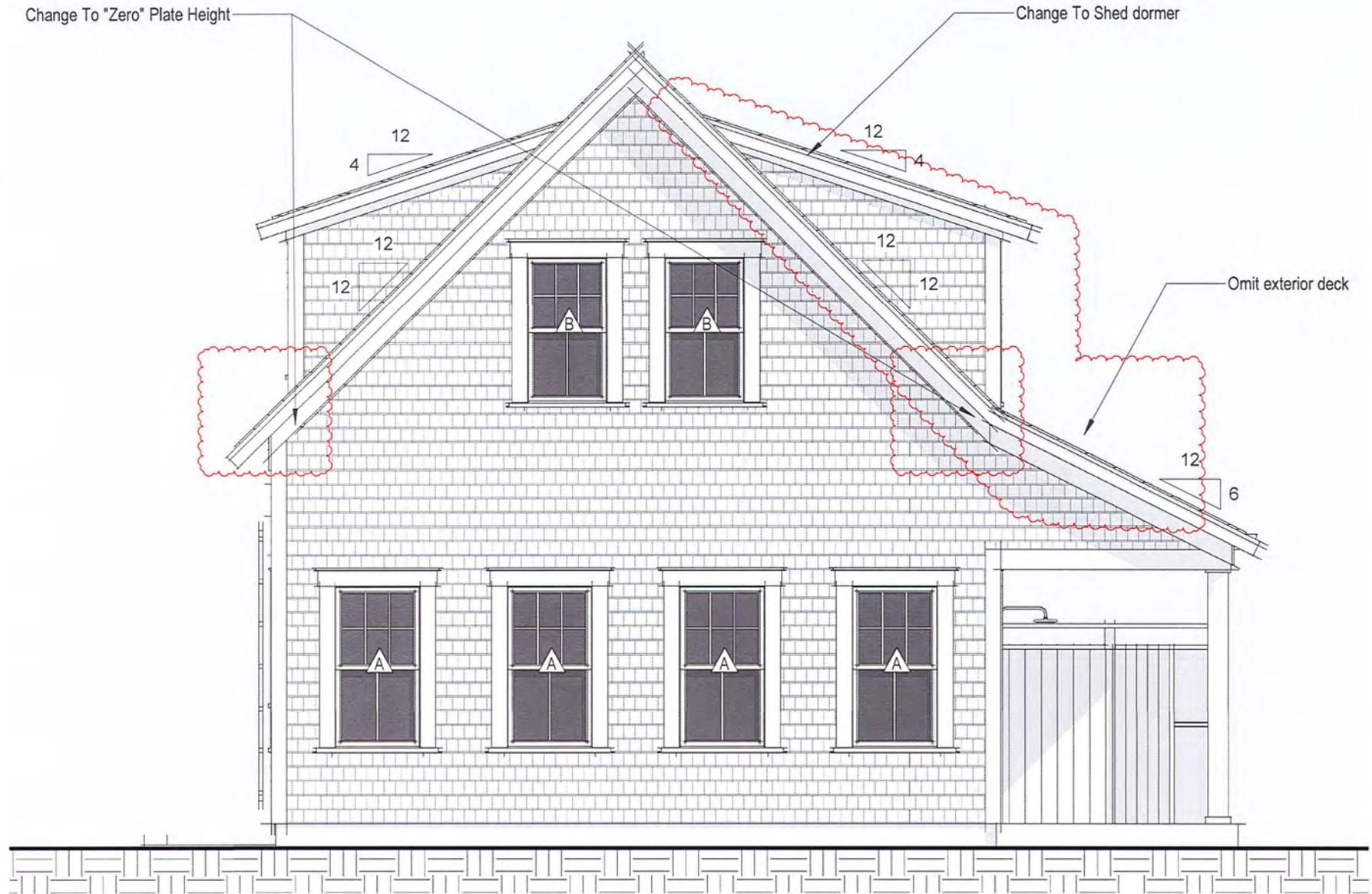
2 First Floor Plan
 1/4" = 1'-0"



1 North Elevation
 1/4" = 1'-0"

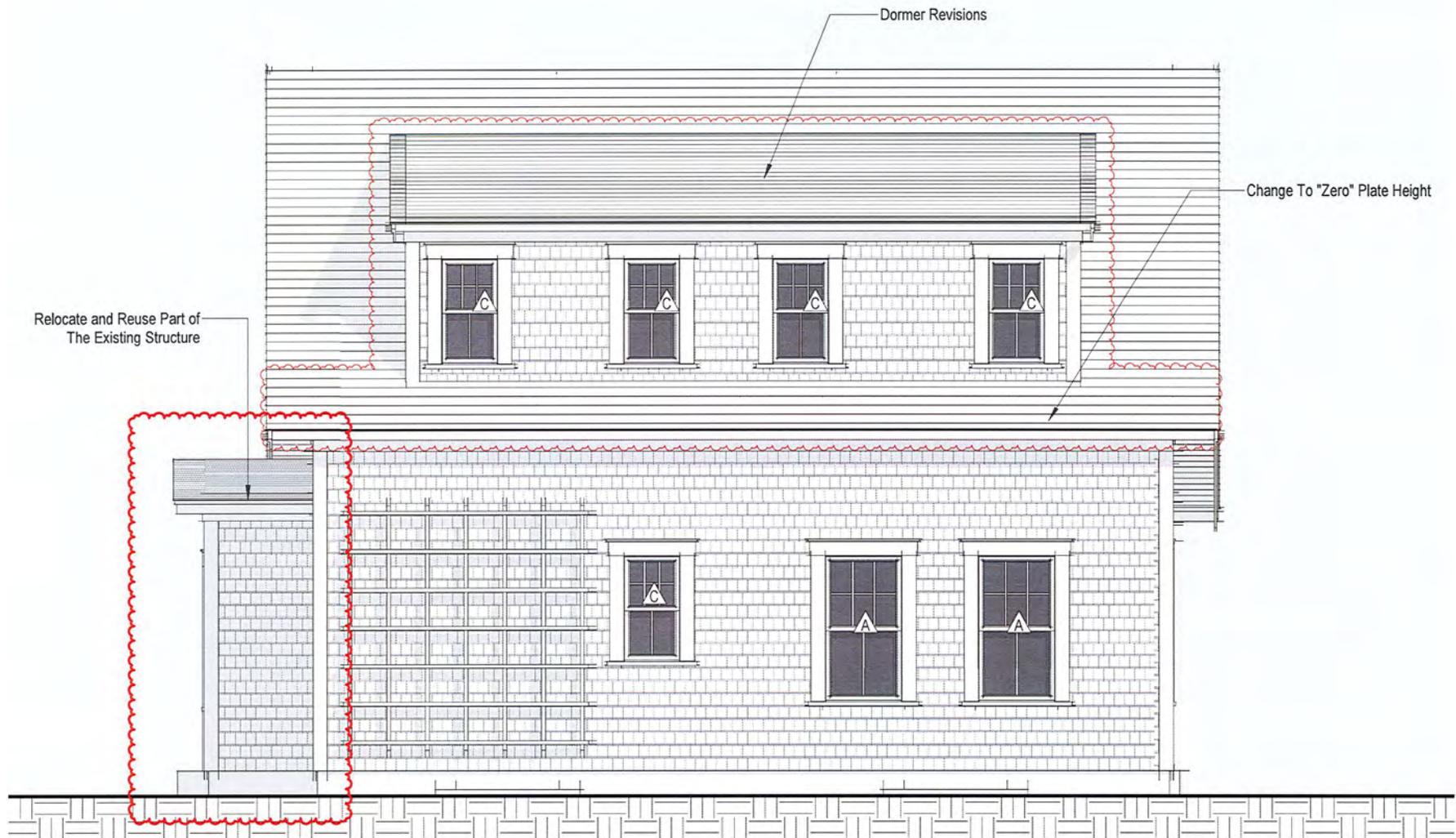


2 East Elevation
 1/4" = 1'-0"



3 South Elevation

1/4" = 1'-0"



4 West Elevation
1/4" = 1'-0"

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 82 PARCEL N°: 75
Street & Number of Proposed Work: 11 DAVIS LN
Owner of record: 11 DAVIS LLC
Mailing Address: 11 DAVIS LN
NANTUCKET, MA, 02554
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: EMERITUS
Mailing Address: 8 WILLIAMS LN
NANTUCKET, MA, 02554
Contact Phone #: 508 325 4995 E-mail: MATT@EMERITUS
DEVELOPMENT.COM

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other POOL HOUSE / CABANA
Size of Structure or Addition: Length: 13'0" Sq. Footage 1st floor: 48 SF Decks/Patio: Size: #250 SF 1st floor 2nd floor
Width: 3'8" Sq. Footage 2nd floor: N/A Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: N/A

Difference between existing grade and proposed finish grade: North +6" South +6" East +6" West +6"
Height of ridge above final finish grade: North +16'11" South +16'11" East +16'11" West +16'11"

Additional Remarks

REVISIONS*

- 1. East Elevation
- 2. South Elevation
- 3. West Elevation
- 4. North Elevation

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed ±8" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) N/A Other _____
Roof Pitch: Main Mass 12/12 Secondary Mass _____/12 Dormer _____/12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) RED CEDAR
Skylights (flat only): Manufacturer N/A Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): COPPER
Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia 1x6 Rake 1x6 Soffit (Overhang) ±10" Corner boards N/A Frieze 1x4
Window Casing 5/4x4 Door Frame 5/4x4 Columns/Posts: Round _____ Square Tapered 5'4" x 11'4"
Windows*: Double Hung Casement All Wood Other FIXED
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Panel Front _____ Rear _____ Side 1 panel
Garage Door(s): Type N/A Material _____
Hardscape materials: Driveways N/A Walkways N/A Walls N/A

Fence: Height: _____
Type: _____
Length: _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall NATURAL Clapboard (if applicable) N/A Roof NATURAL
Trim WHITE Sash WHITE Doors WHITE
Deck NATURAL Foundation NATURAL Fence N/A Shutters N/A

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
Date 03/04/20 Signature of owner of record _____ Signed under penalty of perjury _____

OLD BUSINESS CHECKLIST



Planning and Land Use Services

Historic District Commission

2 Fairgrounds Road, Nantucket, Ma 02554
508-325-7587

This checklist **MUST** be submitted with your application.

*Refer to the HDC Policies and Procedures for Applicants for further information link below:

<https://www.nantucket-ma.gov/DocumentCenter/View/28657/HDC-Policies-and-Procedures-for-Applicants-revised>

Failure to submit the required documents below for an Old Business meeting **MAY** result in delays.

	HDC case number: (ex HDC2020-xx-xxxx), if applicable
	<u>Copy of Minutes</u> (application item circled)
	<u>Reduced (8 1/2 x 11) copy of application</u>
	<u>Locus Map</u> : 4 copies: https://www.nantucket-ma.gov/151/GIS-Maps
	Four (4) copies of additional information requested by Commission- if applicable (i.e. pictures, FEMA flood Certificate, etc.)
	Four (4) Large (24"x36") sets of plans (circle all that apply) a. Site Plan b. North Elevation c. South Elevation d. East Elevation e. West Elevation f. Window/Door Schedule
	<u>One set reduced plans</u> : 8 1/2 x 11
	<u>Electronic Submission</u> : ALL documents MUST BE scanned to hdcsubmissions@nantucket-ma.gov .

**** PLUS staff is not responsible to research, gather, collate or submit documents on behalf of the applicant.**

Affidavit Certifying Completeness of Application

I hereby acknowledge that I have read the Nantucket Historic District Commission Policies and Procedures for Applicants. Furthermore, I confirm that the requirements for a complete application have been met.

Signature: Anton Dimov Date: _____

HDC Meeting Date: September 24th , 2020.

11 Davis Ln

Emeritus Development

Map 82; Parcel 75

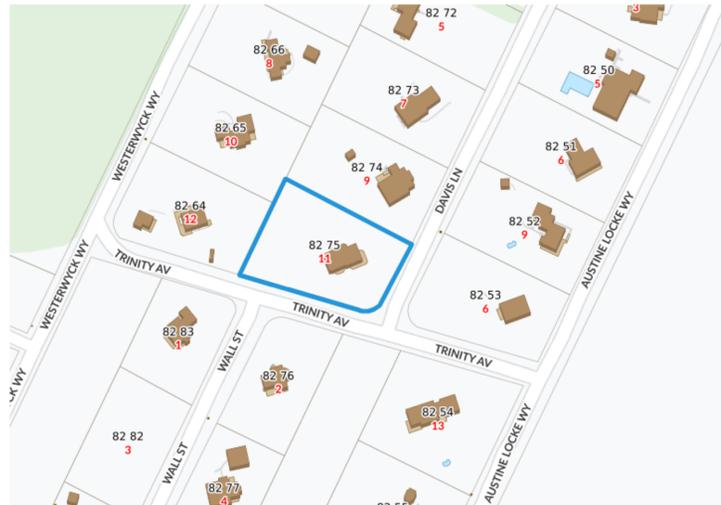
New Cabana

OLD

Cabana

11 Davis Ln
Nantucket, MA 02554

10.01.20



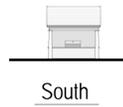
1 Locus Map
Not to Scale



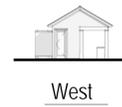
Door Legend
1/4" = 1'-0"

WINDOW & DOOR NOTES

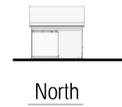
1. Impact Resistant Glazing Required or Plywood Cutouts Meeting The Requirements Specified in IRC 2015 R301.2.1.2 "Protection of Openings"
2. Windows w/ DP Rating of 30 or Greater Required
3. Contractor to Confirm New Windows & Doors Match Existing Rough Openings Prior to Placing Order
4. Refer To Plan For Tempered Glass Locations; Contrator To Verify Tempered Windows Are Provided Where Required
5. Contractor Shall Install Self Adhesive Flexible Window Flashing by Grace or Equal
6. General Contractor to Verify All Egress Windows Have @ Least 20"x24" Clear Opening & Are In Accordance w/ Massachusetts Minimum Egress Requirements
7. General Contractor To Verify Window & Door Order Matches Or Exceeds Required Energy Ratings Per ResCheck Calculation
8. Contractor Shall Provide Architect w/ Window & Door Quote For Quantity & Type Verification Prior To Order
9. Contractor To Verify All Window & Door Colors As Quoted Match The Latest HDC Approval Prior To Order
10. The Unit Measurements Given In This Document Are For A Guide Only
11. Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



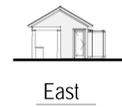
South



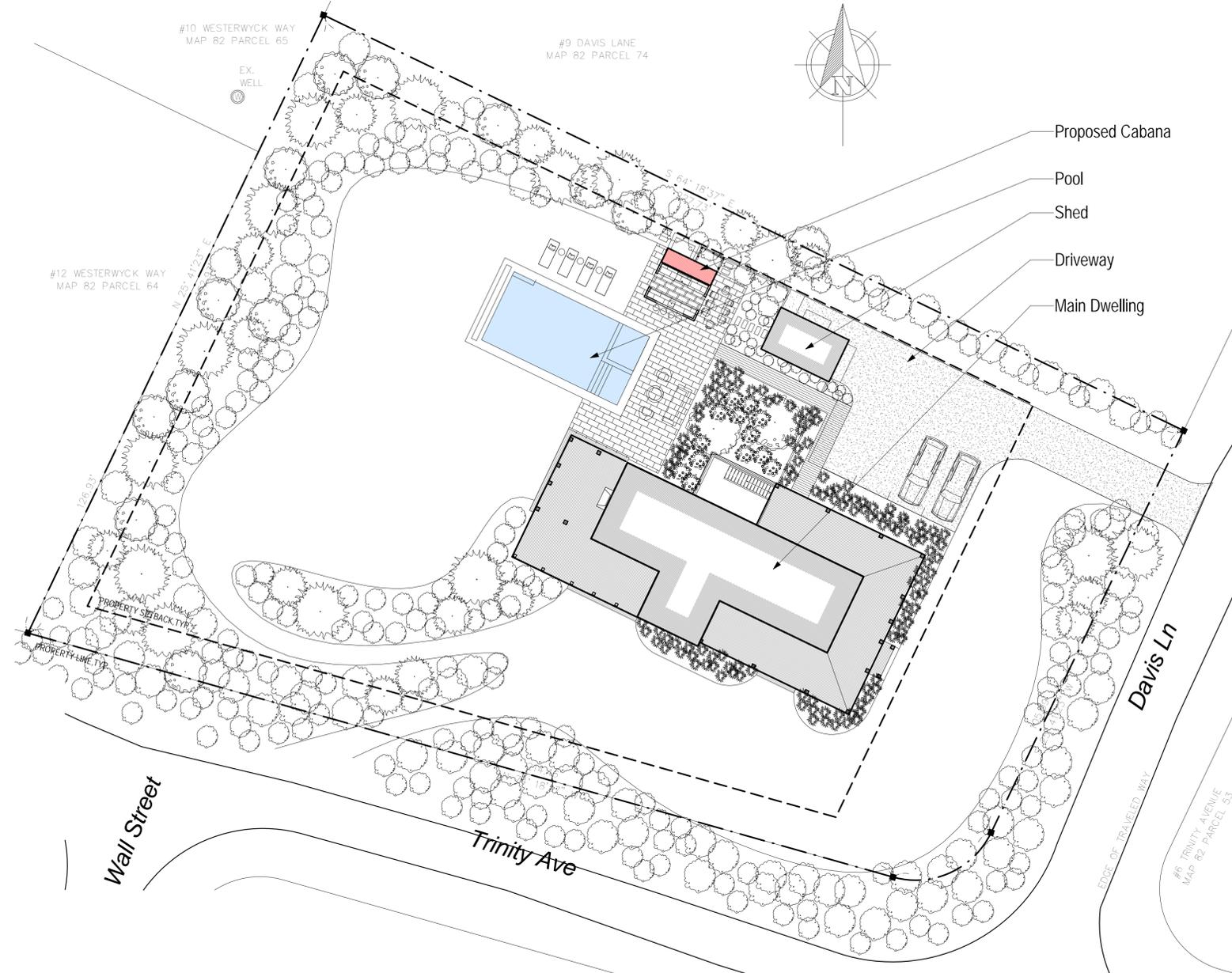
West



North



East



3 Site Plan
1/16" = 1'-0"

2004

Cabana

11 Davis Ln
Nantucket, MA 02554



Cover Sheet

Site Information

Map & Parcel:	82 / 75
Current Zoning:	LUG - 2
Minimum Frontage:	150 ft.
Front Setback:	35 ft.
Side/Rear Setback:	10 ft. / 10 ft. (per 139-33E(2a))
Lot Size:	+/- 32,475 sq.ft.
Min. Lot Size:	80,000 sq.ft.
Allowable G.C.:	1,500 sq.ft. (per 139-33E(1b))
Existing G.C.:	1,351 sq.ft. (to be demolished)
Proposed G.C.:	42 sq.ft.
Total Proposed G.C.:	1,490 sq.ft.

Information for this site plan was taken from the Nantucket C.I.S. This drawing does not constitute a registered survey. All site work should be verified by a Registered Land Surveyor prior to and during construction.

SHEET INDEX

- G.1.1 Cover Sheet
- A.1.1 Floor Plan & Elevations

Revisions

THESE DRAWINGS AND THE DESIGNS THEY ILLUSTRATE ARE THE SOLE PROPERTY OF EMERITUS DEVELOPMENT LTD. AND MAY NOT BE USED IN WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION OF EMERITUS DEVELOPMENT LTD.
DRAWINGS THAT ARE NOT CLEARLY LABELED FOR CONSTRUCTION SHOULD NOT BE USED FOR CONSTRUCTION OR FOR PURCHASING WITHOUT THE EXPRESS WRITTEN CONSENT OF THE PRINCIPAL OR THE DESIGNATED PROJECT MANAGER.

G.1.1
2004

HDC Submission Only / For Review

10.01.20

HDC Submission Only / For Review

2004

Cabana

11 Davis Ln
Nantucket, MA 02554



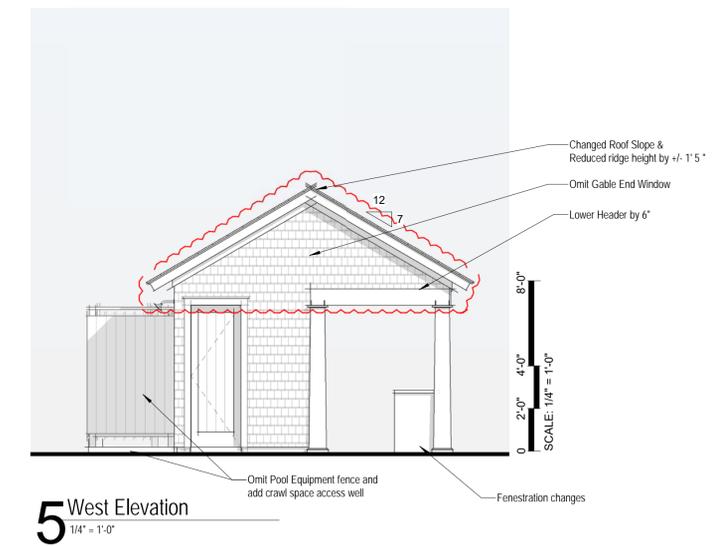
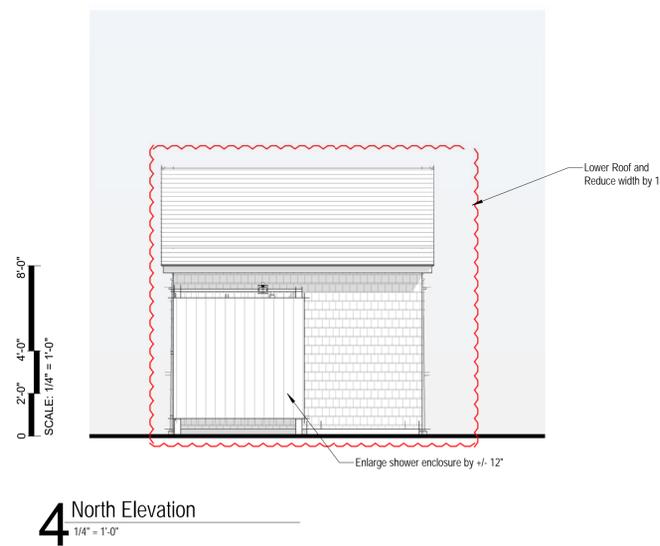
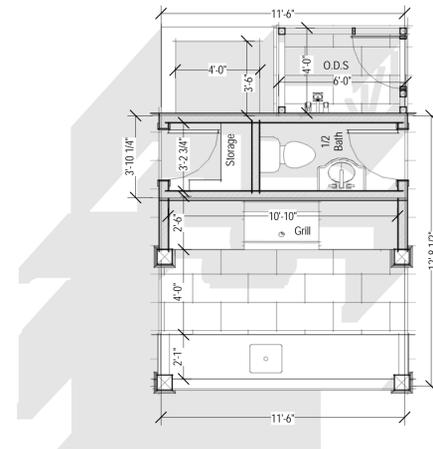
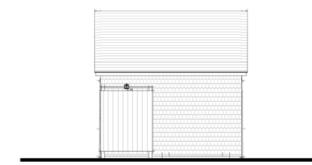
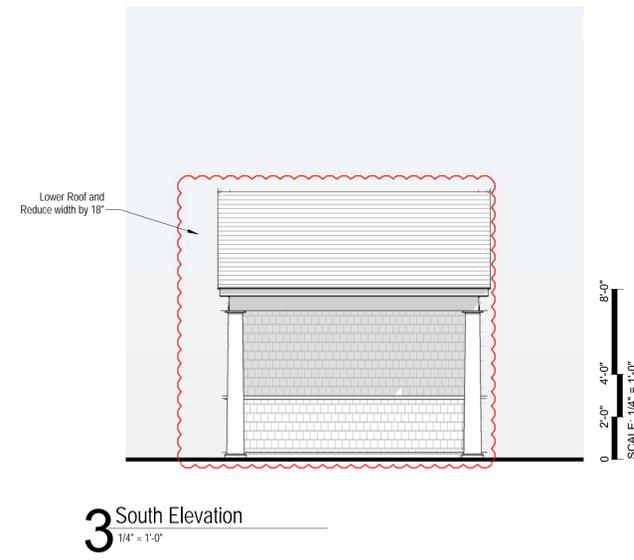
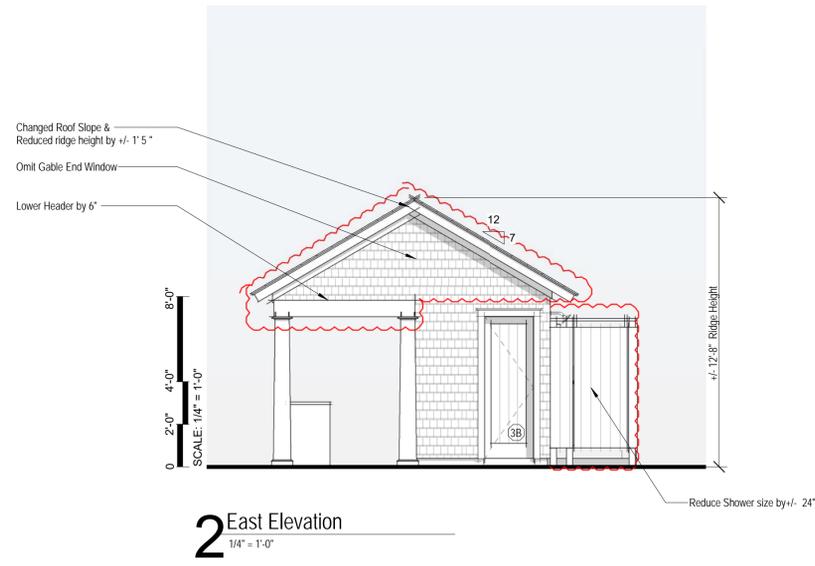
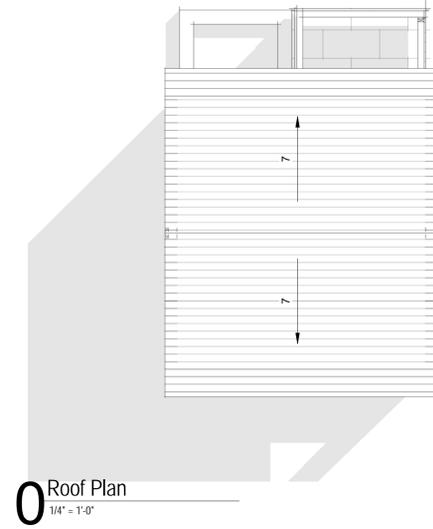
Floor Plan & Elevations

Site Information

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SHEET INDEX
 G.1.1 Cover Sheet
 A.1.1 Floor Plan & Elevations



Revisions

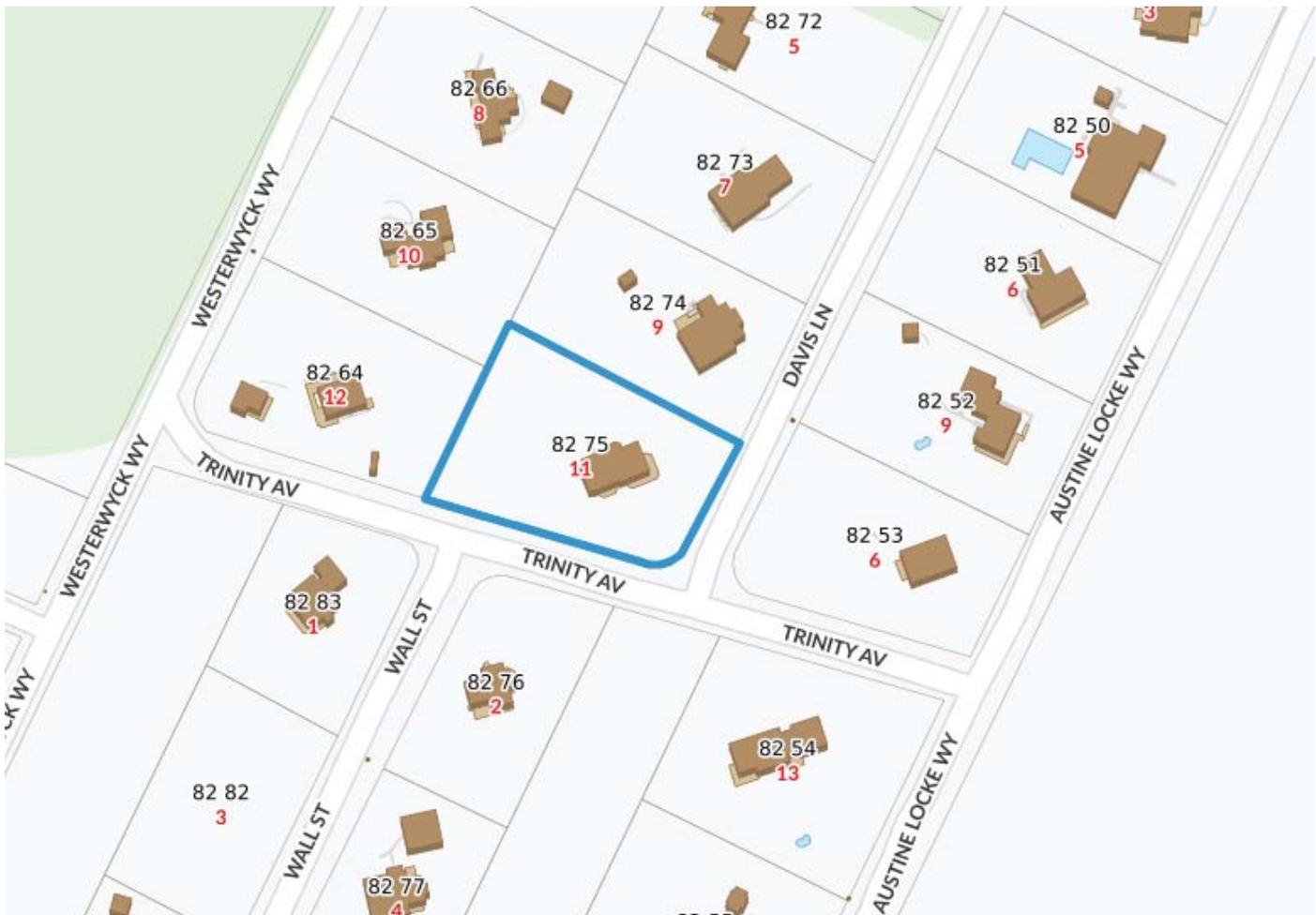
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A.1.1
2004

Cabana

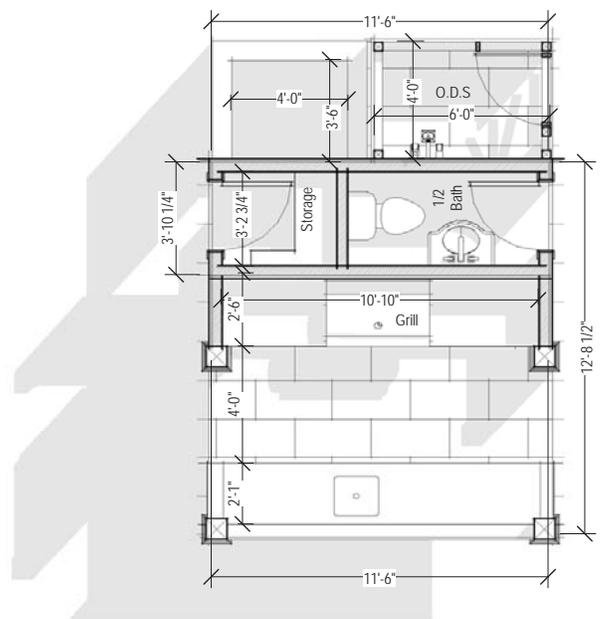
11 Davis Ln
Nantucket, MA 02554

10.01.20

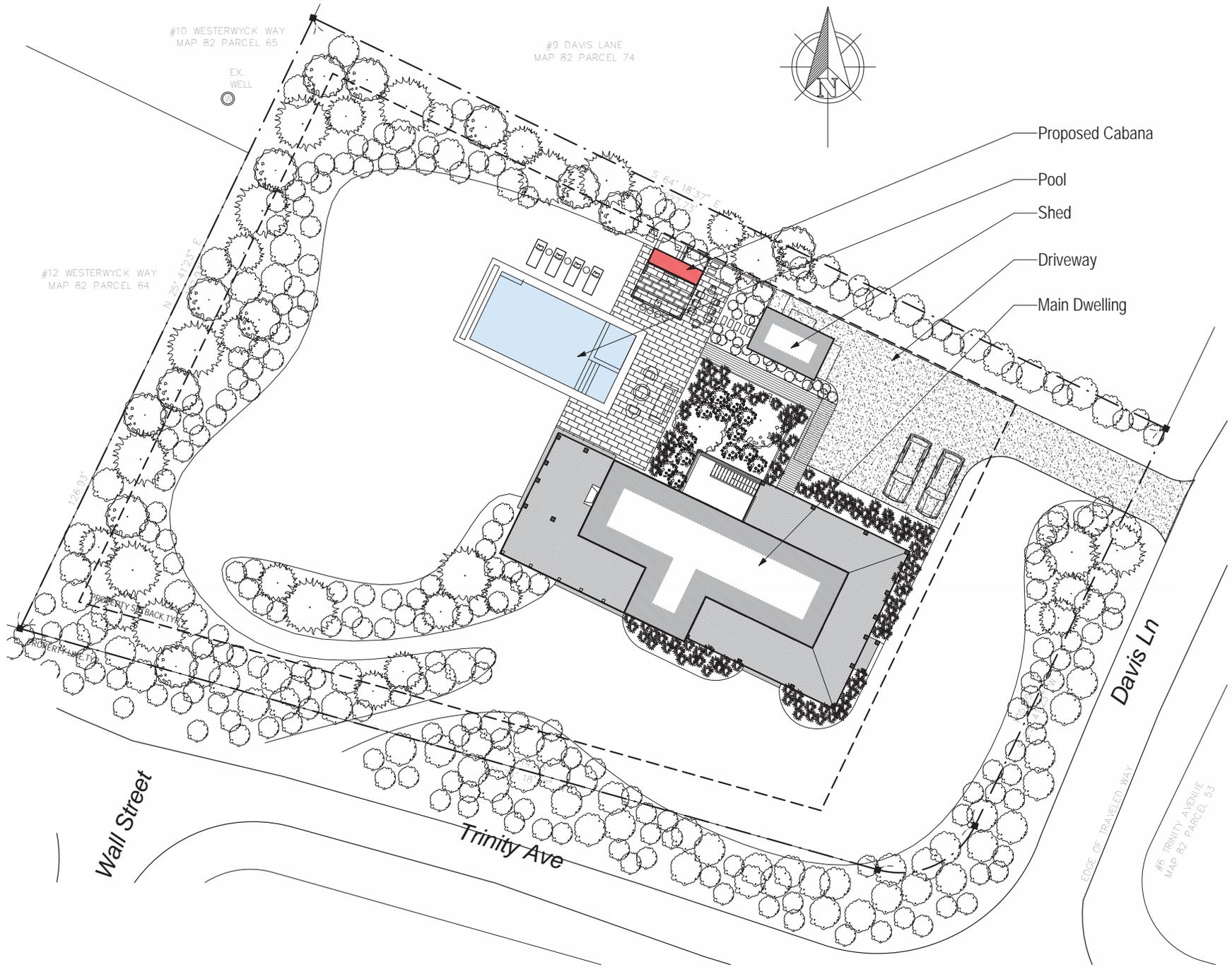




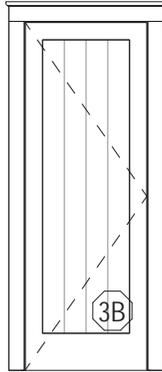
0 Roof Plan
 1/4" = 1'-0"



1 First Floor Plan
 1/4" = 1'-0"



- Proposed Cabana
- Pool
- Shed
- Driveway
- Main Dwelling

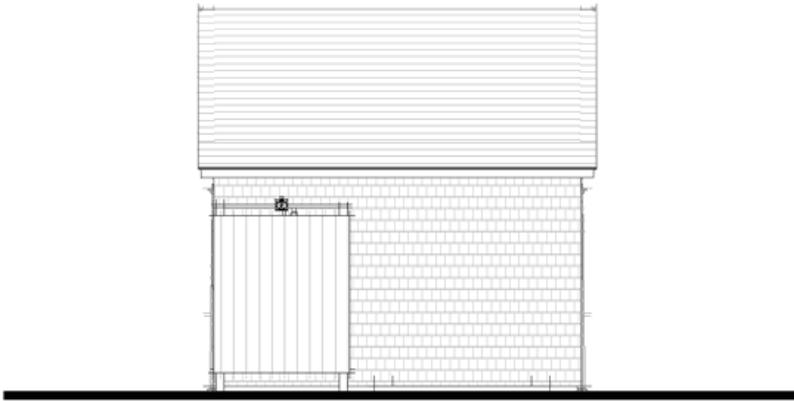


Door Legend

1/4" = 1'-0"

WINDOW & DOOR NOTES

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4. Refer To Plan For Tempered Glass Locations; Contrator To Verify Tempered Windows Are Provided Where Required
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10. The Unit Measurements Given In this Document Are For A Guide Only
11. Due To Slight Discrepancies & Changes In Manufacturing, Contractors Must Verify Rough Opening Dimensions Of All Windows & Doors w/ Manufacturer Prior Framing



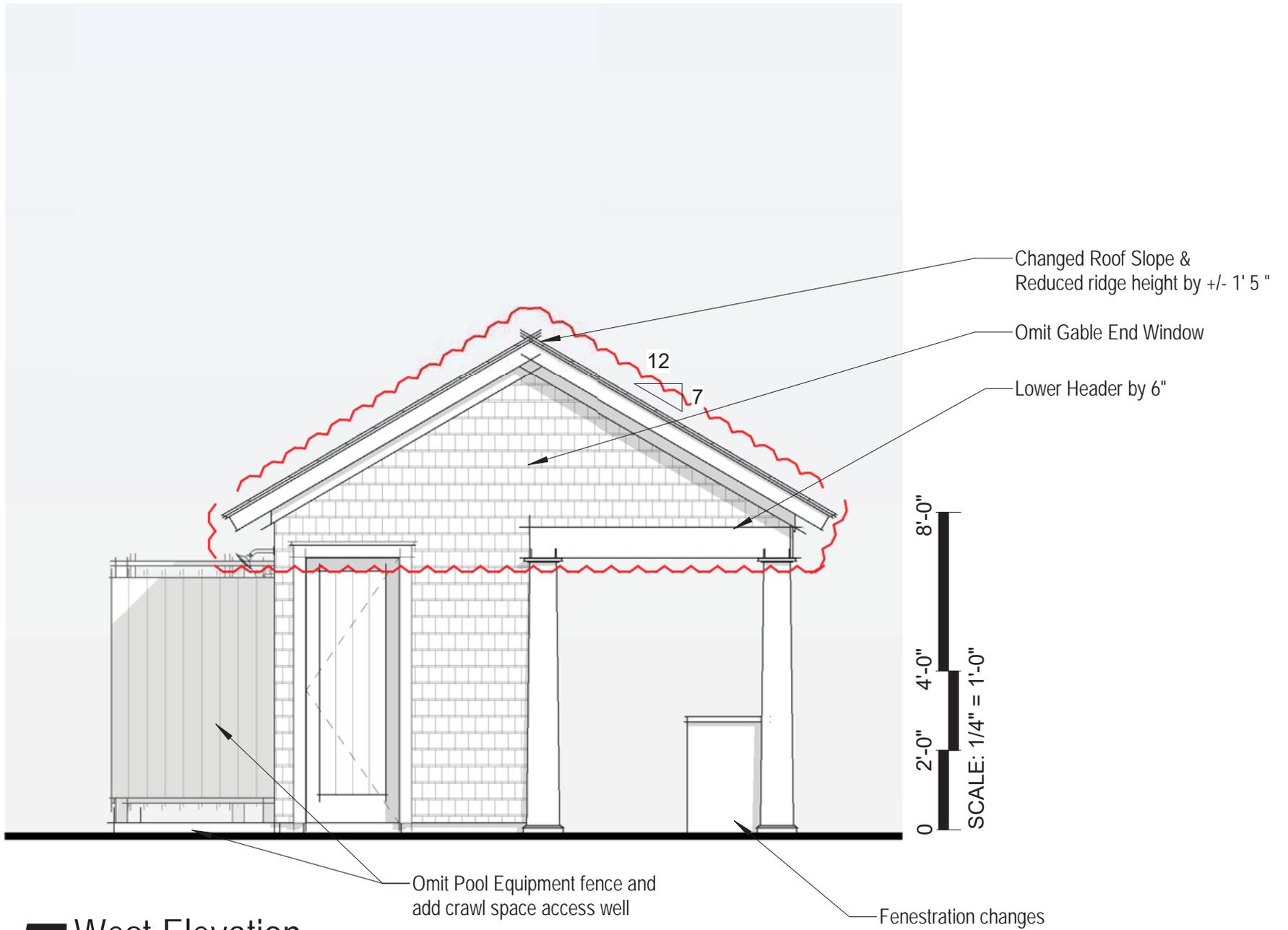
Previously Proposed North Elevation

$1/8" = 1'-0"$



Previously Proposed West Elevation

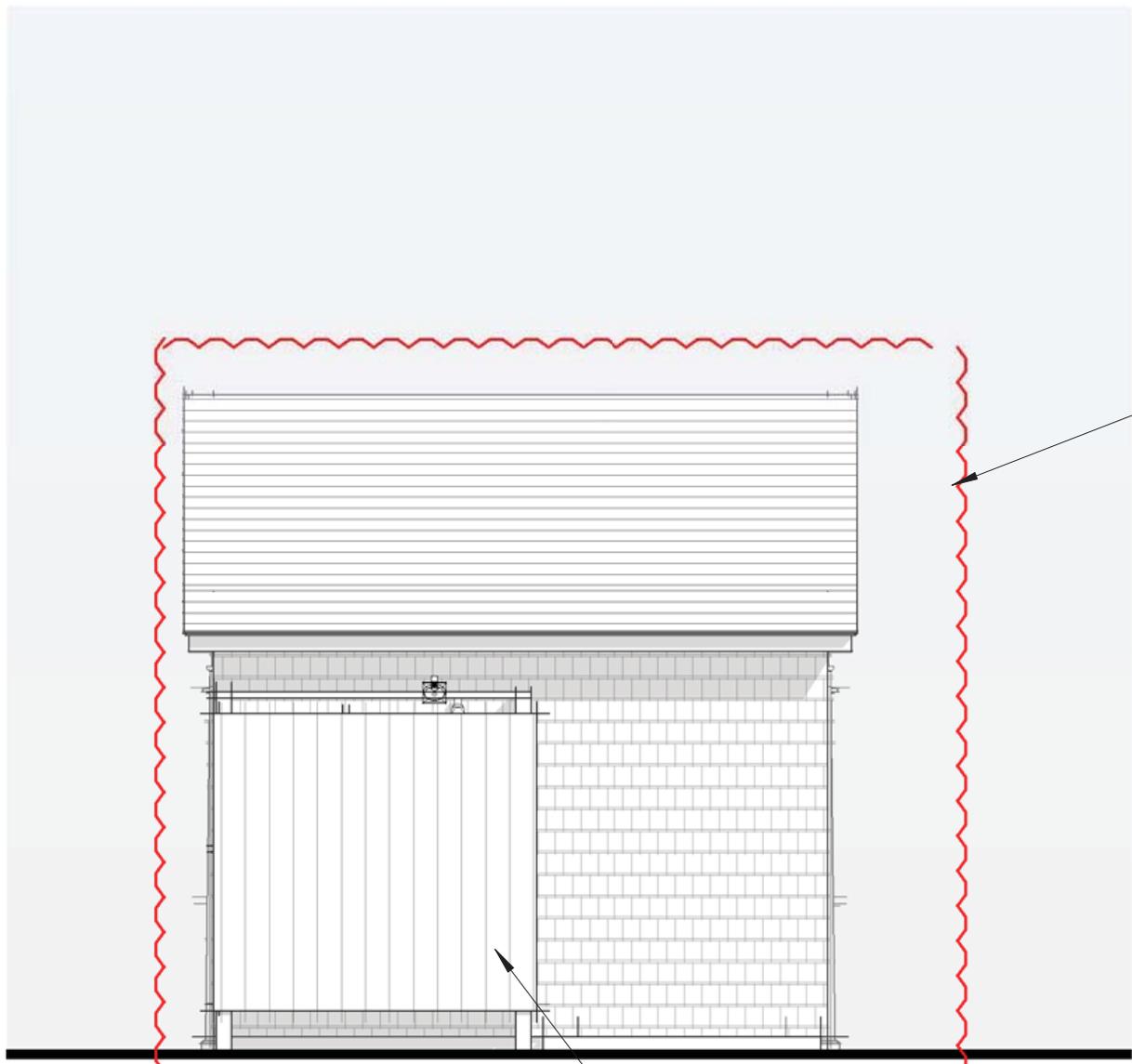
$1/8" = 1'-0"$



5 West Elevation

1/4" = 1'-0"

8'-0"
4'-0"
2'-0"
0
SCALE: 1/4" = 1'-0"



Lower Roof and Reduce width by 18"

Enlarge shower enclosure by +/- 12"

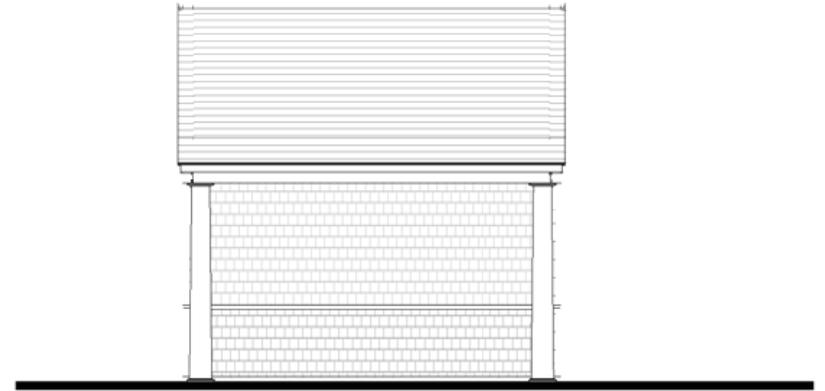
4 North Elevation

1/4" = 1'-0"



Previously Proposed East Elevation

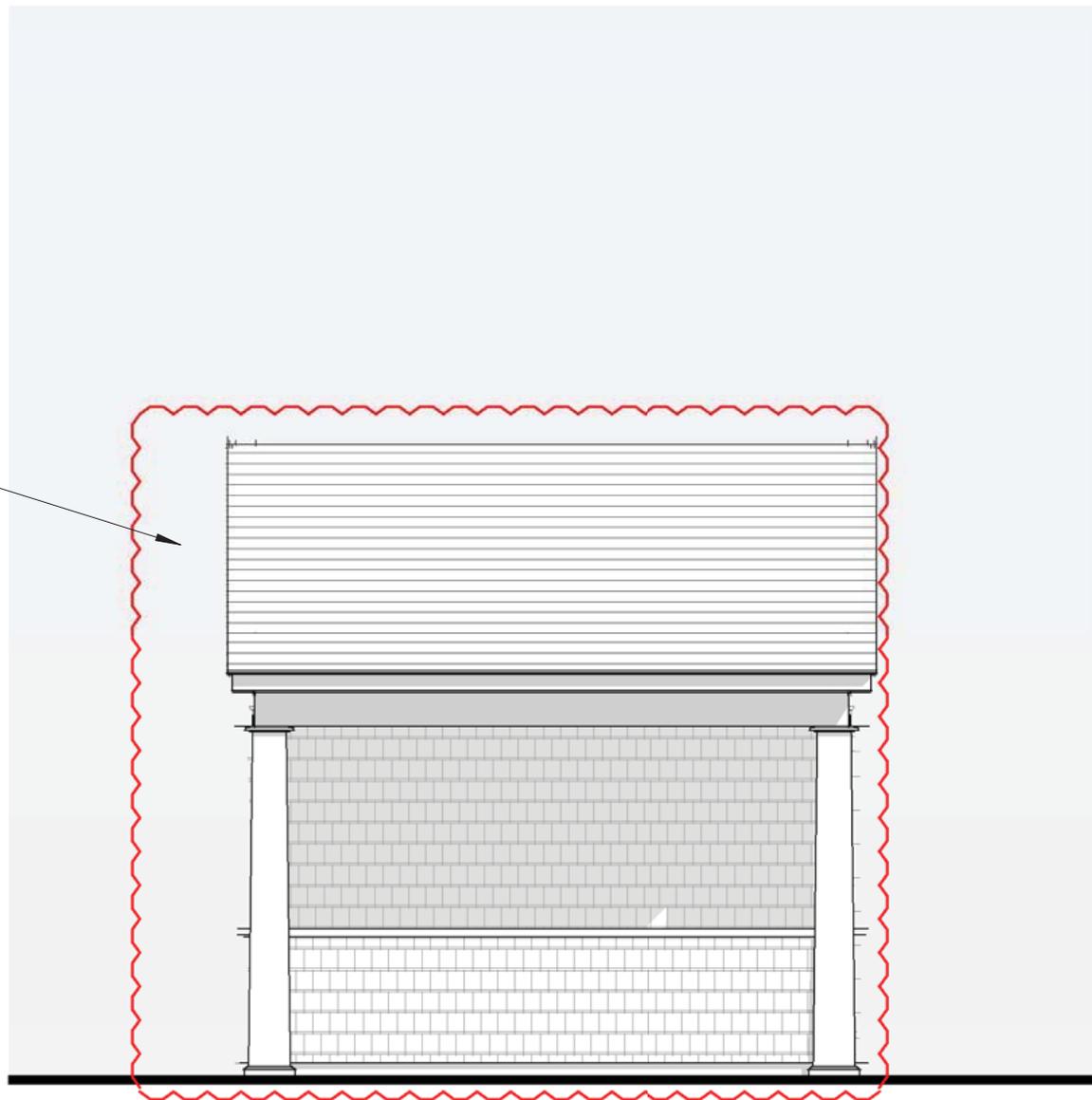
$1/8" = 1'-0"$



Previously Proposed South Elevation

$1/8" = 1'-0"$

Lower Roof and
Reduce width by 18"



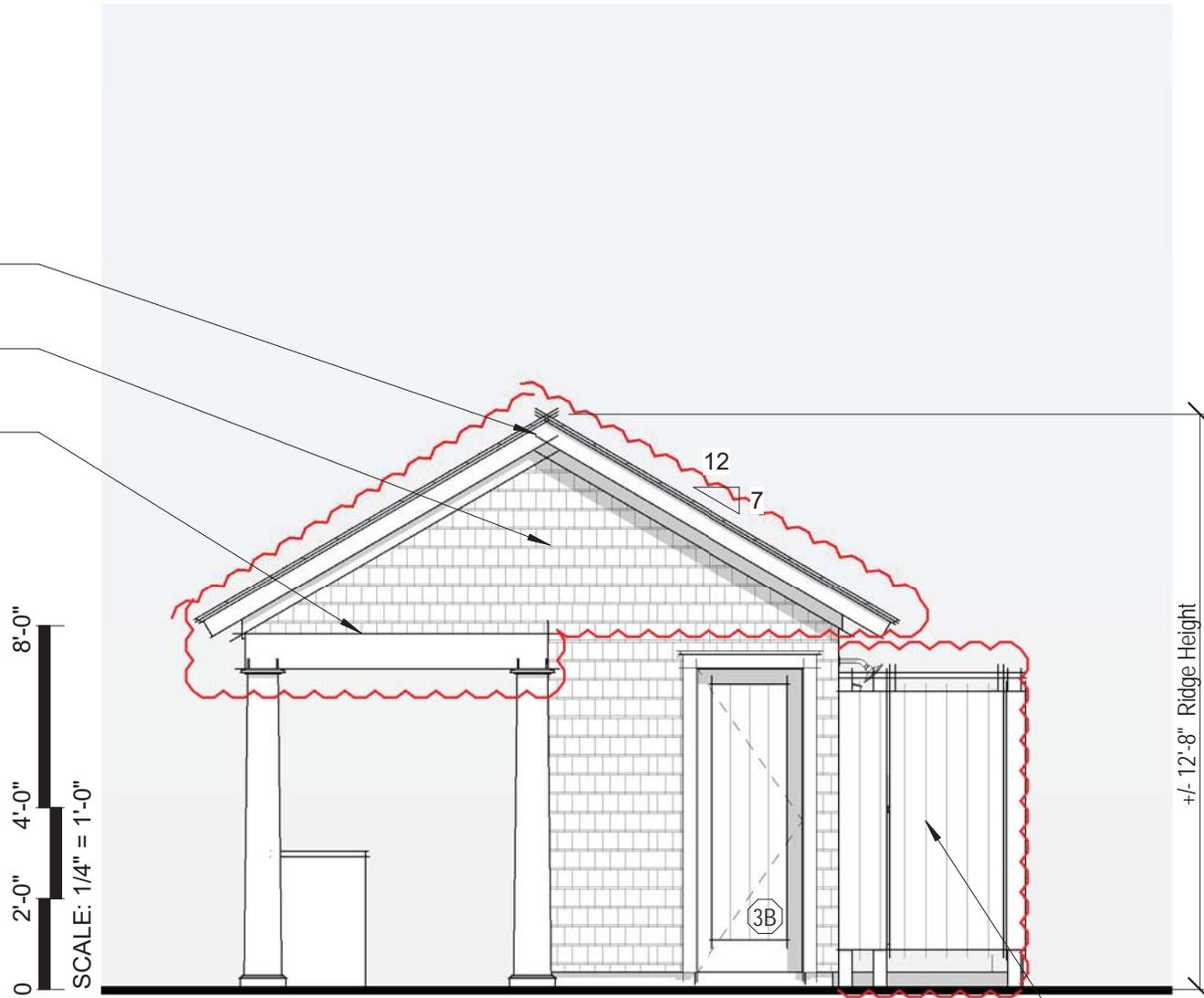
3 South Elevation

1/4" = 1'-0"

Changed Roof Slope &
Reduced ridge height by +/- 1' 5"

Omit Gable End Window

Lower Header by 6"



+/- 12'-8" Ridge Height

Reduce Shower size by +/- 24"

2 East Elevation

1/4" = 1'-0"

CERTIFICATE NO: _____

DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

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PROPERTY DESCRIPTION

TAX MAP N°: 82 PARCEL N°: 75
Street & Number of Proposed Work: 11 DAVIS LANE
Owner of record: NICOLE AND JOEL WHIDDEN
Mailing Address: 47 HIGH POINT RD,
WESTPORT, CT 06880
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: AHERN LLC
Mailing Address: 6 WINDY WAY, NANTUCKET, MA 02554
Contact Phone #: 508-333-5138 E-mail: DESIGN@AHERNLLC.COM

FOR OFFICE USE ONLY

Date application received: 8-11-2010 Fee Paid: \$ 100
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District LVG2) Roof Other SPA 10'x8', BOARDWALK @ GRADE
Size of Structure or Addition: Length: 44' Sq. Footage 1st floor: _____ Decks/Patio: Size: 930 SF 1st floor 2nd floor
Width: 18' Sq. Footage 2nd floor: _____ Size: 270 SF 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

- REVISIONS***
1. East Elevation
 2. South Elevation
 3. West Elevation
 4. North Elevation

*Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass /12 Secondary Mass /12 Dormer /12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____
Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways PEA STONE Walkways BOARDWALK Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim _____ Sash _____ Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date: 8-11-2010 Signature of owner of record _____

Signed under penalties of perjury

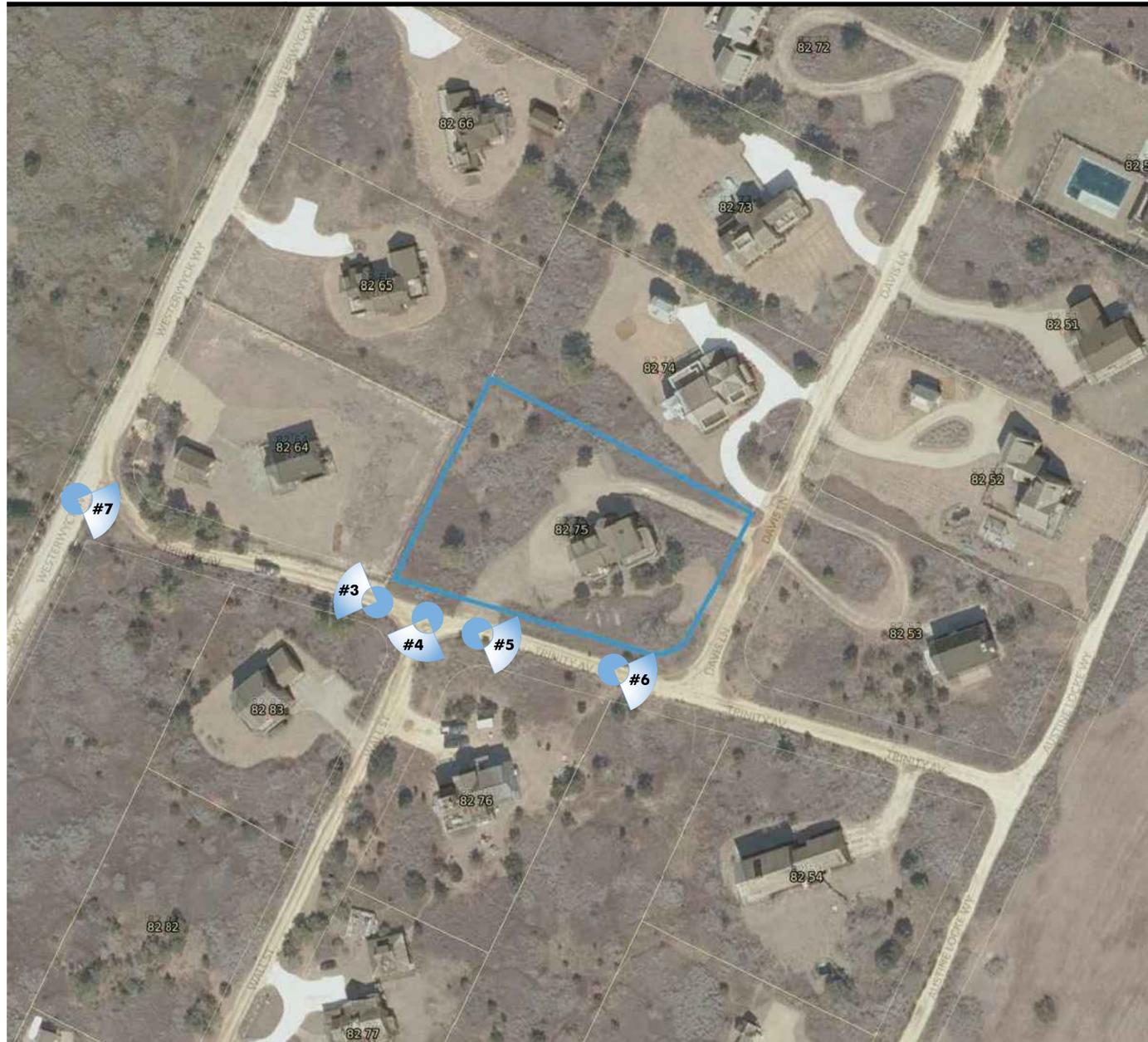


PHOTO #7



PHOTO #6



PHOTO #3



PHOTO #4



PHOTO #5



PROJECT
WHIDDEN RESIDENCE
 11 DAVIS LANE NANTUCKET MA 02554

OWNER
 NICOLE AND JOEL WHIDDEN

ARCHITECT
 EMERITUS Development Ltd.
 8 Williams Lane, Nantucket, MA 02554
 T (508) 325-4995 F (508) 325-8960

SURVEYOR
 BRACKEN ENGINEERING, INC
 18 Old South Rd., Nantucket, MA 02554
 T (508) 325-0044



HDC SUBMISSION
for SWIMMING
POOL & SPA

DRAWING INFO
 DATE SEPTEMBER 30, 2020
 SCALE N/A

REVISIONS

LEGEND:

-  - PITCH PINE
-  - EASTERN RED CEDAR
-  - BEACH PLUM
-  - WINTERBERRY
-  - VIBURNUM
-  - BAYBERRY
-  - INKBERRY

WHIDDEN RESIDENCE

11 DAVIS LANE NANTUCKET MA 02554

PLANTING PLAN colored version

DRAWING INFO

DATE SEPTEMBER 30, 2020
SCALE 1" = 20' - 0"

HDC.03

