

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 42
Street & Number of Proposed Work: 19 QUAKER RD
Owner of record: SAMUEL ALOISI
Mailing Address: 35 MILL ST
NANTUCKET
Contact Phone #: 508-332-9050 E-mail: _____

AGENT INFORMATION (if applicable)

Name: THORNEWILL DESIGN
Mailing Address: 48 DUKES RD
NANTUCKET
Contact Phone #: 228-9101 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
- Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. 2021-05-3620
- Pool (Zoning District _____) Roof Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ 1st floor 2nd floor
Width: _____ Sq. Footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. Footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____

Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks: **REVISIONS:** 1. East Elevation - STONE STOOP + STEP TO REPLACE WOOD

Historic Name: _____ (describe) 2. South Elevation

Original Date: _____ 3. West Elevation

Original Builder: _____ 4. North Elevation REMOVE STEP FROM DECK - EXTEND SHINGLED HALF WALL ACROSS OPENING

Is there an HDC survey form for this building attached? Yes N/A *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ Block Block Parged Brick (type) _____ Poured Concrete Piers

Masonry Chimney: Block Parged Brick (type) _____ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: Asphalt 3-Tab Architectural
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) _____

Fence: Height: _____
Type: _____
Length: _____

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: Wood Aluminum Copper Leaders (material) _____

Leaders (material and size): _____

Sidewall: White cedar shingles _____ Clapboard (exposure: _____ inches) Front Side

Other _____

Trim: A. Wood Pine Redwood Cedar Other _____

B. Treatment Paint Natural to weather Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: Double Hung Casement All Wood Other _____

True Divided Lights (muntins), single pane SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): TDL SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required. **COLORS**

Sidewall _____ Clapboard (if applicable) _____ Roof _____

Trim COBBLESTONE Sash _____ Doors _____

Deck _____ Foundation _____ Fence _____ Shutters _____

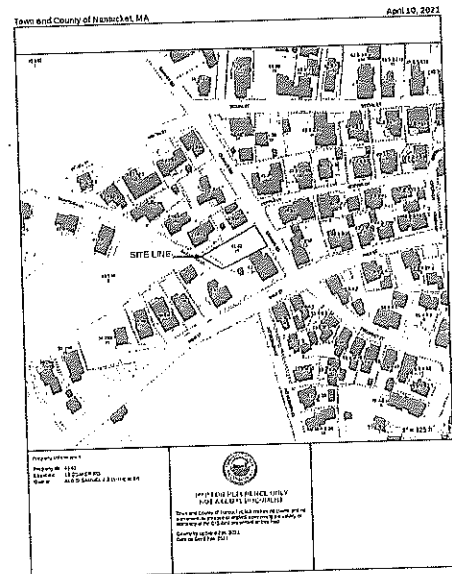
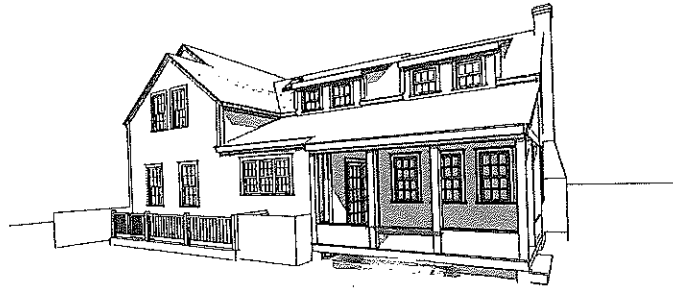
* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

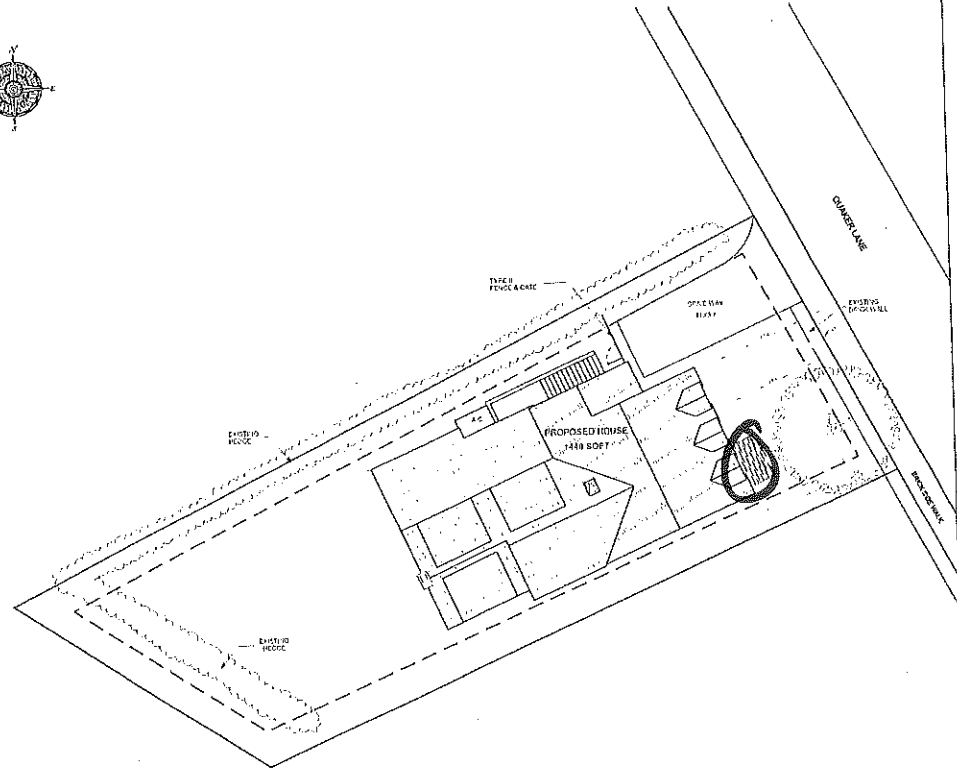
Date 1/24/22 Signature of owner of record Samuel Aloisi Signed under penalties of perjury

HOUSE

19 QUAKER ROAD, NANTUCKET, MA



DRAWING INDEX	
DRAWINGS	
COVER	COVER SHEET
A1.0	FOUNDATION PLAN
A1.1	FINISHED BASEMENT PLAN
A1.2	PROPOSED FLOOR PLAN
A1.3	PROPOSED ROOF PLAN
A2.0	ELEVATIONS
A2.1	ELEVATIONS
A3.1	SECTIONS
A3.2	SECTIONS
A4.1	3D VIEWS



2 PROPOSED SITE PLAN
SCALE: 1" = 10'

1 LOCUS MAP
SCALE: 1" = 10'

REVISION/PROJECT DATE
HDC 1 04.06.2021
HDC 2 05.18.2021
HDC 3 05.28.2021

NANTUCKET PROJECT
19 QUAKER ROAD, NANTUCKET, MA

USE OF DRAWING
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J. HANAWILL DESIGN, LLC
48 Dunes Road, Nantucket, MA 02554
Tel: 508 228 9161 Fax: 508 228 3145

Sheet No: **COVER**

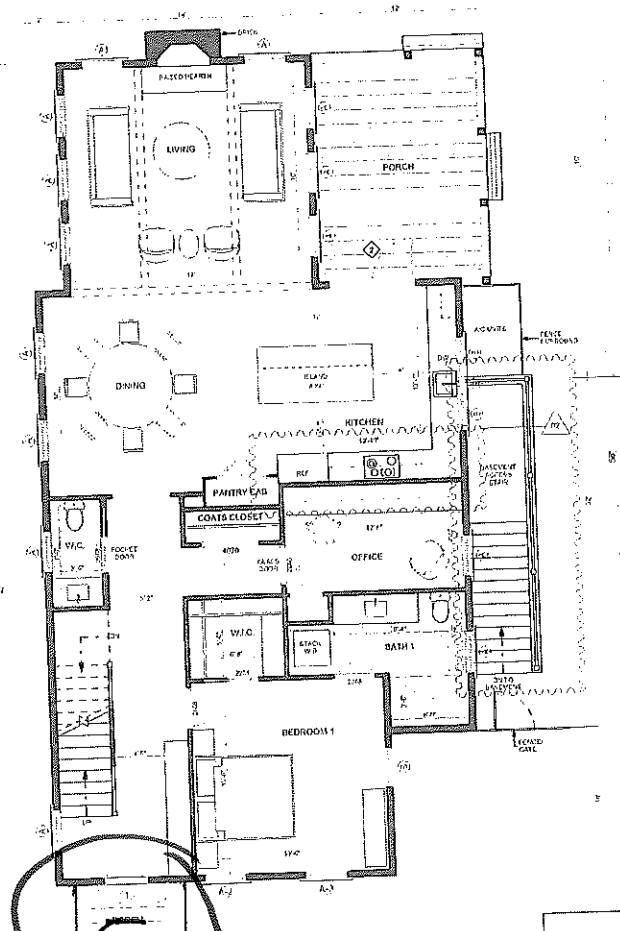
DATE/REVISION	DATE
HDC1	04.01.2021
HDC2	05.18.2021
HDC3	08.09.2021

NANTUCKET PROJECT
19 QUAKER ROAD, NANTUCKET, MA

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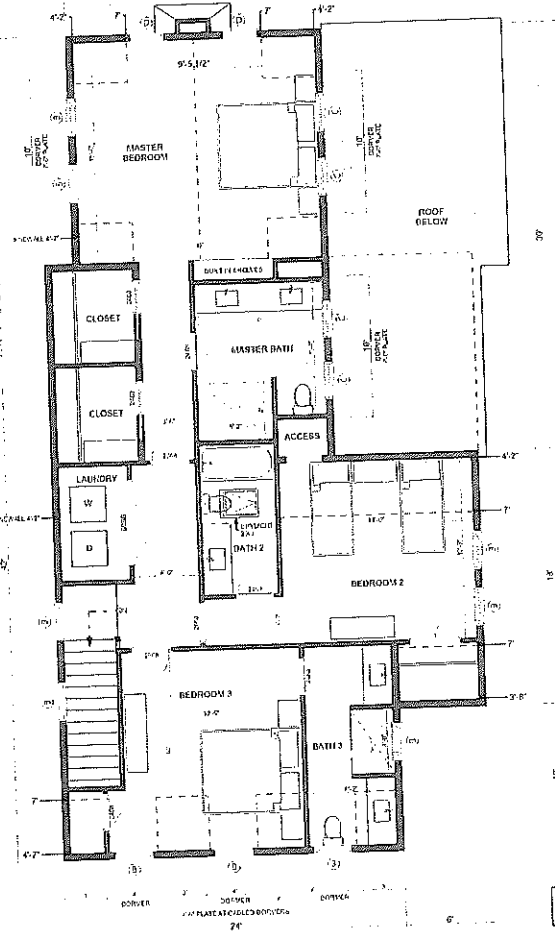
Johnson & Associates, LLC
Architects
100 NANTUCKET ST., NANTUCKET, MA 02554
Tel: 508 228 5100 Fax: 508 228 3195

Project No. _____
Design No. _____
Drawing No. _____
Sheet No. **A1.2**



STONE STOOP
+ STEP

GENERAL NOTES
1. FLOOR FINISHES TO BE DETERMINED BY THE OWNER.
2. FLOOR FINISHES TO BE DETERMINED BY THE OWNER.
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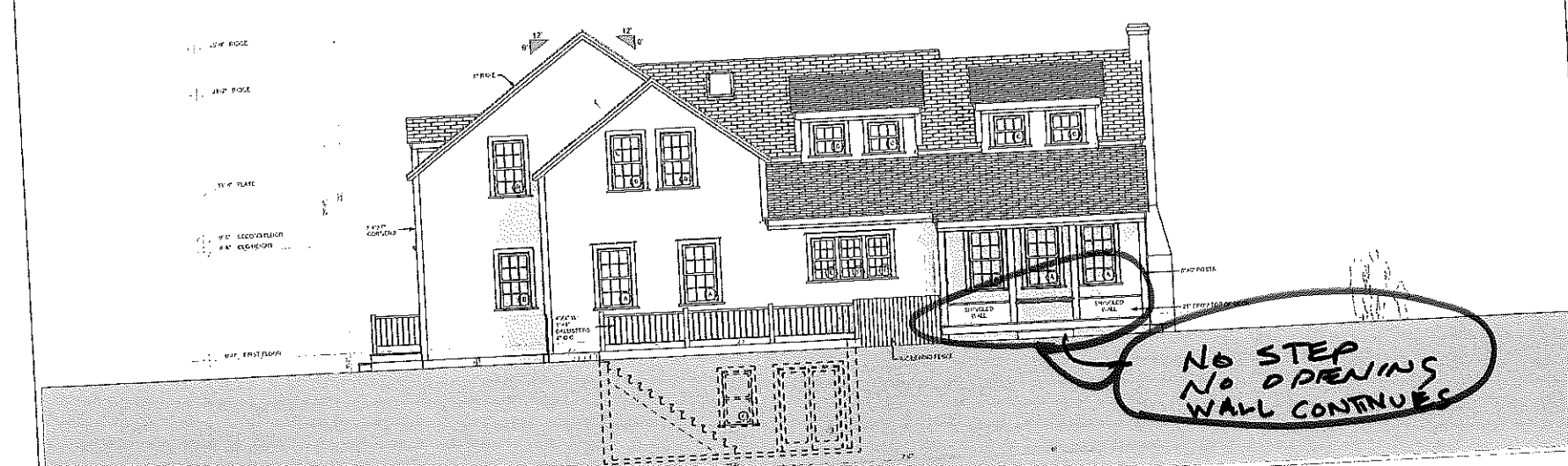


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1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"

2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

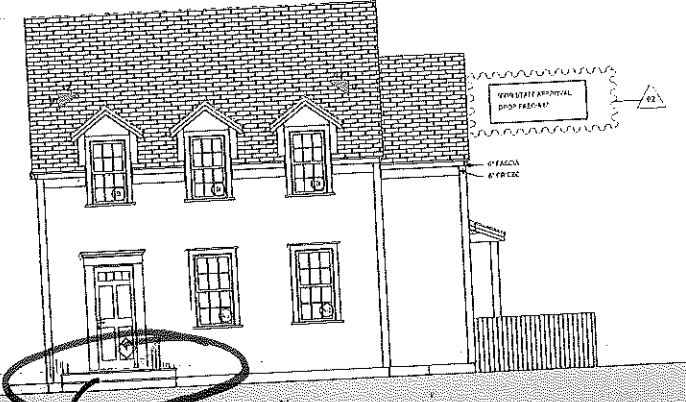
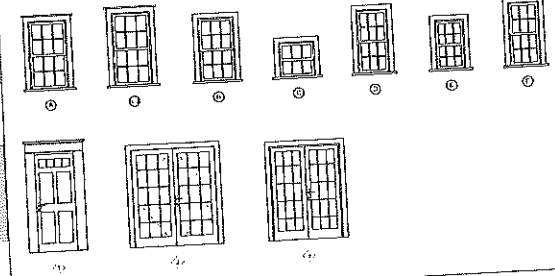
REVISION	DATE
R01	01.02.2021
R02	01.18.2021
R03	01.23.2021



1 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"

ID	QUANTITY	MANUFACTURER	ROUGH OPENING	REMARKS	U VALUE
A	11	BOSTON BASH	2'-10"x2'	6 1/2" TOL DBH W/STORMS	
A1	2	BOSTON BASH	2'-10"x3'-4"	6 1/2" TOL DBH W/STORMS	
B	11	BOSTON BASH	2'-8"x2'-8"	6 1/2" TOL DBH W/STORMS	
C	6	BOSTON BASH	2'-3"x2'-8"	6 1/2" TOL DBH W/STORMS	
D	2	BOSTON BASH	2'-4"x4'-8"	6 1/2" TOL DBH W/STORMS	
E	3	BOSTON BASH	2'-8"x3'-8"	6 1/2" TOL DBH W/STORMS	
F	3	BOSTON BASH	2'-0"x4'-8"	6 1/2" TOL DBH W/STORMS	
Σ					

ID	QUANTITY	MANUFACTURER	ROUGH OPENING	REMARKS
1	1	CUSTOM	3'-7"x4"	4 PANEL LIGHT
2	1	BOSTON BASH	8'-8"x11'	16 LIGHT FRENCH DOOR
3	1	BOSTON BASH	6'-0"x8'-11"	16 LIGHT FRENCH DOOR
Σ				



2 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"

NANTUCKET PROJECT
19 QUAKER ROAD, NANTUCKET, MA

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A2.0