

Application to the HISTORIC DISTRICT COMMISSION, Nantucket, Massachusetts, for a

CERTIFICATE OF APPROPRIATENESS

for structural work.

All blanks must be filled in using BLUE OR BLACK INK (no pencil) or marked N/A.

NOTE: It is strongly recommended that the applicant be familiar with the HDC guidelines, *Building with Nantucket in Mind*, prior to submittal of application. Please see other side for submittal requirements. Incomplete applications will not be reviewed by the HDC.

This is a contractual agreement and must be filled out in ink. An application is hereby made for issuance of a Certificate of Appropriateness under Chapter 395 of the Acts and Resolves of Mass., 1970, for proposed work as described herein and on plans, drawings and photographs accompanying this application and made a part hereof by reference.

The certificate is valid for three years from date of issuance. No structure may differ from the approved application. Violation may impede issuance of Certificate of Occupancy.

PROPERTY DESCRIPTION

TAX MAP N°: 54 PARCEL N°: 258
Street & Number of Proposed Work: 8 Shimmo Pond Road
Owner of record: Fleur-De-Lis Property Trust
Mailing Address: 7535 Inwood Drive
Houston, Tx 77063
Contact Phone #: _____ E-mail: _____

AGENT INFORMATION (if applicable)

Name: Botticelli + Pohl
Mailing Address: 11 Old South Road
Nantucket, MA 02554
Contact Phone #: 228-5455 E-mail: _____

FOR OFFICE USE ONLY

Date application received: _____ Fee Paid: \$ _____
Must be acted on by: _____
Extended to: _____
Approved: _____ Disapproved: _____
Chairman: _____
Member: _____
Member: _____
Member: _____
Member: _____
Notes - Comments - Restrictions - Conditions

DESCRIPTION OF WORK TO BE PERFORMED

See reverse for required documentation.

New Dwelling Addition Garage Driveway/Apron Commercial Historical Renovation Deck/Patio Steps Shed
 Color Change Fence Gate Hardscaping Move Building Demolition Revisions to previous Cert. No. _____
 Pool (Zoning District _____) Roof Other Cabana outdoor shower
Size of Structure or Addition: Length: 11'-0" Sq. Footage 1st floor: 110 Decks/Patio: Size: 4'-10 1/2 x 3'-8" 1st floor 2nd floor
Width: 10'-0" Sq. footage 2nd floor: _____ Size: _____ 1st floor 2nd floor
Sq. footage 3rd floor: _____

Difference between existing grade and proposed finish grade: North _____ South _____ East _____ West _____
Height of ridge above final finish grade: North 13'-9 3/4" South 13'-9 3/4" East 13'-5 1/4" West 13'-5 1/4"

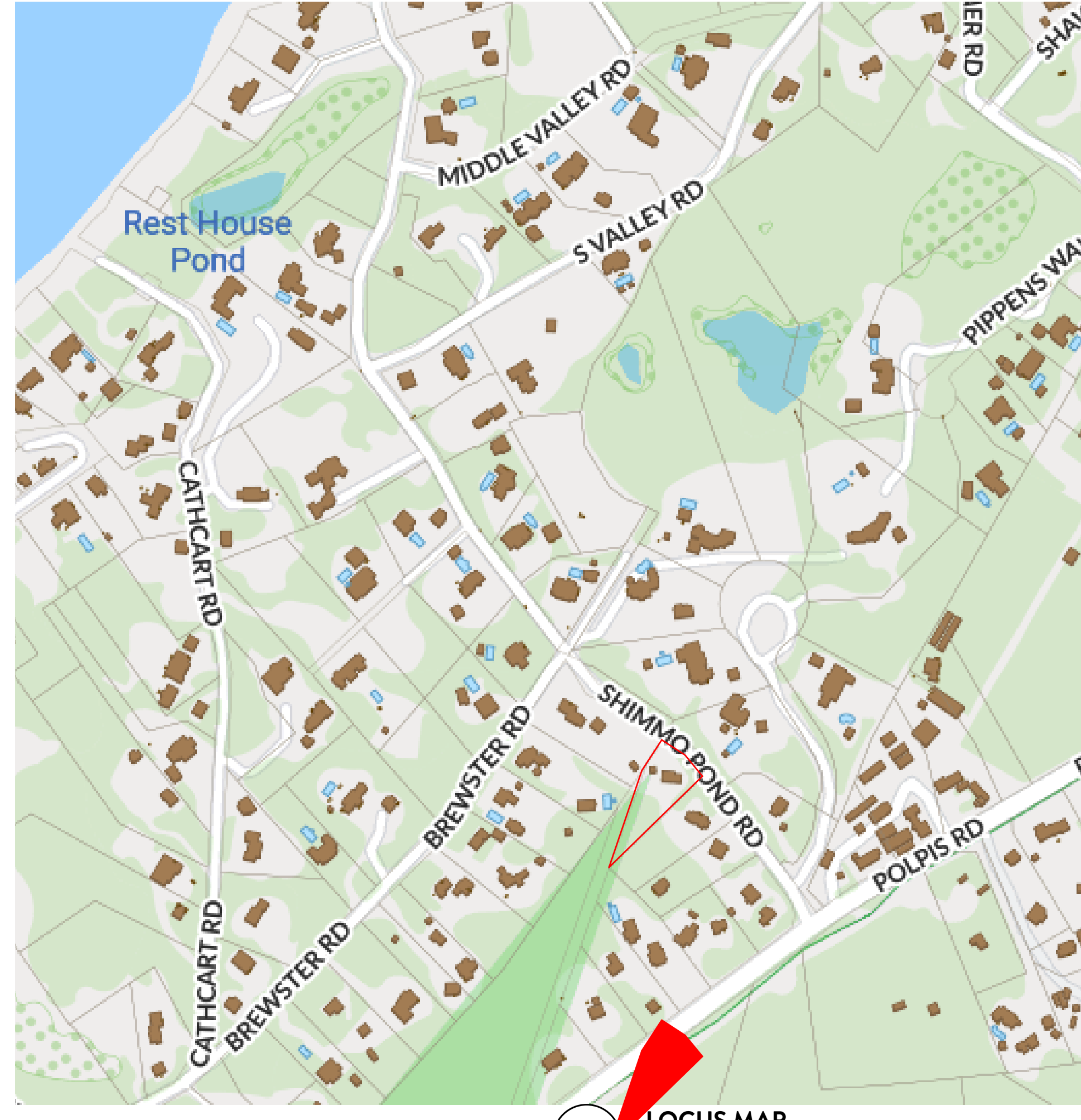
Additional Remarks _____
Historic Name: _____ (describe) _____
Original Date: _____
Original Builder: _____
Is there an HDC survey form for this building attached? Yes N/A *Cloud on drawings and submit photographs of existing elevations.

DETAIL OF WORK TO BE PERFORMED

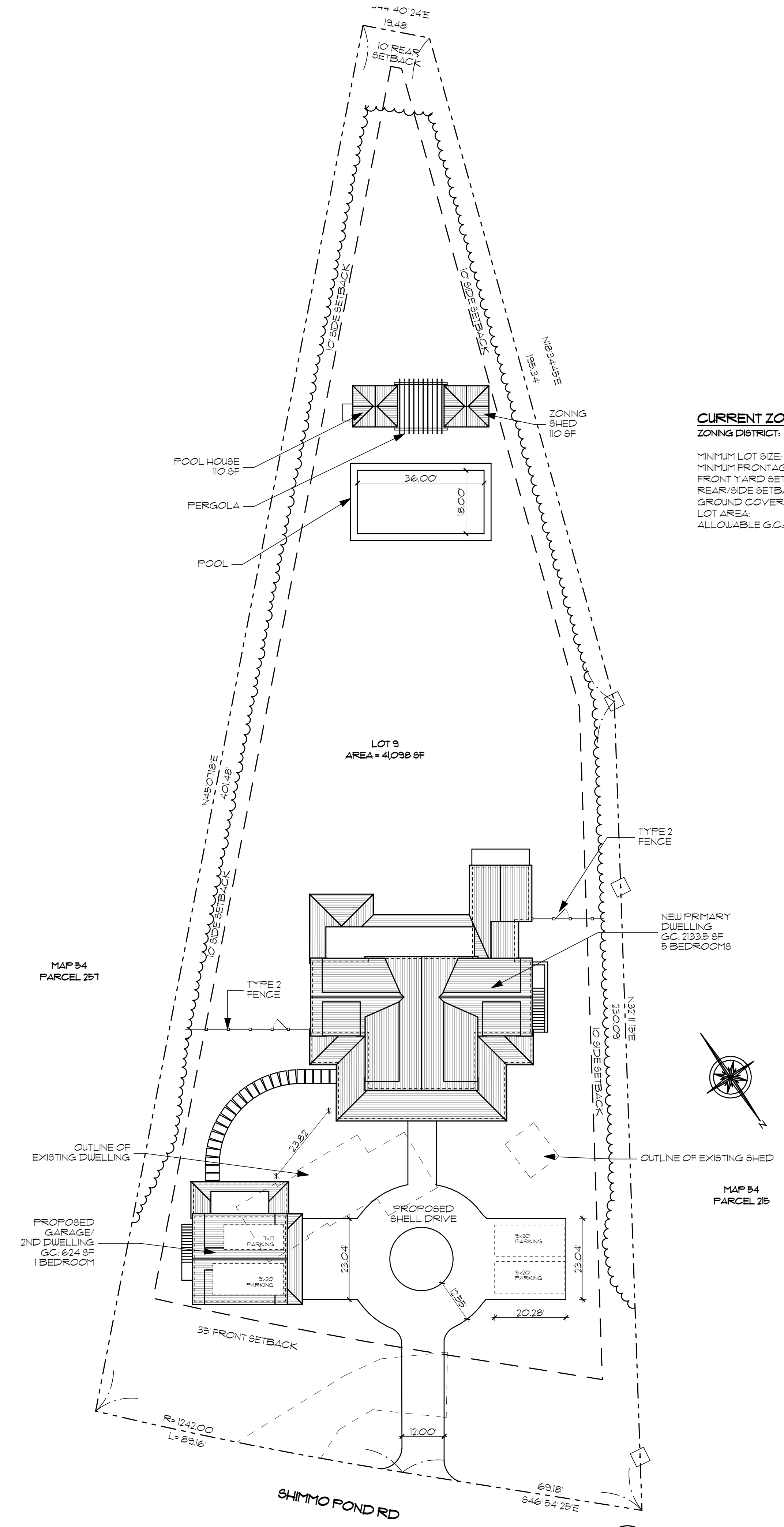
Foundation: Height Exposed 2" Block Block Parged Brick (type) _____ Poured Concrete Piers
Masonry Chimney: Block Parged Brick (type) _____ Other _____
Roof Pitch: Main Mass 9 /12 Secondary Mass _____ /12 Dormer _____ /12 Other _____
Roofing material: Asphalt: 3-Tab Architectural
 Wood (Type: Red Cedar White Cedar, Shakes, etc.)
Skylights (flat only): Manufacturer _____ Rough Opening _____ Size _____ Location _____
Gutters: Wood Aluminum Copper Leaders (material) _____
Leaders (material and size): _____
Sidewall: White cedar shingles Clapboard (exposure: _____ inches) Front Side
 Other _____
Trim: A. Wood Pine Redwood Cedar Other _____
B. Treatment Paint Natural to weather Other _____
C. Dimensions: Fascia _____ Rake 1x6 Soffit (Overhang) 9" +/- Corner boards 5/4 x 6 Frieze _____
Window Casing 5/4 x 4 Door Frame 5/4 x 4 Columns/Posts: Round _____ Square _____
Windows*: Double Hung Casement All Wood Other _____
 True Divided Lights(muntins), single pane SDL's (Simulated Divided Lights) Manufacturer Marvin
Doors* (type and material): TDL SDL Front French, 6 lite Rear _____ Side _____
Garage Door(s): Type _____ Material _____
Hardscape materials: Driveways _____ Walkways _____ Walls _____

* Note: Complete door and window schedules are required.
COLORS
Sidewall Natural Clapboard (if applicable) _____ Roof Natural
Trim White Sash White Doors White
Deck Natural Foundation Natural Fence _____ Shutters _____

* Attach manufacturer's color samples if color is not from HDC approval list.
I hereby authorize the agent named above to act on my behalf to make changes in the specifications or the plans contained in this application in order to bring the application into compliance with the HDC guidelines. I hereby agree to abide by and comply with the terms and conditions of this application. I hereby agree that the submission of any revisions to this application will initiate a new sixty-day review period.
Date _____ Signature of owner of record [Signature] Signed under penalties of perjury



2 LOCUS MAP



CURRENT ZONING CLASSIFICATION:
 ZONING DISTRICT: LUG-1
 MINIMUM LOT SIZE: 40000 S.F.
 MINIMUM FRONTAGE: 100 FT.
 FRONT YARD SETBACK: 35 FT.
 REAR/SIDE SETBACK: 10 FT.
 GROUND COVER %: 7%
 LOT AREA: 41098 SF +/-
 ALLOWABLE G.C.: 2877 SF

1 PROPOSED SITE PLAN
 Scale: 1" = 20'

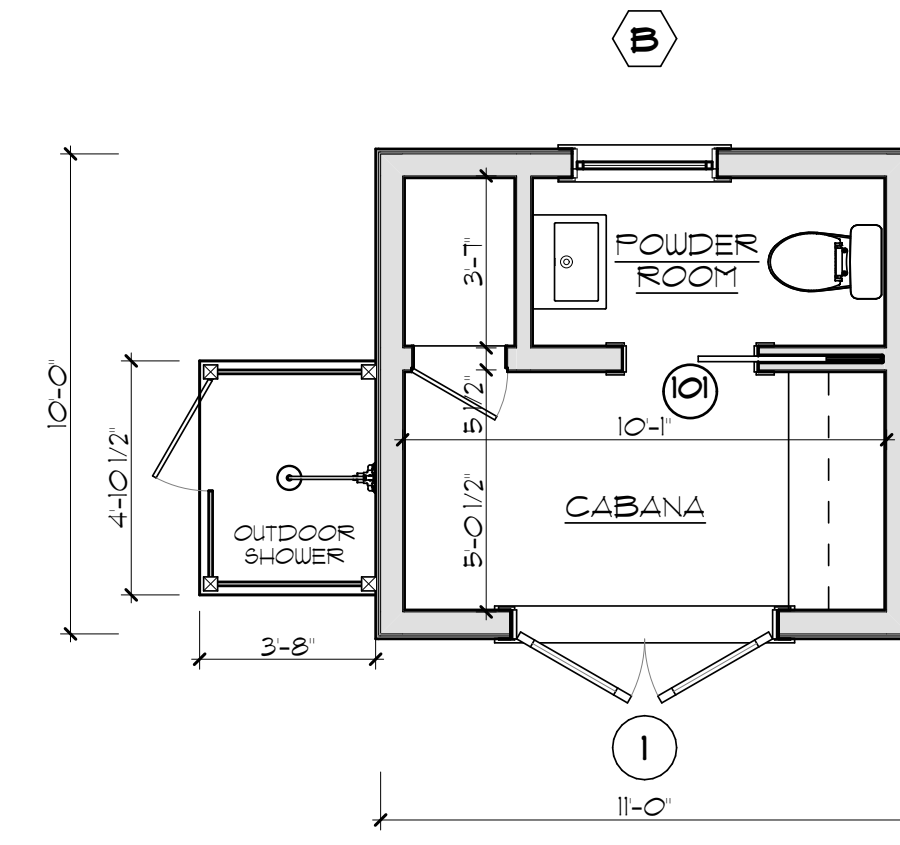
DATE	REVISIONS

Site Plan

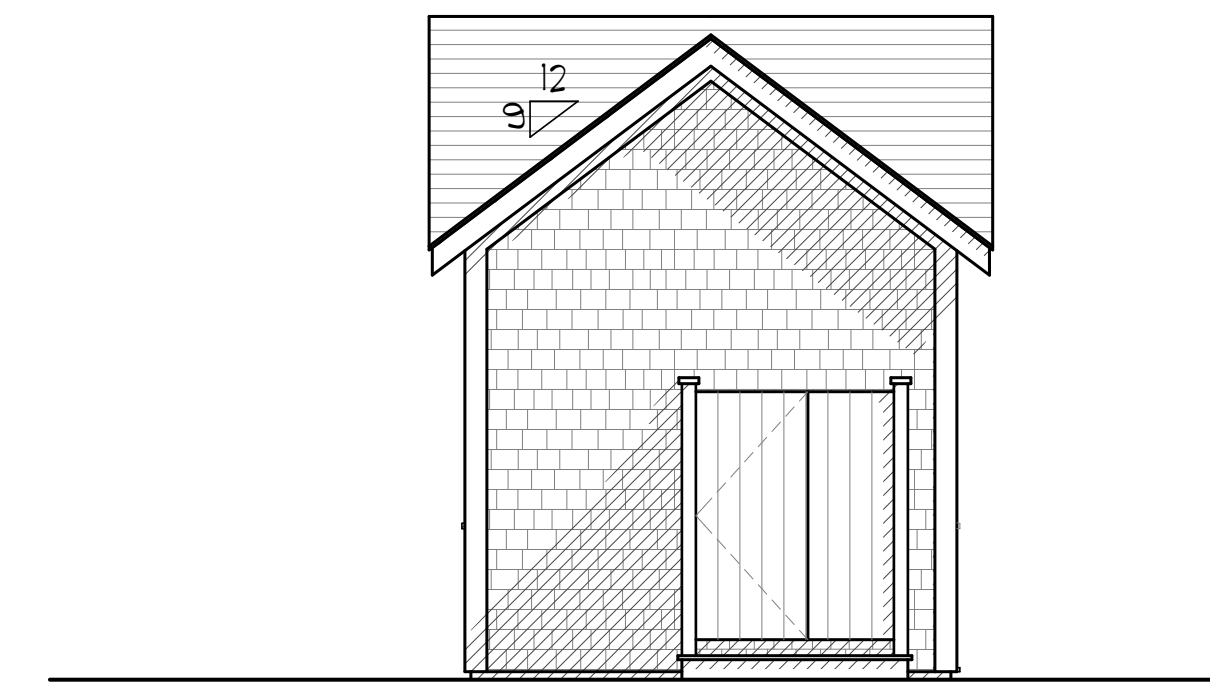
Residence at
 8 Shimmo Pond Rd
 Nantucket, MA 02554

MAP NO: 54 ZONING INFO: LUG-1
 PARCEL NO: 258 PROJECT NO: 15
 REVISION: May 12, 2022
 No publication or use of these documents is permitted without prior approval from Botticelli & Pohl, P.C.

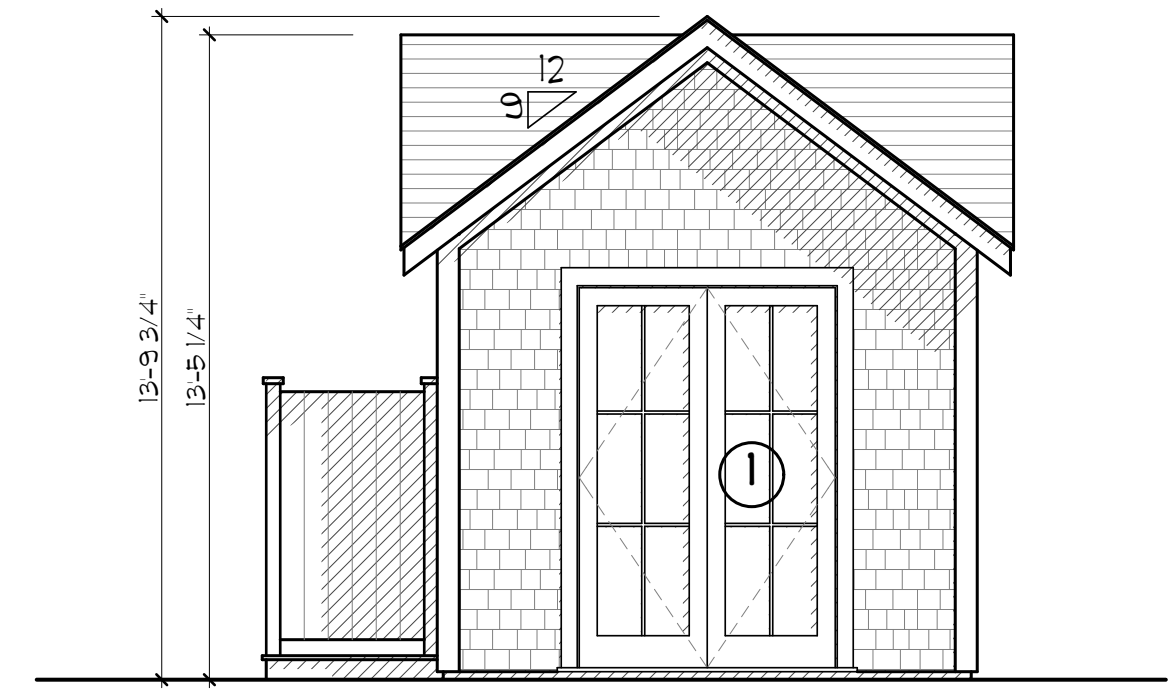
Cabana 8 Shimmo Pond Road Nantucket, MA Window & Exterior Door Schedule								H.D.C. Submission: 5/16/22 Rev.
Window Schedule								
No.	Qn.	Type	Manuf.	Product Number	Frame size	Rough Opening	Lights	Comments
B	1	Double Hung	Marvin	UWDH 3026	2-11 3/8" x 5-1"	3-0 3/8" x 5-1 1/2"	6 over 1	
Door Schedule								
No.	Qn.	Type	Manuf.	Door Dimension	Rough Opening (VERIFY)	Lights	Comments	
1	1	Double French	Custom	5-4" x 8-0"			6 ea.	
Notes: <ol style="list-style-type: none"> All windows will be Marvin windows as per above schedule, double glazed, 3DL with muntin configuration as shown on drawings. Min. dp 30 rating required with Low E 272 Argon glass. U-Value of .30 as per Stretch Energy Code Report. All glazing to come with compliance sticker as required by local building codes. All doors will be Custom doors as per above schedule, double glazed, 3DL with muntin configuration as shown on drawings. Min. dp 30 rating required with Low E Argon glass. All glazing to come with compliance sticker as required by local building codes. Contractor shall provide tempered glass in all locations required by code & in all window locations adjacent to showers/tubs and stairs. Mill shop will provide shop drawings for all window and door units to architect for approval prior to commencing construction. 								



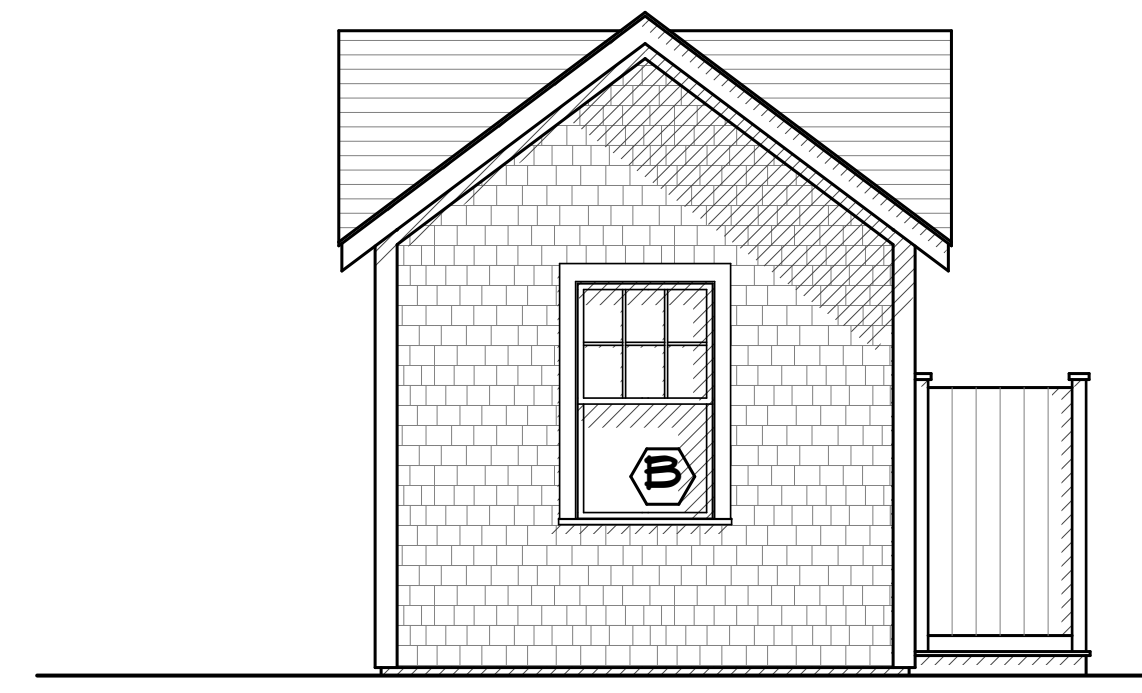
1 CABANA FLOOR PLAN
Scale: 1/4" = 1'-0"



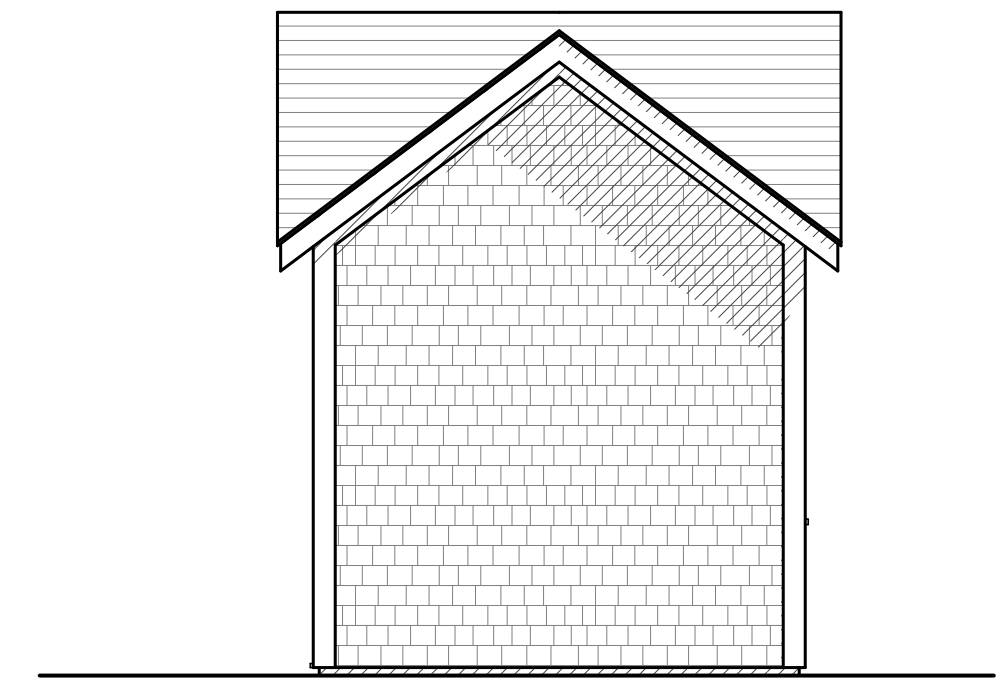
3 CABANA EAST ELEVATION
Scale: 1/4" = 1'-0"



2 CABANA NORTH ELEVATION
Scale: 1/4" = 1'-0"



5 CABANA SOUTH ELEVATION
Scale: 1/4" = 1'-0"



4 CABANA WEST ELEVATION
Scale: 1/4" = 1'-0"

DATE	REVISIONS

8 Shimmo Pond
Cabana

THIS CHECKLIST IS TO BE SUBMITTED WITH ALL HDC APPLICATIONS

Rev Mar 2020



REQUIRED WITH ALL APPLICATIONS:

- ✓
- ✓
- \$50 ✓
- ✓
- ✓
- ✓
- X
- ✓
- X
- ✓
- X
- ✓
- ✓
- BTP
- X
- X

1. **Completed Application Form:** Description of ALL work must be indicated on application form.
2. **Property Owner's Signature:** Current owner's signature preferred; if the agent is signing the application written authorization from the owner (letter, fax, email) must be provided.
3. **Application Fee:** See back of application for fee schedule or call the office.
4. **Locus Map (4 copies):** Location Map must include north arrow, parcel boundaries, primary and secondary streets. (Town GIS Map Site) <https://www.nantucket-ma.gov/151/GIS-Maps>
5. **Site Plan (4 Copies):** must include the following: lot dimensions, north arrow, all existing structures, proposed work (highlighted) with dimension to lot lines, scale, driveway, grade changes, and placement of HVAC units, electrical boxes, fuel tanks, etc..
6. **8-1/2" x 11" Copies of ALL Application Materials:** Must include the following: application form (reduced 64%), locus map, plot plan, all elevations and floor plans, window schedule, photographs, other relevant supporting material. All material MUST BE LEGIBLE (font size no smaller than 12), collated and stapled.
7. **Photographs:** Required of ALL applications for alterations to an existing structure. Photographs must be clear and labeled with application address or contextual address.
8. **Electronic submission:** All documents submitted to the HDC office must be emailed to hdcsubmissions@nantucket-ma.gov.

REQUIRED WHERE APPLICABLE:

1. **Supplemental Information for Historic Buildings:** It is the applicant's responsibility to research the historical status of any and ALL buildings. Additional information may be obtained from the Nantucket Historical Association Library. If not historic, denote on application.
2. **Exterior Elevations and Floor Plans (4 copies):** Must be 1/4 inch scale and include all affected sides of the building, cardinal points (N, S, E, W), dimensions, heights, floor and ceiling heights, elevations of finished grade, window details and placement of HVAC units, electrical boxes, fuel tanks, etc. **All changes from approved or existing design must be clouded on drawings.** All material MUST BE LEGIBLE, collated and stapled. Reduced sets should maintain a font size of 12.
3. **As-Built Plans (1 copy):** of existing elevations
4. **Hardscaping Plans (4 copies):** To legible scale. This includes fences, decks, porches, arbors, retaining walls, tennis courts, swimming pool, driveways, gazebos etc. All material MUST BE LEGIBLE, collated and stapled.
5. **Topographic Map:** Must show existing and proposed grade for any change of more than one foot in height on grade. Retaining walls must be applied for separately (see hardscaping plan).
6. **Door and Window Schedule (4 copies):** Must include window type (true divided, simulated divided), number of lights, dimensions, materials, manufacturers type name and type number.
7. **I UNDERSTAND THAT A TRUE DIVIDED LIGHT WINDOW/DOOR IS DEFINED AS MULTIPLE INDIVIDUAL SINGLE PANES OF GLASS (i.e., NOT DOUBLE-PANED OR INSULATED) ASSEMBLED IN THE SASH/DOOR USING MUNTINS.**
8. **Abutter Notification Materials** - Abutters list from Assessors Office, certified mail stubs, and a copy of letter are required for all applications for changes of 1000 square feet or more except in the Nantucket Historic Core and Sconset Historic Core where the requirement for new construction is 100 square feet.
9. **Approvals from Planning Board, Zoning Board of Appeals, Conservation Commission etc.**

(Initial to indicate read and understand)

Historic District Commission
2 Fairgrounds Road
Nantucket, MA 02554

June 14, 2021

To the Commissioners,

We, David S. Freysinger and Alicia Reggie Freysinger, Trustees of The Fleur-De-Lis Property Trust, owner of record of property located at 8 Shimmo Pond Road, authorize Botticelli and Pohl Architects to sign applications on our behalf.

Sincerely,


David S. Freysinger


Alicia Reggie Freysinger



HISTORIC DISTRICT COMMISSION

2 Fairgrounds Road

Nantucket, Massachusetts 02554

Telephone: 508.325.7587

Email: hdcsubmissions@nantucket-ma.gov

COMMISSIONERS

Ray Pohl
Chairman

Diane Coombs
Vice-Chairman

Val Oliver

Abigail Camp

John McLaughlin

ASSOCIATE COMMISSIONERS

Stephen Welch

TJ Watterson

Jesse Dutra

STAFF

Cathy Flynn
Land Use Specialist
cflynn@nantucket-ma.gov

Waiver of the HDC 10 Day Hearing Requirement

I Lisa Botticelli
AS AGENT FOR Fleur-De-Lis Property Trust
STREET ADDRESS 8 Shimmo Pond Road
MAP/PARCEL 54/258

UNDERSTAND THAT THE ABOVE REFERENCED APPLICATION SUBMITTED ON

May 13, 2022

WILL NOT BE REVIEWED BY THE HISTORIC DISTRICT COMMISSION, DUE TO THE COVID-19 PANDEMIC, WITHIN THE 10 DAY PERIOD AS REQUIRED BY:

SECTION 8 of the HDC enabling legislation: ... The Commission shall meet within ten (10) days of the receipt of an application for a certificate of appropriateness or permit for removal...

AND I AGREE TO A WAIVER OF THE ABOVE MENTIONED REQUIREMENT.

[Signature]
Signature

5/10/2022
Date