

**WPA Form 8A – Request for Certificate of Compliance**

NAN-135

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by DEP

**A. Project Information**

**Important:**  
When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Upon completion of the work authorized in an Order of Conditions, the property owner must request a Certificate of Compliance from the issuing authority stating that the work or portion of the work has been satisfactorily completed.

1. This request is being made by:(current Title holder):

Janice Louise O'Mara Trustee

Name

33 Somerset Road

Mailing Address

Nantucket

MA

02554

City/Town

State

Zip Code

508-228-9444

Phone Number

2. This request is in reference to work regulated by a final Order of Conditions issued to:

Janice Louise O'Mara Trustee

Applicant

08/19/2021

NAN-135

Dated

DEP File Number

3. The project site is located at:

33 Somerset Road

Nantucket

Street Address

City/Town

56

110

Assessors Map/Plat Number

Parcel/Lot Number

4. The final Order of Conditions was recorded at the Registry of Deeds for : (name on Order)

Same as applicant

Property Owner (if different)

County

Book

Page

28,242

Certificate (if registered land)

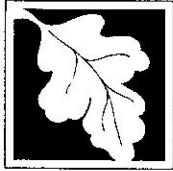
5. This request is for certification that (check one):

the work regulated by the above-referenced Order of Conditions has been satisfactorily completed.

the following portions of the work regulated by the above-referenced Order of Conditions have been satisfactorily completed (use additional paper if necessary).

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

the above-referenced Order of Conditions has lapsed and is therefore no longer valid, and the work regulated by it was never started.



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**A. Project Information (cont.)**

6. Did the Order of Conditions for this project, or the portion of the project subject to this request, contain an approval of any plans stamped by a registered professional engineer, architect, landscape architect, or land surveyor?

Yes

If yes, attach a written statement by such a professional certifying substantial compliance with the plans and describing what deviation, if any, exists from the plans approved in the Order.

No

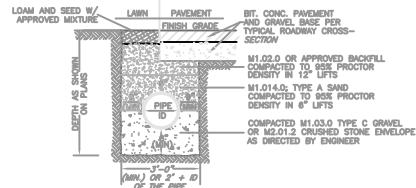
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**B. Submittal Requirements**

Requests for Certificates of Compliance should be directed to the issuing authority that issued the final Order of Conditions (OOC). If the project received an OOC from the Conservation Commission, submit this request to that Commission. If the project was issued a Superseding Order of Conditions or was the subject of an Adjudicatory Hearing Final Decision, submit this request to the appropriate DEP Regional Office (see <http://www.mass.gov/eea/agencies/massdep/about/contacts/find-the-massdep-regional-office-for-your-city-or-town.html>).

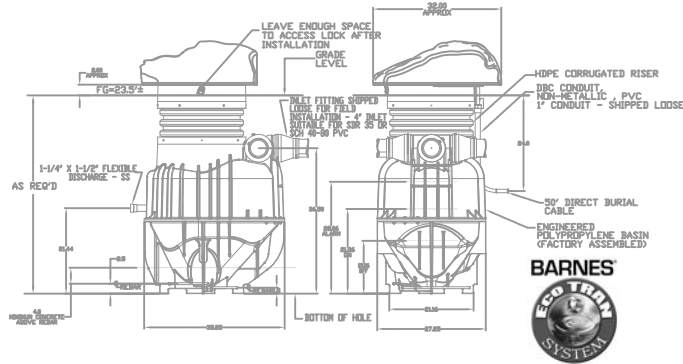
CURRENT ZONING CLASSIFICATION:  
RESIDENTIAL-20 (R-20)

MINIMUM LOT SIZE: 20,000 S.F.  
MINIMUM FRONTAGE: 75 FT.  
FRONT YARD SETBACK: 30 FT.  
REAR/SIDE SETBACK: 10 FT.  
GROUND COVER %: 12.5 %



PIPE IN TRENCH

NOT TO SCALE



## ECOTRAN SIMPLEX GRINDER PUMP SYSTEM

DETAIL DRAWING PROVIDED BY CRANE PUMPS & SYSTEMS  
(NOT TO SCALE)

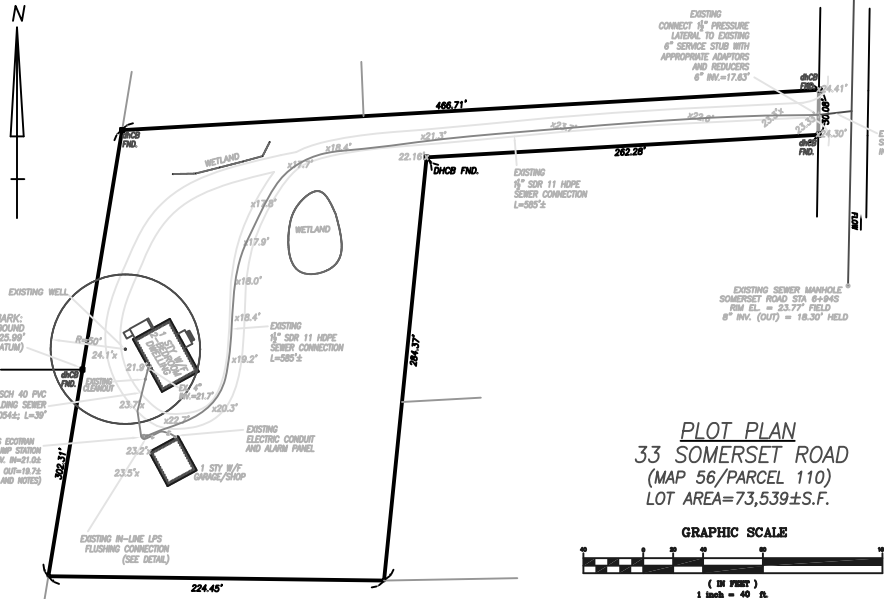


### GRINDER PUMP SYSTEM NOTES:

- GENERAL**— CONTRACTOR SHALL FURNISH AND INSTALL A COMPLETE SEWER GRINDER PUMP SYSTEM CONSISTING OF A SUBMERSIBLE SEWER GRINDER PUMP AND MOTOR, DISCHARGE PIPING AND VALVES, POLYPROPYLENE COPOLYMER PUMP CHAMBER, CONTROLS, AND ALARM PANEL. ALL EQUIPMENT SHALL BE REVIEWED IN FULL ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS AND SHALL BE WARRANTED FOR AT LEAST ONE YEAR. THE CONTRACTOR SHALL PROVIDE A SUFFICIENT QUANTITY OF CLEAR WATER TO CONDUCT ONE PUMP OPERATION TEST.  
THE SEWER GRINDER PUMP STATION SHALL BE A BARNES ECOTRAN SIMPLEX SYSTEM AS MANUFACTURED BY CRANE PUMPS & SYSTEMS OF PALM GARDEN AND EXCEPT AS OTHERWISE NOTED, SHALL SATISFY ALL REQUIREMENTS OF THE NANTUCKET SEWER DEPARTMENT AS IT HAS BEEN APPROVED FOR USE WITHIN THE SHOWN AND PLUS PROJECT AREAS. THE GRINDER PUMP SHALL BE A MODEL OPPOSITE PUMP DRIVEN BY A 2 HP, 240 VOLT, SINGLE PHASE SUBMERSIBLE MOTOR.
- PIPING**— THE PUMP STATION SHALL DISCHARGE TO A 1 1/2" SDR 11 HOPE FORCE MAIN THAT SHALL BE CONNECTED TO AN EXISTING 6" SEWER SERVICE STUB IN SOMERSET ROAD. ALL PIPING OUTSIDE THE PUMP CHAMBER AND HAVING LESS THAN 4 FEET OF SOIL COVER SHALL BE INSULATED. (SEE NOTE 5.)
- LEVEL CONTROLS**— AN EPS-1500 LEVEL CONTROL SYSTEM AS MANUFACTURED BY BARNES PRESSURE SYSTEMS SHALL BE SUPPLIED TO CONTROL THE LIQUID LEVEL IN THE PUMP CHAMBER AND ACTIVATE A HIGH WATER ALARM SIGNAL. THE LEVEL CONTROL SYSTEM SHALL BE SET TO OPERATE AT THE ELEVATIONS INDICATED ON THE PUMP SYSTEM DETAIL DRAWING.
- ALARM/DISCONNECT PANEL**— HIGH WATER ALARM SHALL BE SUPPLIED WITH BOTH AUDIBLE AND VISUAL ALARMS WITH A SEPARATE POWER CIRCUIT FROM THE PUMP. THE ALARM SHALL BE MOUNTED IN A WEATHERPROOF AND TAMPERPROOF ENCLOSURE. AN ALARM SILENCER BUTTON SHALL BE PROVIDED TO SILENCE THE AUDIBLE ALARM WHILE THE VISUAL ALARM REMAINS ILLUMINATED UNTIL MANUALLY RESET. ALARM/DISCONNECT PANEL SHALL BE A CRANE SYSTEMS MODEL 1250 PANEL WITH GENERATOR RECEPTACLE.
- PIPE INSULATION**— FORCE MAIN WITH LESS THAN 4 FEET OF SOIL COVER SHALL BE COVERED WITH 3-INCH THICK HIGH POLYETHYLENE INSULATION TO A DISTANCE OF AT LEAST 1 FOOT ON EITHER SIDE OF THE PIPE CENTERLINE.
- POWER CABLE**— THE ECOTRAN GRINDER PUMP SYSTEM SHALL BE FURNISHED WITH A SUFFICIENT LENGTH OF DIRECT BURIED POWER CABLE OF APPROPRIATE GAUGE TO CONNECT THE PUMP SYSTEM TO ITS POWER SOURCE WITHOUT THE NEED FOR INTERMEDIATE SPLICES. THE LICENSED ELECTRICIAN PERFORMING THE ELECTRICAL INSTALLATION WORK SHALL CONFIRM THAT ADEQUATE AMPERAGE AND VOLTAGE ARE AVAILABLE AT THE GRINDER PUMP DRIVER.

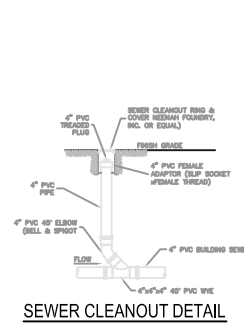
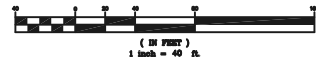
### GENERAL NOTES:

- TOPOGRAPHIC INFORMATION SHOWN HEREON IS THE RESULT OF AN ON THE GROUND SURVEY COMPLETED BY MICHAEL CONNOLLY & ASSOCIATES INC. IN APRIL 2024. ELEVATIONS REFER TO THE VERTICAL DATUM USED ON THE AS BUILT PLAN PROVIDED BY WESTON & SHAFER ENGINEERS INC.
- PROPERTY LINES SHOWN HEREON ARE BASED ON A LAND COURT PLAN 14830-D PREPARED BY SCHOFIELD BROTHERS, INC. AND DATED DECEMBER 17, 1980.
- PROPOSED SEWERAGE FACILITIES SHALL BE INSTALLED IN FULL ACCORDANCE WITH SPECIFICATIONS AND GUIDELINES OF THE NANTUCKET SEWER DEPARTMENT AND ACCEPTED BEST PRACTICE. THE INSTALLATION CONTRACTOR SHALL COORDINATE WITH THE SEWER DEPARTMENT AND MICHAEL CONNOLLY AND ASSOCIATES RESPECTIVELY FOR THE INSPECTION AND AS-BUILT LOCATION OF ALL WORK.
- PRIOR TO ORDERING MATERIALS NECESSARY TO INSTALL THE PROPOSED SEWER CONNECTION, THE CONTRACTOR SHALL CONFIRM THE SIZE, MATERIAL AND INVERT ELEVATION OF THE EXISTING SERVICE STUB IN SOMERSET ROAD.
- THE LOCATION OF EXISTING SEWER FACILITIES SHOWN HEREON ARE BASED ON INFORMATION PROVIDED BY WESTON & SHAFER, INC. THE LOCATIONS OF ON-SITE SEWAGE DISPOSAL FACILITIES ARE BASED ON RECORD PLANS ON FILE AT THE NANTUCKET HEALTH DEPARTMENT.
- THE LOCATION OF THE EXISTING WATER SUPPLY LINE ON THE SUBJECT PROPERTY IS UNKNOWN. THE CONTRACTOR SHALL CONTACT THE NANTUCKET WATER COMPANY TO CONFIRM THAT THE PROPERTY IS NOT SERVED BY THE PUBLIC WATER SUPPLY SYSTEM, AND TO REQUEST A WAYOUT OF ITS UNDERGROUND FACILITIES IF ANY ARE KNOWN TO BE WITHIN THE WORK AREA.
- NO EXCAVATION RELATED TO THE WORK SHOWN HEREON SHALL BE PERFORMED UNTIL THE EXCAVATOR HAS NOTIFIED BARNES IN ACCORDANCE WITH STATE STATUTE, AND THE REQUIRED TIME PERIOD FOR IMPROVEMENT OF THE UNDERGROUND FACILITIES HAS ELAPSED.
- SEWER PIPES SHALL BE INSTALLED SUCH THAT A HORIZONTAL DISTANCE OF 10' IS MAINTAINED FROM ALL WATER MAINS AND SERVICES WHEREVER POSSIBLE. WHERE THIS SEPARATION CANNOT BE ACHIEVED AND WHERE WATER AND SEWER LINES MUST CROSS, THE SEWER SHALL BE INSTALLED BELOW THE WATER LINE WITH A SEPARATION OF AT LEAST 18" ON THE SURFACE. LINE SHALL BE CONSTRUCTED OF PIPE HAVING A MINIMUM WORKING PRESSURE RATING OF 180 PSI.
- THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER AT LEAST TWO DAYS PRIOR TO THE COMMENCEMENT OF THE SEWER SERVICE LATERAL, SO THAT AN AS-BUILT SURVEY MAY BE SCHEDULED.
- BUILDING SEWERS WITHIN 10' OF THE OUTSIDE FACE OF THE FOUNDATION WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STATE PLUMBING CODE 240 CMR 2.00.
- THE EXISTING SEPTIC TANK AND LEACH PIT SHALL BE PUMPED OF THEIR CONTENTS AND EITHER REMOVED FROM THE SITE FOR DISPOSAL, OR ABANDONED IN PLACE IN ACCORDANCE WITH THE MASSACHUSETTS ENVIRONMENTAL CODE, TITLE 9 - 310 CMR 15.35A.
- CONSTRUCTION WITHIN 100 FEET OF A WETLAND RESOURCE AREA AS DEFINED IN THE MASSACHUSETTS WETLAND PROTECTION ACT AND REGULATIONS (210 CMR 10.00) SHALL NOT BE PERFORMED UNTIL AN ORDER OF CONDITIONS OR NEGATIVE DETERMINATION OF APPLICABILITY HAS BEEN OBTAINED FROM THE LOCAL CONSERVATION COMMISSION.



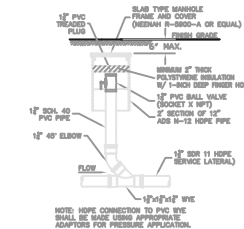
**PLOT PLAN**  
33 SOMERSET ROAD  
(MAP 56/PARCEL 110)  
LOT AREA=73,539±S.F.

GRAPHIC SCALE



SEWER CLEANOUT DETAIL

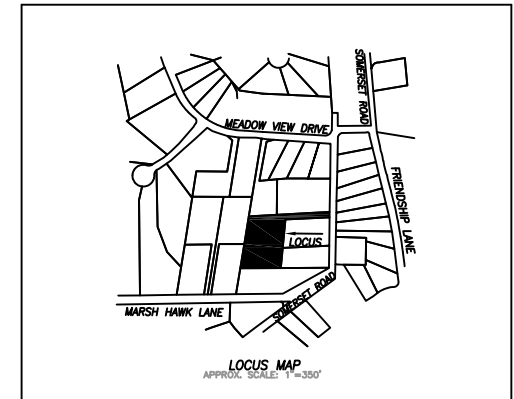
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IN-LINE LPS FLUSHING CONNECTION

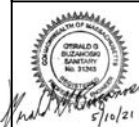
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**ESTIMATED FLOW:**  
TWO (2) BEDROOMS AT 110 GPD/BR = 220 GPD



**AS BUILT SEWER CONNECTION PLAN**  
33 SOMERSET ROAD  
NANTUCKET, MASSACHUSETTS  
(ASSESSOR'S MAP 56/PARCEL 110)  
DATE: JANUARY 18, 2022 SCALE: 1"=40'

OWNER/APPLICANT:  
JANICE L. O'MARA  
33 SOMERSET ROAD  
NANTUCKET MA. 02554



**MICHAEL CONNOLLY & ASSOC., INC.**  
PROFESSIONAL LAND SURVEYORS  
150 SURFSIDE ROAD  
NANTUCKET, MA. 02554  
(508) 228-8910

C-7898