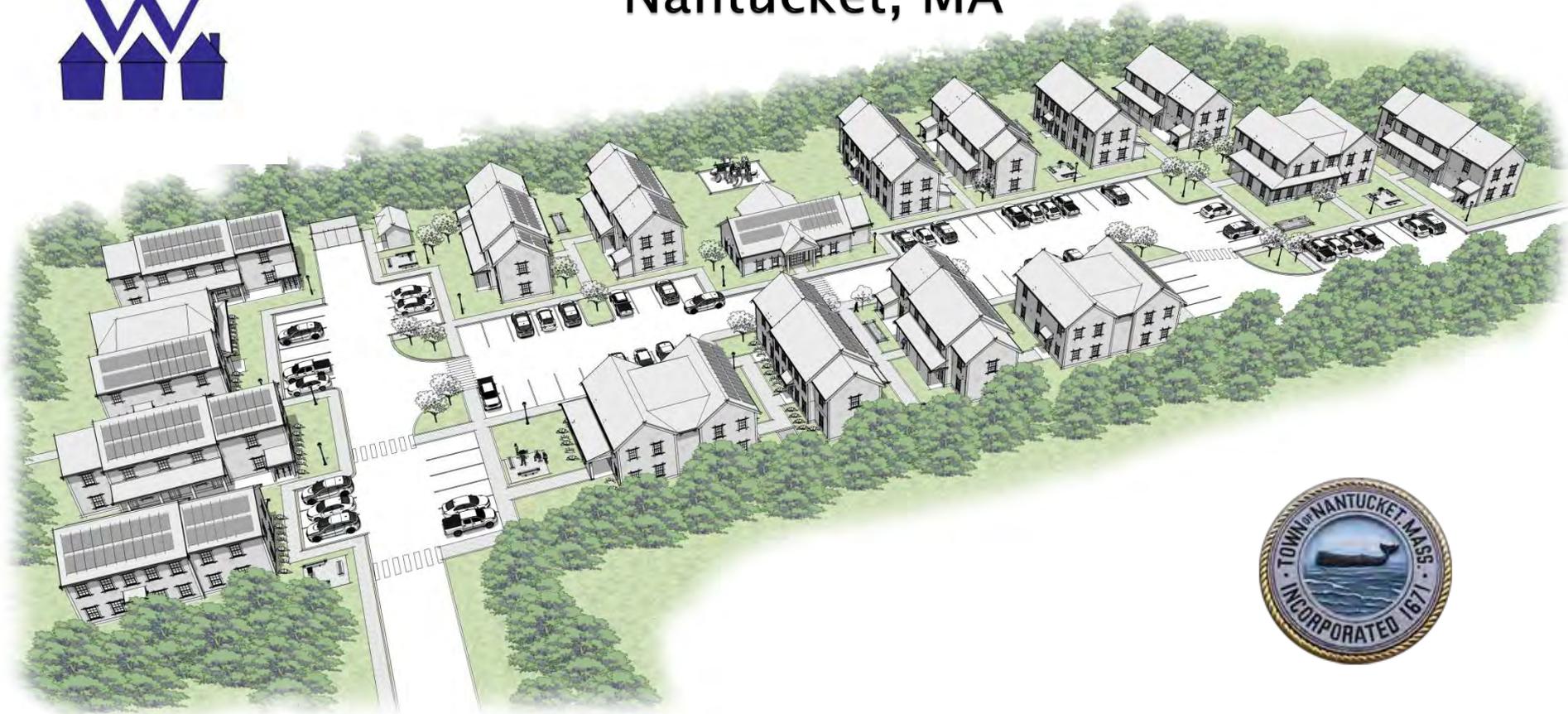


WOMEN'S INSTITUTE



Workforce Housing at Fairgrounds Road Nantucket, MA



Fairgrounds Housing Interview Agenda

1. Agenda Outline & Team Intro
 - a) WIHED- Developer
 - b) BLF&R Architects- Architect/Landscape Architect
 - c) Blackwell & Associates- Civil/Site Engineer
 - d) Dellbrook | JKS - Construction Manager
 - e) Property Management Approach w/ local partner
2. Overall Development Concept
 - a) Goal and Mission Statement
 - b) Overview of Proposed Development
3. Funding Approach & Potential Project Development Schedule
 - a) Probable Funding Approach & Timeline
 - b) Housing Affordability/ Proposed Unit Mix Ratio
 - c) Assumed Local Planning Process (40B permitting period)
4. Overview of Site
 - a) Surrounding Site Density
 - b) Site Aerial
 - c) Site Constraints and Challenges
5. Overview Community Design Approach
 - a) Primary Site Design Features
6. Building Design
 - a) Primary Building Design Approach
 - b) Energy Efficiency & Green Technologies
 - c) "Enterprise Green Communities" Program
7. Construction Approach
 - a) Construction & Logistics Plan
8. Benefits of Our Proposal
9. General Q & A

Proposed Project Team

WOMEN'S INSTITUTE



Developer- **Women's Institute (Boston & Hartford)**

Elizabeth Crum – Executive Director

Kristin Anderson– Development Manager



BROWN LINDQUIST FENUCCIO & RABER
ARCHITECTS, INC.

Architect- Brown Lindquist Fenuccio & Raber Architects, Inc.
(Yarmouthport)

Kurt Raber– Principal-in-Charge/ Architect

Kathryn Giardi- Project Manager/ Designer

Richard Fenuccio- Consulting Architect

BLACKWELL & ASSOCIATES, Inc.

Site/ Civil Engineer- Blackwell & Associates (Nantucket)

Leo C. Asadoorian, PS, CSE - Project Manager

Arthur D. Gasbarro, PE, LEED AP

DELLBROOK | JKS
Honesty | Integrity | Family Values

Construction Manager- Dellbrook | JKS (Falmouth)

Christopher Conway – Senior Vice President of Operations



Elizabeth Crum – Executive Director
Kristin Anderson – Development Manager

- 35 year history in housing and community development
- Staff of 12 with significant experience in real estate development, asset management and social service provision
- Developed over 1,500 affordable units of housing across 75+ properties, 1,000 of which are in Massachusetts
 - Specialized in integrating supportive services for residents
 - Raised over \$135M to date for development and preservation projects in Massachusetts
 - Adept at structuring transactions and layering public and private financing for nonprofits and housing authorities
 - Significant experience with Chapter 40B
- Recent awards:
 - Novogradac Journal of Tax Credits: Developments of Distinction Awards, Major Community Impact (2014) for Victory Gardens in Newington, CT
 - National Housing and Rehabilitation Association: J. Timothy Anderson Award for Excellence in Historic Preservation, Most Advanced Financial Structure (2014) for YWCA Cambridge



Supporting Team

Qualification Summaries

Kurt Raber- Principal-In-Charge/ Architect
Kathryn Giardi- Project Manager/ Designer
Richard Fenuccio- Consulting Architect

- 47 years of Providing Architectural & Project Management Services
- Highly Trained and Creative Staff of 16
- Offices in Yarmouthport and Plymouth
- Depth of multi-unit housing experience, for municipal & commercial clients with range of funding sources:
 - Family Rental (200 + Units on Cape Cod)
 - Senior Housing/ Assisted Living
 - Special Needs
- Significant experience with local Planning Board, HDC & ZBA (40b)
- Recent Awards- NAHB/ HBRACC Melpet Farm Community Housing, Dennis
- Recent work on Nantucket including Sachem Path Master Plan Design & 40B Permitting, Miacomet Golf Employee Housing, Wannacomet Water Company, and Cape Cod 5 Cent Savings Bank (LEED Silver).
- LEED and Net Zero Energy Design Experience



Blackwell & Associates, Inc.

20 Teasdale Circle Nantucket, Massachusetts 02554 (508) 228-9026

Professional Land Surveyors & Civil Engineers Nantucket Island, Massachusetts

Leo C. Asadoorian, PS, CSE - Project Manager

Arthur D. Gasbarro, PE, LEED AP

- Exclusive to work on-island for the past 33 years.
- Blackwell & Associates has performed all survey & engineering work on subject property since 1994 and already has an extensive data base for the property.
- Has designed over 35 Approval Required Subdivisions, knowledgeable on local requirements for all aspects of approvals.
- Can provide Field to Finish Services both in Survey Layout and Civil Engineering Design
- Registered staff are members of the National Society of Professional Surveyors, American Society of Civil Engineers and MALSC. Adhere to the professional standards established by these professional organizations



Christopher Conway – Senior Vice President of Operations

Dellbrook | JKS has over 33 Years of experience providing a full range of construction services throughout the New England Region including Southeastern Massachusetts, Cape Cod, Martha's Vineyard and Nantucket.

- Offices in Quincy & East Falmouth, Massachusetts
- Over 180 talented professionals with experience in a variety of building sectors, including affordable multifamily housing, senior and assisted living facilities.
 - *Over 500 Affordable Multi-Family Units, Over 1,200 Senior Housing Units*
- Our team has years of construction experience on Nantucket, and is familiar with the nuances and regulatory agencies involved in working on island. A few examples of Nantucket projects include: **Sachem's Path Housing**, **White Elephant Hotel** renovations, Nantucket Public Safety Facility, Nantucket Culinary Center and Corner Table Café, and Cape Cod 5 Cent Savings Bank (LEED Silver).
- Dellbrook | JKS is the recipient of an ENERGY STAR Leadership in Housing Award.
- LEED Project Experience:
 - *4 LEED Certified Projects, 9 LEED Silver Certified Projects, 10 LEED GOLD Certified Projects, 2 LEED Platinum Certified Projects*





Anne Kuszpa– Executive Director

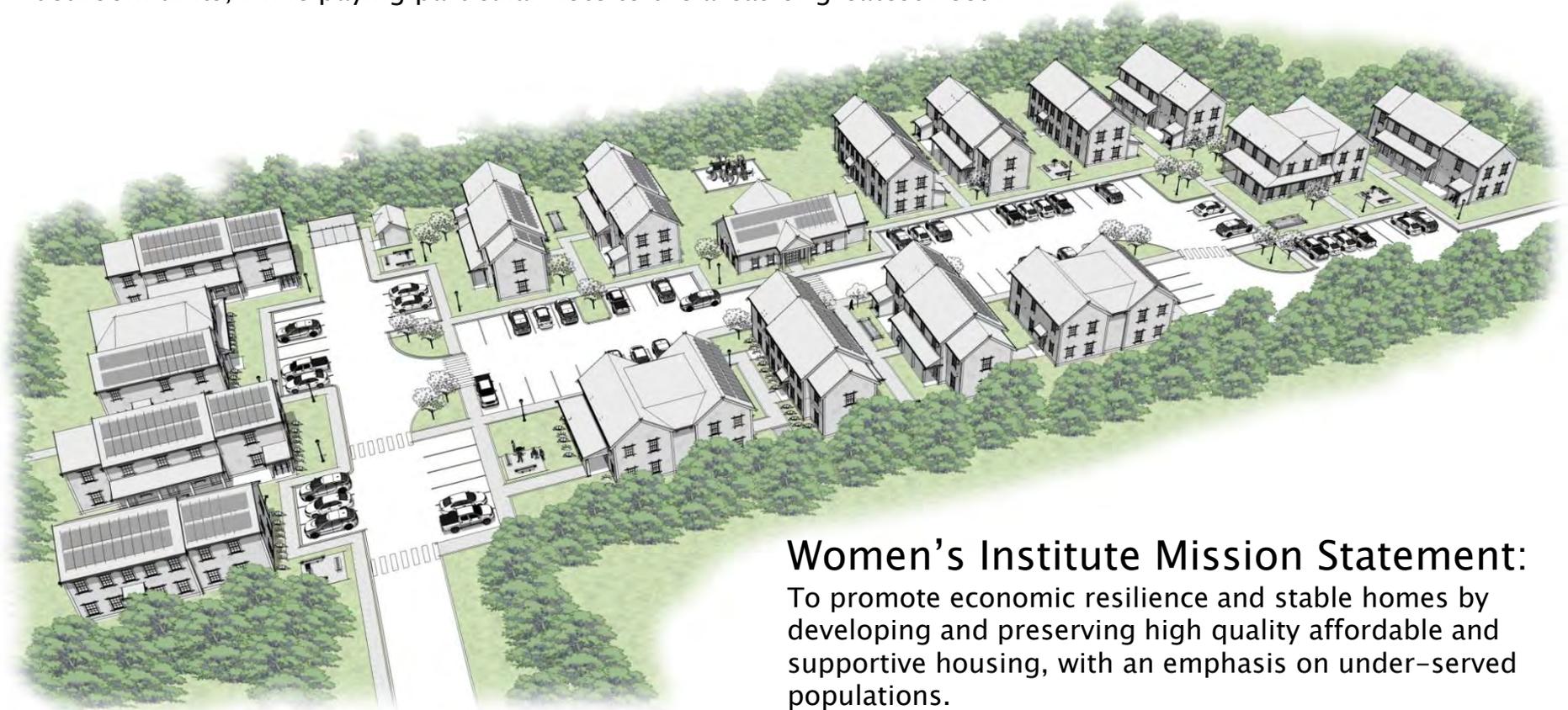
Approach to Property Management & Community Engagement

- In-house Asset Manager
 - Oversees fiscal and operational performance of Housing Portfolio
 - Direct relationship with property management agency
- Local Nantucket Partnerships
 - Housing Nantucket
 - Unit reserved for on-site manager
 - Long-term relationships with multiple seasoned property managers
- Community Engagement and Resident Involvement
 - Transparency and collaborative approach to project development
 - Community Room for resident gatherings and community use



Overall Development Concept

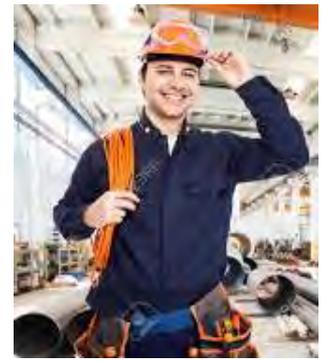
Nantucket RFP/Goal Statement: It is the Town's preference that the development reflects the Nantucket community aesthetic and provides housing for a range of family sizes, including studio/one bedroom units, while paying particular note to the areas of greatest need.



Women's Institute Mission Statement:
To promote economic resilience and stable homes by developing and preserving high quality affordable and supportive housing, with an emphasis on under-served populations.

Overview of Proposed Development

- A broad range of housing options to meet the broad year-round housing needs of Nantucket
 - True mixed-income community that provides housing options for families earning between \$19,920-\$104,390; greater affordability that aligns with Nantucket and WI mission
 - Mix of unit sizes ranging from Studios to Three-Bedrooms, with a focus on creating more housing options for small and growing families on the island (one and two-bedrooms)
- A complete neighborhood feel that ties to the natural and community assets of Nantucket.
 - Neighborhood pattern that promotes community building and connection to the community (i.e. bike path, nearby commercial district)
 - On site community assets, including access to bike path, garden space, playground space, and a community room
- Fiscally and Environmentally sustainable
 - On-site manager and local management partnerships to ensure responsive management practices
 - Solar plan and Enterprise Green Communities design



Funding Approach/ Potential Project Development Schedule



Affordability	# of Units	% of Units
30% AMI	2	3%
50% AMI	11	17%
80% AMI	5	8%
100% AMI	11	17%
110% AMI	34	53%
Property Mgr.	1	2%
Total	64	100%

Unit Type	Standard	ADA	Adaptable	Total	SF Range
Studio	6	1	1	8	± 455 SF
1BR	22	1	1	24	± 620 SF
2BR	22	1	1	24	± 860 SF
3BR	5	1	1	7	± 1,015 SF
Mgr. 2 BR	1	0	0	1	± 860 SF
Comm. Bldg.	1	Yes	N/A	N/A	± 1,600 SF
Total	56	4	4	64	

Proposed Funding Summary

SOURCES OF FUNDS

Private Equity	
Owner's Equity:	\$ 5,402,805
Perm First Mortgage:	\$13,190,280
Mass Housing:	\$ 5,000,000
State AHT:	\$ 1,000,000
State- HOME/HIF/CBH:	\$ 1,000,000
Deferred Development Fee:	<u>\$ 843,763</u>
TOTAL SOURCES:	\$26,436,848

USES OF FUNDS

Direct Construction:	\$19,081,740
Construction Contingency:	\$ 1,431,131
Soft Costs:	\$ 3,111,495
Reserves, Overhead, Syndication, Fee:	<u>\$ 2,812,482</u>
TOTAL USES	\$26,436,848

Implementation Plan and Timetable*

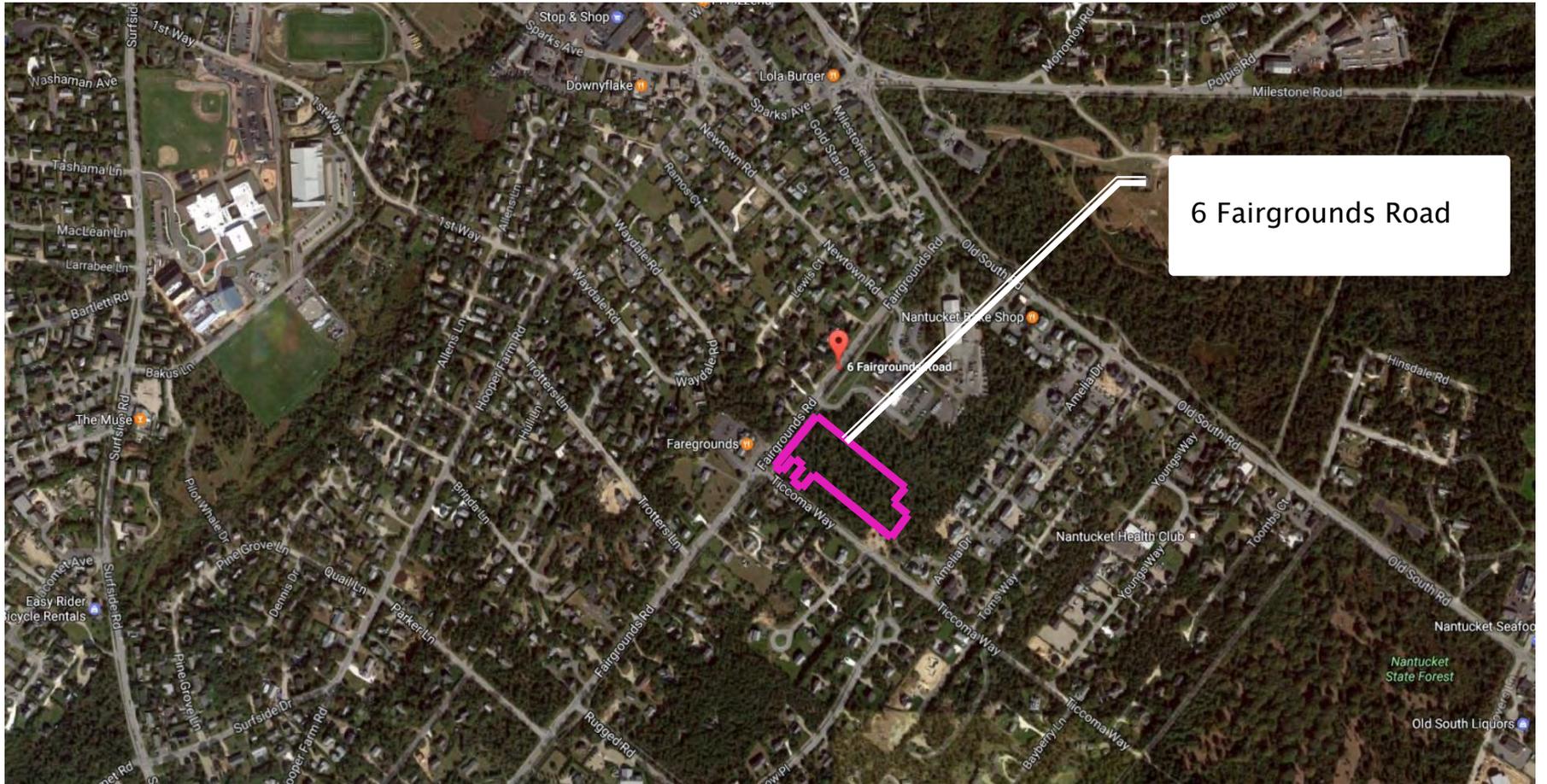
Item	Date
Site Control	August 2017
Preliminary Commencement/ Initial Planning of Joint Planning Session	Aug 2017-Dec 2017
Environmental Permits/ Approvals**	Oct 2017- Dec 2017
Financing Applications	Nov 2017- Dec 2018
Zoning Approval (Ch. 40B Comp Permit / Zoning Waivers)	Jan 2018 - Mar 2018
Financing Commitments	Rolling basis, anticipated July 2018
FHLB Affordable Housing Program	Rolling basis, anticipated July 2018
DHCD One Stop Pre-Application	Dec 2018
DHCD One Stop Application	Feb 2019
DHCD Funding Round	Feb 2019 - July 2019
Design Development/ Construction Docs	July 2019 - Feb 2020
Financial Closing/ Commence Construction	Feb 2020 - May 2020
Construction Completion	July 2021
Stabilized Occupancy	Aug 2021

* Assumes a successful initial application to DHCD; should the project have to re-apply for state funding, the project would shift out one year

** List of Anticipated Permits and Approvals

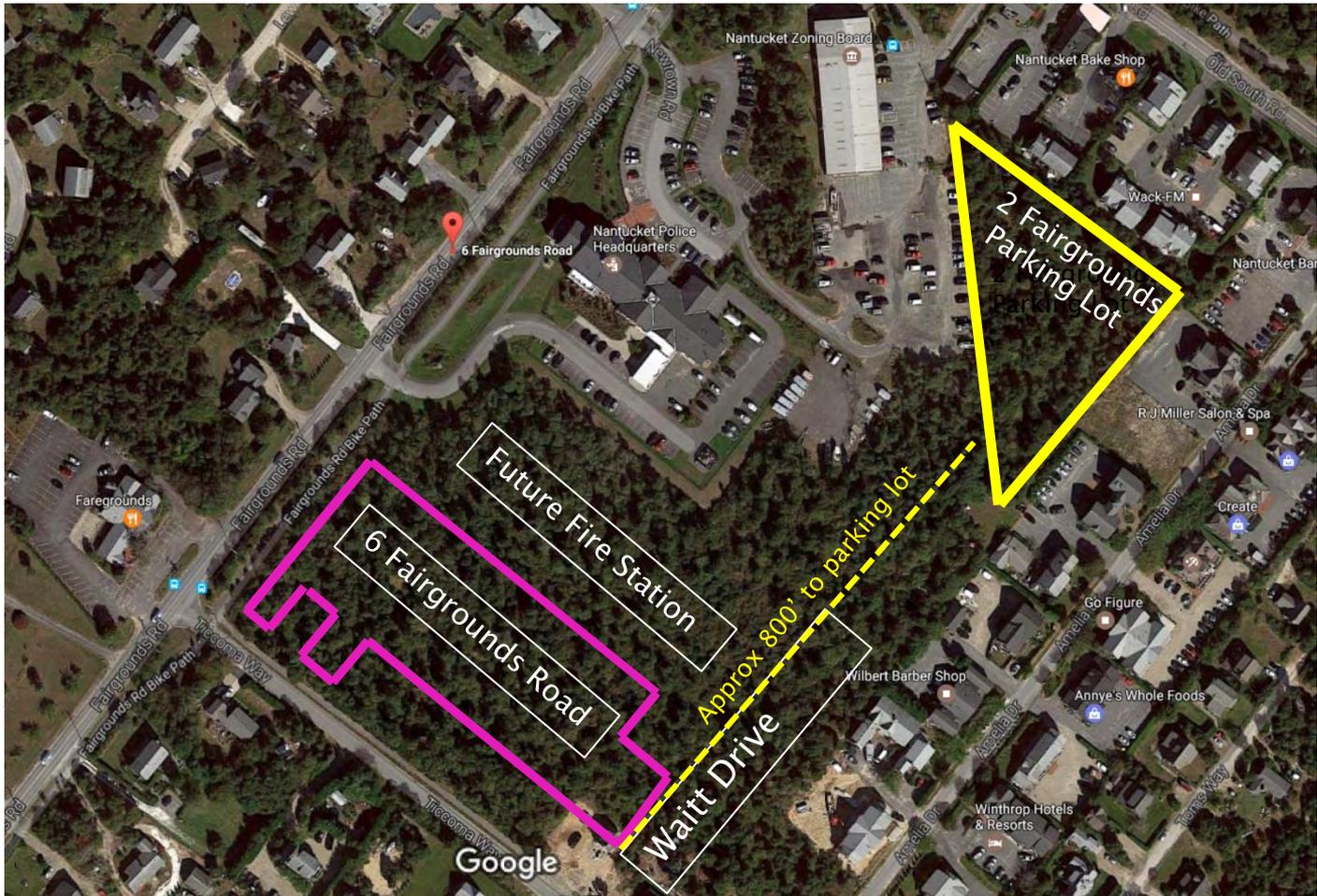
Overview of Site

- Surrounding Site Density
- Site Aerial



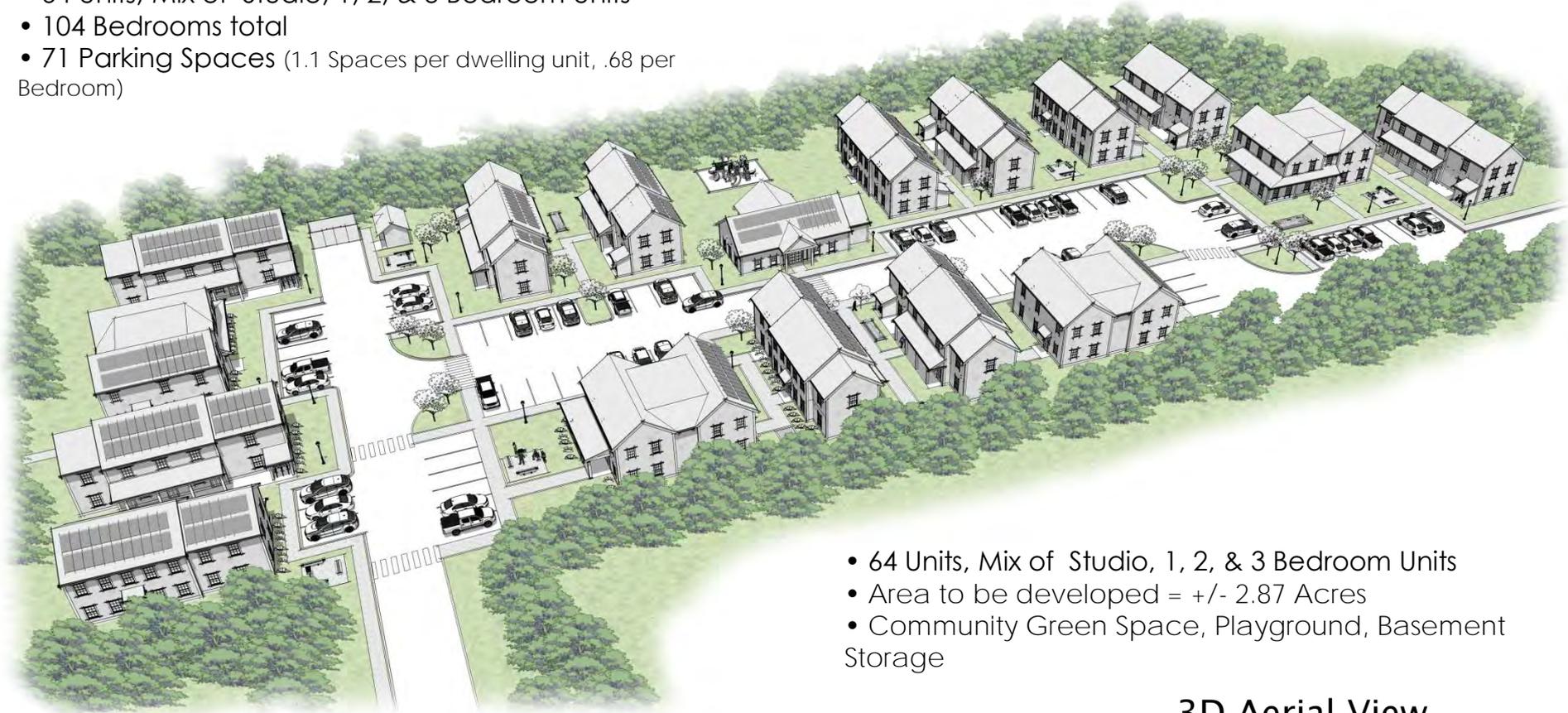
6 Fairgrounds Road

Surrounding Area Density



Site Aerial

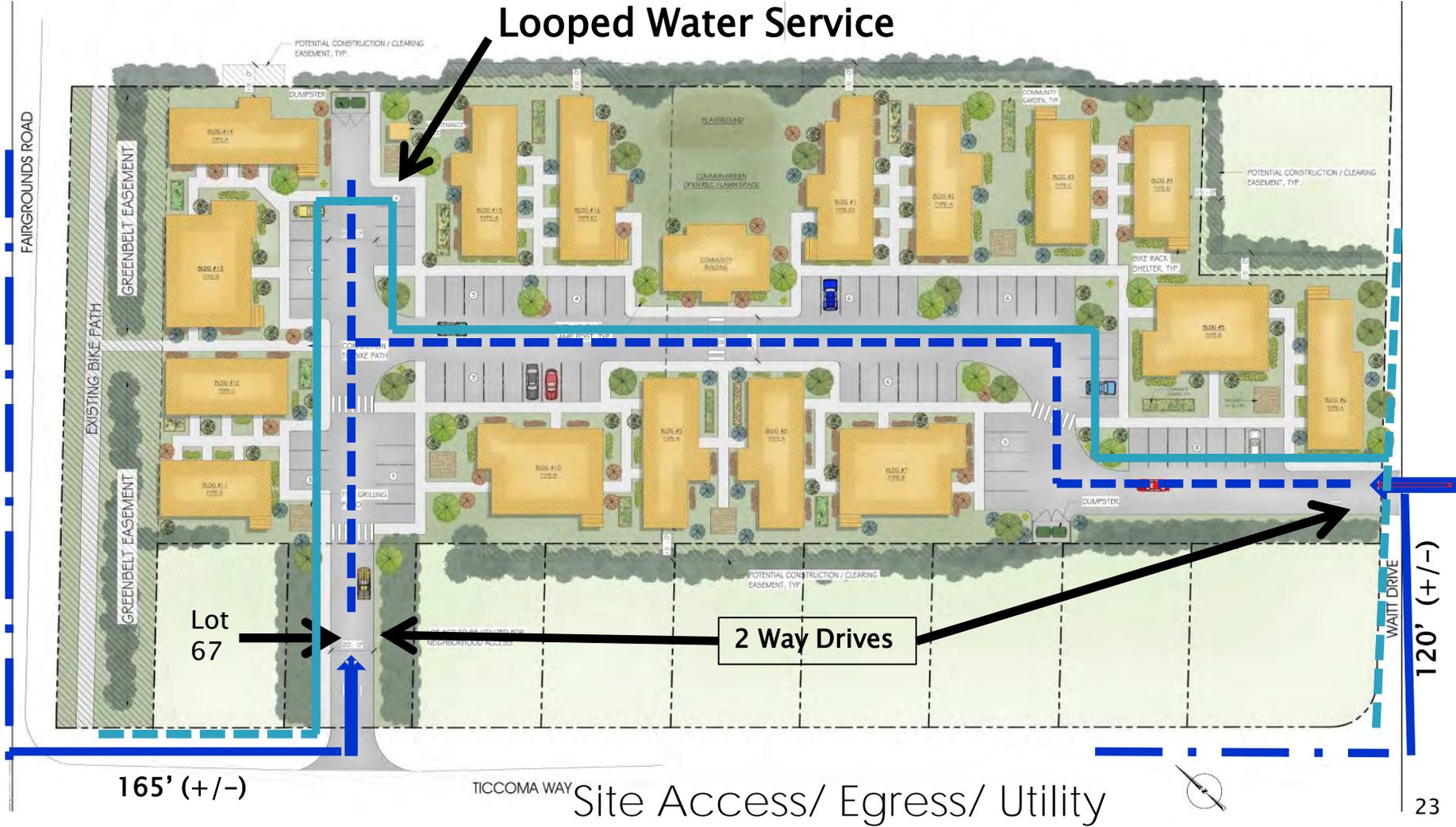
- 16 Residential Buildings, 1 Community Building
- 64 Units, Mix of Studio, 1, 2, & 3 Bedroom Units
- 104 Bedrooms total
- 71 Parking Spaces (1.1 Spaces per dwelling unit, .68 per Bedroom)



- 64 Units, Mix of Studio, 1, 2, & 3 Bedroom Units
- Area to be developed = +/- 2.87 Acres
- Community Green Space, Playground, Basement Storage

3D Aerial View

Looped Water Service



Lot 67

2 Way Drives

165' (+/-)

120' (+/-)

TICCOMA WAY

Site Access/ Egress/ Utility

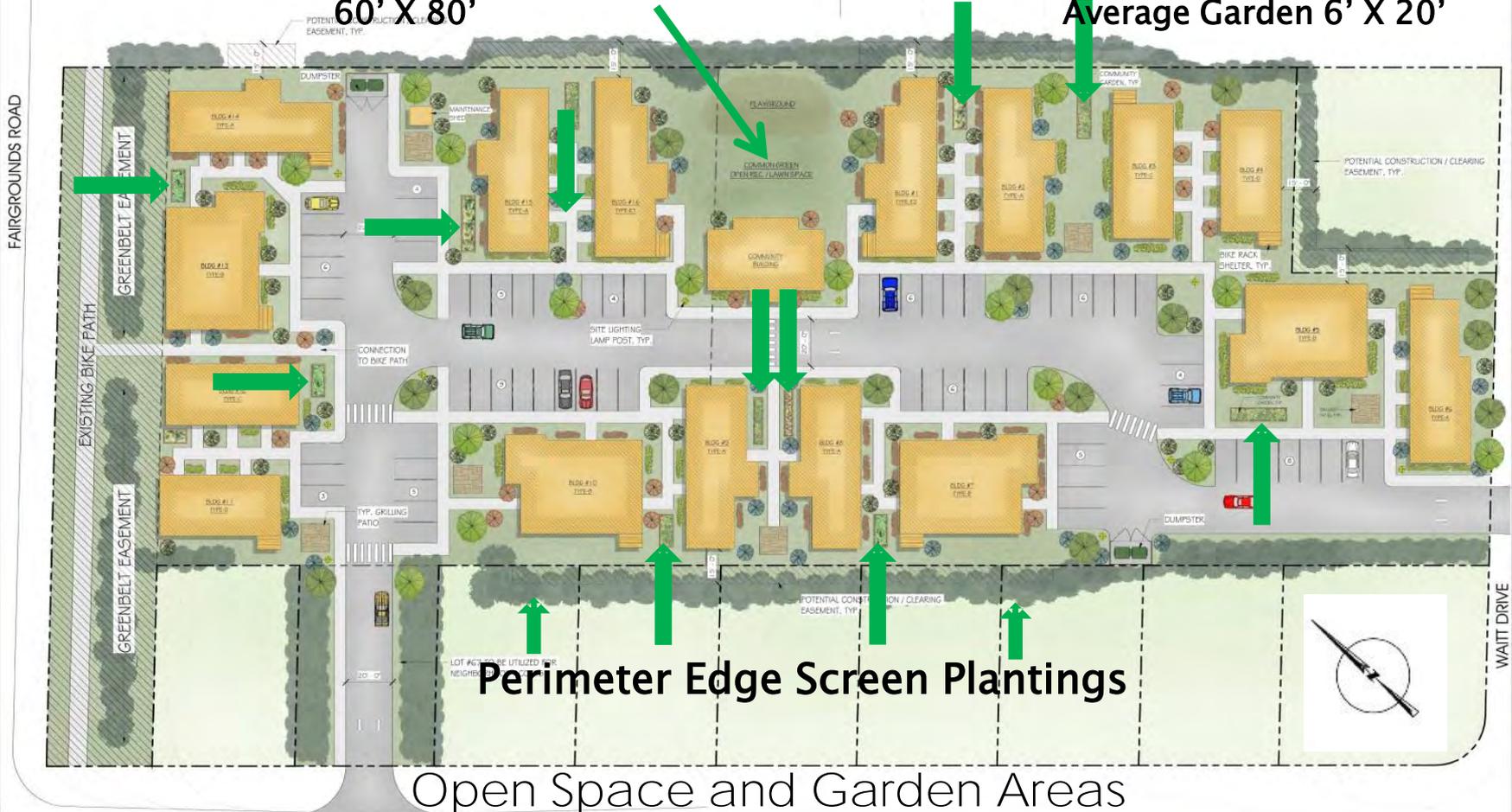
Central Open Space & Playground

60' X 80'

Shared Green Space and Garden Plots

Average Garden 6' X 20'

FAIRGROUNDS ROAD



WAITT DRIVE

Perimeter Edge Screen Plantings

Open Space and Garden Areas

TICCOMA WAY

6 Grilling Areas (red)

10 Bike Rack Shelters (blue)



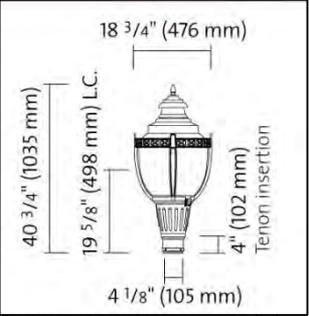
Bike Path Connection

Miscellaneous Site Amenities

TICCOMA WAY

FAIRGROUNDS ROAD

POTENTIAL CONSTRUCTION / CLEARING EASEMENT, TYP.



Typical LED, Fully Shielded/ Cut Off Fixture
 Dark Sky Compliant

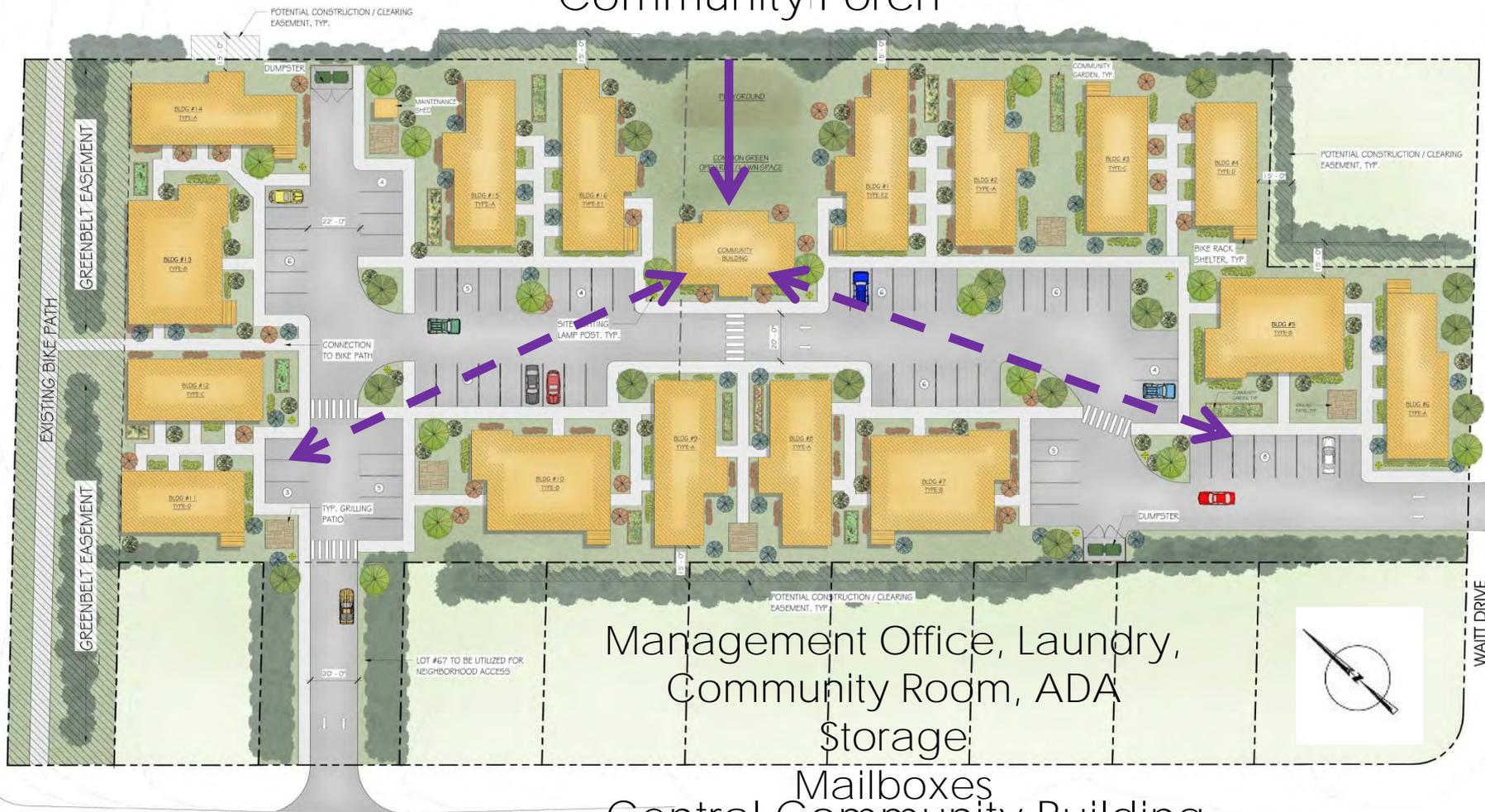
General Site Lighting



TICCOMA WAY

Community Porch

FAIRGROUNDS ROAD



Management Office, Laundry,
Community Room, ADA
Storage

Mailboxes
Central Community Building



TICCOMA WAY

Enclosed Dumpster Area

FAIRGROUNDS ROAD



POTENTIAL CONSTRUCTION / CLEARING EASEMENT, TYP.

DUMPSTER

MAINTENANCE SHED

PLAYGROUND

COMMON GREEN OPEN REC / LAWNSPACE

COMMUNITY GARDEN, TYP.

POTENTIAL CONSTRUCTION / CLEARING EASEMENT, TYP.

CONNECTION TO BIKE PATH

SITE LIGHTING LAMP POST, TYP.

TYP. GRILLING PATIO

DUMPSTER

POTENTIAL CONSTRUCTION / CLEARING EASEMENT, TYP.

LOT #67 TO BE UTILIZED FOR NEIGHBORHOOD



WAIT DRIVE

Enclosed Dumpster Area

Solid Waste Management

TICCOMA WAY

POTENTIAL CONSTRUCTION / CLEARING EASEMENT, TYP.



Privacy Concerns

- Average Distance 20-22' between Buildings
- Multi small scale social gathering spaces
- Higher than required STC code wall & ceiling ratings

Fire Protection

- All Residential Bldgs. AFSS

TYP. GRILLING PATIO

ORNAMENTAL FLOWERING SHRUBS AND PERENNIALS

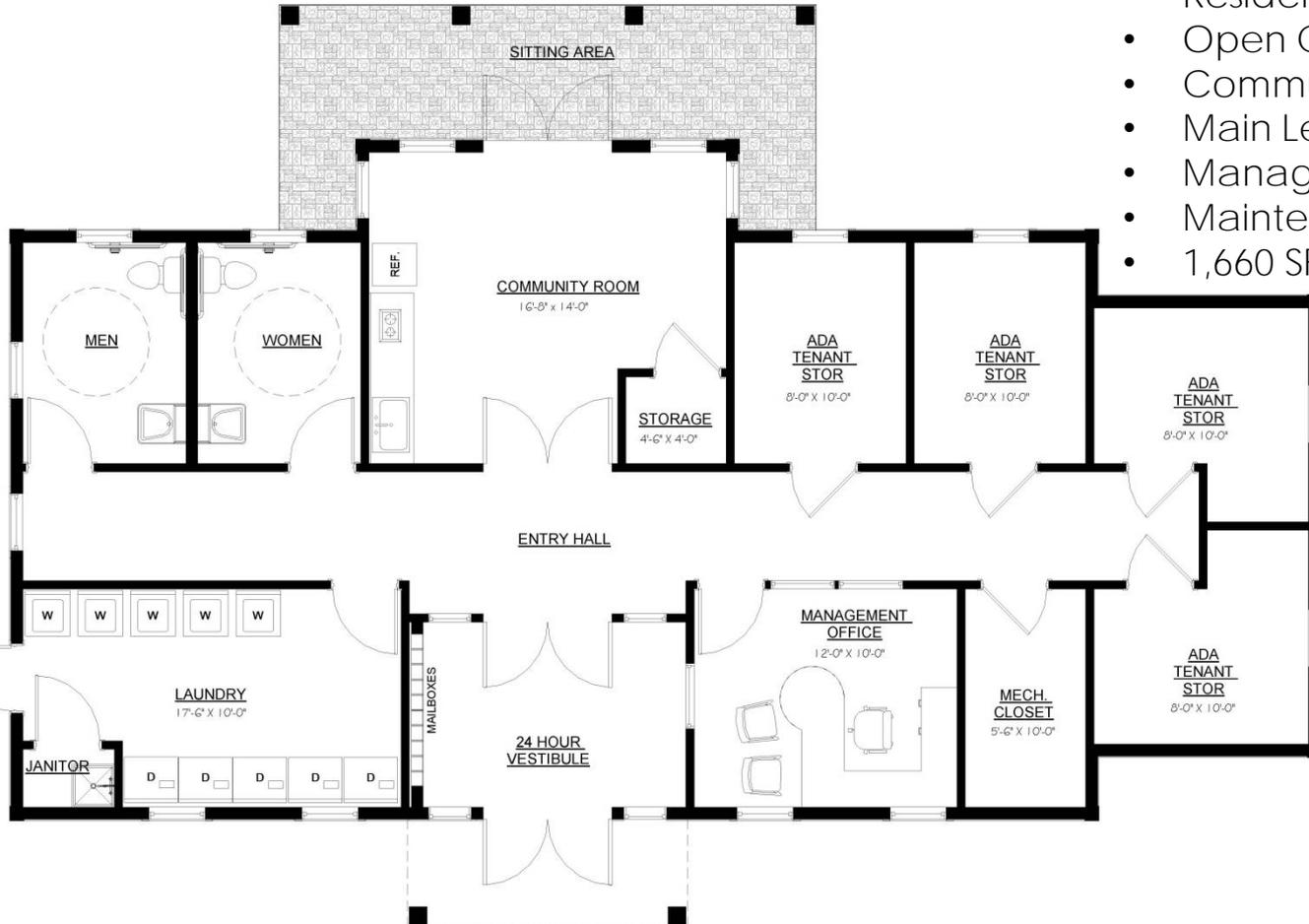
SHADE TREES, TYP.

Building Design

(Representative sampling of Buildings)

Community Building

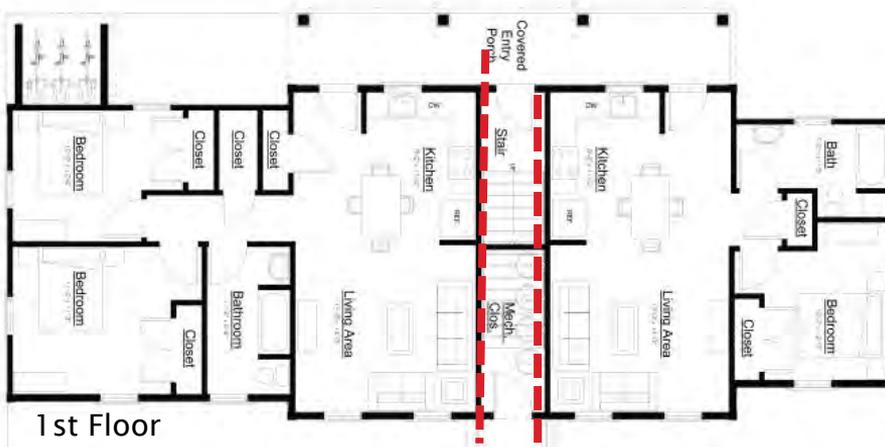
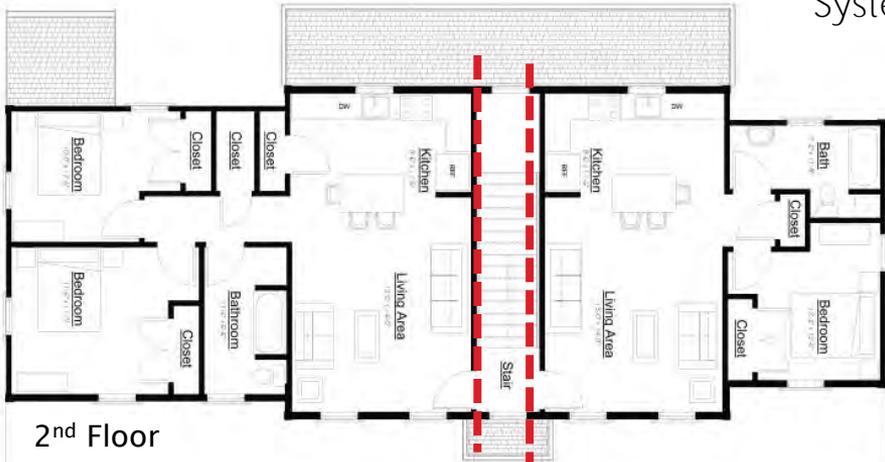
- 24/7 Access Laundry Facilities
- Resident Mailboxes
- Open Community Porch
- Community Room for 15-30 people
- Main Level ADA Storage
- Management Office
- Maintenance and Janitor Closets
- 1,660 SF



Residential Building Type A

- 4 Unit Building • 4 Two-BR, 1Bath Units •
- 31'-8"W, 69'-6 L, 29'-10 H

High efficiency envelope
All Electric HVAC Mini-Split
System



First Floor = 1,675 SF
Second Floor = 1,675 SF
 Total SF = 3,350 SF



➤ “Enterprise Green Communities” Program

- Leading U.S. Standard for the design, construction and operation of healthy, energy efficient and environmentally responsible affordable housing.
- Helps people living in affordable housing be healthier, spend less money on utilities, have more opportunities through their connections to transportation, quality food and health care services.
- Similar to the LEED Certification program but with additional healthy living strategies.
- 8 categories with a combination of mandatory and optional points in order to achieve certification.

➤ Energy Star (Tier I or Tier II)

At or above Energy Star Performance Requirements





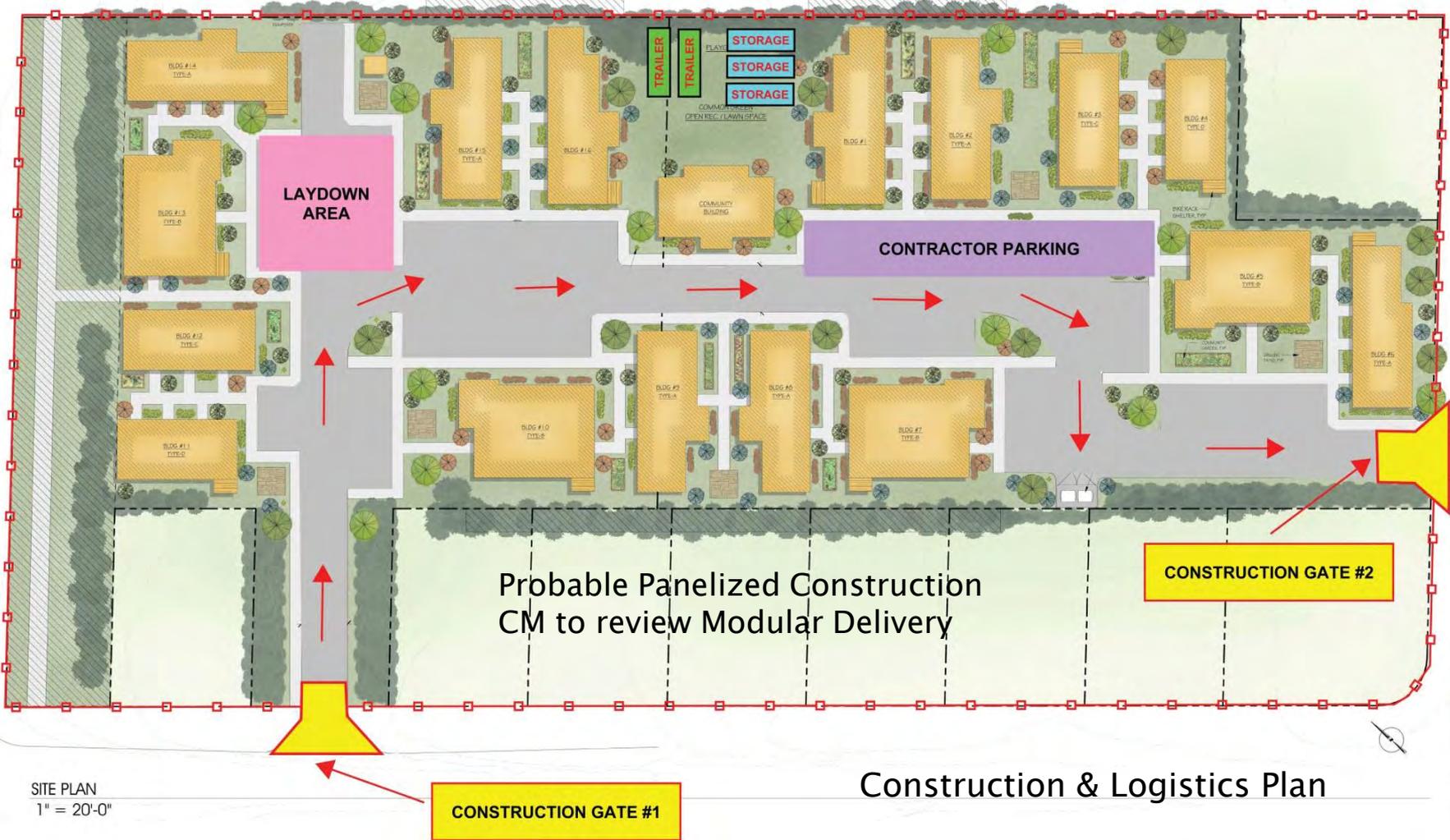
8 Categories:

1. Integrative Design
2. Location + Neighborhood Fabric
3. Site Improvements
4. Water Conservation
5. Energy Efficiency
6. Materials
7. Healthy Living Environment
8. Operations, Maintenance, and Resident Engagement



Solar PV Panels

Construction Approach



SITE PLAN
1" = 20'-0"

Construction & Logistics Plan

Benefits of Our Proposal

Benefits and Advantages of Our Proposal

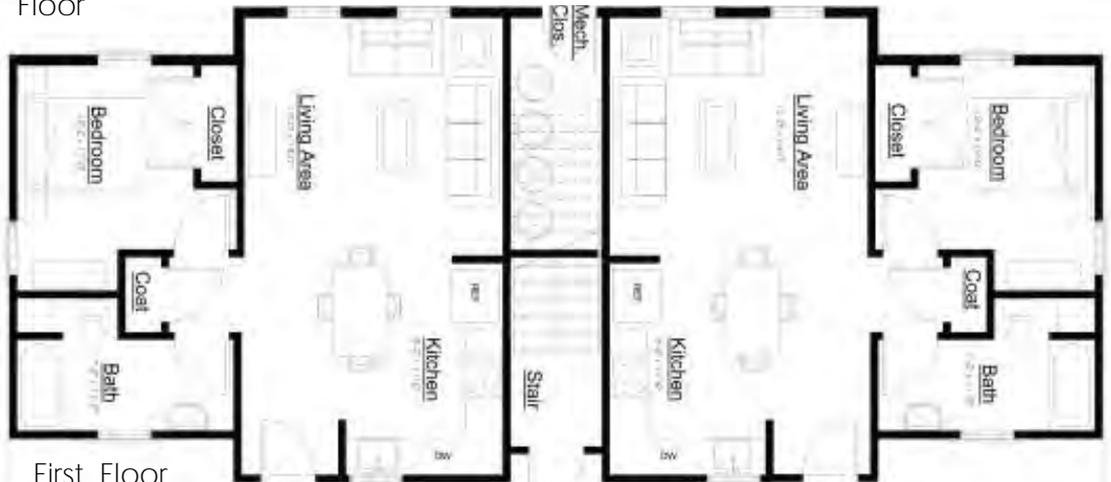
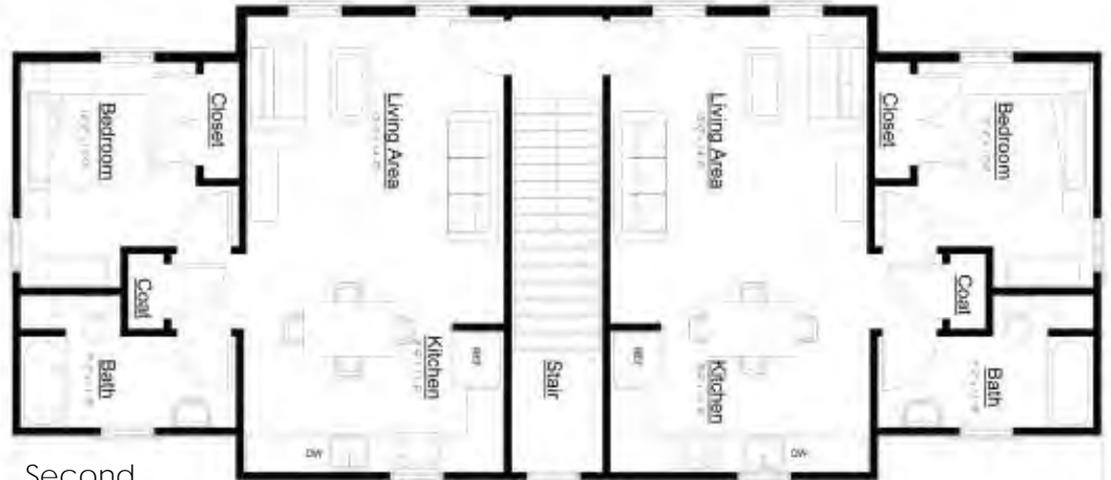
- Our Team
 - Local Partnerships
 - Blackwell Associates, Housing Nantucket, and local legal council allow for a local presence and nimble responses throughout the project's development.
 - Community engagement approach in all our projects, such as the formation of local advisory committees, design charrettes, etc.
 - Breadth of experience
 - Design and building experience of Multi-Unit Communities in historic villages such as Barnstable and Nantucket Counties. (BLF&R, Dellbrook | JKS)
 - Experienced developer with broad skills both as a regional developer and consultant, with in-house asset management staff, and a diverse team of project managers.
 - Mission oriented approach
 - Commitment to affordability and the community we serve
- Our Design
 - Traditional Neighborhood Community consistent with Nantucket streetscapes
 - Incorporates Enterprise Green Communities program & Solar PV
- Our Funding Experience and Success
 - Strong relationships with private and public funding organizations
 - Long history of successful financing and management of 73 affordable developments across the states of MA and CT
 - Skilled in layering of complex funding sources, including LIHTC, federal programs, and affordable housing loan products

General Q & A

Residential Building Type C

- Building Type C-
4 One BR, One Bath
Units

First Floor	= 1,400 SF
Second Floor	= 1,400 SF
<hr/>	
Total SF	= 2,800 SF



Residential Building Type D

- Building Type D- 2 One BR, One Bath, & 2 Studio Units

First Floor	=	1,275 SF	
Second Floor	=	1,275 SF	=
Total SF	=	2,550 SF	



Residential Building Type E

- Building Type E- 2 Studio Unit,
1 Two BR One Bath Unit
& 1 Three-BR, Two Bath Unit

First Floor = 1,750 SF
Second Floor = 1,530 SF
Total SF = 3,280 SF

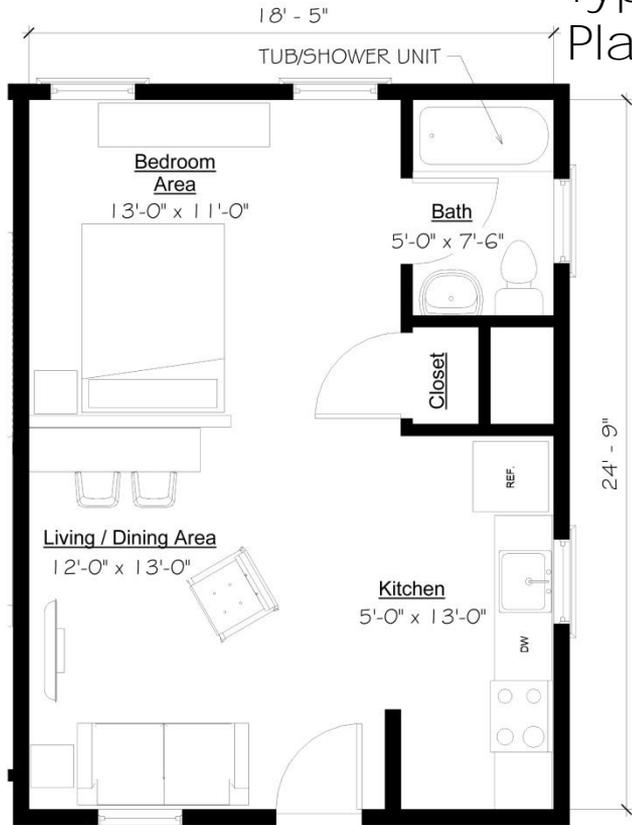


Second Floor

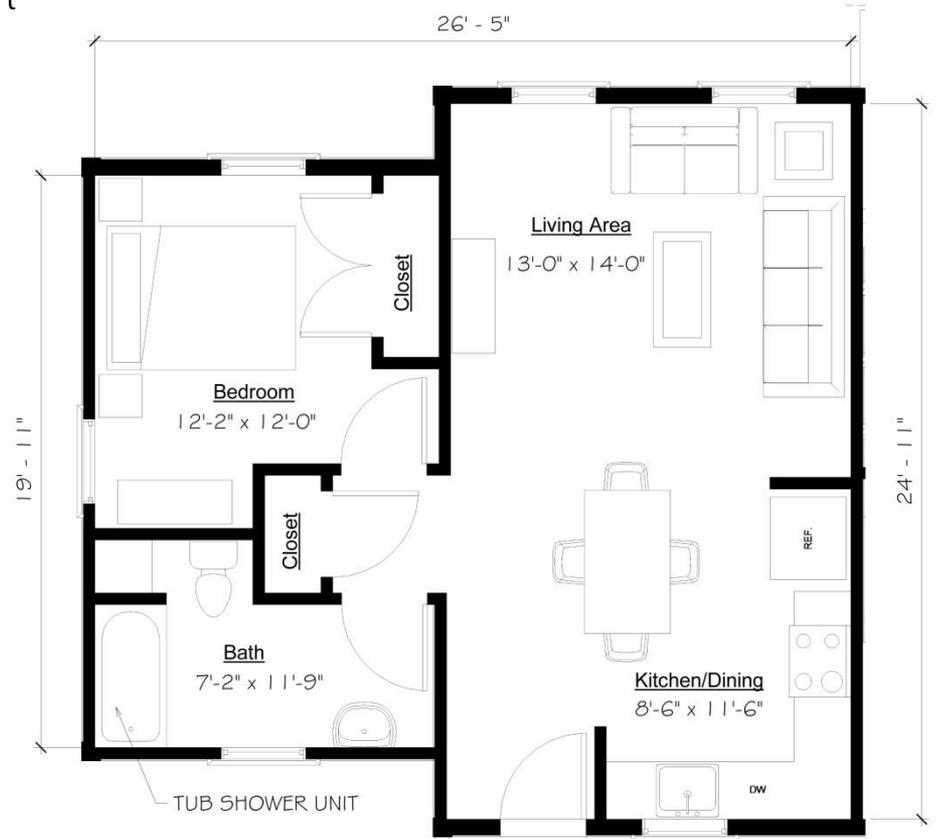


First Floor

Typical Unit Plans

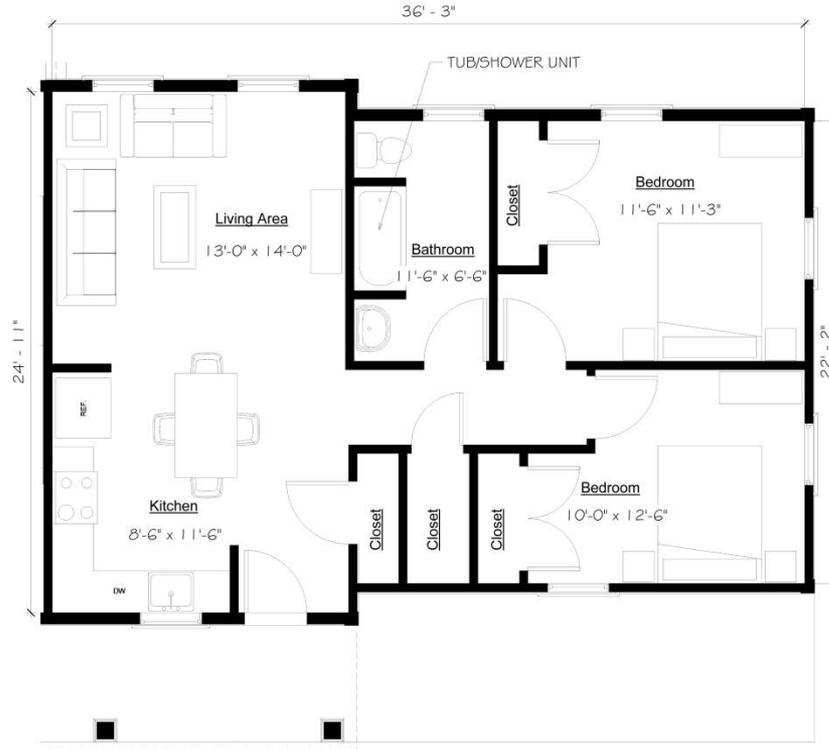


Studio Unit

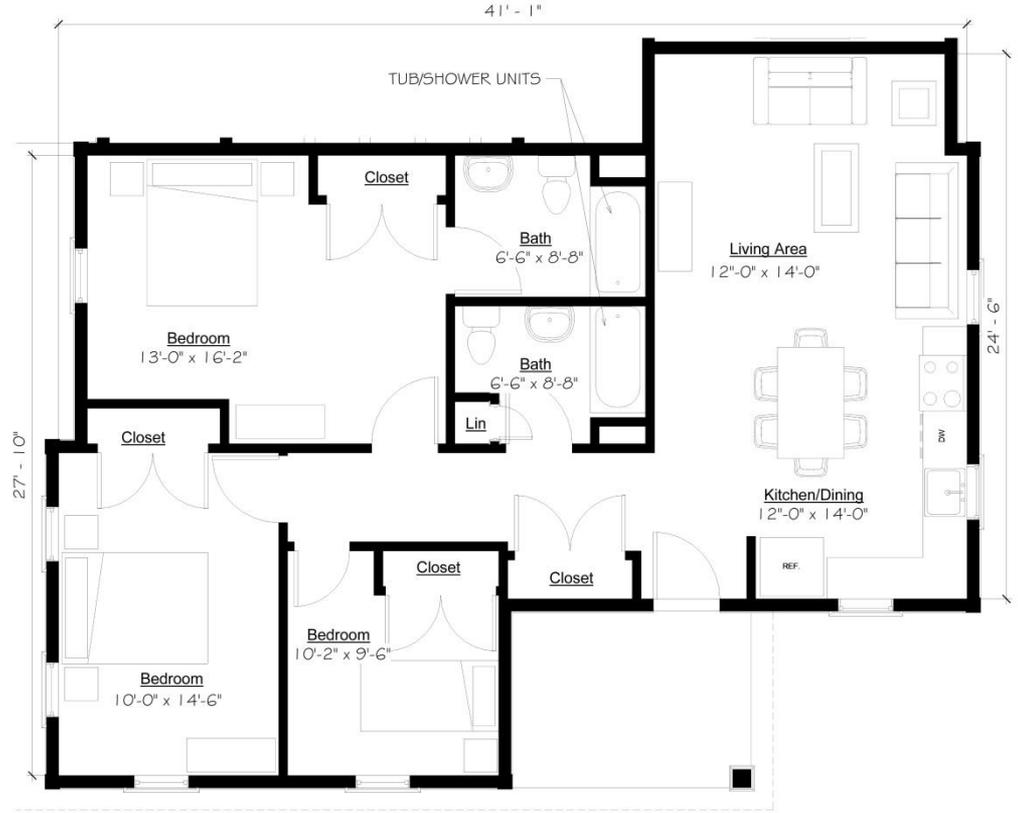


One BR, One Bath Unit

Typical Unit Plans

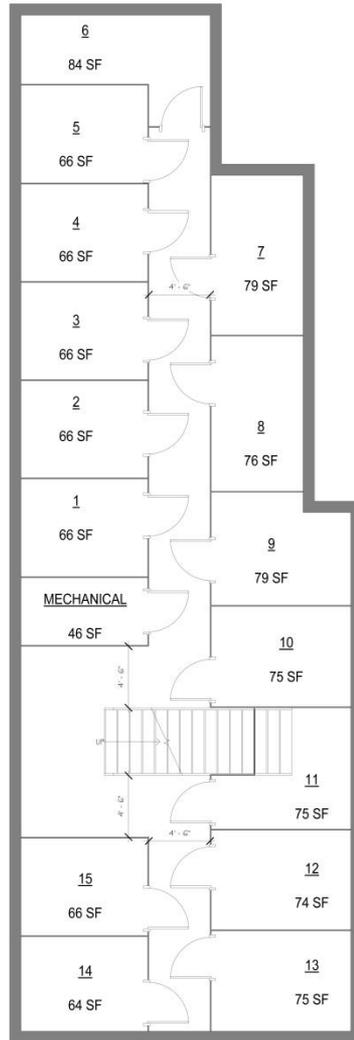


Two BR, One Bath Unit



Three BR, Two Bath Unit

Typical
Building Type
E Basement



Typical
Building Type
A Basement

