CERTIFICATE NO: _____ DATE ISSUED: _____

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 42 41 PARCEL N°. 21

Street & Number of Proposed Work: 42 Easton St

Owner of record: C/o Reale Gulliksen Hanley and Gifford

Mailing Address: P.O. Box 2629

Nantucket MA 02564

Contact Phone #: 228-5777 E-mail: _____

AGENT INFORMATION (if applicable)

Name: Somerset Gardener Inc

Mailing Address: 88 Somerset Rd

Nantucket MA 02554

Contact Phone #: 508 221 1881 E-mail: mmcgowan@somersetgardener.com

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: $ _____

Must be acted on by: _____

Extended to: _____

Approved: _____ Disapproved: _____

Chairman: _____

Member: _____

Member: _____

Member: _____

Member: _____

Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

☐ New Dwelling ☐ Addition ☐ Garage ☐ Driveway/Apron ☐ Commercial ☐ Historical Renovation ☐ Deck/Patio ☐ Steps ☐ Shed

☐ Color Change ☑ Fence ☑ Gate ☑ Hardscaping ☐ Move Building ☐ Demolition ☐ Revisions to previous Cert. No. _____

☐ Pool (Zoning District ____) ☐ Roof ☐ Other _____

Size of Structure or Addition: Length: _____ Sq. Footage 1st floor: _____ Decks/Patio: Size: _____ ☐ 1st floor ☐ 2nd floor

Width: _____ Sq. footage 2nd floor: _____ Size: _____ ☐ 1st floor ☐ 2nd floor

Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North NC South Change East _____ West _____

Height of ridge above final finish grade: North _____ South _____ East _____ West _____

Additional Remarks

Historic Name:

Original Date:

Original Builder:

REVISIONS* (describe)

1. East Elevation
2. South Elevation
3. West Elevation
4. North Elevation

Is there an HDC survey form for this building attached? ☐ Yes ☑ N/A *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

Foundation: Height Exposed _____ ☐ Block ☐ Block Parged ☐ Brick (type) _____ ☐ Poured Concrete ☐ Piers

Masonry Chimney: ☐ Block Parged ☐ Brick (type) _____ ☐ Other _____

Roof Pitch: Main Mass _____/12 Secondary Mass _____/12 Dormer _____/12 Other _____

Roofing material: ☐ Asphalt: ☐ 3-Tab ☐ Architectural

Fencing ☑ Wood (Type: Red Cedar, White Cedar, Shakes, etc.) Natural

Fence: Height: 5 ft
Type: Red Cedar
Length: 40'

Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____

Manufacturer _____ Rough Opening _____ Size _____ Location _____

Gutters: ☐ Wood ☐ Aluminum ☐ Copper ☐ Leaders (material) _____

Leaders (material and size): _____

Sidewall: ☐ White cedar shingles _____ ☐ Clapboard (exposure: _____ inches) Front ☐ _____ Side

☐ _____ white aluminum gutter

☐ Other Change brick to cobbled. Existing drive is brick + cobbled trim, would like to switch to all cobbel

Trim: A. Wood ☐ Pine ☐ Redwood ☐ Cedar ☐ Other _____

B. Treatment ☐ Paint ☐ Natural to weather ☐ Other _____

C. Dimensions: Fascia _____ Rake _____ Soffit (Overhang) _____ Corner boards _____ Frieze _____

Window Casing _____ Door Frame _____ Columns/Posts: Round _____ Square _____

Windows*: ☐ Double Hung ☐ Casement ☐ All Wood ☐ Other _____

☐ True Divided Lights(muntins), single pane ☐ SDL's (Simulated Divided Lights) Manufacturer _____

Doors* (type and material): ☐ TDL ☐ SDL Front _____ Rear _____ Side _____

Garage Door(s): Type _____ Material _____

Hardscape materials: Driveways Cobbel Stone Walkways Stone Walls _____

* Note: Complete door and window schedules are required.

COLORS

Sidewall _____ Clapboard (if applicable) _____ Roof _____

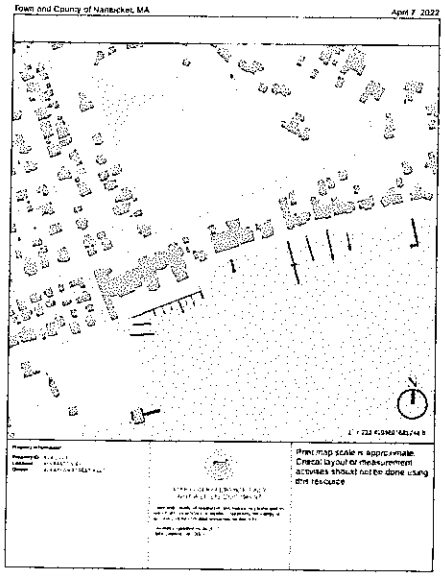
Trim _____ Sash _____ Doors Slate

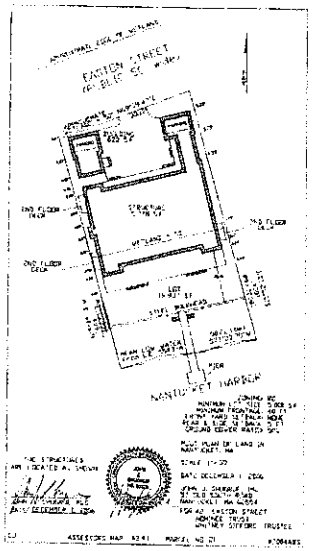
Deck _____ Foundation _____ Fence Natural / White Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.

I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.

Date 4/1/22 Signature of owner of record [signature] Signed under penalties of perjury





APRIL 07, 2022

Landscape Set

HDC SUBMITTAL

42 EASTON STREET

Residential

Nantucket, MA

DRAWING INDEX

Sheet No.	Sheet Title
C-100	COVER SHEET
SP-100	SITE PLAN
H-100	HARDSCAPE PLAN
L-100	LANDSCAPE PLAN
P-100	SITE PHOTOS
G-100	SLIDING GATE

REVISIONS / SUBMISSIONS

PRIVATE RESIDENCE
42 EASTON STREET
NANTUCKET, MA 02554

COVER SHEET

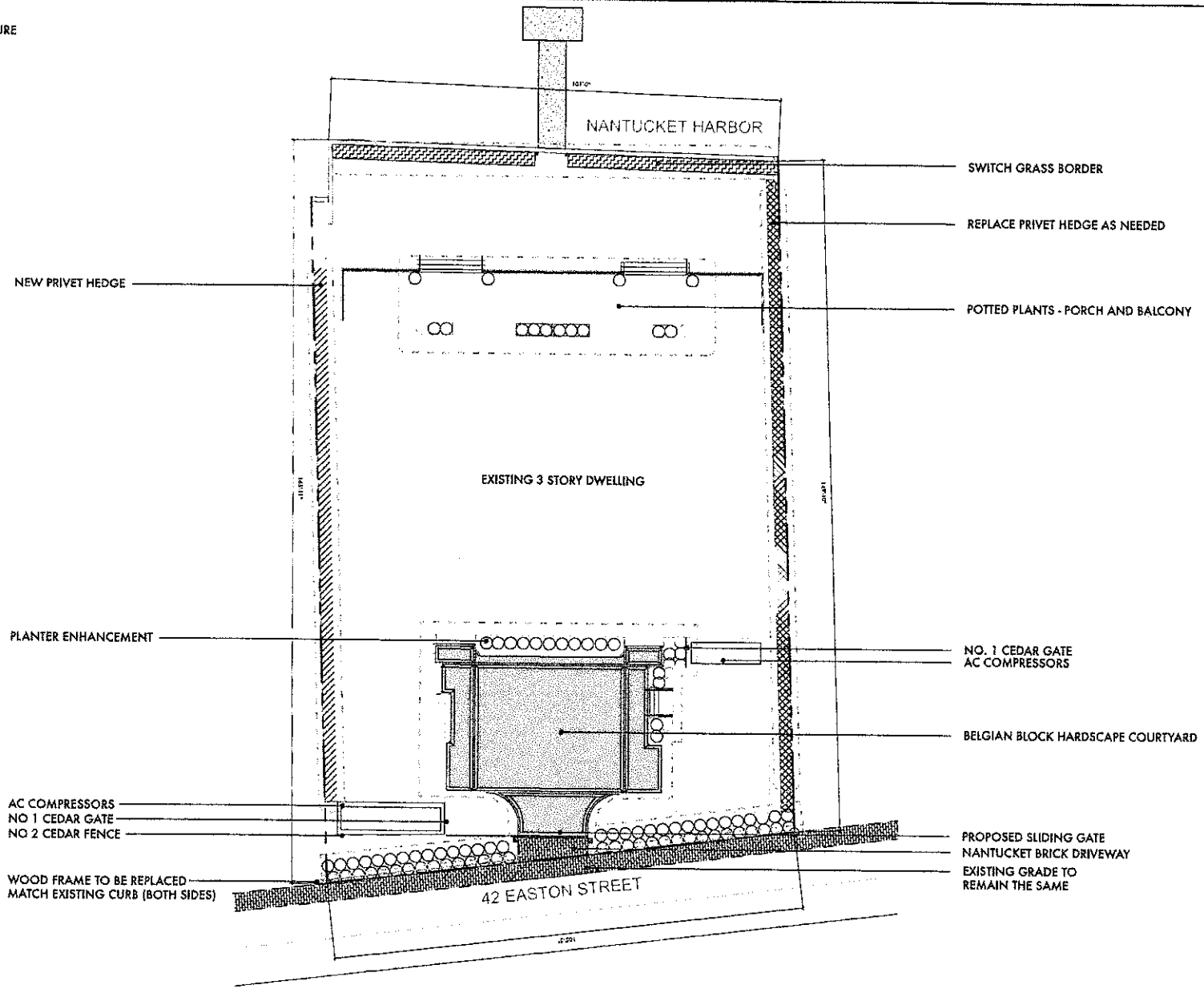
FERNANDO WONG

DRAWN BY: JS
CHECKED BY: FW
DATE: APRIL 7, 2022
SCALE:

C-100

EXISTING STRUCTURE

PROPOSED WORK



SITE PLAN

scale 1/8" = 1'-0"

REVISIONS / SUBMISSIONS

PRIVATE RESIDENCE
42 EASTON STREET
NANTUCKET, MA 02554

SITE PLAN

FERNANDO WONG

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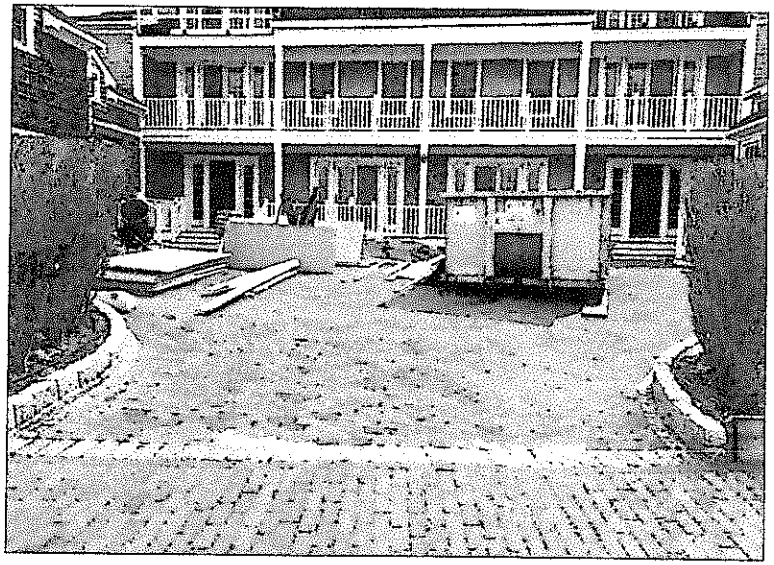
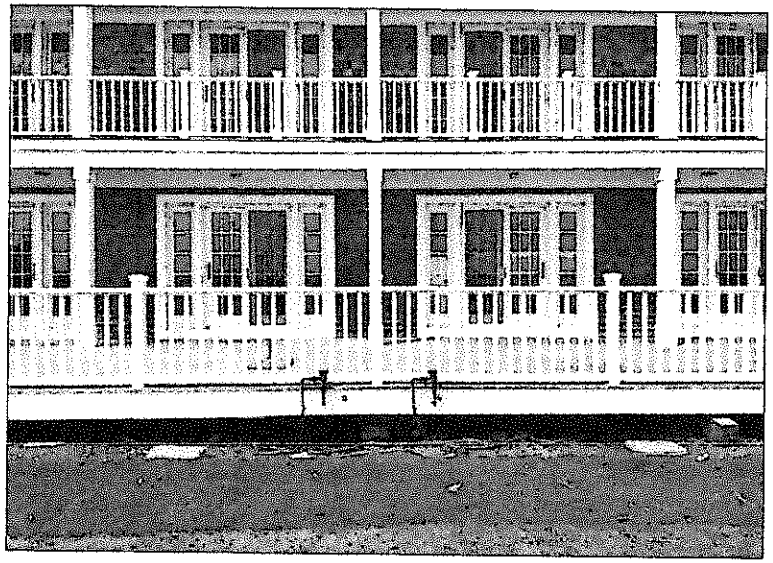
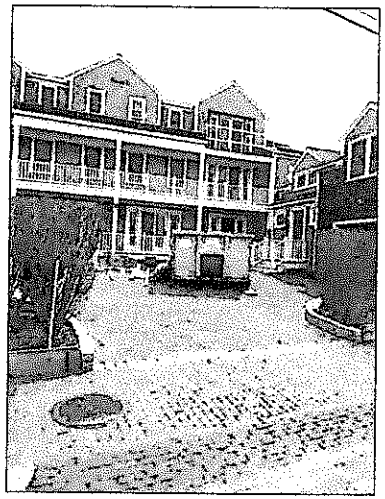
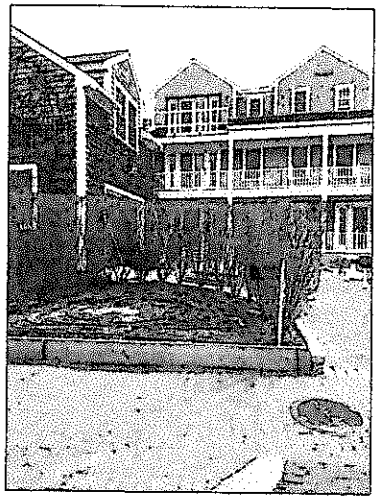
SCALE: 1/8" = 1'-0"

SP-100









REVISIONS / SUBMISSIONS

PRIVATE RESIDENCE
42 EASTON STREET
NANTUCKET, MA 02554

SITE PHOTOS

FERNANDO WONG

DRAWN BY: JS
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DATE: APRIL 7, 2022
SCALE:

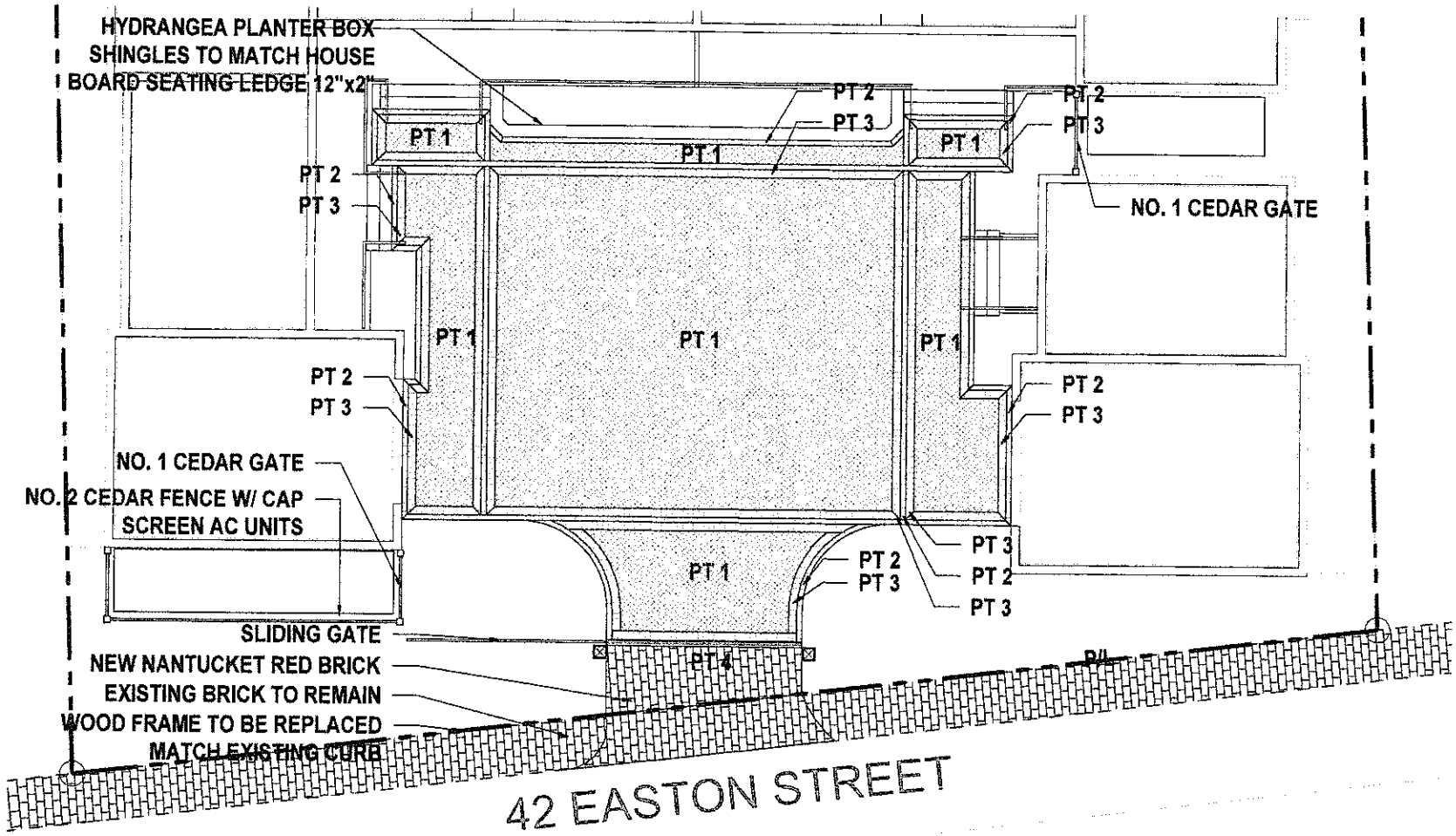
P-100

MATERIAL LEGEND:

PAVING TYPE	MATERIAL	DIMENSION	COLOR	APPLICATION	NOTES	QTY	
PT 1	BELGIAN BLOCK PAVERS	8" x 5" x 5" THICK	GRAY	DRIVEWAY FILL - HERRINGBONE		1,370 SQ FT	
PT 2	BELGIAN BLOCK PAVERS	8" x 5" x 5" THICK	GRAY	DRIVEWAY BORDER - SOLDIER COURSE		140 SQ FT	
PT 3	BELGIAN BLOCK PAVERS	8" x 5" x 5" THICK	GRAY	DRIVEWAY BORDER - SOLDIER COURSE		244 SQ FT	
PT 4	NANTUCKET RED BRICK	STANDARD	RED	DRIVEWAY		100 SQ FT	

GENERAL NOTES:

1. CONTRACTOR TO PROVIDE A 10' x 10' MOCK-UP OF ALL HARDSCAPE MATERIALS FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT. NO INSTALLATION SHALL COMMENCE UNTIL AN APPROVAL HAS BEEN PROVIDED FOR SAID MOCK-UP AND APPROVED BY LANDSCAPE ARCHITECT.
2. CONTRACTOR MUST DOUBLE CHECK HIS OWN QUANTITIES. THE LISTED QUANTITIES DO NOT INCLUDE THE WASTE PERCENTAGE.
3. ALL TOPOGRAPHY TO MATCH EXISTING



HARDSCAPE PLAN
scale 1/4" = 1'- 0"

SCALE 1/4" = 1'-0"

NORTH

REVISIONS / SUBMISSIONS

PRIVATE RESIDENCE
42 EASTON STREET
NANTUCKET, MA 02554

HARDSCAPE PLAN

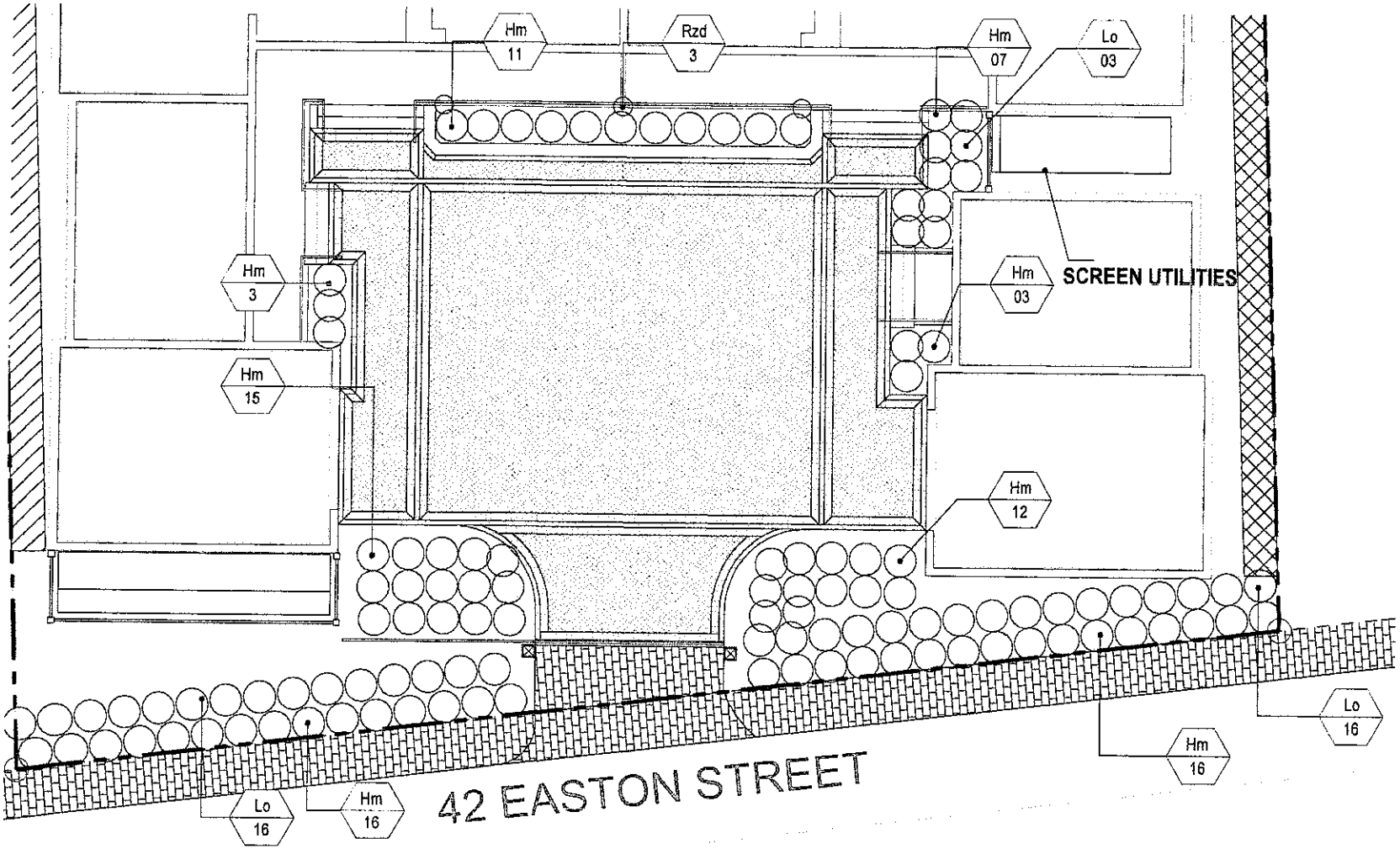
FERNANDO WONG
ARCHITECTURE & INTERIOR DESIGN

DRAWN BY JB
CHECKED BY FW
DATE APRIL 7, 2022
SCALE 1/4" = 1'-0"

H-100

PLANTING SCHEDULE FRONT:

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
Hm	89	Hydrangea macrophylla	Blue Hydrangea	7 GALLON	-
Lo	180	Ligustrum ovalifolium	California Privet	15 GALLON	QUANTITY AS NEEDED
Rzd	3	Rosa hybrid	Climbing Rose 'Zephirine Drouhin'	15 GALLON	



LANDSCAPE PLAN
scale 1/4" = 1'- 0"

REVISIONS / SUBMISSIONS

PRIVATE RESIDENCE
42 EASTON STREET
NANTUCKET, MA 02554

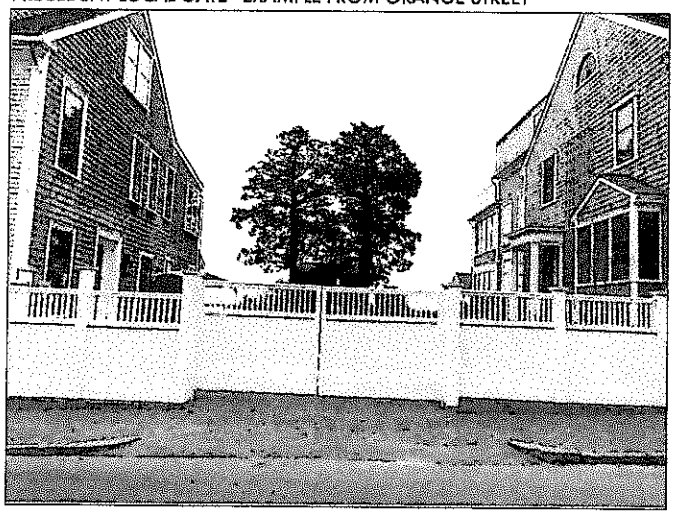
LANDSCAPE PLAN

FERNANDO WONG

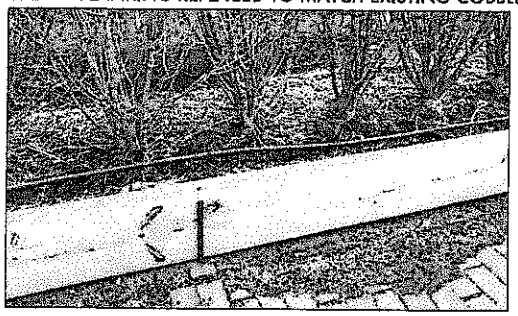
DRAWN BY: JS
CHECKED BY: FW
DATE: APRIL 7, 2022
SCALE: 1/4" = 1'-0"

L-100

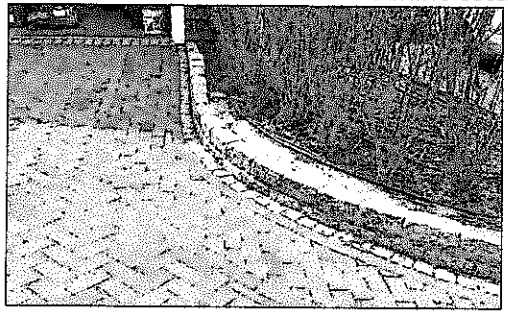
PRECEDENT LOCAL GATE - EXAMPLE FROM ORANGE STREET



WOOD PLANKING REPLACED TO MATCH EXISTING COBBLE EDGING

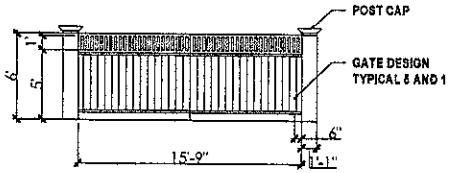


WOOD PLANKING REPLACED TO MATCH EXISTING COBBLE EDGING



PROPOSED GATE - TYPICAL 5 AND 1 DESIGN

PROPOSED GATE DETAIL $\frac{1}{4}$"=1'



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