

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

**CERTIFICATE OF APPROPRIATENESS**

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

**NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.**

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

**PROPERTY DESCRIPTION**

TAX MAP N<sup>o</sup>: 42.3.2 PARCEL N<sup>o</sup>: 10  
Street & Number of Proposed Work: 9 COFFIN STREET  
Owner of record: 17 WASHINGTON STREET % PERMIT  
Mailing Address: 19 FIVE MILE RIVER ROAD  
DARIEN, CT 06800  
Contact Phone #: 203 767 9000 E-mail: SAN PERRENT@MCA.COM

**AGENT INFORMATION (if applicable)**

Name: PERMITS PLUS, INC  
Mailing Address: PO BOX 3263  
NANTUCKET, MA 02504  
Contact Phone #: 508 838 6419 E-mail: PERMITS@CONTACT.NET

**FOR OFFICE USE ONLY**

Date application received: \_\_\_\_\_ Fee Paid: \$ \_\_\_\_\_  
Must be acted on by: \_\_\_\_\_  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

**DESCRIPTION OF WORK TO BE PERFORMED**  
See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
  - Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. \_\_\_\_\_
  - Pool (Zoning District \_\_\_\_\_)  Roof  Other FENESTRATION CHANGES REMOVE DOORS, ADD WINDOWS
- Size of Structure or Addition: Length: N/A Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_  1st floor  2nd floor  
Width: 4 1/2 Sq. footage 2nd floor: \_\_\_\_\_ Size: \_\_\_\_\_  1st floor  2nd floor  
Sq. footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North - South - East - West -  
Height of ridge above final finish grade: North - South - East - West -

**Additional Remarks**

Historic Name: \_\_\_\_\_  
Original Date: \_\_\_\_\_ (describe)  
Original Builder: \_\_\_\_\_  
Is there an HDC survey form for this building attached?  Yes  N/A  
CIRCA 1930  
**REVISIONS:** 1. East Elevation  
2. South Elevation ADD ELEVATED CONDENSING UNIT  
3. West Elevation  
4. North Elevation  
\*Cloud on drawings and submit photographs of existing elevations.

**DETAIL OF WORK TO BE PERFORMED**

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass /12 Secondary Mass /12 Dormer /12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_  
Fence: Height: \_\_\_\_\_  
Type: \_\_\_\_\_  
Length: \_\_\_\_\_  
Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): \_\_\_\_\_  
Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side   
 Other \_\_\_\_\_  
Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_  
C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_  
Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_  
Doors\* (type and material):  TDL  SDL Front EXIST. Rear EXIST. Side \_\_\_\_\_  
Garage Door(s): Type H/L Material H/L  
Hardscape materials: Driveways H/L Walkways H/L Walls H/L

\* Note: Complete door and window schedules are required.

**COLORS** SEE PHOTOS -- MATCH EXISTING

Sidewall PAINT TO MATCH EXISTING Clapboard (if applicable) - Roof MATCH JOINDER ON H/L COLOR  
Trim WHITE Sash WHITE Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

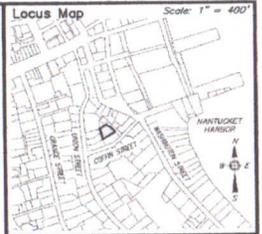
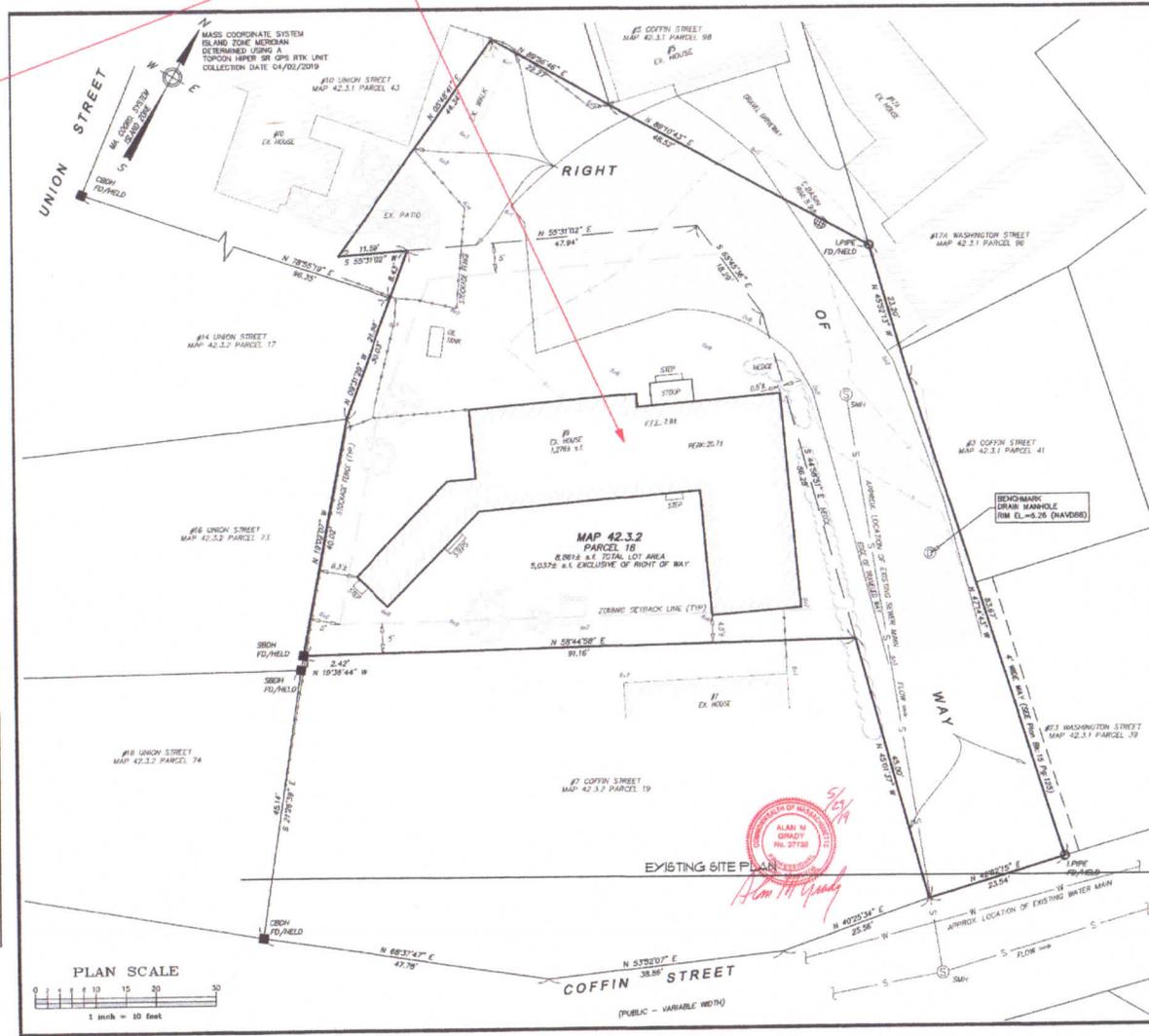
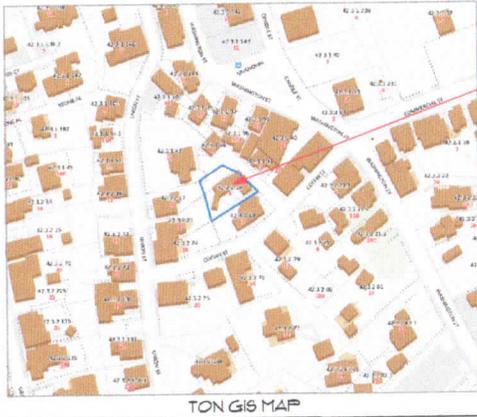
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date \_\_\_\_\_ Signature of owner of record WILLIAM W. POPE, AGENT Signed under penalties of perjury

MATCH EXIST. TRIM CONDITIONS

LOCUS



- Notes**
1. LOCUS: #9 COFFIN STREET MAP 42.3.2 PARCEL 18
  2. OWNER: HARRIET W. BACKUS c/o ROBERT E. MOSES 28 UNION STREET LEBANON, NH 03766
  3. DEED REF: Bk: 124 Pg: 402 Bk: 108 Pg: 290
  4. PLAN REF: Bk: 20 Pg: 110 (LOT 2) Bk: 12 Pg: 22 Bk: 10 Pg: 18 Bk: 7 Pg: 41 Bk: 11 Pg: 26 Bk: 16 Pg: 102
  5. LOCUS DOES FALL WITHIN A SPECIAL FLOOD HAZARD ZONE AE (EL. 9) AS SHOWN ON FEMA FLOOD INSURANCE RATE MAP No. 25019C-0086-G dated 06/09/2014.
  6. LOCUS DOES NOT FALL WITHIN THE NATURAL HERITAGE and ENDANGERED SPECIES PROGRAM (NHESP) AREAS OF ESTIMATED HABITATS OF RARE WILDLIFE and PRIORITY HABITATS OF RARE SPECIES.
  7. LOCUS FALLS WITHIN ZONE "A" OF THE NANTUCKET HARBOR WATERSHED PROTECTION DISTRICT.

ZONE:	ROH REQUIRED	EXISTING
LOT AREA:	5,000 s.f.	5,0372 s.f.
FRONTAGE:	50'	74.54±
FRONT YARD:	0'	0.8'±
SIDE/REAR YARD:	0'	4.5'±
GROUND COVER:	40% (MAX)	26.3% (25%±)

SHEET INDEX	
	NAME
	EXISTING SITE PLAN & LOCUS MAP
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E-1	ENGINEER'S DEMOLITION & FLOOR PLAN
A-1	FLOOR PLAN
P-1	EXISTING PHOTOS
P-2	EXISTING PHOTOS

Prepared By:

**BRACKEN ENGINEERING, INC.**

49 HERBING FORD ROAD BUZZARDS BAY, MA 02532 (PH) 888.233.8070 (FAX) 888.233.3282

18 OLD SOUTH ROAD NANTUCKET, MA 02584 (PH) 888.325.0044 (FAX) 888.325.0044 www.brackeneng.com

**EXISTING CONDITIONS PLAN IN NANTUCKET, MASSACHUSETTS**

Prepared For: **HARRIET W. BACKUS**

#9 COFFIN STREET  
MAP 42.3.2 PARCEL 18

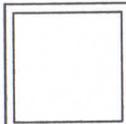
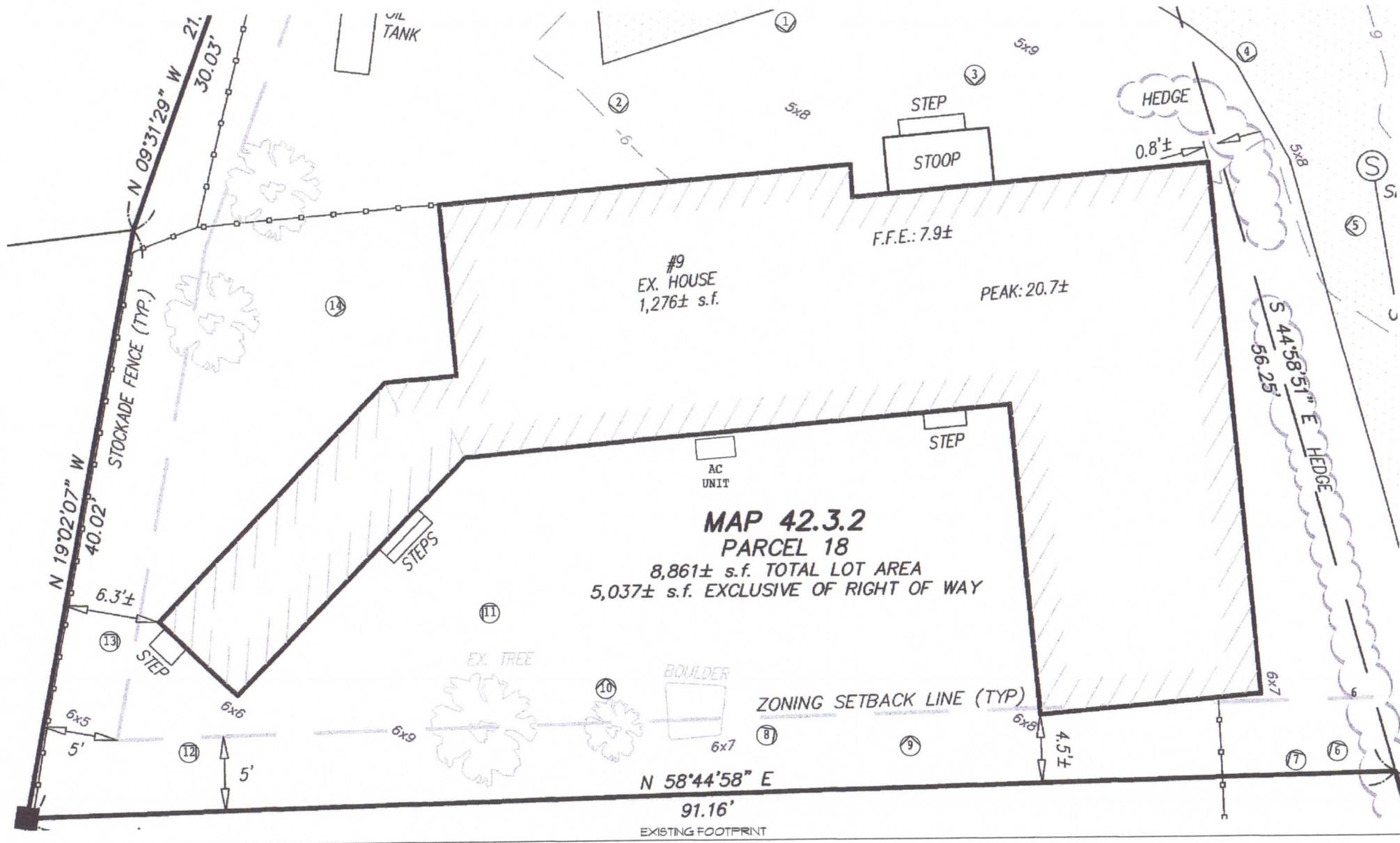
No.	Date	Revision Description	Checked	Sheet
	MAY 28, 2019	DAF/ERC/BEI	DPB/AMG	1 of 1

ALAN M. GRADY  
No. 37736  
5/29/19

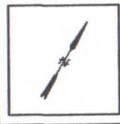
17a WASHINGTON ST. LLC c/o SAM PIERPONT  
9 Coffin Street  
Nantucket, MA, 02584  
EXISTING SITE PLAN & LOCUS MAP

HDC SET:  
RENOVATION  
Property ID: 42.3.2  
Scale: As Noted

**PERMITS PLUS, INC.**  
Technical Assistance Through the Permitting Process  
508-228-6913 permit@permitsplus.com  
P.O. BOX 3363 NANTUCKET, MA, 02584



17a WASHINGTON ST. LLC c/o SAM PIERPONT  
 9 Coffin Street  
 Nantucket, MA, 02554  
 EXISTING FOOTPRINT



HDC SET:  
 RENOVATION  
 Property ID: 423.2  
 Scale: As Noted



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 508-226-6913 permits@sumner.net  
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S-1

THIS DRAWING IS THE PROPERTY OF THE ENGINEER. IT HAS BEEN SPECIFICALLY PREPARED FOR THE OWNER FOR THIS PROJECT AT THIS SITE AND IS NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF THE ENGINEER.

**Atlantic Consulting & Engineering LLC**  
 225 Ash Street  
 Support Contractor  
 02630-0000  
 (508) 334-4147  
 (508) 334-1234 FAX  
 A-101  
 info@ace-engineering.com

**HOME RENOVATION**  
 9 COFFIN ST.  
 NANTUCKET, MA

Job Number:  
20-4032

Start Date:  
2/12/20

Issued For:	Date:
APPROVAL	2/14/20
PERMIT	2/21/20

REVISION	Date:

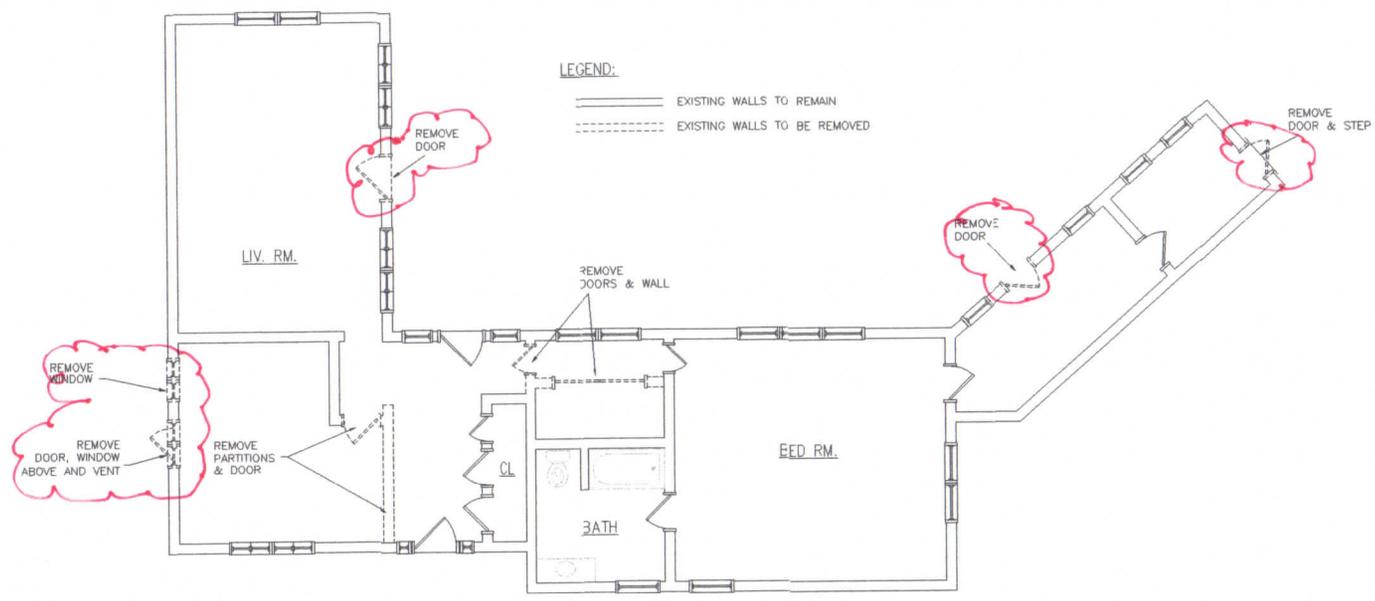
Drawn By: Checked By:  
 TJP JEQ



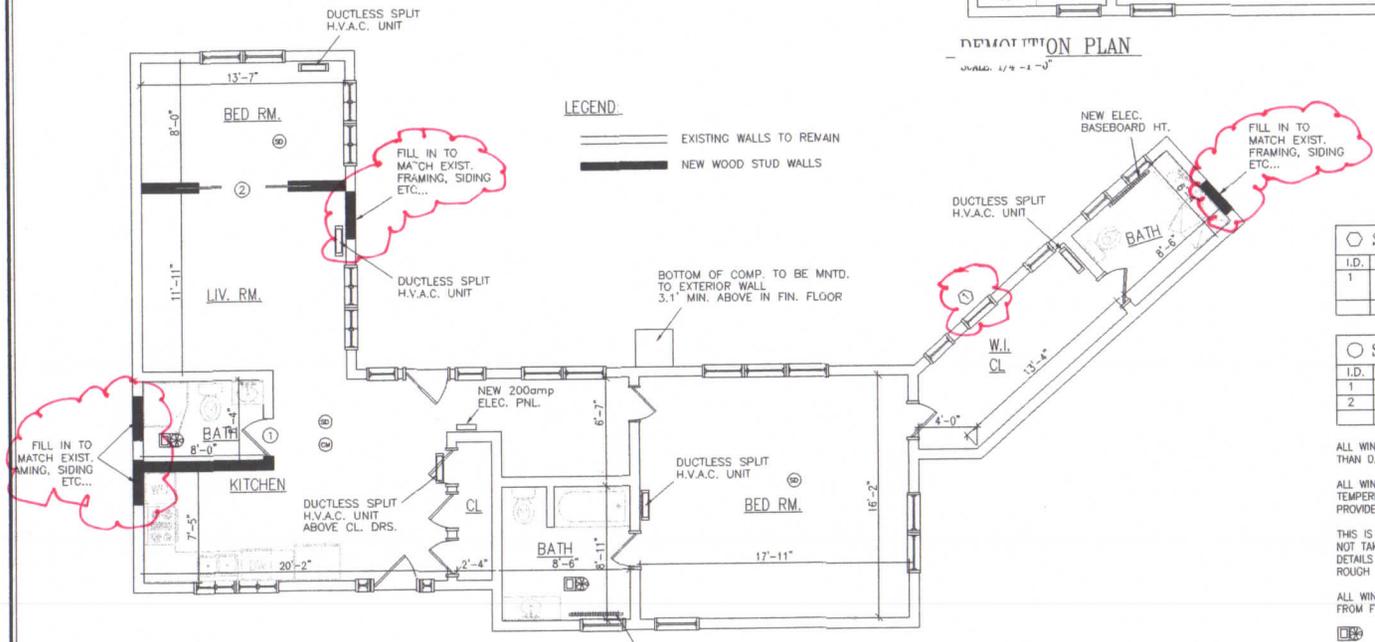
Sheet Title:  
**FLOOR PLAN**

Scale:  
AS NOTED

Sheet Number:  
**A-1**



**DEMOLITION PLAN**  
 SCALE: 1/4" = 1'-0"



**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

○ SYM WINDOW SCHED.

I.D.	SIZE	TYPE	QTY.
1	6/6	DBL HUNG - EGRESS SINGLE GLAZED	1

○ SYM DOOR SCHED.

I.D.	SIZE	TYPE	QTY.
1	2668	SINGLE HINGE WOOD INT.	1
2	6068	DOUBLE POCKET	1

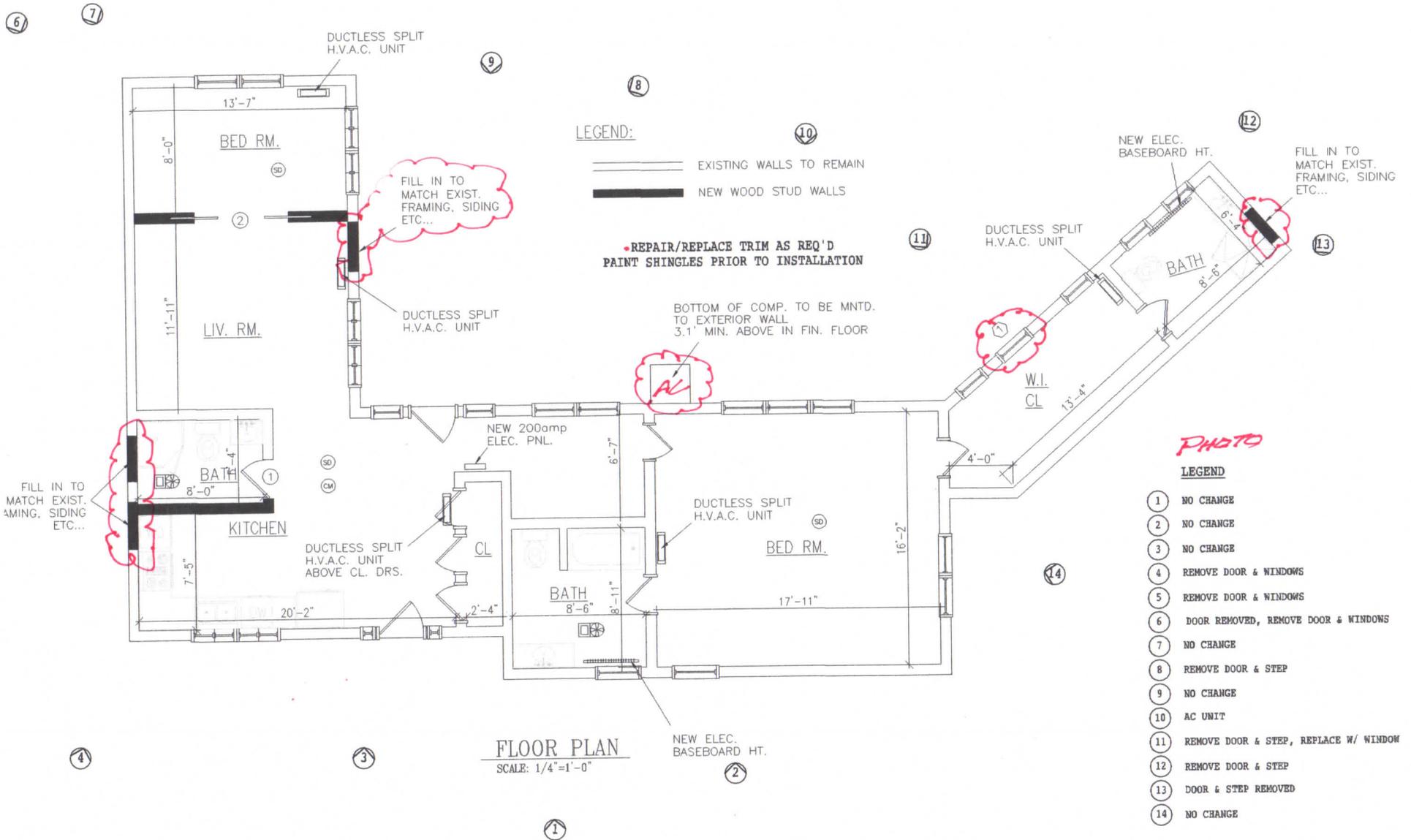
ALL WINDOWS TO BE LOW "E" ARGON GAS FILLED WITH A "U" FACTOR OF NOT MORE THAN 0.29, INSULATED WITH THERMAL-BREAK FRAMES.

ALL WINDOWS SHALL BE EXTERIOR CLAD. SUPPLY SCREENS AS REQUIRED. PROVIDE TEMPERED GLASS WINDOWS AT ALL DOORS, STAIRS, AND TUB/SHOWER LOCATIONS. PROVIDE EGRESS WINDOWS AT ALL BEDROOM LOCATIONS.

THIS IS A PRELIMINARY WINDOW SCHEDULE. ATLANTIC CONSULTING & ENGINEERING DOES NOT TAKE ANY RESPONSIBILITY FOR SIZES, LOCATIONS, FRAMES, ETC. UNTIL ACCURATE DETAILS HAVE BEEN SUBMITTED FOR REVIEW. VERIFICATION OF EXACT WINDOW SIZES, ROUGH OPENINGS, ETC. RESTS SOLELY WITH THE GENERAL CONTRACTOR AND/OR THE OWNER.

ALL WINDOWS FACING THE WATER TO HAVE HURRICANE SHUTTERS FOR PROTECTION FROM WINDBOURNE DEBRIS.

- ☑ LIGHT AND EXHAUST FAN (2 SWITCH)
- Ⓜ SMOKE DETECTOR
- Ⓢ CARBON MONOXIDE DETECTOR



**FLOOR PLAN**  
SCALE: 1/4"=1'-0"

17a WASHINGTON ST. LLC c/o SAM PIERPONT  
9 Coffin Street  
Nantucket, MA, 02554  
FLOOR PLAN



HDC SET:  
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A-1



PHOTO #6



PHOTO #7



PHOTO #3



PHOTO #4



PHOTO #5



PHOTO #1



PHOTO #2



17a WASHINGTON ST. LLC d/b SAMPIERPONT  
 9 Coffin Street  
 Nantucket, MA, 02554  
 EXISTING PHOTOS



HDC SET:  
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P-1



PHOTO #14



PHOTO #11



PHOTO #12

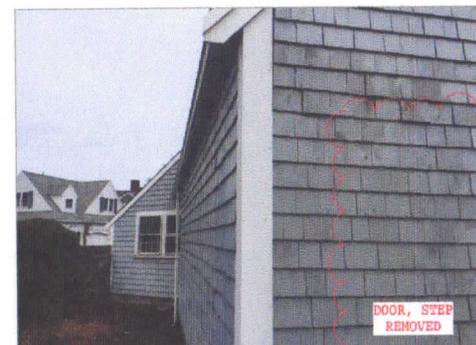


PHOTO #13



PHOTO #8



PHOTO #9



PHOTO #10

17a WASHINGTON ST. LLC c/o SAM PIERPONT  
 9 Coffin Street  
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 EXISTING PHOTOS

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P-2