

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N^o: 76 4.1 PARCEL N^o: 1
Street & Number of Proposed Work: 21 Kendrick
Owner of record: Melanie Brunelle + Mark Swindle
Mailing Address: 580 W. Mermaid Lane
PHILADELPHIA PA 19118
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (If applicable)

Name: Sanne Payne
Mailing Address: 75 Goldfinch Dr.
Nantucket MA 02554
Contact Phone #: 332-0455 E-mail: Sanneibosen@comcast.net

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 - Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 72572
 - Pool (Zoning District _____) Roof Other _____
- Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name: _____
Original Date: _____ (describe)
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A

REVISIONS:

1. East Elevation Window change to 6/6
2. South Elevation reconfig Basement door/win, right side garage door to be French not roll up
3. West Elevation 2nd flr win reconfig.
4. North Elevation new 4 light win added - French Drs on 2nd flr to be sliders

* All windows to change to 6/6 from 6/1
* Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side

Other _____

Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____
Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer MARVIN

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____
Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.

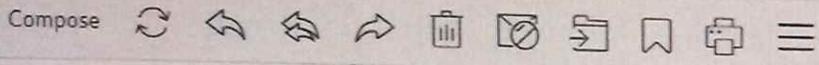
COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____
Trim Natural Sash Black Doors _____
Deck _____ Foundation _____ Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 7-14-20 Signature of owner of record Sanne for Melanie Brunelle Signed under penalties of perjury



Back

19

Re: Invoice 7.24.19

Melanie Brundle <melanie.brundle@gmail.com>

7/26/2019 5:59 AM MB

To Sanne Henriksen

Reply Forward Delete

Hello Sanne,

Thank you for your update.

Please take this email communication as authorization to sign as our representative for the permit application process.

We have mailed a cheque today in settlement of your invoice.

Best Regards
Melanie

Sent from my iPhone

On Jul 24, 2019, at 13:46, Sanne Henriksen <sanneibsen@comcast.net> wrote:

Hello Melanie,

I hope this email finds you and Mark well and I hope you've had some time to enjoy the island this summer!

Attached is the invoice to date for the Guest House including all as built dwgs, floor plans and elevations, HDC mtgs and revisions as well as the permit dwgs.

We have Steve's structural dwgs and we should have the septic dwgs within the next day or so and then we will submit to the Health Department for approval (the first stage of the building permit process).



LOCUS MAP

NOT TO SCALE

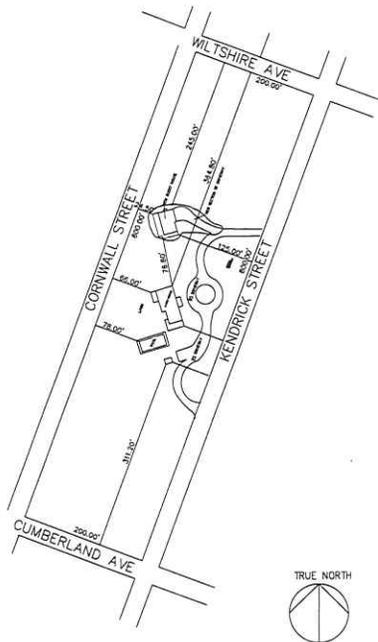
MILESTONE RD

TOM NEVERS RD

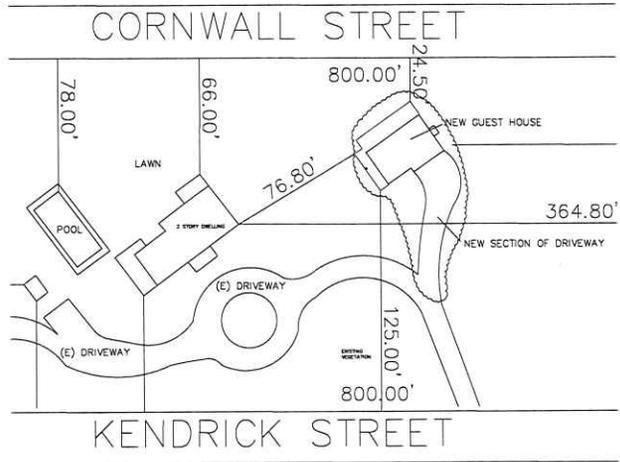
21 KENDRICK STREET

CUMBERLAND AVE





1 SITE PLAN
SCALE: 1/8" = 1'-0"



2 PARTIAL SITE PLAN
SCALE: 1/32" = 1'-0"

SITE PLAN OF LAND

PREPARED FOR:
MELANIE BRUNDE
21 KENDRICK
NANTUCKET, MA 02554

1/10" = 1'-0"
ASSESSOR MAP #78.4.1
TAX PARCEL #:

ZONING REQUIREMENTS	
ZONE:	LUG 1
MINIMUM FRONTAGE:	100'-0"
MINIMUM LOT SIZE:	40,000 S.F.
CURRENT FRONTAGE:	152.87' S.F.
CURRENT LOT SIZE:	42,149.50 S.F.
FRONT YARD SETBACK:	35'-0"
SIDE AND REAR YARD SETBACK:	10'-0"
ALLOWABLE TOTAL GROUND COVERAGE RATIO:	7 %
ALLOWABLE TOTAL GROUND COVERAGE:	2950.465 S.F.
CURRENT TOTAL GROUND COVERAGE:	2950.37 S.F.
CURRENT TOTAL GROUND COVERAGE RATIO:	4.53 %
PROPOSED TOTAL GROUND COVERAGE:	1963 S.F.
PROPOSED TOTAL GROUND COVERAGE RATIO:	7 %

ALL SITE PLAN INFORMATION WAS TAKEN FROM A PLOT PLAN DRAWN BY:
JOHN J. SKOJURE INC
57 OLD SOUTH ROAD
NANTUCKET, MA 02554

DRAWING LIST

A1.1	SITE PLAN
A2.1	FIRST FLOOR PLANS
A3.1	EXTERIOR ELEVATIONS
A3.2	EXTERIOR ELEVATIONS

LOCUS MAP
NOT TO SCALE



MILESTONE RD
TOM NEVERS RD
21 KENDRICK STREET
CUMBERLAND AVE

TYPE	NO.	DESCRIPTION	MANUFACTURER	PRODUCT #	ROUGH OPENING (WxH)	FRAME SIZE (WxH)	NOTES
1	2	14 LIGHT PANEL	ANDERSON		2'-0" x 6'-6"		
2	3	15 LIGHT	ANDERSON		6'-0" x 6'-6"		
3	2	15 LIGHT	ANDERSON		6'-0" x 6'-6"		SEIZERS

NOTE: ALL WINDOW AND DOOR SIZES TO BE VERIFIED IN FIELD BY CONTRACTOR BEFORE ORDERING.

TYPE	NO.	DESCRIPTION	MANUFACTURER	PRODUCT #	ROUGH OPENING (WxH)	FRAME SIZE (WxH)	NOTES
A	4	6/8 DH	ANDERSON	AD20240	2'-3 1/4" x 4'-7 1/4"		
B	11	6/8 DH	ANDERSON	AD20230	2'-5 1/4" x 5'-7 1/4"		
C	1	14 LIGHT	ANDERSON		11'-11 1/4" x 2'-3 1/4"		

NOTE: ALL WINDOW AND DOOR SIZES TO BE VERIFIED IN FIELD BY CONTRACTOR BEFORE ORDERING.

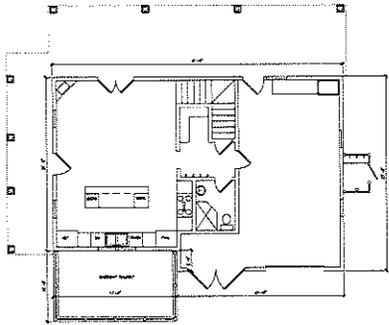
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BRUNDE RESIDENCE
21 KENDRICK
NANTUCKET MA 02554

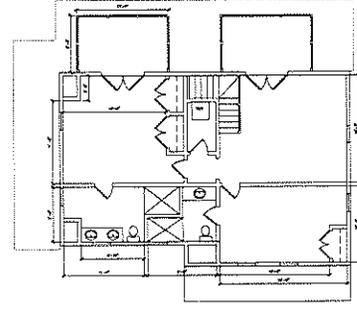
Date: 10.16.19 IBC-SUBMITTAL
7.8.20 IBC-SUBMITTAL
Revisions:

Drawn By: SP
Project No.:
Revised By: RAN/BE
Scale: NOTED

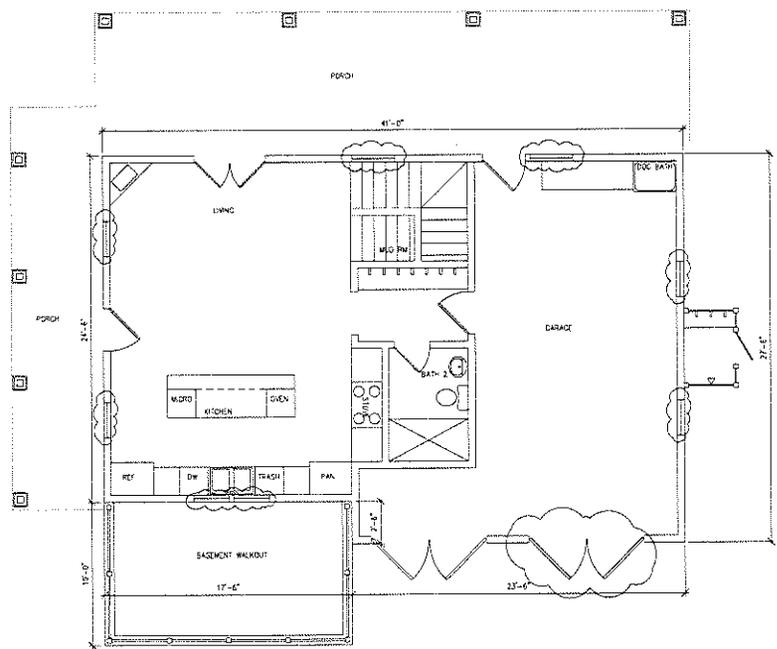
SITE
A1.1



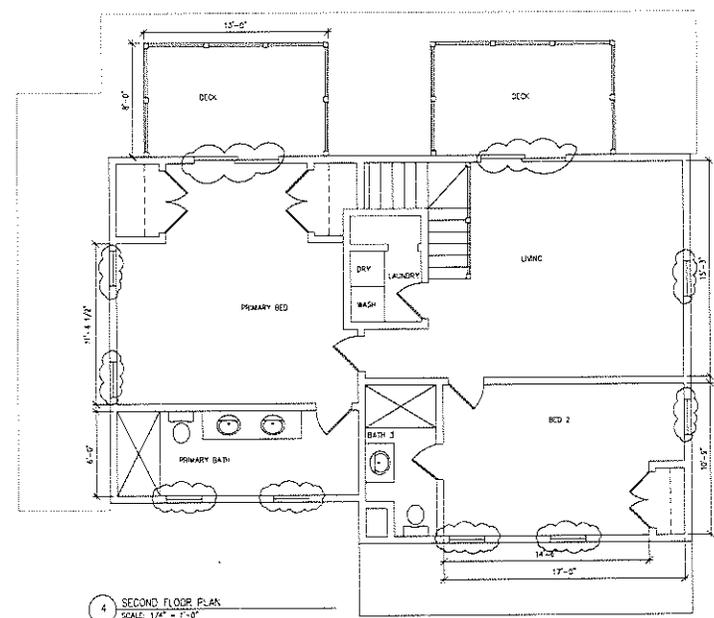
1 PREVIOUSLY APPROVED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



2 PREVIOUSLY APPROVED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



3 NEW FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



4 SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

BRUNDLE RESIDENCE
21 KENDRICK
NANTUCKET MA 02554

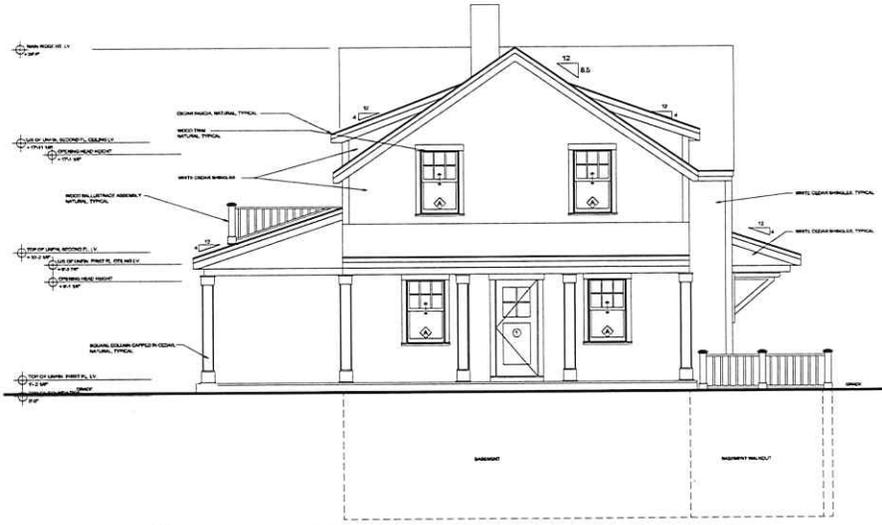
Date: 10.16.19 HPC SUBMITTAL
1/8/20 HPC SUBMITTAL
Revisions:

Drawn By: SP
Project No.: 88506
Scale: 1/8" = 1'-0"

FLOOR_PLAN



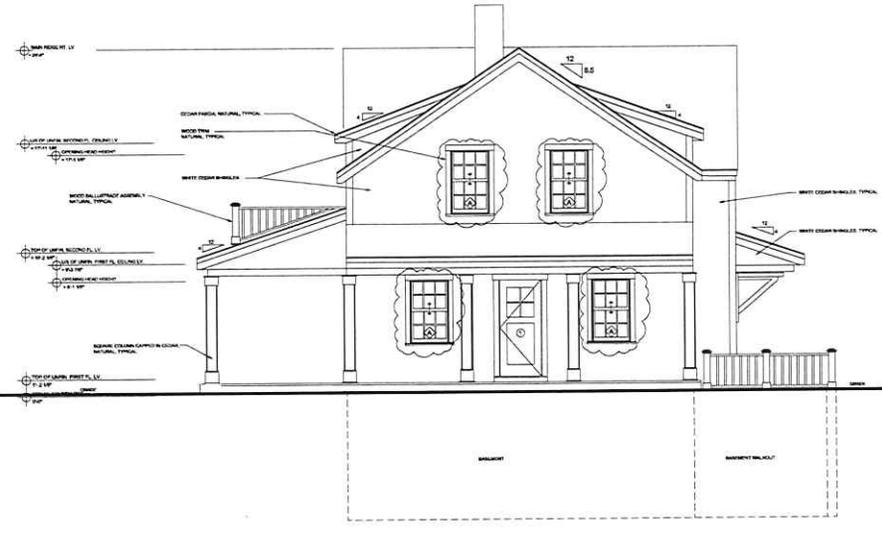
1 PREVIOUSLY APPROVED SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 PREVIOUSLY APPROVED WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 NEW SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



4 NEW WEST ELEVATION
SCALE: 1/8" = 1'-0"

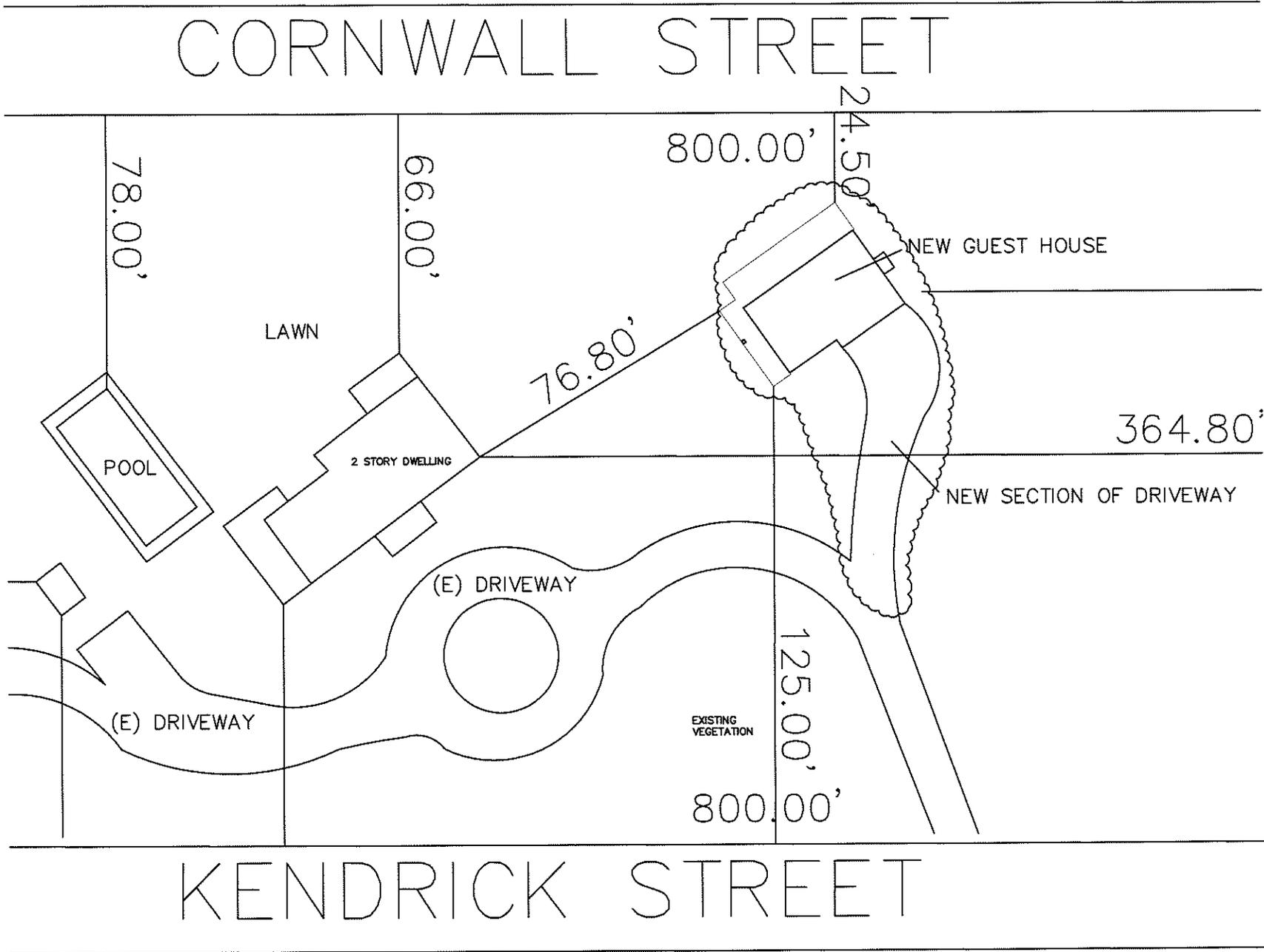
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BRUNDLE RESIDENCE
 21 KENDRICK
 NANTUCKET MA 02554

Date: 10.16.19 HDC SUBMITAL
 Project No.: 78.20 HDC SUBMITAL
 Revisions:
 Scale: NOTED
 NOTED

ELEVATIONS

A3.1



2 PARTIAL SITE PLAN
 SCALE: 1/32" = 1'-0"

DOOR SCHEDULE

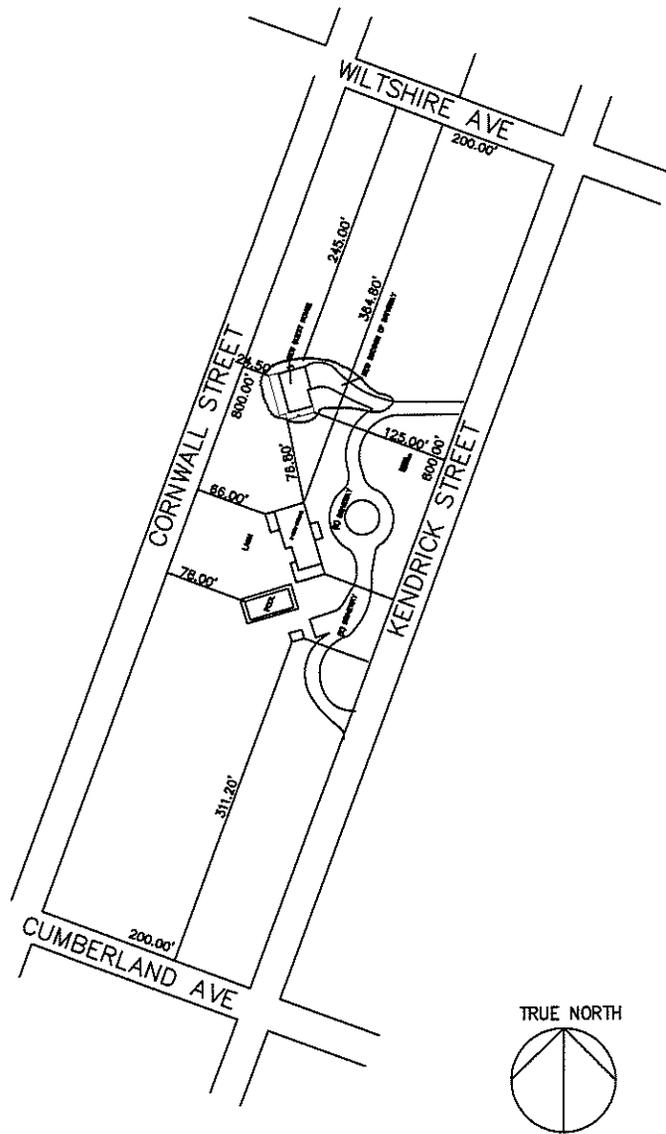
TYPE	AMT.	DESCRIPTION	MANUFACTURER	PRODUCT #	ROUGH OPENING (WxH)	FRAME SIZE (WxH)	NOTES
1	2	4 LIGHT/1 PANEL	ANDERSON			3'-0" X 6'-8"	
2	3	15 LIGHT	ANDERSON			6'-0" X 6'-8"	
3	2	15 LIGHT	ANDERSON			6'-0" X 6'-8"	SLIDERS

NOTE: ALL WINDOW AND DOOR SIZES TO BE VERIFIED IN FIELD BY CONTRACTOR BEFORE ORDERING.

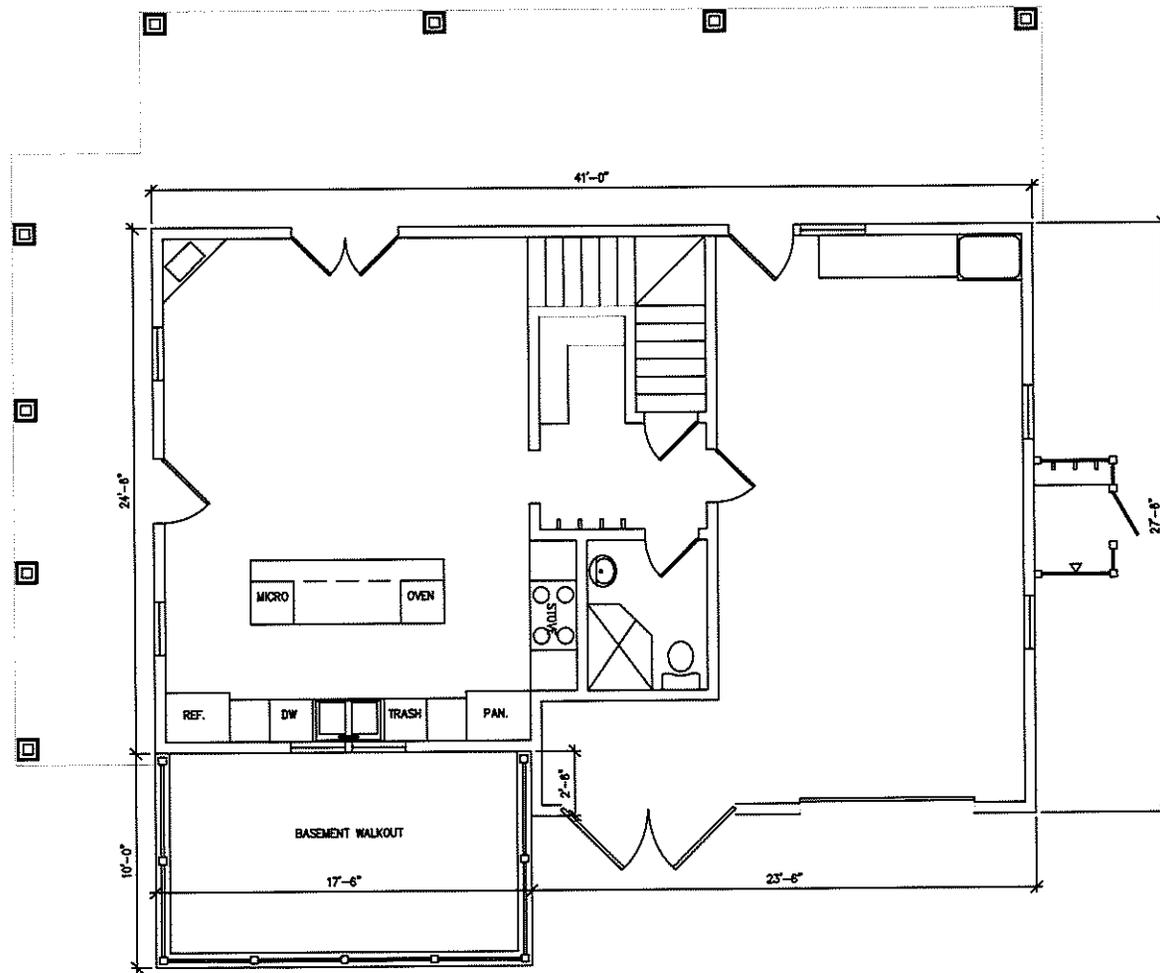
WINDOW SCHEDULE

TYPE	AMT.	DESCRIPTION	MANUFACTURER	PRODUCT #	ROUGH OPENING (WxH)	FRAME SIZE (WxH)	NOTES
A	4	6/6 DH	ANDERSON	ADH2848	2'-7 1/4" X 4'-7 1/4"		
B	11	6/6 DH	ANDERSON	ADH2638	2'-5 1/4" X 3'-7 1/4"		
C	1	4 LIGHT	ANDERSON		1'-11 1/4" X 2'-3 1/4"		

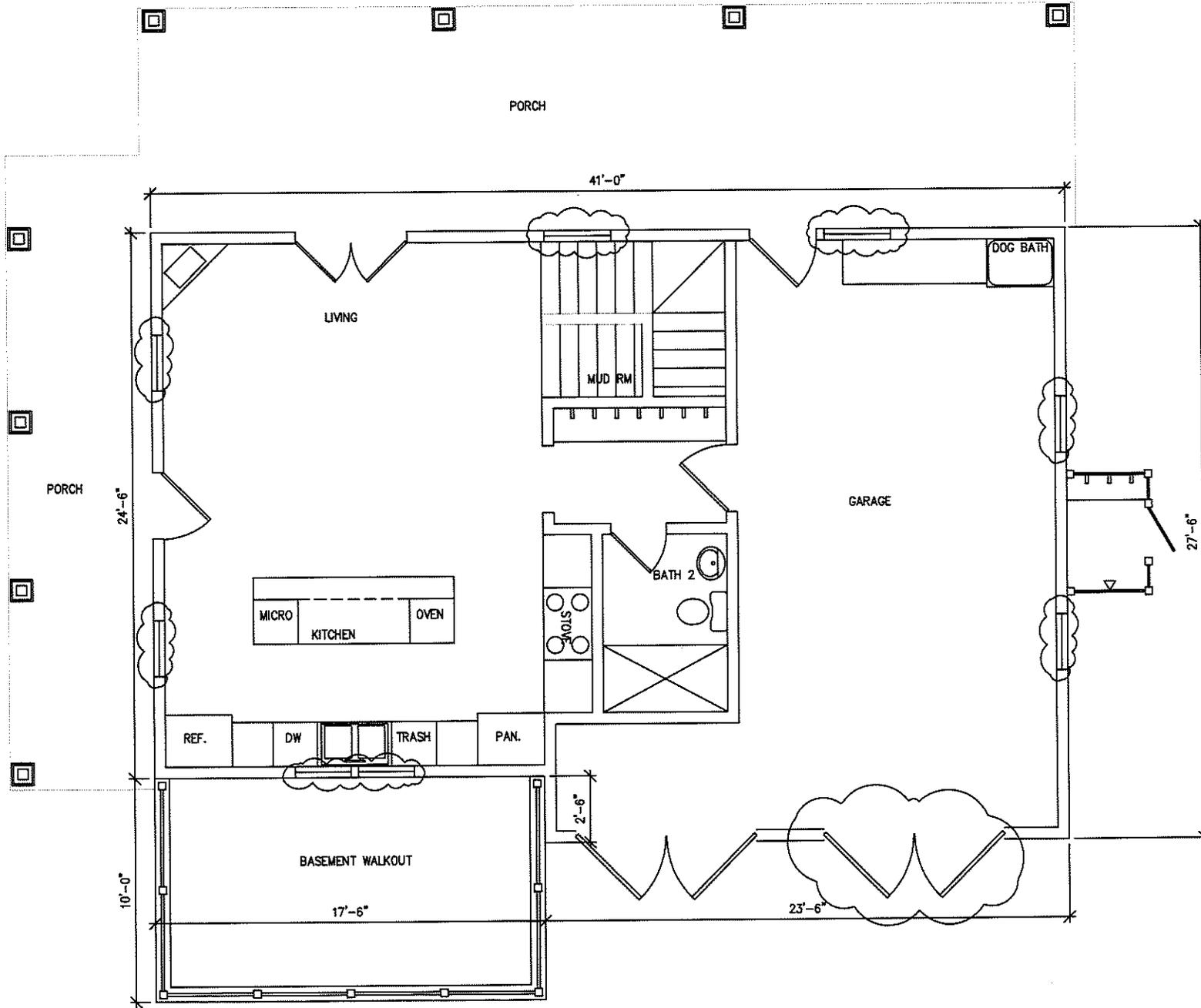
NOTE: ALL WINDOW AND DOOR SIZES TO BE VERIFIED IN FIELD BY CONTRACTOR BEFORE ORDERING.



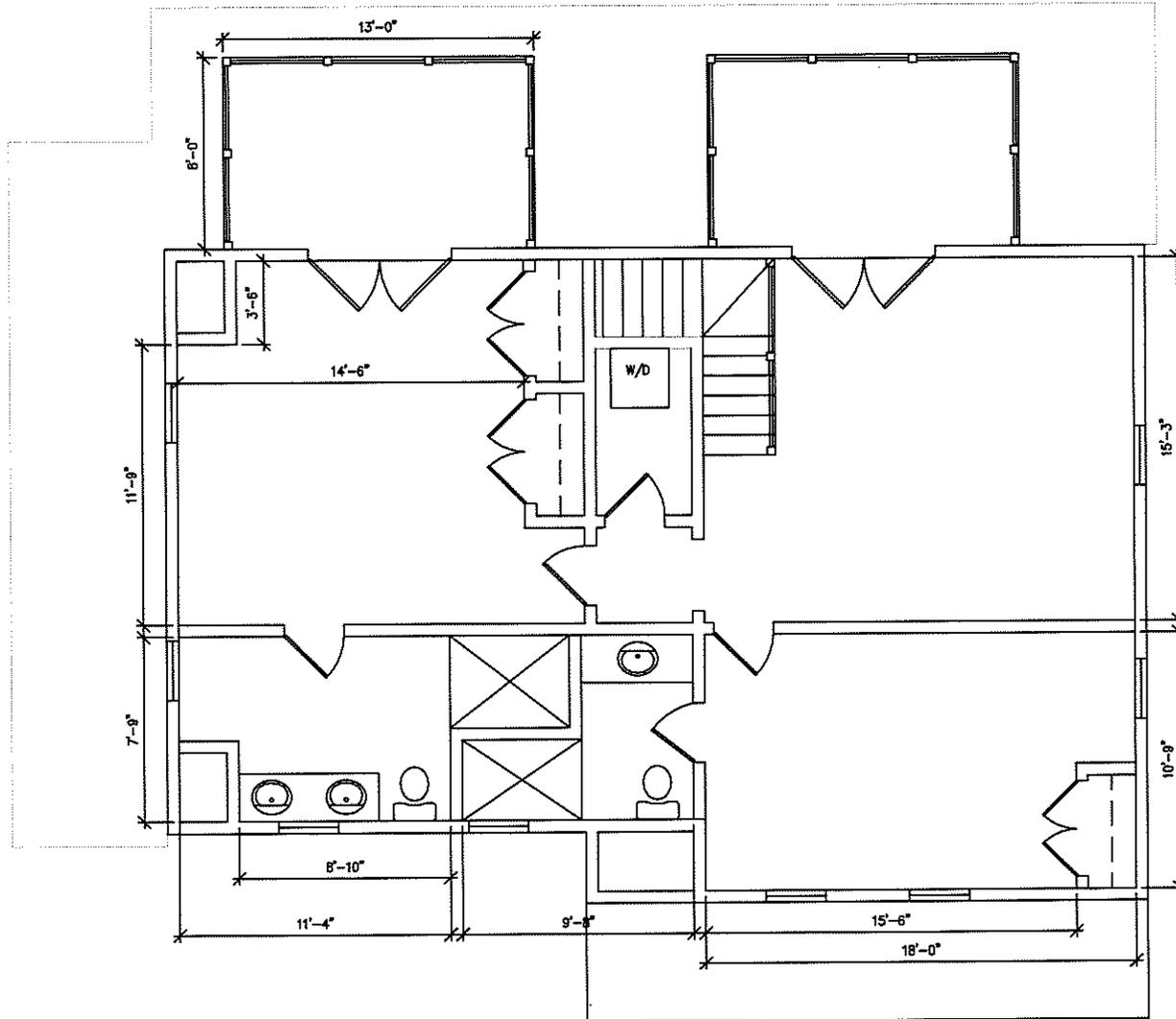
1 SITE PLAN
SCALE: 1/64" = 1'-0"



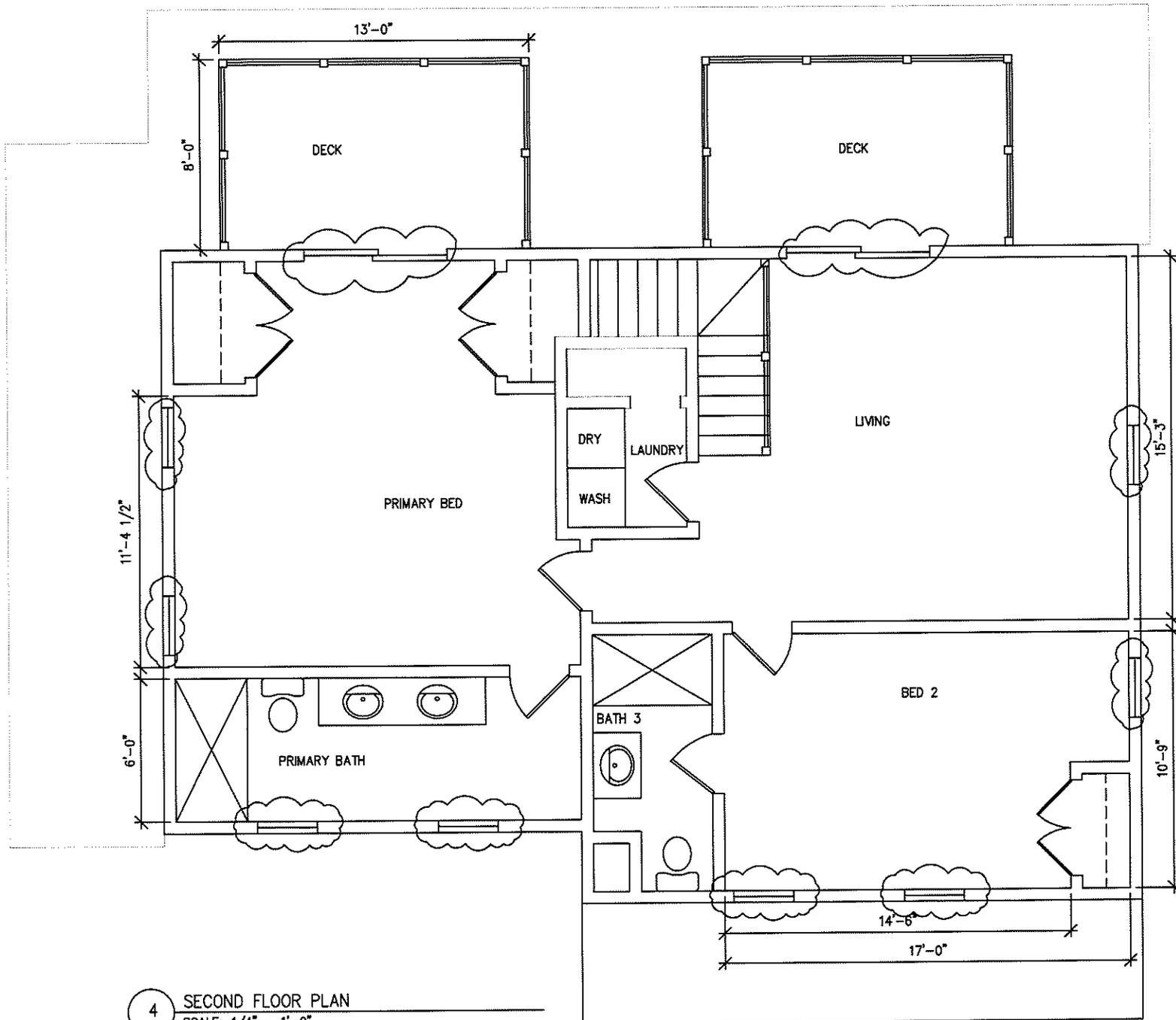
1 PREVIOUSLY APPROVED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

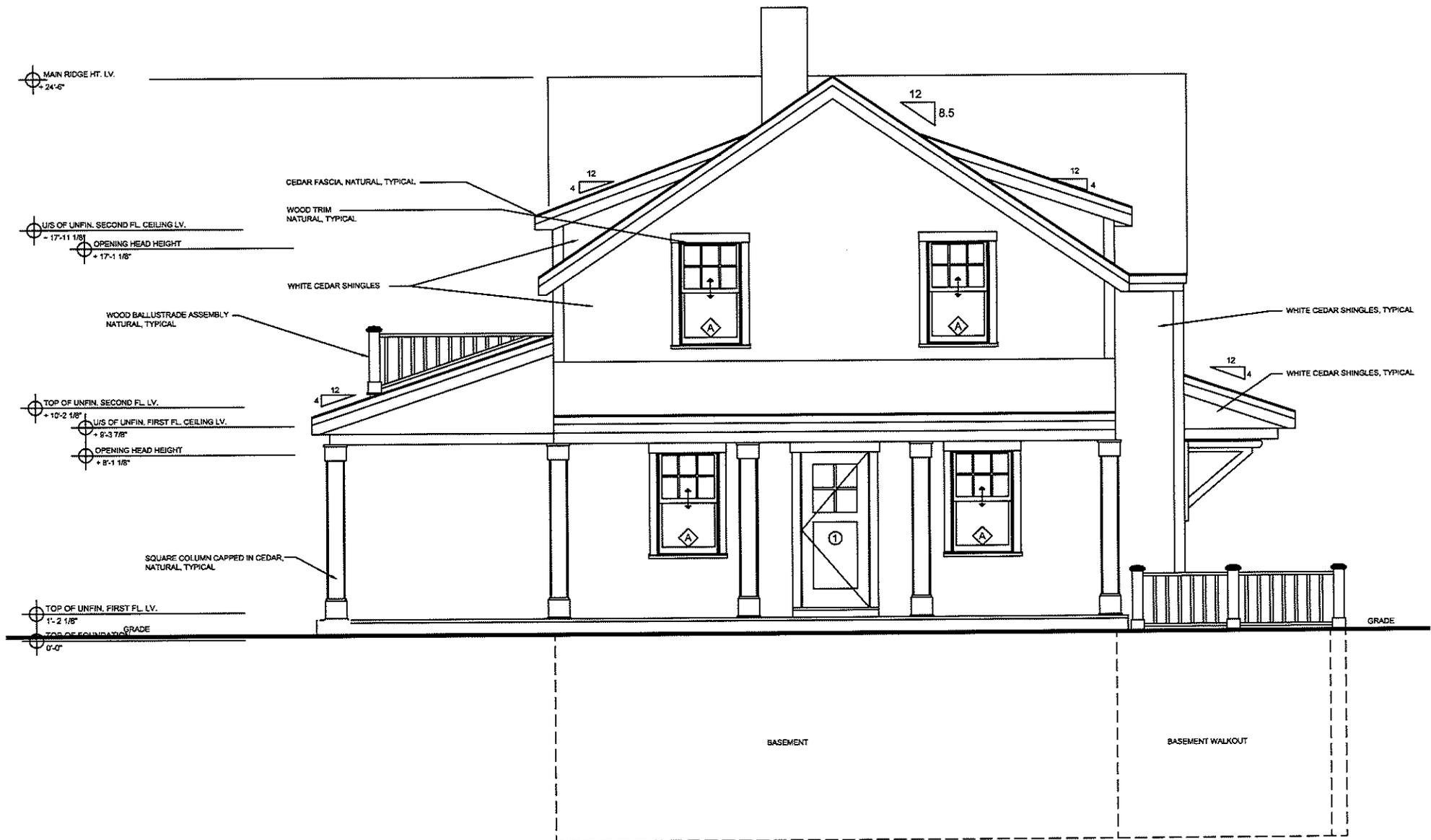


3 NEW FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

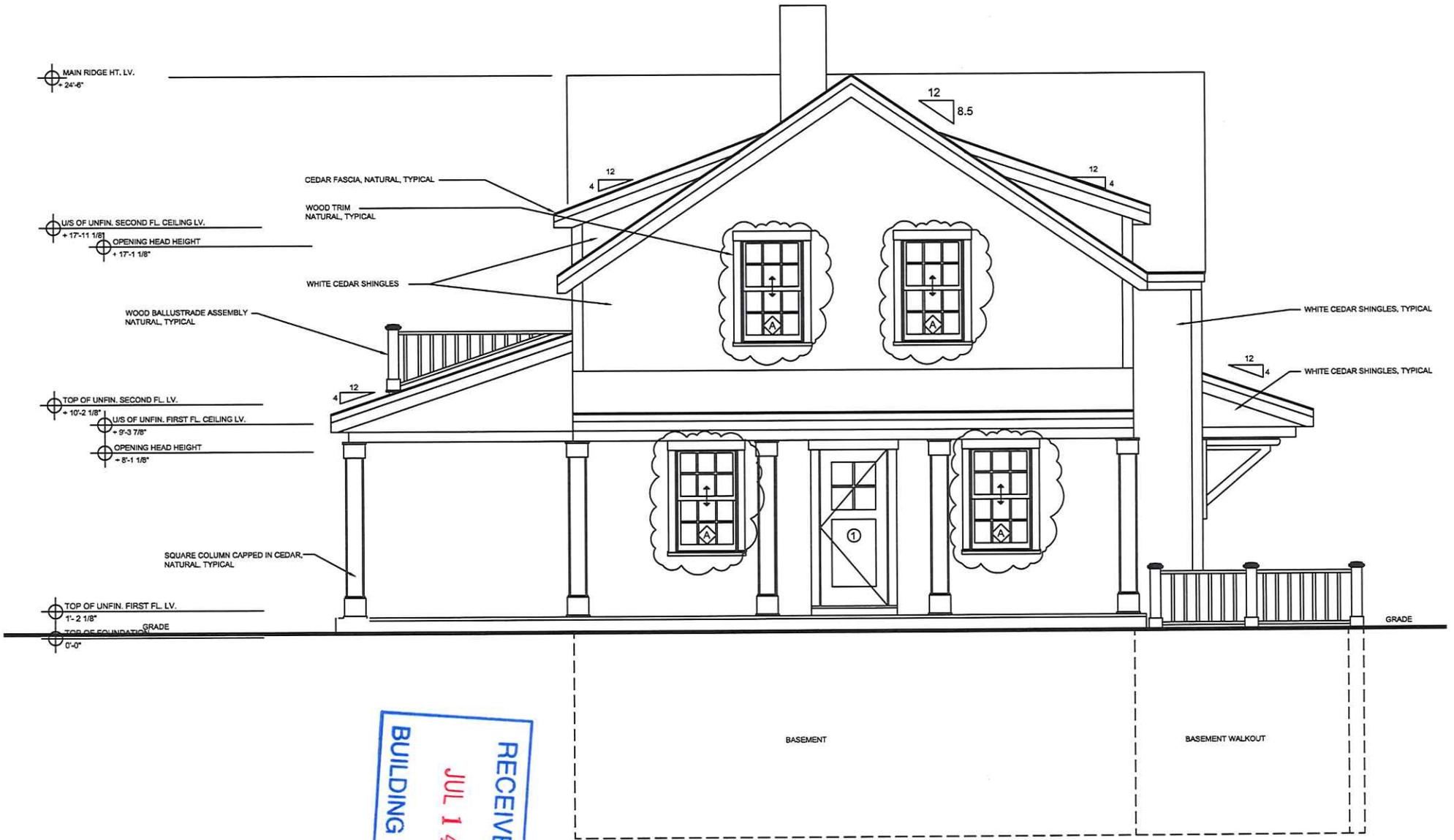


2 PREVIOUSLY APPROVED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"





2 PREVIOUSLY APPROVED WEST ELEVATION
 SCALE: 1/8" = 1'-0"



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4 NEW WEST ELEVATION
 SCALE: 1/8" = 1'-0"



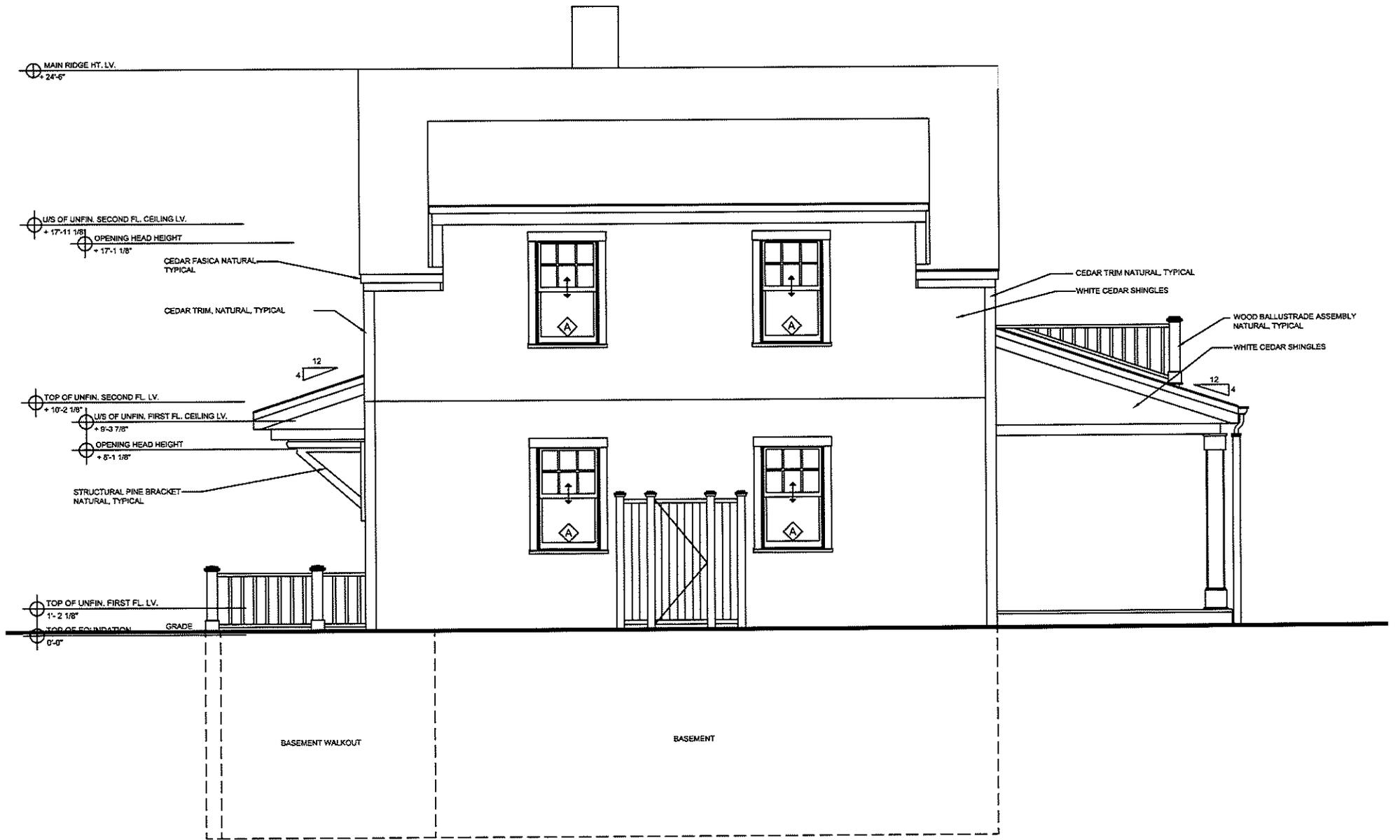
1 PREVIOUSLY APPROVED SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

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3 NEW SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"

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2 PREVIOUSLY APPROVED EAST ELEVATION

MAIN RIDGE HT. LV.
+ 24'-6"

UIS OF UNFIN. SECOND FL. CEILING LV.
+ 17'-11 1/8"
OPENING HEAD HEIGHT
+ 17'-1 1/8"

CEDAR FASICA NATURAL,
TYPICAL

CEDAR TRIM, NATURAL, TYPICAL

TOP OF UNFIN. SECOND FL. LV.
+ 10'-2 1/8"
UIS OF UNFIN. FIRST FL. CEILING LV.
+ 9'-3 7/8"
OPENING HEAD HEIGHT
+ 8'-1 1/8"

STRUCTURAL PINE BRACKET
NATURAL, TYPICAL

TOP OF UNFIN. FIRST FL. LV.
1'-2 1/8"
TOP OF FOUNDATION GRADE
0'-0"

BASEMENT WALKOUT

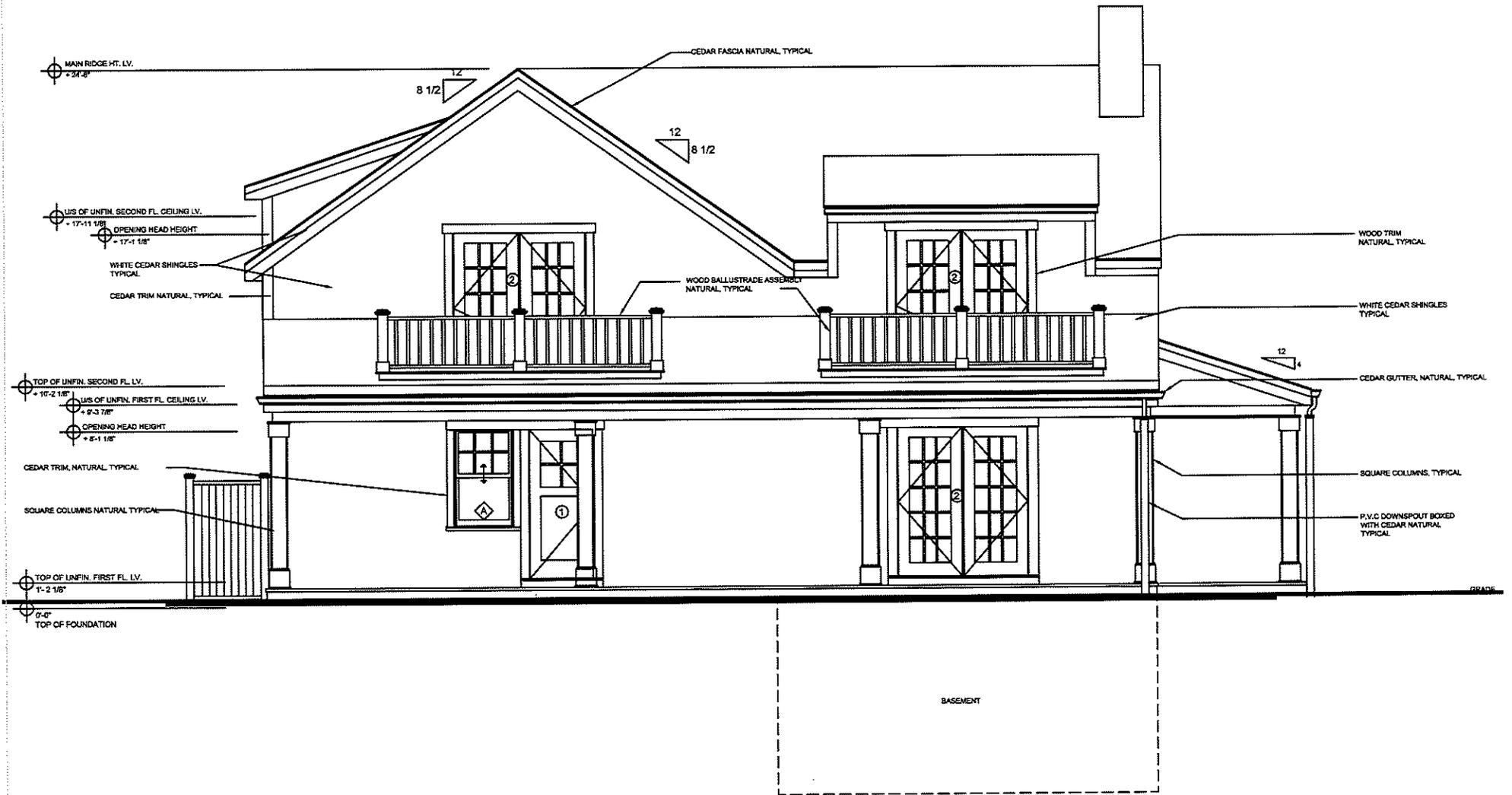
BASEMENT

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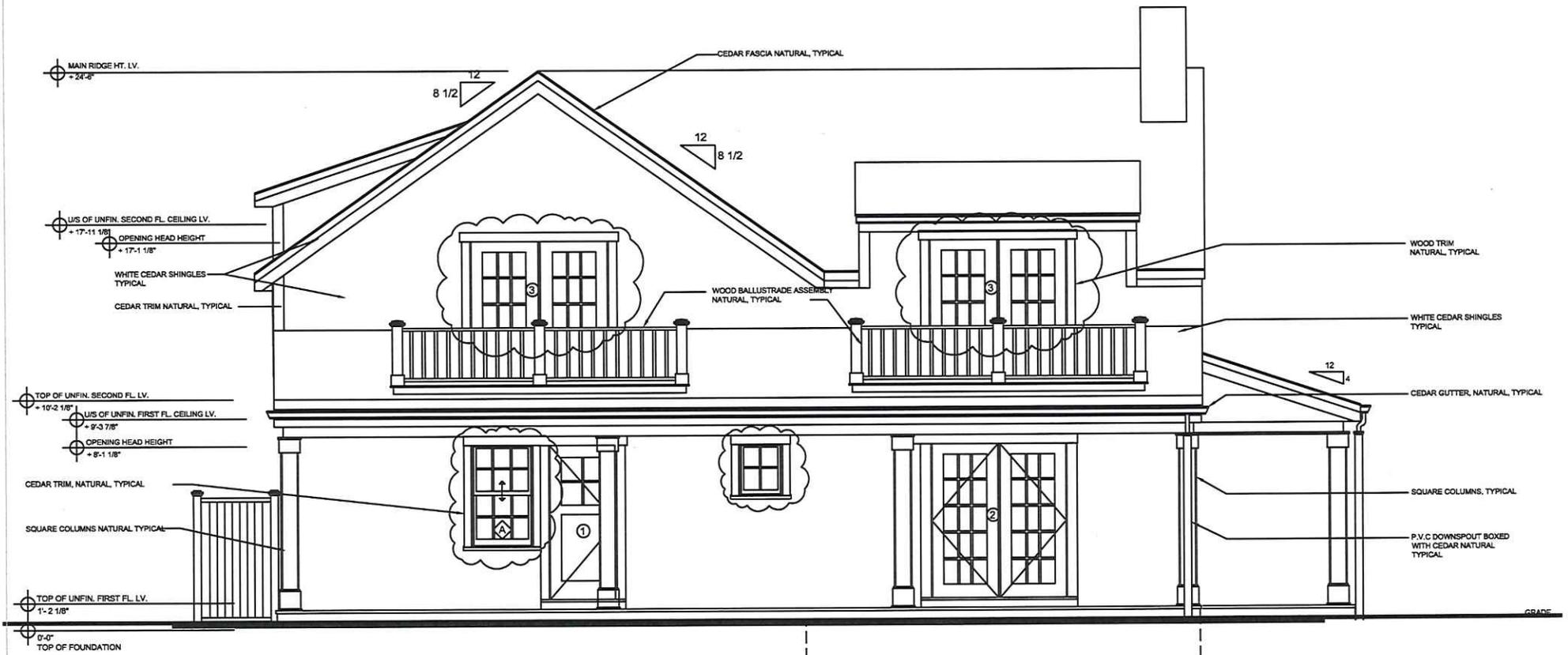
4 NEW EAST ELEVATION
SCALE: 1/8" = 1'-0"

CEDAR TRIM NATURAL, TYPICAL
WHITE CEDAR SHINGLES

WOOD BALLUSTRADE ASSEMBLY
NATURAL, TYPICAL
WHITE CEDAR SHINGLES



1 PREVIOUSLY APPROVED NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



3 NEW NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

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