



HALCYON GARDENS
NANTUCKET, MA

**WORKFORCE AFFORDABLE RENTAL HOUSING DEVELOPMENT
AT 6 FAIRGROUNDS ROAD**

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Why is the Halcyon Garden Project best suited to meet the Nantucket Housing Needs?

- 1) Stability of management to complete the project
- 2) Flexibility of proposal to meet community needs
- 3) Development objectives that match town goals
- 4) Environmental objectives that match town goals
- 5) Risk management to ensure successful completion



Community Objectives: Stability

Stability – long term management experience and objectives

- a. Our goals are in line with the community. We are personally invested as long term holders here, and throughout the island.
- b. “Skin in the game” - Our own money. No deferred “development fee” from government entities which will allow for swift start to project and long term focus.
- c. Significant personal investment leaves little room for error or delays.
- d. Hands on management style, local, responsive & experienced in working well with local community members = Logistical Efficiencies.



Community Objectives: Flexibility

Flexibility – meeting the true needs of the local workforce

- a. Not limiting the workforce housing to “cookie cutter” parameters from D.C. or Boston – Nantucket is unique and we must recognize that.**
- b. We must meet the needs of critical workforce - i.e., fire department, police and other municipal employees; we can’t exclude them with technicalities.**
- c. The more restrictive the funding requirements, the less the local preferences can be honored.**
- d. There will be unit equality, and there will be no differentiation between income tiers. They all will be built in the same manner.**



Development objectives

- a. Design – maintain unique Nantucket aesthetics for smaller scale buildings. We want to encourage natural growth with least amount of fencing as possible.**
- b. Privacy - maintain private home feel as much as possible to cultivate stable tenancy.**
- c. Parking – provide sufficient parking to satisfy transportation needs of residents. Each unit gets single parking space identifiable by personal tags. Extra tags can be rented as needed.**
- d. Sustainability – recyclable building materials and landscaping that require minimal upkeep. Reduced energy consumption.**
- e. Amenities – dog park, in unit washer/dryers, garden areas, bike path, bike racks, recycling compost center, storage lockers.**





Fairgrounds Rd

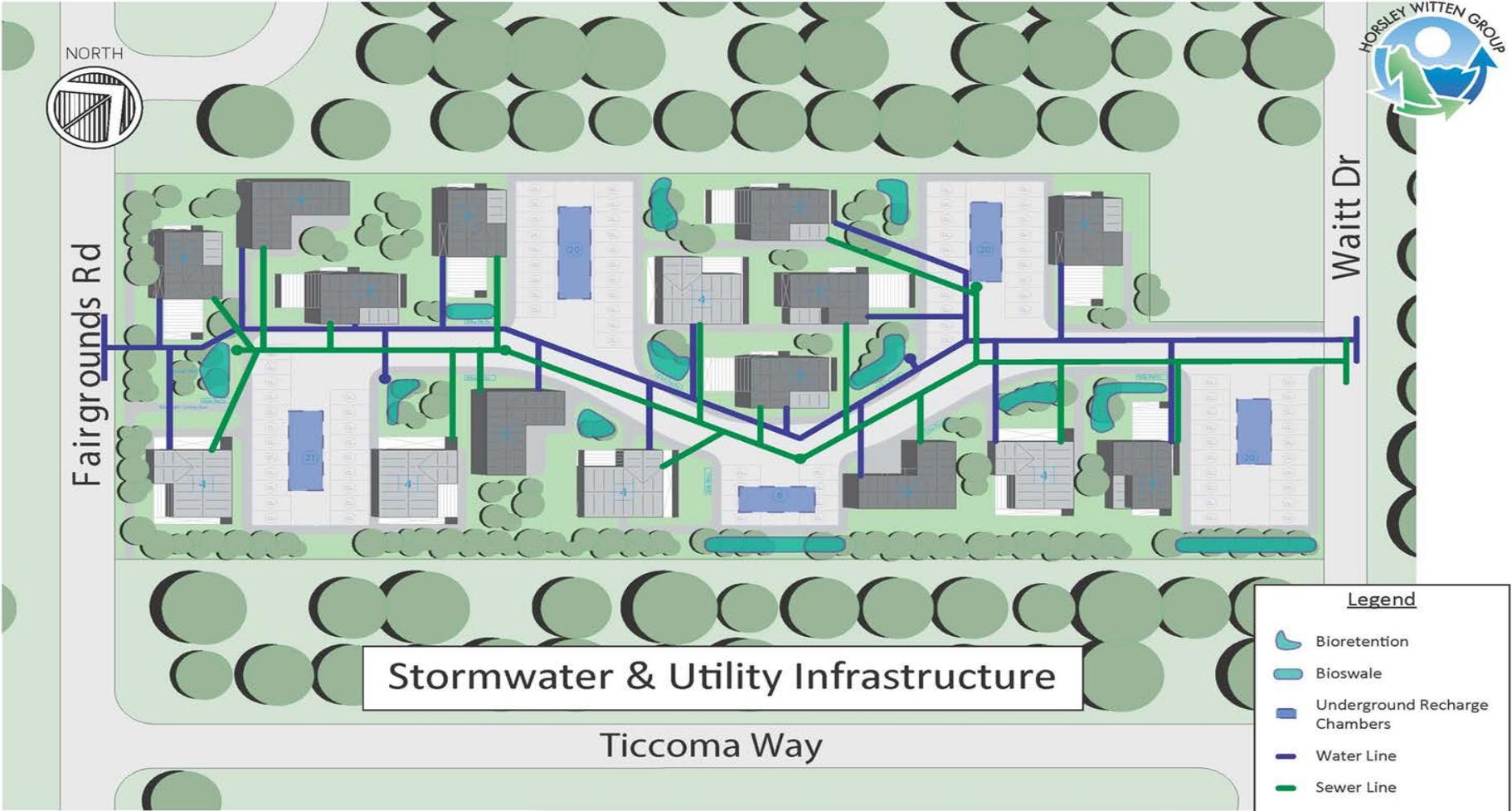
Waitt Dr

Stormwater & Utility Infrastructure

Ticcoma Way

Legend

-  Bioretention
-  Bioswale
-  Underground Recharge Chambers
-  Water Line
-  Sewer Line



Environmental Objectives

- a. Solar Efficiency & Sustainability – Solar energy for Electric and Hot Water and reduce strain on island systems.**
- b. Drainage Systems – Construct bioretention swales to handle storm water run-off and improve natural look.**
- c. Water Recycling – goal of recycling water to reduce environmental impact.**
- d. Parking Systems – Construct “green” and practical porous parking. Help with storm water run off and reduce heat island effect.**
- e. Lighting Systems – Reduce light pollution by incorporating downward facing LED lamp post.**
- f. LEED/Energy Star/Globe Certification**



Stormwater Management

The proposed low impact stormwater management system for the new development will provide both stormwater treatment and groundwater recharge. The system will be designed in accordance with the MA Stormwater Management Standards, to the greatest extent practicable, and the applicable criteria within the Nantucket Subdivision Rules & Regulations and Zoning Bylaw. The design will mimic the existing natural drainage patterns and convey runoff from the roads, sidewalks and buildings by overland flow thru drainage flumes and swales. The increased runoff will be infiltrated on site for 100% recharge through underground recharge chambers.



Roadway Bioretention



Sidewalk Bioswales



Parking Lot Bioswale

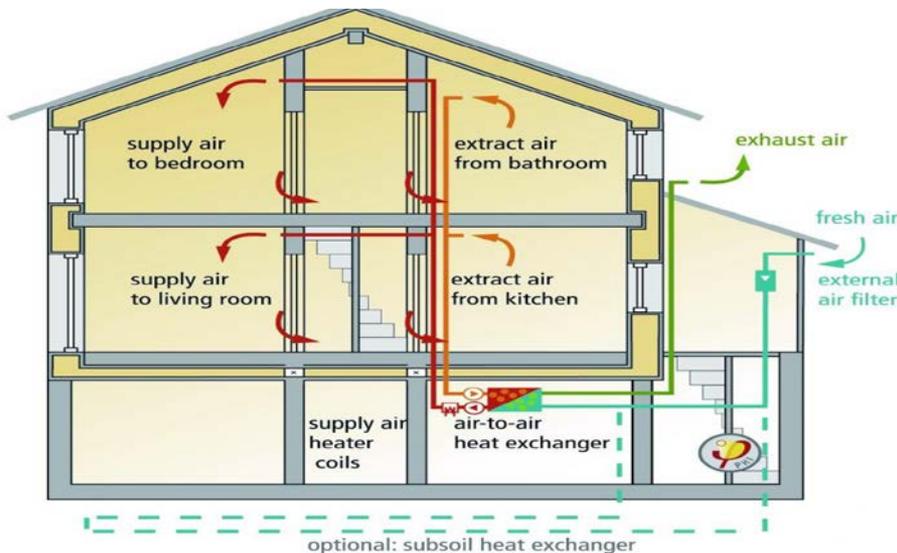
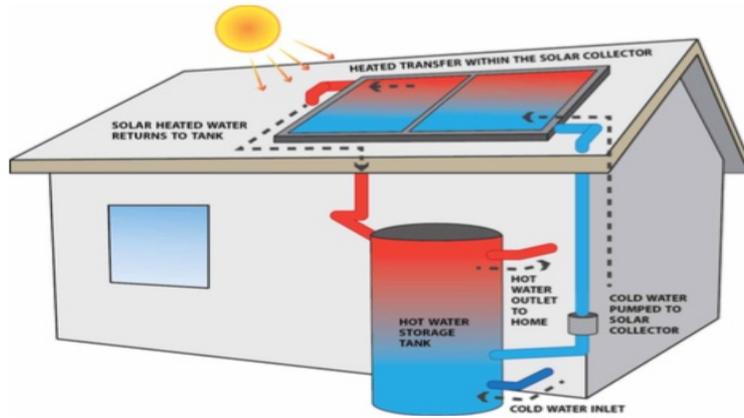
Drainage Design Objectives & Methodology

The stormwater management system will be designed to accomplish the following major objectives:

- To capture and treat the first one-inch of stormwater runoff from the proposed impervious surfaces in order to maintain water quality conditions when compared to existing conditions.
- To provide groundwater recharge to the greatest extent practicable in conformance with the Massachusetts Department of Environmental Protection groundwater recharge criteria.
- To minimize runoff from the post-developed conditions at the study points located along the periphery of the site.
- Mimic the islands natural landscape and provide additional vegetated green space throughout the development.

These objectives are met through the use of the following stormwater management techniques:

- Bioretention and bioswale systems sized to treat the first one-inch of stormwater runoff for water quality treatment of runoff from the roads, driveway and walkways. The shallow landscape areas within the bioretention systems are designed to filter runoff sediment and facilitate pollutant uptake through both the soil media and vegetation used within the bioretention areas.
- Underground recharge chambers sized to retain and infiltrate onsite runoff from the 25-year storm event.



Risk Management

Identify Risks Early – Avoid problems later

- a. **Financial Risk Management**
 - a. **Personally invested - time is of the essence.**
 - b. **Not relying on Federal or State Funds.**
 - c. **Flexible financing structure for maximum inclusion.**

- b. **Construction Risk Management – ability to coordinate with the various trades on island as well as off island vendors. Experience building new construction on Island which avoids costly delays.**

- c. **Logistical Risk Management – experience dealing with government agencies, DHCR, specialty housing, various deed restrictions which avoids technical mishaps.**

- d. **Permitting & Town Approvals – Understanding of local variances and community engagement. History working with the Town, Planning & Zoning boards which avoids community pushback.**

- e. **Property Management –**
 - a. **Development goals are inline with long term management goals.**
 - b. **Experience taking projects to completion and managing workforce housing.**
 - c. **Self Sufficient Management – existing infrastructure of Nantucket property management.**

Fairgrounds Rd

Nantucket Police Station

Fairgrounds Rd

Waitt Dr

Ticcoma Way

