

CERTIFICATE NO: \_\_\_\_\_

DATE ISSUED: \_\_\_\_\_

HDC 2021-11-5158

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

### CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.  
NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

#### PROPERTY DESCRIPTION

TAX MAP N°: 41 PARCEL N°: 512  
Street & Number of Proposed Work: 8 Wilm St  
Owner of record: Joseph Marchese  
Mailing Address: \_\_\_\_\_  
Contact Phone #: \_\_\_\_\_ E-mail: \_\_\_\_\_

#### AGENT INFORMATION (if applicable)

Name: Waterscapes by Jesse Doty  
Mailing Address: PO Box 2598  
Nantucket MA 02584  
Contact Phone #: 508-654-1800 E-mail: jesse@waterscapes.com

#### FOR OFFICE USE ONLY

Date application received: 11/17/21 Fee Paid: \$ 50.00  
Must be acted on by: 12/31/21  
Extended to: \_\_\_\_\_  
Approved: \_\_\_\_\_ Disapproved: \_\_\_\_\_  
Chairman: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Member: \_\_\_\_\_  
Notes - Comments - Restrictions - Conditions

#### DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

- New Dwelling  Addition  Garage  Driveway/Apron  Commercial  Historical Renovation  Deck/Patio  Steps  Shed
- Color Change  Fence  Gate  Hardscaping  Move Building  Demolition  Revisions to previous Cert. No. 2021-08-4361
- Pool (Zoning District 21)  Roof  Other: Relocate Pool + Pool EQ.

Size of Structure or Addition: Length: 18' Sq. Footage 1st floor: \_\_\_\_\_ Decks/Patio: Size: \_\_\_\_\_ 1st floor  2nd floor   
Width: 15' Sq. Footage 2nd floor: \_\_\_\_\_ Bluestone Addl 426 SF Size: \_\_\_\_\_ 1st floor  2nd floor   
Sq. Footage 3rd floor: \_\_\_\_\_

Difference between existing grade and proposed finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_  
Height of ridge above final finish grade: North \_\_\_\_\_ South \_\_\_\_\_ East \_\_\_\_\_ West \_\_\_\_\_

Additional Remarks: \_\_\_\_\_ REVISIONS: 1. East Elevation  
Historic Name: \_\_\_\_\_ (describe) 2. South Elevation  
Original Date: \_\_\_\_\_ 3. West Elevation  
Original Builder: \_\_\_\_\_ 4. North Elevation

ALL 11' Cedar Gate  
NATURAL TO WEATHER

Is there an HDC survey form for this building attached?  Yes  N/A \*Cloud on drawings and submit photographs of existing elevations.

#### DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed \_\_\_\_\_  Block  Block Parged  Brick (type) \_\_\_\_\_  Poured Concrete  Piers  
Masonry Chimney:  Block Parged  Brick (type) \_\_\_\_\_  Other \_\_\_\_\_  
Roof Pitch: Main Mass 12 Secondary Mass 12 Dormer 12 Other \_\_\_\_\_  
Roofing material:  Asphalt:  3-Tab  Architectural  
 Wood (Type: Red Cedar, White Cedar, Shakes, etc.) \_\_\_\_\_

Fence: Height: Change fence length  
Type: \_\_\_\_\_  
Length: Reduce from 146' to 113'

Skylights (flat only): Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_  
Manufacturer \_\_\_\_\_ Rough Opening \_\_\_\_\_ Size \_\_\_\_\_ Location \_\_\_\_\_

Gutters:  Wood  Aluminum  Copper  Leaders (material) \_\_\_\_\_  
Leaders (material and size): \_\_\_\_\_

Sidewall:  White cedar shingles \_\_\_\_\_  Clapboard (exposure: \_\_\_\_\_ inches) Front  Side  
 \_\_\_\_\_  
 Other \_\_\_\_\_

Trim: A. Wood  Pine  Redwood  Cedar  Other \_\_\_\_\_  
B. Treatment  Paint  Natural to weather  Other \_\_\_\_\_

C. Dimensions: Fascia \_\_\_\_\_ Rake \_\_\_\_\_ Soffit (Overhang) \_\_\_\_\_ Corner boards \_\_\_\_\_ Frieze \_\_\_\_\_  
Window Casing \_\_\_\_\_ Door Frame \_\_\_\_\_ Columns/Posts: Round \_\_\_\_\_ Square \_\_\_\_\_

Windows\*:  Double Hung  Casement  All Wood  Other \_\_\_\_\_  
 True Divided Lights (muntins), single pane  SDL's (Simulated Divided Lights) Manufacturer \_\_\_\_\_

Doors\* (type and material):  TDL  SDL Front \_\_\_\_\_ Rear \_\_\_\_\_ Side \_\_\_\_\_  
Garage Door(s): Type \_\_\_\_\_ Material \_\_\_\_\_

Hardscape materials: Driveways \_\_\_\_\_ Walkways \_\_\_\_\_ Walls \_\_\_\_\_

\* Note: Complete door and window schedules are required. **COLORS**  
Sidewall \_\_\_\_\_ Clapboard (if applicable) \_\_\_\_\_ Roof \_\_\_\_\_  
Trim \_\_\_\_\_ Sash \_\_\_\_\_ Doors \_\_\_\_\_  
Deck \_\_\_\_\_ Foundation \_\_\_\_\_ Fence \_\_\_\_\_ Shutters \_\_\_\_\_

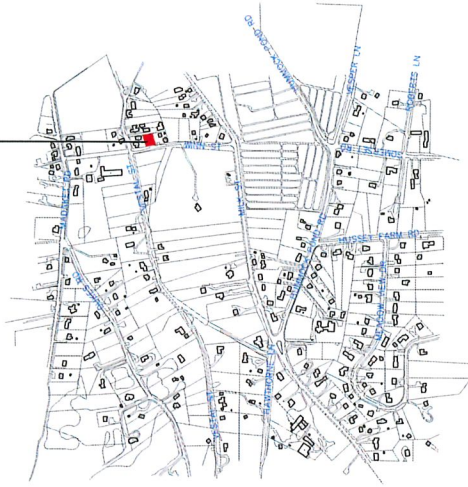
\* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date: 11/17/21 Signature of owner of record: [Signature] Signed under penalties of perjury



ZONING CLASSIFICATION: R-1  
 MAP: 41  
 MIN. AREA: 5,000 sqft.  
 MIN. FRONTAGE: 50 ft.  
 FRONT YARD S.B.: 10 ft.  
 SIDE S.B.: 5 ft.  
 REAR S.B.: 5 ft.  
 GROUND COVER 1%: 30%

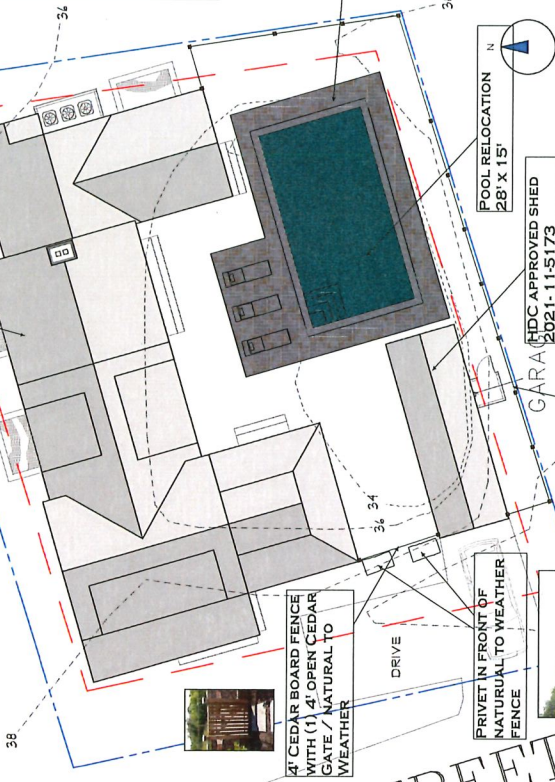


**REVISIONS**

- RELOCATE APPROVED POOL 17' X 10'
- INCREASE POOL SIZE TO (28' X 15')
- APPROVED FENCE 4' @ 146' (REDUCE FENCE) TO (113')
- EQUIPMENT RELOCATE TO CRAWL SPACE
- ADD (1) 4' CEDAR GATE / NATURAL TO WEATHER WITH PRIVET
- ADD 426 SF BLUESTONE PATIO

HDC APPROVED DWELLING 2021-10-4835

PROPOSED HOUSE



BLUESTONE PATIO 426 SF



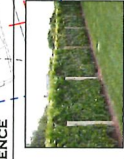
POOL RELOCATION 28' X 15'

GARAGE HDC APPROVED SHED 2021-11-5173

4' CEDAR BOARD FENCE NATURAL TO WEATHER



4' CEDAR BOARD FENCE WITH (1) 4' OPEN CEDAR GATE / NATURAL TO WEATHER



PRIVET IN FRONT OF NATURAL TO WEATHER FENCE



DOOR / WINDOW SCHEDULE

SYM	MANUFACTURER	WINDOW SIZE	QTY.	REMARKS
A	ANDERSEN	2'-8" X 8'-0"	21	272 D.H.
B	ANDERSEN	2'-8" X 4'-4"	10	272 D.H.
C	ANDERSEN	2'-0" X 8'-1"	1	272 D.H.
D	SPYGLASS	3'-0" X 2'-0"	1	4 L.T. PNL. WOOD DOOR
E	ANDERSEN	3'-0" X 4'-0"	2	4 L.T. PNL. FRENCH DOOR
F	ANDERSEN	3'-0" X 7'-0"	1	4 L.T. PNL. FRENCH DOOR
G	ANDERSEN	4'-0" X 7'-0"	1	4 L.T. PNL. OBL. DR. 3/ FINED END UNITS
H	CUSTOM	8'-0" X 8'-0"	1	8 L.T. PNL. WOOD BLIND DOOR
I	CUSTOM	3'-0" X 8'-8"	1	EXTERIOR WOOD BARN DOOR

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL UNIT DIMENSIONS AND TO REPORT ANY DISCREPANCIES PLEASE CONTACT THE DESIGNERS.

REVISIONS

- 9/25/2021
- 9/28/2021
- 10/1/2021
- 10/20/2021
- 11/08/2021
- 12/22/2021

NOTE: INDICATOR FOR THE SITE PLAN WAS IDENTIFIED FROM THE WATERSCAPES DESIGN GROUP. THE DESIGNER HAS CONDUCTED A VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND CONSTRUCTION OF THE EXISTING CONDITIONS. THE DESIGNER HAS CONDUCTED A VISUAL VERIFICATION OF THE EXISTING CONDITIONS AND CONSTRUCTION OF THE EXISTING CONDITIONS.

NOTE: ALL FINAL DIMENSIONS SHALL BE VERIFIED IN THE FIELD FOR PROPER CONSTRUCTION. THE DESIGNER SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IN CHARGE.

COPYRIGHT NOTICE

DEXTER GROUP LLC

1000 W. 10TH AVENUE, SUITE 1000  
 DENVER, CO 80202

HDC SITE PLAN

DATE: 12/22/2021

SCALE: 1/8" = 1'-0"

SHEET NO. S 1